



Varsity Lincoln Display Lot JSP13-67

Varsity Lincoln Display Lot JSP13-67

Public hearing at the request of Varsity Lincoln Properties, Preliminary Site Plan, Special Land Use Permit, and Stormwater Management Plan approval. The subject property is 1.57 acres in Section 17 of the City of Novi and located on Outlot 1 of the larger Novi Promenade development on the southeast corner of Wixom Road and Grand River Avenue. This property is part of the Novi Equities Limited Partnership v. City of Novi Consent Judgment which states that all outlots should be reviewed according to B-3 District standards. The applicant is proposing to construct a roughly 49,100 square foot vehicle display lot, including a vehicle display pad at the southwest corner.

Recommendation

Provided the applicant receives a waiver of the required Noise Impact Statement, **staff recommends approval of the Revised Preliminary Site Plan and Special Land Use Permit as the applicant has generally met the requirements of the Zoning Ordinance.**

Required Action

Approval/denial of the Preliminary Site Plan, Special Land Use Permit, and Stormwater Management Plan.

| REVIEW | RESULT | DATE | COMMENTS |
|-------------|----------------------|----------|---|
| Planning | Approval recommended | 10-22-13 | <ul style="list-style-type: none"> • Waiver required of the Noise Impact Statement requirement • Staff recommends the installation of a 5 ft. wide sidewalk along the existing access drive • Items to be addressed on the Revised Final Site Plan submittal |
| Engineering | Approval recommended | 10-22-13 | Items to be addressed on the Revised Final Site Plan submittal |
| Traffic | Approval recommended | 10-17-13 | Items to be addressed on the Revised Final Site Plan submittal |
| Landscaping | Approval recommended | 10-14-13 | Items to be addressed on the Revised Final Site Plan submittal |
| Fire | Approval recommended | 10-10-13 | Items to be addressed on the Revised Final Site Plan submittal |

Motion sheet

Approval – Special Land Use Permit:

In the matter of Varsity Lincoln Display Lot JSP13-67, motion to **approve** the Special Land Use permit based on the following findings:

- a. Relative to other feasible uses of the site:
 - The proposed use will not cause any detrimental impact on existing thoroughfares (*as indicated in the traffic review letter*);
 - Subject to satisfying the requirements in the Engineering Review the proposed use will not cause any detrimental impact on the capabilities of public services and facilities (*because the plan adequately addresses and provides for water and sanitary sewer service and management of stormwater volumes*);
 - The proposed use is compatible with the natural features and characteristics of the land (*as no new impacts to natural features are proposed*);
 - The proposed use is compatible with adjacent uses of land (*as indicated in the staff and consultant review letters*);
 - The proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use;
 - The proposed use will promote the use of land in a socially and economically desirable manner;
 - The proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.
- b. (*additional comments here if any*)

(This motion is made because the plan is otherwise in compliance with Article 15, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

Approval – Preliminary Site Plan:

In the matter of Varsity Lincoln Display Lot JSP13-67, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. Planning Commission waiver of the required Noise Impact Statement which is hereby granted;
- b. The installation of a 5 ft. wide sidewalk along the existing access drive;
- c. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on Final Site Plan; and
- d. (*additional conditions here if any*)

(This motion is made because the plan is otherwise in compliance with Article 15, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

Approval – Stormwater Management Plan:

In the matter of Varsity Lincoln Display Lot JSP13-67, motion to **approve** the Stormwater Management Plan, based on and subject to:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on Final Site Plan; and
- b. *(additional conditions here if any)*

(This motion is made because the plan otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

-OR-

Denial – Special Land Use Permit:

In the matter of Varsity Lincoln Display Lot JSP13-67, motion to **deny** the Special Land Use Permit...*(because the plan is not in compliance Article 15, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance for the following reasons....)*

Denial – Preliminary Site Plan:

In the matter of Varsity Lincoln Display Lot JSP13-67, motion to **deny** the Preliminary Site Plan...*(because the plan is not in compliance with Article 15, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance for the following reasons....)*

Denial – Stormwater Management Plan:

In the matter of Varsity Lincoln Display Lot JSP13-67, motion to **deny** the Stormwater Management Plan...*(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance for the following reasons....)*

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

October 22, 2013

Planning Review

Varsity Lincoln Display Lot

JSP13-67

Revised Preliminary Site Plan

Petitioner

Varsity Lincoln Properties, LLC

Review Type

Revised Preliminary Site Plan and Special Land Use

Property Characteristics

- Site Location: Southeast Corner of Wixom Road and Grand River Avenue
- Site Zoning: I-1, Light Industrial. Per consent judgment the site is to be reviewed under the B-3, General Business District
- Adjoining Zoning: North: B-3; East: I-1; South: I-1; West: B-2
- Site Use(s): Vacant
- Adjoining Uses: North: Varsity Lincoln Mercury; East and South: Sam's Club; West: Vacant Land
- Proposed Use: Vehicle display lot
- Site Size: 1.57 acres
- Plan Date: 10-02-13

Project Summary

The applicant is proposing to construct a roughly 49,100 square foot vehicle display lot on Outlot 1 of the larger Novi Promenade development on the southeast corner of Wixom Road and Grand River Avenue, including a vehicle display pad at the southwest corner. This property is part of the Novi Equities Limited Partnership v. City of Novi Consent Judgment which states that all outlots should be reviewed according to B-3 District standards. Outdoor space for exclusive sale of automobiles requires special land use approval.

Recommendation

Provided the applicant receives a waiver of the required Noise Impact Statement, **staff recommends approval of the Revised Preliminary Site Plan and Special Land Use Permit as the applicant has generally met the requirements of the Zoning Ordinance.** The revised Preliminary Site Plan will be forwarded to the Planning Commission for their review and approval.

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 15 (B-3, General Business District), Article 24 (Schedule of Regulations), Article 25 (General Provisions) and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed by the applicant.

1. Noise Impact Statement: Outdoor space for exclusive sale of automobiles in the B-3 District requires the submission of a Noise Impact Statement. In this case, the Community Development Department recommends that the Planning Commission grant a waiver of the Noise Impact Statement requirement, as requested by the applicant. The proposed

use will not add any noise-generating buildings or equipment and no other measurable noise is expected as a result of this Special Land Use Permit. The Planning Commission may waive this requirement provided the **applicant submits a written statement requesting the waiver and demonstrates a hardship or that the Special Land Use will clearly fall within the noise standards in Section 2519.10.**

2. Photometric Plan: There are a couple of items missing on the photometric plan. **The applicant should revise the photometric plan to comply with the requirements noted in the lighting review chart.**
3. Sidewalks: As discussed with the applicant previously, **the Planning Division continues to recommend the applicant install a 5 ft. wide sidewalk along the existing access drive.**
4. Property Combination: The Planning Division continues to recommend that the applicant pursue a lot combination with the property to the north to assemble the two lots into one for development purposes.
5. Signage: Exterior Signage is not regulated by the Planning Division or Planning Commission. Please contact Jeannie Niland (248.347.0438) jniland@cityofnovi.org or for information regarding sign permits.

Special Land Use Considerations

Outdoor space for exclusive sale of automobiles falls under the Special Land Use requirements of Section 1903.11. The main planning related requirement with respect to Special Land Use is the submittal of a noise impact statement and lighting plan to ensure compliance with the factors below. Section 2516.2.c of the Zoning Ordinance outlines specific factors the Planning Commission shall consider in the review of any Special Land Use:

- (1) Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service.
- (2) Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area.
- (3) Whether, relative to other feasible uses of the site, the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats.
- (4) Whether, relative to other feasible uses of the site, the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood.
- (5) Whether, relative to other feasible uses of the site, the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.
- (6) Whether, relative to other feasible uses of the site, the proposed use will promote the use of land in a socially and economically desirable manner.
- (7) Whether, relative to other feasible uses of the site, the proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

Comparison of Automotive Sales Display Areas

As part of this review staff did a quick estimate of the amount of vehicle display area typically found at other dealerships located within the City, based on assessing information and aerial photography. With this addition, Varsity Lincoln will be amongst the largest automotive dealerships in Novi, as illustrated in the table to the right.

Economic Implications

Consistent with the economic and fiscal goals of the City of Novi, as described in the City's Master Land Use Plan, staff has reviewed the plans to ensure the development contributes positively to the City and offers the following comments:

| Dealership | Display Area Estimate (sq. ft.) |
|--------------------------|--|
| Lincoln | 157,000, including 49,100 proposed addition |
| Chevrolet | 127,300 |
| Mercedes | 106,400 |
| Chrysler | 91,800 plus areas associated with the Infiniti dealership & used car sales portion (info not provided) |
| Hummer (former Cadillac) | 84,000 |
| Jaguar | 60,900 |
| Kia | 60,500 |

1. The proposed plan helps “ensure that Novi continues to be a desirable place for business investment by supporting and strengthening an existing business”.
2. Although the site could be developed with more intense use including new buildings, the proposed plan “supports retail commercial uses along an established transportation corridor that is accessible for the community at large to preclude future traffic congestion” (Grand River Avenue).

Response Letter

A letter from either the applicant or the applicant's representative addressing comments in this and other review letters is required prior to consideration by the Planning Commission and with the next plan submittal.

Pre-Construction Meeting

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

Chapter 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or sroediger@cityofnovi.org.



Sara Roediger, AICP – Planner

Attachments: Planning Review Chart
Lighting Review Chart

Planning Review Chart

Varsity Lincoln Display Lot JSP#13-67

Preliminary Site Plan

Plan Date: 10-02-13

| Item | Required | Proposed | Meets Requirements? | Comments |
|---|--|--|---------------------|---|
| Master Plan | Community Commercial | Community Commercial | Yes | Zoned B-3 per Consent Judgment |
| Zoning | I-1 | B-3 | Yes | Per Consent Judgment, the site is to be reviewed under the B-3 district |
| Proposed Use (Sec. 1501 & 1502) | Uses permitted listed in Section 1501 and 1502 | Vehicle display lot, including a display pad at the SW corner | Yes | Outdoor space for the sale of automobiles are special land uses |
| Outdoor space for exclusive sale of automobiles (Sec. 1502.1) | a. The lot or area shall be paved & shall be graded & drained as to dispose of all surface water accumulated within the area | The lot will be paved with light-duty asphalt & will be graded & drained appropriately | Yes | |
| | b. Access to the outdoor sales area shall be at least 60 ft. from the intersection of any 2 streets | Access to the site is provided by the site to the north & by the existing access drive | Yes | |
| | c. A 10 ft. wide greenbelt planting strip shall be maintained between the street right-of-way line & any area used for customer parking or vehicle display | A 20 ft. wide greenbelt planting strip is proposed | Yes | |
| | d. No major repair or major refinishing shall be done on the lot | A note has been added to the plans indicating compliance with this requirement | Yes | |
| | e. All lighting shall be shielded from adjacent residential districts | Shielded lighting proposed | Yes | |

| Item | Required | Proposed | Meets Requirements? | Comments |
|--|---|---|---|---|
| | f. A noise impact statement is required subject to the standards of Sec. 2519.10.c | Applicant requests a waiver from this requirement | If Planning Commission grants waiver as recommended by staff | The applicant shall submit a written statement requesting the waiver & demonstrate a hardship or that the Special Land Use will meet the standards in Sec. 2519.10 |
| Building Height (Sec. 2400) | 30 ft. | A building is not proposed | Not applicable | |
| Building Setbacks (Sec. 2400) | | | | |
| Front (west/Wixom Rd) | 30 ft. | A building is not proposed | Not applicable | |
| Front (south/access drive) | 15 ft. | | | |
| Side (north) | 15 ft. | | | |
| Side (east) | 15 ft. | | | |
| Parking Setbacks (Sec. 2400) | | | | |
| Front (west/Wixom Rd) | 20 ft. | 20 ft. | Yes | |
| Front (south/access drive) | 20 ft. | 20 ft. | Yes | |
| Side (north) | 10 ft. | 10 ft. | Yes | |
| Side (east) | 10 ft. | 10 ft. | Yes | |
| Number of Parking Spaces (Sec. 2505.14.c.16) | 1 for each 200 sq. ft. of usable floor area of sales room + 1 for each auto service stall in the service room=213 spaces | 142 spaces | Yes | The proposed spaces are for display of automobiles for sale, required parking spaces for the site are provided on the dealership lot to the north |
| Parking Space Dimensions (Sec. 2506) | 90° parking: 9 ft. x 19 ft. (17 ft. permitted with 4 in. curb & 2 ft. overhang) Parallel parking: 8 ft. x 23 ft. | Spaces sized appropriately throughout the site | Yes | |
| Maneuvering Lanes (Sec. 2506) | 24 ft. (90° spaces) 18 ft. (parallel spaces) | 24 ft. width, westernmost aisle 30 ft. for fire access | Yes | |

| Item | Required | Proposed | Meets Requirements? | Comments |
|--|--|--|---|---|
| Barrier Free Spaces (ADA standard) | 5 spaces, including 1 van accessible space | Additional spaces are not proposed | Not applicable | The proposed spaces are for display of automobiles for sale, required parking spaces for the site are provided on the dealership lot to the north |
| Barrier Free Space Dimensions (Barrier Free Code) | 8 ft. wide with an 8 ft. wide access aisle for van accessible | | | |
| Barrier Free Signs (Barrier Free Design Graphics Manual) | One barrier free sign is required per space | | | |
| Loading Spaces (Sec. 2507.2) | 10 sq. ft. per front foot of building | Additional spaces are not proposed | Not applicable | The proposed spaces are for display of automobiles for sale, required loading spaces for the site are provided on the dealership lot to the north |
| Bicycle Parking Facilities (Sec. 2526) | 5% of required auto parking spaces, 2 spaces min. | No bike parking proposed | Yes | Because there are no required auto parking spaces for the site, there are also no required bicycle parking spaces for the site |
| Lighting (Sec. 2511) | Exterior lighting plan required | Not provided | No | See lighting review chart |
| Sidewalks (City Code Sec. 11-276.b & Non-Motorized Plan) | 5 ft. wide sidewalk along Wixom Rd. | 5 ft. wide sidewalk exists along Wixom Rd. | Yes | Staff continues recommends to the addition of a 5 ft. wide sidewalk along the existing access drive |
| Dumpster Requirements (City Code Sec. 21-145) | Screening of not less than 5 ft. on 3 sides of dumpster required, interior bumpers or posts must also be shown. Screening should be 1 foot taller than dumpster. | Additional dumpsters are not proposed | Yes | The proposed spaces are for display of automobiles for sale, required dumpsters for the site are provided on the dealership lot to the north |
| Exterior Signs (City Code Chapter 28) | If proposed exterior signs require a permit | One sign at the southwest corner of the property is proposed | Please contact Jeannie Niland at 248.347.0438 or jniland@cityofnovi.org for information on sign permits | |

Lighting Review Summary Chart

Varsity Lincoln Display Lot JSP#13-67

Preliminary Site Plan

Plan Date: 08-22-13

| Item | Required | Meets Requirements? | Comments |
|--|---|---|--|
| Intent (Sec. 2511.1) | Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties, reduce unnecessary transmission of light into the night sky | Yes | |
| Lighting Plan (Sec. 2511.2.a.1) | Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures | Yes | |
| Lighting Plan (Sec.2511.2.a.2) | Specifications for all proposed & existing lighting fixtures including: <ul style="list-style-type: none"> ▪ Photometric data ▪ Fixture height ▪ Mounting & design ▪ Glare control devices ▪ Type & color rendition of lamps ▪ Hours of operation ▪ Photometric plan | Yes | |
| Required Conditions (Sec. 2511.3.a) | Height not to exceed maximum height of zoning district (30 ft.) or 25 ft. where adjacent to residential districts or uses | Yes | |
| Required Notes (Sec. 2511.3.b) | - Electrical service to light fixtures shall be placed underground - No flashing light shall be permitted - Only necessary lighting for security purposes and limited operations shall be permitted after a site's hours of operation | Additional information must be provided | All required notes must be indicated on the plans |
| Required Conditions (Sec.2511.3.e) | Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1 | Additional information must be provided | Average light level for the site must be indicated on the plans |
| Required Conditions (Sec. 2511.3.f) | Use of true color rendering lamps such as metal halide is preferred over high and low pressure sodium lamps | Yes | |
| Min. Illumination (Sec. 2511.3.k) | - Parking areas- 0.2 min - Loading & unloading areas- 0.4 min - Walkways- 0.2 min - Building entrances, frequent use- 1.0 min - Building entrances, infrequent use- 0.2 min | Yes | |
| Max. Illumination adjacent to Non-Residential (Sec. 2511.3.k) | When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle | Yes | |
| Cut off Angles (Sec. 2511.3.1.2) | All cut off angles of fixtures must be 90° when adjacent to residential districts | Yes | |

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

October 22, 2013

Engineering Review

Varsity Lincoln Display Lot
JSP13-0067

Petitioner

Varsity Lincoln, applicant

Review Type

Revised Preliminary Site Plan

Property Characteristics

- Site Location: S. of Grand River Ave and E. of Wixom Rd.
- Site Size: 1.57 acres
- Plan Date: October 2, 2013

Project Summary

- Construction of an approximately 49,108 square foot vehicle display and parking lot. Site access would be provided a connection to the Varsity Lincoln Dealership to the north and a connection to the Novi Promenade Plaza to the South.
- Storm water would be collected by two storm sewer collection systems; 0.56 acres would drain through an underground detention system to a structure in the Wixom Rd. Right-of-Way, 0.96 acres would drain into the Novi Promenade Plaza, and 0.5 acres would drain to the north by sheet flow.

Recommendation

Approval of the Revised Preliminary Site Plan and Revised Preliminary Storm Water Management Plan is recommended.

Comments:

The Revised Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

General

1. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal.

Storm Sewer

2. Provide a profile for the proposed storm sewer indicating a minimum cover of three (3) feet.

3. Provide an inlet structure for the proposed underground detention system.
4. Provide an oil/gas separator at the last structure prior to discharge into the underground detention system.

Storm Water Management Plan

5. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of *The Engineering Design Manual for City of Novi*.
6. The SWMP must detail the storm water system design, calculations, details, and maintenance as stated in the ordinance. The SWMP must address the discharge of storm water off-site, and evidence of its adequacy must be provided. This should be done by comparing pre- and post-development discharge rates and volumes. The area being used for this off-site discharge should be delineated and the ultimate location of discharge shown.
 - Note: The underground detention system must meet the requirements listed in Chapter 5 Section 2.3 Underground Detention of *The Engineering Design Manual for City of Novi*.
7. Provide manufacture specifications for the proposed underground detention system including material type, size, bedding requirements, and any other applicable information.
8. Provide a detail for the underground detention system's outlet control structure. This structure shall be designed to detain the first flush, bankfull, and 100-year storm event volumes.
9. Denote an overland route for storm water that would occur in the event that the underground system cannot accept flow. This route shall be directed to a recognized drainage course or drainage system. Verify that any structures accepting overland flow are capable of handling the 100-year flood capacity.
10. Provide critical elevations (bankfull and 100-year storm hydraulic grade lines) on the underground detention system cross-section demonstrating that the detention system is 3 feet above ground water and has the required 1 foot of freeboard between the high water elevation and the subgrade below the pavement.

Paving & Grading

11. Dimensions of parking stalls abutting a curb or sidewalk are to the face of curb or walk. All other dimensions are to back of curb unless otherwise indicated.
12. Provide a plan view detail for the curb and gutter adjacent to the existing sanitary sewer structure in the north east corner of the proposed parking lot.

Off-Site Easements

13. Provide an off-site drainage easement for the proposed sheet flow directed towards parcel 50-22-17-101-017 from the proposed development.
14. Provide an easement for the proposed yard basin and subsequent storm sewer on parcel 50-22-17-101-017.

15. Provide a private ingress/egress easement for shared use of the drive entry to parcel 50-22-17-101-017.

The following must be submitted at the time of Final Site Plan submittal:

16. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
17. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

The following must be submitted at the time of Stamping Set submittal:

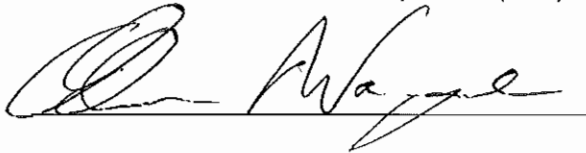
18. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
19. An executed copy of the private ingress/egress easement for shared use of the drive entry to parcel 50-22-17-101-017 must be submitted to the Community Development Department.
20. An executed copy of the drainage easement for the sheet flow directed to parcel 50-22-17-101-017 must be submitted to the Community Development Department.
21. An executed copy of the storm sewer easement for the proposed yard basin and associated work on parcel 50-22-17-101-017 must be submitted to the Community Development Department.
22. Executed copies of any required off-site utility easements must be submitted to the Community Development Department.

The following must be addressed prior to construction:

23. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
24. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.

25. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
26. A permit for work within the right-of-way of Wixom Rd. must be obtained from the City of Novi. The application is available from the City Engineering Department and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Department at 248-347-0454 for further information.
27. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
28. A storm water performance guarantee, equal to 1.5 times the amount required to complete storm water management and facilities as specified in the Storm Water Management Ordinance, must be posted at the Treasurer's Office.
29. An incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.
30. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.

Please contact Adam Wayne at (248) 735-5648 with any questions.

A handwritten signature in black ink, appearing to read "Adam Wayne", is written over a horizontal line.

cc: Matt Preisz, Engineering
Brian Coburn, Engineering
Sara Roediger, Community Development Department

TRAFFIC REVIEW

October 17, 2013

Barbara McBeth, AICP
Deputy Director of Community Development
City of Novi
45175 W. Ten Mile Rd.
Novi, MI 48375

**SUBJECT: Varsity Lincoln Display Lot, JSP13-0067,
Traffic Review of Revised Preliminary Site Plan, PSP13-0165**

Dear Ms. McBeth:

At your request, we have reviewed the above and offer the following recommendation and supporting comments.

Recommendation

We recommend approval of the revised preliminary site plan, subject to the issues shown below in **bold** being satisfactorily addressed on the final site plan.

Site Description

What is the applicant proposing, and what are the surrounding land uses and road network?

1. The applicant is proposing to construct a 142-space parking lot adjacent to the existing dealership. While the lot is labeled as a “display lot,” it has – in most but not all respects – been generally designed to accommodate normal parking lot traffic circulation.

Trip Generation

How much new traffic would be generated?

2. We have no basis for predicting an increase in site visitation as a consequence of building the proposed lot.

Vehicular Access Locations

Do the proposed driveway locations meet City spacing standards?

3. Not applicable. Access will be limited to connections to the existing dealership lot and to the Wixom Road driveway primarily serving Sam’s Club and its gas station (see aerial photo).

Vehicular Access Improvements

Will there be any improvements to the abutting road(s) at the proposed access point(s)?

4. In response to our comments of 9-26-13, the existing curb cut on the Sam’s Club drive will be modified to include more appropriate curb return radii.

Access Drive Design and Control

Are the proposed design, pavement markings, and signage satisfactory?

5. Not applicable.

Pedestrian Access

Are pedestrians safely and reasonably accommodated?

6. Not applicable.

Circulation and Parking

Can vehicles safely and conveniently maneuver through the site?

7. Aisle widths and end islands have been adjusted to ensure good vehicle circulation.
8. **A plan note should indicate that the 9-ft width of end parking spaces is referenced to the face (not back) of curb.**
9. **Another plan note should indicate that color of the parking stripes shall be white (as required by the MMUTCD and City policy).**

Sincerely,
CLEARZONING, INC.



Rodney L. Arroyo, AICP
President



William A. Stimpson, P.E.
Director of Traffic Engineering

Attached:
Aerial photo

clearzoning



Proposed New Display Lot for Varsity Lincoln

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

October 14, 2013

Preliminary Landscape Review

Varsity Lincoln Display Lot JSP#13-67

Applicant

Varsity Lincoln

Property Characteristics

- Site Location: Grand River Avenue at Wixom
- Site Zoning: I-1 – Light Industrial District
- Adjoining Zoning: North: B-3; South: I-1, East: I-1; West: B-2
- Current Site Use: Vacant
- School District: Novi Community School District
- Site Size: 1.57 acres
- Plan Date: 10/8/2013

Recommendation

Approval of the Preliminary Site Plan for Varsity Lincoln Display Lot JSP#13-67 is recommended.

Ordinance Considerations

Adjacent to Residential – Buffer (Sec. 2509.3.a.)

1. The project site is not adjacent to residential property.

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Sec. 2509.3.b.)

1. A 3' tall landscape buffer berm is required along the Wixom Road frontage. This requirement has been met.
2. One canopy tree per 40 l.f. is required along the berm area. This requirement has been met.
3. One subcanopy tree per 30 l.f. is required along the frontage of Wixom Road. This requirement has been met.

Street Tree Requirements (Sec. 2509.3.b.)

1. One street tree per 45 l.f. is required along the Wixom Road frontage. This requirement has been met.

Parking Landscape (Sec. 2509.3.c.)

1. Calculations have been provided for the required Parking Lot Landscape Area per Ordinance requirement. The Applicant is required to install a total of 2,813 square feet of Interior Parking Lot Landscape Area. This requirement has been met.
2. Perimeter Parking Lot Canopy Trees are required at one per 35 LF. This requirement has been met.

Building Foundation Landscape (Sec. 2509.3.d.)

1. No alterations are proposed to any site building.

Plant Species Diversity (LDM)

1. The Landscape Design Manual specifies that a diversity of tree species is to be used. This requirement has been met.

Plant List (LDM)

1. The Plant List meets the requirements of the Ordinance and Landscape Design Manual.

Planting Details & Notations (LDM)

1. Planting Details and Notations meet the requirements of the Ordinance and Landscape Design Manual.

Storm Basin Landscape (Sec. 2509.3.e.(4)) & LDM)

1. No basins are proposed or will be affected.

Irrigation (Sec. 2509 3.f.(6)(b))

1. All landscape areas are required to be irrigated.

General

1. A previous submission of the site plan showed that the grading and proposed berms meet the requirements of the ordinance. However, the latest submittal appears to have the contour layers turned off. Please be sure that the contours are shown on subsequent submittals.

Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification. Also see the Woodland and Wetland review comments.



Reviewed by: David R. Beschke, RLA

FIRE REVIEW



September 19, 2013

October 10, 2013

TO: Barbara McBeth, Deputy Director of Community Development

RE: Varsity Lincoln Display Lot

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
Dave Staudt

Terry K. Margolis

Andrew Mutch

Justin Fischer

Wayne Wrobel

Laura Marie Casey

City Manager
Clay J. Pearson

**Director of Public Safety
Chief of Police**
David E. Molloy

Director of EMS/Fire Operations
Jeffery R. Johnson

Assistant Chief of Police
Victor C.M. Lauria

Assistant Chief of Police
Jerrod S. Hart

SP#: PSP13-0149

SP# PSP13-0165

Project Description:

Parking Lot Addition

Comments:

- 1) Parking lot entrances and lanes do not meet turning radius requirements for fire apparatus.
- 2) An unobstructed outside turning radius of 50 feet minimum and an inside turning radius of 30 feet maximum are to be provided at intersections of private or public roadways and cul-de-sacs. (International Fire Code)

Recommendation:

Rejected

Items #1 and #2 corrected 10/10/13 submittal, recommended for approval.

Sincerely,

Joseph Shelton- Fire Marshal
City of Novi – Fire Dept.

Novi Public Safety Administration
45125 W. Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cc: file

APPLICANT RESPONSE LETTER

Response to 10/22/13 Planning Review Comments

Ordinance Requirements

1. Noise Impact Statement

... **The Planning Commission may waive this requirement provided the applicant submits a written statement requesting the waiver and demonstrates a hardship or that the Special Land Use will clearly fall within the noise standards in Section 2519.10.**

This paragraph serves as the formal request of a waiver to the Noise Impact Statement as the proposed Varsity Lincoln Display Lot will not add any noise-generating buildings or equipment and no other measurable noise is expected as a result of this Special Land Use Permit. This development will conform will all sections of the City of Novi Zoning ordinance Section 2519.10

Noise Disturbances.

No activity, operation or use of land, open body of water, buildings or equipment shall make, continue or cause to be made or continue, any noise disturbance or allow to be emitted, sound from any source or combination of sources other than a motor vehicle registered for use on public highways, which when measured in accordance with the procedure described in this section exceeds the sound level limits in Table A, below. The measurements made are to be evaluated under Table A based upon the zoning of the property receiving the emitted sound.

2. Photometric plan

...**The applicant should revise the photometric plan to comply with the requirements noted in the lighting review chart.**

See Response Below:

Lighting Review Chart

Item: Lighting (Sec. 2511)

Exterior lighting plan not provided

Sheet L-3 (Lighting Plan) was provided on 10/8/13 as part of the Preliminary Site Plan approval resubmittal. Note that Item Lighting Plan (Sec. 2511.2.a.2) meets requirements according to Lighting Review Summary Chart.

Item: Required Notes (Sec. 2511.3.b)

All required notes must be indicated on plans.

- Electrical service to light fixtures shall be placed underground

- No flashing light shall be permitted

- Only necessary lighting for security purposes and limited operations shall be permitted after a site's hours of operation

The photometric plan will be updated to include the notes mentioned above.

Item: Required Conditions (Sec. 2511.3.e)

Average light level for the site must be indicated on plans

Parking & Drive Areas are 'surface being lit' and the Average to Lowest ratio is 3.1:1, conforming to City Ordinance: Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1'

3. Sidewalks

...**the Planning Division continues to recommend the applicant install a 5 ft. wide sidewalk along the existing access drive.**

The applicant would prefer not to install a sidewalk along the access drive along the south end of the site.

Response to 10/22/13 Engineering Review Comments

Items 1-22 will be addressed on the Site Plan Stamping Set Submittal
Items 23-30 will be addressed prior to construction

Response to 10/17/13 Traffic Review Comments

Circulation and Parking

8. A plan note should indicate that the 9-ft width of end parking spaces is referenced to the face (not back) of curb.

9. Another plan note should indicate that color of the parking stripes shall be white (as required by the MMUTCD and City policy).

These 2 plan notes will be added to the Site Plan Stamping Set Submittal.

Response to 10/14/13 Landscape Review Comments

General

1. A previous submission of the site plan showed that the grading and proposed berms meet the requirements of the ordinance. However, the latest submittal appears to have the contour layers turned

This information will be visible on the Site Plan Stamping Set Submittal.

Response to 10/10/13 Fire Marshal Review Comments

No response requested.

MAPS
Location
Zoning
Future Land Use
Natural Features

JSP13-67 Varsity Lincoln Display Lot

Location



Map Author: Sara Roediger
Date: 11-1-13
Version #: 1.0

Map Legend

 Subject Property



City of Novi

Planning Division
Community Development
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

MAP INTERPRETATION NOTICE

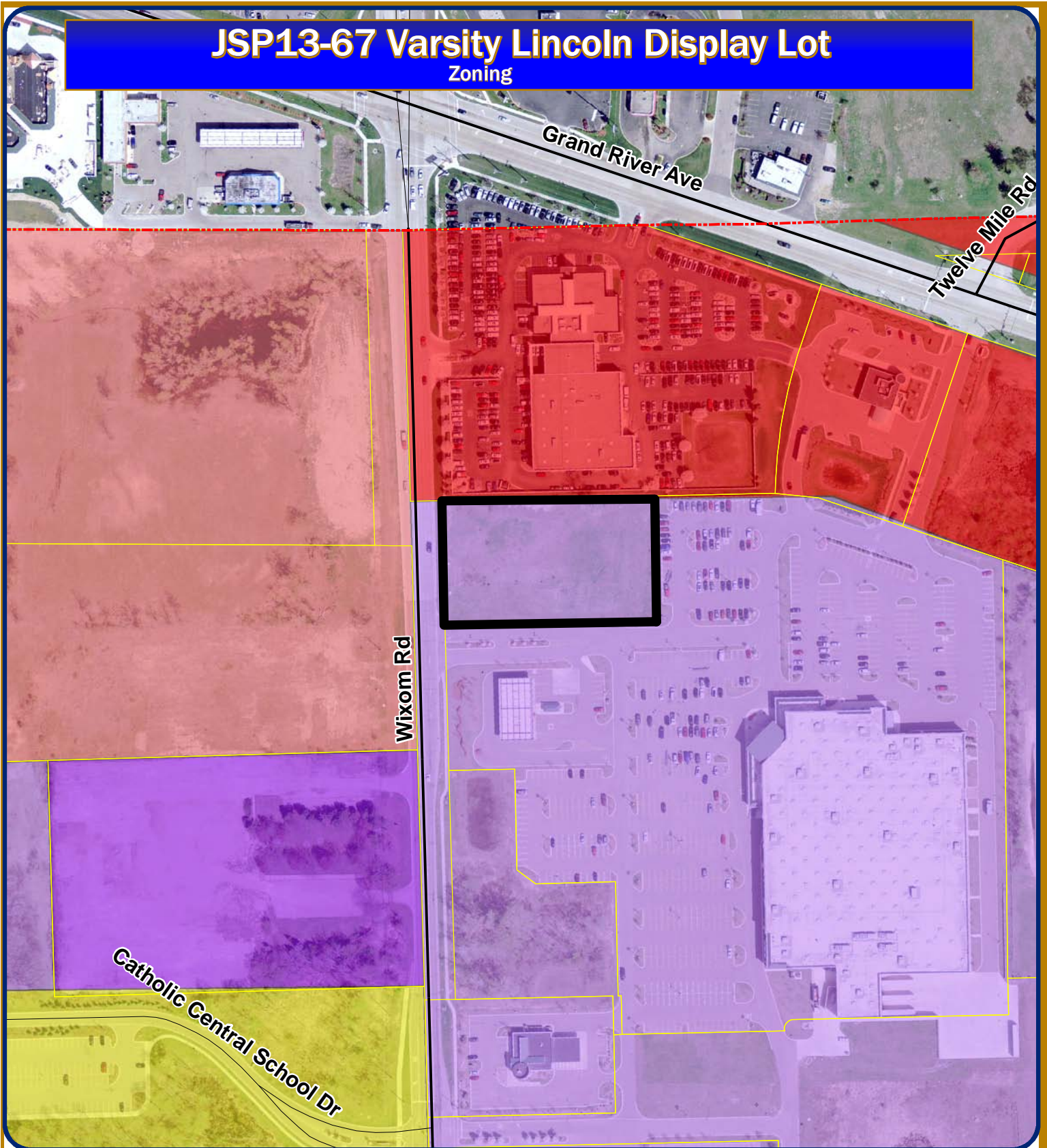
Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.



1 inch = 212 feet

JSP13-67 Varsity Lincoln Display Lot

Zoning









Map Author: Sara Roediger
 Date: 11-1-13
 Version #: 1.0

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Map Legend

-  **Subject Property**
-  **R-1: One-Family Residential District**
-  **B-2: Community Business District**
-  **B-3: General Business District**
-  **I-1: Light Industrial District**
-  **I-2: General Industrial District**



City of Novi

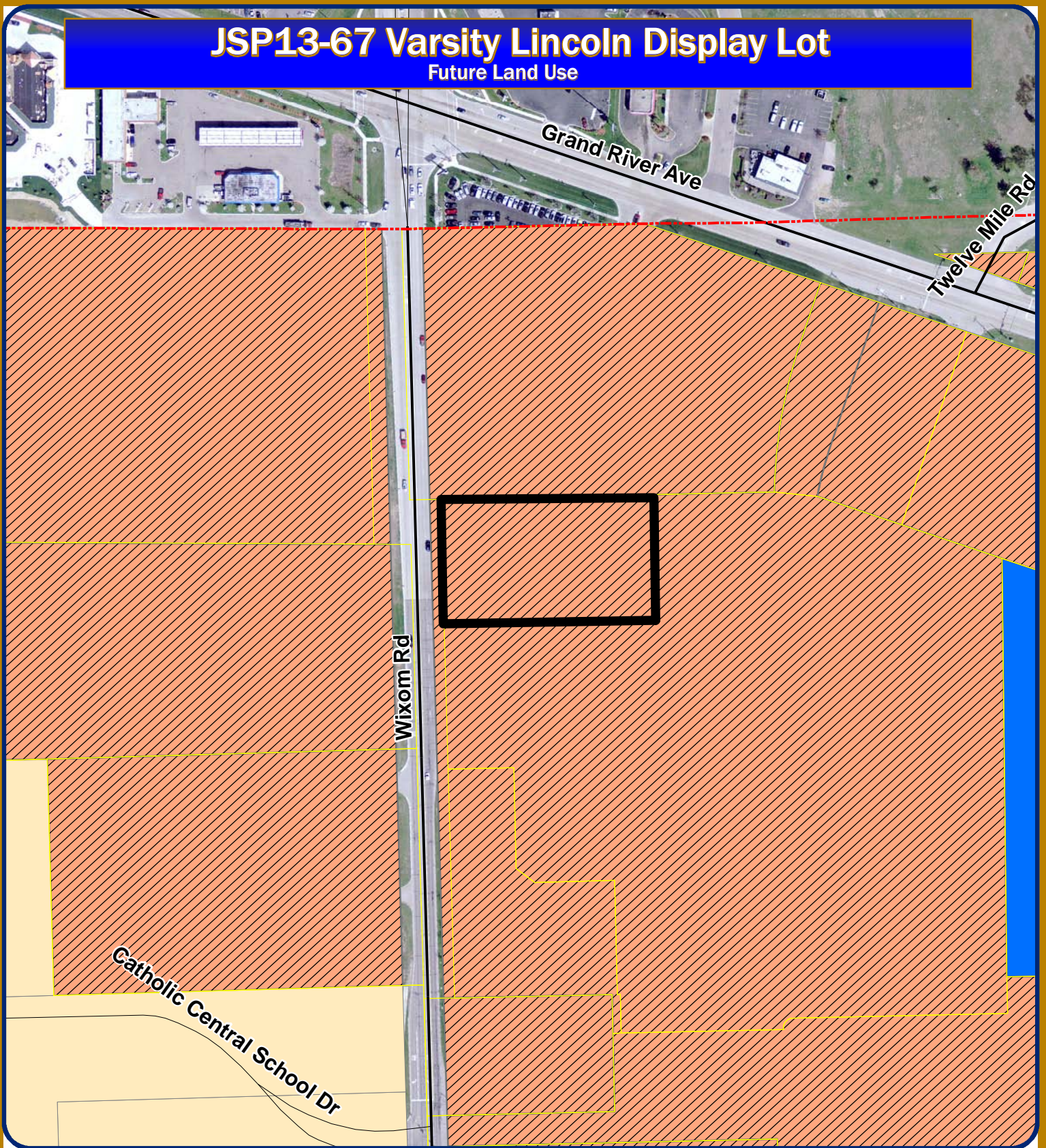
Planning Division
 Community Development
 45175 W Ten Mile Rd
 Novi, MI 48375
cityofnovi.org



1 inch = 212 feet

JSP13-67 Varsity Lincoln Display Lot

Future Land Use







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Map Legend

-  **Subject Property**
-  **Office R&D Technology**
-  **Community Commercial**
-  **Educational Facility**



City of Novi

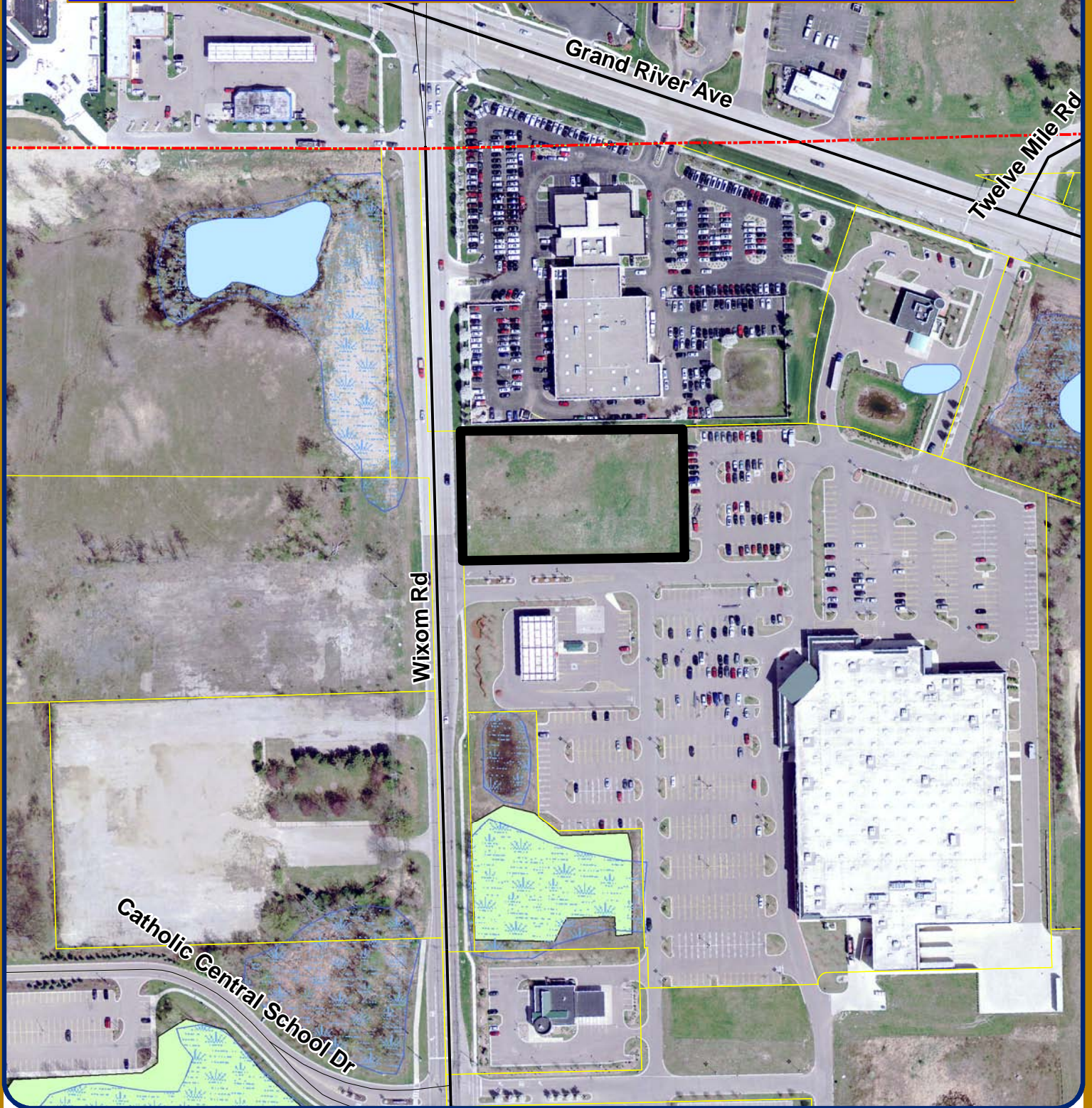
Planning Division
 Community Development
 45175 W Ten Mile Rd
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cityofnovi.org



1 inch = 212 feet

JSP13-67 Varsity Lincoln Display Lot

Natural Features




Map Author: Sara Roediger
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Map Legend

-  **Subject Property**
-  **Lake or Pond**
-  **Wetlands**
-  **Woodlands**



City of Novi

Planning Division
 Community Development
 45175 W Ten Mile Rd
 Novi, MI 48375
cityofnovi.org



1 inch = 212 feet

SITE PLAN

PLANS FOR CONSTRUCTION OF VARSITY LINCOLN DISPLAY LOT

| DATE | DESCRIPTION | BY |
|---------|--------------------------------------|-----|
| 10-2-13 | AGENCY REVISIONS FOR PRELIM APPROVAL | GKI |
| 8-22-13 | PRELIMINARY SITE PLAN SUBMITTAL | GKI |
| | REVISIONS/SUBMITTALS | |

NOTES

GENERAL

- CONTROL BENCHMARK:
City of Novi BM 1711 - "X" on North rim of gateway located 200 feet North of entrance to Sam's Club Gas Station, 36 feet East of centerline of Wixom Road and 3 feet West of sidewalk.
Elevation: 974.2
- BENCHMARK #1:
Chiseled "L" on the West side of Light Pole Base, near midpoint of East line of subject property.
Elevation: 984.36
- The contractor shall call "MISS DIG" at 1-800-482-7171 at least 3 working days (excluding weekends and holidays) prior to construction.
- All work shall be done in accordance with the applicable codes, ordinances, design standards and standard specifications of the following agencies which have the responsibility of reviewing plans and specifications for construction of all items included in these plans:
 - City of Novi
- The contractor shall apply for and obtain all necessary permits as required for construction of this project prior to the beginning of work from the previously mentioned agencies.
- The contractor shall notify the City of Novi a minimum of 24 hours prior to any construction in the road right-of-way of Wixom Road.
- The contractor agrees that in accordance with generally accepted construction practices, the contractor will be required to assume sole responsibility for job site conditions during the course of construction of the project, including the safety of all persons and property. This requirement shall be made to apply continuously and not be limited to normal working hours.
- The locations and dimensions shown on the plans for existing facilities are in accordance with all available information. The engineer does not guarantee the accuracy of this information or that all existing underground facilities are shown.
- When any existing utility requires adjustment or relocation, the contractor shall notify the proper utility company and coordinate the work accordingly. There shall be no claim made by the contractor for any costs caused by delays in construction due to the adjustment or relocation of utilities.
- The contractor is to verify that the plans and specifications that he/she is building from are the very latest plans and specifications that have been approved by all applicable permit-issuing agencies and the owner. All items constructed by the contractor prior to receiving the final approval and permits having to be adjusted or re-done, shall be done at the contractor's expense.
- Should the contractor encounter conflict between these plans and specifications, either among themselves or with the requirements of any and all reviewing and permit-issuing agencies, he/she shall seek clarification in writing from this engineer before commencement of construction. Failure to do so shall be at the sole expense to the contractor.
- Unless otherwise noted the contractor shall furnish as-built drawings indicating all changes and deviations from approved drawings.
- All signs and traffic control measures during construction and maintenance activities shall be constructed and installed per the latest edition of the Michigan Manual of Uniform Traffic Control Devices (M.M.U.T.C.D.).
- LSG Engineers & Surveyors will not be responsible for field design changes made by the contractor or the contractor's surveyor where LSG Engineers & Surveyors has not approved these design changes.

GRADING AND SITE WORK

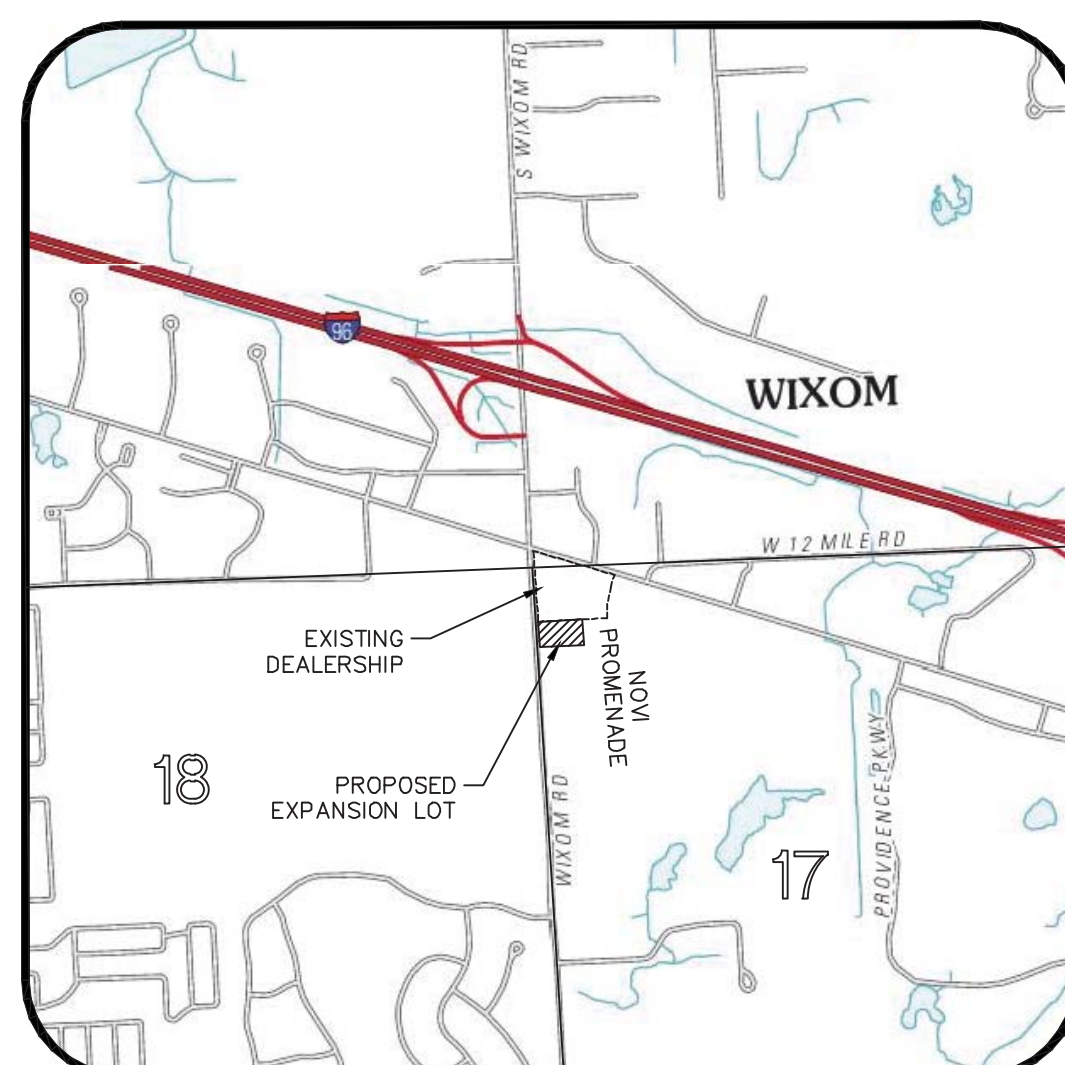
- Prior to grading, cutting and filling the contractor shall remove all topsoil, debris, vegetation, etc. from the site. Acceptable material excavated from the cut areas shall be used for fill. Fill shall be placed in layers not exceeding depths of 12 inches and shall be compacted to 95% of its maximum unit weight.
- The contractor shall proof-roll the existing subgrade to determine its suitability. If, in the opinion of the engineer, the subgrade is unsuitable that portion of the subgrade shall be excavated and replaced with a minimum of 12" M.D.O.T. Class II granular material.
- All site grading must be performed to insure positive drainage across the entire site, throughout the period of construction and after project completion.
- All sedimentation and soil erosion control measures shall be constructed prior to the commencement of site grading and must conform to Part 91 of Act 451 of the Public Acts of 1994 as amended. All applicable permits shall be obtained before implementing these measures. The contractor shall be responsible for maintaining the sedimentation and soil erosion control measures throughout

construction.

STORM DRAINAGE SYSTEM

- Unless otherwise noted all storm drain pipe shall be ASTM C-76 Class III or better, with premium joints. All storm drain with less than 3 feet of cover below paved areas shall be ASTM C-76 Class IV, with premium joints.
- All storm drain service leads shall be 4" minimum Schedule 40 or SDR-35 unless otherwise noted on these plans.
- All storm drain manholes and catch basins shall conform to the City of Novi Standard Details included in these plans.
- All storm drain below paved areas shall be backfilled with 100% granular material (or approved other) and compacted to 95% of its maximum unit weight (see typical trench details included in these plans).
- All frames and covers on drainage structures shall be non-rocking, made of heavy duty cast iron and shall conform to the Storm Drain Details on sheet C5.0.
- All rim elevations in outlawn areas are approximate only and shall be adjusted by the contractor after final grades are established.
- See Storm Drain Details on sheet C5.0.

WIXOM ROAD
NOVI, MI
T1N, R8E, SEC. 17



LOCATION MAP

SCALE: 1" = 1500'

LEGEND

| | |
|-----------------------------|-----------------------------------|
| (E) SPOT ELEVATION | (P) SPOT ELEVATION |
| (E) 1' CONTOURS | (P) 1' CONTOUR |
| (E) 5' CONTOURS | (P) 5' CONTOUR |
| (E) GAS LINE | (P) GAS LINE |
| (E) TELEPHONE LINE | (P) TELEPHONE LINE |
| (E) ELECTRIC LINE | (P) ELECTRIC LINE |
| (E) STORM DRAIN | (P) STORM DRAIN |
| (E) SANITARY SEWER | (P) SANITARY SEWER |
| (E) WATER MAIN | (P) WATER MAIN |
| (E) CHAIN LINK FENCE | (P) CHAIN LINK FENCE |
| (E) WOOD FENCE | (P) WOOD FENCE |
| (E) WATER WELL | (P) GUARD RAIL |
| (E) FIRE HYDRANT | (P) FIRE HYDRANT ASSEMBLY |
| (E) WATER VALVE | (P) WATER MAIN VALVE |
| (E) SANITARY MANHOLE | (P) WATER MAIN BEND |
| (E) STORM MANHOLE | (P) WATER MAIN REDUCER |
| (E) CATCHBASIN | (P) CURB INLET |
| (E) CULVERT | (P) CATCH BASIN |
| (E) LIGHT POLE | (P) TRENCH DRAIN |
| (E) UTILITY POLE | (P) FLARED END SECTION |
| (E) SIGN | (P) MANHOLE |
| (E) MAILBOX | (P) LIGHT POLE |
| (E) CONIFEROUS TREE | (P) SANITARY SEWER CLEANOUT |
| (E) DECIDUOUS TREE | (P) UTILITY CROSSING |
| (P) SIDE SLOPE | (P) BUILDING WALLPACK |
| (P) DRAINAGE SWALE | (P) SIGN |
| (P) DRAINAGE FLOW ARROW | (P) PARKING COUNT |
| (P) RIP RAP | (P) HANDICAP PARKING |
| LOW POINT | (P) HANDICAP VAN ACCESSIBLE |
| HIGH POINT | (P) TRAFFIC FLOW |
| FINISH FLOOR | (P) MODIFIED CURB & GUTTER |
| BENCHMARK | (P) REGULAR CURB & GUTTER |
| WATER SURFACE | (P) SCREEN WALL OR RETAINING WALL |
| GRADE BREAK | |
| (P) HEAVY DUTY ASPHALT AREA | |
| (P) LIGHT DUTY ASPHALT AREA | |
| (P) CONCRETE SURFACE | |
| (P) AGGREGATE SURFACE | |
| (P) DRAINAGE BASIN BOUNDARY | |
| (P) BASIN DESIGNATION | |
| (P) BASIN AREA IN ACRES | |

NOTE:
(E) - INDICATES EXISTING
(P) - INDICATES PROPOSED

E-1a
2.52

LANDSCAPE PLAN
CITY OF NOVI TYPICAL PLANTING DETAILS
PHOTOMETRIC LIGHTING PLAN

PRELIM. SITE PLAN
FINAL SITE PLAN
STAMPED SET

INDEX

| | | | | | |
|-------------------------------------|--------------------------|--------------------------|--------------------------|------|---------------------------------------|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | C | COVER |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | C1.0 | TOPOGRAPHIC SURVEY |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | C2.0 | SITE LAYOUT |
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| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | C5.0 | CITY OF NOVI STORM SEWER DETAILS |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | L-1 | LANDSCAPE PLAN |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | L-2 | CITY OF NOVI TYPICAL PLANTING DETAILS |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | L-3 | PHOTOMETRIC LIGHTING PLAN |

SITE INFORMATION

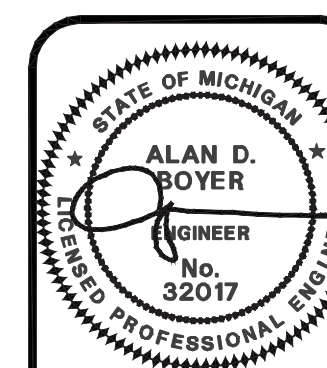
| | |
|--------------|---|
| PARCEL | 50-22-17-101-029 1.57± ACRES 68,509± SQ. FT. |
| OWNER | 886 MILL STREET, LLC P.O. BOX 701218 PLYMOUTH, MI 48170 |
| APPLICANT | VARSITY LINCOLN PROPERTIES, LLC P.O. BOX 633 NOVI, MI 48376 |
| LOT COVERAGE | 49,108± SQ. FT. (PAV'T - INCL. CURB & GUTTER) 71.7% |
| PARKING | REQUIRED - NONE PROVIDED - 142 (INCL. VEHICLE DISPLAY) |

PREPARED FOR:

VARSITY LINCOLN
PROPERTIES, LLC
P.O. BOX 633
NOVI, MI 48376

LSG
Engineers
& Surveyors

3135 PINE TREE ROAD
SUITE D
LANSING, MI 48911
PH. (517) 393-2902
FAX (517) 393-2608
www.lsg-es.com



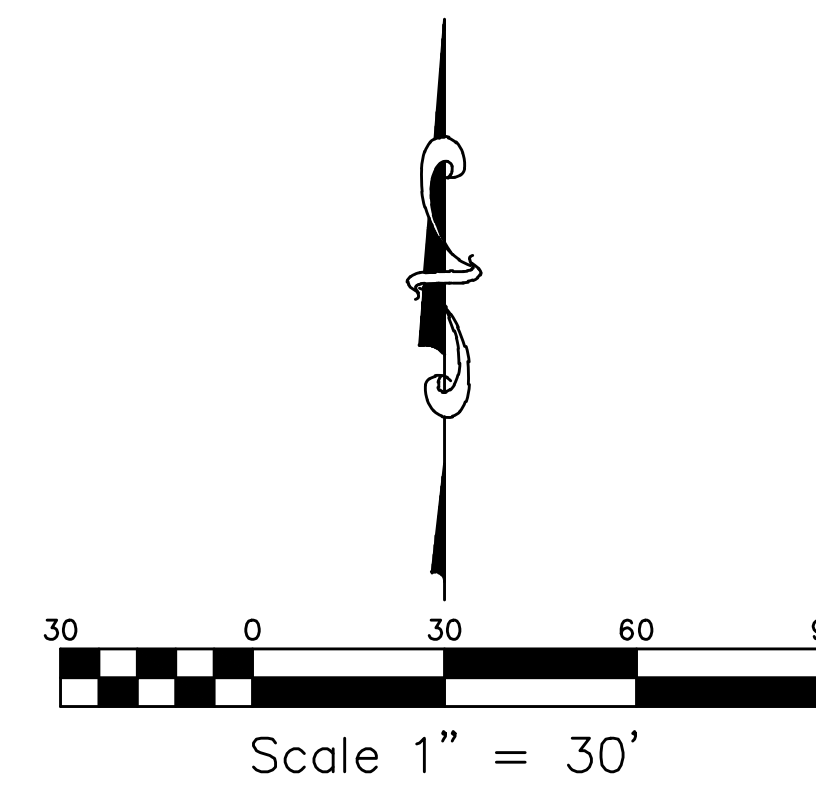
DATE: 8-22-13
PROJECT NO.: 1404
SHEET NO.: C

LEGAL DESCRIPTION: (PER ASSESSING RECORDS)

CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, T1N, R8E, SEC 17, PART OF NW 1/4, BEG AT PT DIST S 00-19-49 E 440 FT & N 90-00-00 E 50 FROM NW SEC COR, TH N 90-00-00 E 343.13 FT, TH S00-00-00 E 200 FT, TH S 90-00-00 W 341.97 FT, TH N 00-19-49 W 200 FT TO BEG 1.57 A 4-27-05 FR 027 SPLIT ON 07/06/2005 FROM 50-22-17-101-027;

GENERAL NOTES:

- 1) Bearings are based upon the West line of Section 17 as being S04°06'11"E per state plane coordinates.
- 2) By graphic plotting only, this property is in Zone(e) X of the Flood Insurance Rate Map, Community Panel No. 26125C0606E, which bears an effective date of 9/29/2006 and is not in a Special Flood Hazard Area.
- 3) A certified boundary survey has not been performed by this office. The relationship of features to the parcel boundaries are approximate.
- 4) A current Title Commitment and Schedule B Section II Supportive Documentation has not been furnished. The affect of easements upon this parcel, other than indicated, are unknown.



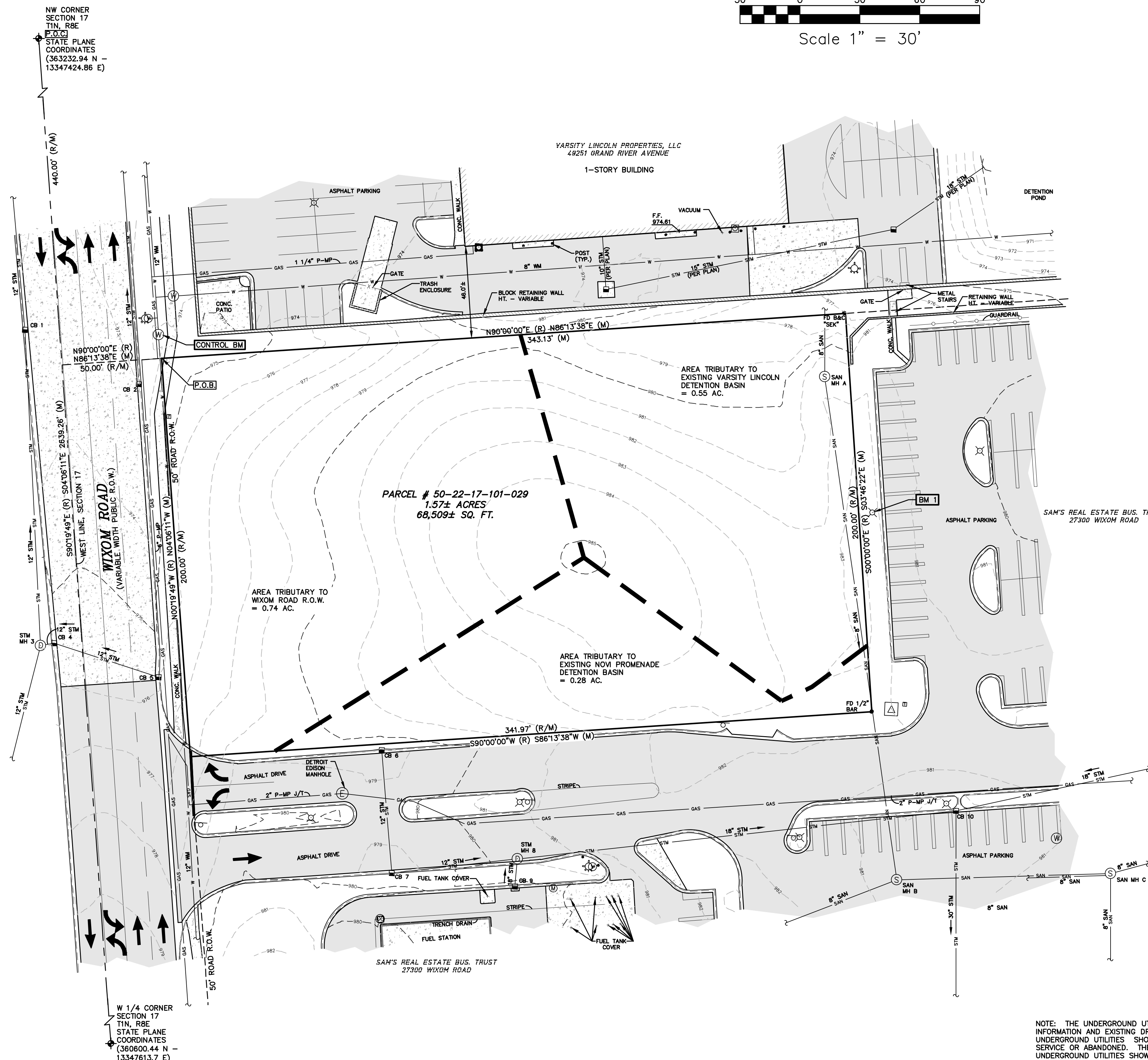
BENCHMARKS:

Control BM
City of Novi BM 1711 - "X" on North rim of gateway located 200 feet North of entrance to Sam's Club Gas Station, 36 feet East of centerline of Wixom Road and 3 feet West of sidewalk.
Elevation: 974.22

BM 1 - Chiseled "□" on the West side of Light Pole Base, near midpoint of East line of subject property.
Elevation: 984.36

STRUCTURE INVENTORY:

| STORM SEWER | SANITARY SEWER |
|---|--|
| CB 1 RIM ELEVATION: 973.10 N 12" CONC. - 967.74 S 12" PVC. - 967.74 | SAN MH A RIM ELEVATION: 981.67 N 8" PVC - 971.42 S 8" PVC - 971.32 |
| CB 2 RIM ELEVATION: 972.93 N 12" CONC. - 968.21 | SAN MH B RIM ELEVATION: 980.65 N 8" PVC - 970.33 E 8" PVC - 970.33 SW 8" PVC - 970.33 |
| STM MH 3 RIM ELEVATION: 975.96 N 12" CONC. - 970.26 E 12" CONC. - 970.31 SW 12" CMP - 972.63 | SAN MH C RIM ELEVATION: 981.98 NE 8" PVC - 961.15 S 8" PVC - 961.15 W 8" PVC - 961.23 W 8" PVC - 971.20 |
| CB 4 RIM ELEVATION: 975.47 SE 12" CONC. - 970.37 W 12" CONC. - 970.37 | |
| CB 5 RIM ELEVATION: 975.43 NW 12" CONC. - 970.88 | |
| CB 6 RIM ELEVATION: 978.50 S 12" CONC. - 974.51 | |
| CB 7 RIM ELEVATION: 978.42 N 12" CONC. - 974.51 E 12" CONC. - 974.51 | |
| STM MH 8 RIM ELEVATION: 980.39 W 12" CONC. - 974.47 S 18" CONC. - 974.03 E 18" CONC. - 974.03 | |
| CB 9 RIM ELEVATION: 979.31 N 18" CONC. - 974.16 | |
| CB 10 RIM ELEVATION: 980.17 W 18" CONC. - 972.97 E 18" CONC. - 972.96 S 30" CONC. - 972.67 | |



LEGEND:

| | |
|----------|--------------------------|
| (Symbol) | (Description) |
| (Symbol) | STORM MANHOLE |
| (Symbol) | CATCHBASIN |
| (Symbol) | STORM LINE |
| (Symbol) | SANITARY MANHOLE |
| (Symbol) | SANITARY CLEANOUT |
| (Symbol) | SANITARY LINE |
| (Symbol) | ELECTRIC MANHOLE |
| (Symbol) | UTILITY POLE |
| (Symbol) | GUY WIRE |
| (Symbol) | OVERHEAD UTILITY LINE |
| (Symbol) | UNDERGROUND UTILITY LINE |
| (Symbol) | TRANSFORMER |
| (Symbol) | AC-UNT |
| (Symbol) | TELEPHONE MANHOLE |
| (Symbol) | ROOF DRAIN |
| (Symbol) | TELEPHONE PEDESTAL |
| (Symbol) | ELECTRIC PEDESTAL |
| (Symbol) | ELECTRIC METER |
| (Symbol) | LIGHT POLE |
| (Symbol) | SIGN |
| (Symbol) | MONUMENT SIGN |
| (Symbol) | WATER MANHOLE |
| (Symbol) | WATER METER |
| (Symbol) | WATER LINE |
| (Symbol) | WATER VALVE |
| (Symbol) | FIRE HYDRANT |
| (Symbol) | MONITORING WELL |
| (Symbol) | GAS METER |
| (Symbol) | GAS VALVE |
| (Symbol) | GAS LINE |
| (Symbol) | FENCE LINE |
| (Symbol) | DECIDUOUS TREE |
| (Symbol) | CONIFEROUS TREE |
| (Symbol) | CLUB AND GUTTER |
| (Symbol) | TREE LINE |
| (Symbol) | SET IRON & CAP #31603 |
| (Symbol) | FOUND IRON AS NOTED |
| (Symbol) | SECTION CORNER |
| (Symbol) | DISTANCE NOT TO SCALE |
| (Symbol) | YARDBASIN |
| (Symbol) | POST INDICATOR VALVE |
| (Symbol) | WALL HYDRANT |
| (Symbol) | MAIL BOX |
| (Symbol) | SATELLITE DISH |
| (Symbol) | ASPHALT |
| (Symbol) | CONCRETE |
| (Symbol) | RECORDED |
| (Symbol) | MEASURED |

NOTE: THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN ANY STRUCTURE INVENTORY SHOWN HEREON.

MISS DIG

3 WORKING DAYS
BEFORE YOU DIG
OR DRILL CALL
1-800-482-7171
(TOLL FREE)

| | |
|----------------|----------|
| FILE | C1-0.dwg |
| FIELD WORK | DT / JL |
| DRAWN BY | JML |
| CHECKED BY | DKR |
| DATE OF SURVEY | 7-30-13 |
| SCALE | 1" = 30' |
| HOR. | N/A |
| VERT. | N/A |
| PROJECT NO. | 1404 |
| SHEET NO. | C1.0 |

FILE: L:\1404 (VARSITY LINCOLN)\C16 PLANS\C1-0.DWG - PLOT DATE: 10/23/2013 4:18 PM BY: Gregory Lomlin SCALE: 1:1

| | | |
|---------|---------------------------------|-----|
| DATE | DESCRIPTION | BY |
| 8-22-13 | PRELIMINARY SITE PLAN SUBMITTAL | DKR |
| | REVISIONS/SUBMITTALS | |

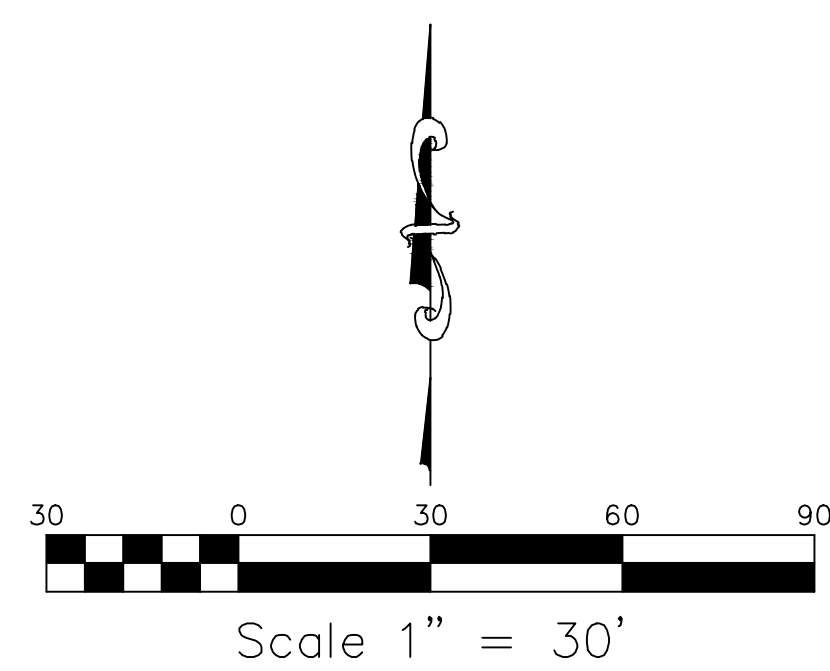
LSG
Engineers & Surveyors

3135 PINE TREE ROAD
SUITE D
LANSING, MI 48911
PH. (517) 393-2902
FAX (517) 393-2608
www.lsg-es.com

PREPARED FOR:
VARSITY LINCOLN PROPERTIES, LLC
P.O. BOX 633
NOVI, MICHIGAN 48376

TOPOGRAPHIC SURVEY
FOR
VARSITY LINCOLN DISPLAY LOT
WIXOM ROAD
NOVI, MI
T1N, R8E, SEC. 17

NOTE: THE OWNER PROPOSES TO USE THE DISPLAY LOT FOR THE EXCLUSIVE SALE OF AUTOMOBILES. NO MAJOR REPAIR OR MAJOR REFINISHING SHALL BE PERFORMED ON THE LOT.



| | | |
|----------|--------------------------------------|-----|
| DATE | DESCRIPTION | BY |
| 10-22-13 | AGENCY REVISIONS FOR PRELIM APPROVAL | DKL |
| 8-22-13 | PRELIMINARY SITE PLAN SUBMITTAL | DKL |
| | | |

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& Surveyors

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LANSING, MI 48911
PH. (517) 393-2902
FAX (517) 393-2608
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PREPARED FOR:
VARSITY LINCOLN PROPERTIES, LLC
P.O. BOX 633
NOVI, MI 48376

SITE LAYOUT FOR
VARSITY LINCOLN DISPLAY LOT
WIXOM ROAD
NOVI, MI
TIN, R&E, SEC. 17

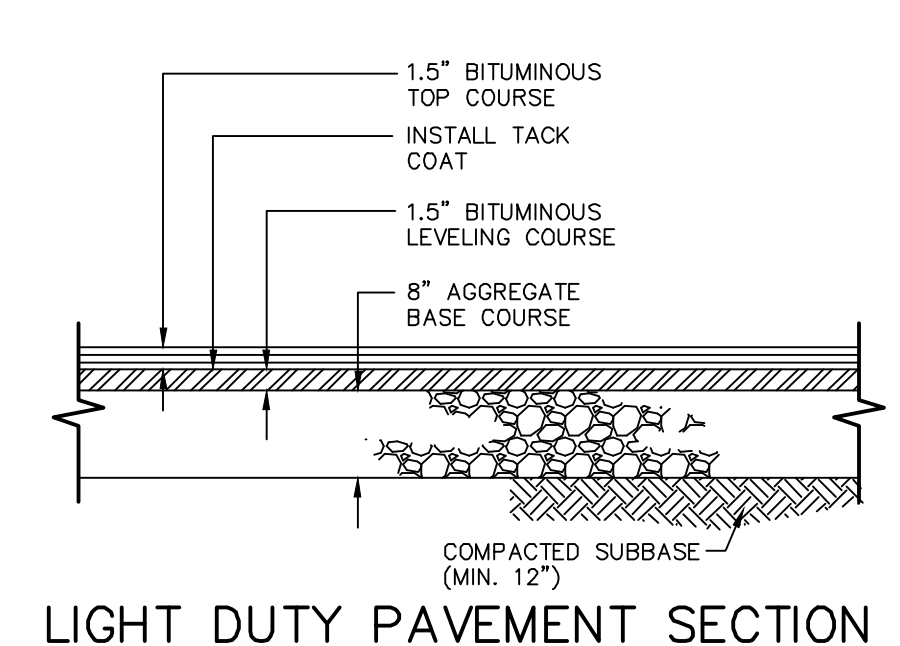
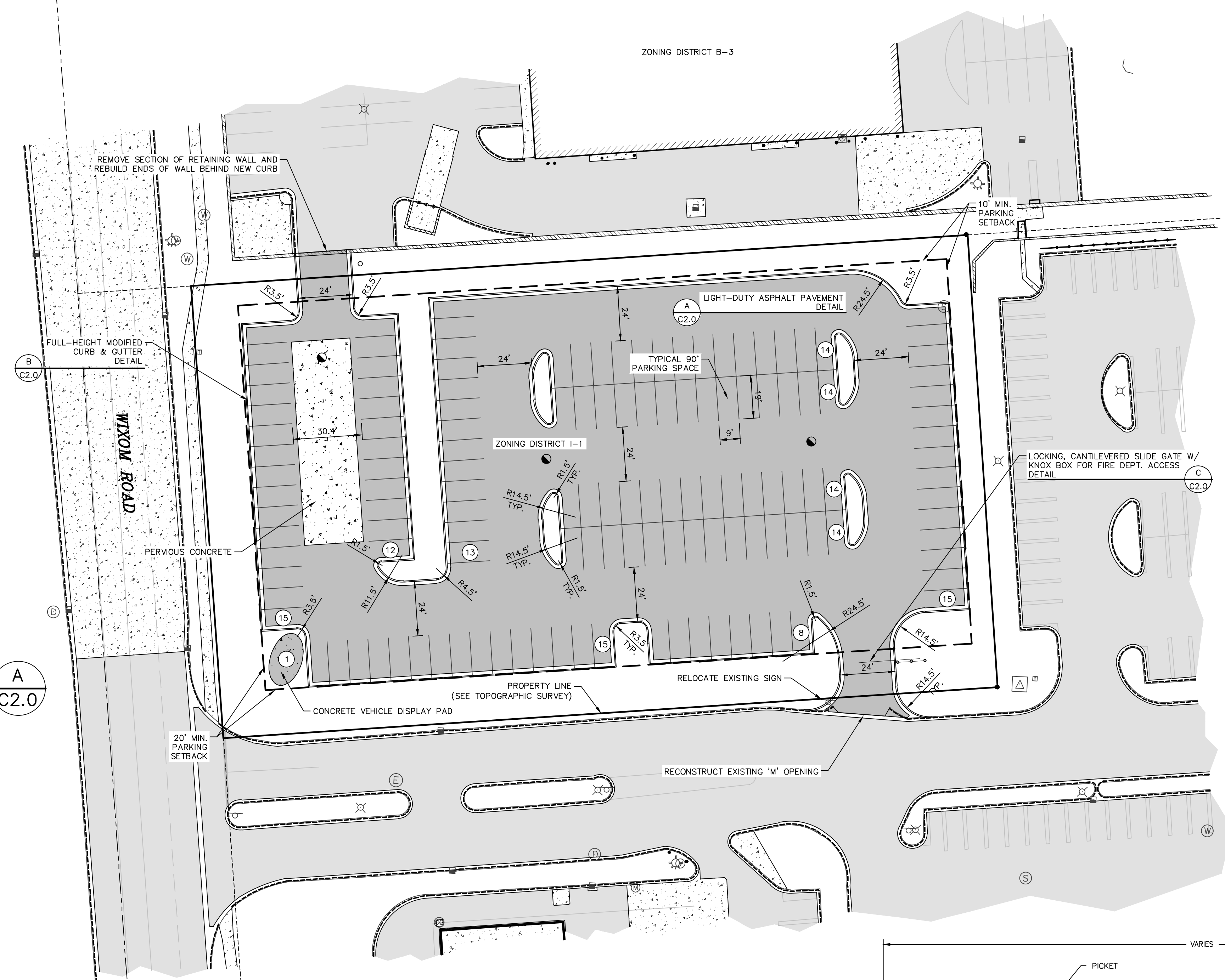
| | |
|-------------|----------|
| FILE | C2-0.DWG |
| DESIGNED BY | GKL |
| DRAWN BY | GKL |
| CHECKED BY | ADB |
| DATE | 8-22-13 |
| SCALE | 1" = 30' |
| HOR. | N/A |
| VERT. | N/A |
| PROJECT NO. | 1404 |
| SHEET NO. | C2.0 |

BENCHMARKS:

Control BM
City of Novi BM 1711 - "X" on North rim of gateway located 200 feet North of entrance to Sam's Club Gas Station, 36 feet East of centerline of Wixom Road and 3 feet West of sidewalk.
Elevation: 974.22

BM 1 -
Chiseled "□" on the West side of Light Pole Base, near midpoint of East line of subject property.
Elevation: 984.36

1. THE CONTRACTOR SHALL CALL "MISS DIG" AT 1-800-482-7171 AT LEAST THREE (3) WORKING DAYS (EXCLUDING WEEKENDS AND HOLIDAYS) PRIOR TO CONSTRUCTION.
2. LSG ENGINEERS & SURVEYORS WILL NOT BE RESPONSIBLE FOR FIELD DESIGN CHANGES MADE BY THE CONTRACTOR OR THE CONTRACTOR'S SURVEYOR WHERE THESE DESIGN CHANGES HAVE NOT BEEN APPROVED BY LSG ENGINEERS & SURVEYORS.
3. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO THE BACK OF CURB.

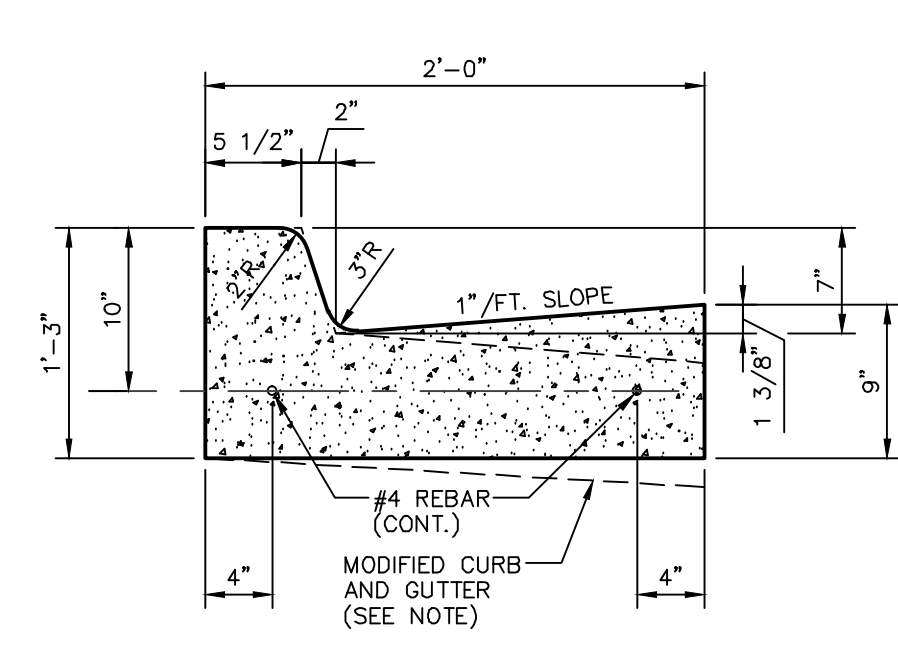


LIGHT DUTY PAVEMENT SECTION

MATERIAL TYPES
BIT. TOP COURSE NO. 13A TOP
BIT. LEVELING COURSE NO. 13A LEVELING
AGG. BASE COURSE 21AA
ALL MATERIAL DESIGNATIONS REFER TO M.D.O.T. STANDARD SPECIFICATIONS FOR CONSTRUCTION, 2012 EDITION

SITE PAVEMENT SECTION

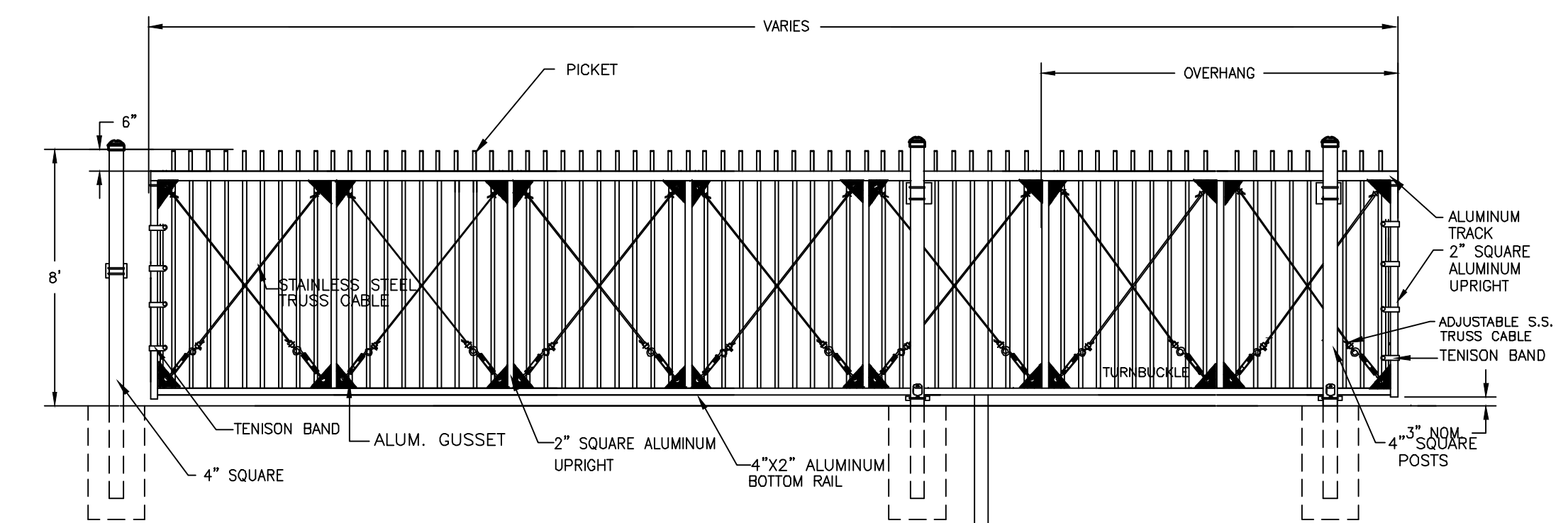
- CONTRACTION AND EXPANSION JOINT NOTES:**
1. PLACE 1" FIBER JOINT FILLER AT 40' MAXIMUM INTERVALS OR AT ALL CONSTRUCTION JOINTS.
 2. PLACE 1" FIBER JOINT FILLER AT SPRING POINTS OF CURB RETURNS. (AND INTERSECTING STREETS)
 3. PLACE CONTRACTION JOINTS AT 40' MAXIMUM INTERVALS. (NO SAW CUT JOINTS ALLOWED)



NOTE: MODIFIED CURB AND GUTTER SHALL BE THE SAME DETAIL BUT THE GUTTER SHALL SLOPE AWAY FROM THE CURB FACE @ 1"/FT.

M.D.O.T. C-4

CURB & GUTTER DETAIL



NOTE: GATE MAY BE SINGLE OR DOUBLE (WITH OVERHANG ON BOTH SIDES OF DRIVEWAY OPENING)

CANTILEVERED SLIDE GATE

MISS DIG

3 WORKING DAYS BEFORE YOU DIG OR DRILL
CALL 1-800-482-7171 (TOLL FREE)

FILE: L:\1404 (VARSITY LINCOLN)\C\6 PLANS\C2-0.DWG - PLOT DATE: 10/3/2013 4:18 PM BY: Gregory Larkin SCALE: 1:1

| | | |
|---------|--------------------------------------|---------------------------|
| 10-2-13 | AGENCY REVISIONS FOR PRELIM APPROVAL | DRL |
| 8-22-13 | PRELIMINARY SITE PLAN SUBMITTAL | DRL |
| | DATE | DESCRIPTION |
| | | REVISED(S) / SUBMITTED(S) |

LSG
Engineers
& Surveyors

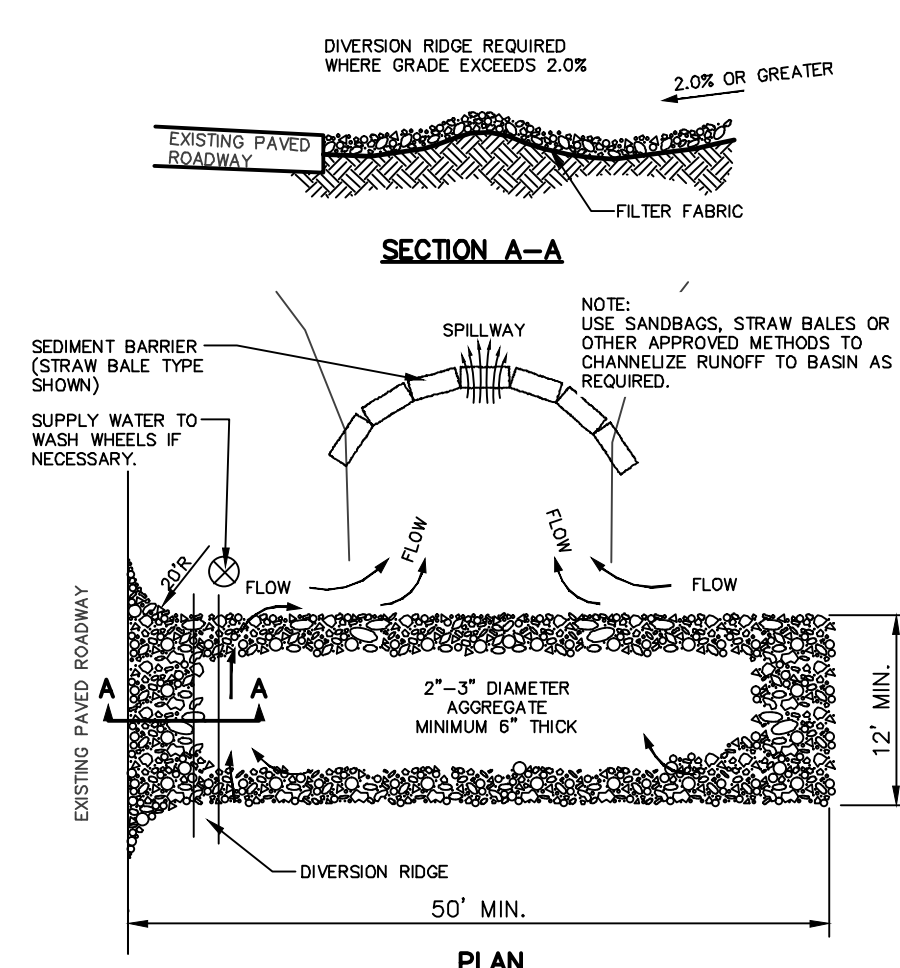
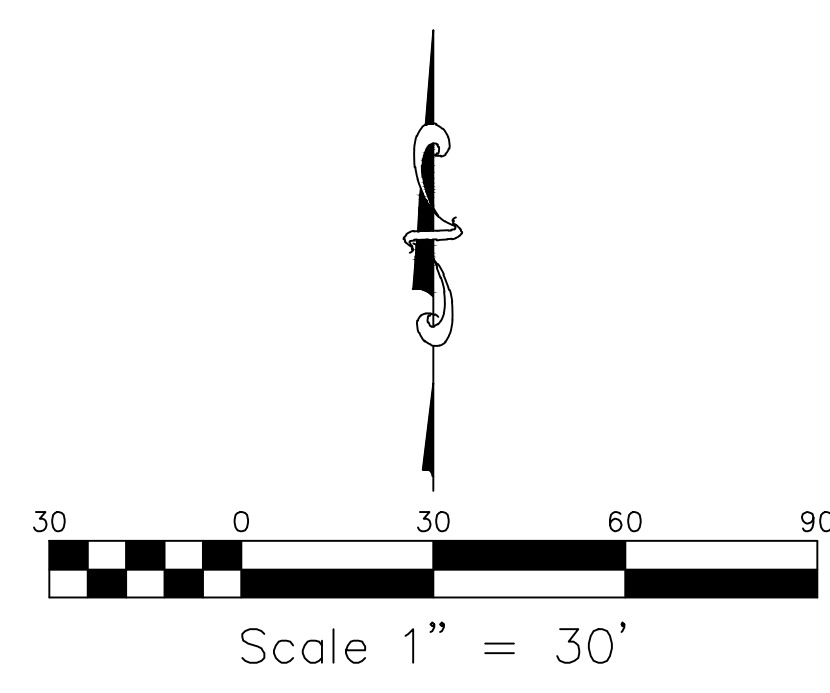
3135 PINE TREE ROAD
SUITE D
LANSING, MI 48911
PH. (517) 393-2902
FAX (517) 393-2608
www.lsg-es.com

PREPARED FOR:
**VARSITY LINCOLN
PROPERTIES, LLC**
P.O. BOX 633
NOVI, MI 48376

GRADING AND SOIL EROSION CONTROL PLAN
FOR
VARSITY LINCOLN DISPLAY LOT
WIXOM ROAD
NOVI, MI
TIN, R8E, SEC. 17

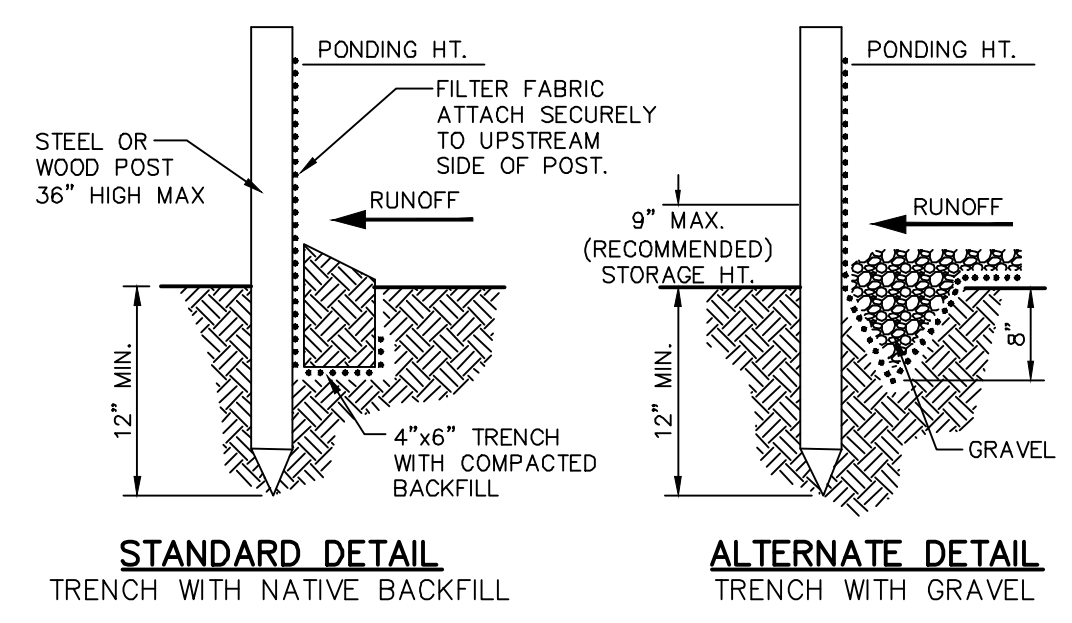
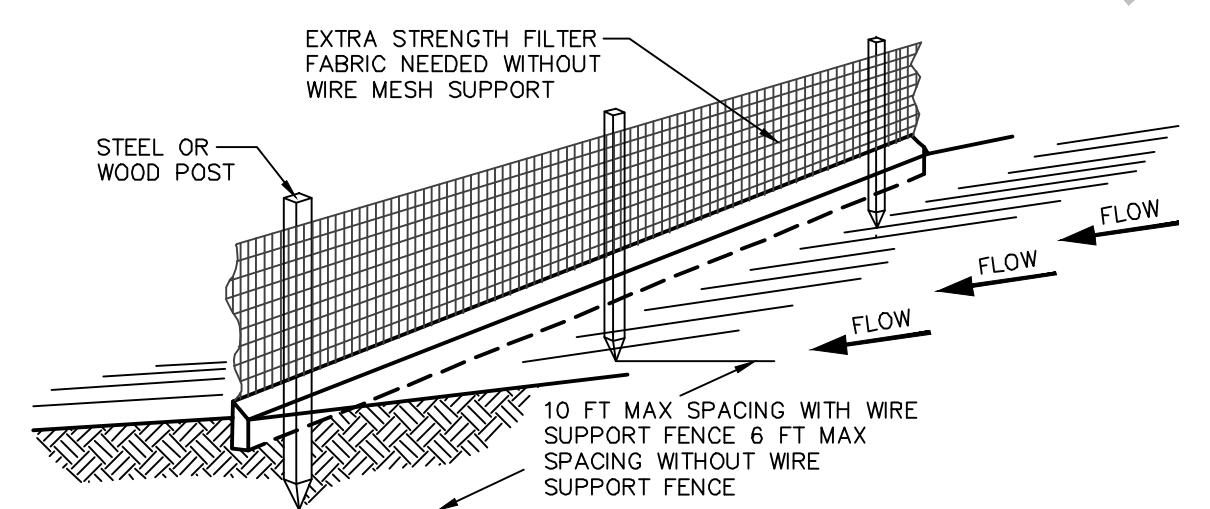
| | |
|-------------|----------|
| FILE | C3-0.DWG |
| DESIGNED BY | GKL |
| DRAWN BY | GKL |
| CHECKED BY | ADB |
| DATE | 8-22-13 |
| SCALE | |
| HOR. | 1" = 30' |
| VERT. | N/A |
| PROJECT NO. | 1404 |
| SHEET NO. | C3.0 |

USDA SOIL TYPES:
10B - MARLETTE SANDY LOAM, 1 TO 6 PERCENT SLOPES
11B - CAPAC SANDY LOAM, 0 TO 4 PERCENT SLOPES
*Soil data researched using NRCS Web Soil Survey
July 23, 2013



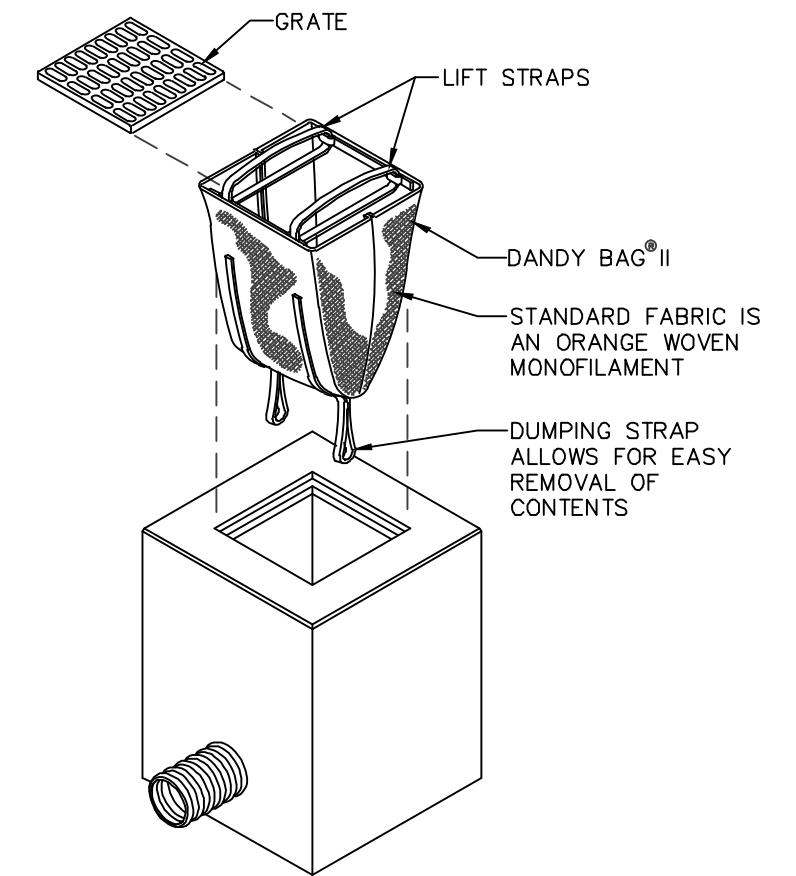
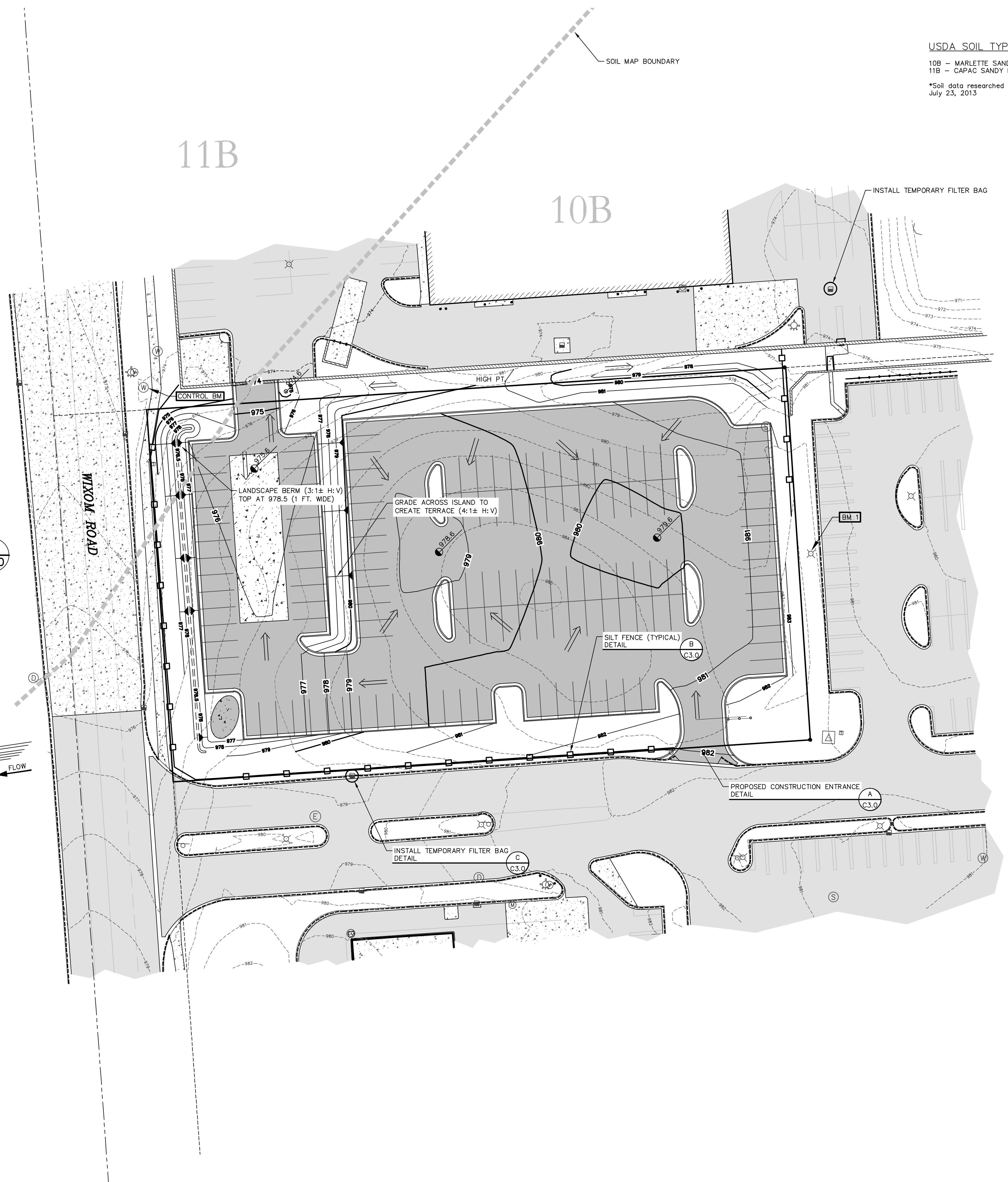
- NOTES:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

**TEMPORARY GRAVEL
CONSTRUCTION ENTRANCE/EXIT** (A)
C3.0



- NOTES:**
1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

SILT FENCE (B)
C3.0



DANDY BAG® II (C)
C3.0
INSTALLATION AND
MAINTENANCE GUIDELINES

MISS DIG
3 WORKING DAYS
BEFORE YOU DIG
OR DRILL
CALL
1-800-482-7171
(TOLL FREE)

FILE: L:\1404 (VARSITY LINCOLN)\C3.0 PLANS\C3-0.DWG - PLOT DATE: 10/3/2013 4:25 PM BY: Gregory Lomkin SCALE: 1:1

| | | |
|----------|--------------------------------------|-----|
| DATE | DESCRIPTION | BY |
| 10-22-13 | PRELIMINARY SITE PLAN SUBMITTAL | DKL |
| 8-22-13 | PRELIMINARY SITE PLAN SUBMITTAL | DKL |
| | AGENCY REVISIONS FOR PRELIM APPROVAL | DKL |
| | REFUSION(S) / SUBMITTAL(S) | |

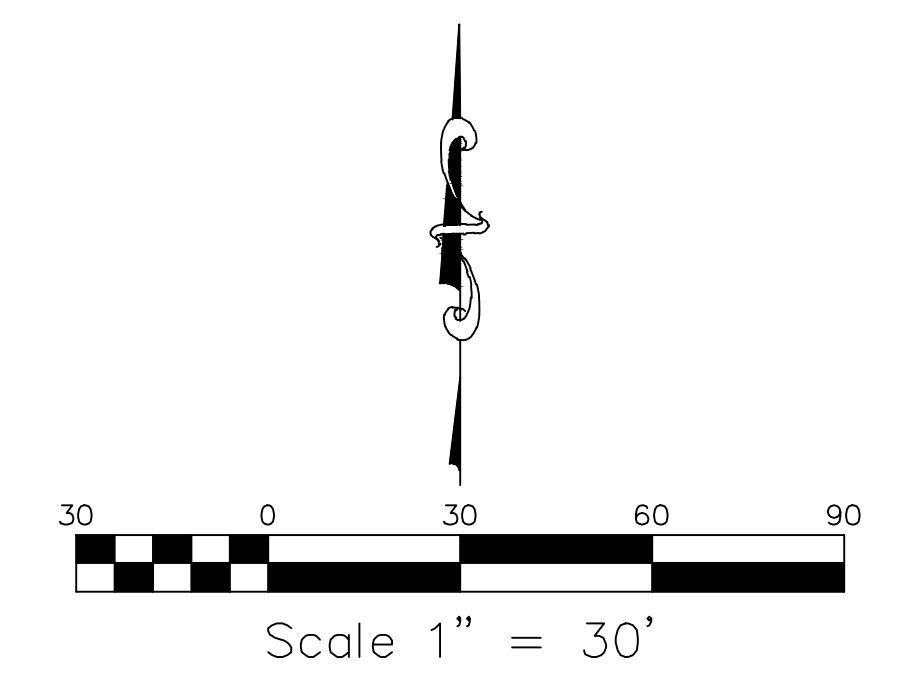
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Engineers
& Surveyors

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SUITE D
LANSING, MI 48911
PH. (517) 393-2902
FAX (517) 393-2608
www.lsg-es.com

PREPARED FOR:
**VARSITY LINCOLN
PROPERTIES, LLC**
P.O. BOX 633
NOVI, MI 48376

SITE UTILITIES
FOR
VARSITY LINCOLN DISPLAY LOT
WIXOM ROAD
NOVI, MI
TIN, R8E, SEC. 17

| | |
|-------------|----------|
| FILE | C4-0.DWG |
| DESIGNED BY | GKL |
| DRAWN BY | GKL |
| CHECKED BY | ADB |
| DATE | 8-22-13 |
| SCALE | 1" = 30' |
| HOR. | N/A |
| VERT. | N/A |
| PROJECT NO. | 1404 |
| SHEET NO. | C4.0 |



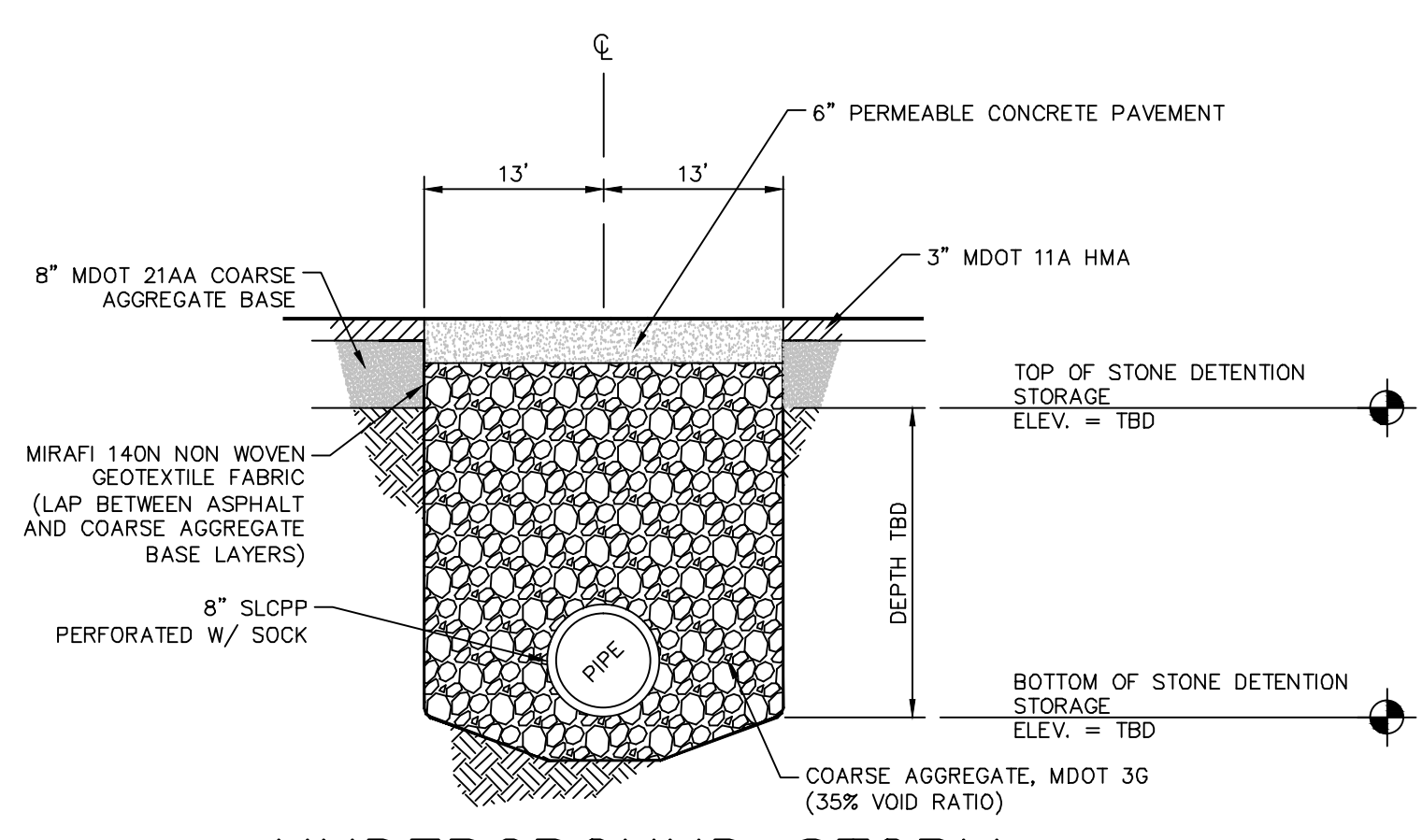
BENCHMARKS:

Control BM
City of Novi BM 1711 - "X" on North rim of
gatewell located 200 feet North of entrance to
Sam's Club Gas Station, 36 feet East of
centerline of Wixom Road and 3 feet West of
sidewalk.
Elevation: 974.22

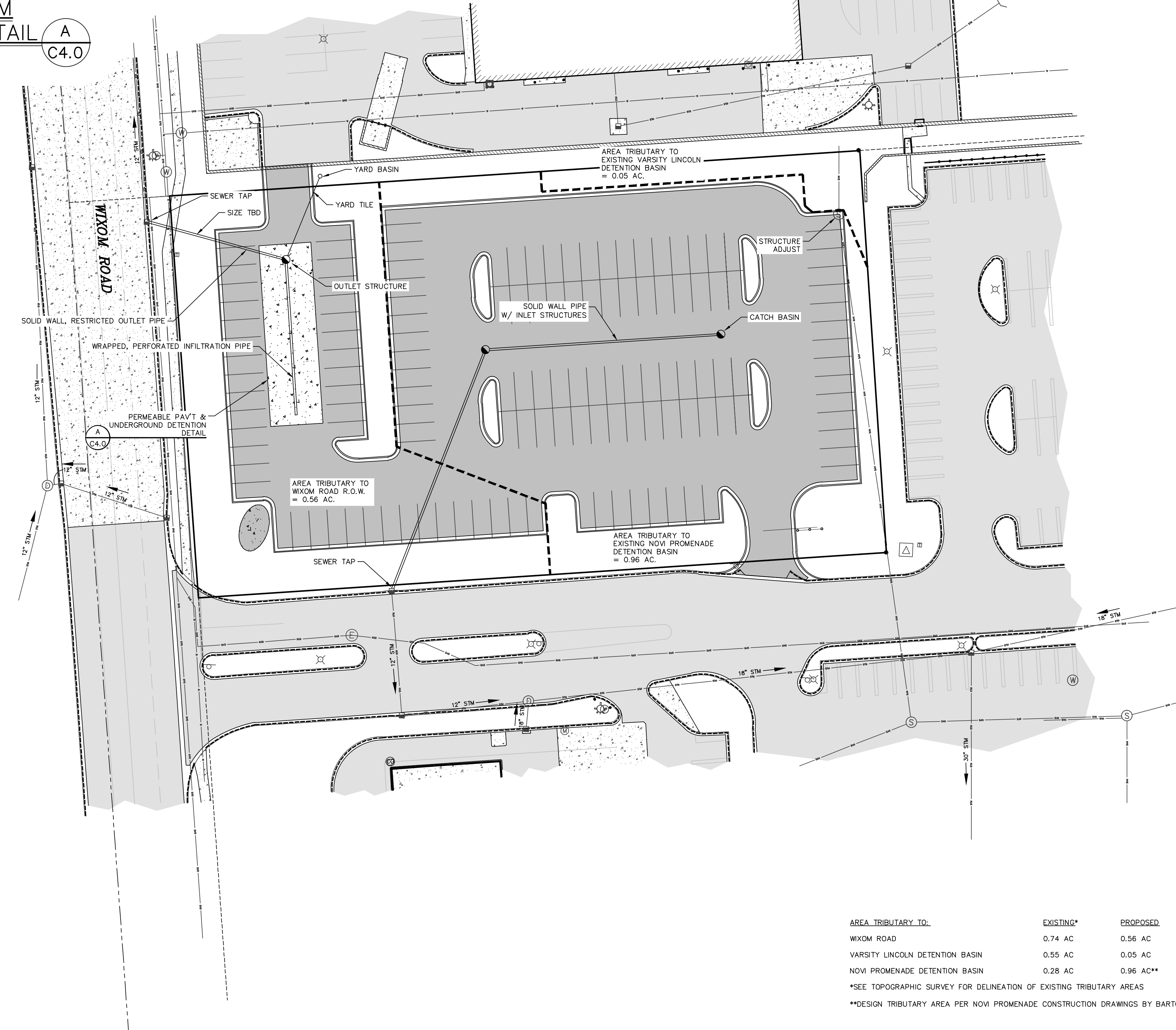
BM 1 -
Chiseled "□" on the West side of Light Pole
Base, near midpoint of East line of subject
property.
Elevation: 984.36

1. THE CONTRACTOR SHALL CALL "MISS DIG" AT 1-800-482-7171 AT LEAST THREE (3) WORKING DAYS (EXCLUDING WEEKENDS AND HOLIDAYS) PRIOR TO CONSTRUCTION.
2. LSG ENGINEERS & SURVEYORS WILL NOT BE RESPONSIBLE FOR FIELD DESIGN CHANGES MADE BY THE CONTRACTOR OR THE CONTRACTOR'S SURVEYOR WHERE THESE DESIGN CHANGES HAVE NOT BEEN APPROVED BY LSG ENGINEERS & SURVEYORS.
3. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO THE BACK OF CURB.

PRELIMINARY
NOT FOR CONSTRUCTION



**UNDERGROUND STORM
DETENTION SYSTEM DETAIL** A
N.T.S. C4.0



| AREA TRIBUTARY TO: | EXISTING* | PROPOSED |
|---------------------------------|-----------|-----------|
| WIXOM ROAD | 0.74 AC | 0.56 AC |
| VARSITY LINCOLN DETENTION BASIN | 0.55 AC | 0.05 AC |
| NOVI PROMENADE DETENTION BASIN | 0.28 AC | 0.96 AC** |

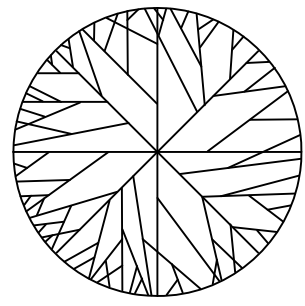
*SEE TOPOGRAPHIC SURVEY FOR DELINEATION OF EXISTING TRIBUTARY AREAS
**DESIGN TRIBUTARY AREA PER NOVI PROMENADE CONSTRUCTION DRAWINGS BY BARTON AND KING (2002) WAS 1.46 ACRES

MISS DIG
3 WORKING DAYS
BEFORE YOU DIG
OR DRILL
CALL
1-800-482-7171
(TOLL FREE)

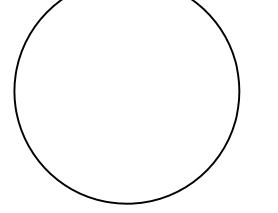
GENERAL LANDSCAPING NOTES

- NO VEGETATION EXISTS ON SITE
- ANY SUBSTITUTIONS OF PLANT MATERIAL OR ALTERATION IN PLANT SIZES OR SPECIFICATION TO BE APPROVED BY CITYSCAPE ARCHITECTS OR THE CITY OF NOVI.
- ALL LARGE TREES AND EVERGREENS TO BE STAKED, GUYED AND UNWRAPPED AS DETAIL SHOWN ON PLAN. 4. PLANT BEDS TO BE MULCHED AND DRESSED WITH 4" OF SHREDDED HARD BARK OR MULCH.
- DIG SHRUB PITS 1' LARGER THAN SHRUB ROOT BALLS AND TREE PITS 2 FT LARGER THAN ROOT BALL. BACK FILL WITH ONE PART TOP SOIL AND ONE PART SOIL FROM EXCAVATED PLANTING HOLE.
- PROVIDE SOD FOR ALL NEW LAWN AREAS UNLESS NOTED OTHERWISE. LANDSCAPE CONTRACTOR TO PROVIDE A MINIMUM 1" OF TOPSOIL PRIOR TO INSTALLATION OF SOD.
- PLANT MATERIAL, ESPECIALLY EVERGREENS TO BE PLANTED HIGHER THAN NORMAL WHEN HEAVY SOIL CONDITIONS (CLAY, ETC.) PREVAIL.
- ALL PLANTING AREAS TO BE PREPARED WITH APPROPRIATE SOIL MIXTURES AND FERTILIZER BEFORE PLANT INSTALLATION.
- NO TREES OR EVERGREENS TO BE INSTALLED OVER ANY PROPOSED OR EXISTING UTILITY LINES AS SHOWN ON THE OVERALL LANDSCAPE PLAN.
- FOR EXISTING TREE PROTECTION, 4'-0" HIGH SNOW FENCE TO BE ERRECTED AROUND TREE DRIP LINES PRIOR TO LAND CLEARING AND SITE CONSTRUCTION AND MAINTAINED THROUGHOUT SITE DEVELOPMENT PERIOD. NO CUTTING, FILLING OR TRESPASSING SHALL OCCUR INSIDE FENCED AREAS WITHOUT PRIOR ARCHITECT OR CITY APPROVAL.
- ALL SHRUB PLANTINGS WITHIN THE CLEAR VISION AREAS TO BE MAX. HEIGHT OF 10' AND FIRST BRANCHING FOR PROPOSED TREES TO BE MIN. OF 6' ABOVE PROPOSED GRADES.
- LANDSCAPE CONTRACTOR TO INSTALL AND GUARANTEE PLANT MATERIAL FOR 2 YEARS. OWNER WILL MAINTAIN ALL SUCH LANDSCAPED AREAS IN ACCORDANCE WITH THE REQUIREMENTS OF THE NOVI ZONING ORDINANCE CURRENT AT THE ACCEPTANCE OF THIS DRAWING.
- ALL MAJOR TREES TO BE HIGH HEADED - MIN. 6' TO LOWEST BRANCHES

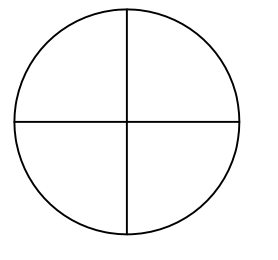
**I-1 ZONE TREE CALCULATIONS
200' FRONTAGE ALONG WIXOM RD.**



CANOPY DECID.
1 TREE / 40 L.F.
(200 L.F. / (1/40))
= 5 TREES



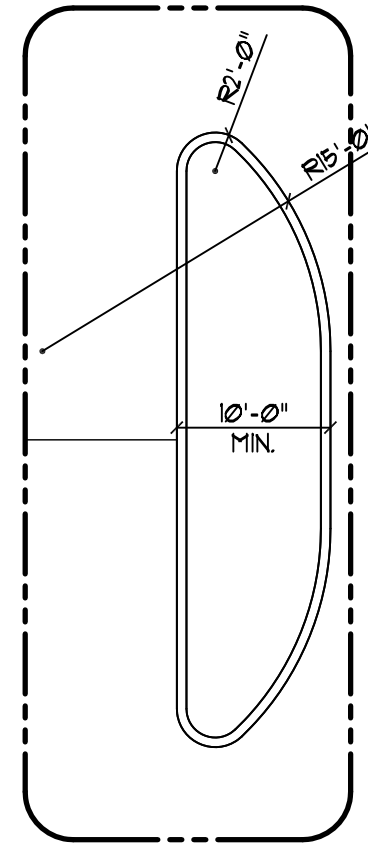
SUB-CANOPY DECID.
1 TREE / 30 L.F.
(200 L.F. / (1/30))
= 7 TREES



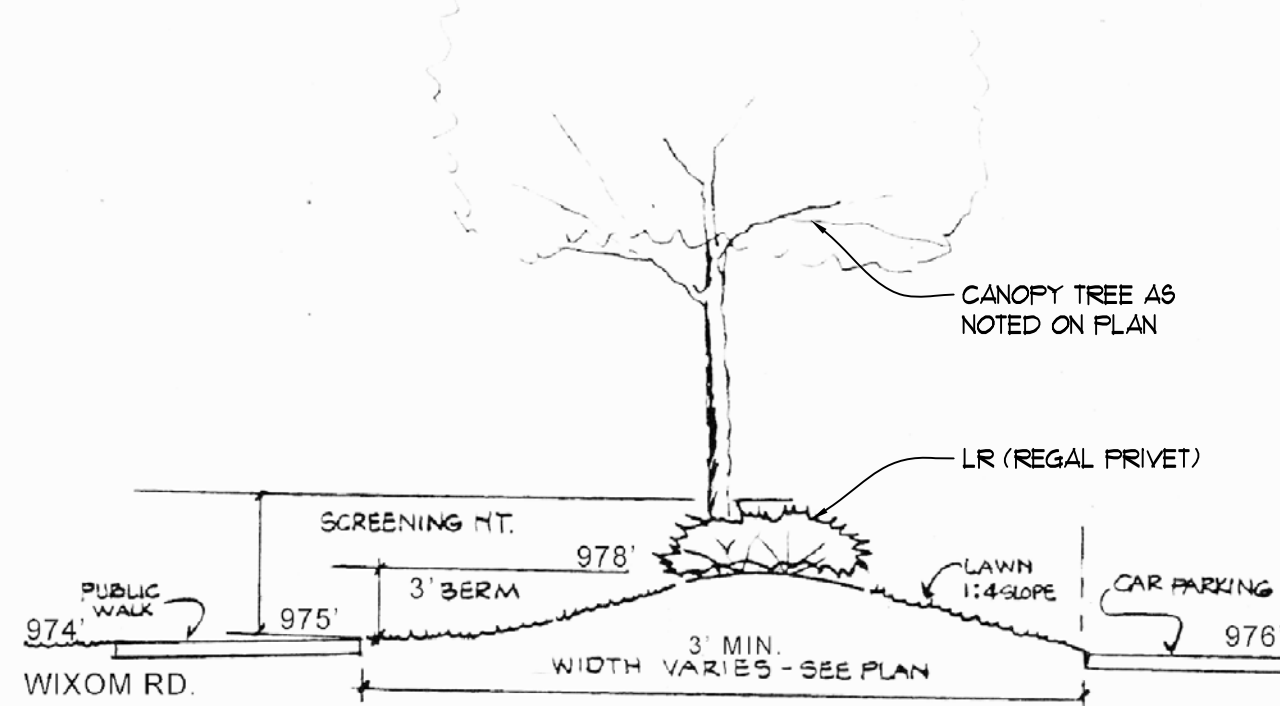
STREET TREE
CANOPY DECID. BETWEEN
SIDEWALK AND CURB
1 TREE / 45 L.F.
(200 L.F. / (1/45))
= 5 TREES

**I-1 ZONE TREE CALCULATIONS
1,084 LF PERIMETER**

CANOPY DECID.
1 TREE / 35 L.F.
(1,084 L.F. / (1/35))
= 31 TREES



2 TYP. ISLAND
F = 10'-0"



3 TYP. BERM SECTION
NTS

Interior Parking Area Landscape Islands and Canopy Tree Chart

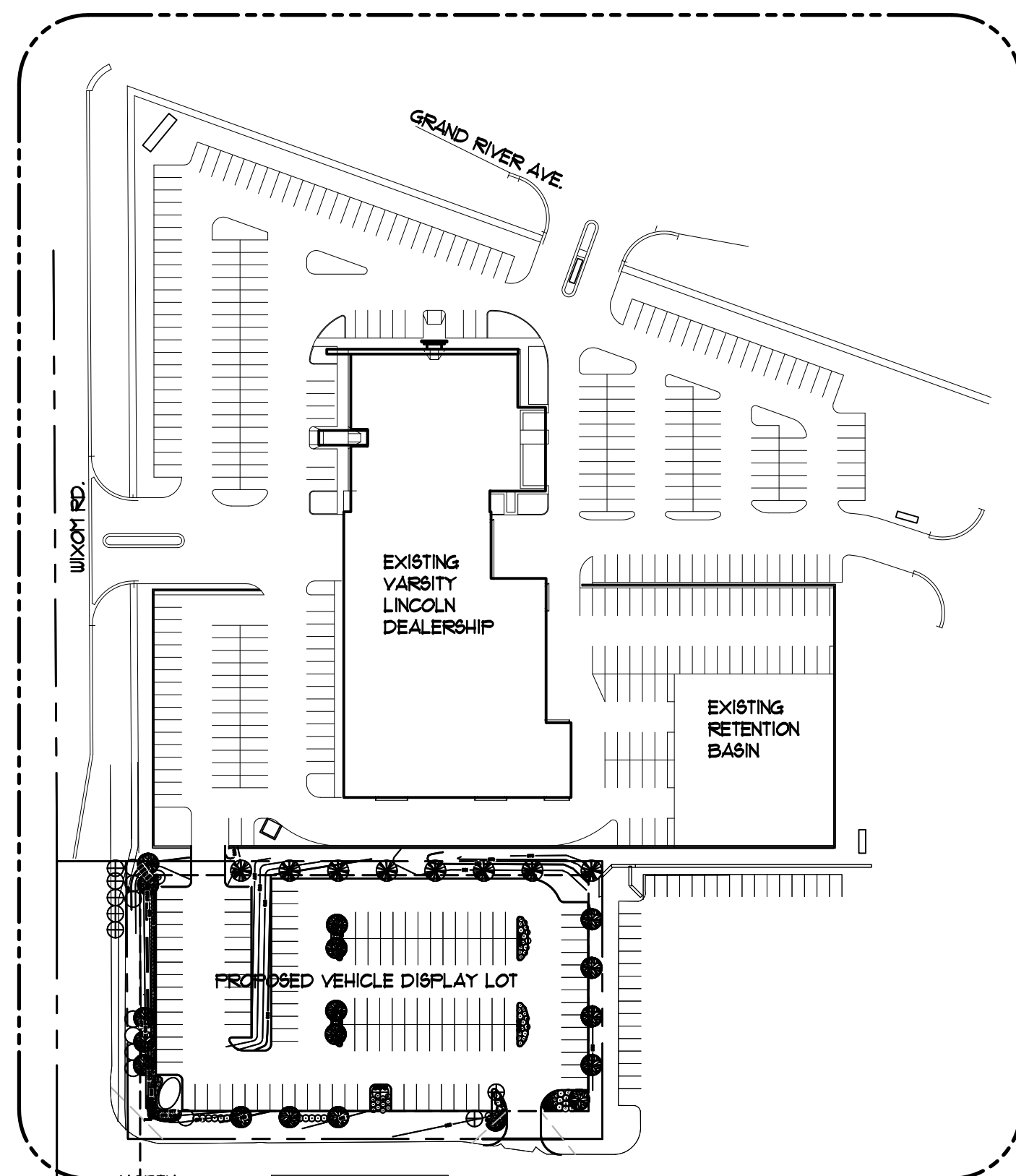
| Category* | A Total square footage of parking spaces not including access aisles equals: | B Square footage of all additional paved vehicular use areas (Not including A) under 50,000 square feet equals: | C Square footage of all additional paved vehicular use areas (Not including A or B) over 50,000 square feet equals: | D Total Square footage of landscaped islands required equals: | E Number of Canopy Trees required equals: |
|-----------|---|--|--|--|--|
| 2 (I-1) | 24,073sf x 7% = 1,685sf | 24,871sf x 2% = 497sf | 256sf x 0.5% = 1sf | Total A+B (+C) 1,685sf + 497sf + 1sf = 2,183sf | D / 75 2,183sf / 75 = 29 Trees |
| | | | | 4,264sf Provided | 33 Provided (9 AS + 8 GT + 8 PC + 8 TC) |

PLANT SCHEDULE

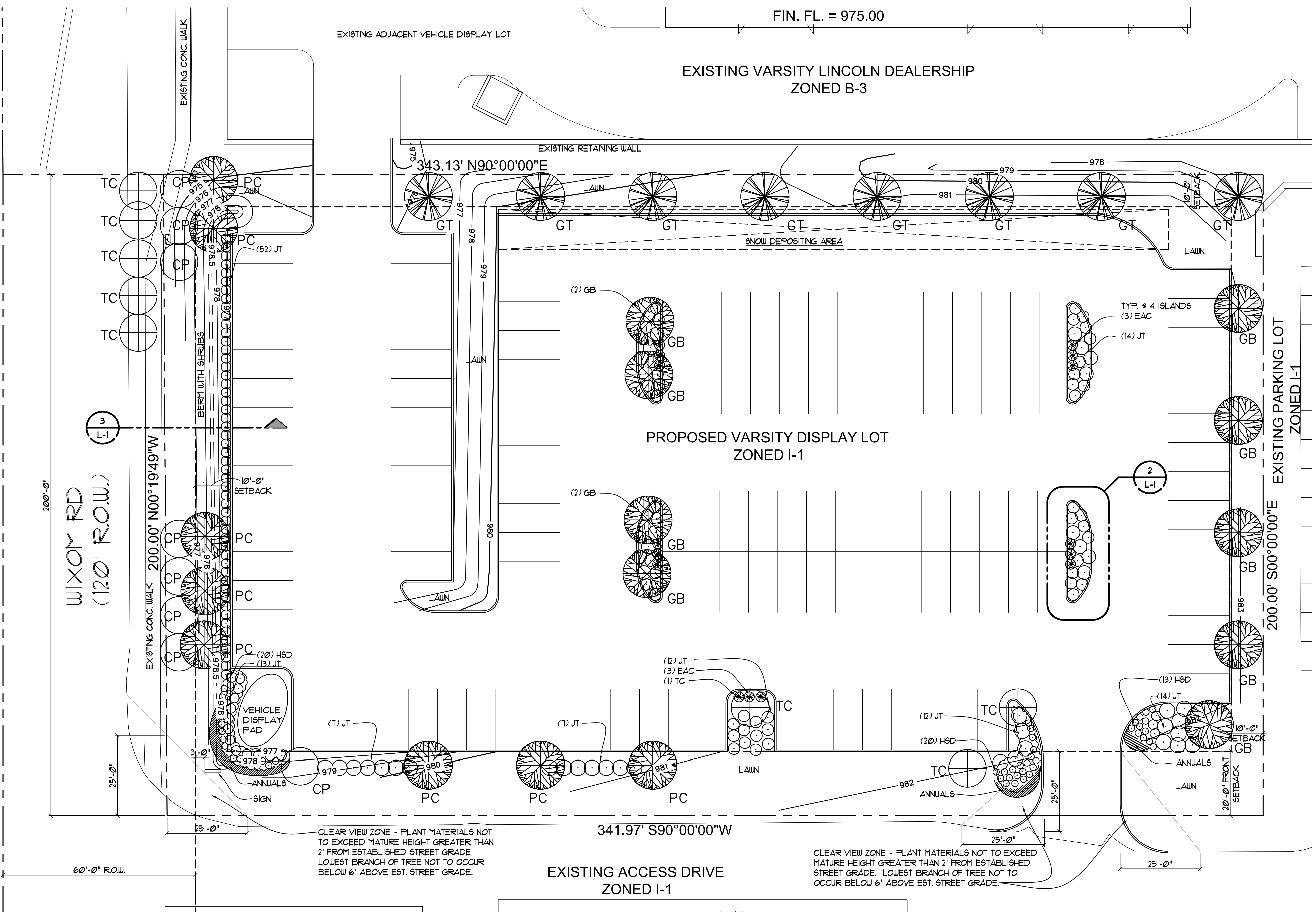
| SYMBOL | QTY | BOTANICAL NAME | COMMON NAME | SIZE | SPACING | ROOT | \$ / UNIT | \$ ESTIMATE |
|--------|-------|---|-----------------------|------------|----------|--------|-----------|-------------|
| CP | 8 | CRATAEGUS PHAENOPYRUM | WASHINGTON THORN | 3" CALIPER | AS SHOWN | B&B | \$325.00 | \$2,600 |
| EAC | 12 | EUONYMUS ALATUS COMPACTA | COMPACT BURNING BUSH | 30" HT. | AS SHOWN | B&B | \$50.00 | \$600 |
| GB | 9 | GINKGO BILOBA (MALE) 'PRINCETON SENTRY' | GINKGO | 3" CALIPER | AS SHOWN | B&B | \$325.00 | \$2,925 |
| GT | 8 | GLEDITSIA TRIACANTHOS 'SKYLINE' | HONEYLOCUST | 3" CALIPER | AS SHOWN | B&B | \$325.00 | \$2,600 |
| HSD | 53 | HEMEROCALLIS STELLA D'ORO | STELLA D'ORO DAYLILLY | 2 GAL | 18" O.C. | C.O.C. | \$15.00 | \$795 |
| JT | 125 | JUNIP. SAVINA TAMARISIFOLIA | TAMS JUNIPER | 24" SPREAD | AS SHOWN | CONT. | \$50.00 | \$6,250 |
| LAWN | 2,067 | SOD - FINE FESCUE MIX (SQUARE YARDS) | LAWN | SEE PLAN | | | \$6.00 | \$12,402 |
| PC | 8 | PYRUS CALLERYANA | BRADFORD PEAR | 3" CALIPER | AS SHOWN | B&B | \$325.00 | \$2,600 |
| TC | 8 | TILIA CORDATA | GREENSPICE LINDEN | 3" CALIPER | AS SHOWN | B&B | \$325.00 | \$2,600 |
| | | | | | | | | \$33,372 |

* LABOR & PROFIT

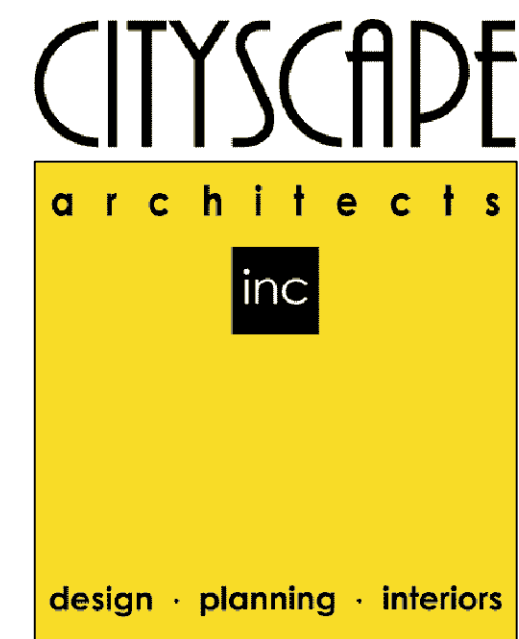
SEE TYPICAL PLANTING DETAILS SHEET L-2



4 KEY PLAN
F = 100'-0"



1 PROPOSED LANDSCAPE PLAN
F = 20'-0"



40850 Grand River Ave Suite 200
Novi, MI 48375
248 471 7877 ph
248 471 7868 fax

886 Mill Street LLC
PO Box 701218
Plymouth, MI 48170

notice
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COPYRIGHT YEAR 2018

project title
VARSITY LINCOLN DISPLAY LOT
Tax id# 50-22-17-101-029
TIN, R8E, SEC. 17
Wixom Rd.
Novi, MI 48376

sheet title
LANDSCAPE PLAN

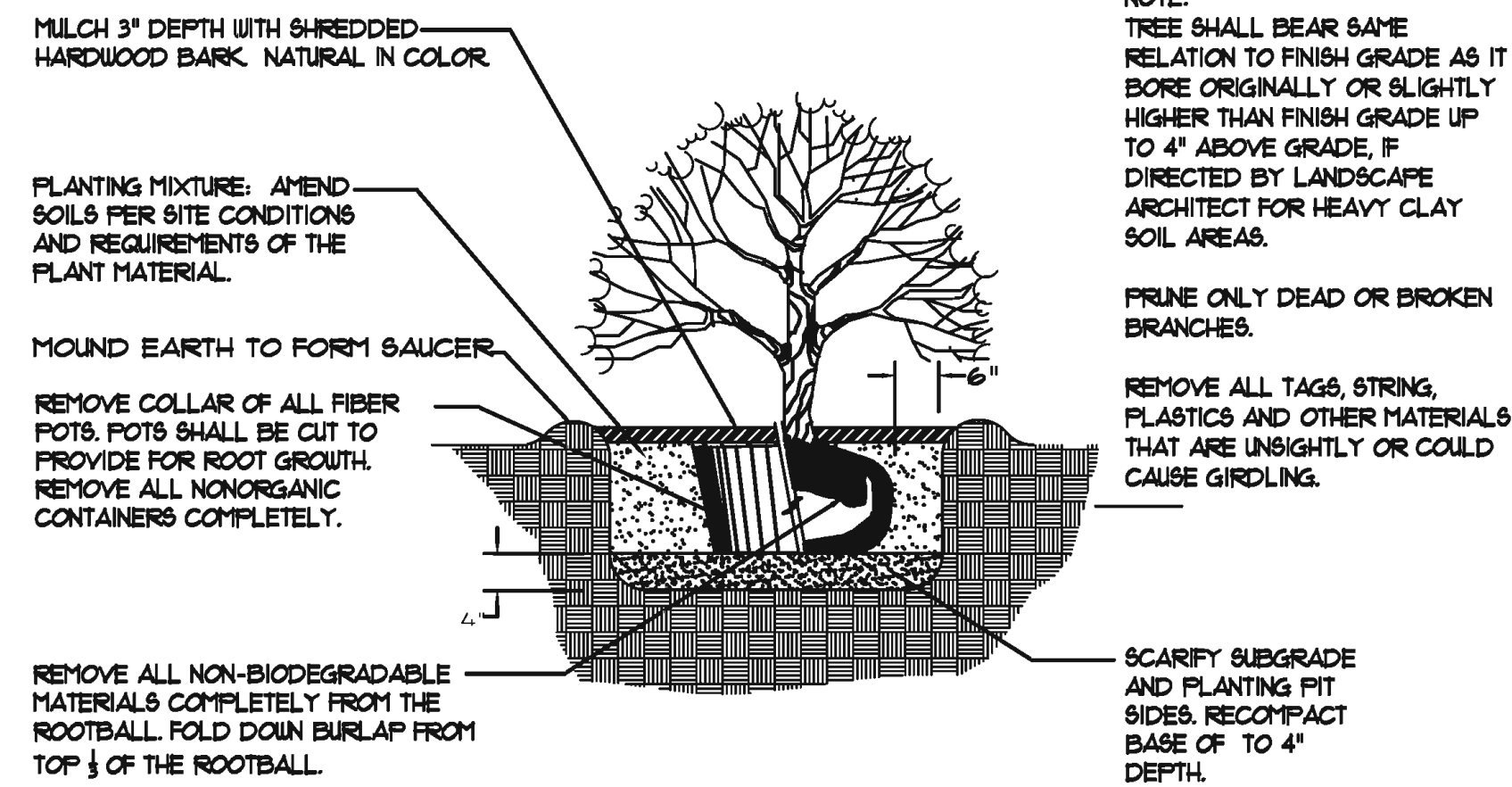
DO NOT SCALE DRAWINGS
USE FIGURED DIMENSIONS ONLY

project number
11020-5

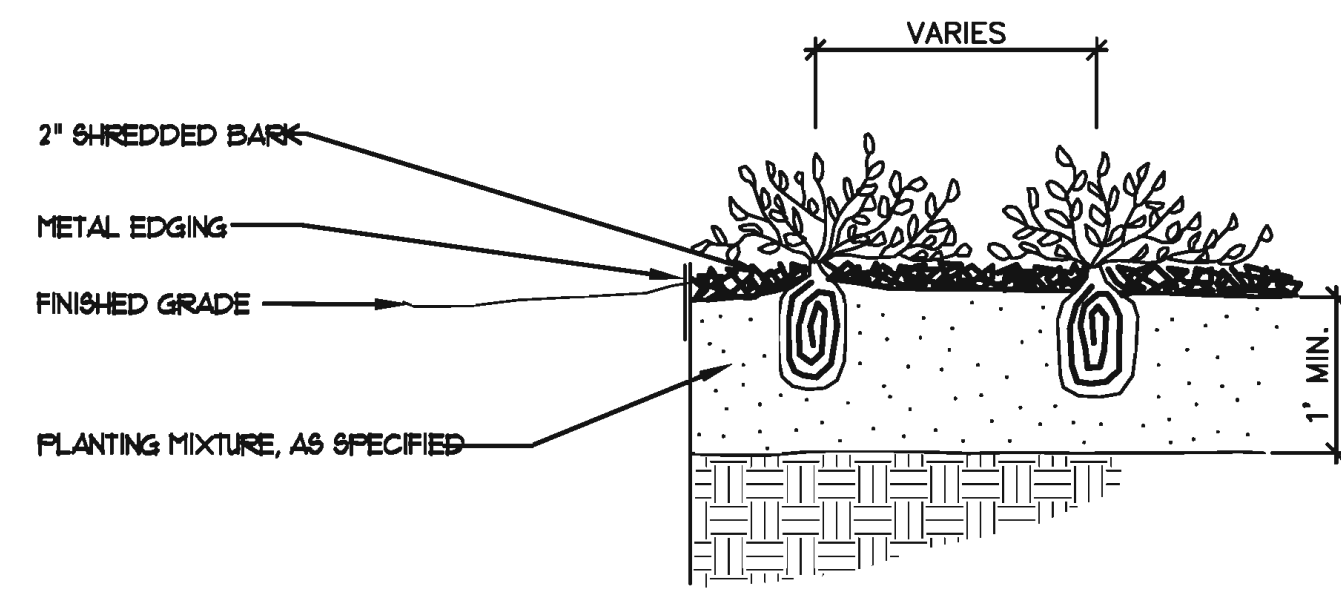
drawn CAI
approved CAI

issued date
PRELIMINARY SPA 08-30-13
PRELIMINARY SPA (REVISED) 09-24-13
PRELIMINARY SPA (REVISED) 10-08-13

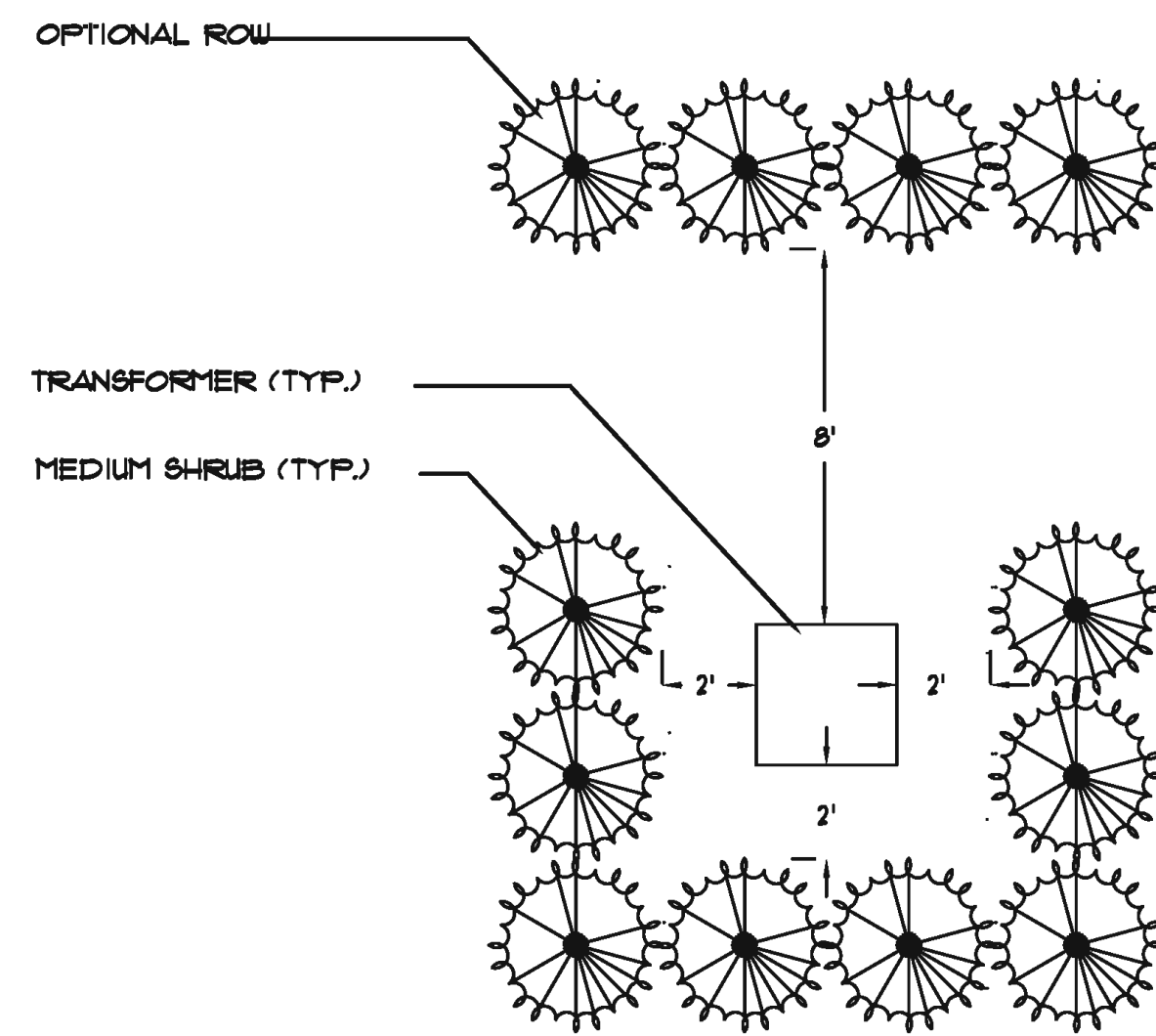
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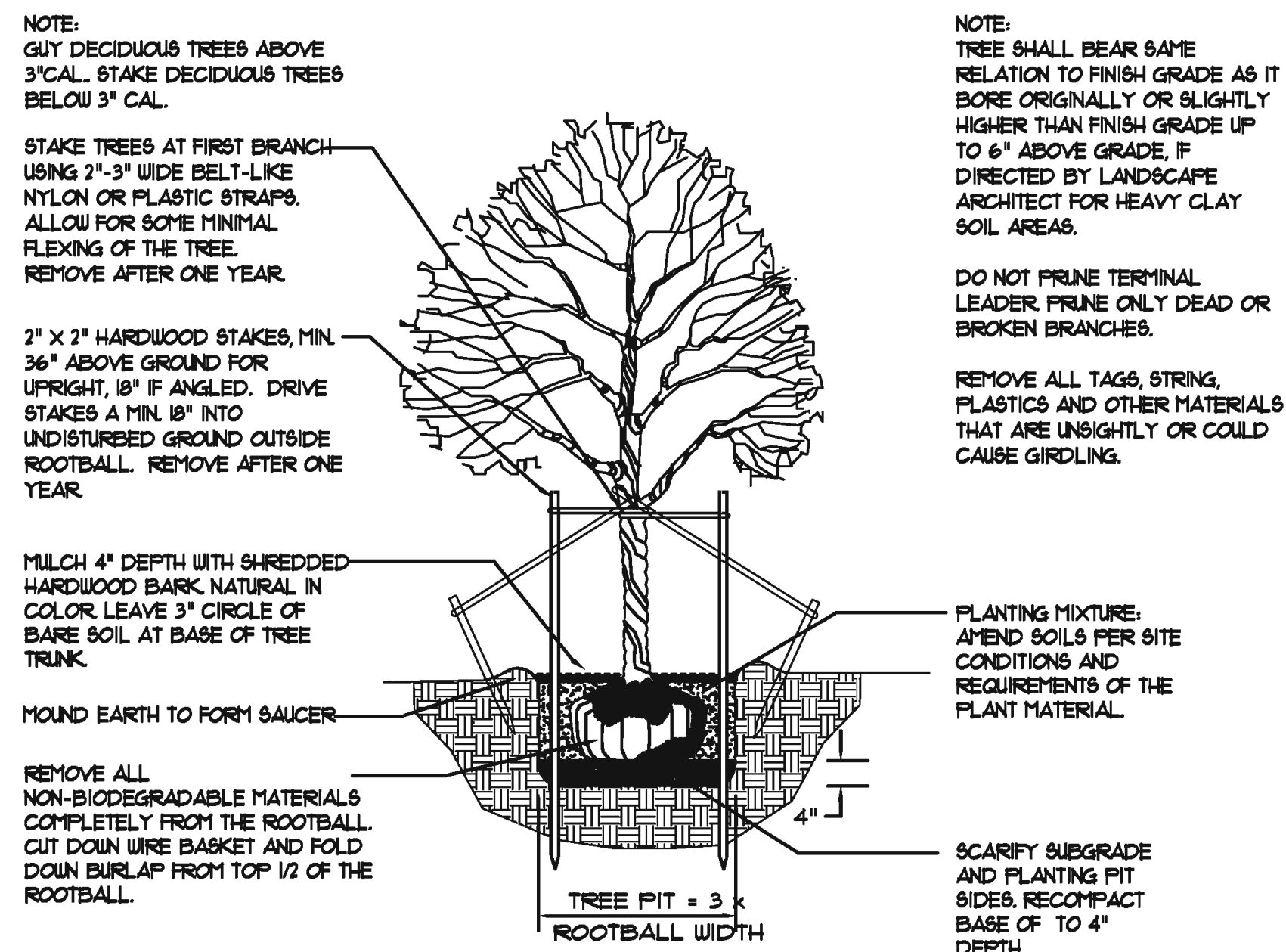
SHRUB PLANTING DETAIL
NOT TO SCALE



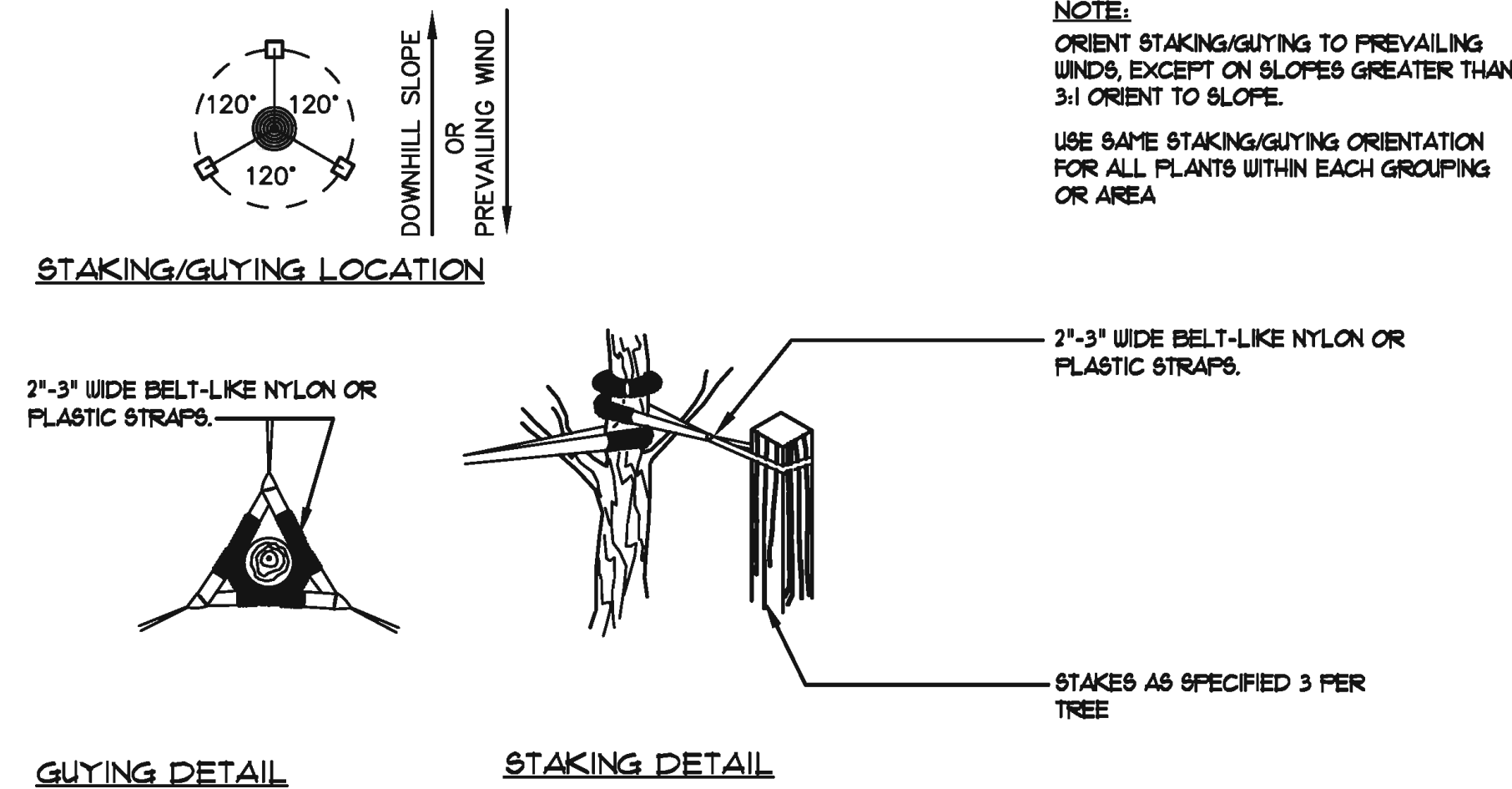
PERENNIAL PLANTING DETAIL
Not to scale



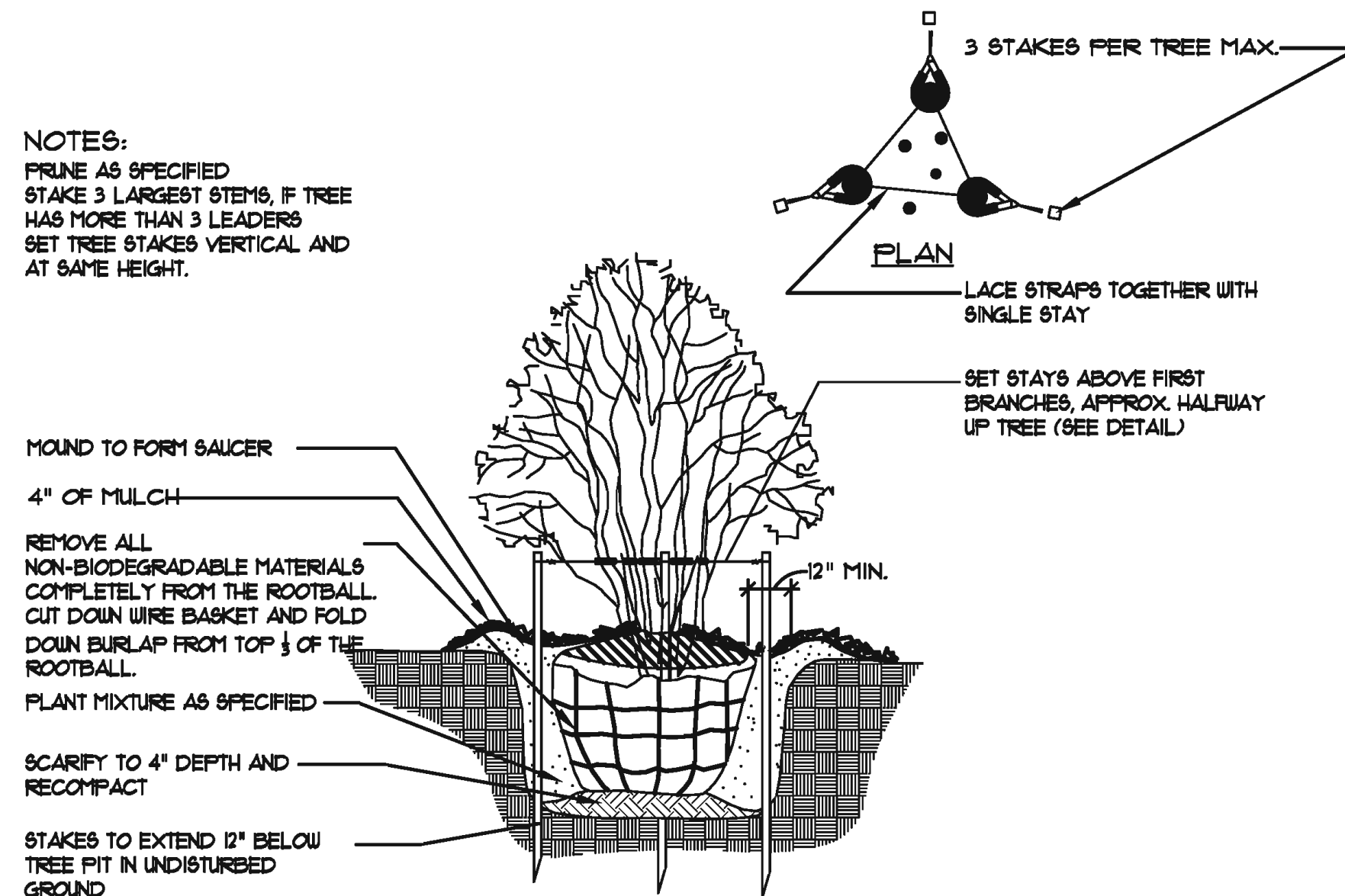
TRANSFORMER SCREENING DETAIL
Not to scale



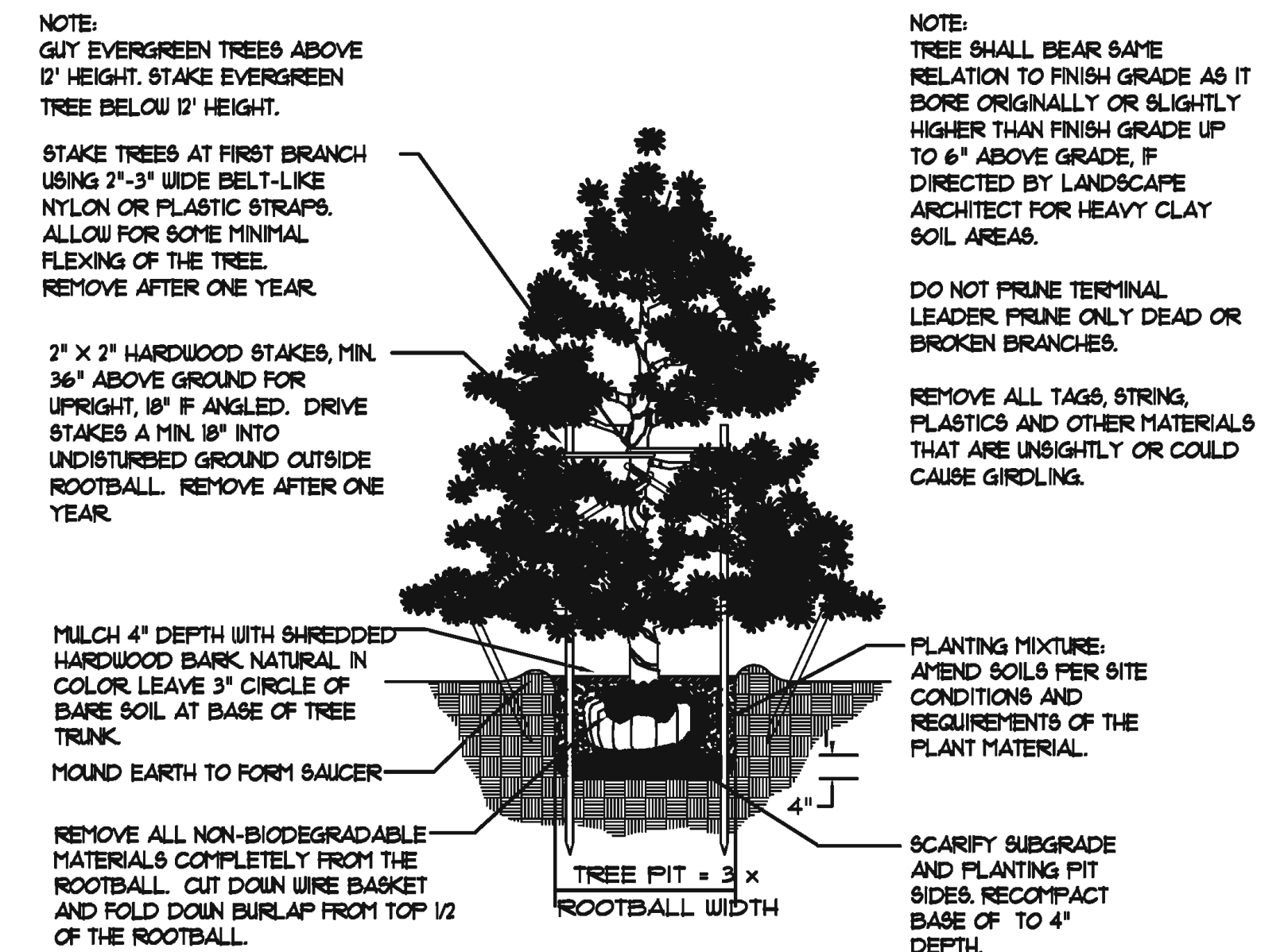
DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



TREE STAKING DETAIL
Not to scale



MULTI-STEM TREE PLANTING DETAIL
Not to scale



EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

CITY OF NOVI LANDSCAPE NOTES:

1. ALL PLANT MATERIALS ARE TO BE INSTALLED IN A SOUND, WORKMAN-LIKE MANNER AND IN ACCORDANCE WITH THE CURRENT CITY OF NOVI PLANTING REQUIREMENTS
 2. ALL PLANT MATERIALS SHALL BE INSTALLED BETWEEN MARCH 15th AND NOVEMBER 15th.
 3. ALL PLANT MATERIALS ARE TO BE NORTHERN NURSERY GROWN NOT GRADE AND INSTALLED ACCORDING TO ACCEPTED PLANTING PROCEDURES. ALL PLANT MATERIALS SHALL CONFORM TO THE CURRENT AAN STANDARDS FOR NURSERY STOCK. THEY SHALL BE PLANTED ACCORDING TO THE CITY OF NOVI PLANTING DETAILS AND SPECIFICATIONS. THE CITY SHALL HAVE THE RIGHT TO INSPECT THE PLANT MATERIALS PRIOR TO PLANTING AND TO REJECT ANY PLANT MATERIALS DEEMED NOT TO MEET THE STANDARDS OF THE ZONING ORDINANCE.
 4. ALL TREES SHALL HAVE A CENTRAL LEADER AND A RADIAL BRANCHING STRUCTURE. PARK GRADE TREES ARE NOT ACCEPTABLE. ALL TREES SHALL BE BALLED AND BURLAPPED (BAB).
 5. ANY DECIDUOUS CANOPY TREES WITH BRANCHES THAT MIGHT TEND TO DEVELOP INTO "V" CROTCHES SHALL BE SUBORDINATED SO AS NOT TO BECOME DOMINANT BRANCHES.
 6. MULCH SHALL BE NATURAL COLOR, FINELY SHREDDED HARDWOOD BARK FOR ALL PLANTINGS. 4" THICK FOR TREES IN 4-FOOT DIAMETER CIRCLE WITH 3" FILLED AWAY FROM TRUNK. 3" THICK FOR SHRUBS AND SHRUB BEDS AND 2" THICK BARK FOR PERENNIALS.
 7. ALL PLANT MATERIAL SHALL BE WARRANTED FOR TWO (2) FULL YEARS AFTER DATE OF ACCEPTANCE BY THE CITY IF NOVI. ALL UNHEALTHY AND DEAD MATERIAL SHALL BE REPLACED WITHIN ONE (1) YEAR OR THE NEXT APPROPRIATE PLANTING PERIOD WHICH EVER COMES FIRST.
 8. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION, INCLUDING WATERING, CULTIVATION, WEED CONTROL, AND SOIL ENRICHMENTS AS MAY BE NECESSARY.
 9. ANY SUBSTITUTIONS OR DEVIATIONS FROM THE LANDSCAPE PLAN MUST BE APPROVED IN WRITING BY THE CITY OF NOVI PRIOR TO INSTALLATION.
 10. ALL TREE WRAP, STAKES, AND GUY'S MUST BE REMOVED BY JULY 1ST FOLLOWING THE FIRST WINTER SEASON AFTER INSTALLATION.
 11. ALL LANDSCAPE AREAS ARE TO BE MAINTAINED IN HEALTHY GROWING CONDITION FREE OF DEBRIS AND REFUSE AND IN CONFORMANCE WITH THE APPROVED LANDSCAPE PLAN.
 12. CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS AND EXCESS MATERIALS FROM THE SITE PRIOR TO FINAL ACCEPTANCE.
 13. PLANT MATERIALS, EXCEPT SOIL, GROUND COVERS, AND CREEPING VINE TYPE PLANTINGS, SHALL NOT BE LOCATED WITHIN FOUR (4) FEET OF THE PROPERTY LINE.
 14. ALL TRANSFORMERS ARE TO BE SCREENED ON THREE SIDES (MIN) IN ACCORDANCE WITH THE CITY OF NOVI ORDINANCE AND SO AS TO NOT CONFLICT WITH DTE RESTRICTIONS. (SEE DETAIL THIS SHEET).
 15. THE OWNER IS RESPONSIBLE FOR REQUEST OF FINAL INSPECTION AND ACCEPTANCE OF THE LANDSCAPE AT THE END OF THE 2-YEAR GUARANTEE PERIOD.
 16. THE PROVIDER OF THE FINANCIAL GUARANTEE FOR THE LANDSCAPE INSTALLATION SHALL BE FULLY RESPONSIBLE FOR COMPLETION OF THE LANDSCAPE INSTALLATION AND MAINTENANCE PER THE APPROVED LANDSCAPE PLAN AND APPLICABLE CITY ORDINANCES.
- THE DETAILS AND NOTES SHOWN ON THIS PAGE ARE STANDARDS. THESE DETAILS ARE NOT ALL INCLUSIVE AND ARE NOT MENT TO SUBSTITUTE FOR ANY ORDINANCE OR CODE REQUIREMENT. FOR COMPLETE LANDSCAPE REQUIREMENTS, SEE THE ZONING ORDINANCE LANDSCAPE SECTION 2509, THE LANDSCAPE DESIGN MANUAL AND THE APPROPRIATE REFERENCES WITHIN THE APPLICABLE ZONING CLASSIFICATION AND ANY OTHER APPLICABLE CODE REQUIREMENTS.

3 WORKING DAYS
BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171
(TOLL FREE)

40850 Grand River Ave Suite 200
Novi, MI 48375
248 471 7877 ph
248 471 7868 fax

client
886 Mill Street LLC
PO Box 70128
Plymouth, MI 48170

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project title
VARSITY LINCOLN DISPLAY LOT

Tax id# 50-22-17-101-029
T1N, R8E, SEC. 17
Wixom Rd.
Novi, MI 48376

sheet title
CITY OF NOVI STANDARD PLANTING DETAILS
DO NOT SCALE DRAWINGS
USE FIGURED DIMENSIONS ONLY

project number
11020-5

drawn CAI
approved CAI

issued date
PRELIMINARY SPA 08-30-13
PRE SPA RESUBMITAL 10-08-13

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project title
VARSITY LINCOLN DISPLAY LOT
Tax Id# 50-22-17-101-029
T1N, R8E, SEC. 17
Wixom Rd.
Novi, MI 48378

sheet title
LIGHTING PLAN

DO NOT SCALE DRAWINGS
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prepared by
GASSER BUSH ASSOCIATES

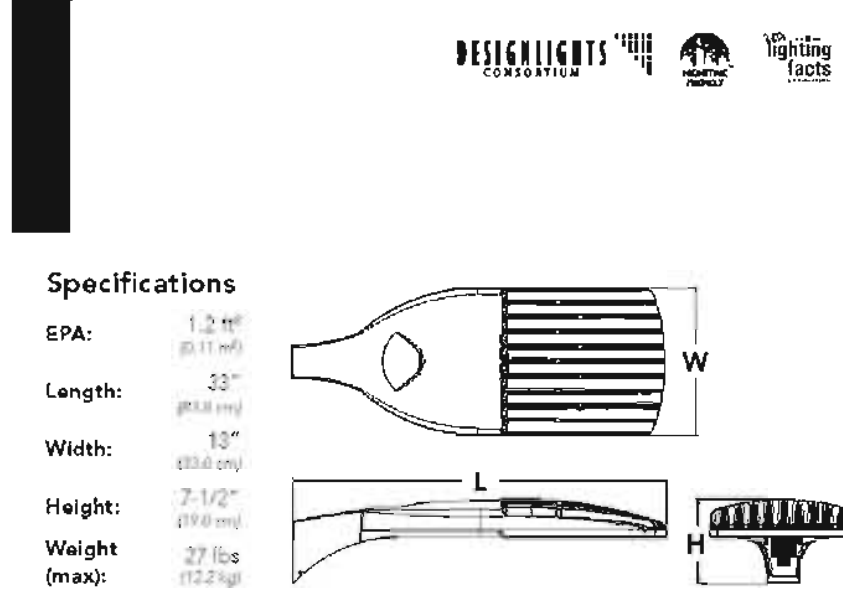
project number
11020-5

drawn CAI
approved CAI

issued date
PRELIMINARY SPA 08-30-13
PRELIMINARY SPA (REVISED) 09-24-13
PRELIMINARY SPA (REVISED) 10-08-13

sheet number

D-Series Size 1 LED Area Luminaire



Performance Data

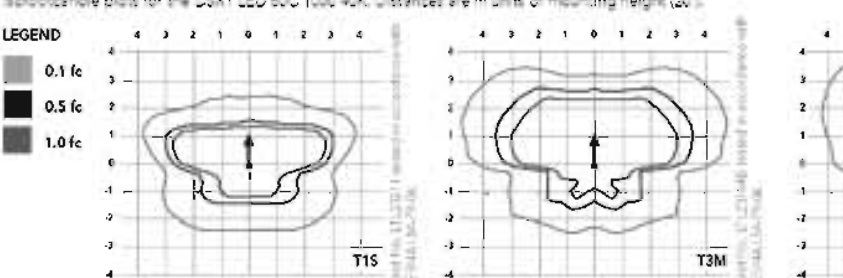
Lumen Ambient Temperature (LAT) Multipliers

| Temp | 10°C | 25°C | 40°C |
|------|------|------|------|
| 10°C | 1.00 | 1.00 | 1.00 |
| 25°C | 0.95 | 1.00 | 1.00 |
| 40°C | 0.90 | 0.95 | 1.00 |

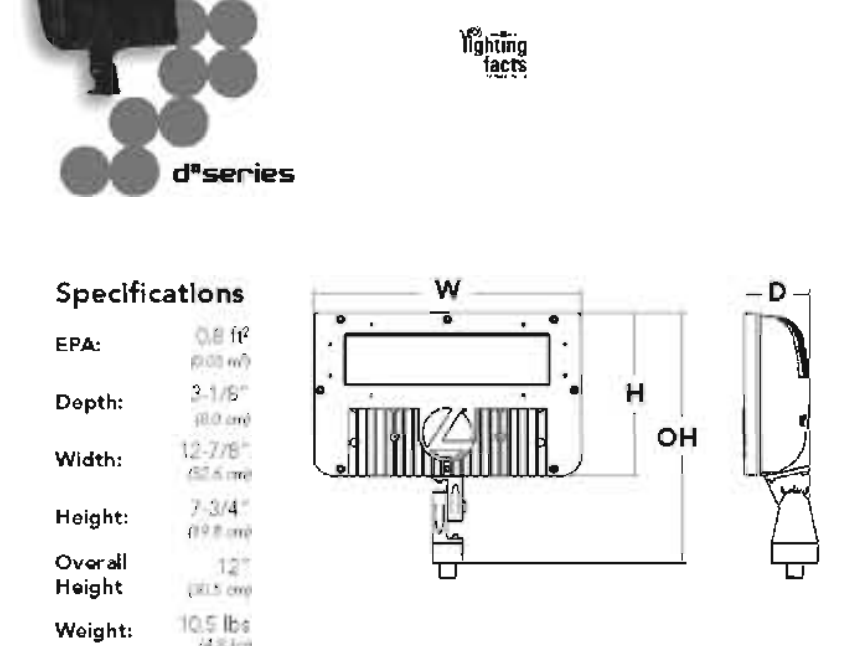
Projected LED Lumen Maintenance

| Temp | 10°C | 25°C | 40°C |
|------|------|------|------|
| 10°C | 0.95 | 0.95 | 0.95 |
| 25°C | 0.90 | 0.95 | 0.95 |
| 40°C | 0.85 | 0.90 | 0.95 |

Photometric Diagrams



D-Series Size 2 LED Flood Luminaire



LUMINAIRE LOCATIONS

| No. | Label | X | Y | MH | Orientation | Tilt |
|-----|-------|---------|-------|------|-------------|-------|
| 1 | LA2 | -1442.3 | 580.8 | 24.0 | 90.0 | 0.0 |
| 2 | LC2 | -1693.8 | 608.4 | 24.0 | 0.0 | 0.0 |
| 3 | LC2 | -1693.8 | 581.8 | 24.0 | 0.0 | 0.0 |
| 4 | LC2 | -1693.8 | 518.5 | 24.0 | 0.0 | 0.0 |
| 5 | LC | -1693.7 | 491.6 | 24.0 | 0.0 | 0.0 |
| 6 | LA2 | -1442.7 | 518.8 | 24.0 | 90.0 | 0.0 |
| 7 | LA2 | -1524.2 | 518.7 | 24.0 | 90.0 | 0.0 |
| 8 | LA1 | -1621.2 | 455.4 | 24.0 | 0.0 | 0.0 |
| 9 | LA1 | -1458.6 | 453.9 | 24.0 | 0.0 | 0.0 |
| 10 | LA2 | -1523.6 | 580.8 | 24.0 | 90.0 | 0.0 |
| 11 | LA2 | -1619.4 | 518.7 | 24.0 | 90.0 | 0.0 |
| 12 | LA2 | -1618.8 | 580.8 | 24.0 | 90.0 | 0.0 |
| 13 | LC2 | -1693.8 | 549.9 | 24.0 | 0.0 | 0.0 |
| 14 | LD | -1694.2 | 454.7 | 1.0 | 44.8 | 98.0 |
| 15 | LD | -1677.8 | 454.8 | 1.0 | -18.8 | 97.2 |
| 16 | LD | -1693.3 | 477.3 | 1.0 | 140.4 | 100.5 |

NOTES

- SEE MH COLUMN OF LUMINAIRE LOCATIONS FOR MOUNTING HEIGHTS.
 - SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTORS.
 - CALCULATIONS ARE SHOWN IN FOOTCANDLES AT GRADE.
- THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURERS LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP. GBA DOES NOT ACT AS THE CIVIL OR STRUCTURAL ENGINEER AND DOES NOT DETERMINE BASE REQUIREMENTS. POLES SPECIFICATIONS ARE NOT INCLUDED WITH EXTERIOR LIGHTING PHOTOMETRIC ANALYSIS. THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

LUMINAIRE SCHEDULE

| Symbol | Label | Qty | Catalog Number | Description | Lamp | File | Lumens | LLF | Watts |
|--------|-------|-----|--|--|------|--|----------|------|-------|
| LA1 | LA1 | 2 | LITHONIA #DSX1 LED 40C 1000 40K T3M MVOLT (SINGLE) | DSX1 LED WITH (2) 20 LED LIGHT ENGINES, TYPE T3M OPTIC, 4000K, @ 1050mA | LED | DSX1_LED_40_C_1000_40K_T3M_MVOLT.l | Absolute | 0.92 | 138 |
| LA2 | LA2 | 6 | LITHONIA #DSX1 LED 40C 1000 40K T4M MVOLT SPA DBLD (TWIN) | DSX1 LED WITH (2) 20 LED LIGHT ENGINES, TYPE T4M OPTIC, 4000K, @ 1050mA | LED | DSX1_LED_40_C_1000_40K_T4M_MVOLT.l | Absolute | 0.92 | 276 |
| LC | LC | 1 | LITHONIA #DSX1 LED 40C 1000 40K T4M MVOLT HS (SINGLE - ROTATED OPTICS) | DSX1 LED WITH (2) 20 LED LIGHT ENGINES, TYPE T4M OPTIC, 4000K, @ 1050mA WITH HOUSE SIDE SHIELD | LED | DSX1_LED_40_C_1000_40K_T4M_MVOLT_H_S.l | Absolute | 0.92 | 138 |
| LC2 | LC2 | 4 | LITHONIA #DSX1 LED 40C 1000 40K T4M MVOLT HS (TWIN - ROTATED OPTICS) | DSX1 LED WITH (2) 20 LED LIGHT ENGINES, TYPE T4M OPTIC, 4000K, @ 1050mA WITH HOUSE SIDE SHIELD | LED | DSX1_LED_40_C_1000_40K_T4M_MVOLT_H_S.l | Absolute | 0.92 | 276 |
| LD | LD | 3 | LITHONIA #DSXF2 LED 3 ASD40K MSP MVOLT | D-SERIES FLOODS SIZE 2 WITH 3 COB 4000K WITH NEMA 3X3 DISTRIBUTION | LED | DSXF2_LED_3_ASD40K_MSP_MVOLT.l | Absolute | 0.92 | 57.99 |

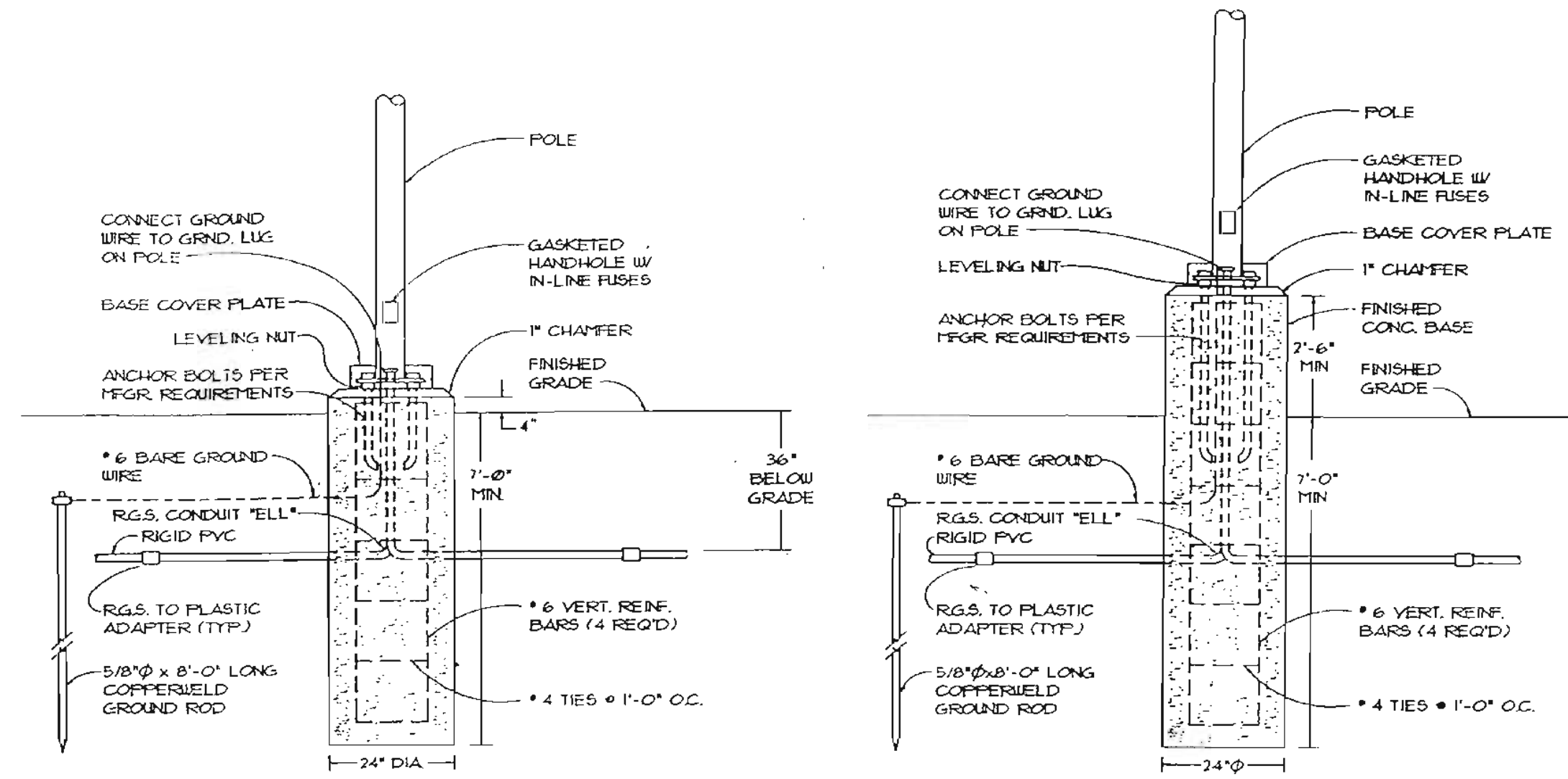
STATISTICS

| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
|---|--------|--------|---------|--------|---------|---------|
| OVERALL LTG VALUES | + | 2.4 fc | 14.7 fc | 0.0 fc | N/A | N/A |
| PARKING & DRIVE AREAS - VALUES AT GRADE | X | 2.8 fc | 5.0 fc | 0.9 fc | 5.8:1 | 3.1:1 |
| PROPERTY LINE VALUES AT GRADE | □ | 0.6 fc | 1.0 fc | 0.1 fc | 10.0:1 | 6.0:1 |
| WIXOM ROAD DISPLAY - VALUES AT GRADE | X | 7.0 fc | 11.0 fc | 2.4 fc | 4.6:1 | 2.8:1 |

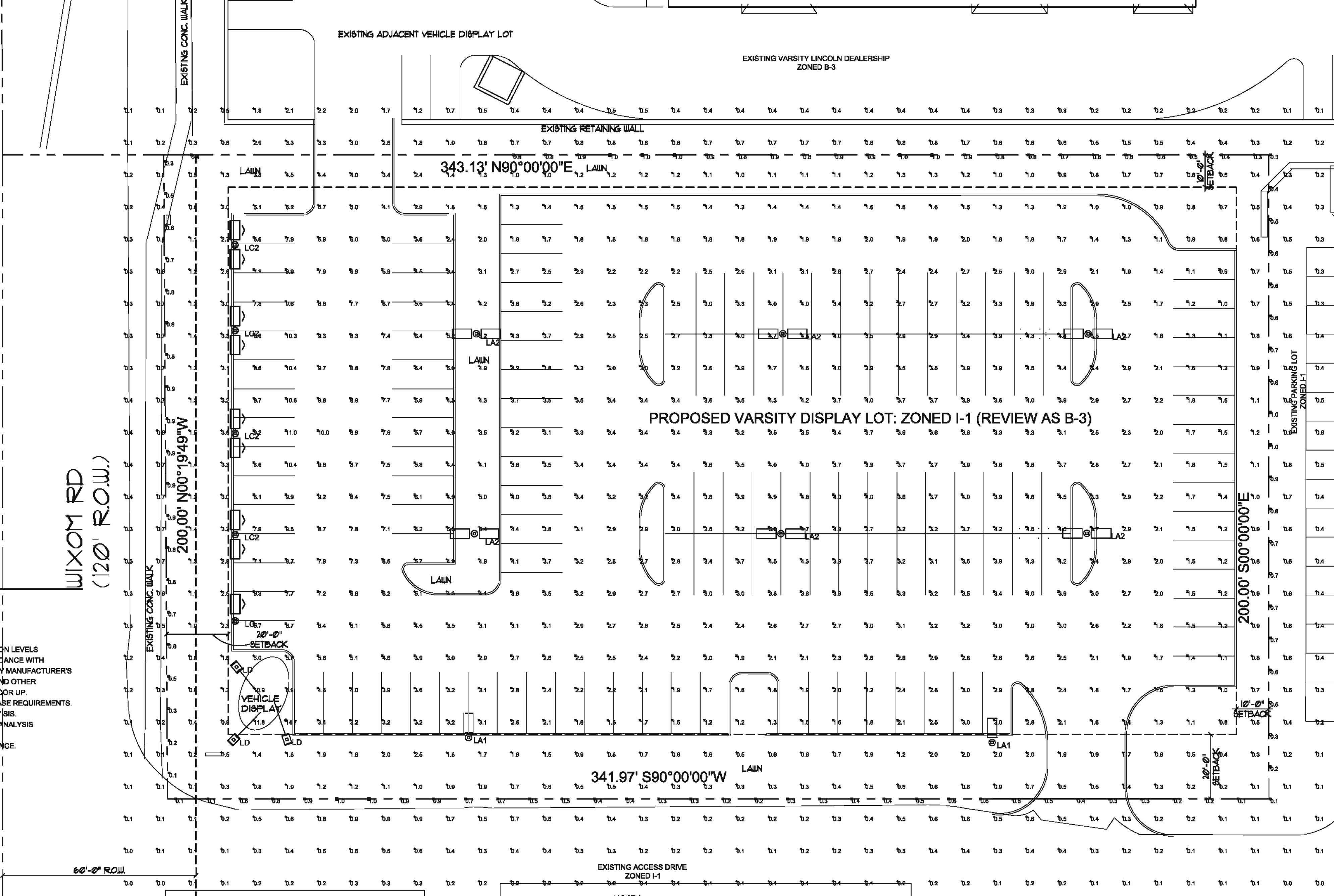
GLARE CONTROL
THE D SERIES SIZE 1 HAS ZERO UPLIGHT AND QUALIFIES AS A NIGHTTIME FRIENDLY PRODUCT, CONSISTENT WITH THE LEED AND GREEN GLOVES CRITERIA FOR ELMINATING WASTEFUL UPLIGHT

LIGHTING HOURS OF OPERATION
SU 6A-6P
M 6A-6P
T 6A-1P
W 6A-1P
TH 6A-1P
F 6A-1P
SA 6A-6P

SECURITY LIGHTING WILL BE ACTIVE DURING TIMES NOT INDICATED ABOVE



CONCRETE BASE DETAIL @ LOT
CONCRETE BASE DETAIL @ LAWN



PROPOSED PHOTOMETRIC PLAN
Scale 1" = 20'
1