



COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals

ZONING BOARD APPEALS DATE: August 14, 2018

REGARDING: 25540 Seeley Rd, Parcel # 50-22-24-251-027 (PZ18-0029)

BY: Larry Butler, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant

Hillside Investments

Variance Type

Dimensional Variance

Property Characteristics

Zoning District:	Light Industrial
Location:	West of Haggerty Road and North of Grand River Avenue
Parcel #:	50-22-24-251-027

Request

The applicant is requesting a variance from the City of Novi Zoning Ordinance Sections: 3.6.2F.ii and 4.19.2 to reduce the required north parking setback from 100 feet (proposed 55 feet) and to place two accessory structures in the south side yard. Except where otherwise permitted and regulated, accessory structures shall be located in the rear yard. This property is zoned Light Industrial (I-1).

II. STAFF COMMENTS:

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we **grant** the variance in Case No. **PZ18-0029**, sought by _____, for _____ because Petitioner has shown practical difficulty requiring _____.
 - (a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because_____.
 - (b) The property is unique because_____.
 - (c) Petitioner did not create the condition because_____.

(d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because_____.

(e) The relief if consistent with the spirit and intent of the ordinance because _____.

(f) The variance granted is subject to:

1. _____.

2. _____.

3. _____.

4. _____.

2. I move that we **deny** the variance in Case No. **PZ18-0029**, sought by _____ for _____ because Petitioner has not shown practical difficulty requiring _____.

(a) The circumstances and features of the property including _____ are not unique because they exist generally throughout the City.

(b) The circumstances and features of the property relating to the variance request are self-created because _____.

(c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that _____.

(d) The variance would result in interference with the adjacent and surrounding properties by _____.

(e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to _____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Larry Butler
Deputy Director Community Development
City of Novi



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 Novi, MI 48375
 (248) 347-0415 Phone
 (248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS APPLICATION

REVISED

RECEIVED

JUL 09 2018

CITY OF NOVI
COMMUNITY DEVELOPMENT

APPLICATION MUST BE FILLED OUT COMPLETELY

Application Fee: \$300.00
 Meeting Date: August 14, 2018
 ZBA Case #: PZ 18-0029

I. PROPERTY INFORMATION (Address of subject ZBA Case)			
PROJECT NAME / SUBDIVISION Novi Tech Center 6 & 7			
ADDRESS 25540 Seeley Road		LOT/SIUTE/SPACE #	
SIDWELL # 50-22-24 - 251 - 027		May be obtain from Assessing Department (248) 347-0485	
CROSS ROADS OF PROPERTY East side of Seeley Road, north of Grand Rive			
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		REQUEST IS FOR: <input type="checkbox"/> RESIDENTIAL <input checked="" type="checkbox"/> COMMERCIAL <input checked="" type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE	
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input type="checkbox"/> NO			
II. APPLICANT INFORMATION			
A. APPLICANT		EMAIL ADDRESS david@hillside-investments.com	CELL PHONE NO. 248-904-5724
NAME David Hardin		TELEPHONE NO.	
ORGANIZATION/COMPANY Hillside Investments		FAX NO.	
ADDRESS 47075 Five Mile Road	CITY Plymouth	STATE MI	ZIP CODE 48170
B. PROPERTY OWNER <input type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER			
Identify the person or organization that owns the subject property:		EMAIL ADDRESS jnroth@hillside-investments.com	CELL PHONE NO. 248-330-1100
NAME Jaimey Roth		TELEPHONE NO.	
ORGANIZATION/COMPANY Hillside Investments		FAX NO.	
ADDRESS 47075 Five Mile Road	CITY Plymouth	STATE MI	ZIP CODE 48170
III. ZONING INFORMATION			
A. ZONING DISTRICT			
<input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input checked="" type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____			
B. VARIANCE REQUESTED			
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:			
1. Section <u>3.1.18.D & 3.6.2.F.II</u> Variance requested <u>55' parking setback in lieu of 100' parking setback at north property line</u>			
2. Section <u>4.19.2</u> Variance requested <u>Accessory structures to be located in side yard in lieu of rear yard</u>			
3. Section _____ Variance requested _____			
4. Section _____ Variance requested _____			
IV. FEES AND DRAWINGS			
A. FEES			
<input type="checkbox"/> Single Family Residential (Existing) \$200 <input type="checkbox"/> (With Violation) \$250 <input type="checkbox"/> Single Family Residential (New) \$250 <input checked="" type="checkbox"/> Multiple/Commercial/Industrial \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> Signs \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> House Moves \$300 <input type="checkbox"/> Special Meetings (At discretion of Board) \$600			
B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF			
<ul style="list-style-type: none"> • Dimensioned Drawings and Plans • Site/Plot Plan • Existing or proposed buildings or addition on the property • Number & location of all on-site parking, if applicable • Existing & proposed distance to adjacent property lines • Location of existing & proposed signs, if applicable • Floor plans & elevations • Any other information relevant to the Variance application 			



ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

DIMENSIONAL USE SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING ADDITION TO EXISTING HOME/BUILDING SIGNAGE
 ACCESSORY BUILDING USE OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

Gard Vohn
Applicant Signature

7/9/18
Date

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

[Signature]
Property Owner Signature

7/9/18
Date

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

GRANTED DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

Chairperson, Zoning Board of Appeals

Date



Community Development Department

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
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**REVIEW STANDARDS
DIMENSIONAL VARIANCE**

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. **Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.

Not Applicable Applicable If applicable, describe below:

The proportions of the site are very narrow and do not allow for these buildings to be oriented on the site any other way.

and/or

- b. **Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.

Not Applicable Applicable If applicable, describe below:

We made every attempt to respect the regulated woodland area at the west side of the site by pushing the development as far to the east as possible. That said, we could only go so far to the east due to the required location of the storm water management pond and where the pond would need to drain to, which is the existing pond and wetland area in the adjacent property at the east side.

and/or

- c. **Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.

Not Applicable Applicable If applicable, describe below:

There is a large tract of land between Grand River & I-96/275 and Haggerty Road & Meadowbrook Road that is designated Industrial R&D in the City's Future Land Use map. There is, however, a small section of MH-1 Mobile Home Park zoning within that planned Industrial tract that makes our intent to develop this property within the City's desired Industrial R&D use extremely difficult to achieve.

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

The immediate practical difficulty causing the need for this dimensional variance is the narrow shape of the parcel.

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

The dimensional variance in strict compliance with regulations governing the required 100' parking setback at the property line abutting a mobile home development will prevent us from achieving the amount of parking spaces we are required per the use of the proposed buildings. It will also unnecessarily require us to demolish the last portion of the regulated woodlands at the west side of the site that we were striving to keep in place, as opposed to paying into the tree fund.

Standard #4. Minimum Variance Necessary.

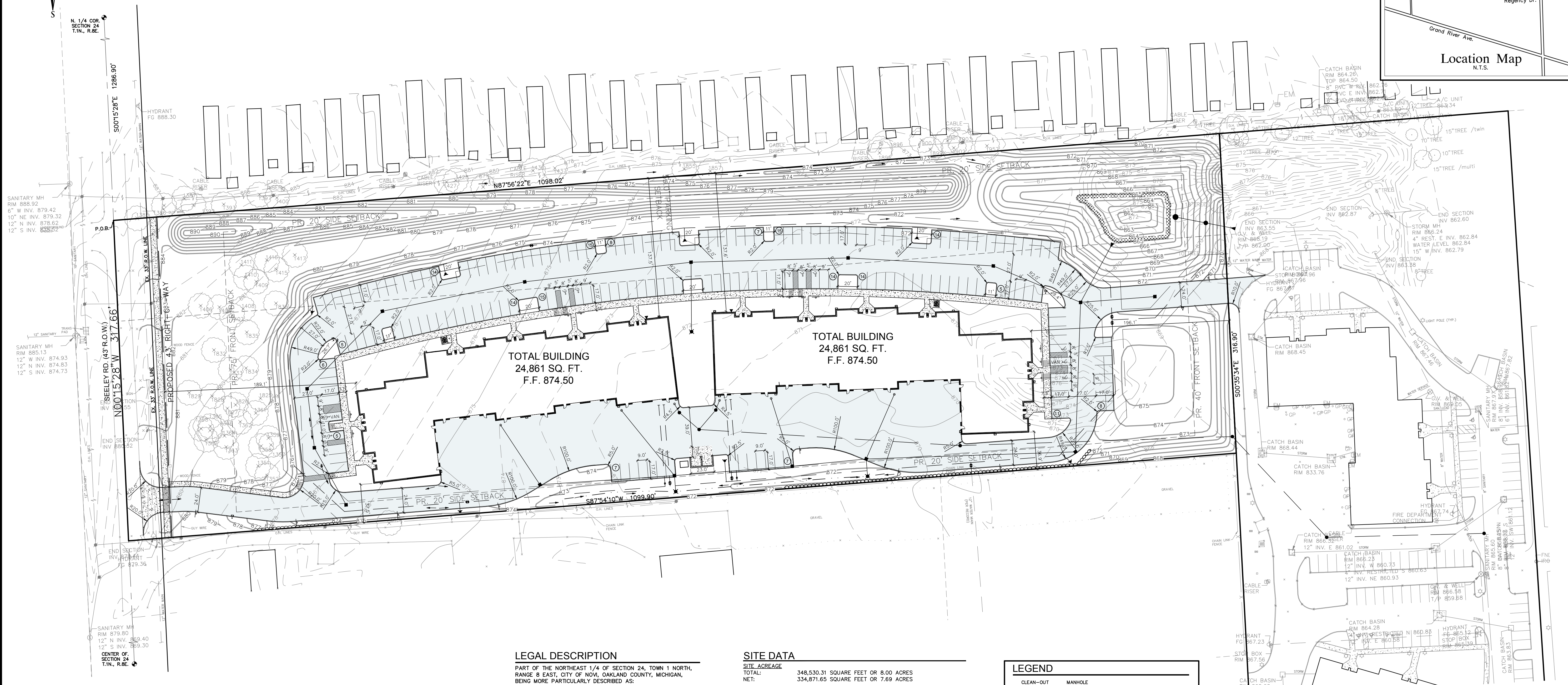
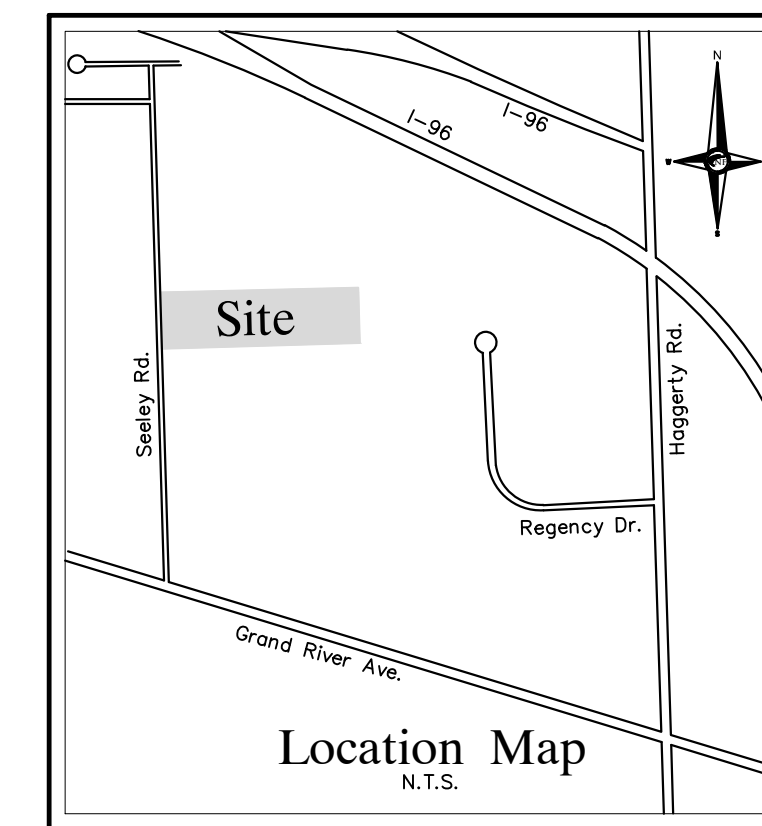
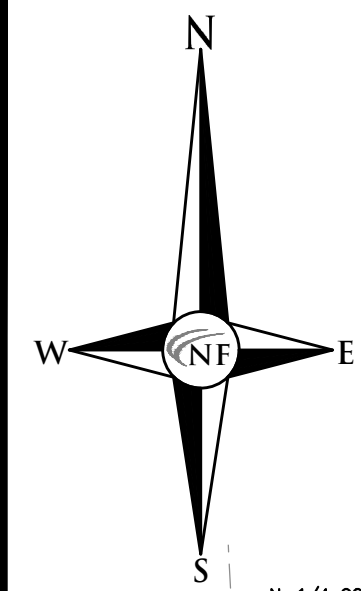
Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

The requested dimensional variance is for a 55' parking setback along the north property line in lieu of the required 100' parking setback. This is the minimum amount necessary to achieve an adequate berm height between our development and the mobile home development to the north, as well as provide the required amount of parking for our development. This distance provides adequate space for a berm high enough to screen all vehicle, visibility, noise, and light from the adjacent mobile home development.

Standard #5. Adverse Impact on Surrounding Area.

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

This dimensional variance will not cause adverse affects on the adjacent mobile home development because the berm and tree screening will remain on our property and will not disrupt the mobile home development's property in any way. There will be a 6-8' high berm with trees and shrubs on top, in place to ensure that there are no site lines for the mobile home development's residents to our buildings and parking lot; the view will be very similar to what it currently is. With the exception of this lone MH-1 zoned parcel, all other surrounding parcels in the neighborhood are similarly zoned Industrial, and as a result should see a rise in property value due to new development and interest in companies desiring to be in the area.



N. 1/4 COR. SECTION 24 T1N., R8E
S00°15'28"E 1286.90'
S00°15'28"E 317.66'
N00°15'28"W 317.66'
N00°15'28"W 317.66'
S00°35'34"E 316.90'

LEGAL DESCRIPTION
PART OF THE NORTHEAST 1/4 OF SECTION 24, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS:
BEGINNING AT A POINT DISTANT SOUTH 00 DEGREES 15 MINUTES 28 SECONDS EAST, 1286.90 FEET FROM THE NORTH 1/4 CORNER OF SAID SECTION 8; THENCE NORTH 87 DEGREES 56 MINUTES 22 SECONDS EAST, 1098.02 FEET; THENCE SOUTH 00 DEGREES 35 MINUTES 34 SECONDS EAST, 316.90 FEET; THENCE SOUTH 87 DEGREES 54 MINUTES 10 SECONDS WEST, 1099.90 FEET; THENCE NORTH 00 DEGREES 15 MINUTES 28 SECONDS WEST, 317.66 FEET TO THE POINT OF BEGINNING.
CONTAINING 348,530.31 S.F. OR 8.00 ACRES.

PAVING LEGEND

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

- SITE NOTES**
- NO OUTSIDE STORAGE OF ANY MATERIALS, EQUIPMENT, TRASH OR WASTE PERMITTED, EXCEPT DUMPSTERS MAY BE PERMITTED WHERE PROPERLY SCREENED.
 - THE OWNER OF THE PROPERTY SHALL REPORT ANY PROPOSED CHANGE IN USE OR OCCUPANCY, UNLESS OTHERWISE PROVIDED, DEALING WITH CONSUMER AT RETAIL IS PROHIBITED.
 - NO LONG TERM DELIVERY TRUCK PARKING ON SITE.
 - WINDOWS AND DOORS OF NON-OFFICE USE AREAS OF STRUCTURES IN AN I-1 DISTRICT MAY NOT BE LEFT OPEN.
 - TENANTS SHALL COMPLY WITH ANY CITY ORDINANCES REGARDING TOXIC OR HAZARDOUS MATERIALS.

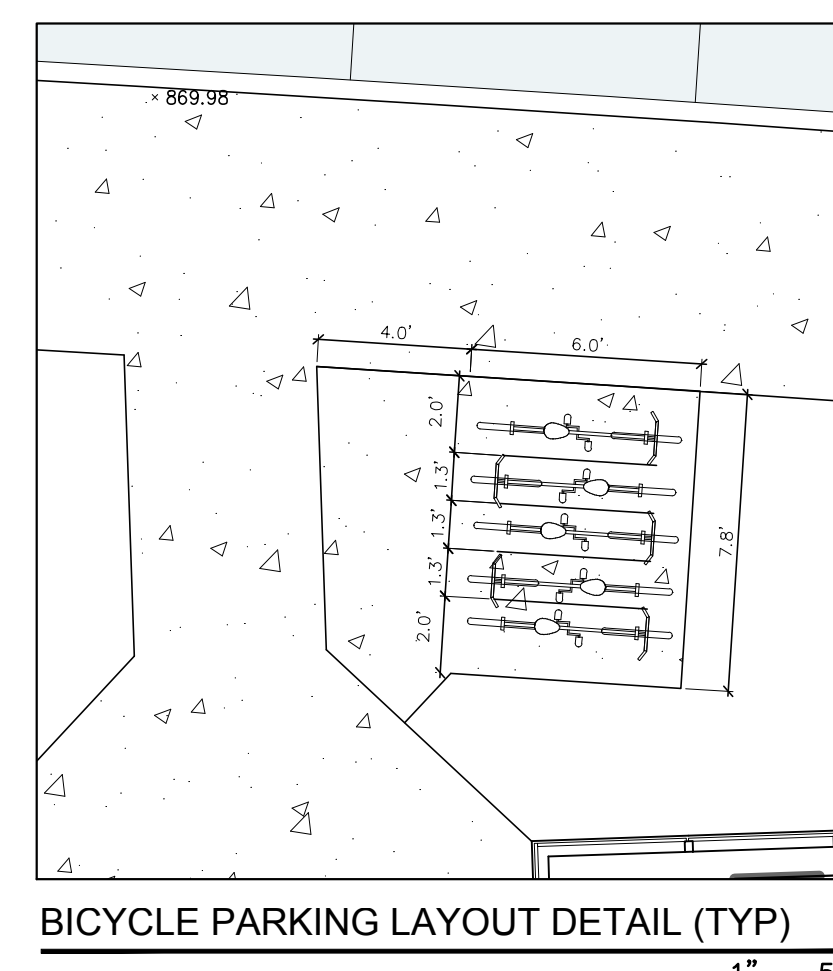
SOIL DATA:
10B - MARLETTE SANDY LOAM, 1 TO 6 PERCENT SLOPES (24.5%)
18B - FOX SANDY LOAM, 2 TO 6 PERCENT SLOPES (12.2%)
50B - UDIPSAMMENTS, UNULATING (35.8%)
54A - MATHERTON SANDY LOAM, 0 TO 3 PERCENT SLOPES (9.5%)
59 - URBAN LAND (17.9%)
PER USDA WEB SOIL SURVEY

SITE DATA

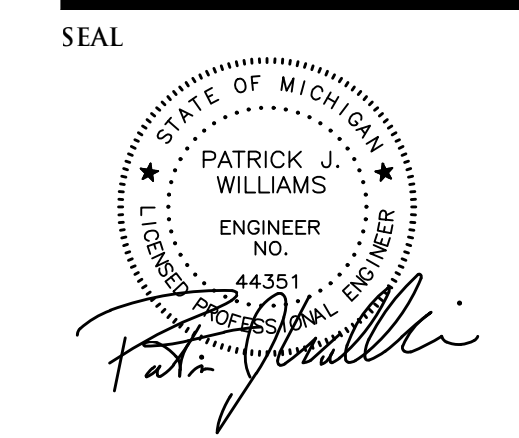
SITE ACREAGE	TOTAL: 348,530.31 SQUARE FEET OR 8.00 ACRES
	NET: 334,871.65 SQUARE FEET OR 7.69 ACRES
BUILDING USE	TWO OFFICE/RESEARCH BUILDINGS EACH BUILDING = 24,861 S.F.
BUILDING AREA	24,861 X (2) = 49,722 SQUARE FEET
BUILDING HEIGHT	20'-0"
ZONING	I-1 (LIGHT INDUSTRIAL DISTRICT)
BUILDING SETBACK	REQUIRED PROVIDED
FRONT WEST (SEELEY RD.):	40' 189'
SIDE NORTH:	100' 137'
SIDE SOUTH:	20' 37'
REAR EAST:	20' 196'
PARKING SETBACK	REQUIRED PROVIDED
FRONT WEST (SEELEY RD.):	40' 153'
SIDE NORTH:	100' 55' (VARIANCE PENDING)
SIDE SOUTH:	20' 20'
REAR EAST:	20' 162'
PARKING CALCULATION:	BUILDING AREA FOR PARKING CALCULATION (PER ATTACHED FLOOR PLAN) = 49,722 GROSS SQUARE FEET 80% USABLE = 39,778 SQUARE FEET
OFFICE PARKING REQUIRED (PER ATTACHED FLOOR PLAN)	= 39,778 S.F./222 = 179 SPACES
TOTAL PARKING SPACES REQUIRED	= 179 SPACES
PARKING PROVIDED:	REGULAR PARKING SPACES = 173 BARRIER FREE SPACES (INC. 2 VAN) = 10 TOTAL PARKING SPACES PROVIDED = 184 SPACES
BIKE PARKING	5% OF PROVIDED PARKING SPACES (184) = 9 REQUIRED 10 PROVIDED
LOADING	REQUIRED: 5 S.F. PER BUILDING LENGTH ALONG FRONTAGE (122 X 5 = 610 S.F.) PROVIDED: 22,200 S.F. OF LOADING/UNLOADING AREA BEHIND BUILDINGS
IMPERVIOUS AREA	PROPOSED IMPERVIOUS AREA = 170,668 S.F. OR 51%

LEGEND

	CLEAN-OUT		MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		GATE VALVE		EXISTING WATER MAIN
	INLET		MANHOLE		EXISTING STORM SEWER
	UTILITY POLE		EXISTING BURIED CABLES		EXISTING GAS MAIN
	EXISTING LIGHT POLE		EXISTING OVERHEAD LINES		PR. SANITARY SEWER
	C.O.		PR. WATER MAIN		PROPOSED STORM SEWER
	HYDRANT		PROPOSED WATER MAIN		COMPACT TO 95% MAX. DENSITY
	INLET		PR. SAND BACKFILL		UTILITY CROSSING
	MANHOLE		PR. TOP OF CURB ELEVATION		PROPOSED GUTTER ELEVATION
	GATE VALVE		PR. TOP OF WALK ELEVATION		PR. TOP OF PAVEMENT ELEV.
	MANHOLE		PROPOSED FINISH GRADE		PROPOSED CONTOUR
	MANHOLE		PROPOSED SWALE		PROPOSED INLET FILTER
	MANHOLE		PR. DRAINAGE DIRECTION		DRAINAGE AREA LIMITS
	MANHOLE		PROPOSED SILT FENCE		LIMITS OF SOIL DISRUPTION



BICYCLE PARKING LAYOUT DETAIL (TYP)
1" = 5'



PROJECT
Novi Technology Center
25540 Seelye Rd.

CLIENT
Hillside Investments
47075 Five Mile Road
Plymouth, MI 48170

Contact: Dave Hardin
Ph: (248) 904-5724

PROJECT LOCATION
Part of the NE 1/4 of Section 24
T.1 North, R.8 East
City of Novi,
Oakland County, Michigan

SHEET
Dimensional Site Plan



DATE ISSUED / REVISED
05-15-18 Per City Review

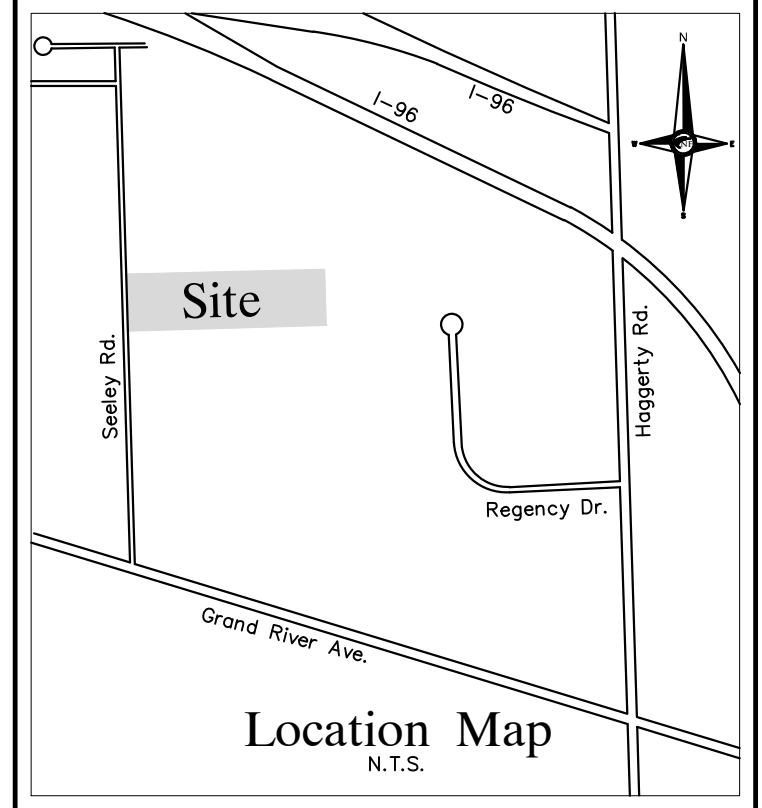
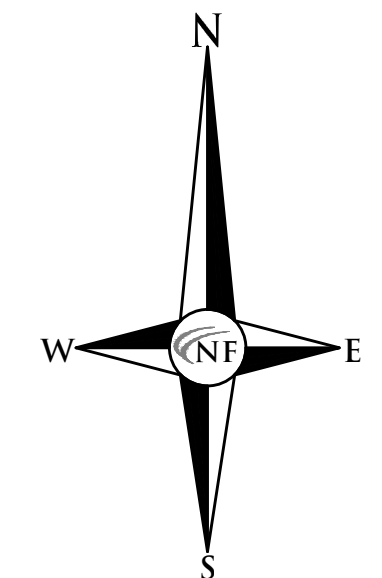
DRAWN BY:
A. Wiseman
DESIGNED BY:
A. Wiseman
APPROVED BY:
P. Williams
DATE:
March 23, 2018

SCALE: 1" = 50'
0 25 0 25 50 75

NFE JOB NO. K141 **SHEET NO.** SP-4

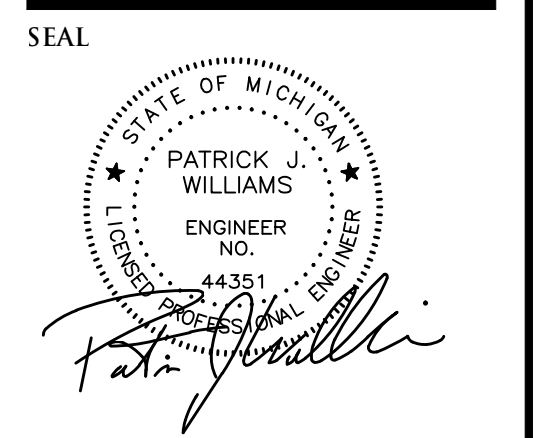
NOT FOR CONSTRUCTION

N. 1/4 COR.
SECTION 24
T.1N., R.8E.



NF
ENGINEERS
CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257



PROJECT
Novi Technology Center
25540 Seelye Rd.

CLIENT
Hillside Investments
47075 Five Mile Road
Plymouth, MI 48170

Contact: Dave Hardin
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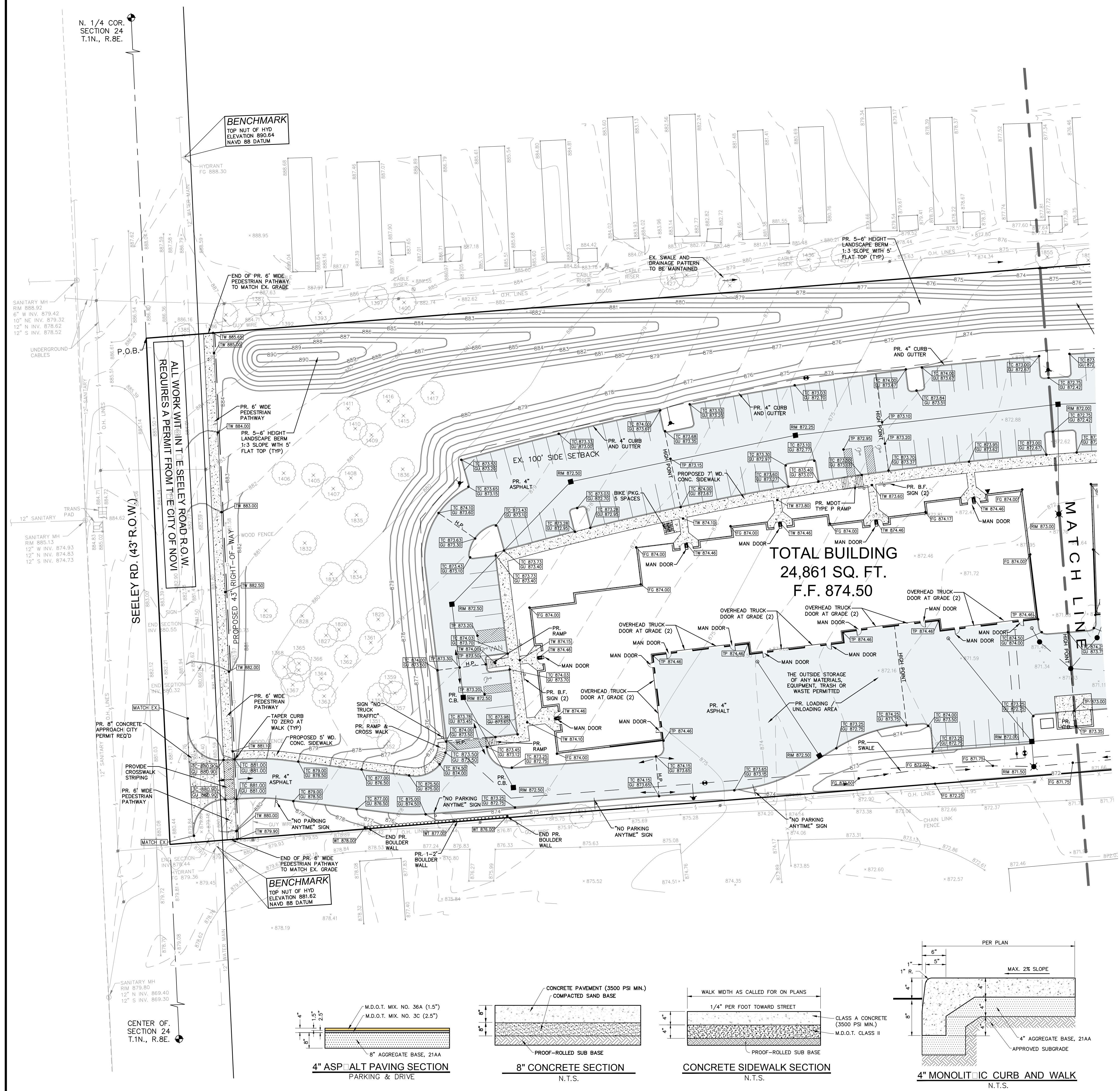
SHEET
Grading and Paving Plan



DATE ISSUED / REVISED
05-09-18 Per City Review

DRAWN BY:
A. Wiseman
DESIGNED BY:
A. Wiseman
APPROVED BY:
P. Williams
DATE:
March 23, 2018

SCALE: 1" = 30'
NFE JOB NO. SHEET NO.
K141 SP-5



LEGEND

CLEAN-OUT	MANHOLE	EXISTING SANITARY SEWER
HYDRANT	GATE VALVE	EXISTING WATER MAIN
INLET	RYCB	EXISTING STORM SEWER
UTILITY POLE	GUY POLE	EXISTING BURIED CABLES
EXISTING LIGHT POLE	EXISTING SIGN	EXISTING GAS MAIN
EXISTING OVERHEAD LINES		
C.O.	MANHOLE	PR. SANITARY SEWER
HYDRANT	GATE VALVE	PROPOSED WATER MAIN
INLET	RYCB	PROPOSED STORM SEWER
COMPACT TO 95% MAX. DENSITY		PR. SAND BACKFILL
A		UTILITY CROSSING
TC 600.00		PR. TOP OF CURB ELEVATION
GU 600.00		PROPOSED GUTTER ELEVATION
TW 600.00		PR. TOP OF WALK ELEVATION
TP 600.00		PR. TOP OF PAVEMENT ELEV.
FG 600.00		PROPOSED FINISH GRADE
600		PROPOSED CONTOUR
		PROPOSED SWALE
		PR. DRAINAGE DIRECTION
		PROPOSED INLET FILTER
		DRAINAGE AREA LIMITS
		PROPOSED SILT FENCE
		LIMITS OF SOIL DISRUPTION

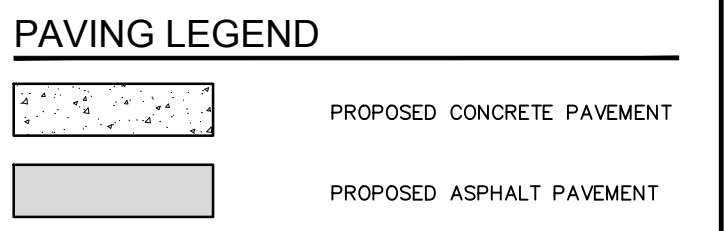
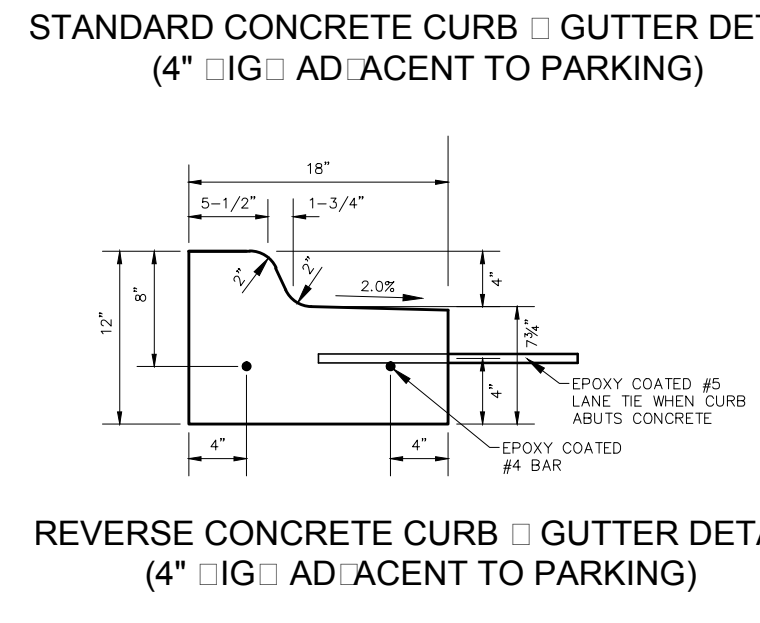
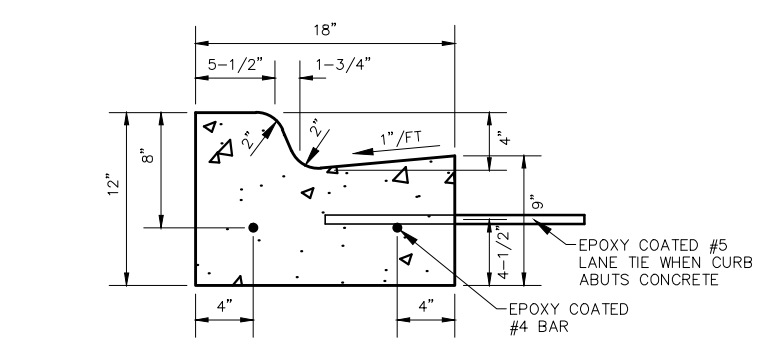
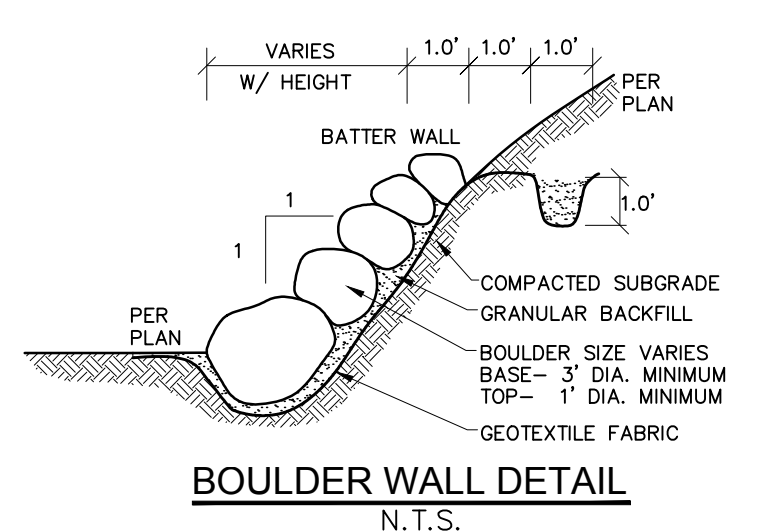
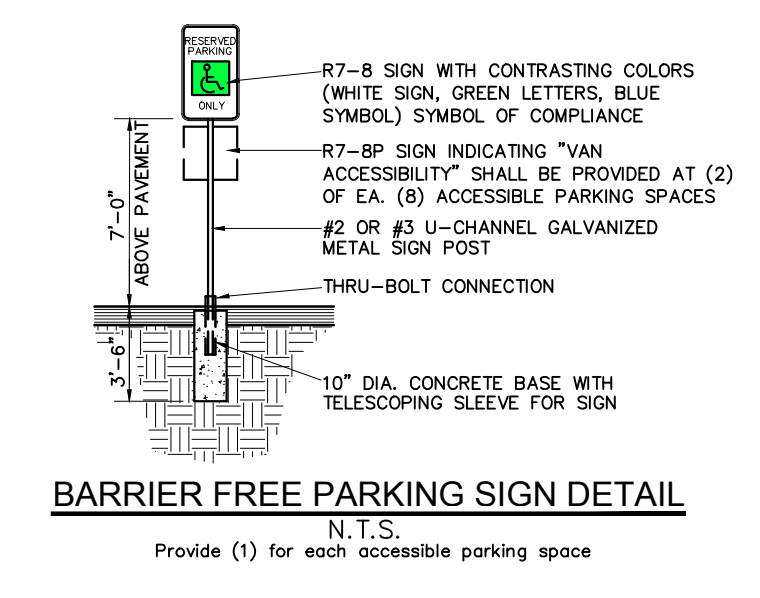
ESTIMATED QUANTITIES

PAVING ON SITE

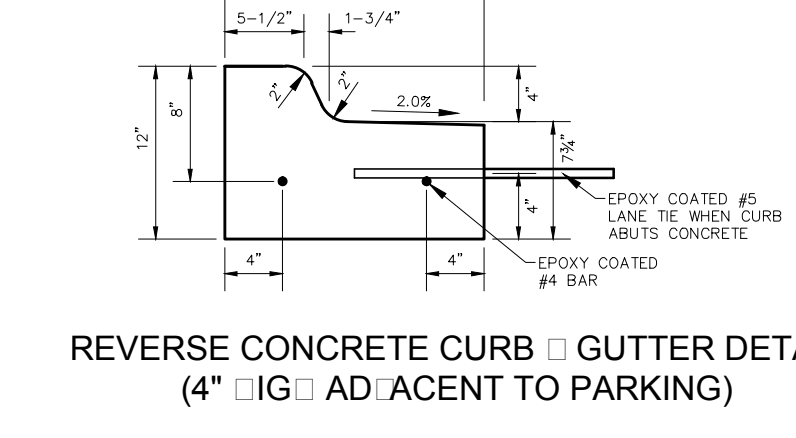
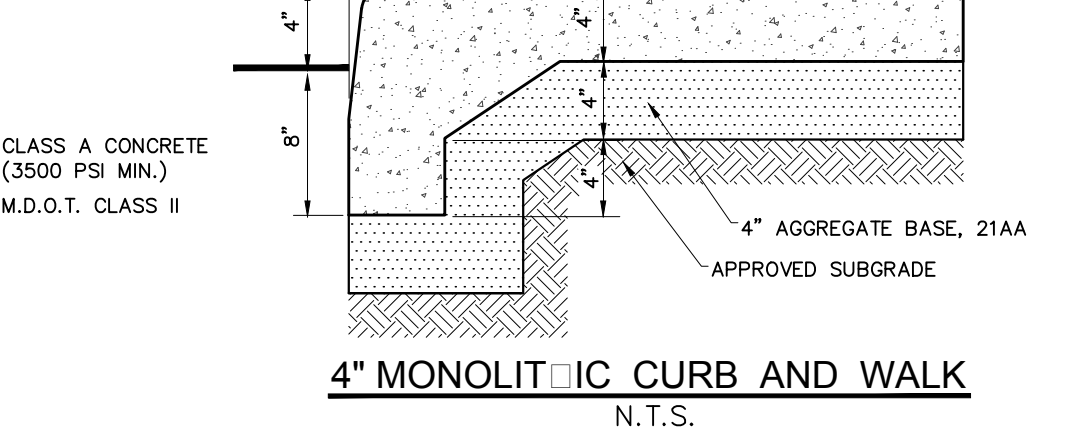
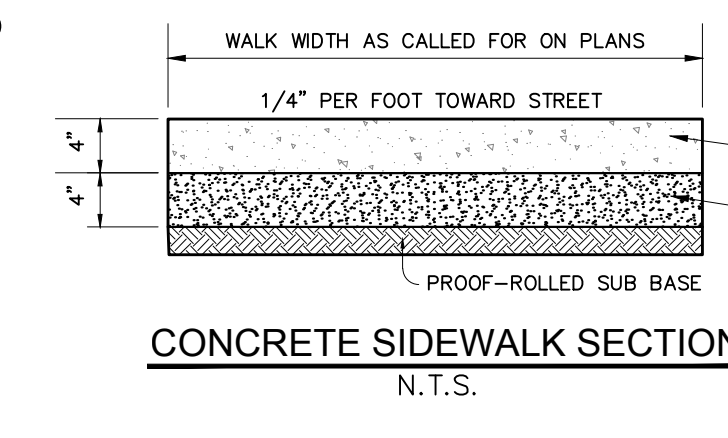
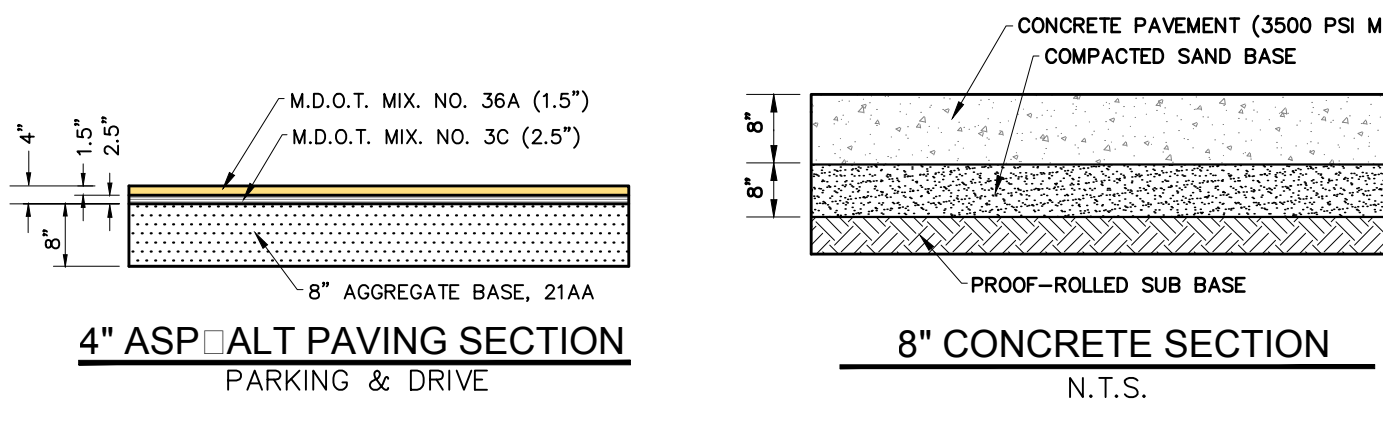
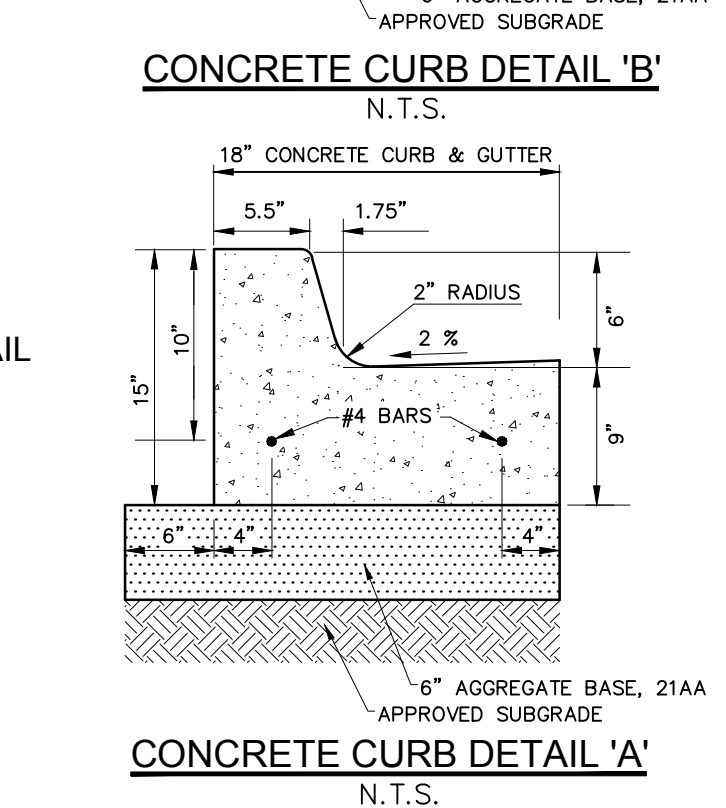
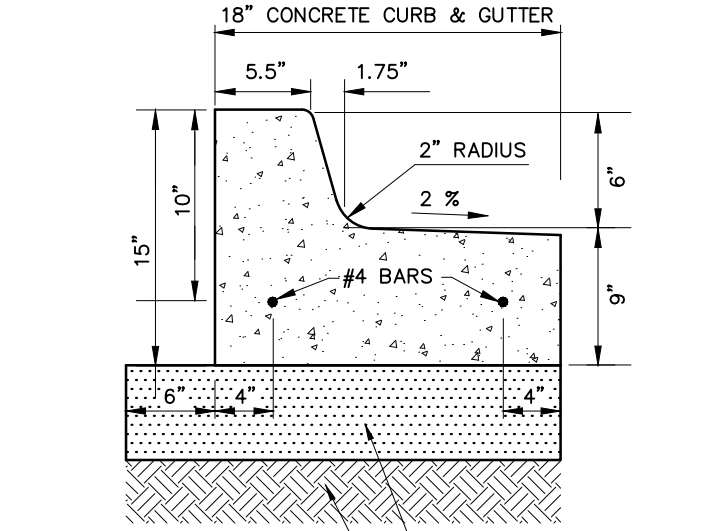
DESCRIPTION	QUANTITY	UNITS
8" NON-REINFORCED CONCRETE	48	S.Y.
6" MSC. CONCRETE	3	S.Y.
4" ASPHALT ON 8" 21AA BASE	10,787	S.Y.
4" CONCRETE SIDEWALK	9,243	S.F.
6" CONCRETE CURB & GUTTER	2,166	L.F.
6" CONCRETE CURB & GUTTER	1,900	L.F.
6" 21AA GRAVEL ACCESS DRIVE	154	S.Y.

PAVING ROW

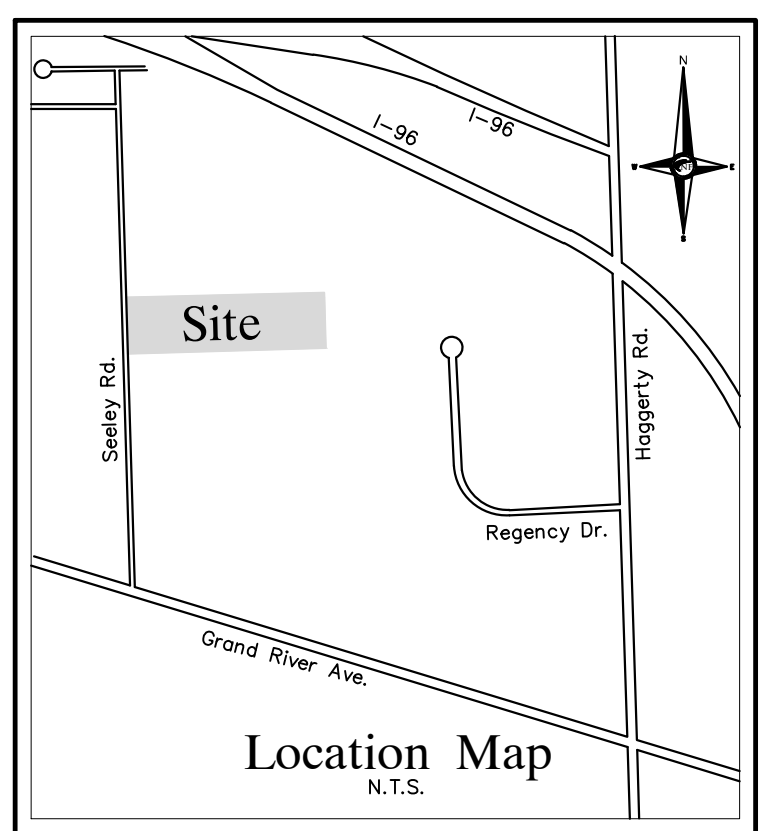
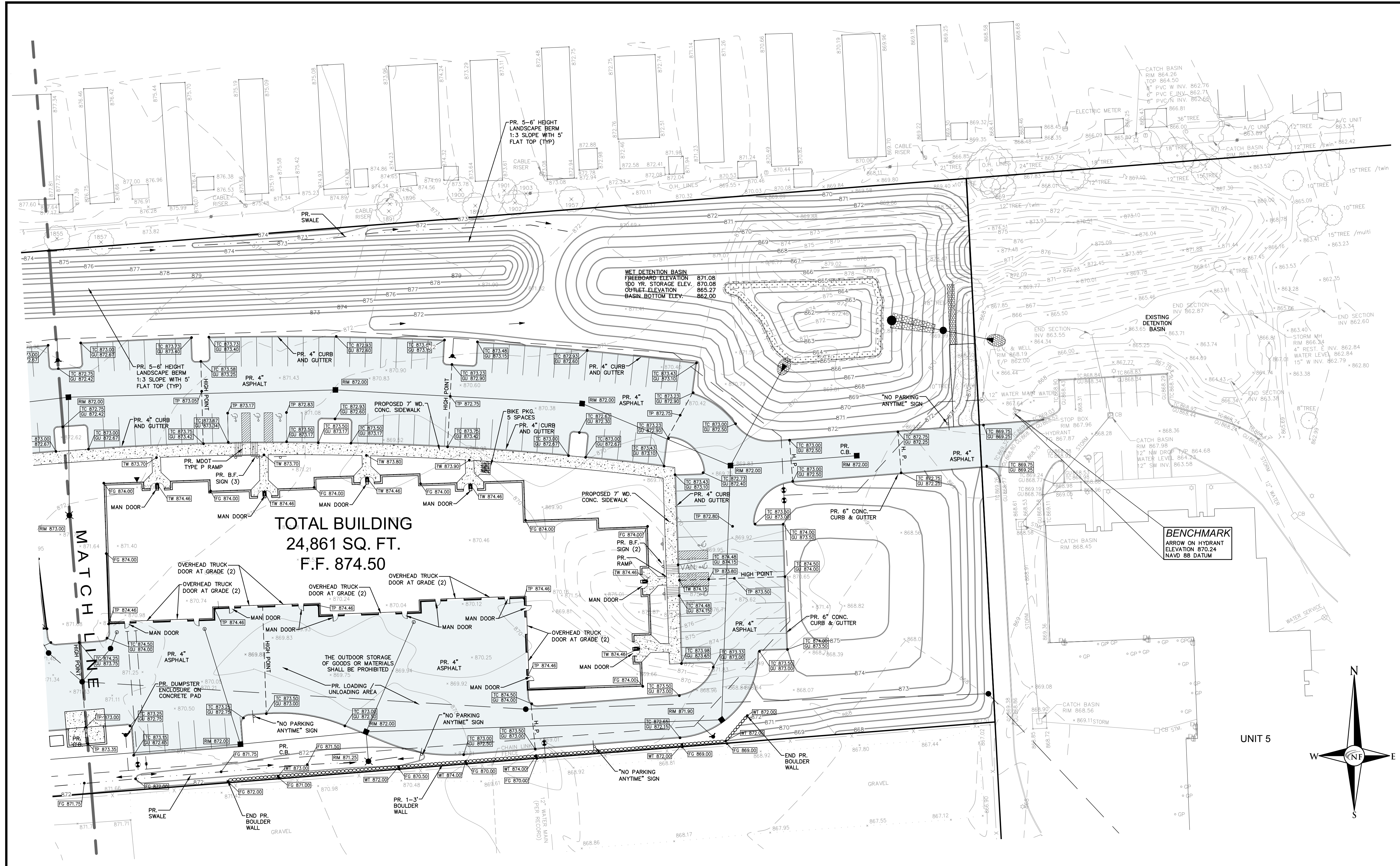
DESCRIPTION	QUANTITY	UNITS
8" NON-REINFORCED CONCRETE	96	S.Y.
4" CONCRETE SIDEWALK	1,908	S.F.



LEGAL DESCRIPTION
PART OF THE NORTHEAST 1/4 OF SECTION 24, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS:
BEGINNING AT A POINT DISTANT SOUTH 00 DEGREES 15 MINUTES 28 SECONDS EAST, 1286.90 FEET FROM THE NORTH 1/4 CORNER OF SAID SECTION 8; THENCE NORTH 87 DEGREES 56 MINUTES 22 SECONDS EAST, 1098.02 FEET; THENCE SOUTH 00 DEGREES 35 MINUTES 34 SECONDS EAST, 316.90 FEET; THENCE SOUTH 87 DEGREES 54 MINUTES 10 SECONDS WEST, 1099.90 FEET; THENCE NORTH 00 DEGREES 15 MINUTES 28 SECONDS WEST, 317.66 FEET TO THE POINT OF BEGINNING.
CONTAINING 348,530.31 S.F. OR 8.00 ACRES.



NOT FOR CONSTRUCTION



NF ENGINEERS
 CIVIL ENGINEERS
 LAND SURVEYORS
 LAND PLANNERS

NOWAK & FRAUS ENGINEERS
 46777 WOODWARD AVE.
 PONTIAC, MI 48342-5032
 TEL. (248) 332-7931
 FAX. (248) 332-8257

LEGEND

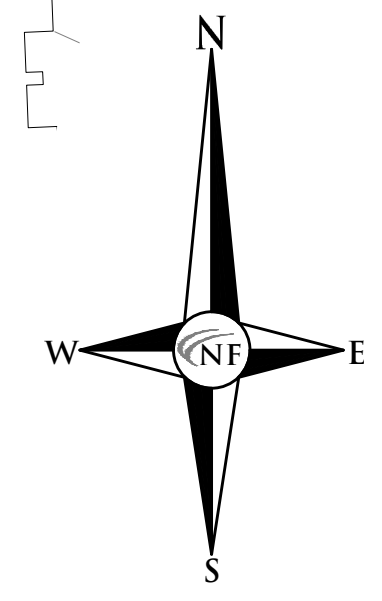
CLEAN-OUT	MANHOLE	EXISTING SANITARY SEWER
HYDRANT	GATE VALVE	EXISTING WATER MAIN
INLET	RYCB	EXISTING STORM SEWER
MANHOLE	CB	EXISTING BURIED CABLES
		EXISTING GAS MAIN
UTILITY POLE	GUY POLE	EXISTING OVERHEAD LINES
EXISTING LIGHT POLE	EXISTING SIGN	
C.O.	MANHOLE	PR. SANITARY SEWER
HYDRANT	GATE VALVE	PROPOSED WATER MAIN
INLET	RYCB	MANHOLE
CB		PROPOSED STORM SEWER
COMPACT TO 95% MAX. DENSITY		PR. SAND BACKFILL
		UTILITY CROSSING
TC 600.00		PR. TOP OF CURB ELEVATION
GU 600.00		PROPOSED GUTTER ELEVATION
TW 600.00		PR. TOP OF WALK ELEVATION
TP 600.00		PR. TOP OF PAVEMENT ELEV.
FC 600.00		PROPOSED FINISH GRADE
600		PROPOSED CONTOUR
		PROPOSED SWALE
		PR. DRAINAGE DIRECTION
		PROPOSED INLET FILTER
		DRAINAGE AREA LIMITS
		PROPOSED SILT FENCE
		LIMITS OF SOIL DISRUPTION

PAVING LEGEND

[Pattern]	PROPOSED CONCRETE PAVEMENT
[Pattern]	PROPOSED ASPHALT PAVEMENT

LEGAL DESCRIPTION

PART OF THE NORTHEAST 1/4 OF SECTION 24, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS: BEGINNING AT A POINT DISTANT SOUTH 00 DEGREES 15 MINUTES 28 SECONDS EAST, 1286.90 FEET FROM THE NORTH 1/4 CORNER OF SAID SECTION 8; THENCE NORTH 87 DEGREES 56 MINUTES 22 SECONDS EAST, 1098.02 FEET; THENCE SOUTH 00 DEGREES 35 MINUTES 34 SECONDS EAST, 316.60 FEET; THENCE SOUTH 87 DEGREES 54 MINUTES 10 SECONDS WEST, 1099.90 FEET; THENCE NORTH 00 DEGREES 15 MINUTES 28 SECONDS WEST, 317.66 FEET TO THE POINT OF BEGINNING. CONTAINING 348,530.31 S.F. OR 8.00 ACRES.



UNIT 5

TOTAL BUILDING
 24,861 SQ. FT.
 F.F. 874.50

Wet Detention Basin - 100 Year Storm Event

Determine Site Runoff Coefficient:

Proposed Land Use:	Runoff Coefficient:	Drainage Area:	
Building	0.95	1.141	Acres
Pond	1.00	0.076	Acres
Pavement	0.95	2.777	Acres
Landscape / Open Space:	0.35	3.697	Acres
Total Acreage (less 43 Pr. R.O.W.)		7.691	Acres

Weighted Runoff Coefficient "C" Factor = 0.662

Detention Calculation - Volume Required (100 Year Storm Event - With Outlet (Orifice))

Contributing Acreage:	7.69	Acres
Allowable Outflow, Q _o :	0.150	CFS / Acre
Runoff Coefficient, C:	0.662	Imperviousness
Maximum Allowable Outflow, Q _o :	0.227	CFS / (Acre * Imperv.)
Ts Storage Time (100 Year):	188.349	Minutes
Vs Storage Volume (100 Year):	12,859.66	CFS / (Acre * Imperv.)
Vt Total Volume (100 Year):	65,482.04	Cubic Feet
Volume Required:	65,482	Cubic Feet
Volume Provided:	74,215	Cubic Feet

Determine Bank Full Flood Volume Calculation

Contributing Acreage:	7.69	Acres
Runoff Coefficient, C:	0.662	Imperviousness

Volume Vt,bf Required: 41,602 Cubic Feet

Formula: Bank Flood Volume, Vt,bf = 8,170 x A x C

Determine First Flush Volume Calculation

Contributing Acreage:	7.69	Acres
Runoff Coefficient, C:	0.662	Imperviousness

Volume Vt,ff Required: 9,242 Cubic Feet

Formula: First Flush Volume: 1,815 x A x C

Determine Detention Volume Provided:

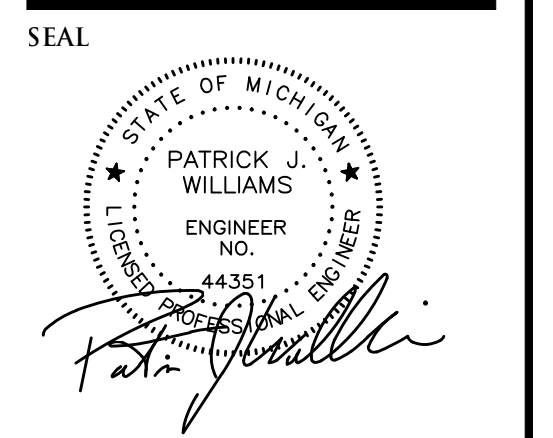
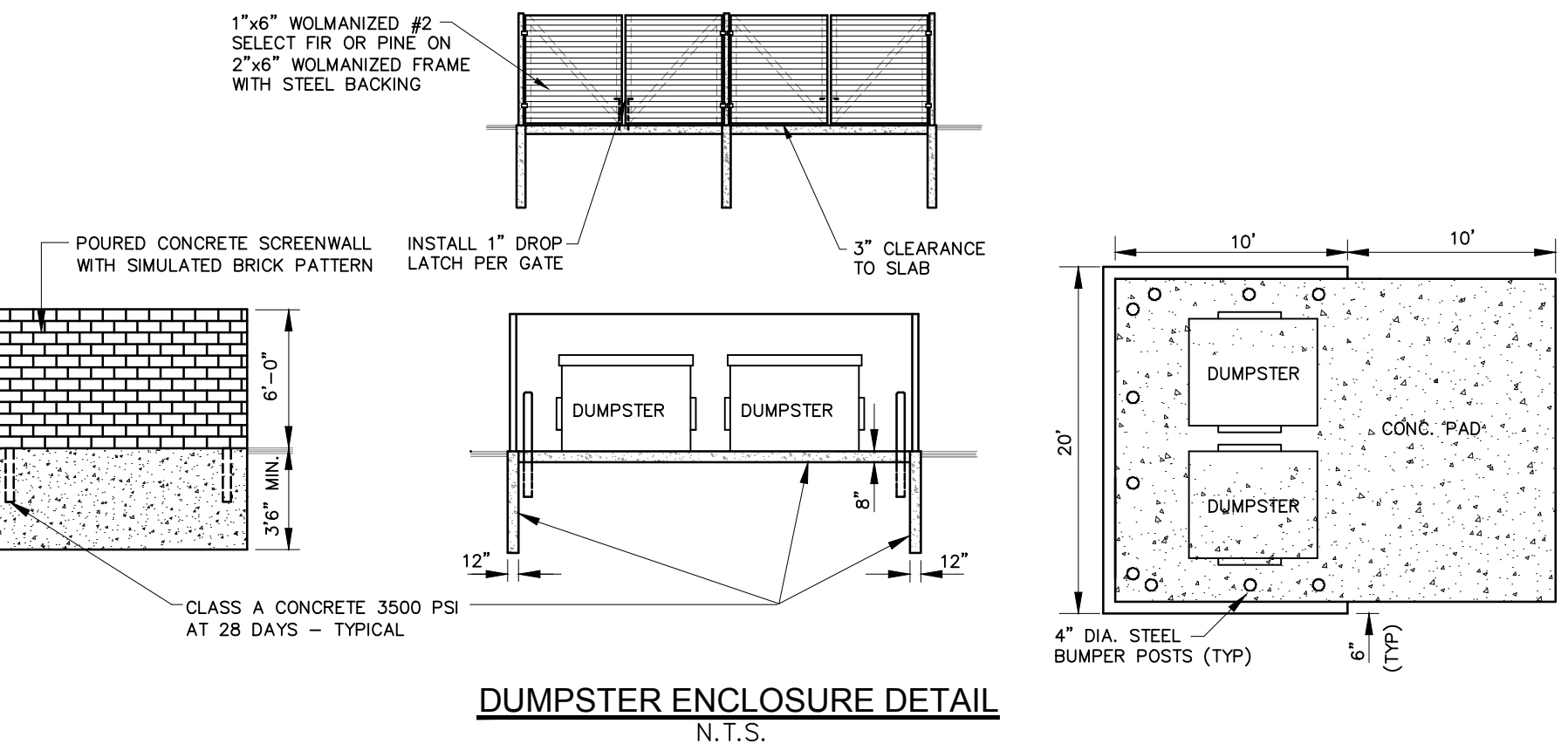
Detention Volume Data:	Freeboard Elevation:	871.39
	Storage Elevation:	870.39
	Outlet Elevation:	865.30

Elevation	Surface Area	Incremental Volume	Cumulative Volume
865.00	3,318		
		4,404	4,404
866.00	5,489		
		6,983	11,387
867.00	8,477		
		10,161	21,548
868.00	11,845		
		13,675	35,223
869.00	15,504		
		17,464	52,686
870.00	19,423		
		21,529	74,215
871.00	23,635		

Volume Provided: 74,215 Cubic Feet

Determine Elevation of First Flush & Bank Full Flood Volumes

	CUBIC FEET		Elevation (Z)
Vt(ff) =	9,242	is provided at	865.31
Vt(bf) =	41,602	is provided at	868.63
Vt(100) =	65,482	is provided at	870.41



PROJECT
 Novi Technology Center
 25540 Seelye Rd.

CLIENT
 Hillside Investments
 47075 Five Mile Road
 Plymouth, MI 48170

Contact: Dave Hardin
 Ph: (248) 904-5724

PROJECT LOCATION
 Part of the NE 1/4 of Section 24
 T.1 North, R.8 East
 City of Novi,
 Oakland County, Michigan

SHEET
 Grading and Paving Plan



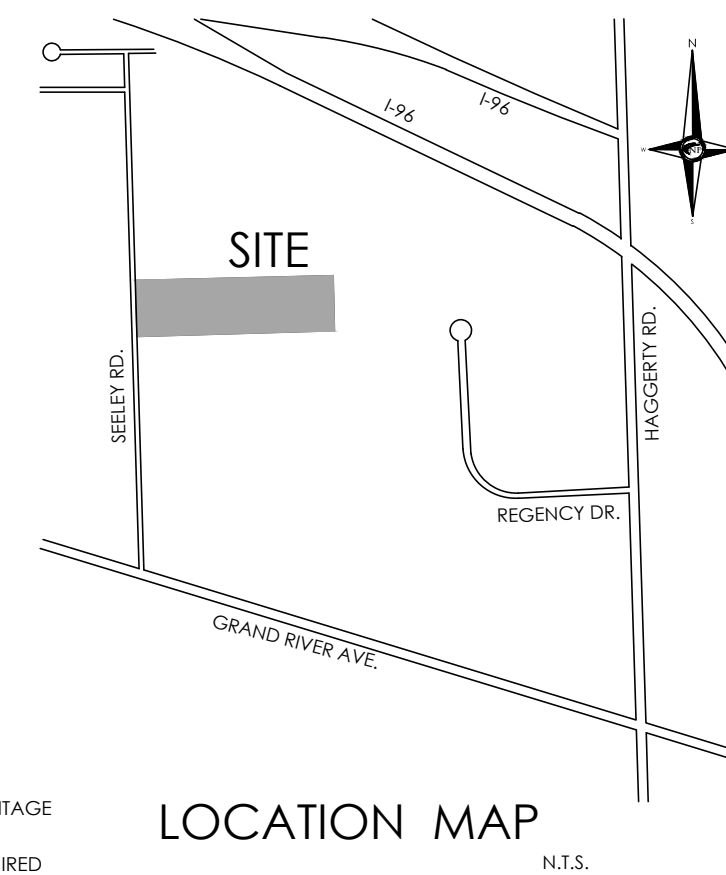
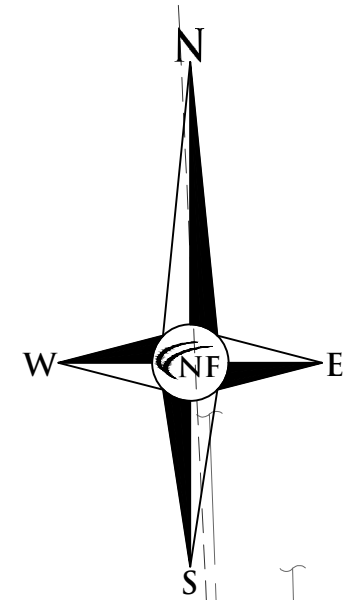
DATE ISSUED / REVISED
 05-09-18 Per City Review

DRAWN BY:
 A. Wiseman
DESIGNED BY:
 A. Wiseman
APPROVED BY:
 P. Williams

DATE:
 March 23, 2018

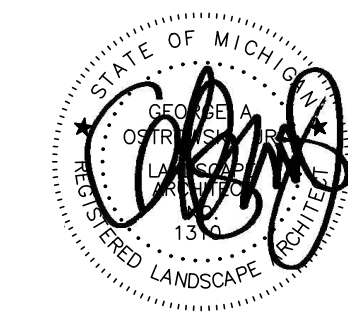
SCALE: 1" = 30'

NFE JOB NO. SHEET NO.
K141 SP-6



NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL (248) 332-7931
FAX (248) 332-8257

SEAL



PROJECT
Novi Technology Center
25540 Seely Rd.

CLIENT
Hillside Investments
47075 Five Mile Road
Plymouth, MI 48170

Contact: Dave Hardin
Ph: (248) 904-5724

PROJECT LOCATION
Part of the NE 1/4
of Section 24
T.1 North, R.8 East
City of Novi,
Oakland County, Michigan

SHEET
Landscape Plan



DATE ISSUED / REVISED
05/09/18 REVISED PER CITY REVIEW

DRAWN BY:
G. Ostrowski

DESIGNED BY:
G. Ostrowski

APPROVED BY:
G. Ostrowski

DATE:
March 23, 2018

SCALE: 1" = 30'

NFE JOB NO. SHEET NO.
K141 L3

LANDSCAPE REQUIREMENTS

EXISTING SITE ZONING: I-1, LIGHT INDUSTRIAL
EXISTING SITE AREA: 334,869.29 S.F. OR 7.69 ACRES

LANDSCAPE ABUTTING A R.O.W.
STREET TREES (S): 1 DECIDUOUS TREE PER 45 L.F. OF FRONTAGE
SEELY ROAD
REQUIRED: 317.66 L.F. / 99 L.F. / 45 L.F. = 4.86 TREES REQUIRED
REQUIRED: 5 TREES
PROVIDED: 5 TREES

ROW LANDSCAPE SCREENING (F)
1 TREE PER 60 L.F. (W/O PKG)
1 ORNAMENTAL TREE PER 40 L.F. (W/O PKG)

SEELY ROAD
REQUIRED: 317.66 L.F. / 25 / 40 L.F. = 4.8 OR 5 TREES REQUIRED
317.66 L.F. / 25 / 40 L.F. = 7.3 OR 7 ORNAMENTAL TREES REQUIRED
REQUIRED: 5 CANOPY TREES AND 7 SUB-CANOPY TREES
PROVIDED: 5 CANOPY AND 7 SUB-CANOPY TREES
*A WAIVER IS REQUESTED FOR THE BERM BASED ON DISTANCE BETWEEN PARKING AND RIGHT-OF-WAY

PARKING LOT LANDSCAPE REQUIREMENTS
VEHICLE USE AREA: 107,625 S.F.
5% OF TOTAL VEHICLE USE AREA UP TO 50,000 S.F. THEN 0.5%
107,625-50,000= 57,625 S.F.
50,000 S.F. X 5% = 2,500 S.F.
57,625 S.F. X 0.5% = 288 S.F.

REQUIRED PARKING LOT LANDSCAPE AREA
REQUIRED: 2,500 S.F. + 288 S.F. = 2,788 S.F. FOR PARKING LOT ISLANDS
PROVIDED: 4,120 S.F.

PARKING LOT INTERIOR SHADE TREES (I)
1 DECIDUOUS CANOPY TREE PER 200 S.F. REQUIRED LANDSCAPE AREA
REQUIRED: 2,788 S.F. / 200 S.F. = 13.94 OR 14 TREES REQUIRED
PROVIDED: 19 TREES

PARKING PERIMETER GREEN SPACE (P)
1 TREE PER 35 L.F. OF PARKING PERIMETER
REQUIRED: 2,018 L.F. / 35 L.F. = 57.65 OR 58 TREES
PROVIDED: 58 TREES

BUILDING FOUNDATION LANDSCAPE (B)
BUILDING PERIMETER X 8'. 60% REQUIRED TO BE LANDSCAPED

BUILDING 1 (WEST)
1,006 L.F. - 122 L.F. (MAIN DOORS) - 100 L.F. (OH DOORS) X 8' = 6,272 S.F. TOTAL AREA REQUIRED
122 L.F. X 8' X 60% = 586 S.F. MIN TO BE LANDSCAPED ON W. SIDE
PROVIDED:
6,401 S.F. OVERALL
894 S.F. (92%) OF SEELY ROAD FACADE

BUILDING 2 (EAST)
1,006 L.F. - 122 L.F. (MAIN DOORS) - 100 L.F. (OH DOORS) X 8' = 6,272 S.F. TOTAL AREA REQUIRED
PROVIDED:
6,283 S.F. OVERALL

DETENTION BASIN
75% OF BASIN RIM SHALL BE LANDSCAPED

WOODLAND REPLACEMENTS (W)
287 WOODLAND REPLACEMENT TREES ARE REQUIRED.
125 TREES PROVIDED, MONIES FOR 162 TREES TO BE PAID INTO TREE FUND

INSTALLATION NOTE:

THE ANTICIPATED DATE OF INSTALLATION WILL BE FALL OF 2019.

IRRIGATION NOTE:

AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WILL BE PROVIDED FOR ALL LANDSCAPED AREAS, IN FULL COMPLIANCE WITH THE ZONING ORDINANCE.

GENERAL NOTES:

ALL PROPOSED PLANT MATERIAL SHALL BE NORTHERN GROWN, NO. 1 GRADE STOCK, INSTALLED IN ACCORDANCE WITH AN AND CITY OF NOVI STANDARDS.

MISS DIG (1-800-482-7171) SHALL BE NOTIFIED A MINIMUM OF 48 HOURS PRIOR TO INSTALLATION OF ALL MATERIALS.
ALL TREES SHALL BE LOCATED AT LEAST 10 FEET FROM HYDRANTS OR UTILITY STRUCTURES

PLANT SCHEDULE

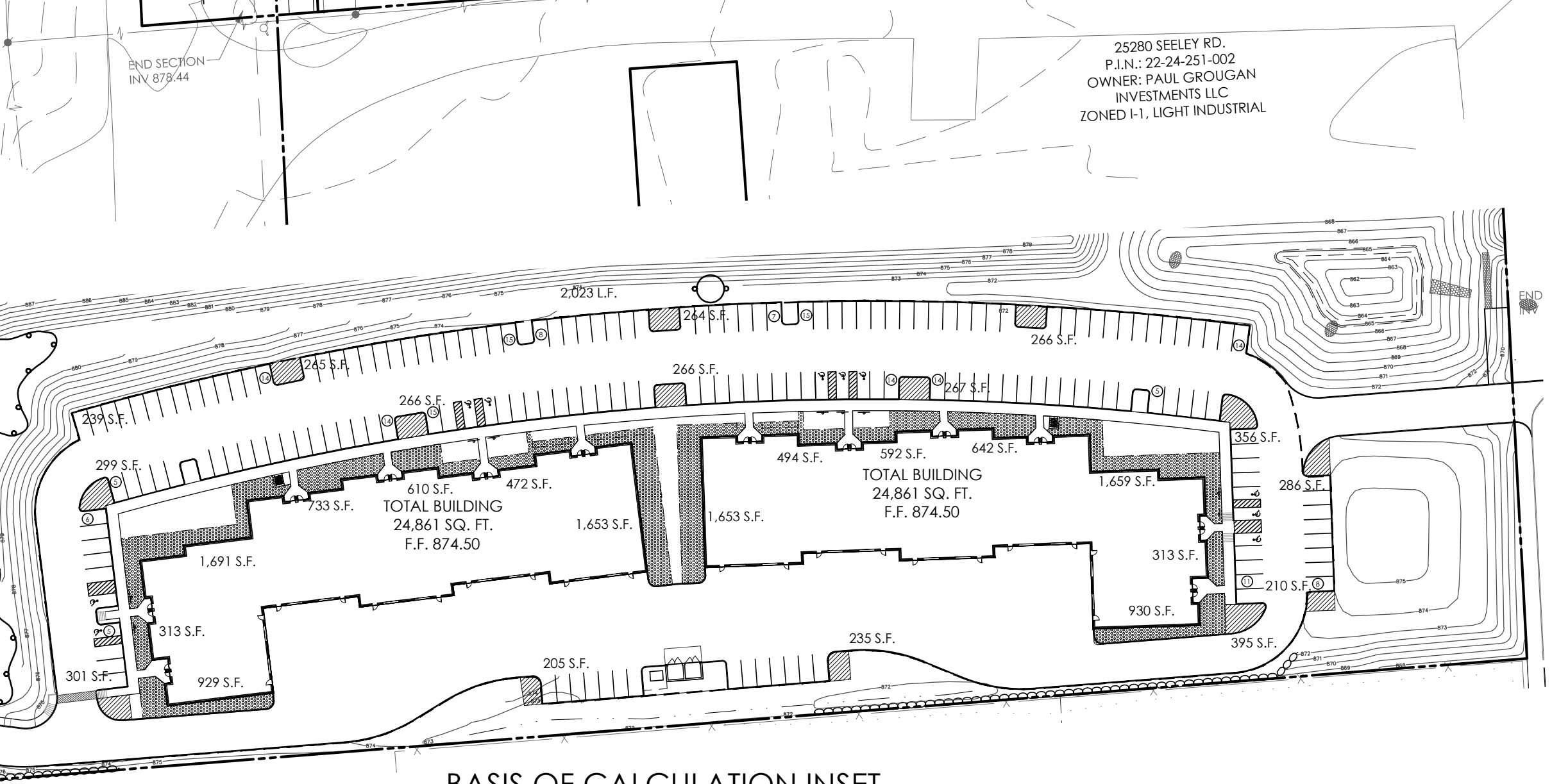
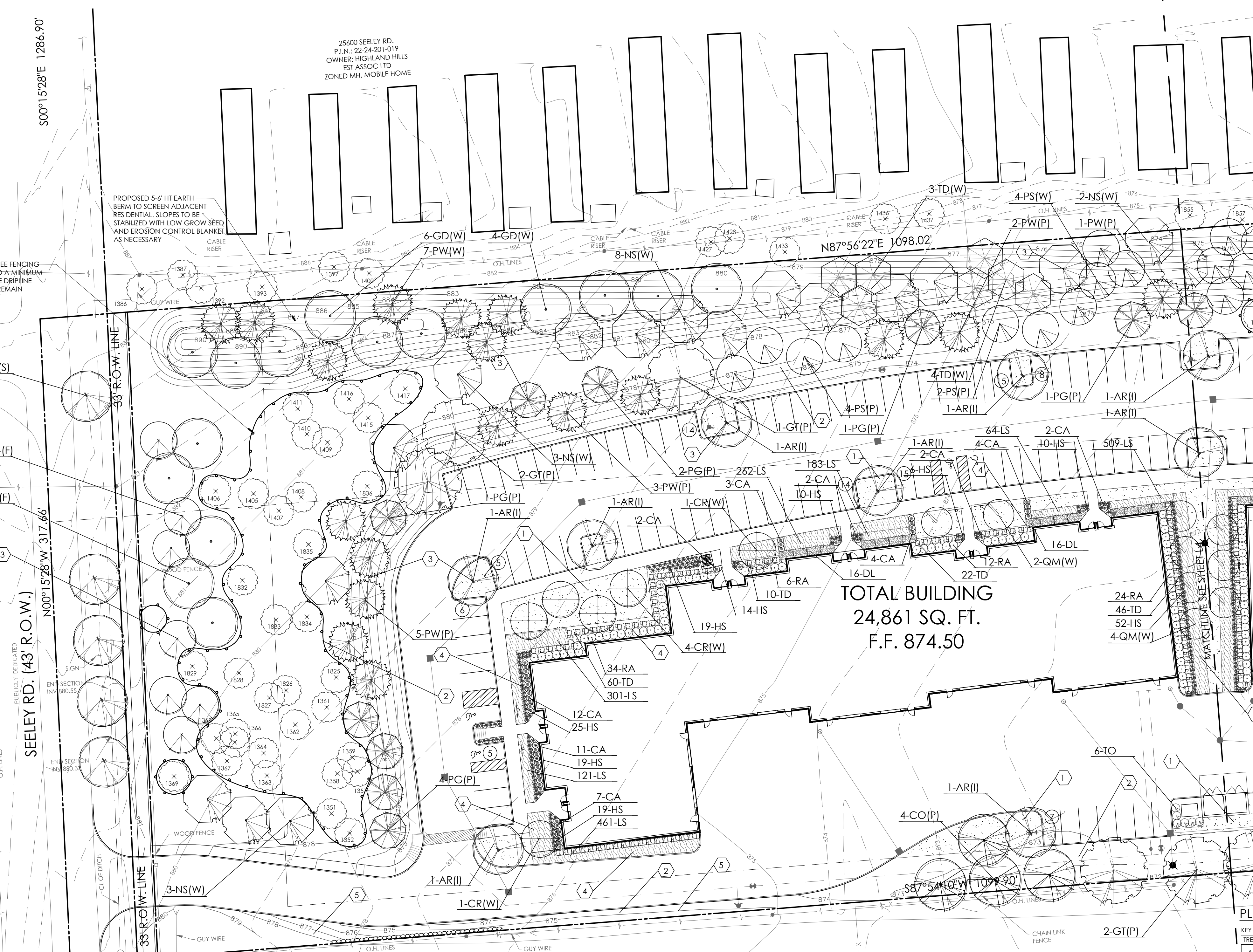
KEY	QTY	BOTANICAL/COMMON NAME	SIZE	SPACING	ROOT	COMMENT	UNIT/TOTAL COST
TREES							
AR	19	Acer rubrum 'Red Sunset'	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS	\$400/\$7,600
BN	7	Betula nigra	12-14 HT	SEE PLAN	B&B	CLUMP FORM, MIN 3 CANES	\$400/\$2,800
CR	12	Cornus caroliniana	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS	\$400/\$4,800
CO	23	Celtis occidentalis	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS	\$400/\$9,200
CC	7	Cercis canadensis	2" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS	\$250/\$1,750
GT	9	Gleditsia triacanthos 'Sunburst'	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS	\$400/\$3,600
GD	15	Gymnocladus dioica 'Espresso'	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS	\$400/\$6,000
HS	17	Thuja occidentalis 'Spartan'	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS	\$400/\$6,800
PG	20	Picea glauca 'Densata'	8" HT	SEE PLAN	B&B	BRANCHED TO GROUND	\$325/\$6,500
FW	34	Ficus sp.	8 HT	SEE PLAN	B&B	BRANCHED TO GROUND	\$325/\$11,050
PS	21	Pinus strobus	8" HT	SEE PLAN	B&B	BRANCHED TO GROUND	\$325/\$6,825
QM	11	Quercus macrocarpa 'Urban Pinnacle'	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS	\$400/\$4,400
TD	31	Taxodium distichum 'Shawnee Brave'	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS	\$400/\$12,400
TA	5	Tilia americana 'American Sentry'	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS	\$400/\$2,000
SHRUBS							
AM	33	Aronia melanocarpa	30" HT	30" OC	B&B		\$50/\$1,650
CS	56	Cornus sericea 'Boyley'	5 GAL	30" OC	CONT		\$50/\$2,800
DL	64	Dennatis biocarpa 'Michigan Sunset'	5 GAL	36" OC	B&B	MAINTAIN AS HEDGE	\$50/\$3,200
RA	152	Ribes alpinum 'Green Mound'	30" HT	30" OC	B&B	MAINTAIN AS HEDGE	\$50/\$7,600
VD	46	Viburnum dentatum	5 GAL	48" OC	CONT		\$50/\$2,300
TD	272	Thuja occidentalis 'Spartan'	30" HT	30" OC	B&B	MAINTAIN AS HEDGE	\$50/\$13,600
TO	6	Thuja occidentalis 'Nigra'	5" HT	42" OC	B&B		\$50/\$300
GROUNDCOVERS/PERENNIALS							
CA	97	Colymbopogon sp. 'Karl Foerster'	5 GAL	30" OC	CONT		\$15/\$1,455
HS	350	Hemerocallis 'Stella D'Oro'	2 GAL	24" OC	CONT		\$15/\$5,250
LS	3,722	Liriodendron tulipifera	1 GAL	15" OC	CONT	TRIANGULAR SPACING	\$15/\$55,830

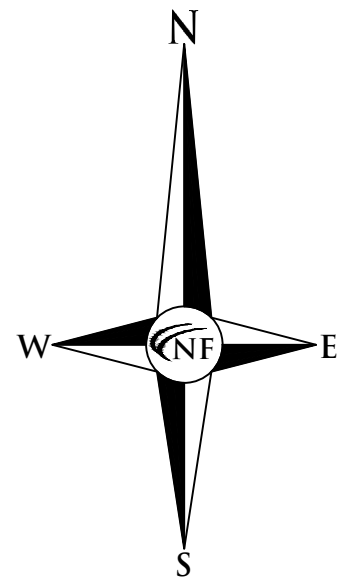
GROUNDCOVER KEY

- 1 TYPICAL SOD LAWN AREAS, SOWN ON 3" TOPSOIL
- 2 RESTORE EXISTING LAWN AREAS W/ HYDROSEED AND MULCH
- 3 4" DIA SPADE CUT EDGE W/ 3" SHREDDED BARK MULCH
- 4 3" DEPTH DOUBLE SHREDDED HARDWOOD BARK MULCH
- 5 POSSIBLE SNOW DEPOSITION AREA, TO BE COORDINATED WITH REMOVAL SERVICE

CITY OF NOVI NOTES

1. ALL LANDSCAPE ISLANDS SHALL BE BACKFILLED WITH A SAND MIXTURE TO FACILITATE DRAINAGE.
2. ALL PROPOSED LANDSCAPE ISLANDS SHALL BE CURBED.
3. ALL LANDSCAPE AREAS SHALL BE IRRIGATED.
4. OVERHEAD UTILITY LINES AND POLES TO BE RELOCATED, AS DIRECTED BY THE UTILITY COMPANY OF RECORD.
5. EVERGREEN AND CANOPY TREES SHALL BE PLANTED A MINIMUM OF 10' FROM A FIRE HYDRANT AND MANHOLE, AND 15' FROM OVERHEAD WIRES.
6. ALL PLANT MATERIAL SHALL BE NORTHERN GROWN, NO. 1 GRADE NURSERY STOCK, GUARANTEED FOR TWO (2) YEARS AFTER PLANTING AND SHALL BE INSTALLED AND MAINTAINED ACCORDING TO CITY OF NOVI STANDARDS. THE TWO-YEAR WARRANTY PERIOD SHALL INCLUDE A MINIMUM OF ONE CULTIVATION IN JUNE, JULY AND AUGUST FOR EACH OF THE TWO YEAR GUARANTEE.
7. ALL PROPOSED STREET TREES SHALL BE PLANTED A MINIMUM OF 4' FROM THE BACK OF CURB AND PROPOSED WALKS.
8. ALL TREE AND SHRUB PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD BARK, SPREAD TO A MINIMUM DEPTH OF 4". ALL LAWN AREA TREES SHALL HAVE A 4" DIAMETER CIRCLE OF SHREDDED HARDWOOD MULCH, 3" MINIMUM AWAY FROM TRUNK. ALL PERENNIAL, ANNUAL AND GROUNDCOVER BEDS SHALL RECEIVE 3" OF DARK COLORED BARK MULCH. MULCH IS TO BE FREE FROM DEBRIS AND FOREIGN MATERIAL, AND SHALL CONTAIN NO PIECES OF INCONSISTENT SIZE.
9. THE CITY OF NOVI LANDSCAPE ARCHITECT SHALL APPROVE ANY SUBSTITUTIONS IN WRITING PRIOR TO INSTALLATION.



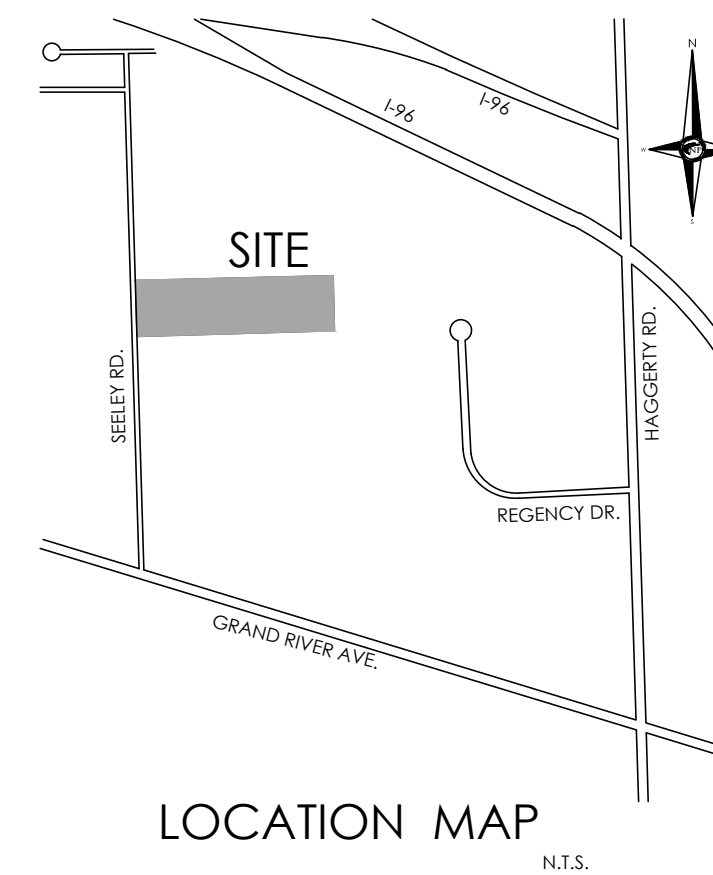


GENERAL SEED NOTE:

ALL LAWN AREAS DESIGNATED TO BE SEED, SHALL BE HYDRO-SEEDED WITH SPECIFIED BLENDS, AND STABILIZED WITH WOOD CELLULOSE FIBER MULCH (2,000 LBS PER ACRE). IN AREAS SUBJECT TO EROSION, SEEDED LAWN SHALL BE FURTHER STABILIZED WHERE NECESSARY WITH BIODEGRADABLE EROSION BLANKET AND STAKED UNTIL ESTABLISHED. ALL SEED SHALL BE APPLIED OVER A MINIMUM 3" PREPARED TOPSOIL, AND SHALL BE KEPT MOIST AND WATERED DAILY UNTIL ESTABLISHED.
SEEDING INSTALLATION SHALL OCCUR ONLY:
SPRING: APRIL TO JUNE
FALL: AUGUST 15 TO OCTOBER 15

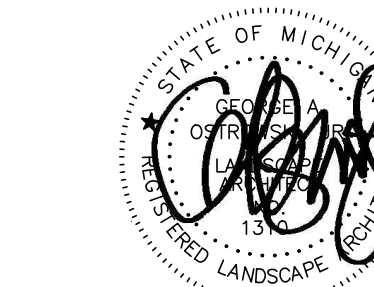
GENERAL SOD NOTE:

ALL LAWN AREAS DESIGNATED TO BE SODDED, SHALL BE SODDED WITH A BLENDED DURABLE BLUEGRASS SOD, TYPICALLY GROWN IN THE REGION. ALL TURF SHALL BE PLACED ON A MINIMUM 3" PREPARED TOPSOIL, AND WATERED DAILY UNTIL ESTABLISHED. IN AREAS SUBJECT TO EROSION, SODDED LAWN SHALL BE STABILIZED WHERE NECESSARY, AND LAID PERPENDICULAR TO SLOPES. SOD INSTALLATION SHALL OCCUR ONLY:
SPRING: APRIL TO JUNE
FALL: AUGUST 15 TO OCTOBER 15



NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
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SEAL



PROJECT

Novi Technology Center
25540 Seelye Rd.

CLIENT

Hillside Investments
47075 Five Mile Road
Plymouth, MI 48170

Contact: Dave Hardin
Ph: (248) 904-5724

PROJECT LOCATION

Part of the NE 1/4
of Section 24
T.1 North, R.8 East
City of Novi,
Oakland County, Michigan

SHEET

Landscape Plan



DATE ISSUED / REVISED

05/09/18 REVISED PER CITY REVIEW

DRAWN BY:
G. Ostrowski

DESIGNED BY:
G. Ostrowski

APPROVED BY:
G. Ostrowski

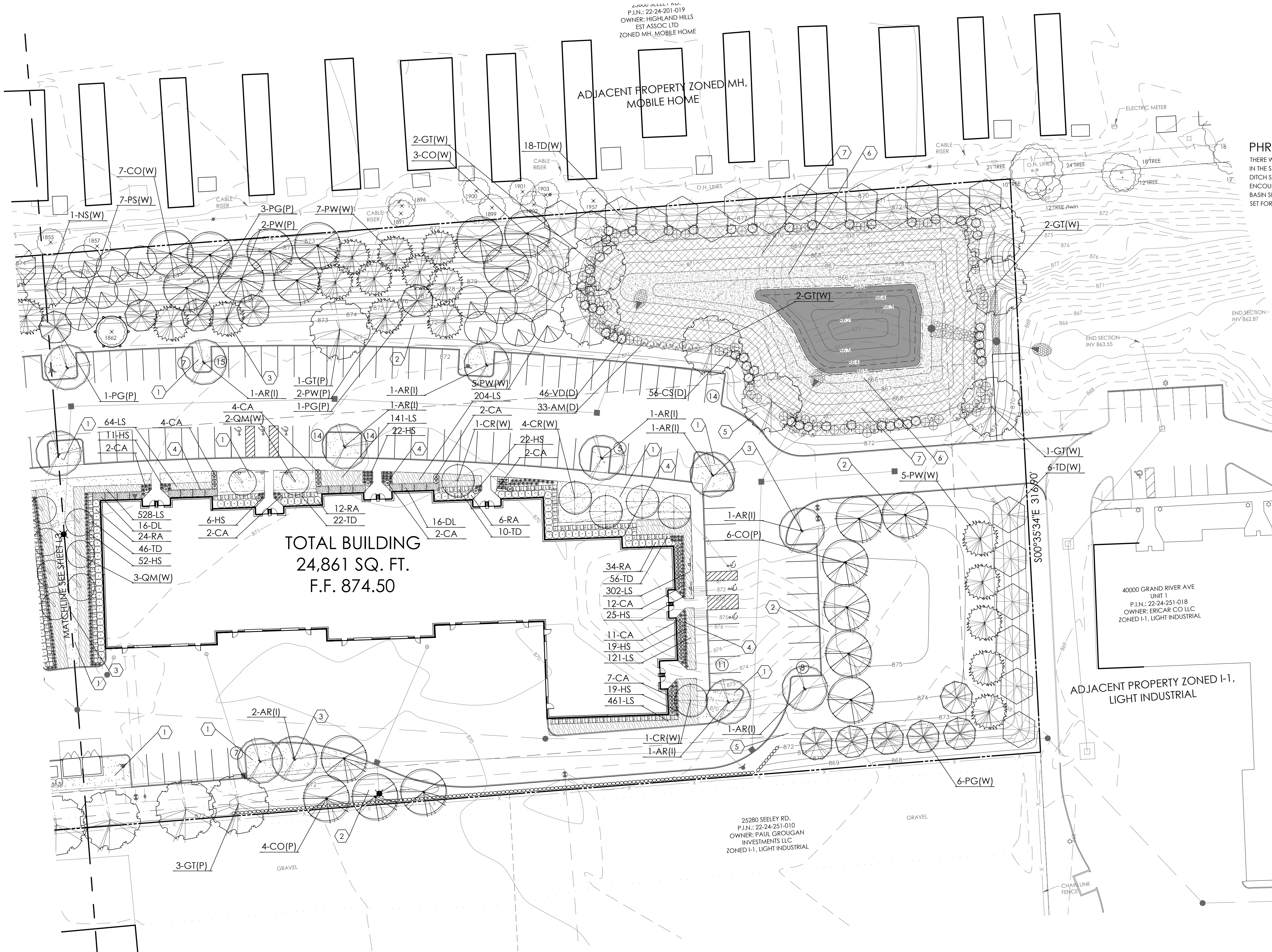
DATE:
March 23, 2018

SCALE: 1" = 30'

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NFE JOB NO. SHEET NO.

K141 L4

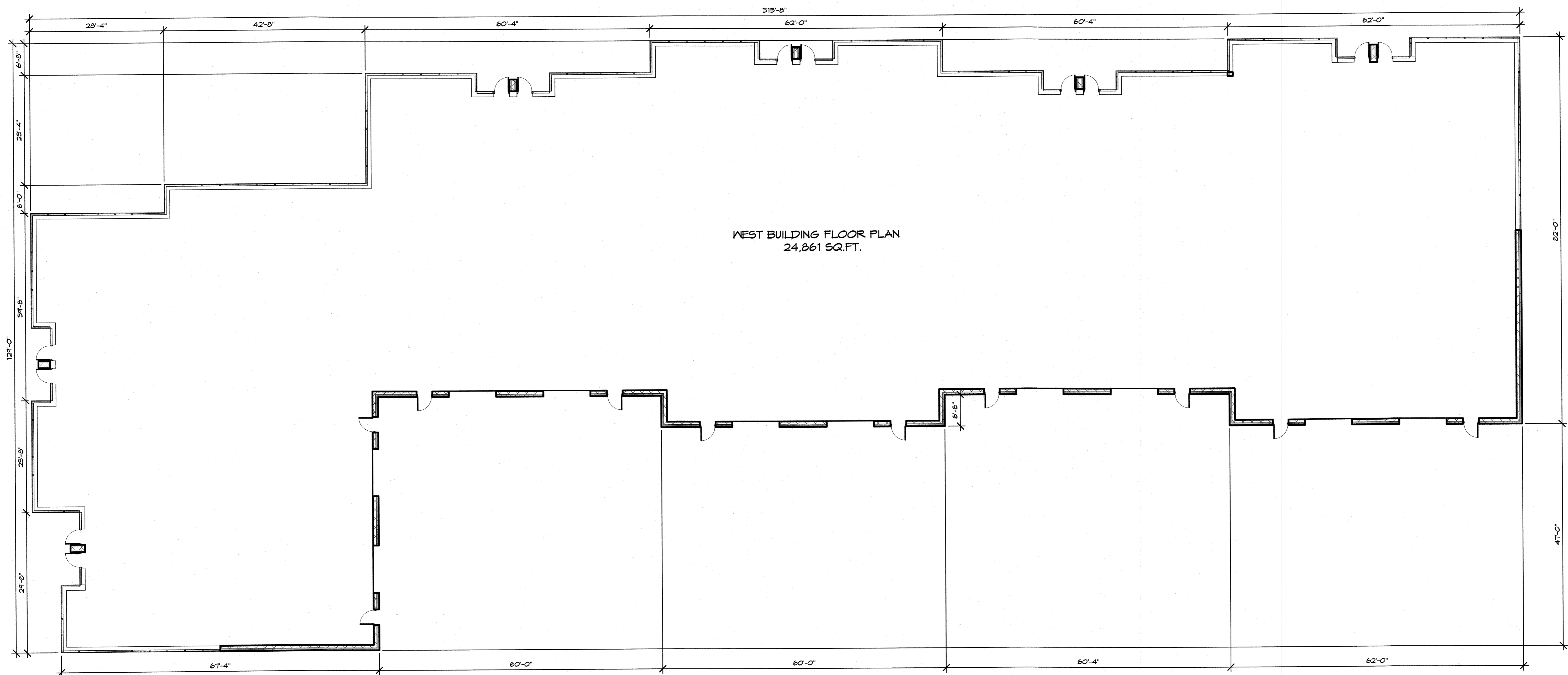


PHRAGMITES REMOVAL NOTE:
THERE WAS A SMALL POPULATION OF PHRAGMITES AUSTRALIS IDENTIFIED OFF-SITE IN THE SEELEY ROAD RIGHT-OF-WAY DITCH, BUT NONE ON-SITE. THE R.O.W. DITCH SHALL BE TREATED PER MDEQ REQUIREMENTS. ANY PHRAGMITES POPULATIONS ENCOUNTERED AS A RESULT OF THE OFF-SITE OUTLETTING TO THE EXISTING DETENTION BASIN SHALL BE TREATED AND ERADICATED IN ACCORDANCE WITH THE STANDARDS SET FORTH BY THE MDEQ.

LOW-GROW LAWN MIX:
ALL LAWN AREAS DESIGNATED TO BE SEED, SHALL BE HYDROSEED WITH LOW-GROW LAWN SEED MIX, AT A RATE OF 5 LBS/1,000 S.F.
SEED AVAILABLE FROM:
NATIVESCAPE, LLC
(T) 1-517-456-7245
*MIX IS COMPRISED OF
22.8% PENNLAWN RED FESCUE
22.5% CREEPING RED FESCUE
21.7% CHEWINGS FESCUE
11.8% VICTORY II CHEWINGS FESCUE
9.8% SPARTAN HEAD FESCUE
9.9% AZAY SHEEPS FESCUE

DETENTION BASIN SEED MIX
*CONTAINS AT LEAST 12 WILDFLOWERS AND 3 GRASSES
WILDFLOWERS: NEW ENGLAND ASTER, PALE INDIAN PLAINAIN, BONESSET, OX EYE SUNFLOWER, DENSE BLAZINGSTAR, GREAT BLUE LOWBELA, CARDINAL FLOWER, BERGAMOT (BEEBALM), YELLOW CONEFLOWER, GREEN-HEADED CONEFLOWER, BLACK-EYED SUSAN, CUPPLANT, OHIO GOLDENROD, BLUE VERVAIN, CULVER'S ROOT, IRONWEED.
GRASSES: BIG BLUESTEM, CANADA WILD RYE, DARK GREEN BULBUSH, INDIAN GRASS, PRAIRIE CORD GRASS.
RECOMMENDED SEEDING RATE: 35 LBS/ACRE
SEED MIX AVAILABLE:
NATIVESCAPE, LLC
PO BOX 122
MANCHESTER, MI 48158
T 517-456-7696

- GROUND COVER KEY**
- 1 TYPICAL SOD LAWN AREAS, SOWN ON 3" TOPSOIL
 - 2 RESTORE EXISTING LAWN AREAS W/ HYDROSEED AND MULCH
 - 3 4" DIA SPADE CUT EDGE W/ 3" SHREDDED BARK MULCH
 - 4 3" DEPTH DOUBLE SHREDDED HARDWOOD BARK MULCH
 - 5 POSSIBLE SNOW DEPOSITION AREA, TO BE COORDINATED WITH REMOVAL SERVICE
 - 6 DETENTION BASIN SEED MIX, SOWN AT A RATE OF 35 LBS/AC
 - 7 LOW GROW SEED MIX



WEST BUILDING FLOOR PLAN
24,861 SQ.FT.

WEST BUILDING FLOOR PLAN

Scale: 3/32" = 1'-0"

NOTE: EAST BUILDING IS OPP. HAND

MATERIAL TAKE-OFF SCHEDULE

FRONT ELEVATION

BRICK: 48.9 %
BLOCK: 17.5 %
GLASS: 33.6 %

LEFT ELEVATION

BRICK: 50.3 %
BLOCK: 17.7 %
GLASS: 32.0 %

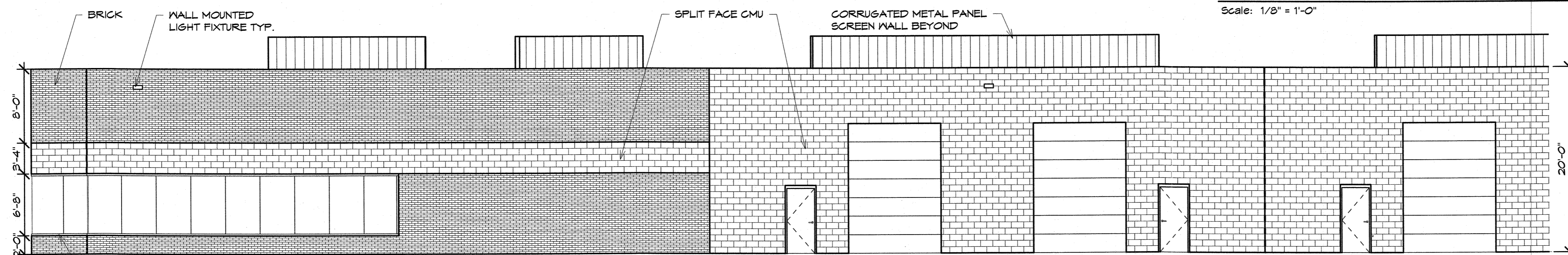
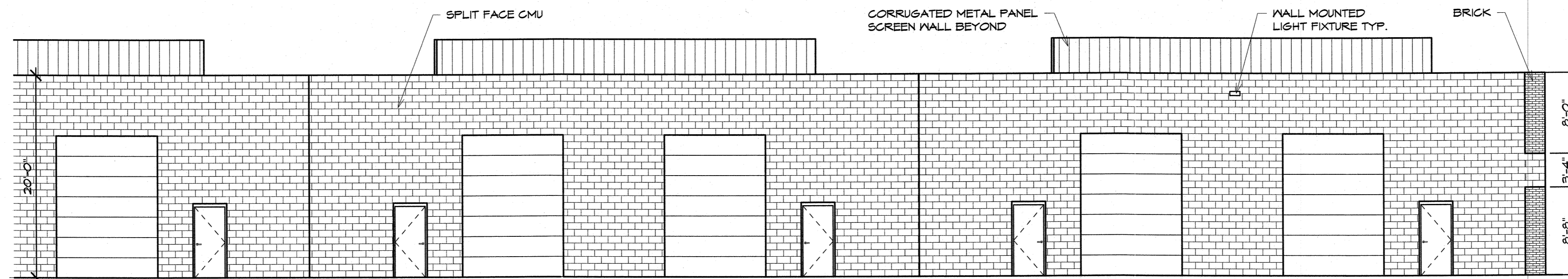
WEST BUILDING REAR ELEVATION RIGHT ELEVATION

Scale: 1/8" = 1'-0"

BRICK: 43.7 %
BLOCK: 33.7 %
GLASS: 10.5 %
METAL(DOORS): 12.1 %

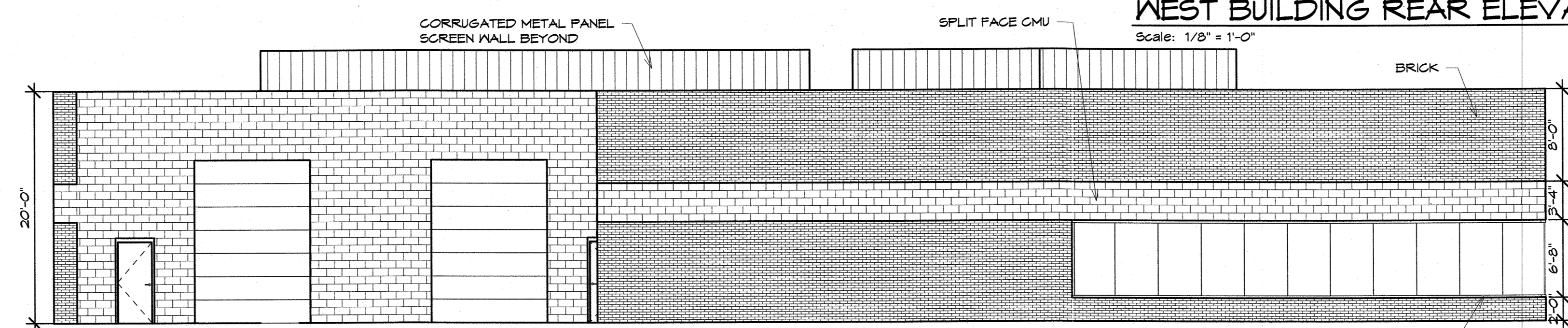
REAR ELEVATION

BRICK: 15.7 %
BLOCK: 59.3 %
GLASS: 4.2 %
METAL(DOORS): 20.8 %



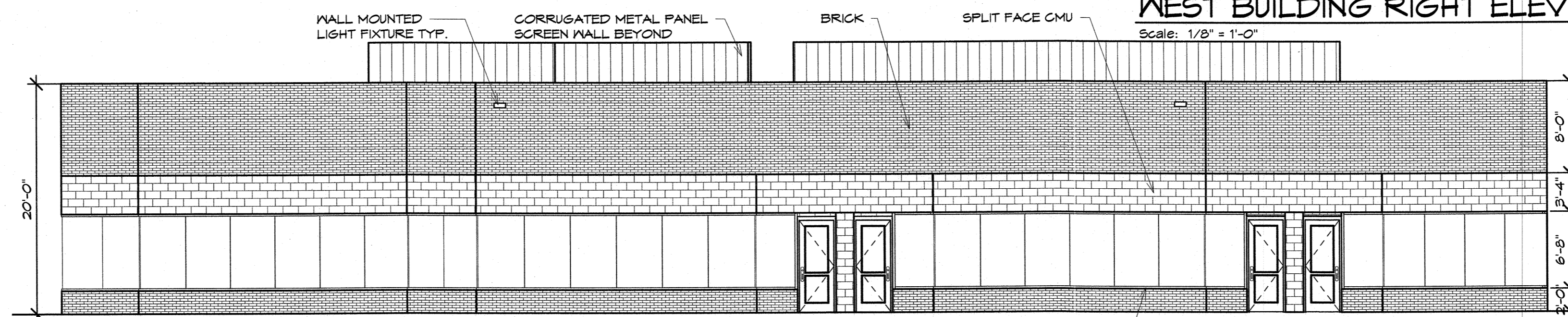
WEST BUILDING REAR ELEVATION

Scale: 1/8" = 1'-0"



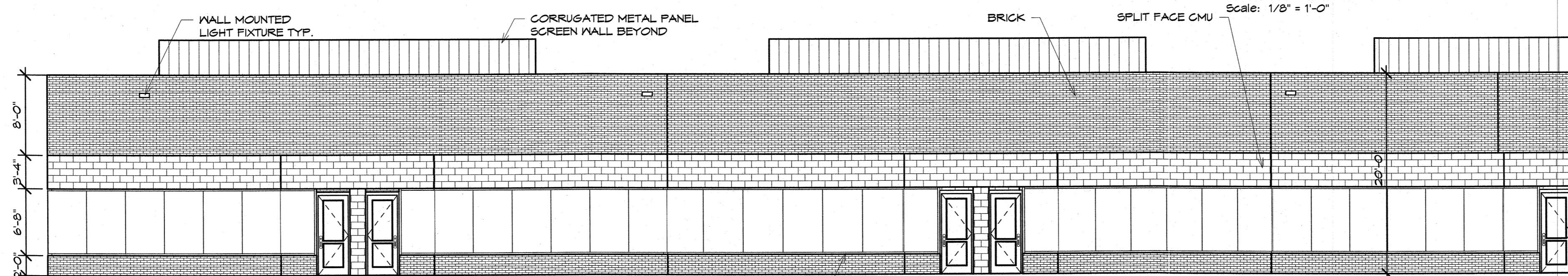
WEST BUILDING RIGHT ELEVATION

Scale: 1/8" = 1'-0"



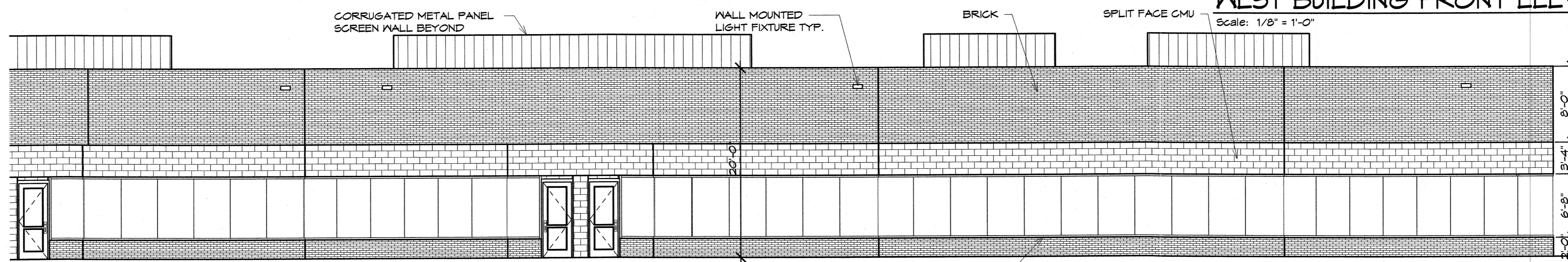
WEST BUILDING LEFT ELEVATION

Scale: 1/8" = 1'-0"



WEST BUILDING FRONT ELEVATION

Scale: 1/8" = 1'-0"



WEST BUILDING FRONT ELEVATION NOTE: EAST BUILDING IS OPP. HAND

Scale: 1/8" = 1'-0"

Novi Tech 6 and 7 Aerial

