

44725 GRAND RIVER (DAMAS BUILDING) PARKING EXPANSION JSP26-07

44725 GRAND RIVER (DAMAS BUILDING) PARKING EXPANSION JSP26-07

Consideration at the request of Versa Real Estate for approval of the Preliminary Site Plan. The property is located east of Taft Road and south of Grand River Avenue (Section 15). The applicant proposes site improvements including the addition of 20 parking spaces.

Required Action

Approval or denial of the Preliminary Site Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval Recommended	05/26/26	<ul style="list-style-type: none"> • Zoning Board of Appeals (ZBA) variances required: <ul style="list-style-type: none"> • under Section 5.2.12.D for the deficiency in 22 parking spaces (108 required, 86 provided) • under Section 3.1.18.D for the deficiency in parking setback on the west side (10 feet required, 6.2 feet proposed) • Items to be addressed at Final Site Plan submittal
Engineering	Approval Recommended	05/20/26	<ul style="list-style-type: none"> • Items to be addressed at Final Site Plan submittal
Landscape	Approval Not Recommended	05/15/26	<ul style="list-style-type: none"> • Landscape waiver under Section 5.5.3.C.iv.a for deficiency in parking lot perimeter trees (not supported by staff) • Landscape waiver under Section 5.5.3.C.iv.b for deficiency in parking lot landscape area along west side (not supported by staff) • Items to be addressed at Final Site Plan submittal
Wetland	Approval Recommended	05/21/26	<ul style="list-style-type: none"> • Wetland Buffer Authorization required • Items to be addressed at Final Site Plan submittal
Woodland	Approval Recommended	05/21/26	<ul style="list-style-type: none"> • Items to be addressed at Final Site Plan submittal
Traffic	Approval Recommended	05/21/26	<ul style="list-style-type: none"> • Items to be addressed at Final Site Plan submittal
Fire	Approval Recommended	05/04/26	<ul style="list-style-type: none"> • Meets Fire Department standards

MOTION SHEET:

Approval – Preliminary Site Plan

In the matter of 44725 Grand River (Damas Building) JSP26-07, motion to **approve** the Preliminary Site Plan based on and subject to the following:

1. The Zoning Board of Appeals granting the following variances:
 - i. Section 3.1.18.D of the Zoning Ordinance for the deficiency in parking setback on the west property line (*10 feet required, 6.2 feet proposed*).
 - ii. Section 5.2.12.D of the Zoning Ordinance for the deficiency in 22 parking spaces (*108 total parking spaces are required for medical office and business office use, 86 spaces are provided*).
2. A Landscape waiver under Section 5.5.3.C.iv.a for deficiency in parking lot perimeter trees due to site layout conditions which limit the ability to comply (*6 trees required, 3 trees provided*), which is hereby granted;
3. A Landscape waiver under Section 5.5.3.C.iv.b for deficiency in parking lot perimeter landscape area along west side due to site layout conditions which limit the ability to comply (*10 feet required, 0 feet provided*), which is hereby granted;
4. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
5. (*additional conditions here, if any*)

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

– OR –

Denial – Preliminary Site Plan

In the matter of 44725 Grand River (Damas Building) JSP26-07, motion to **deny** the Preliminary Site Plan... (*because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.*)

MAPS

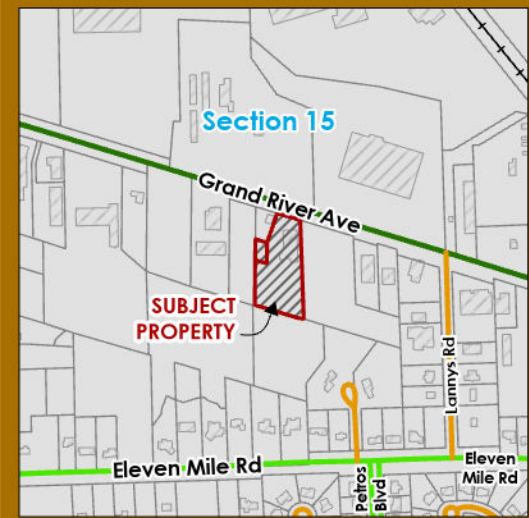
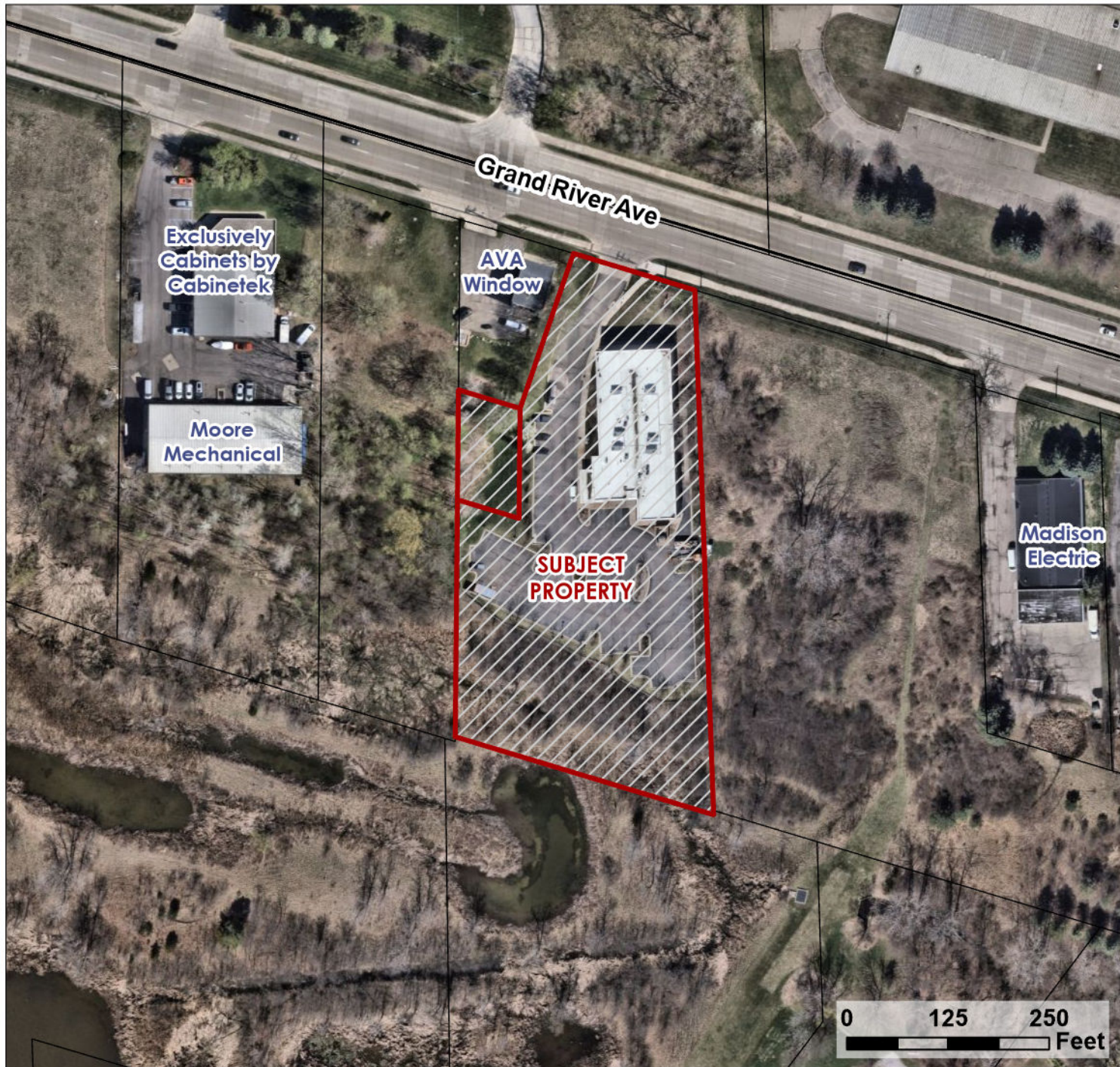
Location

Zoning

Future Land Use

Natural Features

44725 GRAND RIVER PARKING EXPANSION LOCATION MAP



LEGEND

 Subject Property

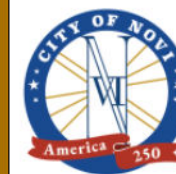
Thoroughfare Classification

 Arterial

 Residential Collector

 Local Residential Street

 Railroad



Map Author: Diana Shanahan
Project: 44725 Grand River

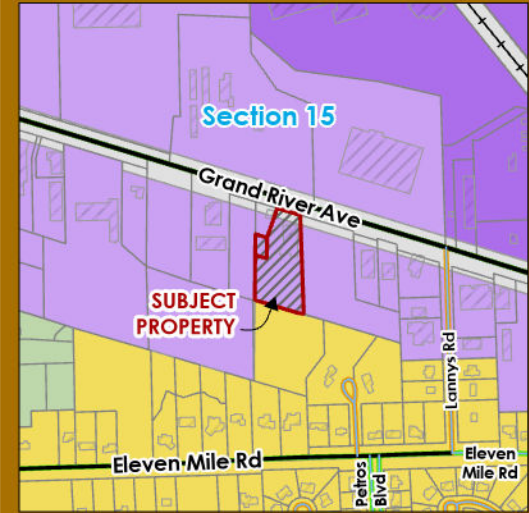
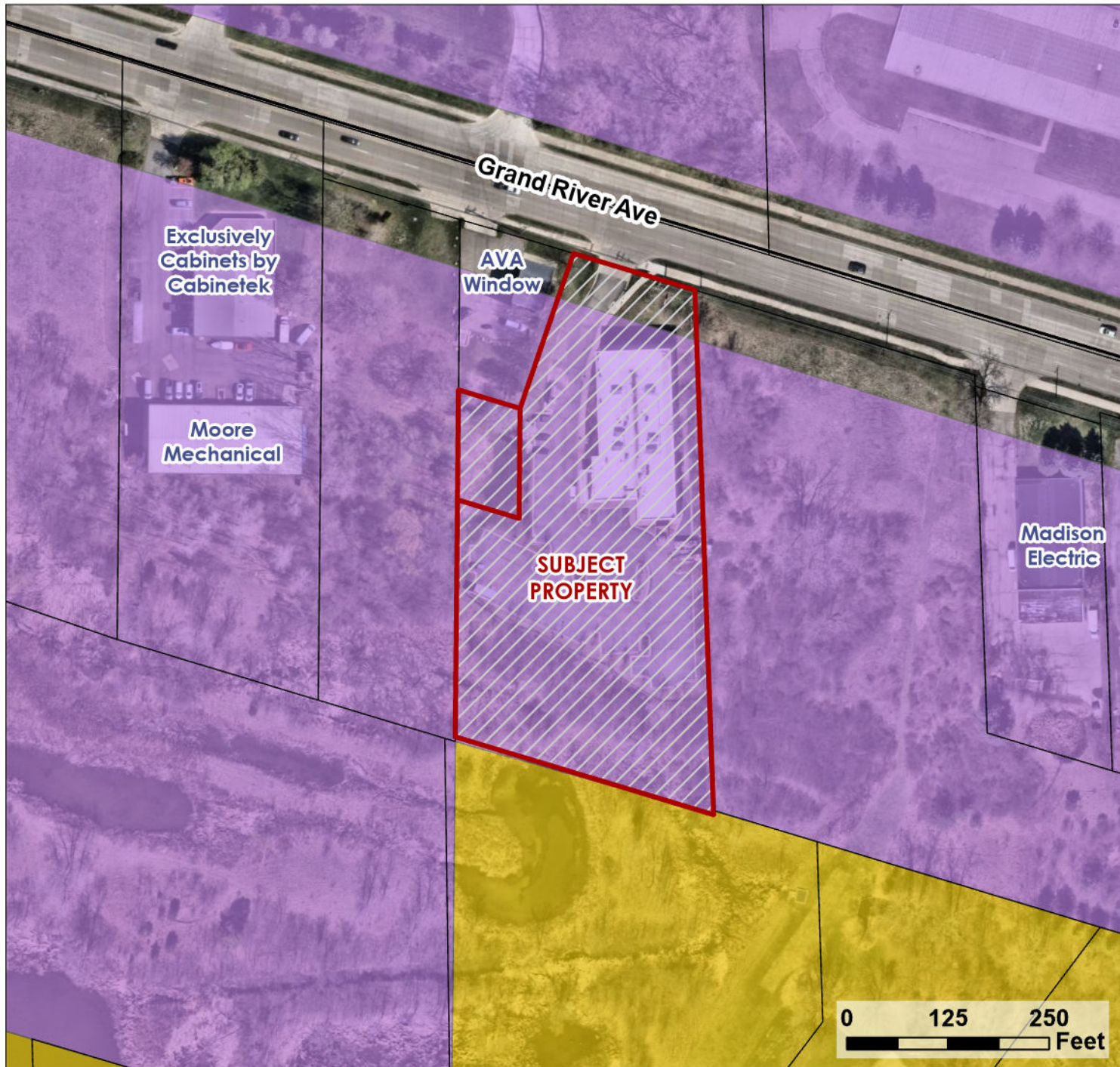
Date: 06/01/26
Version #: 1

City of Novi

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cityofnovi.org



44725 GRAND RIVER PARKING EXPANSION ZONING MAP



LEGEND

 Subject Property

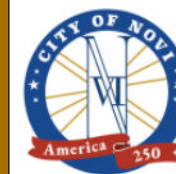
Zoning District

 I-1: Light Industrial

 I-2: General Industrial

 R-4: One-Family Residential

 RA: Residential Acreage



Map Author: Diana Shanahan
Project: 44725 Grand River

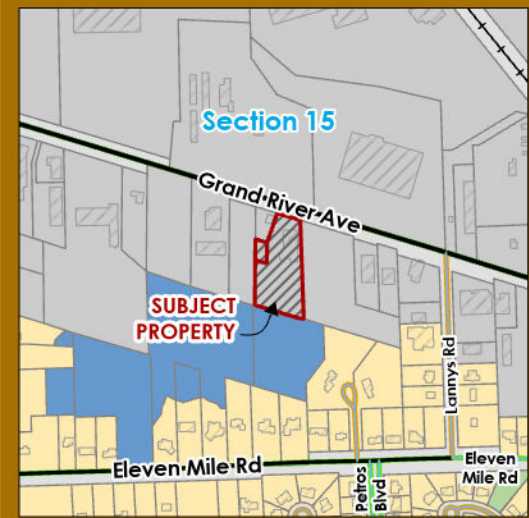
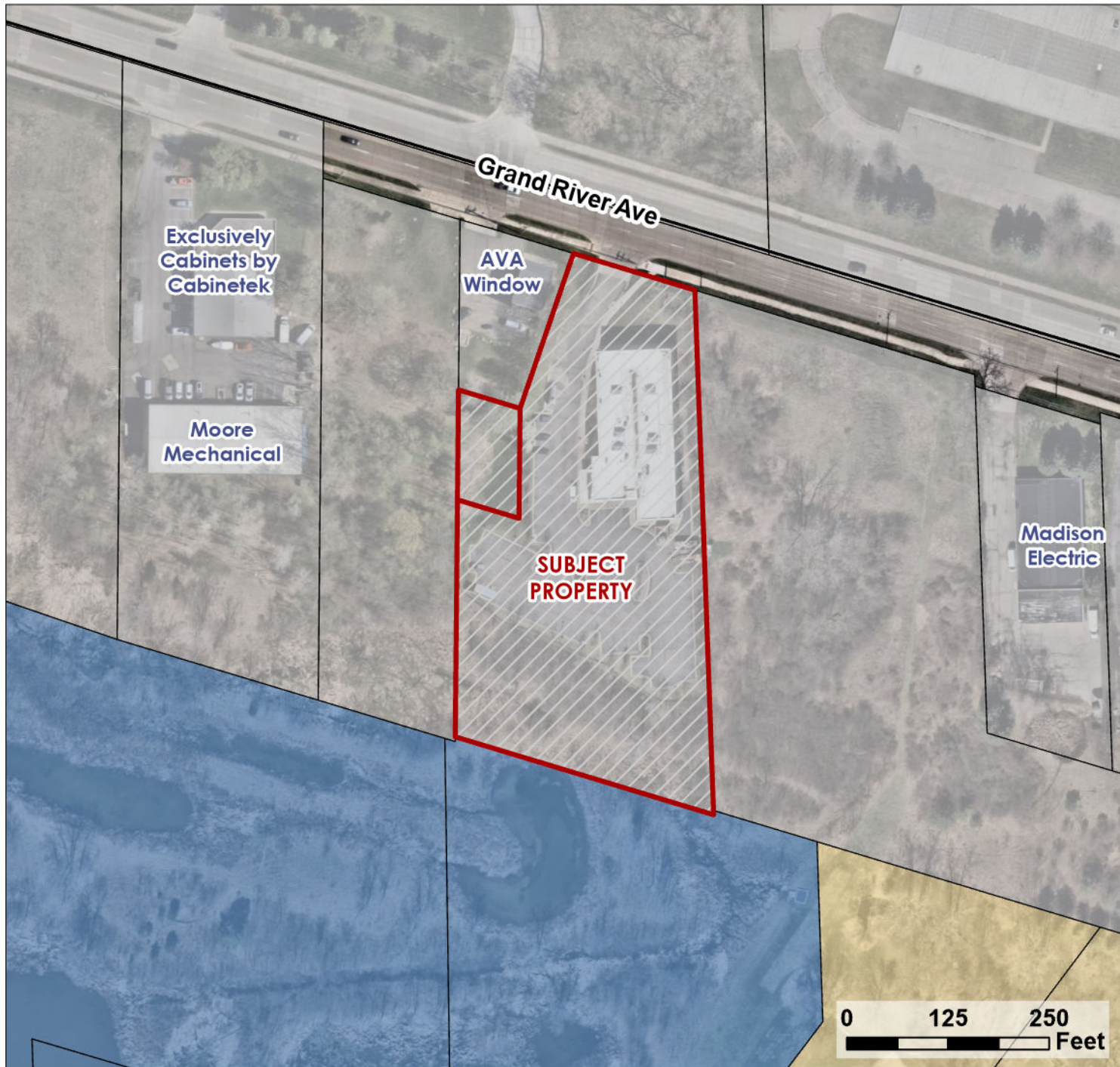
Date: 06/01/26
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44725 GRAND RIVER PARKING EXPANSION FUTURE LAND USE MAP



LEGEND

 Subject Property

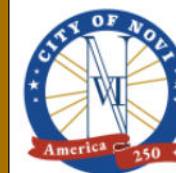
Future Land Use Category

 Single Family

 Private Park

 Public/Quasi-Public

 Industrial/Office



Map Author: Diana Shanahan
Project: 44725 Grand River

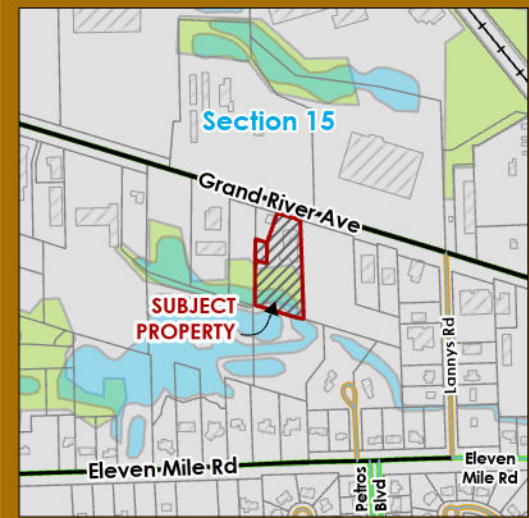
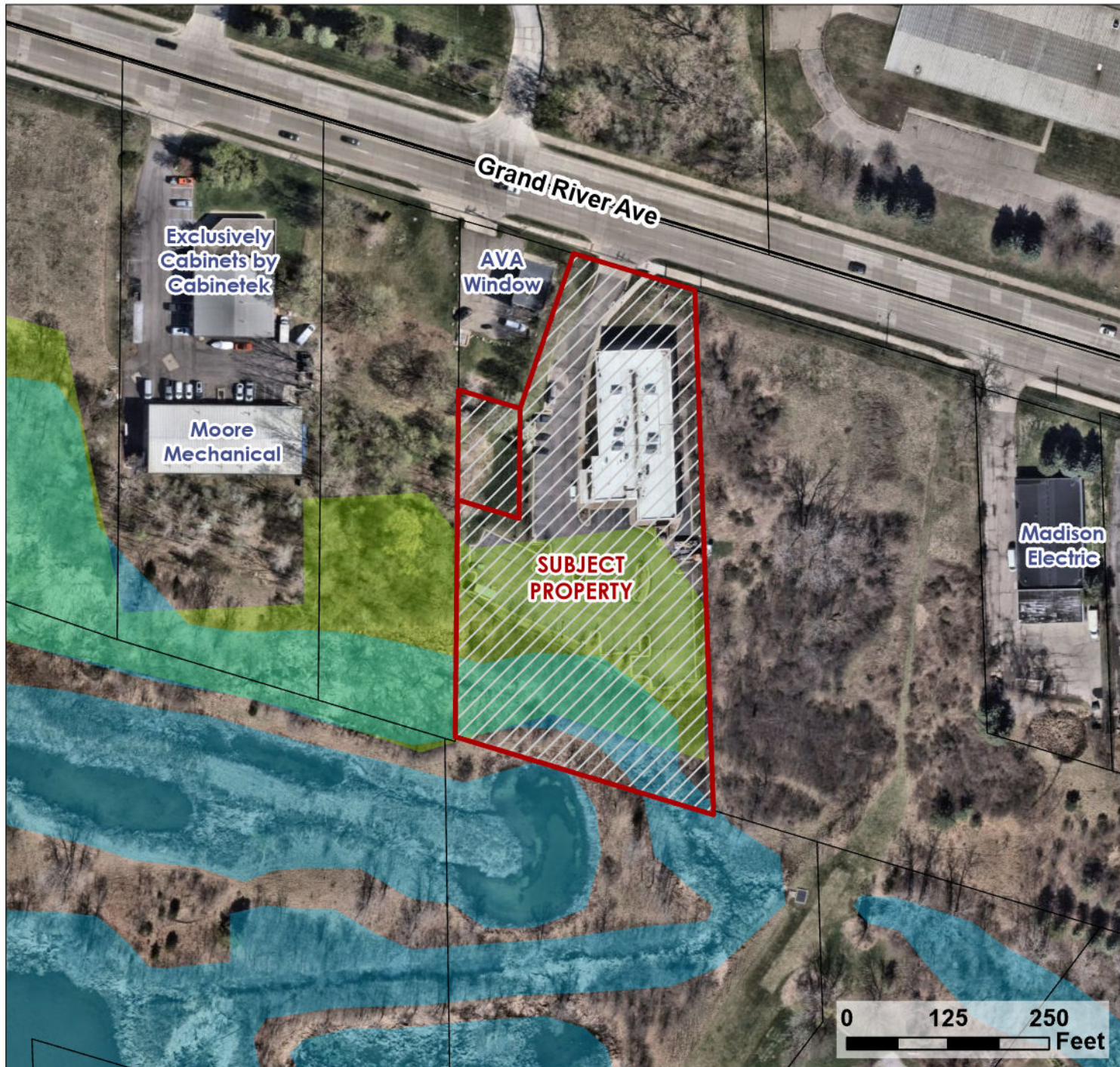
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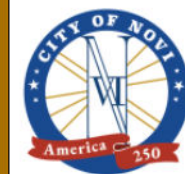


44725 GRAND RIVER PARKING EXPANSION NATURAL FEATURES MAP



LEGEND

-  Subject Property
-  Wetlands
-  Woodlands



Map Author: Diana Shanahan
Project: 44725 Grand River

Date: 06/01/26
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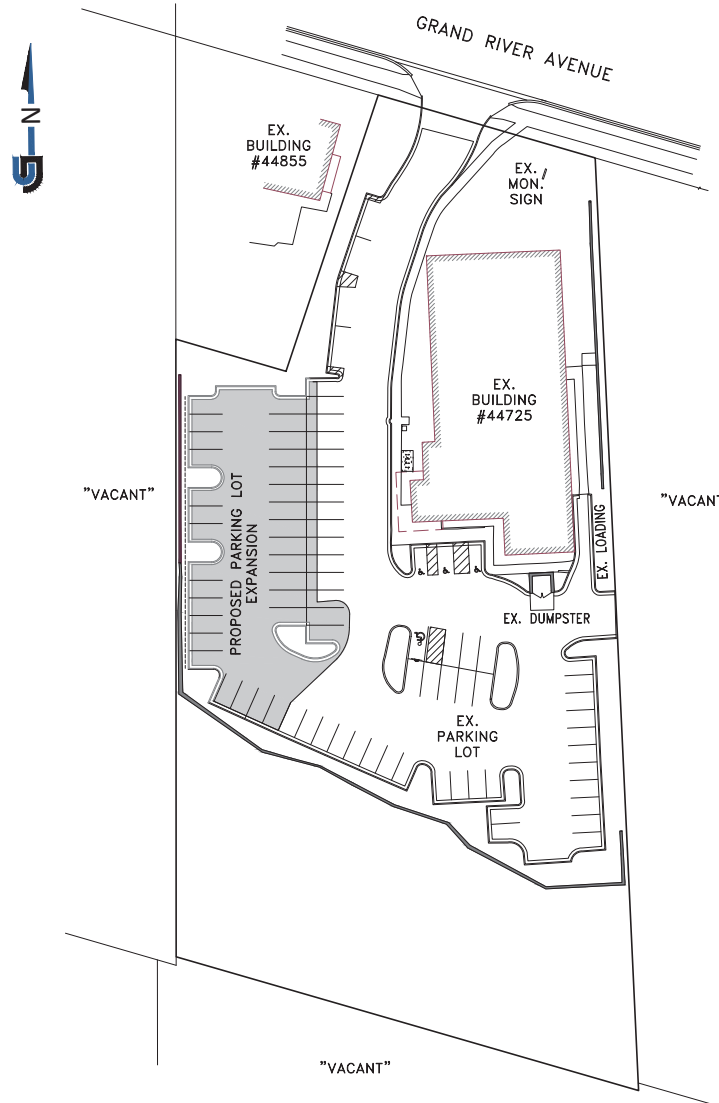
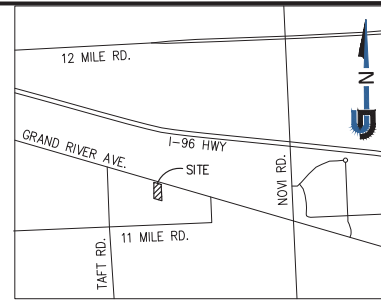
SITE PLAN

PARKING LOT EXPANSION

for

44725 GRAND RIVER AVENUE

CITY OF NOVI, OAKLAND COUNTY, MICHIGAN



SHEET INDEX:

- 1 COVER SHEET
- 2 DIMENSION & PAVING PLAN
- 3 PARKING PLAN
- 4 EXISTING CONDITIONS
- 5 LEGEND SHEET
- 6 DEMOLITION PLAN
- 7 GRADING AND UTILITY PLAN
- 8 SOIL EROSION & SEDIMENTATION CONTROL PLAN
- 9 IMPERVIOUS AREA PLAN
- 10 SITE DETAILS
- L-1 LANDSCAPE PLAN
- L-2 TREE PLAN
- L-3 LANDSCAPE DETAILS
- 1 OF 2 PHOTOMETRIC PLAN
- 2 OF 2 PHOTOMETRIC PLAN

CITY/COUNTY STANDARDS DETAIL SHEETS:

- 1 OF 1 OAKLAND COUNTY WATER RESOURCES COMMISSIONER - SOIL EROSION & SEDIMENTATION CONTROL DETAILS
- 1 OF 2 CITY OF NOVI STORM SEWER STANDARD DETAILS
- 2 OF 2 CITY OF NOVI STORM SEWER STANDARD DETAILS
- 1 OF 2 CITY OF NOVI PAVING STANDARD DETAILS
- 2 OF 2 CITY OF NOVI PAVING STANDARD DETAILS
- 1 OF 5 CITY OF NOVI WATER MAIN STANDARD DETAILS
- 2 OF 5 CITY OF NOVI WATER MAIN STANDARD DETAILS
- 3 OF 5 CITY OF NOVI WATER MAIN STANDARD DETAILS
- 4 OF 5 CITY OF NOVI WATER MAIN STANDARD DETAILS
- 5 OF 5 CITY OF NOVI WATER MAIN STANDARD DETAILS

APPLICANT:
 VERSA REAL ESTATE, LLC
 29201 TELEGRAPH ROAD
 SUITE 410
 SOUTHFIELD, MI 48034
 PHONE: (248) 979-6137
 FAX: (248) 856-3173
 CONTACT: ERIC MODILL

SITE CIVIL:
 THE UMLOR GROUP
 49287 WEST ROAD
 WIXOM, MI 48393
 PHONE: (248) 773-7656
 FAX: (866) 690-4307
 CONTACT: WES UMLOR, P.E.
 JESSE PARKINSON

GENERAL NOTES:

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF NOVI.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WHICH MIGHT AFFECT THIS JOB.
3. EXISTING EASEMENTS WILL BE SHOWN PER TITLE WORK, ONCE RECEIVED.
4. CONTRACTOR TO OBTAIN ALL REQUIRED APPROVALS AND PERMITS PRIOR TO THE START OF CONSTRUCTION.

GENERAL DEVELOPMENT SCHEDULE:

TASK	TIMELINE
APPROVAL/PERMITTING:	WINTER 2026
LAND DEVELOPMENT:	SPRING 2026
PARKING LOT CONSTRUCTION:	SPRING/SUMMER 2026

PROPOSED PARCEL LEGAL DESCRIPTION:
 PART OF THE SOUTHWEST 1/4 OF SECTION 15, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS:
 BEGINNING AT A POINT DISTANT N0017°00'W 770.33 FEET AND N73°49'03"W 1,181.31 FEET TO THE POINT OF BEGINNING; THENCE S02°39'19"E 477.43 FEET; THENCE N73°51'10"W 746.06 FEET; THENCE N00°14°45'W 215.71 FEET; THENCE S73°49'52"E 58.64 FEET; THENCE N00°02'11"W 100.00 FEET; THENCE N18°28'57"E 148.96 FEET; THENCE S73°49'03"E 115.44 FEET TO THE POINT OF BEGINNING.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN BY APPROXIMATION ONLY AND ARE NOT BEING REPRESENTED HEREIN BY THE OWNER OR BY REPRESENTATIVE OF THE CONTRACTOR. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UTILITIES PRIOR TO COMMENCING WORK AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES WHICH MAY BE OCCUPIED BY THE CONTRACTOR HEREIN TO EXACTLY LOCATE AND PROTECT ANY AND ALL UNDERGROUND UTILITIES.

Know what's below.
 Call before you dig.

CONSTRUCTION SITE SAFETY BY THE RESPONSIBILITY OF THE CONTRACTOR. ALL WORKERS SHALL BE EXPECTED TO ASSUME AND BE RESPONSIBLE FOR SAFETY OF THE WORK OF PERSONS ENGAGED BY THE WORK OF ANY OTHER PERSONS OR OF ANY OTHER PERSONS.

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UMLOR GROUP

49287 WEST ROAD, WIXOM, MI 48393
 PHONE: (866) 690-4307
 TEL: 248-773-7656 • FAX: 866-690-4307

SECTION 15
 TOWN 1 NORTH, RANGE 8 EAST
 CITY OF NOVI
 OAKLAND COUNTY, MICHIGAN

DATE: 11/14/2025

REVISIONS:

NO.	DATE	DESCRIPTION
2006-3-24	PER CITY REVIEW	
2006-3-24	PER CLIENT	
2006-4-28	PER CITY REVIEW	

CLIENT: VERSA REAL ESTATE, LLC
 44725 GRAND RIVER AVENUE
 PARCEL NO. 22-15-376-012 & 22-15-376-016
 CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

COVER SHEET

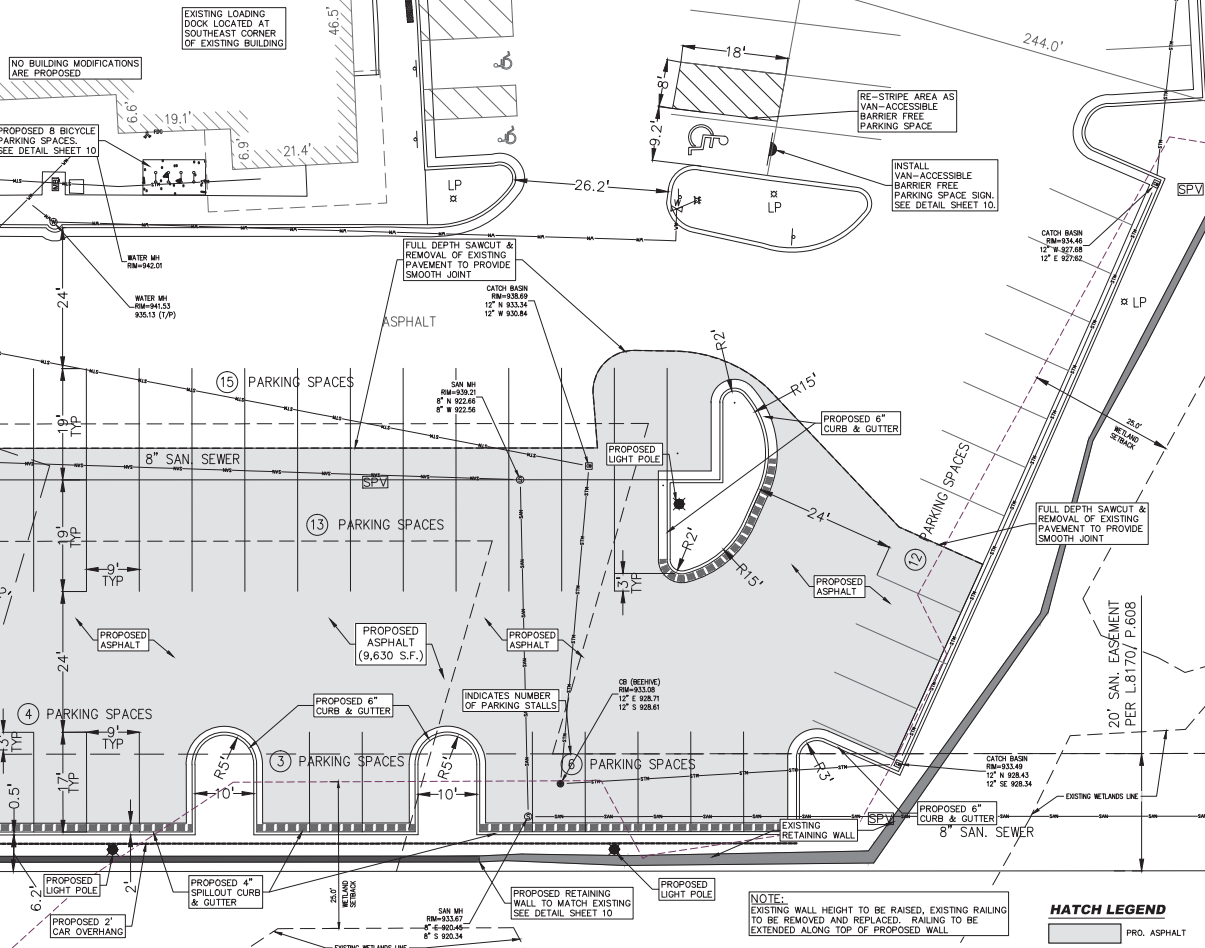
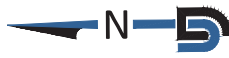
DESIGNED BY: RMS
 DRAWN BY: JEP

SCALE: 0 15 30
 SCALE: 1"=30'

DATE: 250811
 SHEET NO. 1



W:\MOR\GROUP\PROJECT\COVER\VERSA_REAL_ESTATE\2025\22-15-376-012_016_NORTH_PARKING_EXPANSION_PAVING_LAYOUT_COVER_SHEETS



- GENERAL NOTES:**
- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
 - ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
 - REFER TO CITY OF NOV PAVING STANDARD DETAILS FOR ADDITIONAL DETAILS.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF NOV CURRENT STANDARDS AND SPECIFICATIONS.
 - THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
 - ALL ON-SITE PARKING AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH MANHOLE/PARKING STALL STRIPES SHALL BE 4" WIDE (ORLAND) AND WHITE.
 - THE ACCESSIBLE PARKING SPACE AND ASSOCIATED AISLE SHALL BE STRIPED WITH 4" BLUE STRIPES. THE STANDARD SPACE ADJACENT TO AN ACCESSIBLE SPACE, ABUTTING BUILDING AND WHITE STRIPES SHALL BE INSTALLED.
 - ANY WORK WITHIN THE STREET OR HIGHWAY RIGHT-OF-WAYS SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BE UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST THE TOP OF ALL EXISTING AND PROPOSED STRUCTURES (MANHOLES, CATCH BASINS, BLETTS, GATE WELLS ETC.) WITHIN GRADED AND/OR PAVED AREAS TO FINAL GRADE SHOWN ON THE PLANS. ALL SUCH ADJUSTMENTS SHALL BE INCIDENTAL TO THE JOB AND WILL NOT BE PAID FOR SEPARATELY.
 - NO BUILDING MODIFICATIONS ARE PROPOSED.

WOODLANDS NOTES:

TREES TO BE SAVED ARE TO BE PROPERLY PROTECTED, AS DESIGNATED BY THE CITY OF NOV WOODLAND PROTECTION ORDINANCE.

ZONING:

I-1, LIGHT INDUSTRIAL DISTRICT
PER CITY OF NOV ZONING MAP

BUILDING SETBACKS:

FRONT: 40 FEET
REAR: 20 FEET
SIDES: 20 FEET
PER CITY OF NOV ZONING ORDINANCE

OUTDOOR STORAGE:

THERE IS NO OUTDOOR STORAGE PROPOSED FOR THIS SITE. OVERNIGHT PARKING OF DELIVERY VEHICLES WILL TAKE PLACE IN DESIGNATED PARKING AREAS ON THE SOUTH AND SOUTHEAST SIDES OF THE BUILDING.

HOURS OF OPERATION:

8:00 AM - 5:00 PM (MONDAY THROUGH FRIDAY)

PROJECT PHASING:

ONE PHASE - CONSTRUCTION TO COMMENCE SPRING 2026, COMPLETION SUMMER 2026

BUILDING INFORMATION:

PROPOSED BUILDING USE: OFFICE
1ST FLOOR BUSINESS OFFICE SPACE: 4,466 SF
1ST FLOOR MEDICAL OFFICE: 4,785 SF
2ND FLOOR MEDICAL OFFICE: 10,400 SF

PROPOSED PARKING DATA:

EXISTING PARKING: 66 SPACES, 3 BARRIER-FREE
1ST FLOOR BUSINESS OFFICE: 4,466 SF
1ST FLOOR MEDICAL OFFICE: 4,785 SF
2ND FLOOR MEDICAL OFFICE: 10,400 SF

BUSINESS OFFICE=1 SPACE PER 222 GLA
4,466 (1ST FLOOR)/222= 20 SPACES
MEDICAL OFFICE=1 SPACE PER 175 GLA
4,785 (2ND FLOOR)+10,400 (2ND FLOOR)= 15,185/175 = 87 SPACES

EXISTING PARKING TO BE REMOVED = 8 SPACES
PROPOSED PARKING: 28 SPACES (1 BARRIER-FREE SPACE)
66-8+28=86 SPACES PROVIDED (4 BARRIER-FREE SPACES)
TOTAL REQUIRED PARKING: 20+87 = 107 SPACES
TOTAL PROVIDED PARKING: 86 SPACES (4 BARRIER-FREE SPACES)

NOTES:

ALL PAVING AND GRADING IMPROVEMENTS SHALL CONFORM TO THE CITY OF NOV ENGINEERING DESIGN STANDARDS.

DIMENSIONS OF PARKING STALLS ABUTTING A CURB OR SIDEWALK ARE TO FACE OF CURB OR SIDEWALK. OTHER DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.

CURBING AND WALKS ADJACENT TO THE END OF 17-FOOT STALLS SHALL BE REDUCED TO 4-INCHES HIGH (RATHER THAN THE STANDARD 6-INCH HEIGHT TO BE PROVIDED ADJACENT TO 18-FOOT STALLS). ADDITIONALLY, 2-FOOT OVERHANG SHOULD BE PROVIDED ADJACENT TO 17-FOOT PARKING STALLS.

END ISLAND NOTE:

ALL END ISLANDS SHALL BE CONSTRUCTED 3 FT. SHORTER THAN THE ADJACENT PARKING SPACE WHEN ABUTTING A MANEUVERING AISLE.

SIDEWALK NOTE:

NO CHANGES TO THE EXISTING SIDEWALK ARE PROPOSED WITH THIS PROJECT.

SIGNAGE NOTE:

NO CHANGES TO THE EXISTING SITE SIGNAGE ARE PROPOSED WITH THIS PROJECT.

LIGHTING NOTES:

- ALL ON-SITE POLE MOUNTED LIGHTS SHALL BE SHIELDED AND AIMED AT THE AREAS TO BE SECURED (PARKING SPACES, DRIVES, WALKS, ETC.)
- BUILDING MOUNTED FIXTURES SHALL BE DESIGNED TO ILLUMINATE THE FACADE AND NOT ILLUMINATE THE LANDSCAPE AREAS OR PAVEMENT AREAS UNLESS SPECIFICALLY DESIGNED ON THESE PLANS.

GENERAL NOTES:

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF NOV.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WHICH MIGHT AFFECT THIS JOB.

*** ESTIMATED CONSTRUCTION MATERIALS:**

4" CURB & GUTTER	195 LF
6" CURB & GUTTER	202 LF
ASPHALT PAVEMENT	9,630 SF
21" 21AA AGGREGATE BASE	9,630 SF

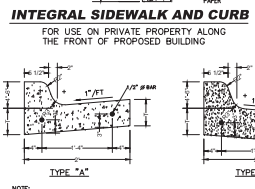
* CONTRACTOR TO EVALUATE AND DETERMINE ACTUAL QUANTITIES, ONLY USE ABOVE TABLE AS REFERENCE

BENCHMARKS:

BM#1:
ARROW ON TOP OF THE HYDRANT ON THE SOUTH SIDE OF GRAND RIVER AVENUE IN FRONT OF 44725 GRAND RIVER AVENUE. ELEVATION: 943.95 (N.A.V.D. 88)

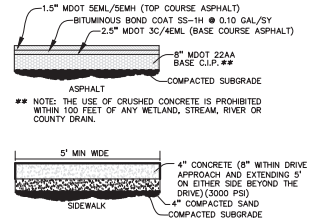
BM#2:
ARROW ON TOP OF THE HYDRANT IN THE REAR PARKING LOT ISLAND AT 44725 GRAND RIVER AVENUE. ELEVATION: 942.45 (N.A.V.D. 88)

CITY_BM#1534:
X ON NORTH RIM OF GATEWELL LOCATED 3 FEET SOUTH OF BACK OF CURB OF GRAND RIVER AND AT EAST PROPERTY LINE #45033 GRAND RIVER. ELEVATION: 941.28



ON-SITE CURB

NOT TO SCALE



PROPOSED PARCEL LEGAL DESCRIPTION:

PART OF THE SOUTHWEST 1/4 OF SECTION 15, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOV, OKLAHOMA COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT A POINT DISTANT N00°17'00"W 770.33 FEET AND N73°49'03"W 1,181.31 FEET TO THE POINT OF BEGINNING; THENCE S02°39'19"E 477.43 FEET; THENCE N73°51'10"W 246.06 FEET; THENCE N00°14'40"W 215.71 FEET; THENCE S73°49'02"E 58.64 FEET; THENCE N00°02'11"W 100.00 FEET; THENCE N18°28'57"E 148.96 FEET; THENCE S73°49'03"E 115.44 FEET TO THE POINT OF BEGINNING.

THE "COINCIDENCE" OF THESE PARALLEL LINES ARE SHOWN IN AN APPROXIMATE MANNER AND MAY NOT BE REPRESENTATIVE OF THE EXACT COINCIDENCE OF ALL STRIPES BEFORE CONSTRUCTION WORK AND SHOULD BE FULLY REPRESENTED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PRESENCE AND ALL RESPONSIBILITIES.

811
Know what's below.
Call before you dig.
CONSTRUCTION (SEE SAFETY) IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ASKING AN 811 SERVICE FOR SAFETY OF THE WORK. PERSONS ENGAGED IN THE WORK OF ANY OTHER PERSONS OR OF ANY OTHER PERSONS.

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14928 WEST ROAD, WIXOM, MI 48393
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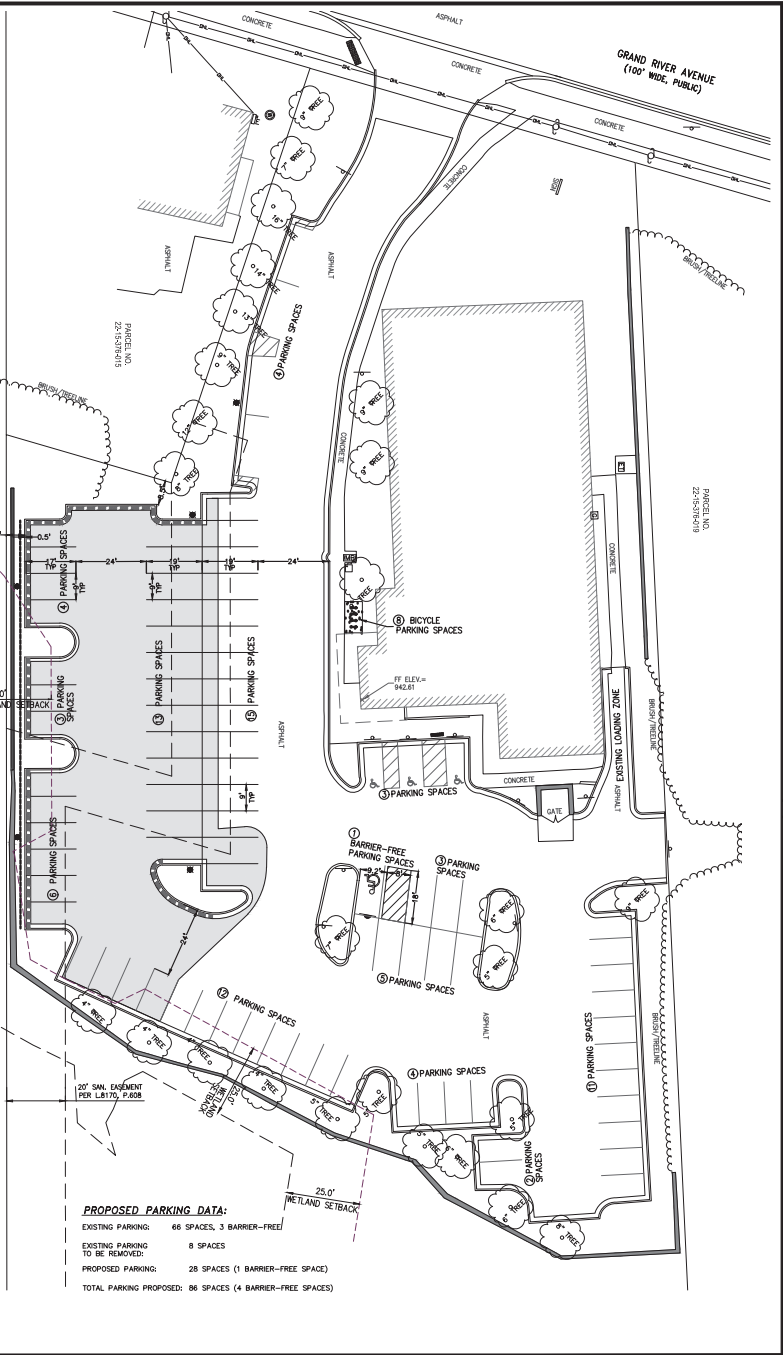
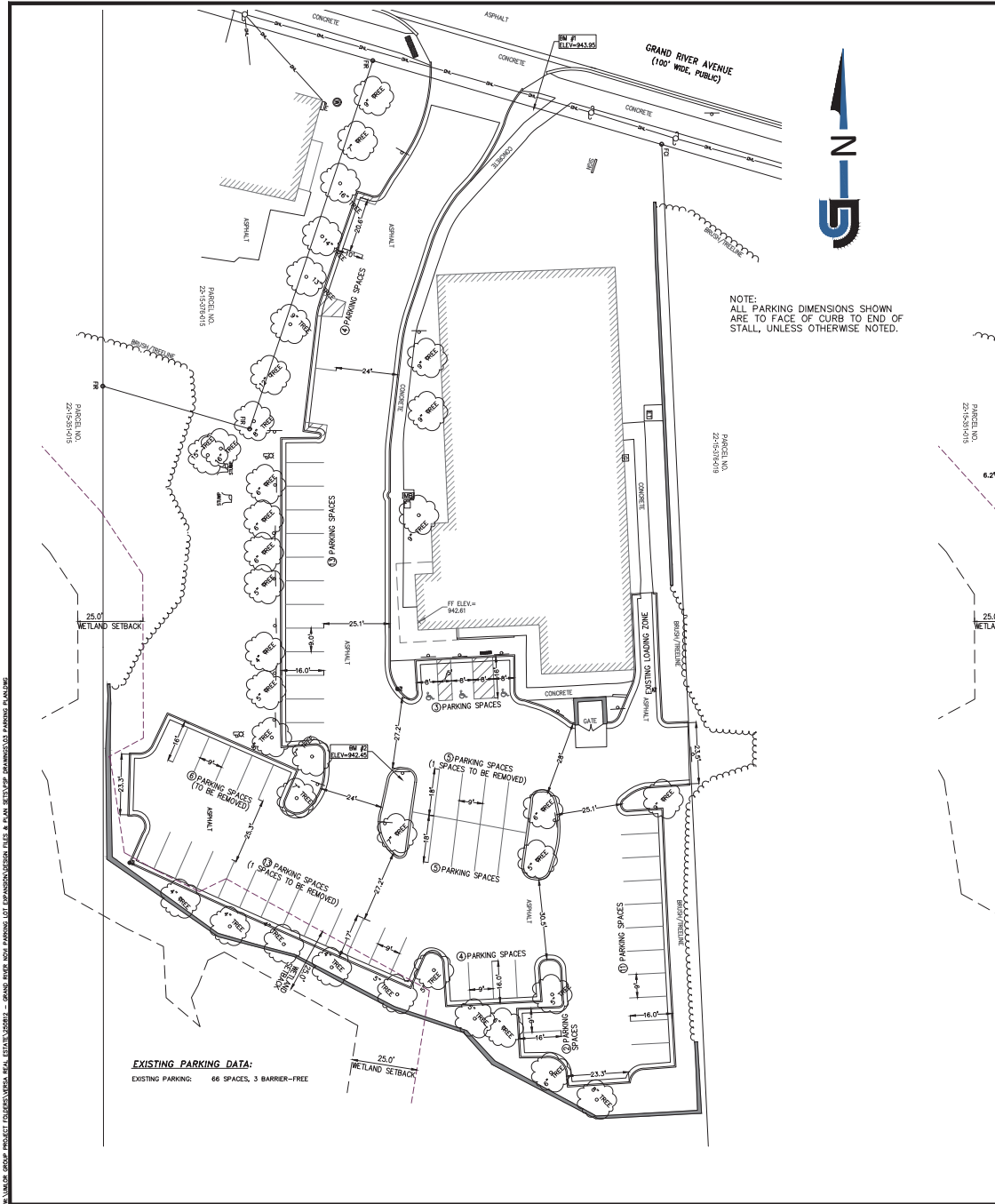
SECTION 15
TOWN 1 NORTH, RANGE 8 EAST
CITY OF NOV
OKLAHOMA COUNTY, MICHIGAN

DATE: 11/14/2025
REVISIONS:
2006-2-16 PER CITY REVIEW
2006-3-24 PER CLIENT
2006-4-29 PER CITY REVIEW

VERSAR REAL ESTATE, LLC
44725 GRAND RIVER AVENUE
PARCEL NOS. 22-15-351-012 & 22-15-351-016
CITY OF NOV, OKLAHOMA COUNTY, MICHIGAN

DIMENSION & PAVING PLAN

BY: RMS
DATE: 11/14/2025
SCALE: 0 5 10
SCALE: 1"=10'
SHEET NO: 250317
SHEET NO: 2



THE LOCATION OF UTILITIES (UNDERGROUND UTILITIES ARE SHOWN BY AN APPROXIMATE LINE AND ARE NOT TO BE CONSIDERED AS A GUARANTEE BY THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK AND SHALL BE RESPONSIBLE FOR THE SAFETY OF THE WORK OF PERSONS ENGAGED BY THE WORK OF ANY BARRIER STRUCTURES OR OF ANY OTHER PERSONS.

811
Know what's below.
Call before you dig.

CONSTRUCTION USE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. SHALL BE SPECIFIED TO ASSURE AND RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED BY THE WORK OF ANY BARRIER STRUCTURES OR OF ANY OTHER PERSONS.

These documents are instruments of service in respect of the Project and are prepared by the City of Novi. The City of Novi shall not be liable for any damages, including attorney's fees, arising out of or resulting from the use of these documents. The City of Novi shall not be liable for any damages, including attorney's fees, arising out of or resulting from the use of these documents. The City of Novi shall not be liable for any damages, including attorney's fees, arising out of or resulting from the use of these documents.

DUMBLOR
44725 WEST ROAD WAXOM, MI 48393
TEL 248.773.7555 • FAX 866.690.4307

SECTION 15	DATE: 11/14/2025
TOWN 1 NORTH, RANGE 8 EAST	REVISIONS:
CITY OF NOVI	2006-2-16 PER CITY REVIEW
OAKLAND COUNTY, MICHIGAN	2006-3-24 PER CLIENT
	2006-4-28 PER CITY REVIEW

CLIENT: **VERSA REAL ESTATE, LLC**
44725 GRAND RIVER AVENUE
PARCEL NOS. 22-15-376-012 & 22-15-376-016
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

DESIGNED BY: RMS
DRAWN BY: JPD
SCALE: 0 10 20
SCALE: 1"=20'
SHEET NO. 250811
3

Regulated Woodlands

City of Novi, Michigan

LEGEND

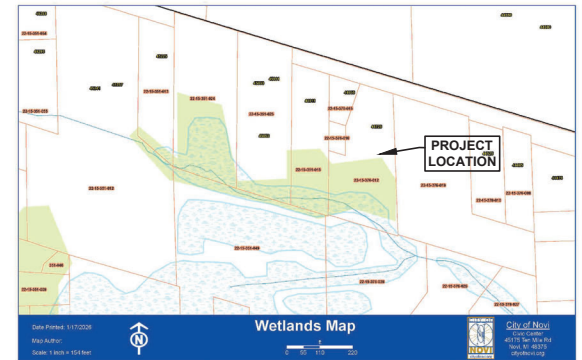
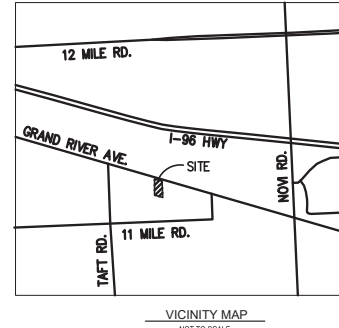
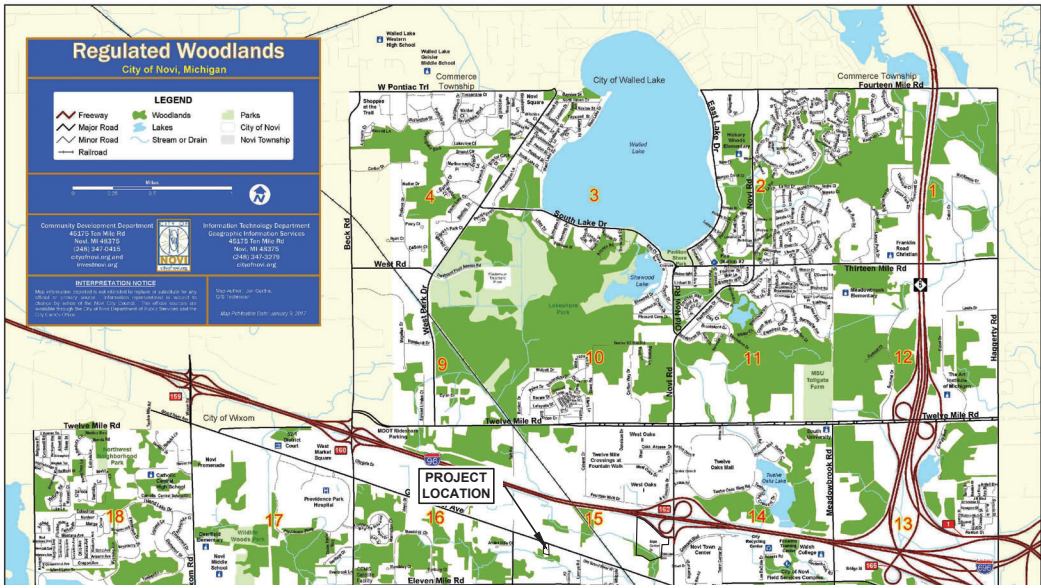
- Freeway
- Major Road
- Minor Road
- Railroad
- Woodlands
- Lakes
- Stream or Drain
- Parks
- City of Novi
- Novi Township

Community Development Department
40122 Fox Mlk Rd
Novi, MI 48372
(248) 347-0445
novi@novi.org

Information Technology Department
Geographic Information Services
40122 Fox Mlk Rd
Novi, MI 48372
(248) 347-0472
city@novi.org

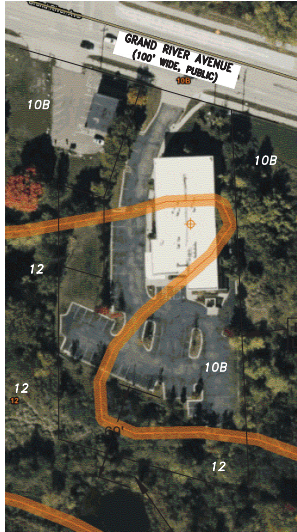
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Novi, Michigan
City of Novi
GIS Division
Map Updated On: January 1, 2017



LEGEND

SYMBOL	DESCRIPTION
MON	FOUND MON
FCI	FOUND CAPPED IRON
FIR	FOUND IRON ROD
(R)	RECORDED BEARING
(M)	MEASURED BEARING
EX OVERHEAD ELECTRIC	EX OVERHEAD ELECTRIC
EX SANITARY SEWER	EX SANITARY SEWER
EX STORM SEWER	EX STORM SEWER
EX UNDERGROUND CABLE	EX UNDERGROUND CABLE
EX UNDERGROUND ELECTRIC	EX UNDERGROUND ELECTRIC
EX UNDERGROUND GAS	EX UNDERGROUND GAS
EX WATER MAIN	EX WATER MAIN
EX WALL	EX WALL
EX CATCH BASIN ROUND	EX CATCH BASIN ROUND
EX STORM INLET/CATCH BASIN	EX STORM INLET/CATCH BASIN
EX CLEAN OUT	EX CLEAN OUT
EX ELECTRIC METER	EX ELECTRIC METER
EX GAS METER	EX GAS METER
EX GATE VALVE IN WELL	EX GATE VALVE IN WELL
EX HYDRANT	EX HYDRANT
EX LIGHT POLE	EX LIGHT POLE
EX MAILBOX	EX MAILBOX
EX SANITARY MANHOLE	EX SANITARY MANHOLE
EX SIGN	EX SIGN
EX STORM MANHOLE	EX STORM MANHOLE
EX TRANSFORMER	EX TRANSFORMER
EX UTILITY POLE	EX UTILITY POLE
EX WATER MANHOLE	EX WATER MANHOLE
EX WATER SHUT OFF	EX WATER SHUT OFF
EX WATER VALVE	EX WATER VALVE
EX WELL	EX WELL
EX TREE (DECIDUOUS/CONIFER)	EX TREE (DECIDUOUS/CONIFER)



BENCHMARKS:

BM#1:
ARROW ON TOP OF THE HYDRANT ON THE SOUTH SIDE OF GRAND RIVER AVENUE IN FRONT OF 44725 GRAND RIVER AVENUE. ELEVATION: 943.95 (N.A.V.D. 88)

BM#2:
ARROW ON TOP OF THE HYDRANT IN THE REAR PARKING LOT ISLAND AT 44725 GRAND RIVER AVENUE. ELEVATION: 942.45 (N.A.V.D. 88)

UTILITY CONTACTS:

GAS: CONSUMERS ENERGY
530 W. WILLOW ST.
LANSING, MI 48226
EMAIL: MISSEDORDER@CENETRS.COM
CENETRS.COM

STORM DRAINAGE: CITY OF NOVI
ENGINEERING DIVISION
26300 LEE BEGOLD DR
NOVI, MI 48375
(248)735-5644

WATER SERVICE: CITY OF NOVI
WATER AND SEWER DIVISION
26300 LEE BEGOLD DR
NOVI, MI 48375
(248)735-5644

SANITARY SERVICE: CITY OF NOVI
WATER AND SEWER DIVISION
26300 LEE BEGOLD DR
NOVI, MI 48375
(248)735-5644

SOIL EROSION PERMIT: CITY OF NOVI
ENGINEERING DIVISION
26300 LEE BEGOLD DR
NOVI, MI 48375
(248)735-5644

CABLE TV: COMCAST CABLE COMMUNICATIONS, INC.
25425 TELEGRAPH RD
SOUTHFIELD, MI 48034
(248)908-2715

ELECTRIC: DTE
ENERGY ONE ENERGY PLAZA, 518 SB
DETROIT, MI 48226
(313)235-5632
ITC
27175 ENERGY WAY
NOVI, MI 48377
(313)267-4857

TELEPHONE: AT&T (FORMERLY SBC)
24 N. MILL ST., 4TH FLOOR
PONTIAC, MI 48342
(248)458-8256

Oakland County, Michigan (MI125)

Map Unit Symbol	Map Unit Name	Acres In AOI	Percent of AOI
10B	Marlette sandy loam, 1 to 6 percent slopes	5.6	64.7%
12	Brookston and Colwood loams	3.1	35.2%
BritaB	Blount loam, 0 to 4 percent slopes	0.0	0.0%
Totals for Area of Interest		8.7	100.0%

DISTANCE TO WALLED LAKE BRANCH OF THE MIDDLE ROUGE

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN BY AN APPROXIMATION ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR BY REPRESENTING THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF EXISTING UTILITIES BEFORE COMMENCING WORK AND SHALL BE RESPONSIBLE FOR THE LOCATION OF EXISTING UTILITIES TO EXACTLY LOCATE AND PROTECT ANY AND ALL UNDERGROUND UTILITIES.

811

Know what's below. Call before you dig.

CONSTRUCTION IS THE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. BEFORE THE ONSET OF ANY PROJECTS SHALL BE EXPECTED TO ASSURE ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY EXISTING UTILITIES OR OF ANY OTHER PERSONS.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING UTILITIES.

These documents are instruments of service in support of the Project and are not to be used for any other purpose without the written consent of the owner. The owner (City of Novi) is not responsible for any errors or omissions on this map. The user of this information is responsible for its accuracy. The City of Novi Department of Public Services and the Information Technology Department are not liable for any errors or omissions on this map.

DUMBLOR GROUP

14928 WEST ROAD, WAXOM, MI 48393
TEL: 248-773-7555 • FAX: 866-360-4307

SECTION 15

TOWN 1 NORTH, RANGE 8 EAST

CITY OF NOVI

OAKLAND COUNTY, MICHIGAN

DATE: 11/14/2025

REVISIONS:

2006-2-16 PER CITY REVIEW

2006-3-24 PER CLIENT

2006-4-29 PER CITY REVIEW

VERSAR REAL ESTATE, LLC

44725 GRAND RIVER AVENUE

PARCEL NOS. 22-15-376-202 & 22-15-376-016

CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

LEGEND SHEET

DATE: 11/14/2025

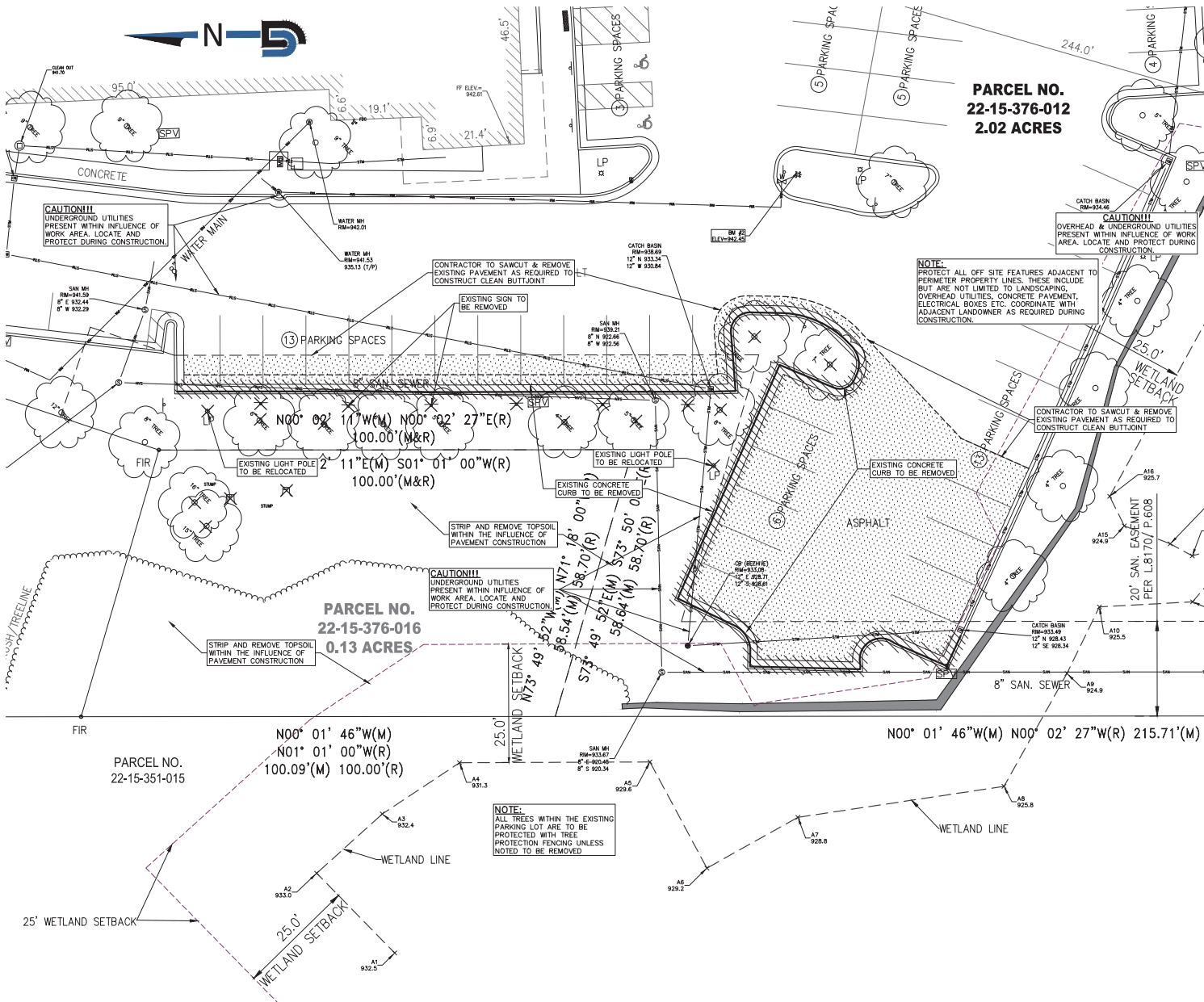
BY: RMS

PL: JEP

SCALE: AS SHOWN

SHEET NO. 5

W:\AR\B\B\PROJECT\LEGEND\VERSAR_REAL_ESTATE\2025\22-15-376-202 & 22-15-376-016\SETUP\DRAWINGS\LEGEND-SHEET-2005125.DWG



PARCEL NO.
22-15-376-012
2.02 ACRES

PARCEL NO.
22-15-376-016
0.13 ACRES

PARCEL NO.
22-15-351-015

GENERAL NOTES:
1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF NOVI.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WHICH MAY AFFECT THIS JOB.

BENCHMARKS:

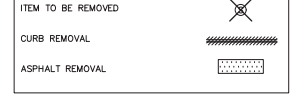
BM#1:
ARROW ON TOP OF THE HYDRANT ON THE SOUTH SIDE OF GRAND RIVER AVENUE IN FRONT OF 44725 GRAND RIVER AVENUE. ELEVATION: 943.95 (N.A.V.D. 88)
BM#2:
ARROW ON TOP OF THE HYDRANT IN THE REAR PARKING LOT ISLAND AT 44725 GRAND RIVER AVENUE. ELEVATION: 942.45 (N.A.V.D. 88)

CITY BM#1534:
X ON NORTH RIM OF GATEWELL LOCATED 3 FEET SOUTH OF BACK OF CURB OF GRAND RIVER AND AT EAST PROPERTY LINE #45033 GRAND RIVER. ELEVATION: 941.28

GENERAL DEMOLITION NOTES:

- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
1. CONCRETE AND ASPHALT DEMOLISHED MATERIALS CAN BE MILLED, CRUSHED AND PULVERIZED TO CREATE SUBGRADE MATERIAL PER GEOTECHNICAL SPECIFICATIONS RECOMMENDATIONS.
 2. ALL MATERIAL TO BE REMOVED AND EXCESS MATERIAL, WHETHER SPECIFICALLY NOTED IN THE PLANS OR NOT, SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF OFF-SITE IN A LEGAL MANNER. NO ON-SITE BURY OR BURN PITS SHALL BE ALLOWED.
 3. ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL CODES AND ORDINANCES.
 4. STAGING/PHASING OF DEMOLITION AND CONSTRUCTION IS TO BE COORDINATED WITH THE OWNER AND CITY OF NOVI.
 5. SPECIFIC DEMOLITION ITEMS HAVE BEEN INDICATED ON THE PLANS AS A GUIDE TO THE GENERAL SCOPE OF THE WORK. IT IS THE INTENT THAT THESE ITEMS SHALL BE COMPLETELY REMOVED BY THE CONTRACTOR ABOVE AND BELOW GROUND, UNLESS SPECIFICALLY NOTED OTHERWISE, AND THAT DEMOLITION WILL INCLUDE BUT WILL NOT BE LIMITED TO THE ITEMS LISTED. CONTRACTOR SHALL VISIT SITE TO VERIFY EXISTING CONDITIONS AND EXTENTS OF THE DEMOLITION THAT WILL BE REQUIRED PRIOR TO SUBMITTING A BID.
 6. REMOVE ALL STRUCTURES DESIGNATED FOR REMOVAL ACCORDING TO DEMOLITION PLAN. THIS INCLUDES FOUNDATIONS, FOOTINGS, FOUNDATION WALLS, FLOOR SLABS, UNDERGROUND UTILITIES, CONCRETE, ASPHALT, TREES, ETC.
 7. REFER TO LANDSCAPE PLANS FOR TREE PROTECTION DETAILS.
 8. THE CONTRACTOR SHALL, AS A MINIMUM, PROVIDE TREE PROTECTION FENCING AROUND EXISTING TREES TO BE SAVED THAT ARE WITHIN 15' OF CONSTRUCTION ACTIVITIES AND AS INDICATED IN THE PLANS OR PER LOCAL AGENCY REQUIREMENTS.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP, NOISE, DUST CONTROL, STREET CLOSING AND HOURS OF OPERATION IN ACCORDANCE WITH THE LOCAL CODES.
 10. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNAGE, MARKINGS, LIGHTS AND OTHER TRAFFIC CONTROL DEVICES TO PROTECT THE WORK ZONE AND SAFELY MAINTAIN TRAFFIC PER AGENCY REQUIREMENTS AND IN ACCORDANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUCD) LATEST EDITION.
 11. THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO CONFIRM THAT UTILITY LEADS HAVE BEEN TAKEN OUT OF SERVICE PRIOR TO DEMOLITION.
 12. ALL OVERHEAD AND UNDERGROUND ELECTRICAL LINES WITHIN THE AREA OF CONSTRUCTION AS SHOWN ON THE PLANS, ARE TO BE PROTECTED DURING THE CONSTRUCTION PROCESS. COORDINATE SHUTDOWNS AND REMOVALS WITH DETROIT Edison OF THE APPROPRIATE UTILITY COMPANY, (HOTEL PHONE AND CABLE T.V. SERVICES MAY ALSO BE LOCATED ON OVERHEAD LINES).
 13. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF SIGNS AND SUPPORTS WITHIN THE WORK AREA, AS NECESSARY TO FACILITATE CONSTRUCTION. SIGNS SHALL BE PROTECTED OR STOCKPILED FOR REUSE AS SPECIFIED IN THE PLANS OR AS REQUIRED BY THE AGENCY OF JURISDICTION. THE CONTRACTOR SHALL REPLACE ANY DAMAGED SIGNS AND SUPPORTS AT NO ADDITIONAL COST TO THE OWNER.
 14. THE CONTRACTOR SHALL NOTIFY MISS DIG, THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.

DEMOLITION LEGEND:



811
Know what's below.
Call before you dig.
CONSTRUCTION USE SAFETY: BE RESPONSIBLE FOR THE CONTRACTOR'S OBLIGATION TO VERIFY THE PRESENCE OF UTILITIES BEFORE COMMENCING WORK AND OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WHICH MAY AFFECT THIS JOB. THE CONTRACTOR SHALL VISIT SITE TO VERIFY EXISTING CONDITIONS AND EXTENTS OF THE DEMOLITION THAT WILL BE REQUIRED PRIOR TO SUBMITTING A BID.

These documents are instruments of service on behalf of the Public and are not subject to the Freedom of Information Act. The information contained herein is for your information only and is not intended to constitute an offer of insurance. Insurance, health and accident insurance, and other financial products are available through the services of other companies. Please contact your insurance agent for more information on rates and terms. All services are subject to underwriting.

DUMJOR
44725 WEST ROAD, WAXON, MI 48393
TEL 248.773.7551 • FAX 248.750.4307

SECTION 15	CITY OF NOVI
TOWN 1 NORTH, RANGE 8 EAST	OAKLAND COUNTY, MICHIGAN

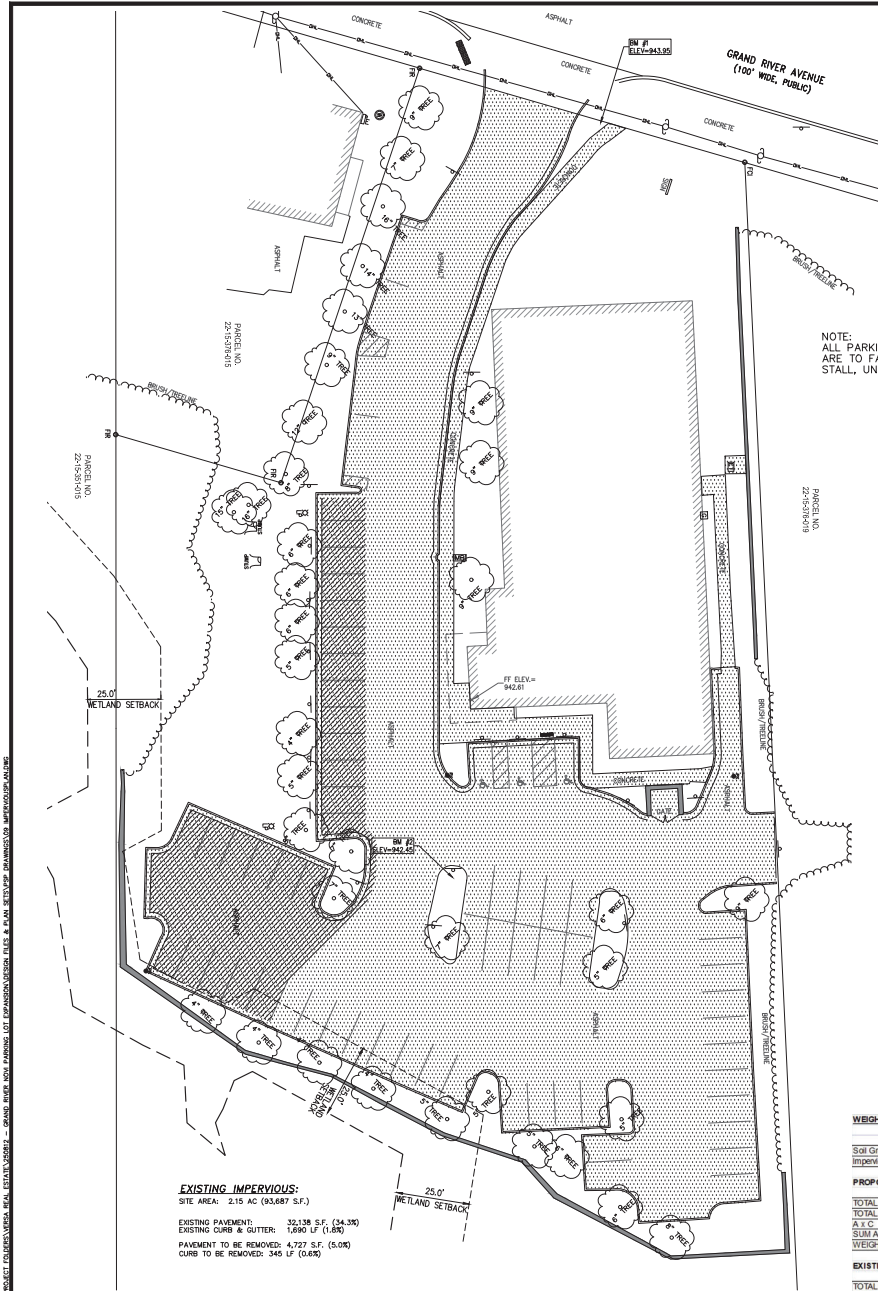
DATE: 11/14/2025
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2006-4-29 PER CITY REVIEW

CLIENT: **VERSA REAL ESTATE, LLC**
44725 GRAND RIVER AVENUE
PARCELS NOS. 22-15-376-012 & 22-15-376-016
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

DESIGNED BY: **RMS**
DRAWN BY: **SPD**

SCALE: 0 5 10
SCALE: 1"=10'

SHEET NO. **250311**
6



WEIGHTED C CALCULATIONS

	C Factor	
Soil Group C -4%	0.30	
Impervious Area	0.85	

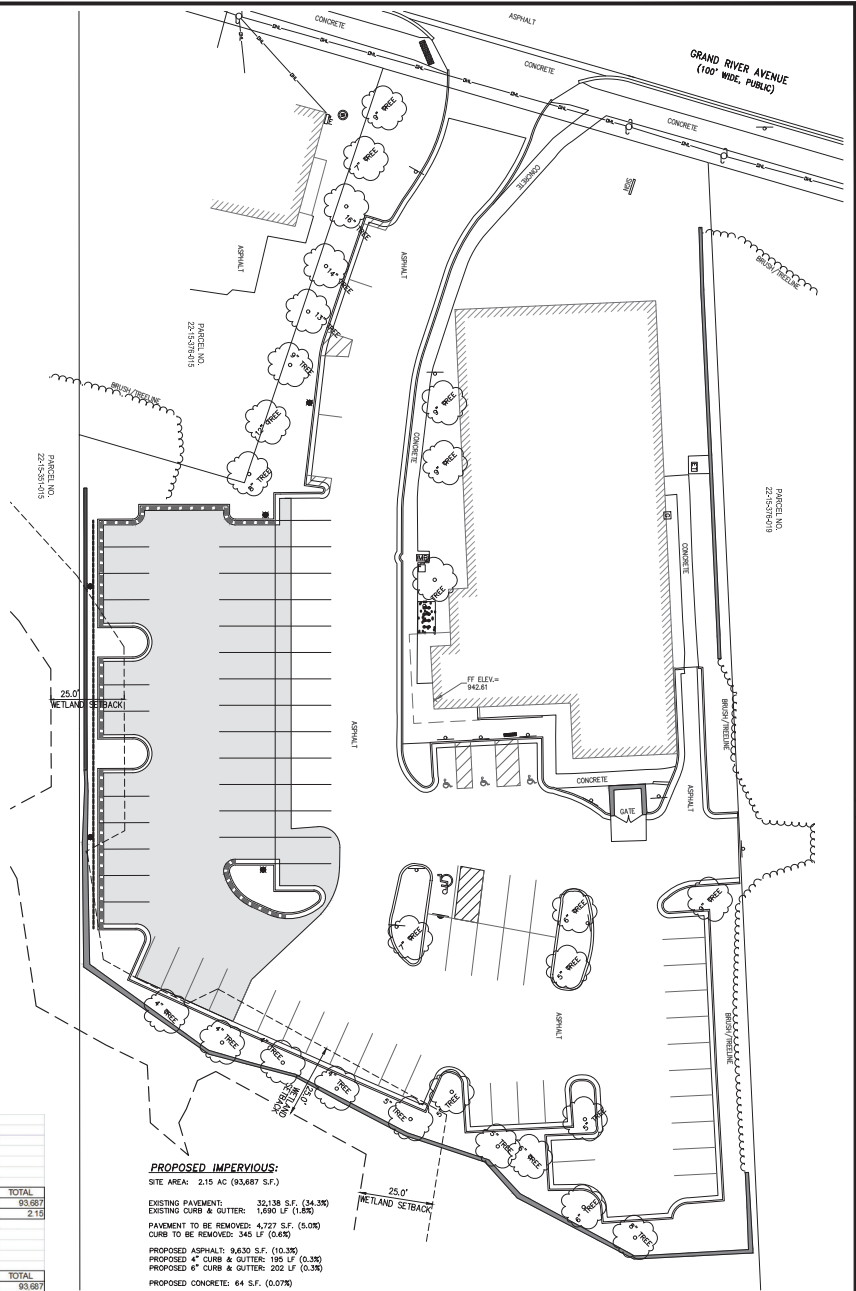
PROPOSED WEIGHTED C CALCULATIONS

	PERVIOUS	IMPERVIOUS	TOTAL
TOTAL AREA (S.F.)	46,161	47,505	93,667
TOTAL AREA (AC)	1.06	1.09	2.15
A x C	0.30	1.04	
SUM A x C	1.35		
WEIGHTED C	0.63		

EXISTING WEIGHTED C CALCULATIONS

	PERVIOUS	IMPERVIOUS	TOTAL
TOTAL AREA (S.F.)	51,149	42,535	93,684
TOTAL AREA (AC)	1.17	0.98	2.15
A x C	0.35	0.93	
SUM A x C	1.28		
WEIGHTED C	0.60		

EXISTING IMPERVIOUS:
 SITE AREA: 2.15 AC (93,687 S.F.)
 EXISTING PAVEMENT: 32,138 S.F. (34.3%)
 EXISTING CURB & GUTTER: 1,690 LF (1.8%)
 PAVEMENT TO BE REMOVED: 4,727 S.F. (5.0%)
 CURB TO BE REMOVED: 345 LF (0.8%)



THE ACCURACY OF THESE INFORMATIONAL ITEMS ARE SHOWN AS AN APPROXIMATION ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR BY REPRESENTATIVE OF THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK AND ADVISED TO BE FULLY RESPONSIBLE FOR THE SAFETY OF THE WORK OF PERSONS ENGAGED BY THE WORK OF ANY BIDDING CONTRACTORS OR OF ANY OTHER PERSONS.

811
 Know what's below.
 Call before you dig.

These drawings are a representation of the proposed project and are not intended to be used for construction. The Contractor shall be responsible for the accuracy of the information shown on these drawings. The Contractor shall be responsible for the accuracy of the information shown on these drawings. The Contractor shall be responsible for the accuracy of the information shown on these drawings.

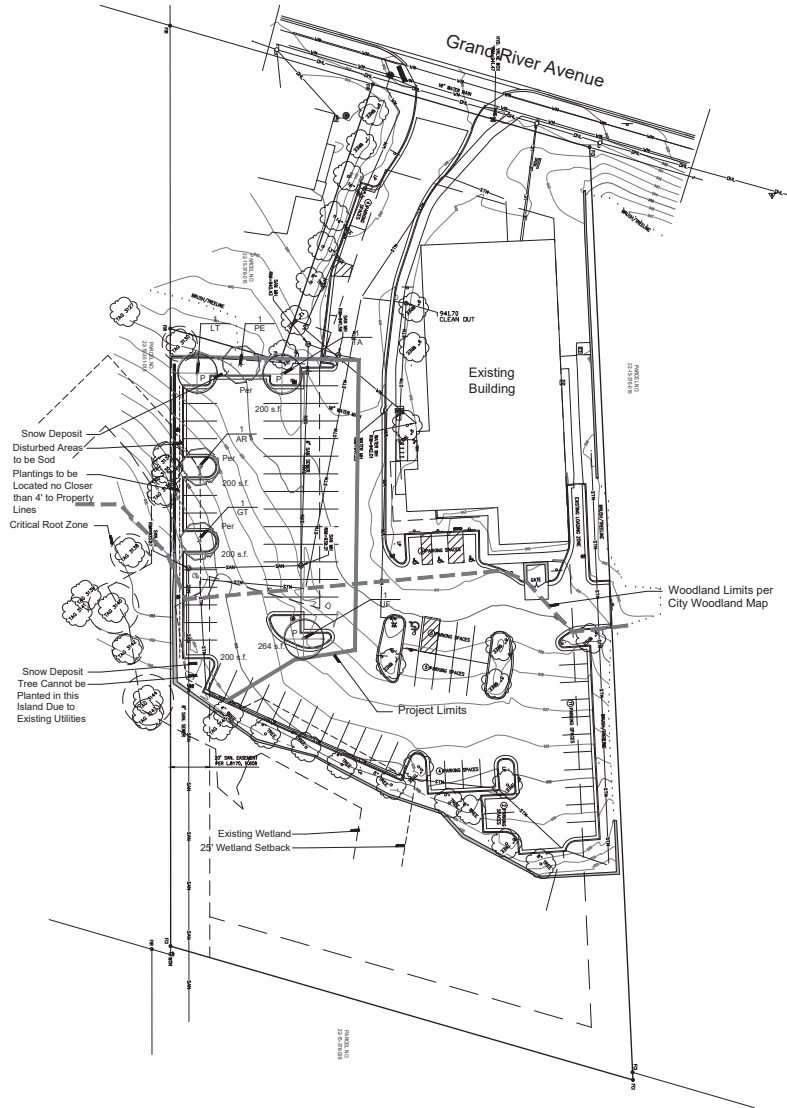
DUMJOR
 49287 WEST ROAD WAXOM, MI 48393
 TEL 248.773.7555 • FAX 866.690.4307

SECTION 15
 TOWN 1 NORTH, RANGE 8 EAST
 CITY OF NOV
 OAKLAND COUNTY, MICHIGAN

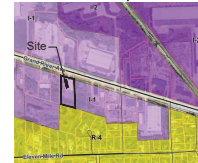
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CLIENT: **VERSA REAL ESTATE, LLC**
 44725 GRAND RIVER AVENUE
 PARCEL NOS. 22-15-376-012 & 22-15-376-016
 CITY OF NOV, OAKLAND COUNTY, MICHIGAN

DESIGNED BY: RMS
 DRAWN BY: JPD
 SCALE: 0 10 20
 SCALE: 1"=20'
 SHEET NO. 9



Location Map



Landscape Summary

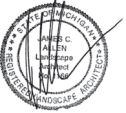
Existing Zoning	I-1
Parking Lot Landscaping	
Vehicular Use Area	8,580 s.f.
Landscape Area Required	644 s.f. (8,580 s.f. x 7.5%)
Landscape Area Provided	1,064 s.f.
Canopy Trees Required	3.2 Trees (644 / 200)
Canopy Trees Provided	3 Trees
Parking Lot Perimeter	
Perimeter	219 l.f.
Trees Required	6.2 Trees (219 l.f. / 35')
Trees Provided	3 Trees
Woodland Replacement	
Required Replacement	0 Trees

- Notes:
- No Overhead Lines Exist Along the South and West Property Lines.
 - Trees Shall be Planted no Closer than 10' to Sanitary Sewer, Utility Structures Including Hydrants and 5' from Utility Lines.
 - Trees Shall not be Planted within 4' of Property Lines.
 - Utility Boxes are not Proposed.
 - Soils Information is Found on Sheet-5.
 - No Phragmites or Japanese Knotweed Exist On-Site.
 - Existing Irrigation System to be Extended to New Development.
 - Any Landscaping Missing from the Original Approved Plans Shall be Replaced. If the Plantings are Significantly Different from What was Originally Proposed, Fill Inconsistent Gaps and Provide an as-built for the Revised Landscaping.

Plant List

sym.	qty.	botanical name	common name	caliper	spacing	root	height	price	total	Species	Genus	Native	Total
Trees													
AS	1	Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	3.0"	as shown	B&B		\$ 400.00	\$ 400.00	17%	17%	1	1
GT	1	Gleditsia inaequalis var. inaequalis	Honey Locust	3.0"	as shown	B&B		\$ 400.00	\$ 400.00	17%	17%	1	1
LT	1	Liriodendron tulipifera	Tulip Tree	3.0"	as shown	B&B		\$ 400.00	\$ 400.00	17%	17%	1	1
PE	1	Platanus x acerifolia 'Excelsior'	Excelsior London Planetree	3.0"	as shown	B&B		\$ 400.00	\$ 400.00	17%	17%	1	1
TC	1	Tilia americana 'Redmond'	Redmond Linden	3.0"	as shown	B&B		\$ 400.00	\$ 400.00	17%	17%	1	1
LF	1	Ulmus x 'Frontier'	Frontier Elm	3.0"	as shown	B&B		\$ 400.00	\$ 400.00	17%	17%	1	1
Total Trees												Total	4
4 4" Deep Shredded Hardwood Bark Mulch												% Native	67%
250 Beef													
Irrigation													
									Total				\$ 13,290.00

Seal:



Title:

Landscape Plan
 Parking Lot Expansion

Project:

44725 Grand River
 Novi, Michigan

Prepared for:

Versa Real Estate
 29201 Telegraph, Suite 410
 Southfield, Michigan 48034
 Eric Modell 248-979-1637

Revision: Issued:

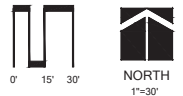
Review February 16, 2026

Job Number:

26-016

Drawn By: Checked By:

jca jca



Sheet No.

L-1



Plan View
Scale - 1" = 20ft

Schedule							
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	LLF	Wattage
	P1	2	Lithonia Lighting	DSX0 LED P4 30K 80CRI TTFM HS	D-Series Size 0 Area Luminaire P4 Performance Package 3000K CCT 80 CRI Forward Throw Houssie Shield	0.9	93.04
	P2	1	Lithonia Lighting	DSX0 LED P1 30K 80CRI RCCO EGS	D-Series Size 0 Area Luminaire P1 Performance Package 3000K CCT 80 CRI Right Corner Cutoff Extreme Backlight Control External Glare Shield	0.9	33.21
	P3	1	Lithonia Lighting	DSX0 LED P1 30K 80CRI LCCO EGS	D-Series Size 0 Area Luminaire P1 Performance Package 3000K CCT 80 CRI Left Corner Cutoff Extreme Backlight Control External Glare Shield	0.9	33.21
	P4	1	Lithonia Lighting	DSX0 LED P4 30K 80CRI BLC3 EGS	D-Series Size 0 Area Luminaire P4 Performance Package 3000K CCT 80 CRI Type 3 Extreme Backlight Control External Glare Shield	0.9	93.04
	EX1	1	EXISTING	TO BE CONFIRMED BY OWNER	TO BE CONFIRMED BY OWNER	0.9	93.04
	EX2	4	EXISTING	TO BE CONFIRMED BY OWNER	TO BE CONFIRMED BY OWNER	0.9	93.04
	EX3	1	EXISTING	TO BE CONFIRMED BY OWNER	TO BE CONFIRMED BY OWNER	0.9	93.04

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Overall/Grade	+	0.4 fc	2.4 fc	0.0 fc	N/A	N/A
Parking & Drive Lanes	X	1.4 fc	2.4 fc	0.5 fc	4.8:1	2.8:1
Property Line	+	0.1 fc	0.5 fc	0.0 fc	N/A	N/A

- General Note**
- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
 - SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
 - CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: GRADE
 - ELECTRICAL SERVICE TO SERVICE TO BE UNDERGROUND
 - NO FLASHING LIGHT(S) WILL BE PERMITTED WITHIN SITE
 - ONLY NECESSARY LIGHTING FOR SECURITY PURPOSES SHALL BE PERMITTED AFTER HOURS

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

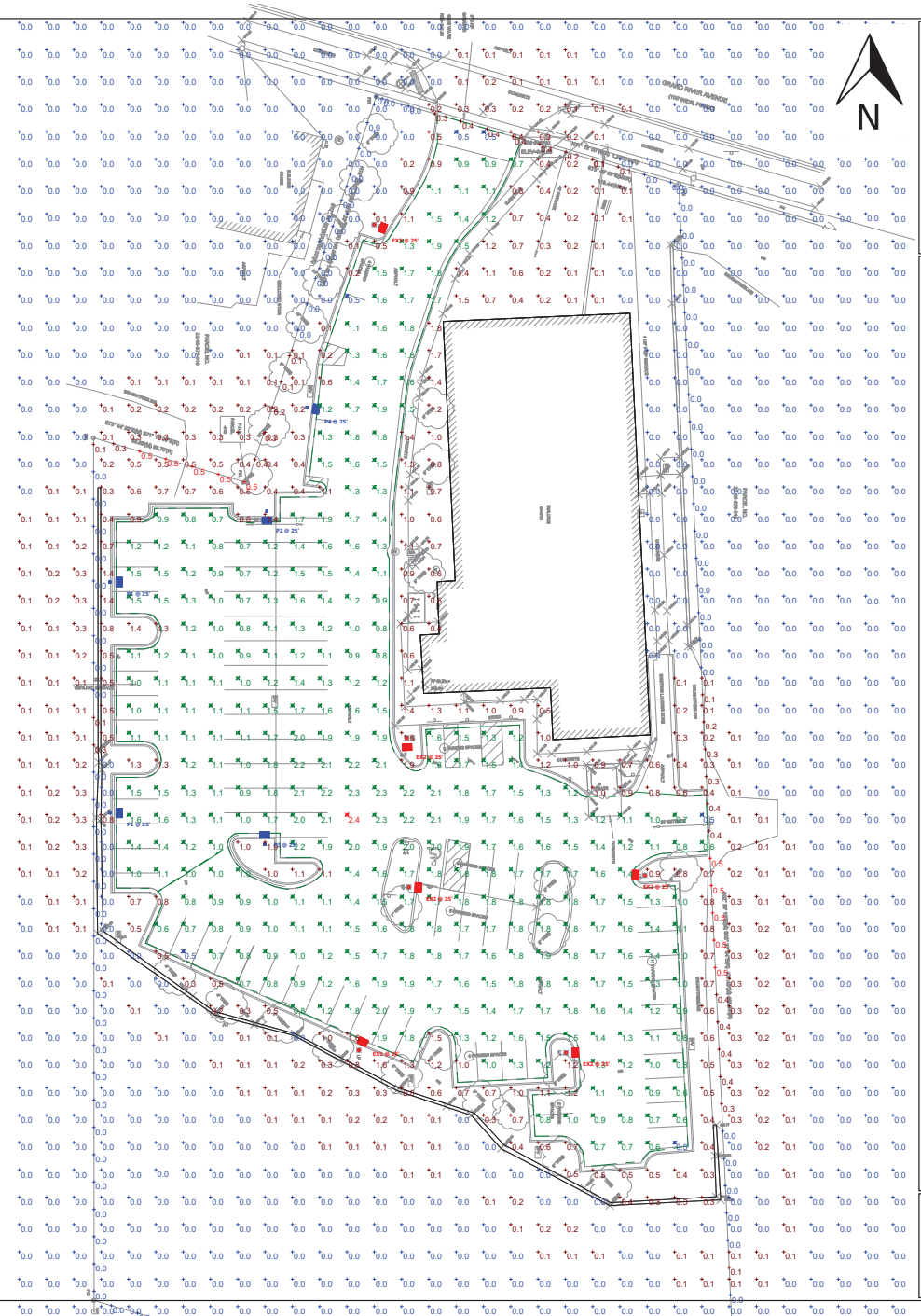
UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2019. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT CONTROLS@GASSERBUSH.COM OR 734-266-6705.

Alternates Note
THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.

Ordering Note
FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

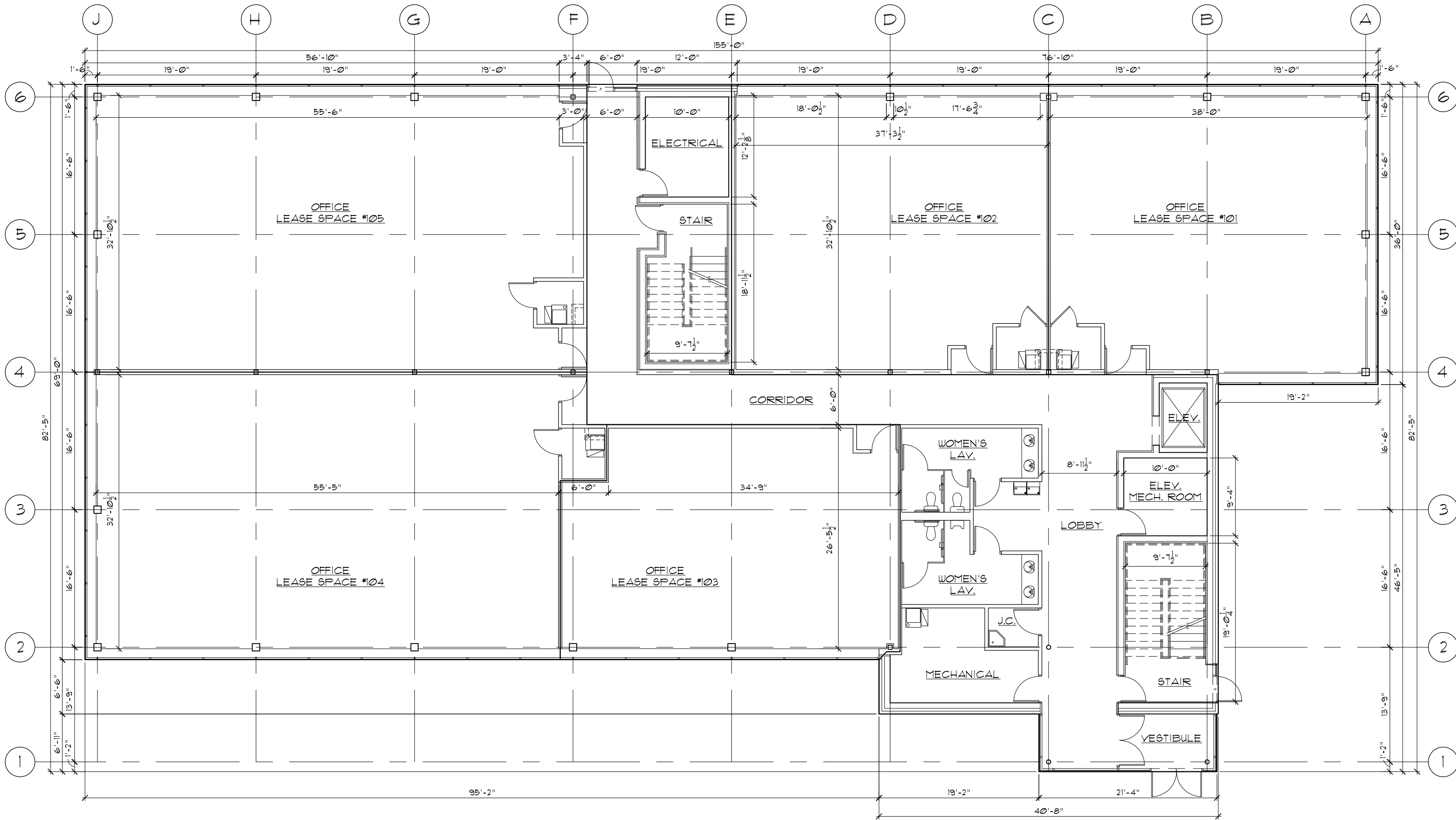
Drawing Note
THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

Mounting Height Note
MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.



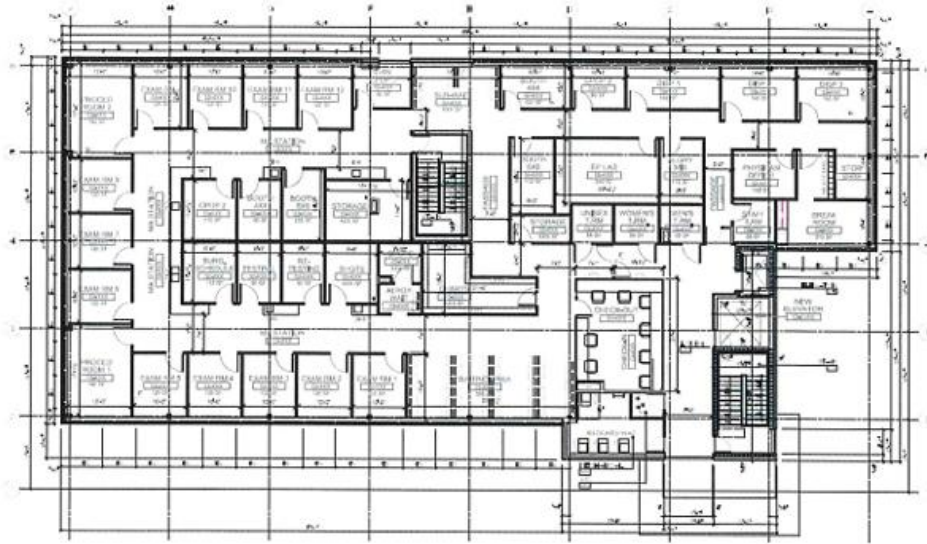
VERSIA REAL ESTATE - PARKING EXPANSION
EXTERIOR PHOTOMETRIC PLAN
GASSER BUSH ASSOCIATES
WWW.GASSERBUSH.COM

Designer
sk
Date
04/28/2026
REV
04/29/2026
Scale
Not to Scale
Drawing No.
#26-54159 V3



FIRST FLOOR PLAN

EXHIBIT A
Depiction of the Leased Premises
Suite 200



PLANNING REVIEW



PLANNING REVIEW

Damas Building Parking Lot
 JSP26-07
 May 26, 2026

PETITIONER

Versa Real Estate | Eric Modell

REVIEW TYPE

Revised Preliminary Site Plan

PROPERTY CHARACTERISTICS

Section	15	
Site Location	44725 Grand River Ave	
Parcel ID	50-22-15-376-012, -016	
Site School District	Novi Community School District	
Site Zoning	I-1: Light Industrial	
Adjoining Zoning	North	I-1: Light Industrial
	East	I-1: Light Industrial
	South	R-4, Single Family Residential
	West	I-1: Light Industrial
Current Site Use	CBIZ (formerly Crosskey Lanni, PC)	
Adjoining Uses	North	Prairie Material Novi Plant
	East	Vacant
	South	Vacant – property owned by City of Novi
	West	Ava Window
Site Size	2.02 (-012) + 0.13 (-016) Acres	
Plan Date	4/29/26	

PROJECT SUMMARY

The applicant proposes expanding the parking lot for an existing 20,805 square-foot office building. The project includes combining the adjacent vacant 0.13-acre parcel to the west (parcel 50-22-15-376-016) with parcel 50-22-15-376-012, which currently contains 66 spaces. The proposal would remove 8 existing spaces to construct 28 new spaces, resulting in a total of 86 parking spaces on the combined site. To meet ADA requirements, two parking spaces outside the project area will be restriped to create one accessible parking space with an access aisle.

The project also includes an approximately 95-foot extension to the existing retaining wall along the western property line. No regulated trees are proposed to be removed, and no impacts are proposed to the regulated woodland or regulated wetlands located at the southern end of the site.

A Pre-Application meeting was held on December 10, 2025.

RECOMMENDATION

Preliminary Site Plan approval is **recommended by all reviewers with the exception of Landscape**. The applicant should submit a response letter addressing all comments in all review letters, with justification

for any requests for waivers or variances. In addition, a floor plan should be submitted to verify parking calculations. Please see Next Step: Planning Commission Meeting below.

ORDINANCE REQUIREMENTS

This project has been reviewed for compliance with the Zoning Ordinance, with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the ordinance, as noted. The plans demonstrate general compliance with these requirements. Please address the items below, as well as any comments in the individual review letters, in the next submittal.

1. Off-Street Parking Spaces - Offices (Section 5.2.12.D): The applicant has clarified the proposed uses are medical office and business office. For medical office use, 87 parking spaces are required, and for business office use, 21 parking spaces are required, resulting in a total of 108 required parking spaces. Following the proposed renovation, 86 spaces are provided, resulting in a deficiency of 22 spaces. Refer to the Planning Chart for additional information. **To verify the number of parking spaces required, please submit a floor plan with GLA for each use (e.g. business office or medical office), including a narrative of the day-to-day employee/customer parking space demand.**

rPSP: A floor plan was not included with the revised submittal. Please provide the floor plan in the next submittal to verify the number of parking spaces required. A Zoning Board of Appeals (ZBA) variance will be required for the deficiency of approximately 22 parking spaces.

2. Parking Setback (Section 3.1.18.D): The minimum required side yard parking setback is 10 feet, approximately 6.2 feet is proposed.

rPSP: Please clearly indicate the parking setback on the site plan. A Zoning Board of Appeals (ZBA) variance will be required for the deficiency in parking setback on the west side.

2. Bicycle Parking Lot Layout (Section 5.16.5.A): All bicycle parking spaces are required to be paved; layout of bicycle parking facilities shall be in accordance with minimum requirements. **Please provide layout dimensions for number of bicycle racks proposed per the illustration in Section 5.16.6.**

rPSP: Proposed bicycle parking layout detail on Sheet 10 is the generic detail for 6 bicycles, as shown in the prior outdated ordinance. Please revise to current ordinance standards for 8 bicycle racks as proposed.

3. Exterior Lighting (Section 5.7): A photometric plan illustrating the levels of illumination at ground level accounting for all light sources that impact the subject site should be provided, including specifications for all proposed and existing lighting fixtures. The photometric provided includes calculations and specifications only for proposed lighting. **Please revise the photometric plan to meet ordinance standards.** Refer to the Planning Chart for additional information.

rPSP: Resolved

4. Parcel Combination: Proposed lot splits and parcel combinations must be submitted to the Accessing Department for review and approval. All lot splits or parcel combinations must be completed prior to Stamping Set approval, with new parcel ID numbers indicated on the Final Stamping Set.

rPSP: The applicant has indicated in their response letter a parcel combination will be submitted during the construction phase; however, this timing is not acceptable as the parcel combination must be completed prior to Final Stamping Set approval. The [Application for Land Division/Combination](#) must be submitted to the Assessing Department with sufficient time to obtain approval before the submittal of the Final Stamping Set.

5. Planning Chart: The Planning Review Chart provides additional comments and requests clarification for certain items. Please address these items in addition to the comments provided in this letter.

OTHER REVISED PRELIMINARY SITE PLAN REVIEWS

- Engineering Review: Revised Preliminary Site Plan **approval recommended**. See attached Engineering review for details.
- Landscape Review: Revised Preliminary Site Plan **approval not recommended**. See attached Landscape review for details.
- Woodland Review: Revised Preliminary Site Plan **approval recommended**. See attached Woodland review for details.
- Wetland Review: Revised Preliminary Site Plan **approval recommended**. See attached Wetland review for details.
- Traffic Review: Revised Preliminary Site Plan **approval recommended**. See attached Traffic review for details.
- Fire Review: Revised Preliminary Site Plan **approval recommended**. See attached Fire review for details.

NEXT STEP: PLANNING COMMISSION MEETING

Please submit the following by June 3, 2026 to be scheduled for Planning Commission consideration on June 10, 2026:

1. Site Plan submittal in PDF format (maximum of 10MB) **NO CHANGES MADE FROM PRELIMINARY APPROVAL**
2. A response letter addressing ALL comments from ALL review letters and a request for waivers/variances as you see fit.
3. A copy of the floor plan to confirm the GLA required for parking calculations.
4. A color rendering of the Site Plan (to be used for Planning Commission presentation)

FUTURE STEP: ZONING BOARD OF APPEALS (ZBA)

Any variances required shall be requested from the Zoning Board of Appeals (ZBA) prior to the submittal of the Final Site Plan. The ZBA meets on the 2nd Tuesday of each month. To request to appear before the ZBA, an application must be submitted by the first business day of the month for the following month's meeting. ZBA applications should be submitted to Megan Nardone at mnardone@cityofnovi.org.

[Dimensional Variance Zoning Board of Appeals Application Packet](#)

FUTURE STEP: FINAL SITE PLAN SUBMITTAL

Upon approval by the Planning Commission, and ZBA if required, the following should be submitted for Final Site Plan review and approval:

1. [Final Site Plan Submittal Form](#)
2. [Final Site Plan Checklist](#)
3. Six copies of Final Site Plan addressing all comments from Preliminary reviews
4. Response letter - **address all comments and refer to sheet numbers where the change is reflected**
5. Engineering Cost Estimate – an itemized 8.5"x11" estimate including sanitary sewer, watermain, storm sewer, paving and grading costs (not to include soil erosion or demolition costs.)
6. Landscape Cost Estimate – an itemized 8.5"x11" estimate including greenbelt and greenbelt ornamental trees, perennials, pond plantings, shrubs, edging, mulch, seed mix and seeded lawn.
7. Drafts of any legal documents required (note that off-site easements need to be executed, and any on-site easements need to be submitted in draft form before stamping sets will be stamped).

FUTURE STEP: PARCEL COMBINATION

Concurrently with Final Site Plan submittal, any proposed property splits and combinations should be submitted to the Assessing Department for approval. The applicant should submit the [Application for Land Division/Combination](#) to the Assessing Department at this time to initiate the process. Lot splits and combinations are to be completed prior to Stamping Set approval; new parcel ID numbers are to be indicated on the Stamping Set.

FUTURE STEP: ELECTRONIC STAMPING SET REVIEW AND RESPONSE LETTER

Following Final Site Plan approval, revised plans that address all comments from the review letters should be submitted electronically for informal review and approval prior to the submission of Stamping Sets. A letter prepared by the applicant or their representative is to be submitted with the electronic stamping set. This letter should address all comments in all review letters and associated charts and **refer to sheet numbers where the change is reflected.**

FUTURE STEP: STAMPING SET APPROVAL

Stamping sets will be required for this project. Following approval of the electronic stamping set from City staff, the applicant should submit **9 – 24" x 36" sets of plans with signature and seals on each sheet (seal may be electronic)**, to the Community Development Department for Final Stamping Set approval.

FUTURE STEP: BUILDING PERMITS AND REVIEW

Building permits will be required for this project. Please contact the Building Department at (248)347-0415 to determine what is required.

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects to be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at (248)347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If you have any questions concerning the above review or the process in general, please do not hesitate to contact me at (248) 347-0483 or dshanahan@cityofnovi.org.



Diana Shanahan, Planner



PLANNING REVIEW CHART: I-1 Light Industrial

Review Date: May 26, 2026
Review Type: Revised Preliminary Site Plan
Project Name: **JSP26-07 Damas Building Parking Lot Expansion** (44725 Grand River)
Plan Date: April 29, 2026
Prepared By: Diana Shanahan, Planner dshanahan@cityofnovi.org (248) 347-0483

NOTES

- This chart serves as a working summary and is not intended to replace any Ordinance, requirement, or standard of the City of Novi.
- References to relevant ordinance Sections are indicated in parenthesis. Please refer to the [City of Novi Ordinance](#) for complete details.
- Comments highlighted in **bold** must be addressed prior to the approval of the Preliminary Site Plan.

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan <i>(adopted June 25, 2025)</i>	Office/Industrial	No Change	Yes	
Zoning <i>(Effective Jan 8, 2015)</i>	I-1: Light Industrial	No Change	Yes	
Uses Permitted <i>(Section 3.1.18.B)</i>	B: Principal Permitted Uses C: Special Land Uses	Medical office use proposed	Yes	
Height, Bulk, Density, and Area Limitations				
Building Height <i>(Section 3.1.18.D)</i>	25 ft	No changes proposed – complies	N/A	See Section 3.14.5.C below
Frontage on a Public Street <i>(Section 5.12)</i>	Frontage on a public street is required	Frontage on Grand River Avenue	Yes	
Access to Major Thoroughfare <i>(Section 5.13)</i>	Vehicular access must be provided via a major thoroughfare or service drive	Access to Grand River Ave	Yes	
District Required Conditions: Light Industrial <i>(Section 3.14)</i>				
Maximum Height <i>(Section 3.14.5.C)</i>	The maximum height of any building constructed adjacent to a residential district shall be 25 ft, except where there is a street, road, highway or freeway between the site and the abutting residential district	Existing building	Yes	Property abuts residential district to the south
Adjacent to Residential <i>(Section 3.14.5.E)</i>	I-1 districts adjacent to residential districts require an earth berm and plantings. The Planning Commission may waive or modify the requirements for a berm or wall when adjacent to a woodland	Property abuts residential district to the south Over 120 feet of woodland between the parking lot and south property line, existing condition on the original approved site plan	Yes	Planning Commission waiver granted on 7/11/07 for lack of berm (SP07-21)

Item	Required Code	Proposed	Meets Code	Comments
Building Setbacks (Section 3.1.18.D)				
Front (north)	40 ft	No changes proposed	N/A	Grand River Ave
Side (west)	20 ft	No changes proposed	N/A	
Side (east)	20 ft	No changes proposed	N/A	
Rear (south)	20 ft	No changes proposed	N/A	
Parking Setback (Section 3.1.18.D) Refer to applicable notes in Section 3.6.2				
Front (north)	See Section 3.6.2.E below	No changes proposed	N/A	A Zoning Board of Appeals variance will be required for the deficiency in parking in the west side setback
Side (west)	10 ft	6.2 ft	No	
Side (east)	10 ft	No changes proposed	N/A	
Rear (south)	10 ft	No changes proposed	N/A	
Note To District Standards (Section 3.6.2)				
Exterior Side Yard Setbacks (Section 3.6.2.C)	<ul style="list-style-type: none"> - Exterior side yards abutting a street must meet the front yard setback requirements of their zoning district. - All front yard regulations apply. - Where a non-residential district abuts a residential district, the exterior side yard setback must be at least the residential district's front yard minimum, or greater if required by the non-residential district. 	No exterior side yards	N/A	
Minimum Lot Area and Width / Maximum Lot Coverage (Section 3.6.2.D)	Minimum lot area and width, and maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space requirements.		N/A	
Off-Street Parking in Front Yard (Section 3.6.2.E) For OSC, I-1, and I-2 districts, parking is allowed in the front yard if:	i. It serves a development of at least 2 acres	No front yard parking proposed	N/A	Total acreage = 2.15
	ii. It does not extend into the minimum required front yard setback		N/A	
	iii. It does not occupy more than 50% of area between the minimum front yard setback and the building setback		N/A	

Item	Required Code	Proposed	Meets Code	Comments
	iv. It is screened from all public rights-of-way by a brick wall, or 2½ ft high landscaped berm		N/A	
	v. Planning Commission finds the parking area and lighting compatible with surrounding development		N/A	
Off-Street Parking in Side and Rear Yards <i>(Section 3.6.2.F)</i>	Off-street parking shall be permitted within the side and rear yards. Provisions apply when abutting residential.	Parking proposed in west side yard	Yes	The project area is not adjacent to residential
Setbacks When Abutting Residential <i>(Section 3.6.2.H)</i>	If an I-1 or I-2 use borders a residential district without a separating street, the building must be set back at least 5 feet per foot of height or 100 feet, whichever is greater	Existing building	N/A	
Wetland/ Watercourse Setback <i>(Section 3.6.2.M)</i>	There shall be maintained in all districts a wetland and watercourse setback. Refer to Section 3.6.2	No impacts proposed to wetlands	N/A	See Wetland Review letter for additional information Wetland Buffer Authorization not required
Additional Height <i>(Section 3.6.2.O)</i>	Buildings on properties within 1,200 ft of a freeway and not next to residential districts may reach 65 ft, with setbacks increased by 2 ft for every foot over the district height limit. Applies in I-1 and I-2 districts only to offices, R&D, and data/computer centers without major manufacturing or warehousing	Existing building, no additional height proposed	N/A	
Parking Setback Screening <i>(Section 3.6.2.P)</i>	Required parking setback area shall be landscaped per Section 5.5.3	Complies	Yes	
	Where a side or rear yard abuts a residential district, requirements for a screening wall or berm apply per Section 5.5.3.A	No new parking spaces proposed in rear yard abutting residential	N/A	

Item	Required Code	Proposed	Meets Code	Comments
Modification of Setback Requirements <i>(Section 3.6.2.Q)</i>	The Planning Commission may modify parking setback requirements based on its determination	No setback modifications requested	N/A	
Parking and Loading Requirements <i>(Section 5.2)</i>				
Off-Street Parking Spaces – D. Offices <i>(Section 5.2.12.D)</i> Business offices or professional offices except as indicated below Professional offices of doctors, dentists, veterinarian or similar professions; outpatient clinic	Medical office – 1 space for each 175 square feet GLA for buildings greater than 5,000 sf (5.7 spaces per 1,000 sq ft GLA) 15,185 sf/175 = 87 spaces required Business office – 1 space for each 222 square feet GLA for buildings up to 100,000 sf (4.5 spaces per 1,000 sq ft GLA) 4,466 sf/222 = 21 spaces required Total required = 108 spaces <hr/> <i>The site was originally reviewed as SP07-21 Damas Grand River, which included parking calculations for business or professional offices:</i> Business office – 1 space for each 222 square feet GLA for buildings up to 100,000 sf (4.5 spaces per 1,000 sq ft GLA) 14,726 sf/222 = 66 spaces required	Proposing to remove 8 existing spaces and add 28 spaces for a total of 86 spaces , including 4 barrier free spaces 66 existing spaces, including 3 barrier free spaces	No	To confirm the parking requirements, please provide an updated floor plan with GLA of each use (e.g. business office vs medical office use) on subsequent submittal A Zoning Board of Appeals (ZBA) variance will be required for the deficiency of 22 parking spaces
Parking Space Dimensions and Maneuvering Lanes <i>(Section 5.3.2)</i> <i>(Section 5.5.3.C.ii.i)</i>	90° parking: - 9 ft x 19 ft - 24 ft two-way drives - 9 ft x 17 ft parking spaces allowed along 7 ft wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping	- 90° parking: 9 ft x 17 ft - 90° parking: 9 ft x 19 ft - 24 ft two-way drives	Yes	
Parking stall located adjacent to a parking lot entrance (public or private) <i>(Section 5.3.13)</i>	Shall not be located closer than 25 feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	None proposed	N/A	

Item	Required Code	Proposed	Meets Code	Comments
End Islands <i>(Section 5.3.12)</i>	- End islands with raised curbs and landscaping are required at end of all parking bays abutting traffic circulation aisles - End islands shall generally be at least 10' wide, have a 15' major radius, a 2' minor radius, and be constructed 3' shorter than the adjacent parking stall	Complies	Yes	
Barrier Free Spaces <i>Barrier Free Code (2012 Michigan Building Code)</i>	For 76-100 parking spaces, 4 accessible parking spaces are required For every six or fraction of six accessible parking spaces, at least one shall be van accessible	4 accessible spaces proposed	Yes	
Barrier Free Space Dimensions <i>Barrier Free Code (2012 Michigan Building Code)</i>	Van accessible: - 8 ft wide with an 8 ft wide access aisle (preferred) – or – - 11 ft wide with a 5 ft wide access aisle Standard accessible: - 8 ft wide with a 5 ft wide access aisle	Complies	Yes	
Barrier Free Signs <i>Barrier Free Code</i>	One sign for each accessible parking space	Signs indicated	Yes	
Off-Street Loading and Unloading <i>(Section 5.4)</i>	Required on all premises where receipt or distribution of materials or merchandise occurs, space shall be adequate for standing, loading/unloading, separate from parking areas	Existing – no change (South and Southwest sides of the building)	N/A	
Location of Loading and Unloading <i>(Section 5.4.3)</i>	In I districts, all loading and unloading operations shall be conducted in the rear yard, except: A. When abutting a residential district, in which case, Section 3.14.5 shall apply B. When an interior side yard is adjacent to an I district, loading and unloading may be conducted in an	Existing – no change (South and Southwest sides of the building)	N/A	

Item	Required Code	Proposed	Meets Code	Comments
	interior side yard when located near the rear of the building			
Bicycle Parking Requirements (Section 5.16)				
Minimum Number of Bicycle Parking Spaces (Section 5.16.1)	<p>When any principal building is enlarged by 10% or more of the existing gross floor area, or any automobile parking lot is enlarged by 10% or more of existing parking spaces, bicycle parking shall be required and provided as part of site plan review under Section 6.1</p> <p>Medical offices: One space for each twenty employees on the maximum shift, minimum two spaces</p> <p>- or if business use -</p> <p>Business offices: 5% of required automobile spaces, minimum two spaces</p>	<p>Parking lot is proposed to be increased by 16%</p> <p>8 bicycle parking spaces proposed on west side of building</p>	Yes	Provide number of employees for medical office use to determine accurate number of spaces required
Bicycle Parking Location (Section 5.16.1.E)	No farther than 120' from the entrance being served	Complies	Yes	
Bicycle Parking - Multiple Locations (Section 5.16.1.F)	When 4 or more spaces are required for a building with multiple entrances, the spaces shall be located in multiple locations	8 bicycle parking spaces proposed in one location on west side of building	TBD	The number of bicycle parking spaces may be reduced (see minimum number of spaces required) or located at multiple entrances
Bicycle Parking Lot Layout (Section 5.16.5.A)	<ul style="list-style-type: none"> - Maneuvering lane width: 4' - Parking space depth: 32" - Parking space width: 7' - One tier width: 11' - Two tier width: 18' 	Proposed bicycle parking layout on Sheet 10 is not specific to the site and is incorrectly shown using outdated standards	TBD	Please revise bicycle parking layout to meet ordinance standards
Bicycle Parking Facility Layout (Section 5.16.5.B)	Spaces to be paved	Complies	Yes	
	Bike rack shall be inverted "U" design	Inverted "U" design proposed	Yes	
	Minimum 3 ft in height	36" proposed	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Bicycle Parking Accessibility (Section 5.16.5.C)	All bicycle parking shall be accessible from adjacent street(s) and pathway(s) via a minimum 6 ft wide paved route	Complies	Yes	
Sidewalk Requirements				
Chapter 11 - Article XI. Off-Road Non-Motorized Facilities	6 ft wide concrete sidewalk is required along Grand River	Existing sidewalk – no change proposed	Yes	
Pedestrian Connectivity	Assure safety and convenience of vehicular and pedestrian traffic both within the site and in relation to access streets	Existing – no change	Yes	
Building Code	Building exits must be connected to sidewalk system or parking lot	Existing – no change	N/A	
Accessory Uses (Section 4.19)				
Dumpster (Section 4.19.2.F)	Located in rear yard or interior side yard in case of double frontage	Existing dumpster located at rear of building – no change proposed	N/A	
	Attached to the building or no closer than 10 ft from building if detached			
	Not to be located in parking setback			
	If no setback, then not any closer than 10 ft, from property line			
	As far away from barrier free spaces as possible			
Dumpster Enclosure (Section 21-145. (c))	Screen from public view	No change proposed	N/A	
	Screening shall consist of a wall or fence 1 ft higher than height of refuse bin, and no less than 5 ft on three sides			
	Posts or bumpers provided within the enclosure to protect from damage of refuse bin			
	Inside dimensions shall permit adequate access as well as completely enclose bins			

Item	Required Code	Proposed	Meets Code	Comments
	Screening materials: Masonry, wood or evergreen shrubbery			
Lighting and Photometric Plan (Section 5.7)				
Exterior Lighting Plan (Section 5.7.2.A.i)	Provide a lighting plan for review including location of all existing and proposed buildings, landscaping, streets, drives, parking areas and exterior lighting fixtures.	Photometric provided	Yes	
Photometric Plan (Section 5.7.2.A.ii)	Provide a photometric plan illustrating the levels of illumination at ground level accounting for all light sources that impact the site. Include specifications for all proposed and existing lighting fixtures.	Photometric provided	Yes	
Building Lighting (Section 5.7.2.A.iii)	Relevant building elevation drawings to show all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.	No changes proposed to building lighting	N/A	
Maximum Height (Section 5.7.3.A)	Height not to exceed maximum height of zoning district (or 25 ft where adjacent to residential districts or uses)	25 ft proposed	Yes	
Electrical Service (Section 5.7.3.B)	Electrical service to light fixtures to be underground	Note on photometric plan	Yes	
Flashing Light (Section 5.7.3.C)	No flashing light permitted	Note on photometric plan	Yes	
Glare Control (Section 5.7.3.D)	Shall be accomplished through the proper selection and application of lighting equipment.		Yes	
Outdoor Lighting: Average Light Levels (Section 5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1 foot-candles	2.8:1	Yes	
Color Spectrum Management (Section 5.7.3.F)	Non-Res and Multifamily: For all permanent lighting installations - minimum Color Rendering Index	80 CRI - complies 3000K – complies	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	(CRI) of 70 and Correlated Color Temperature (CCT) of no greater than 3000K			
After Hours Lighting (Section 5.7.3.G)	Only necessary lighting for security purposes shall be permitted after hours.	Only necessary lighting for security purposes shall be permitted after hours	Yes	
Indoor Lighting (Section 5.7.3.H)	Shall not be the source of exterior glare or spillover	No changes proposed to indoor lighting	N/A	
Security Lighting (Section 5.7.3.I) Lighting for security purposes shall be directed only onto the area to be secured	- All fixtures shall be located, shielded, and aimed so that light is not cast toward adjacent properties or streets or unnecessarily transmitted into the night sky - Building mounted fixtures designed to illuminate the facade are preferred	Only necessary lighting for security purposes shall be permitted after hours	Yes	
Parking Lot Lighting (Section 5.7.3.J)	Designed to provide the minimum illumination necessary to ensure adequate vision and comfort in parking areas. Full cut-off fixtures shall be used to prevent glare.	Complies	Yes	
Minimum Illumination Levels (foot-candles) (Section 5.7.3.L)	Parking areas:	0.2 min	TBD	Indicate on plan
	Loading and unloading areas:	0.4 min	TBD	
	Walkways:	0.2 min	TBD	
	Building entrances, frequent use:	1.0 min	TBD	
	Building entrances, infrequent use:	0.2 min	TBD	
Maximum Illumination Adjacent to Non-Residential (Section 5.7.3.L)	Where a site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot-candle	Complies	Yes	
Maximum Illumination Adjacent to Residential (Section 5.7.3.M)	When adjacent to residential districts: - 25 ft max fixture height - All fixtures to have a cut-off angle of 90° or less - No direct light source shall be visible at the property line (adjacent to residential) at ground level.	Complies	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	- Maximum illumination at the property line not to exceed 0.5 foot-candle			
Building Code and Other Design Standard Requirements				
Building Exits (2012 Michigan Building Code)	Building exits must be connected to sidewalk system or parking lot	Existing building	Yes	
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions)	Legal descriptions for both parcels are provided	Yes	
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in sq ft), location of proposed parking and parking layout, streets, drives, indicate sq ft of pavement area (indicate public or private).	Partially provided	No	Provide floor plan with GLA of each use (e.g. business office vs medical office use) on subsequent submittal Refer to all review letters for additional dimensions requested
Development/ Business Sign & Street addressing	Signage, if proposed, requires a permit		TBD	For permit information, contact Ordinance at (248) 735-5678
Project and Street Naming	Approval by the Project and Street Naming Committee		N/A	
Property Split or Combination (Code of Ordinances - Chapter 32)	Proposed property splits and combinations must be submitted to the Assessing Department for approval	Parcels are proposed to be combined	TBD	Lot splits and combinations are to be completed prior to Stamping Set approval; new parcel ID numbers to be indicated on the Stamping Set Please submit the Application for Land Division/Combination to the Assessing Department

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

5/20/2026

Engineering Review

44275 Grand River (Damas) Parking Expansion
JSP26-0007

APPLICANT

Versa Real Estate, LLC

REVIEW TYPE

Preliminary Site Plan

PROPERTY CHARACTERISTICS

- Site Location: Located on the south side of Grand River Avenue, in Section 15 of the City of Novi
- Site Size: 2.15 acres
- Plan Date: 2/16/2026
- Design Engineer: Wes Umlor, Umlor Group

PROJECT SUMMARY

- Construction of an approximately 8,400 square feet of additional parking to an existing building.
- No changes proposed to the existing sanitary sewer or water main on-site.
- Storm water is collected by a single storm sewer collection system and discharged to an off-site regional detention basin. Additional stormwater detention fees shall be paid with this site plan, for discharge of stormwater into the Leavenworth Regional Detention basin.

RECOMMENDATION

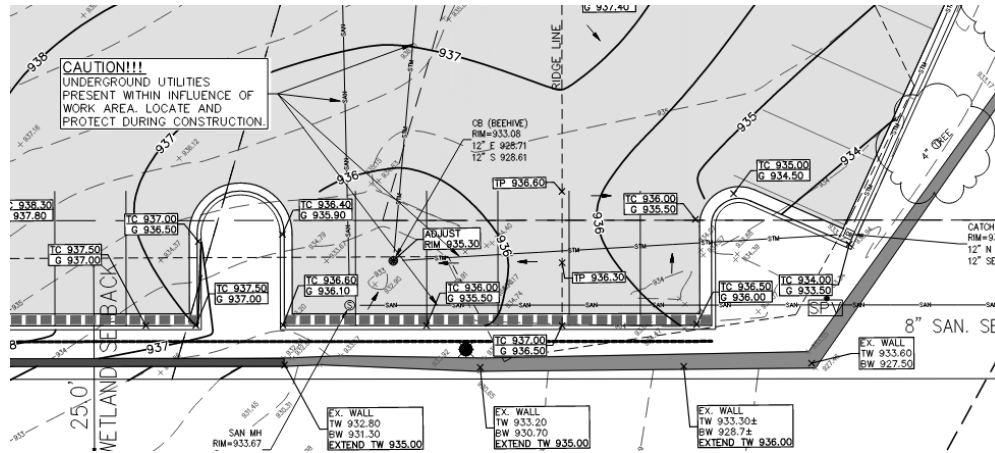
Approval of the Preliminary Site Plan is **recommended**. At this time, the plan meets the general requirements of the design and construction standards as set forth in [Chapter 11 of the City of Novi Code of Ordinances](#), the Storm Water Management Ordinance and the [Engineering Design Manual](#) with the following items to be addressed at the time of Final Site Plan submittal:

COMMENTS

1. A license agreement is needed for the light pole proposed in the existing water main and sanitary sewer easements. All three proposed light poles require a license agreement, and the existing retaining wall the crosses the sanitary sewer

also requires a license agreement. One agreement can include exhibits for both the wall and the light poles crossing utility easements.

2. Catch basin in parking lot should be changed from a beehive to a straight face grate cover.



3. **Only at the time of the printed Stamping Set submittal**, provide the City's standard detail sheets for storm sewer (2 sheets), paving (2 sheets). The most updated details can be found on the City's website under [Engineering Standards and Construction Details](#).
4. Existing pre-treatment structure on-site shall be cleaned out with this project.
5. The applicant has previously paid into the regional detention basin fund. Based on this new parking lot expansion an additional **\$630.74** will need to be paid.
6. Per MDOT Special Provision for Crushed Concrete; the use of crushed concrete is prohibited on the project within 100 feet of any water course (stream, river, county drain, etc.) and lake, regardless of the application of location of the water course or lake relative to the project limits. Add note to use 21AA crushed limestone base for any pavement within 100 feet of a water course.
7. Retaining walls that are 48-inches or larger shall need a permit from Building Department.

SOIL EROSION & SEDIMENT CONTROL

8. A SESC permit is required (link to [Soil Erosion Permit Application](#)). A review will be done when a completed packet is submitted to Sarah Marchioni at Community Development.

THE FOLLOWING MUST BE SUBMITTED WITH THE NEXT SUBMITTAL:

9. A letter from either the applicant or the applicant's engineer must be submitted with the next submittal highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**
10. An itemized construction cost estimate must be submitted to the Community Development Department for the determination of plan review and

construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving (square yardage, should include number of detectable warning plates), right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pre-treatment structure and restoration).

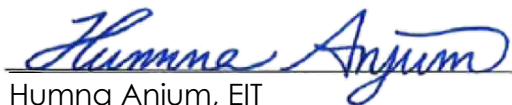
REQUIRED LEGAL DOCUMENTS

The following must be submitted with the Stamping Set: All documents must be submitted together as a package with the Stamping Set submittal with the legal review transmittal form. LRT for this project will be provided with Final Site Plan review letter. Word document versions of each legal document can be found on the City's Website under Forms and Permits).

11. A draft of the License Agreement will be required for the retaining wall and light poles proposed within the existing sanitary sewer and water main easement. This must be submitted to the Community Development Department.
 - a. The agreement shall state that the wall and light poles and all site facilities within the influence of the wall and light poles that may be removed or damaged in the event the utility requires maintenance will be **the responsibility of the property owner** to repair or replace. Additionally, a cross-section shall be included with the agreement showing the distance between the wall and light pole foundations and the utility.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Humna Anjum at (248) 735-5632 or email at hanjum@cityofnovi.org with any questions.



Humna Anjum, EIT
Project Engineer

cc: Diana Shanahan, Community Development
Angela Sosnowski, Community Development
Stacey Choi, Planning Assistant
Kate Purpura, Engineering
Ben Croy, City Engineer

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

May 15, 2026

Damas Building Parking Lot Addition **Revised Preliminary Site Plan - Landscape**

Review Type

Revised Preliminary Site Plan Landscape Review

Job #

JSP26-0007

Property Characteristics

- Site Location: 44725 Grand River
- Site Acreage: 2.15 ac.
- Site Zoning: I-1
- Adjacent Zoning: North, East and West: I-1, South: R-4
- Plan Date: 4/29/2026

Recommendation:

This project is **not recommended for approval** for Preliminary Site Plan.

LANDSCAPE WAIVERS REQUIRED FOR THE PROPOSED LAYOUT AND LANDSCAPING:

Deficiency in parking lot area along west side of expansion and deficiency in number of perimeter trees proposed – *not supported by staff*

Please replace any landscaping missing from the original approved plans. If the plantings are significantly different from what was originally proposed, please fill inconsistent gaps and provide an as-built for the revised landscaping.

Please add the City Project Number, JSP26-0007, to the bottom right corner of the Cover Sheet.

Ordinance Considerations

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. Tree survey and chart are provided.
2. Removals are shown on the demolition plan and L-2.0.
3. No regulated woodlands or wetlands are shown in the project area.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. The property is adjacent to residential property south side of the property. No screening berm exists or is proposed.
2. As the site is preserving over 120 feet of woodland between the parking lot and the south property line, which was approved with the original site construction, this is accepted.

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

As no changes are proposed to the site within the greenbelt, no additional greenbelt landscaping is required.

Existing and proposed overhead and underground utilities, including hydrants. (LDM 2.e.(4))

1. All utilities and proposed light posts are included on the landscape plan.
2. Please move the Frontier elm in the south island west 10 feet to be more in the large portion of the island.
3. No hydrants are shown on the site.

Parking Lot Landscaping (Zoning Sec 5.5.3.C)

1. The required parking lot interior area and trees are proposed.
2. Only 3 of the required 6 perimeter trees are proposed. **This requires a landscape waiver.**
It would not be supported staff.

Building Foundation Landscaping (Zoning Sec. 5.5.3.D)

As the building is not changing, no additional foundation landscaping is required.

Plant List (LDM 4.)

1. 4 of 6 species used (67%) are native to Michigan.
2. The proposed tree diversity meets the requirements of the Landscape Design Manual.

Planting Notations and Details (LDM)

Provided

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

1. No new above-ground stormwater detention pond is proposed.
2. A note indicates that no Phragmites or Japanese Knotweed were found on the site.

Irrigation (LDM 1.a.(1)(e) and 2.s)

A note indicates that the existing irrigation system will be extended to cover the new trees.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader@cityofnovi.org.

Thank you for your consideration.



Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART – Revised Preliminary Site Plan

Review Date: May 15, 2026
Project Name: JSP26-0007: Damas Building Parking Lot Expansion
Project Location: 44725 Grand River
Plan Date: April 29, 2026
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Preliminary Site Plan submittal. Underlined items must be addressed on the Final Site Plans. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Chart are summaries and are not intended to substitute for any Ordinance.

LANDSCAPE WAIVERS REQUIRED BY PLAN:

Deficiency in parking lot area along west side of expansion and deficiency in number of perimeter trees proposed – *not supported by staff*

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements (LDM 2)				
Landscape Plan (Zoning Sec 5.5.2, LDM 2.e.)	<ul style="list-style-type: none"> • New commercial or residential developments • Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. • 1"=20' minimum with proper North. Variations from this scale can be approved by LA • Consistent with plans throughout set 	1" = 30'	Yes	Please add a revision date to the landscape plans.
Project Information (LDM 2.d.)	Name and Address	Project name and address are on the title block	Yes	
Owner/Developer Contact Information (LDM 2.a.)	Name, address and telephone number of the owner and developer or association	Business name and contact information are on the title block	Yes	
Landscape Architect contact information (LDM 2.b.)	Name, Address and telephone number of RLA/PLA/LLA who created the plan	Jim Allen – Allen Design	Yes	
Sealed by LA. (LDM 2.g.)	Requires original signature	Copy of seal and signature	Yes	

Item	Required	Proposed	Meets Code	Comments
Miss Dig Note (800) 482-7171 (LDM.3.a.(8))	Show on all plan sheets	On landscape plans	Yes	
Zoning (LDM 2.f.)	Include all adjacent zoning	On landscape plan location map Site: I-1 East, North, West: I-1 South: R-4	Yes	
Survey information (LDM 2.c.)	<ul style="list-style-type: none"> Legal description or boundary line survey Existing topography 	Topographic Survey and Legal Description on Sheet 4	Yes	
Existing plant material Existing woodlands or wetlands (LDM 2.e.(2))	<ul style="list-style-type: none"> Show location type and size. Label to be saved or removed. Plan shall state if none exists. 	<ul style="list-style-type: none"> A tree survey and chart are provided on L-2 Removals are indicated on the same plan 	Yes	See the Merjent letter for complete woodland and wetland reviews.
Soil types (LDM.2.r.)	<ul style="list-style-type: none"> As determined by Soils survey of Oakland county Show types, boundaries 	Sheet 7	Yes	
Existing and proposed improvements (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	<ul style="list-style-type: none"> Sheet 3 All proposed elements are on the landscape plan 	Yes	
Existing and proposed utilities (LDM 2.e.(4))	<ul style="list-style-type: none"> Overhead and underground utilities, including hydrants Proposed light posts 	<ul style="list-style-type: none"> Sheet 5 All utilities and light posts are shown on the landscape plan. 	Yes	
Proposed grading. 2' contour minimum (LDM 2.e.(1))	Provide proposed contours at 2' interval	Sheet 7	Yes	
Snow deposit (LDM.2.g.)	Show snow deposit areas on plan	Yes	Yes	
LANDSCAPING REQUIREMENTS				
Berms, Walls and ROW Planting Requirements				
Berms				
<ul style="list-style-type: none"> All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours Berm should be located on lot line except in conflict with utilities. Berms should be constructed of loam with 6" top layer of topsoil. 				
Residential Adjacent to Non-residential (Zoning Sec 5.5.3.A & LDM 1.a)				
Berm requirements (Zoning Sec 5.5.A)	The project area is not adjacent to any residential property	<ul style="list-style-type: none"> No berm is proposed. Approximately 120 feet of existing woodland 	Yes	

Item	Required	Proposed	Meets Code	Comments
		between the existing parking lot and south property line is being preserved		
Walls (Zoning Sec 5.5.3.vi and LDM 2.k)				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	<ul style="list-style-type: none"> An extension of an existing retaining wall is proposed along the west edge of the parking lot expansion area TW/BW elevations are provided 	Yes	
Walls 4 feet or greater should be designed and sealed by an Engineer		TW elevations of the existing wall along the west side are being raised by 3 feet.		The wall plans may need to be created by an engineer – see engineering comments.
ROW Landscape Screening Requirements (Zoning Sec 5.5.3.B. ii and (LDM 1.b)				
Greenbelt width (2)(3) (5)	NA	NA	NA	As the expansion is not near the greenbelt, no changes to the greenbelt are required
Berm requirements (Zoning Sec 5.5.3.A.(5))				
Min. berm crest width	NA	NA	NA	As the expansion is not near the greenbelt, no changes to the greenbelt berm or landscaping are required
Minimum berm height (9)	NA	NA	NA	See above
3' wall	NA	NA	NA	See above
Canopy deciduous or large evergreen trees Notes (1) (10)	NA	NA	NA	See above
Sub-canopy deciduous trees Notes (2)(10)	NA	NA	NA	See above
Canopy deciduous trees in area between sidewalk and curb (Novi Street Tree List)	NA	NA	NA	See above
Cross-Section of Berms (LDM 2.j)				
Slope, height and width	<ul style="list-style-type: none"> Label contour lines Maximum 33% Constructed of loam 	No new berms are required or proposed	NA	

Item	Required	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> 6" top layer of topsoil 			
Type of Ground Cover		NA		
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	No utilities or trees are shown on plan	No	<ol style="list-style-type: none"> Please clearly show all utilities on landscape plan and label overhead wires. Please space trees appropriately from underground and overhead utilities.
Parking Area Landscape Requirements (LDM 1.c. & Calculations (LDM 2.o.))				
General requirements (LDM 1.c)	<ul style="list-style-type: none"> Clear sight distance within parking islands No evergreen trees 	No landscaping is proposed	TBD	
Name, type and number of ground cover (LDM 1.c.(5))	As proposed on planting islands	No	No	Please indicate groundcovers to be used in islands (seed, sod, mulch, etc.)
General (Zoning Sec 5.5.3.C.ii)				
Parking lot Islands (a, b. i)	<ul style="list-style-type: none"> A minimum of 200 SF to qualify Minimum 200 SF per tree planted in an island 6" curbs Islands minimum width 10' BOC to BOC 	Islands are shown, but no dimensions or areal quantities are provided.	TBD	<ol style="list-style-type: none"> Please dimension the widths of all landscape islands. Please label the sf of all landscape islands on landscape plan. To count toward the required area, each island must have at least 200sf landscape area per tree planted in it and be 10 feet wide. If any islands aren't sufficiently large, please enlarge them as required.
Curbs and Parking stall reduction (c)	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	Spaces are 19 feet long in the interior and 17 feet along along the edge	Yes	
Contiguous space limit (i)	<ul style="list-style-type: none"> Maximum of 15 contiguous spaced All endcap islands should also be at least 200sf with 1 tree planted in it. 	The longest new bay is 15 spaces	Yes	

Item	Required	Proposed	Meets Code	Comments
Plantings around Fire Hydrant (d)	<ul style="list-style-type: none"> No plantings with matured height greater than 12' within 10 ft. of fire hydrants of utility structures (manholes, catch basins). Trees also need to have at least 5 feet between the trunk and underground utility lines. 	The only hydrant shown is outside of the project area	Yes	
Landscaped area (g)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	No	No	Please indicate landscaping and/or ground covers for all areas on site
Clear Zones (LDM 2.3.(5))	NA as the project is not near Grand River			
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, C, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use area up to 50,000 sf x 7.5%	$A = x \text{ SF} \times 7.5\% = A \text{ sf}$	NA	NA	
B = Total square footage of additional paved vehicular use areas over 50,000 SF) x 1 %	$B = x \text{ SF} \times 1\% = B \text{ sf}$	NA	NA	
Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use area up to 50,000 sf x 5%	<ul style="list-style-type: none"> $A = x \text{ SF} \times 6\%$ $A = 8580 \times 6\% = 515\text{sf}$ 	Calculation is provided	Yes	
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5 %	$B = (x \text{ SF} - 50000) \times 0.5\%$	NA		
All Categories				
C = A+B Total square footage of landscaped islands required	<ul style="list-style-type: none"> $C = A + B$ $C = 515 + 0 = 515\text{sf}$ 	1064 sf	Yes	<u>Move the 200sf label from the snow deposit island without a tree to the northwest corner island.</u>
D = D/200 Number of canopy trees required	$D=C/200 = \text{xx Trees}$ $D = 515/200 = 3 \text{ trees}$	3 trees	Yes	
Parking Lot Perimeter Trees (Zoning Sec 5.5.3.C.iv)	1 Canopy tree per 35 lf $219/35 = 6 \text{ trees}$	3 trees	No	1. A landscape waiver is required for the deficiency in trees.

Item	Required	Proposed	Meets Code	Comments
				2. It would not be supported by staff. 3. Please provide the required space west of the parking and all of the required trees.
Parking land banked	NA	None		
Other Landscaping				
Other Screening				
Screening of outdoor storage, loading/unloading (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)		NA	NA	
Transformers/Utility boxes (LDM 1.e from 1 through 5)	<ul style="list-style-type: none"> A minimum of 2ft. separation between box and the plants Ground cover below 4" is allowed up to pad. No plant materials within 8 ft. from the doors 	A note indicates no transformers will be added for the project		
Building Foundation Landscape Requirements (Zoning Sec 5.5.3.D)				
Interior site landscaping SF	<ul style="list-style-type: none"> Equal to entire perimeter of the building (less paved access areas) x 8 with a minimum width of 4 ft. A minimum of 75% of the building should have foundation landscaping. xx lf x 8ft = xx SF 	None – no changes to the building are proposed	Yes	
Frontage Green Space (Zoning Sec 5.5.3.D.ii. All items from (b) to (e))	If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space	NA	NA	
Detention/Retention Basin Requirements (Zoning Sec. 5.5.3.E.iv)				
Planting requirements (Zoning Sec. 5.5.3.E.iv)	<ul style="list-style-type: none"> Clusters of large native shrubs shall cover 70-75% of the basin rim area located at 10 feet above the permanent water level 	No detention is proposed	No	<u>If any above-ground detention is required please provide the required detention basin landscaping.</u>

Item	Required	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> or pond bottom if it's a dry pond. • Canopy trees at 1/35lf of the east, south and west sides of the pond, located at about 10 feet away from the permanent water level • 10" to 14" tall grass along sides of basin • Refer to wetland for basin mix 			
Phragmites/Japanese Knotweed Control (Zoning Sec 5.5.6.C)	<ul style="list-style-type: none"> • Any and all populations of Phragmites australis and/or Japanese knotweed on the site shall be included on tree survey. • Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site. 	A note indicates that none of the weeds are on the site.		
LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS				
Landscape Notes – Utilize City of Novi Standard Notes				
Installation date (Zoning Sec 5.5.5.B & LDM 2.l.)	<ul style="list-style-type: none"> • Provide intended dates • Should be between March 15 and November 15. 	Between March-November	Yes	
Maintenance & Statement of intent (Zoning Sec 5.5.6 & LDM 2.m)	<ul style="list-style-type: none"> • Include statement of intent to install and guarantee all materials for 2 years. • Include a minimum one cultivation in June, July and August for the 2-year warranty period. 	Yes	Yes	
Plant source (LDM 2.n & LDM 3.a.(2))	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
Irrigation plan (LDM 2.s.)	A method for providing the water required for plant establishment and long-term survival must be provided.	A note indicates that the existing system will be extended to cover the new plantings	Yes	
Other information (LDM 2.u)	Required by Planning Commission	NA		<u>Please change peat to compost in Landscape Note #9.</u>

Item	Required	Proposed	Meets Code	Comments
Establishment period (Zoning Sec 5.5.6.B)	2 yr. Guarantee	Yes	Yes	
Approval of substitutions. (Zoning Sec 5.5.5.E)	City must approve any substitutions <u>in writing</u> prior to installation.	Yes	Yes	
Plant List (LDM 4, 11) – Include all cost estimates				
Quantities and sizes	<ul style="list-style-type: none"> A minimum of 50% of species used on the site, not including any woodland replacements, must be native to Michigan. The Tree Diversity standards of the Landscape Design Manual Section 4 must be met for all non-woodland replacement trees used. No Prohibited Species listed on Table 11.b.(2)b may be used. 	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names		<ul style="list-style-type: none"> 4 of 6 species used (67%) are native to Michigan. The tree diversity meets the requirements of LDM 4 	Yes	
Type and amount of lawn		Seed is indicated	Yes	
Cost estimate (LDM 2.t)	For all new plantings, mulch and sod as listed on the plan	Yes	Yes	
Planting Details/Info (LDM 2.i) – Utilize City of Novi Standard Details				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		No	NA	
Multi-stem Tree		No	NA	
Shrub		Yes	Yes	
Perennial/ Ground Cover		No	NA	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	Yes	Yes	
Other Plant Material Requirements (LDM 3)				
General Conditions (LDM 3.a)	Plant materials shall not be planted within 4 ft. of property line	Yes		<u>Please move the PE near the north property line at least 4 feet from the property line and copy the call out to this property line.</u>

Item	Required	Proposed	Meets Code	Comments
Plant Materials & Existing Plant Material (LDM 3.b)	Clearly show trees to be removed and trees to be saved.	Yes	Yes	
Landscape tree credit (LDM3.b.(d))	<ul style="list-style-type: none"> Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM 	No		
Plant Sizes for ROW, Woodland replacement and others (LDM 3.c)	Refer to Landscape Design Manual for requirements	Yes	Yes	
Plant size credit (LDM3.c.(2))	NA	No		
Prohibited Plants (LDM 3.d)	No plants on City Invasive Species List	None are used	Yes	
Recommended trees for planting under overhead utilities (LDM 3.e)	Label the distance from the overhead utilities	No overhead utilities impact trees	Yes	
Collected or Transplanted trees (LDM 3.f)		None		
Nonliving Durable Material: Mulch (LDM 4)	<ul style="list-style-type: none"> Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate. 	On details	Yes	

NOTES:

- This table is a working summary chart and is not intended to substitute for any Ordinance or City of Novi requirements or standards.
- The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
- Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

WOODLAND/WETLAND REVIEW



May 21, 2026

Diana Shanahan
Planner – Community Development
City of Novi
45175 Ten Mile Road
Novi, MI 48375

Submitted electronically to dshanahan@cityofnovi.org

Re: Grand River Parking Expansion Revised Preliminary Site Plan Woodland and Wetland Review (JSP26-07)

Dear Diana,

Merjent, Inc. (Merjent) has conducted a review of the revised Preliminary Site Plan (rPSP) for the proposed Grand River Parking Expansion (formerly Damas Building Parking Expansion; Project). The provided PSP contains two sets of plans that were reviewed:

- The Civil Engineering Set, which contains the primary construction and grading information prepared by Umlor Group, dated February 16, 2026, revised April 29, 2026.
- The Landscape Plan, which contains the primary landscaping design and information, prepared by Allen Design, dated February 16, 2026, revised April 29, 2026.

Merjent reviewed the plan for conformance with the City of Novi’s (City) Woodland Protection Ordinance, Chapter 37, and Wetlands and Watercourse Protection Ordinance, Chapter 12 Article V. The Project is located at 44725 Grand River Avenue (parcels 50-22-15-376-012 and -016) in Section 15 of the City of Novi (site). The site contains City-regulated woodlands (**Figure 1**) and City-regulated wetlands (**Figure 1**).

Woodlands

Woodland Recommendation: Merjent **recommends approval** of the Grand River Parking Expansion PSP. Woodland Review comments have been provided below to meet the requirements of the Woodland Protection Ordinance. The following Woodland Regulations apply to this site:

Woodland Regulation	Required
Woodland Permit (Chapter 37, Section 37-26)	Not Required
Tree Replacement (Chapter 37, Section 37-8)	Not Required
Tree Protection (Fence; Chapter 37, Section 37-9)	Required
Woodland Conservation Easement (Chapter 37-30[e])	Not Required

Woodland Review Comments

1. City-regulated woodlands, as identified on the City of Novi Woodlands interactive map website, are depicted as being present onsite. However, it should be noted that both the woodlands and property

limits depicted on the City map are considered approximations. Additionally, the City of Novi Woodland interactive map disclaims that “Map information depicted is not intended to replace or substitute for any official or primary source. Specific determination of the limits of a regulated woodland are made on a site-specific basis by the City’s woodland consultant or Community Development staff.”

- a. Merjent conducted a site visit on March 3, 2026 to review the site conditions relative to the PSP/rPSP submittal. Site photographs are included in **Attachment A**. The on-site conditions reflect the conditions listed in the City’s Woodland Map.
 - b. A copy of the City’s Woodland Map is provided in **Figure 1**.
2. Pursuant to Chapter 37, Section 37-28, an accurate woodland survey should be provided and be accompanied by a separate key identifying the location of all trees eight inches at diameter at breast height (DBH) and greater, by size, common, genus and species names (i.e. Red Maple/*Acer rubrum*), and condition. All such trees shall be identified in the field by the painting of the identifying numbers in nontoxic paint of a white, yellow or orange color, or by a tree identification tag affixed loosely with a single nail.
 - The provided rPSP does not contain full species or accurate common names. However, due to the rPSP containing accurate DBH measurements and genus information, the plan can be considered acceptable. It is requested that should the applicant submit future projects in the City for review, that a comprehensive tree survey be completed with full common and species names of trees.
 3. When a proposed site plan is located within a regulated woodland, any tree proposed for removal with a DBH greater than or equal to eight inches will require tree replacement and a Woodland Use Permit per Section 37-8. This also applies to any tree that will be preserved, but where impacts to critical root zones are proposed.
 4. Regardless of the presence of regulated woodlands onsite, a Woodland Use Permit is required to perform construction on any site containing the removal of trees larger than 36 inches DBH.
 5. A **Woodland Use Permit** is typically required to perform construction on any site containing regulated woodlands. Because fewer than three regulated trees are proposed to be removed, Planning Commission approval is not required.
 6. **Woodland Replacement.** Based on a review of the plan, the applicant is proposing to remove no regulated trees. The Woodland Summary on Sheet L-2 confirms that all 24 inventoried trees are non-regulated and that zero regulated trees are proposed for removal, with no replacement required. Several non-regulated trees are shown as proposed for removal on Sheet L-2; this is consistent with the Woodland Summary and does not trigger replacement requirements. The applicant is always encouraged to donate to the City of Novi Tree Fund or plant additional trees on-site at their discretion.
 7. **Critical root zone.** Accurate critical root zones must be depicted on the site plan for all regulated trees within 50 feet of the proposed grading or construction activities. Section 37-2 defines a critical root zone as a circular area around a tree with a radius measured to the tree’s longest dripline radius plus one foot.

~~Requested Edit: It is estimated that regulated critical root zones will not be impacted by the proposed parking lot expansion. However, if possible, the applicant should add a critical root zone around Trees 3138, 3140, and 3142 to show that these trees will not be impacted by the construction. Although an existing retaining wall is present east of these trees, critical root zones should still be displayed as accurately as possible.~~

- The revised Sheet L-2 includes critical root zone and tree protection fencing callouts near the existing building. The critical root zones for Trees 3138, 3140, and 3142 are now depicted, confirming that these trees will not be impacted by the proposed construction. This comment has been addressed.

8. A **woodland fence guarantee of \$6,000** (\$5,000 x 120%) is required per Chapter 26.5-37. The financial guarantee shall be paid prior to issuance of the City of Novi Woodland Use Permit.
 - a. Appropriate tree protection details have been provided on Sheet L-2.
 - b. It is understood that a retaining wall exists east of Trees 3138, 3140, and 3142. If feasible, woodland protection fence should be added along the western parcel boundary. Though, the extent of the proposed parking lot and construction limits in relation to the parcel boundary may cause the fence to be placed on the parcel west of the project.

Wetlands

Wetland Recommendation: Merjent **recommends approval, with requests for edits for Final Site Plan submittal**, of the Grand River Parking Expansion rPSP based on the comments provided below.

Based on a site review conducted on May 15, 2026, Merjent agrees with the wetland boundaries as depicted on the site plan and provided wetland delineation report (**Figure 1**). The wetland south of the proposed Project extends to the southern retaining wall and is dominated by hairy sedge (*Carex lacustris*) and sandbar willow (*Salix exigua/interior*). Photographs from the site visit are included in **Attachment A**. Upon review of published resources, the Site appears to contain or immediately borders:

- City-regulated wetlands, as identified on the City of Novi interactive map website. Note that both wetland and property limits depicted on the City’s map are considered approximations (**Figure 1**).
- Wetlands that are regulated by the Michigan Department of Environment, Great Lakes, and Energy (EGLE).
- Wetlands as identified on National Wetland Inventory (NWI) and Michigan Resource Inventory System (MIRIS) maps, as identified on the EGLE Wetlands Viewer interactive map website (provided in pre-app review). NWI and MIRIS wetlands are identified by the associated governmental bodies’ interpretation of topographic data and aerial photographs.
- Hydric (wetland) soil as mapped by the U.S. Department of Agriculture, Natural Resources Conservation Service, as identified on the EGLE Wetlands Viewer interactive map website (provided in pre-app review).

Permits and Regulatory Status

Due to the comments below, the following wetland-related items will be required for this project:

Item	Required/Not Required
Wetland Permit (specify Non-minor or Minor)	Not Required



Item	Required/Not Required
Wetland Mitigation	Not Required
Environmental Enhancement Plan	Not Required
Wetland Buffer Authorization	Required
EGLE Wetland Permit	Likely Not Required*
Wetland Conservation Easement	Not Required

*EGLE is the final authority over wetlands and water resources in the State of Michigan.

Wetland Review Comments

1. No impacts to wetlands are proposed by this Project.
2. In addition to wetlands, the City of Novi regulates wetland and watercourse buffers/setbacks. Section 3.6 (2[M]) of the Zoning Ordinance, Schedule of Regulations, states: "There shall be maintained in all districts a wetland and watercourse setback, as provided herein, unless and to the extent, it is determined to be in the public interest not to maintain such a setback. The intent of this provision is to require a minimum setback from wetlands and watercourses". The established wetland and watercourse buffer/setback limit is 25 horizontal feet, regardless of grade change.
 - The revised site plans depict the 25-foot wetland setback on Sheet 9 (Impervious Area Plan). A portion of the proposed parking lot expansion encroaches within the 25-foot wetland setback. The existing parking lot and retaining wall are also within the 25-foot setback.
 - A **Wetland Buffer Authorization** is required because a portion of the proposed parking lot expansion encroaches within the 25-foot wetland setback.
 - **Required Edit for Final Site Plan: The applicant should provide the total area (square feet) and volume (cubic yards) of fill proposed within the 25-foot wetland setback to allow for a complete assessment of impacts under Chapter 12, Article V.**

Should you have any questions or concerns with this review, please contact me via email at jason.demoss@merjent.com or via phone at (619) 944-3835.

Sincerely,

Merjent, Inc.



Jason DeMoss, PWS
Environmental Consultant

Enclosures:

Figure 1 – City of Novi Woodlands and Wetlands Map
Attachment A – Site Photos

CC:

Barb McBeth, City of Novi, bmcbeth@cityofnovi.org
Rick Meader, City of Novi, rmeader@cityofnovi.org
Stacey Choi, City of Novi, schoi@cityofnovi.org
Matt Pudlo, Merjent, matt.pudlo@merjent.com



Figure 1. City of Novi Regulated Woodland and Wetland Map
Site Boundary is outlined in red
Approximate Woodlands are shown in green
Approximate Wetlands are shown in Blue



City of Novi Woodland and Wetlands Map

Civic Center
45175 Ten Mile Rd
Novi, MI 48375
cityofnovi.org



1 inch = 94 feet



Date Printed: 3/6/2026

Map Author:

**Attachment A
Site Photographs**



Overview of parking lot expansion area



Overview of southern wetland with flagging



Overview of western wetland with flagging

TRAFFIC REVIEW



AECOM
 39575 Lewis Dr, Ste. 400
 Novi
 MI, 48377
 USA
 aecom.com

Project name:
 JSP26-07 – 44275 Grand River Parking Lot
 Expansion Revised Preliminary Traffic Review

From:
 AECOM

Date:
 May 21, 2026

To:
 Barbara McBeth, AICP
 City of Novi
 45175 10 Mile Road
 Novi, Michigan 48375

CC:
 Lindsay Bell, Humna Anjum, Diana Shanahan, Milad
 Alesmail, Stacey Choi, Kate Purpura

Memo

Subject: JSP26-07 – 44275 Grand River Parking Lot Expansion Revised Preliminary Traffic Review

The revised preliminary site plan was reviewed to the level of detail provided and AECOM recommends **approval** for the applicant to move forward as long as the comments provided below are adequately addressed to the satisfaction of the City.

GENERAL COMMENTS

1. The applicant, Versa Real Estate, is proposing an expansion to an existing parking lot.
2. The development is located on the south side of Grand River Avenue, east of Taft Road. Grand River Avenue is under the jurisdiction of the Road Commission for Oakland County.
3. The site is zoned I-1 (Light Industrial).
4. There are no traffic related deviations required at this time.

TRAFFIC IMPACTS

1. AECOM did not perform an initial trip generation based on the ITE Trip Generation Manual, 11th Edition, as the footprint of the building is not changing.
2. The City of Novi generally requires a traffic impact study/statement if the number of trips generated by the proposed development exceeds the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour, or if the project meets other specified criteria.

Trip Impact Study Recommendation	
Type of Study:	Justification
None	N/A

TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City's Code of Ordinances. Items marked with ZO are listed in the City's Zoning Ordinance. Items marked with ADA are listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices.

The values in the 'Compliance' column read as 'met' for plan provision meeting the standard it refers to, 'not met' stands for provision not meeting the standard and 'inconclusive' indicates applicant to provide data or information for review and 'NA' stands for not applicable for subject Project. The 'remarks' column covers any comments reviewer has and/or 'requested/required variance' and 'potential variance'. A potential variance indicates a variance that will be required if modifications are not made or further information provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
1	Driveway Radii O Figure IX.3	-	N/A	No changes proposed.
2	Driveway Width O Figure IX.3	-	N/A	No changes proposed.
3	Driveway Taper O Figure IX.11	-	N/A	No changes proposed.
3a	Taper length	-	N/A	
3b	Tangent	-	N/A	
4	Emergency Access O 11-194.a.19	-	N/A	No changes proposed.
5	Driveway Sight Distance O Figure VIII-E	-	N/A	No changes proposed.
6	Driveway Spacing	-	N/A	No changes proposed.
6a	Same-side O 11.216.d.1.d	-	N/A	
6b	Opposite side O 11.216.d.1.e	-	N/A	
7	External Coordination (Road Agency)	-	N/A	No changes proposed.
8	External Sidewalk Master Plan & EDM	-	N/A	No changes proposed.
9	Sidewalk Ramps EDM 7.4 & R-28-K	-	N/A	No changes proposed.
10	Any Other Comments:			

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
11	Loading Zone ZO 5.4	-	N/A	No changes proposed.
12	Trash Receptacle ZO 5.4.4	-	N/A	No changes proposed.
13	Emergency Vehicle Access	-	N/A	No changes proposed.
14	Maneuvering Lane ZO 5.3.2	24'	Met	
15	End Islands ZO 5.3.12			
15a	Adjacent to a travel way	Dimensioned	Met	
15b	Internal to parking bays	-	N/A	
16	Parking Spaces ZO 5.2.12	32 additional spaces		See Planning review letter.
17	Adjacent Parking Spaces ZO 5.5.3.C.ii	≤15 spaces in a parking bay	Met	
18	Parking Space Length ZO 5.3.2	17'	Met	
19	Parking Space Width ZO 5.3.2	9'	Met	
20	Parking Space Front Curb Height ZO 5.3.2	4" and 6"	Met	
21	Accessible Parking – number ADA	4 required, 3 existing, 1 proposed	Met	

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
22	Accessible Parking – size ADA	18' x 9' with 8' aisle	Met	
23	Number of Van Accessible Space ADA	1 proposed	Met	
24	Bicycle Parking			
24a	Requirement ZO 5.16.1	8 proposed	Met	
24b	Location ZO 5.16.1	Indicated	Met	
24c	Clear Path from Street ZO 5.16.1	Existing	Met	
24d	Height of Rack ZO 5.16.5.B	3'	Met	
24e	Other (Covered / Layout) ZO 5.16.1 , Text Amendment 18.301	Provided	Not Met	Update layout to meet requirements in Text Amendment 18.301.
25	Sidewalk – min 5' wide Master Plan	8.5'	Met	
26	Sidewalk Ramps EDM 7.4 & R-28-K	-	N/A	No changes proposed.
27	Sidewalk – distance back of curb EDM 7.4	-	N/A	No changes proposed.
28	Cul-De-Sac O Figure VIII-F	-	N/A	
29	EyeBrow O Figure VIII-G	-	N/A	
30	Turnaround ZO 5.10	-	N/A	
31	Any Other Comments:			

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
32	Signing - sizes MMUTCD	Detail provided	Met	
33	Signing Table - quantities and sizes	Not included	Not Met	Include sign quantity table with sizes on sheet 2.
34	Signs 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post MMUTCD	Indicated	Met	
35	Signs greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post MMUTCD	Indicated	Met	
36	Sign bottom height of 7' from final grade MMUTCD	Indicated	Met	
37	Signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign MMUTCD	Indicated	Met	
38	FHWA Standard Alphabet series used for all sign language MMUTCD	Indicated	Met	
39	High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity MMUTCD	Indicated	Met	
40	Parking space striping notes	Indicated	Met	
41	The international symbol for accessibility pavement markings ADA	Detail provided	Partially Met	Label color on detail.
42	Crosswalk Pavement Marking Detail	-	N/A	
43	Any Other Comments:			

Memo

Note: Hyperlinks to the standards and Ordinances are for reference purposes only, the applicant and City of Novi to ensure referring to the latest standards and Ordinances in its entirety.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Paula K. Johnson, PE
Senior Transportation Engineer



Saumil Shah, PE
Project Manager

FIRE REVIEW



May 4, 2026

TO: Barbara McBeth - City Planner
Lindsay Bell - Plan Review Center
Diana Shanahan – Plan Review Center
Stacey Choi – Planning Assistant

CITY COUNCIL

Mayor
Justin Fischer

Mayor Pro Tem
Laura Marie Casey

Dave Staudt

Brian Smith

Matt Heintz

Priya Gurumurthy

Aaron Martinez

City Manager
Victor Cardenas

Director of Public Safety
Chief of Police
Erick W. Zinser

Fire Chief
John B. Martin

Assistant Chief of Police
Scott R. Baetens

Assistant Fire Chief
Todd Seog

RE: **Damas Building Parking Lot Expansion 44725 Grand River**

JSP26-07

Project Description:

New parking lot expansion on existing site @ 44725 Grand River

Comments:

NONE

Recommendation:

The Fire Dept. does not have any objections at this time.

Sincerely,

A handwritten signature in black ink that reads "Andrew Copeland". The signature is written in a cursive, flowing style.

Andrew Copeland – Fire Marshal
City of Novi Fire Department

cc: file

Novi Public Safety Administration
45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTERS



June 2, 2026

City of Novi Planning Department
45175 W 10 Mile Road
Novi, MI 48375

Re: JSP26-07 Damas Building Parking Lot Expansion (44725 Grand River Ave.)

To Whom it May Concern,

Attached please find the Site Plan for the above referenced Damas Building Parking Lot Expansion (44725 Grand River Ave.) project. We are in receipt of review comments dated May 26, 2026. Below is our responses and any corrective actions taken shown in **red** as necessary.

Planning Review

- **A Zoning Board of Appeals variance will be requested for the deficiency in parking in the west side setback as the proposed parking is closer than 10' to the property line.**
- **Please see the included existing 1st floor plan (as provided to the Applicant at time of closing) & the proposed 2nd floor plan. A Zoning Board of Appeals variance will be requested for the parking deficiency.**
- **The number of employees for medical office use will be approximately 30 employees. Thus, resulting in 2 bicycle parking spaces being required.**
- **The bicycle parking has will be revised on the Final Site Plan revised for 8 bicycles as requested.**
- **A revised photometric plan showing minimum illumination levels will be included in the Final Site Plan submittal.**
- **Lot splits and combinations will be completed prior to stamping set approval; new parcel numbers will be indicated on the stamping set.**

Engineering Review

1. **License Agreement will be submitted at Final Site Plan submittal.**
2. **The beehive cover in the parking lot will be replaced with a straight face grate cover on the Final Site Plan submittal.**
3. **Comment noted.**
4. **A note will be added to the Final Site Plan stating the existing pre-treatment structure on-site shall be cleaned out with this project.**
5. **An additional fee of \$630.74 will be paid by the Applicant for the regional detention basin fund.**
6. **Note to use 21AA crushed aggregate within 100 feet of water course will be added to the Final Site Plan.**
7. **A building permit for retaining walls that are 48-inches or larger will be obtained from Building Department.**



Landscape Review

- **Refer to Allen Design Response Letter.**
- **Color rendering of the Site Plan to be provided by Allen Design.**

Woodland Review

- **Woodland fence guarantee of \$6,000 will be paid prior to issuance of the City of Novi Woodland Use Permit as required.**
- **A wetland buffer authorization for the encroachments into the wetland buffer will be provided at Final Site Plan submittal.**

We hope you find this response agreeable and respectfully request your approval of the updated Site Plan.

If you have any questions or require anything further, please do not hesitate to contact our office.

Sincerely,

UMLOR GROUP

A handwritten signature in blue ink, appearing to read 'Chad Holdwick', is written over a light blue horizontal line.

Chad Holdwick
Engineering Manager

Attachments:

Site Plan

Existing 1st Floor Plan

Proposed 2nd Floor Plan

June 2, 2026

Mr. Rick Meader, Landscape Architect
City of Novi Community Development
45175 West 10 Mile
Novi, MI 48375

RE: 44725 Grand River

Dear Mr. Meader:

Below are our responses to your review dated May 15, 2026.

Landscape Comments:

- *Existing vegetation.* A note has been added to Sheet L-1 stating any missing landscaping from the originally approved plans shall be replaced.
- *Existing utilities.* Existing utilities are labeled. We will double check the tree spacing from utilities.
- *Ground covers.* A note will address the existing islands. The intent is to match the existing islands.
- *Parking lot islands.* The island widths will be dimensioned. All islands have the areas labeled and meet ordinance requirements.
- *Landscape area.* A note states all disturbed areas to be sod.
- *Parking lot perimeter.* A variance will be sought since the parking lot is closer than 10' to the property line. If this is granted, a parking lot perimeter waiver will be needed due to the reduced width.

If you have any questions or comments regarding this response, please contact me at your convenience.

Sincerely,



James C. Allen
Allen Design L.L.C.