



COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals ZONING BOARD APPEALS DATE: April 12, 2016

REGARDING: Gary Ehlers (PZ16-0010) 1705 East Lake Drive

BY: Charles Boulard, Building Official

I. GENERAL INFORMATION:

Applicant

Gary Ehlers

Variance Type

Dimensional Variance

Property Characteristics

Zoning District: R-4, One Family Residential District
Parcel #: 50-22-02-357-015

Request

The applicant is requesting variances from the City of Novi Zoning Ordinance Section 3.1.5.d to allow construction of a second floor addition to an existing nonconforming residence with reduced side yard setbacks (10 feet required, 4 feet and 8 feet proposed) and aggregate side yard setback (30 feet required, 12 feet proposed). The property is zoned R-4.

II. STAFF COMMENTS:

Proposed Changes

The applicant is requesting approval to construct a second floor addition to an existing residence. The addition would not extend beyond the footprint of the existing non-compliant building but would add to the volume of the building within the required side and aggregate side setbacks.

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we **grant** the variance in Case No. **PZ16-0010**, sought by _____, for _____ because Petitioner has shown practical difficulty requiring _____.

- (a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because _____.

_____.

(b) The property is unique because_____

(c) Petitioner did not create the condition because_____

(d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because_____

(e) The relief if consistent with the spirit and intent of the ordinance because_____

(f) The variance granted is subject to:

- 1. _____
- 2. _____
- 3. _____
- 4. _____

2. I move that we **deny** the variance in Case No. **PZ16-0010**, sought by _____ for _____ because Petitioner has not shown practical difficulty requiring _____.

(a) The circumstances and features of the property including _____ are not unique because they exist generally throughout the City.

(b) The circumstances and features of the property relating to the variance request are self-created because _____

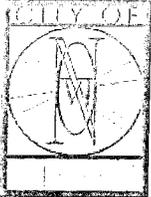
(c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that _____

(d) The variance would result in interference with the adjacent and surrounding properties by _____

(e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to _____

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0423.

Charles Boulard
Building Official
City of Novi



45175 Ten Mile Road
 Novi, MI 48375
 (248) 347-0415 Phone
 (248) 735-5600 Facsimile
 www.cityofnovi.org

ZONING BOARD OF APPEALS APPLICATION

RECEIVED

MAR 02 2016

CITY OF NOVI
 COMMUNITY DEVELOPMENT

cityofnovi.org

APPLICATION MUST BE FILLED OUT COMPLETELY

Application Fee: 100.00
 Meeting Date: April 12, 2016
 ZBA Case #: PZ 10-2010

I. PROPERTY INFORMATION (Address of subject ZBA Case)

PROJECT NAME / SUBDIVISION _____

ADDRESS 1705 E LAKE DR LOT/SUITE/SPACE # 54

SIDWELL # 50-22-00-359-015 May be obtain from Assessing Department (248) 347-0485

CROSS ROADS OF PROPERTY Deerlin Rd, W. 17th St, Monticello

IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION?
 YES NO

REQUEST IS FOR:
 RESIDENTIAL COMMERCIAL VACANT PROPERTY SIGNAGE

DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED?
 YES NO

II. APPLICANT INFORMATION

A. APPLICANT

EMAIL ADDRESS gary@splore.com CELL PHONE NO. 313 530 1111

NAME GARY S. SPLORE TELEPHONE NO. _____

ORGANIZATION/COMPANY _____ FAX NO. _____

ADDRESS 1705 E LAKE DR CITY NOVI STATE MI ZIP CODE 48375

B. PROPERTY OWNER CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER

Identify the person or organization that owns the subject property: _____ EMAIL ADDRESS _____ CELL PHONE NO. _____

NAME _____ TELEPHONE NO. _____

ORGANIZATION/COMPANY _____ FAX NO. _____

ADDRESS _____ CITY _____ STATE _____ ZIP CODE _____

III. ZONING INFORMATION

A. ZONING DISTRICT

R-A R-1 R-2 R-3 R-4 RM-1 RM-2 MH
 I-1 I-2 RC TC TC-1 OTHER _____

B. VARIANCE REQUESTED

INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:

1. Section 201.27 Variance requested Minor Variance

2. Section _____ Variance requested _____

3. Section _____ Variance requested _____

4. Section _____ Variance requested _____

IV. FEES AND DRAWINGS

A. FEES

Single Family Residential (Existing) \$200 (With Violation) \$250 Single Family Residential (New) \$250
 Multiple/Commercial/Industrial \$300 (With Violation) \$400 Signs \$300 (With Violation) \$400
 House Moves \$300 Special Meetings (At discretion of Board) \$600

B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF

- Dimensioned Drawings and Plans
- Site/Plot Plan
- Existing or proposed buildings or addition on the property
- Number & location of all on-site parking, if applicable
- Existing & proposed distance to adjacent property lines
- Location of existing & proposed signs, if applicable
- Floor plans & elevations
- Any other information relevant to the Variance application



ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

DIMENSIONAL USE SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING ADDITION TO EXISTING HOME/BUILDING SIGNAGE
 ACCESSORY BUILDING USE OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

Applicant Signature

3-2-16
Date

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

Property Owner Signature

Date

VII. FOR OFFICIAL USE ONLY

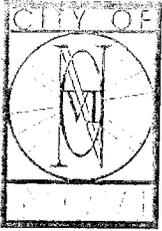
DECISION ON APPEAL:

GRANTED DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

Chairperson, Zoning Board of Appeals

Date



cityofnovi.org

Community Development Department

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

**REVIEW STANDARDS
DIMENSIONAL VARIANCE**

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. **Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.
 Not Applicable Applicable If applicable, describe below:

and/or

- b. **Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.
 Not Applicable Applicable If applicable, describe below:

and/or

- c. **Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.
 Not Applicable Applicable If applicable, describe below:

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

House only was Existing

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

Standard #4. Minimum Variance Necessary.

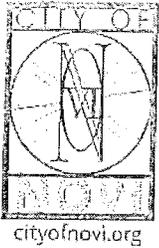
Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

No staying within the Exterior wall Line vertical From First Floor

Standard #5. Adverse Impact on Surrounding Area.

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

*House will Be At the same setback
No impact to Surrounding Properties*



Community Development Department

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

**REVIEW STANDARDS
DIMENSIONAL VARIANCE**

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. **Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.
 Not Applicable Applicable If applicable, describe below:

30' LOT IN A R-4 ZONING DISTRICT THAT THE MIN. IS 80' CANNOT MEET THE SIDE YARD SETBACK AND AGGREGATE TOTALS.

and/or

- b. **Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.
 Not Applicable Applicable If applicable, describe below:

and/or

- c. **Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.
 Not Applicable Applicable If applicable, describe below:

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

ALLONS BEDROOM 1 ON SECOND FLOOR TO BE SAME HEIGHT AS BEDROOM 2 IN BACK OF HOUSE ON SECOND FLOOR.

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

BEDROOM WALLS ON BEDROOM 1 ON SECOND FLOOR ARE ONLY 3' PROX TALL ON NORTH & SOUTH WALL AND TO STREET FOR ACTUAL BEDROOM.

Standard #4. Minimum Variance Necessary.

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

USING EXISTING FOUNDATION AND WALLS - JUST RAISING UP TO 8' LIKE BEDROOM 2 ON SECOND FLOOR. FRONT DOOR TO PATIO WILL BE ENLARGED TO SLIDER DOOR W/ EXTRA HEIGHT.

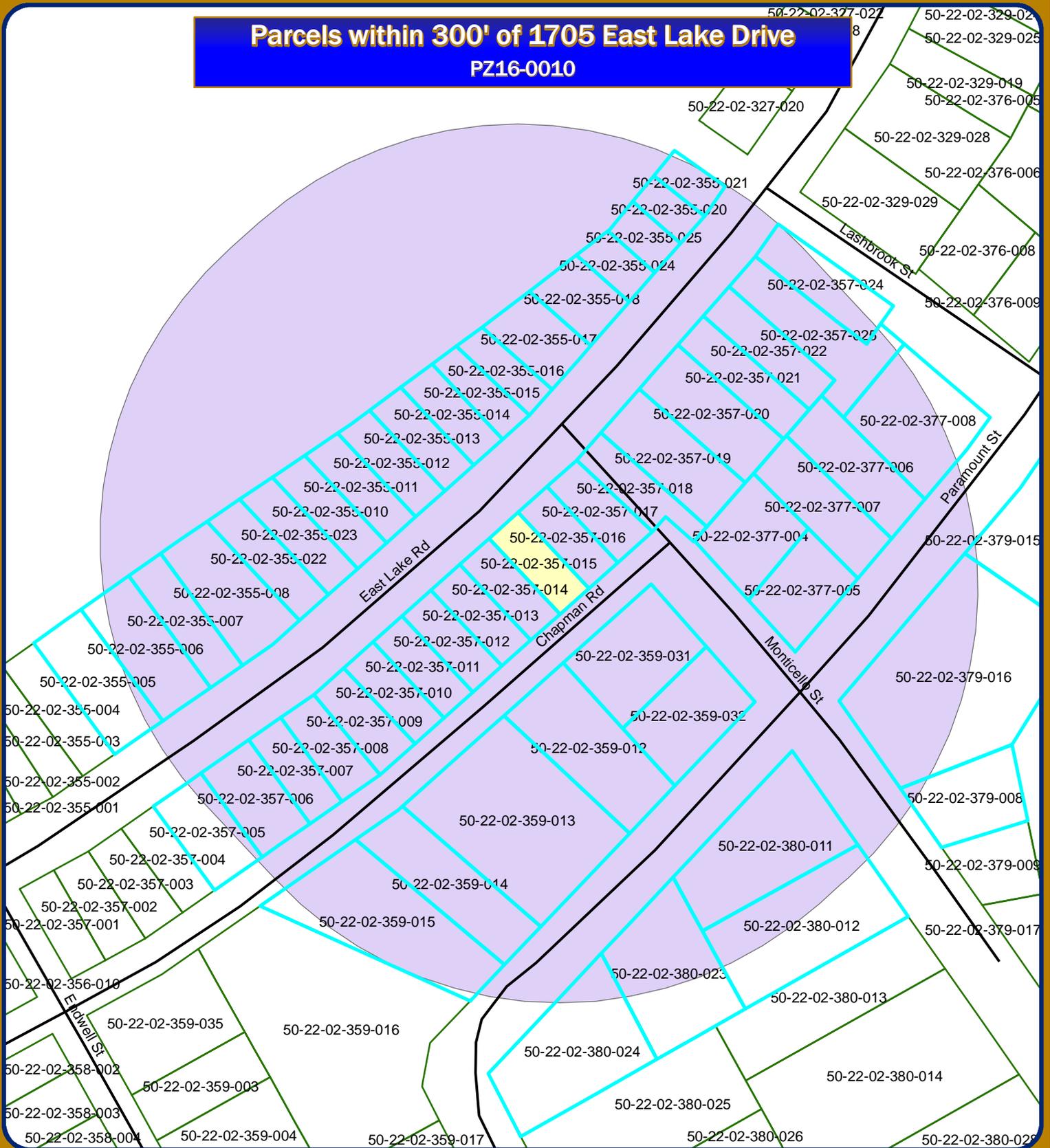
Standard #5. Adverse Impact on Surrounding Area.

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

NO ADVERSE IMPACT.

Parcels within 300' of 1705 East Lake Drive

PZ16-0010



Map Author: Jon Gartha
 Date: March 8, 2016
 Project: Address List for 22-02-357-015
 Version #: 1.0

Amended By:
 Date:
 Department:

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

Map Legend

- 300' Buffer
- Subject Property
- Tax Parcel

Municipality

- Novi
- Novi Twp.



City of Novi

IT Department
 GIS Division
 45175 Ten Mile Rd
 Novi, MI 48375
 cityofnovi.org



1 inch = 101 feet



ZONING BOARD OF APPEALS
CITY OF NOVI
Community Development Department

Case No. PZ14-0062

Location: 1705 East Lake Drive

Zoning District: R-4, One Family Residential

The applicant is requesting variances from the CITY OF NOVI, CODE OF ORDINANCES, Sections 2400 and 2503.1(g) to allow construction of a new second floor addition over existing first floor footprint on an existing lot with a reduced northwest (west) side yard setback of 4.0 ft., a reduced aggregate side setback of 12.0 ft., a reduce rear yard setback of 28 ft., and a separation distance of 0 ft. from the existing detached accessory (shed) building. The property is located west of Novi Road and south of 14 Mile Road.

Ordinance Sections:

CITY OF NOVI, CODE OF ORDINANCES, Section 2400 requires minimum side yard setbacks of 10 ft. and a minimum aggregate of 25 ft. respectively, and a front yard setback of 30 ft. Section 2503.1(g) requires all detached accessory building shall not be located closer than ten (10) feet to any main building.

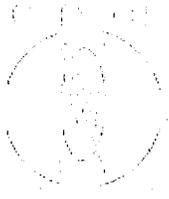
City of Novi Staff Comments:

The applicant is proposing to construct a second floor living area addition (180 sf) over the existing first floor on an existing narrow lot. The proposed addition will increase the nonconformity with regard to the rear and side yard setbacks and separation distance of the existing detached accessory (shed) building. Staff supports the variances provided substantial justice can be provided for neighboring property owners.

Standards for Granting a Dimensional Variance:

A variance may be granted if a practical difficulty exists due to all of the following:

- There are unique circumstances or physical conditions of the property such as narrowness, shallowness, shape, water, topography or similar physical conditions and the need for the variance is not due to the applicant's personal or economic difficulty because _____.
- The need is not self-created because _____.
- Strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome because _____.
- The requested variance is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district because _____.
- The requested variance will not cause an adverse impact on surrounding property, property values or the use and enjoyment of the property in the neighborhood or zoning district because _____.



COMMUNITY DEVELOPMENT DEPARTMENT

PZ140026 - ACTION SUMMARY

PROJECT SUMMARY:

FRONT AND SIDE YARD SETBACKS VARIANCE FOR DECK

APPLICANT/OWNER INFORMATION:**APPLICANT**

EHLERS, GARY L.
1705 EASTLAKE
NOVI MI 48377

OWNER

EHLERS, GARY L.
1705 EASTLAKE
NOVI MI 48377

PROPERTY INFORMATION:

LOCATION/ADDRESS: 1705 EAST LAKE DR

PARCEL NUMBER: 50-22-02-357-015

ZONING DISTRICT: R-4

SUBDIVISION: CHAPMAN WALLED LAKE

LOT/UNIT #: 59

ACTION SUMMARY:

ZBA MEETING DATE: 07/08/2014

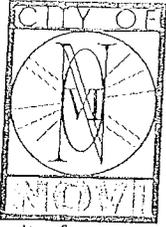
The applicant is requesting variances from the CITY OF NOVI, CODE OF ORDINANCES, Sections 2400 to allow construction of a new wood deck over existing first floor footprint on an existing lot with a reduced east side yard setback of 7.0 ft., a reduced aggregate side setback of 12.0 ft., a reduce front yard setback of 10.3 ft. The property is located west of Novi Road and south of 14 Mile Road.

CITY OF NOVI, CODE OF ORDINANCES, Section 2400 requires minimum and aggregate side yard setbacks of 10 ft. and 25 ft. respectively, a front yard setback of 30 ft.

In CASE No. PZ14-0026 Motion to approve the variance as requested. There are unique circumstances or physical conditions of the property such as narrowness, shallowness, shape, water, topography or similar physical conditions. The need is not self-created. Strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome. The requested variance is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district. The requested variance will not cause an adverse impact on surrounding property, property values or the use and enjoyment of the property in the neighborhood or zoning district.

Motion carried: 6-0

Motion maker: lbe



ZONING BOARD OF APPEALS APPLICATION
 CITY OF NOVI
 Community Development Department
 (248) 347-0415

cityofnovi.org
 ZBA Case No.

P2140042

For Official Use Only

ZBA meeting date

Jan 13

Check# _____ Include payment with cash or check written to "City of Novi"

TO BE COMPLETED BY APPLICANT - PLEASE PRINT

***Please submit one original full set of all documentation and one CD with a pdf version of same.

Applicant's Name GARY L. EHLERS Date 12/2/14

Company (if applicable) _____

Address* 1705 E. LAKE DR. City NOVI

State MI. Zip code 48377 *Where all case correspondence is to be mailed

Applicant's E-mail address GETHLERS@MI.RR.COM

Phone number (C) 734-536-1811 Fax number (W) 734-522-8385

Request is for:

- Residential Vacant property Commercial Signage

Address of subject ZBA case 1705 E. LAKE DR. Zip code 48377

Cross roads of property BETWEEN ENDWELL & MONTICELLO

Sidwell number 50-22- 02-357-015 May be obtained from Assessing Department (248) 347-0485

Is the property within a Homeowner's Association jurisdiction? Yes No

Zoning (Please circle one)

	R-A	R-1	R-2	R-3	<u>R-4</u>	RM-1	RM-2
MH	I-1	I-2	RC	TC	TC-1		Other

Property owner name (if other than applicant) _____

Does your appeal result from a Notice of Violation or Citation issued? Yes No

Indicate Ordinance section(s) and variances requested: R-4 ZONING

- Section 2400 Variance requested + MIN Side Req. 10' - Prop. 4' - VARIANCE (6')
- Section _____ Variance requested + Req BOTH SIDES 25' - Prop 12' - VARIANCE (13')
- Section _____ Variance requested _____
- Section _____ Variance requested + MIN. BACKYARD 3.5' - Prop. 30' - VARIANCE (5')

Please submit an accurate, scaled drawing of the property showing:

- All property lines and dimensions correlated with the legal description.
- The location and dimensions of all existing and proposed structures and uses on property.
- Any roads, easements, drains, or waterways which traverse or abut the property and the lot area and setback.
- Dimensions necessary to show compliance with the regulations of this Ordinance.

State the practical difficulties which prevent conformance with the Zoning Ordinance requirements (attach separate sheet if necessary):

Describe any unique circumstances regarding the property (i.e., shape, topography, etc.) which are not common to other properties in the area and which prevent strict compliance with the Zoning Ordinance:

NONE COMPARED TO OTHER NEARBY LOTS.

There is a five (5) day hold period before work/action can be taken on variance approvals.

SIGN CASES ONLY:

Your signature on this application indicates that you agree to install a Mock-Up Sign ten (10) days before the scheduled ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next scheduled ZBA meeting, or cancelled. A mock-up sign is NOT to be the actual sign. Upon approval, the mock-up sign must be removed within five (5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five (5) days of the meeting.

City of Novi Ordinance, Section 3107. - Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one (1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty (180) days unless such use is established within such a period; provided, however, where such use permitted is dependent upon the erection or alteration of a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one (1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

- Construct new home/building
- Accessory building
- Addition to existing home/building
- Use
- Signage
- Other

Gary J. Chlen

Applicants Signature

12/2/14

Date

Gary J. Chlen

Property Owners Signature

12/2/14

Date

DECISION ON APPEAL

_____ Granted

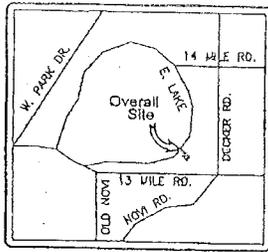
_____ Denied

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following items and conditions:

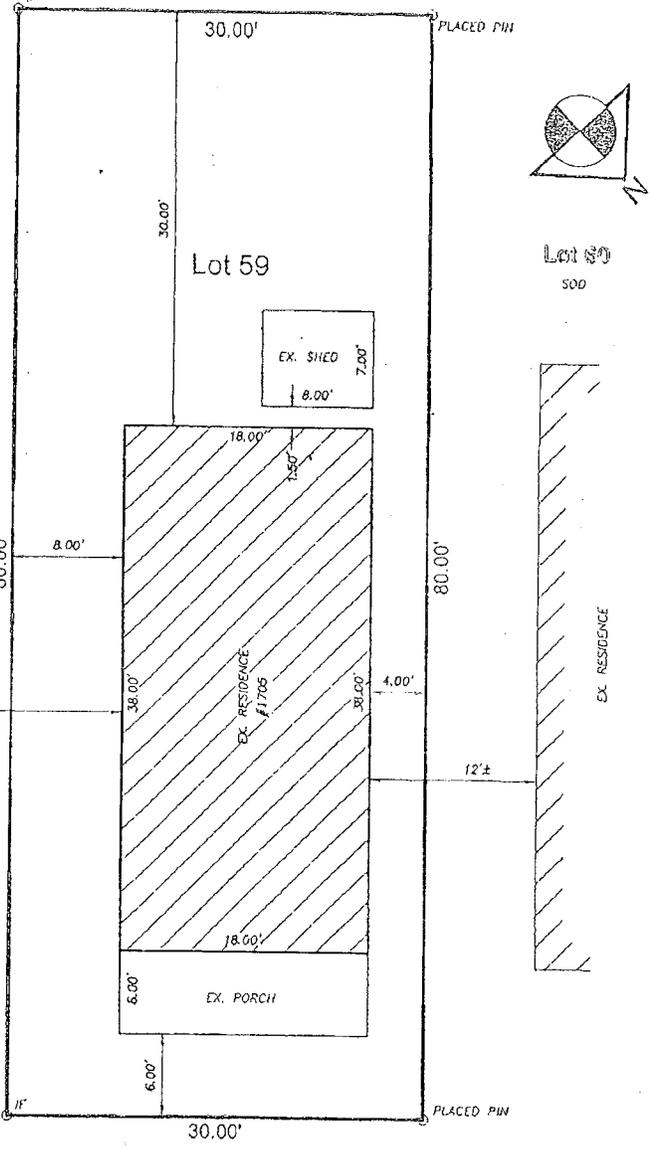
Chairperson, Zoning Board of Appeals

Date

As-Built Plan Chapman Dr. (30' Wd.)



Location map
NOT TO SCALE



Parcel ID #56-22-02-357-015

Legend:

000.00	PROP. GRADES
000.00*	MAURO ENG. PROP. GRADES
M.E.	MATCH EXISTING GRADES
X (000.00)	AS BUILT GRADES/DIM.



3 WORKING DAYS
BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171
CALL FIRST FOR THE LOCATION
OF UNDERGROUND UTILITIES

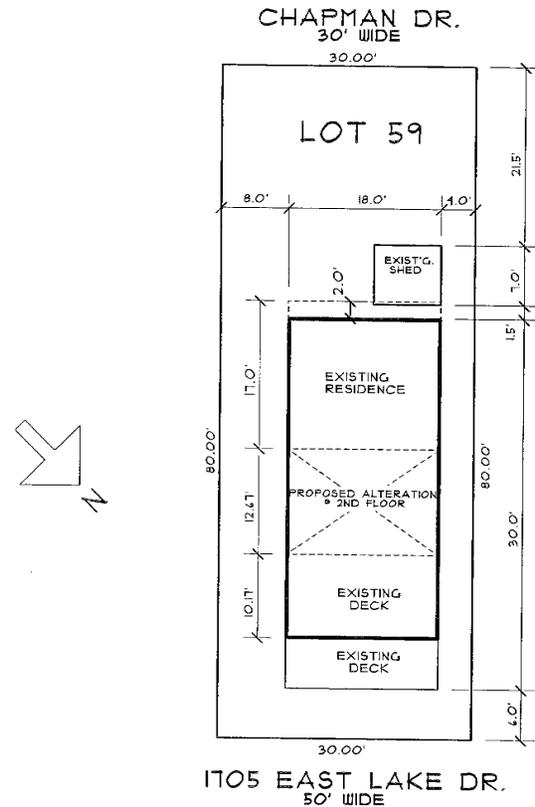


Notes:

- 1.) AT AREAS WHERE ANY TYPE OF BACKFILL IS UNDER CONCRETE, PROVIDE 95% COMP. SAND
- 2.) BUILDER OR CONTRACTOR TO VERIFY WALL/POUR HEIGHT PRIOR TO ANY CONSTRUCTION

LEGAL DESCRIPTION: LOT 59 OF CHAPMAN WALLED LAKE SUB. PART OF S.W. FRAC. 1 SEC. 2, T.1N., R.8E., CITY OF NOVY, OAKLAND COUNTY, MICHIGAN		REVISIONS <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>BY</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	BY				CUSTOMER: GARY EHLERS TEL. NO.: 734-536-1811 REF. NO.: DATE: 05-27-14 SCALE: 1"=10' GRAPHIC BY: A.S. CHECKED BY: O.M.	
NO.	DATE	BY								
Mauro Engineering Development & Planning • Civil Engineers • Designers • Planners 48657 Hayes Road Shelby, Tenn. 38315 p: 586-247-2800 f: 586-247-2811 visit us at: www.mauroeng.com		Mauro Engineering 1.) Assumed no responsibility for given house dimensions. Client must verify dimensions prior to start. 2.) This plan shall not be used to set foundations. 3.) Setbacks shown on this plot plan were obtained from a municipality. Since deed restrictions are not supplied by the municipality, the client must verify any special subdivision restrictions. 4.) Land locations shown on plan are approx. from approved plans. Contractor to field verify all land locations. 5.) Assumed no responsibility for house placement designed within D.S. of approved setbacks.								

FILE # 1705CHAPMAN (Chapman - 1705) Use 1/30/14



PLOT PLAN

SCALE: 1" = 10.0'

BUILDER/CONTRACTOR NOTE:

PLANS SHOWN ARE A CONCEPT DERIVED FROM MEETINGS WITH BUILDER AND/OR OWNER AND ARE TO BE USED AS A REFERENCE FOR CONSTRUCTION PURPOSES ONLY AND MAY NOT BE SOLD TO OTHERS.

BUILDER/CONTRACTOR IS RESPONSIBLE FOR MEETING ALL CURRENT BUILDING CODES PERTAINING TO THESE PLANS REGARDLESS IF SHOWN OR NOT SHOWN.

BUILDER/CONTRACTOR IS ALSO RESPONSIBLE FOR ACQUIRING ANY ENGINEERING REQUIRED SUCH AS BUT NOT LIMITED TO FOOTINGS, FOUNDATIONS, HEADERS, BEAMS, FLOOR JOISTS, RAFTERS, TRUSSES, ETC.

ALL SIZES AND DIMENSIONS SHOWN FOR FOOTINGS, FOUNDATIONS, FLOOR PLANS, BEAMS, FLOOR JOISTS, TRUSSES, RAFTERS, ETC., MUST BE VERIFIED BY A QUALIFIED BUILDER, ENGINEER AND/OR SUPPLIER.

CURRENT BUILDING CODES FOR THE AREA IN WHICH THIS STRUCTURE IS TO BE BUILT IN SUPERSEDE ANYTHING SHOWN ON THESE PLANS.

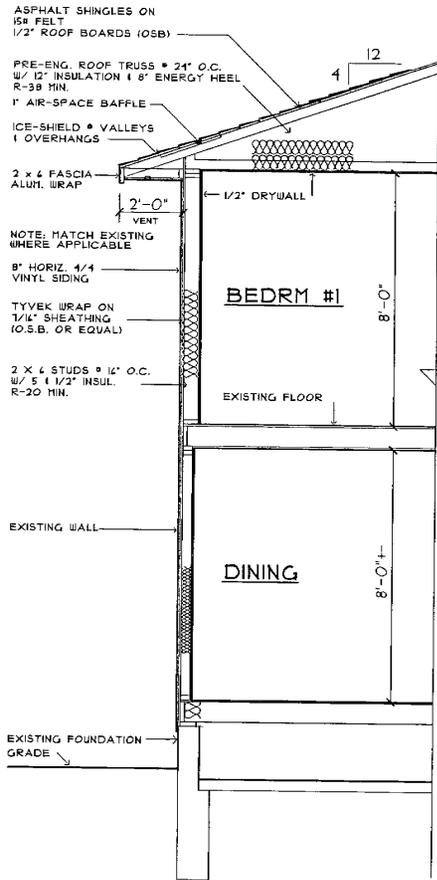
STIRLING DESIGN ASSUMES NO RESPONSIBILITY FOR ANY CONSTRUCTION PROJECT INCLUDING BUT NOT LIMITED TO ANY ERRORS AND/OR OMISSIONS TO THE PLANS PROVIDED.

NO: 0E/0303F

SHEET NO:

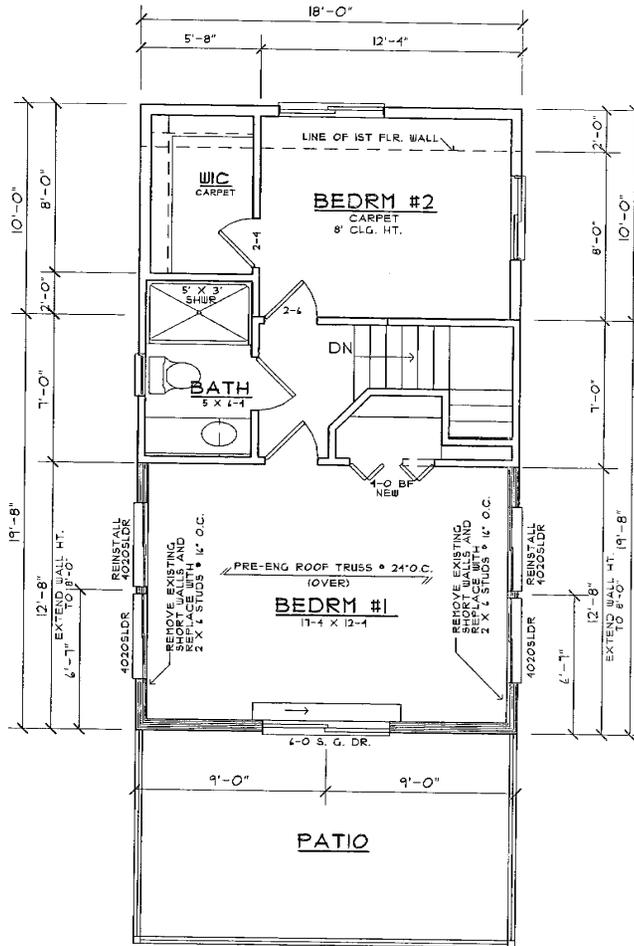
2nd

OF 2 SHEETS



SECTION

SCALE: 3/8" = 1'-0"



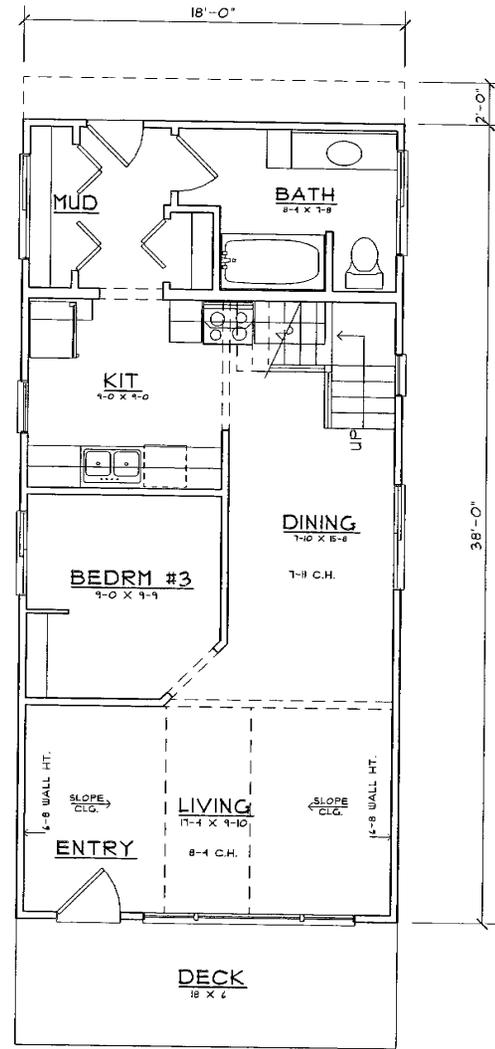
SECOND FLOOR

SCALE: 1/4" = 1'-0" EXIST'G. LIVING AREA: 534 SQ. FT.
PORTION RENOVATED: 228 SQ. FT.

NOTE: DIMENSION WITNESS LINE INDICATES FINISH SIDE OF SHEATHING OR DRYWALL.
DOTTED WALLS INDICATE EXISTING TO BE REMOVED.
SHADED WALLS INDICATE NEW.

WINDOW NOTE:

WINDOW SIZES ARE APPROXIMATE. A WINDOW SCHEDULE MUST BE OBTAINED FROM THE WINDOW MANUFACTURER FOR R.O. SIZES. 3048 INDICATES A 3'-0" X 4'-8" WINDOW.



FIRST FLOOR

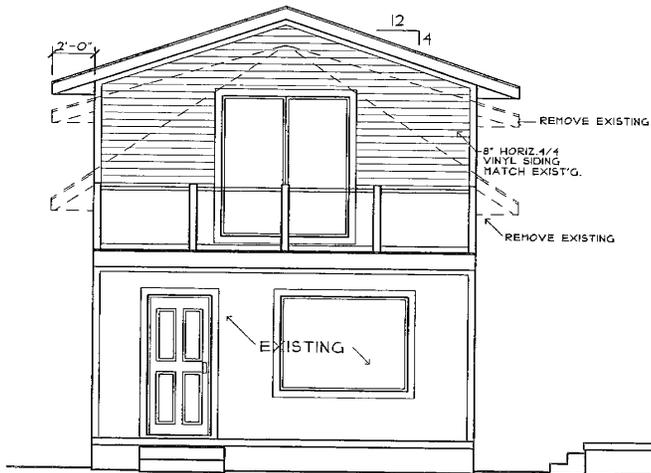
SCALE: 1/4" = 1'-0" LIVING AREA: 684 SQ. FT.

NOTE: DIMENSION WITNESS LINE INDICATES FINISH SIDE OF SHEATHING OR DRYWALL.
FIRST FLOOR WALL HT. = 8'-0" UNLESS OTHERWISE NOTED.

BUILDER/CONTRACTOR NOTE:

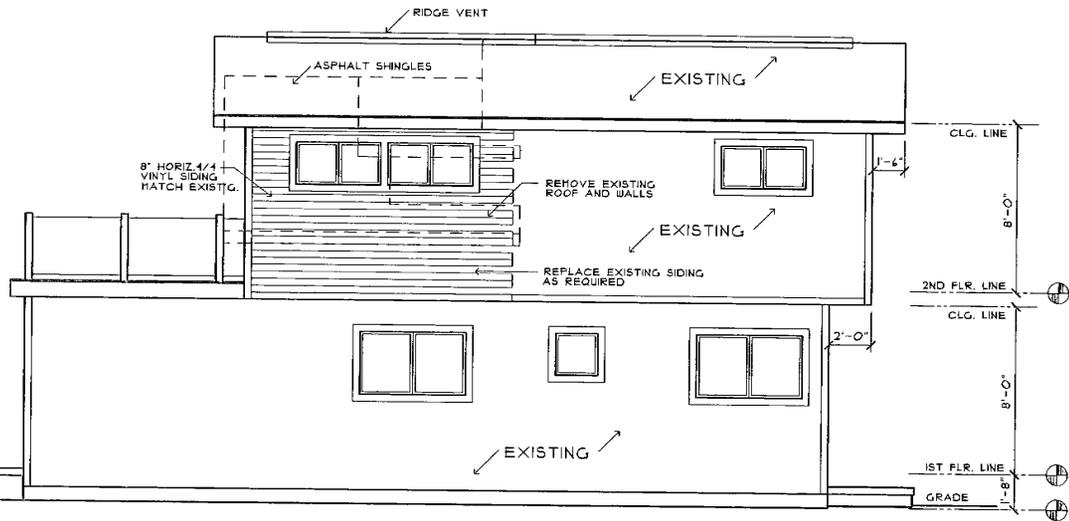
PLANS SHOWN ARE A CONCEPT DERIVED FROM MEETINGS WITH BUILDER AND/OR OWNER AND ARE TO BE USED AS A REFERENCE FOR CONSTRUCTION PURPOSES ONLY AND MAY NOT BE SOLD TO OTHERS.
BUILDER/CONTRACTOR IS RESPONSIBLE FOR MEETING ALL CURRENT BUILDING CODES PERTAINING TO THESE PLANS REGARDLESS IF SHOWN OR NOT SHOWN.
BUILDER/CONTRACTOR IS ALSO RESPONSIBLE FOR ACQUIRING ANY ENGINEERING REQUIRED SUCH AS BUT NOT LIMITED TO FOOTINGS, FOUNDATIONS, HEADERS, BEAMS, FLOOR JOISTS, RAFTERS, TRUSSES, ETC.
ALL SIZES AND DIMENSIONS SHOWN FOR FOOTINGS, FOUNDATIONS, FLOOR PLANS, BEAMS, FLOOR JOISTS, TRUSSES, RAFTERS, ETC. MUST BE VERIFIED BY A QUALIFIED BUILDER, ENGINEER AND/OR SUPPLIER.
CURRENT BUILDING CODES FOR THE AREA IN WHICH THIS STRUCTURE IS TO BE BUILT IN SUPERSEDE ANYTHING SHOWN ON THESE PLANS.
STRILING DESIGN ASSURES NO RESPONSIBILITY FOR ANY CONSTRUCTION PROJECT INCLUDING BUT NOT LIMITED TO ANY ERRORS AND/OR OMISSIONS TO THE PLANS PROVIDED.

NO: 0E60303F
SHEET NO:
2
OF 2 SHEETS



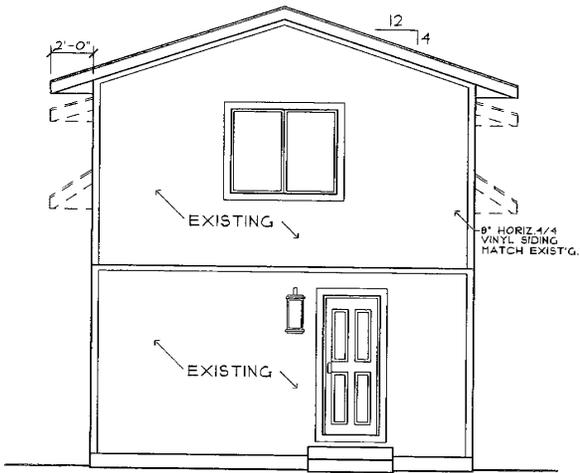
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



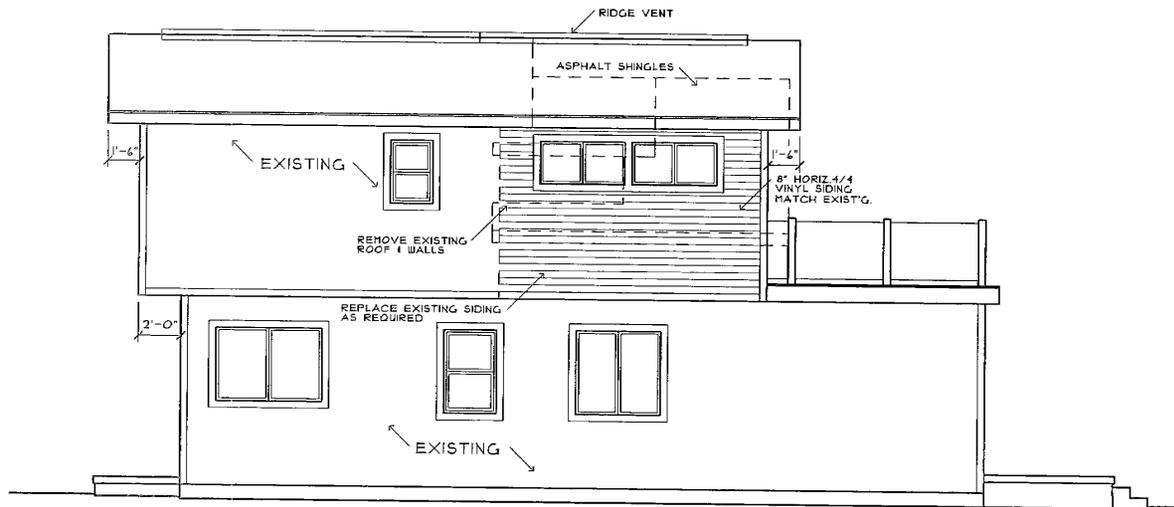
RIGHT SIDE

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



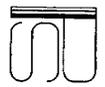
LEFT SIDE

SCALE: 1/4" = 1'-0"

BUILDER
RESIDENCE FOR: MR. & MRS. GARY EHLERS

STIRLING DESIGNS L.L.C.
P L A N S
PHONE: (517) 546-9299

RESIDENTIAL
HOWELL, MI 48843



No. 0E40303E

SHEET NO.

1

OF 2 SHEETS