



COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals

ZONING BOARD APPEALS DATE: February 14, 2017

REGARDING: NO ADDRESS (50-22-14-376-017) PZ17-0002

BY: Larry Butler, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant

LOCKARD CONSTRUCTION

Variance Type

DIMENSIONAL VARIANCE

Property Characteristics

Zoning District: OSC (office service commercial)
Location: north of Eleven Mile Road and east of Town Center Drive
Parcel #: 50-22-14-376-017

Request

The applicant is requesting a variance from the City of Novi Zoning Ordinance; Section 4.12.2.i.a to reduce the required outdoor recreation play area. This property is zoned OSC (OFFICE SERVICE COMMERCIAL).

II. STAFF COMMENTS:

A child care center is proposed for an existing site. The Zoning Ordinance requires a minimum outdoor recreation space on a per child basis. In this case, based on 150 children a minimum of 22,500 sf of outdoor play space is required. The request is to allow a reduction to just over 7227 sf.

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we ***grant*** the variance in Case No. **PZ17-0002**, sought by _____, for _____ because Petitioner has shown practical difficulty requiring _____.

 - (a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because _____.
 - (b) The property is unique because _____.

- (c) Petitioner did not create the condition because _____
_____.
- (d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because _____
_____.
- (e) The relief is consistent with the spirit and intent of the ordinance because _____
_____.
- (f) The variance granted is subject to:
 - 1. _____.
 - 2. _____.
 - 3. _____.
 - 4. _____.

2. I move that we **deny** the variance in Case No. **PZ17-0002**, sought by _____,
for _____ because Petitioner has not shown practical difficulty requiring _____.

- (a) The circumstances and features of the property including _____ are not unique because they exist generally throughout the City.
- (b) The circumstances and features of the property relating to the variance request are self-created because _____
_____.
- (c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioner's statements that _____.
- (d) The variance would result in interference with the adjacent and surrounding properties by _____.
- (e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to _____
_____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Larry Butler
Deputy Director Community Development
City of Novi



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 www.cityofnovi.org

ZONING BOARD OF APPEALS APPLICATION

APPLICATION MUST BE FILLED OUT COMPLETELY

| | | | | | |
|--|--|---|---|-------------------------------|-------------------|
| I. PROPERTY INFORMATION (Address of subject ZBA Case) | | | | Application Fee: _____ | |
| PROJECT NAME / SUBDIVISION The Learning Experience | | | | Meeting Date: _____ | |
| ADDRESS | | LOT/SUITE/SPACE # | | ZBA Case #: PZ _____ | |
| SIDWELL # 50-22-14 . 376 . 017 | | May be obtain from Assessing Department (248) 347-0485 | | | |
| CROSS ROADS OF PROPERTY North East Corner of 11 Mile Road and Town Center Drive | | | | | |
| IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input type="checkbox"/> NO | | | REQUEST IS FOR: <input type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE | | |
| DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input type="checkbox"/> NO | | | | | |
| II. APPLICANT INFORMATION | | | | | |
| A. APPLICANT | | EMAIL ADDRESS Crausch@lockardonline.com | | CELL PHONE NO. | |
| NAME Lockard Construction | | | | TELEPHONE NO. 319-277-8000 | |
| ORGANIZATION/COMPANY Lockard Construction | | | | FAX NO. | |
| ADDRESS 4501 Prairie Parkway | | CITY Cedar Falls | | STATE IA | ZIP CODE 50613 |
| B. PROPERTY OWNER <input type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER | | | | | |
| Identify the person or organization that owns the subject property: | | EMAIL ADDRESS josh.jacobs@singhmail.com | | CELL PHONE NO. | |
| NAME GLJ Development, LLC f/k/a Singh VI, L.L.C. | | | | TELEPHONE NO. | |
| ORGANIZATION/COMPANY GLJ Development, LLC f/k/a Singh VI, L.L.C. | | | | FAX NO. | |
| ADDRESS 7125 Orchard Lake Road Suite 200 | | CITY West Bloomfield | | STATE MI | ZIP CODE 48322 |
| III. ZONING INFORMATION | | | | | |
| A. ZONING DISTRICT | | | | | |
| <input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input checked="" type="checkbox"/> OTHER _____ | | | | | |
| B. VARIANCE REQUESTED | | | | | |
| INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED: | | | | | |
| 1. Section <u>Sec. 4.12.2.1.a</u> Variance requested <u>reduce required outdoor recreation space (play area)</u> | | | | | |
| 2. Section _____ Variance requested _____ | | | | | |
| 3. Section _____ Variance requested _____ | | | | | |
| 4. Section _____ Variance requested _____ | | | | | |
| IV. FEES AND DRAWINGS | | | | | |
| A. FEES | | | | | |
| <input type="checkbox"/> Single Family Residential (Existing) \$200 <input type="checkbox"/> (With Violation) \$250 <input type="checkbox"/> Single Family Residential (New) \$250 <input checked="" type="checkbox"/> Multiple/Commercial/Industrial \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> Signs \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> House Moves \$300 <input type="checkbox"/> Special Meetings (At discretion of Board) \$600 | | | | | |
| B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF | | | | | |
| <ul style="list-style-type: none"> • Dimensioned Drawings and Plans • Site/Plot Plan • Existing or proposed buildings or addition on the property • Number & location of all on-site parking, if applicable | | | <ul style="list-style-type: none"> • Existing & proposed distance to adjacent property lines • Location of existing & proposed signs, if applicable • Floor plans & elevations • Any other information relevant to the Variance application | | |



ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

DIMENSIONAL USE SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a Mock-Up Sign ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is NOT to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 - Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is established within such a period; provided, however, where such use permitted is dependent upon the erection or alteration of a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING ADDITION TO EXISTING HOME/BUILDING SIGNAGE
 ACCESSORY BUILDING USE OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT



Applicant Signature

1/3/17
Date

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.


Property Owner Signature AVTAR S. GRENAL

12/30/2016
Date

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

GRANTED DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

Chairperson, Zoning Board of Appeals Date



Community Development Department

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

REVIEW STANDARDS DIMENSIONAL VARIANCE

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.

Describe below:

The site is not large enough to accommodate the required play ground area (22,500 sq. ft.) after the area for the ROW berm, landscaping, and parking is accounted for.

OR

- b. Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure. **Describe below:**

OR

- c. Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties. **Describe below:**

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

The site is not large enough to accommodate the required play ground area (22,500 sq. ft.) after the area for the ROW berm, landscaping, and parking is accounted for.

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

Under the current requirements, the minimum play ground area for 150 children is 22,500 sq. ft. The site is not large enough to provide this large of a play ground area and still provide the other necessary site components (ie ROW berms, landscaping, parking lot, dumpster area, loading/unloading area, and the building)

Standard #4. Minimum Variance Necessary.

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

The Dimensional Variance for the size of the play ground area is the only variance requested and in our opinion is the minimum variance necessary. The Applicant could ask for a variance for the ROW berming and landscaping to gain additional play ground area; however this could lead to safety issues and would reduce the overall aesthetic.

Standard #5. Adverse Impact on Surrounding Area.

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

It is not anticipated that the requested Dimensional Variance will cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

The proposed area allotted for the play ground is 7,227 sq. ft. which is the required amount of playground area for our Client, The Learning Experience. It is our understanding that this meets the State of Michigan requirements. It should also be noted that although the daycare is licensed to care for 150 children, the children would typically be allowed in the play ground area in shifts and therefore not all of the 150 children would be in the playground at the same time.

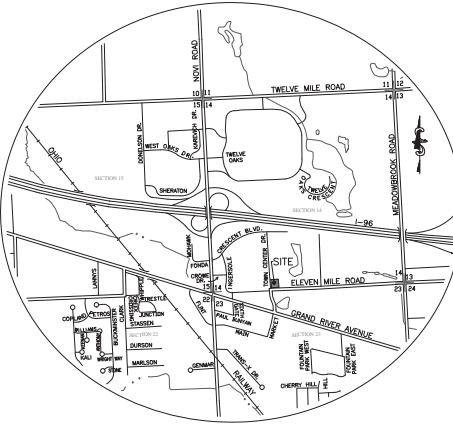
THE LEARNING EXPERIENCE

PRELIMINARY SITE PLAN

NORTHEAST CORNER OF 11 MILE ROAD AND TOWN CENTER DRIVE
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

LEGEND:

| | |
|---|--------------------------------|
| □ | EX. CATCH BASIN |
| ○ | EX. STORM MANHOLE |
| ▷ | EX. END SECTION |
| ○ | EX. SANITARY MANHOLE |
| ○ | EX. CLEANOUT |
| ○ | EX. WATER GATE VALVE |
| ○ | EX. COMMUNICATIONS MANHOLE |
| ▽ | EX. HYDRANT |
| ○ | EX. WATER VALVE |
| ▽ | EX. WATER SHUTOFF |
| ▽ | EX. GAS SHUTOFF |
| ○ | EX. GAS VENT |
| ○ | EX. ELECTRIC MANHOLE |
| ○ | EX. MANHOLE |
| □ | EX. PEDESTAL |
| □ | EX. TRANSFORMER |
| ○ | EX. LIGHTPOLE |
| ○ | EX. UTILITY POLE |
| — | EX. GUY ANCHOR |
| ○ | EX. COMMUNICATION MANHOLE |
| ○ | EX. GENERIC MANHOLE |
| ○ | EX. TREE AND TREE TAG |
| ○ | EX. TREE LINE |
| ○ | EX. SANITARY SEWER |
| ○ | EX. STORM SEWER |
| ○ | EX. WATER MAIN |
| ○ | EX. ELECTRIC CABLE |
| ○ | EX. COMMUNICATION |
| ○ | EX. SIGN |
| ○ | EX. PAVEMENT |
| ○ | EX. FLAGPOLE |
| ○ | EX. OVERFLOW STRUCTURE |
| ○ | EX. WATER WELL |
| ○ | EX. MOUNDING SIGN |
| ○ | EX. SOIL BORING |
| ○ | EX. MAILBOX |
| ○ | EX. MONITOR WELL |
| ○ | EX. AIR CONDITIONER |
| ○ | EX. TRAFFIC SIGNAL |
| ○ | EX. FENCE |
| ○ | PROP. FINISH FLOOR ELEVATION |
| ○ | PROP. LIGHT POLE |
| ○ | PROP. CURB & GUTTER (WITH IN) |
| ○ | PROP. CURB & GUTTER (WITH OUT) |
| ○ | PROP. STORM SEWER |
| ○ | PROP. SANITARY SEWER |
| ○ | PROP. WATER MAIN |
| ○ | PROP. STRUCTURE |
| ○ | PROP. END SECTION |
| ○ | PROP. CLEAN-OUT |
| ○ | PROP. HYDRANT |
| ○ | PROP. GATE VALVE |
| ○ | PROP. CURB BOX |
| ○ | PROP. OUTER ELEV. |
| ○ | PROP. TOP OF CURB ELEV. |
| ○ | PROP. TOP OF WALK ELEV. |
| ○ | PROP. TOP OF FINISHMENT ELEV. |
| ○ | PROP. SPOT ELEV. |
| ○ | PROP. DRAINAGE ARROW |
| ○ | PROP. SET FENCE |
| ○ | PROP. TREE PROTECTION FENCE |
| ○ | PROP. INLET FILTER |
| ○ | PROP. ASPHALT |
| ○ | PROP. CONCRETE |



LOCATION MAP
SCALE: 1" = 1,150 FEET

APPLICANT:

LOCKHARD DEVELOPMENT, INC.
4501 PHOENIX PARKWAY
CEDAR FALLS, IA 50613
PHONE: (319) 227-8000
FAX: (319) 227-8080

ARCHITECT:

JARMEL KUZEL ARCHITECTS AND ENGINEERS, INC.
42 OGDEN PARKWAY
LIVINGSFON, NJ 07039
PHONE: (973) 994-0669
FAX: (973) 994-4069

SURVEYOR/ENGINEER:

ALPINE ENGINEERING, INC.
46892 WEST ROAD, SUITE 109
NOVI, MI 48247
PHONE: (248) 925-3701
FAX: (248) 925-3765

LANDSCAPE ARCHITECT:

ALLEN DESIGN
507 CARPENTER
NORTHBVILLE, OH 43167
PHONE: (248) 467-4668



NOTICE:
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

FLOODPLAIN NOTE:
SUBJECT AREA IS LOCATED IN ZONE X, "AREAS DETERMINED TO BE OUTSIDE THE 1% ANNUAL CHANCE FLOOD" AS DEPICTED ON FIRM COMMUNITY PANEL NUMBER 281202002F AND 281202002F, EFFECTIVE DATES SEPTEMBER 28, 2006.

DESCRIPTION:
A PART OF THE SOUTHWEST 1/4 OF SECTION 14, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS COMMENCING AT THE SOUTH 1/4 CORNER OF SAID SECTION 14; THENCE SOUTH 87 DEGREES 28 MINUTES 51 SECONDS WEST 742.64 FEET, ALONG THE SOUTH LINE OF SAID SECTION 14 AND THE CENTERLINE OF ELEVEN MILE ROAD, TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH BY DEGREES 28 MINUTES 51 SECONDS WEST 261.77 FEET, ALONG THE SOUTH LINE OF SAID SECTION 14 AND THE CENTERLINE OF SAID ELEVEN MILE ROAD; THENCE NORTH 02 DEGREES 31 MINUTES 59 SECONDS WEST, 20.00 FEET; THENCE NORTH 48 DEGREES 53 MINUTES 48 SECONDS WEST, 45.59 FEET; THENCE NORTH 07 DEGREES 41 MINUTES 19 SECONDS WEST, 177.43 FEET, ALONG THE EXTERIOR RIGHT-OF-WAY OF TOWN CENTER DRIVE; THENCE NORTH 02 DEGREES 40 MINUTES 35 SECONDS WEST, 87.22 FEET; THENCE NORTH 87 DEGREES 08 MINUTES 51 SECONDS EAST, 311.00 FEET; THENCE SOUTH 02 DEGREES 31 MINUTES 09 SECONDS EAST, 35.35 FEET, TO THE POINT OF BEGINNING.

BENCHMARKS:
CITY OF NOVI BM#432 - "OUT 1" IN NORTH END OF CATERWELL W/NEAR EAST CORNER OF W. 11 MILE RD. AND TOWN CENTER DR. ELEVATION 920.72 (CITY OF NOVI DATUM)
BM#1 - BOX IN WEST SIDE OF CONCRETE LIGHT POLE BASE, NORTHEAST CORNER OF PARCEL. ELEVATION 911.14 (CITY OF NOVI DATUM)
BM#2 - ARROW ON HYDRANT, WEST SIDE OF TOWN CENTER DR., 2315' NORTH OF 11 MILE RD. ELEVATION 923.68 (CITY OF NOVI DATUM)

SHEET INDEX

| | |
|---|---|
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| 2 | PRELIMINARY SITE PLAN |
| 3 | TOPOGRAPHIC SURVEY |
| 4 | PRELIMINARY GRADING, UTILITY, AND SESS PLAN |
| 5 | PRELIMINARY STORM WATER MANAGEMENT PLAN |
| 6 | SITE DETAILS |
| JARMEL KUZEL ARCHITECTS AND ENGINEERS, INC. | |
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| SA-3.2 | ELEVATIONS |
| ALLEN DESIGN | |
| L-1 | LANDSCAPE PLAN |
| L-2 | LANDSCAPE DETAILS |
| L-3 | WOODLAND PLAN |
| GASSER BUSH PHOTOMETRICS PLAN | |

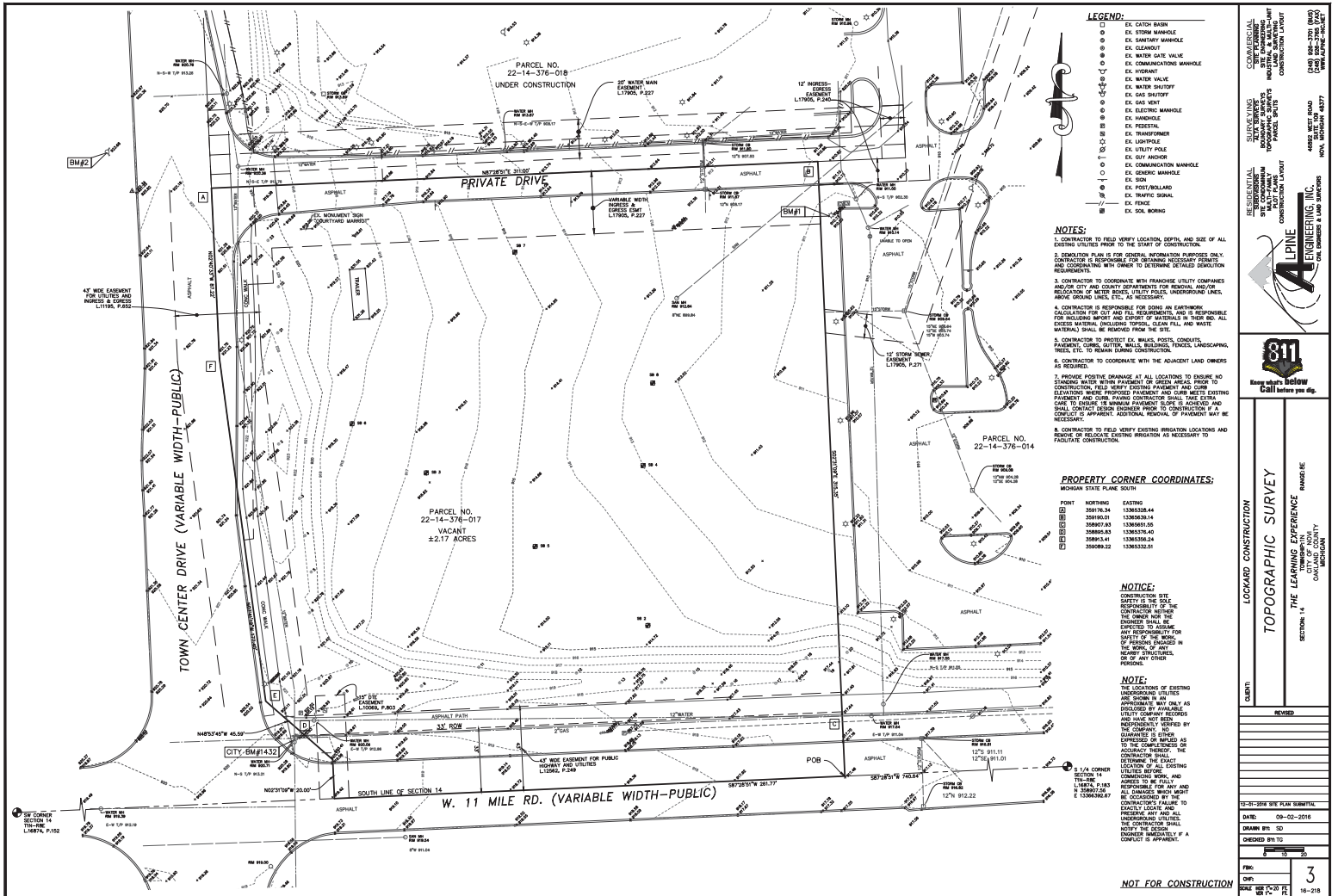
NOT FOR CONSTRUCTION

RESIDENTIAL SURVEYING & ENGINEERING, INC. 46892 WEST ROAD, SUITE 109, NOVI, MICHIGAN 48247
 COMMERCIAL SURVEYING & ENGINEERING, INC. 46892 WEST ROAD, SUITE 109, NOVI, MICHIGAN 48247
 CIVIL ENGINEERING, INC. 46892 WEST ROAD, SUITE 109, NOVI, MICHIGAN 48247
 ARCHITECTS AND ENGINEERS, INC. 42 OGDEN PARKWAY, LIVINGSTON, NJ 07039
 LANDSCAPE ARCHITECTS 507 CARPENTER, NORTHBVILLE, OH 43167

ALPINE ENGINEERING, INC.
 811
 Call before you dig.

LOCKHARD CONSTRUCTION
 COVER SHEET
 THE LEARNING EXPERIENCE
 RANGE 8E
 SECTION 14
 CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

DATE: 09-02-2016
 DRAWN BY: SD
 CHECKED BY: TO
 SCALE: 1" = 10' SCALE
 SHEET NO: 1
 OF: 16-218



ALPINE ENGINEERING, INC.
 4885 WEST ROAD
 HOVA, MISSOURI 64737
 (248) 344-3700 (MO)
 (816) 344-3700 (KS)
 FAX: (248) 344-3701

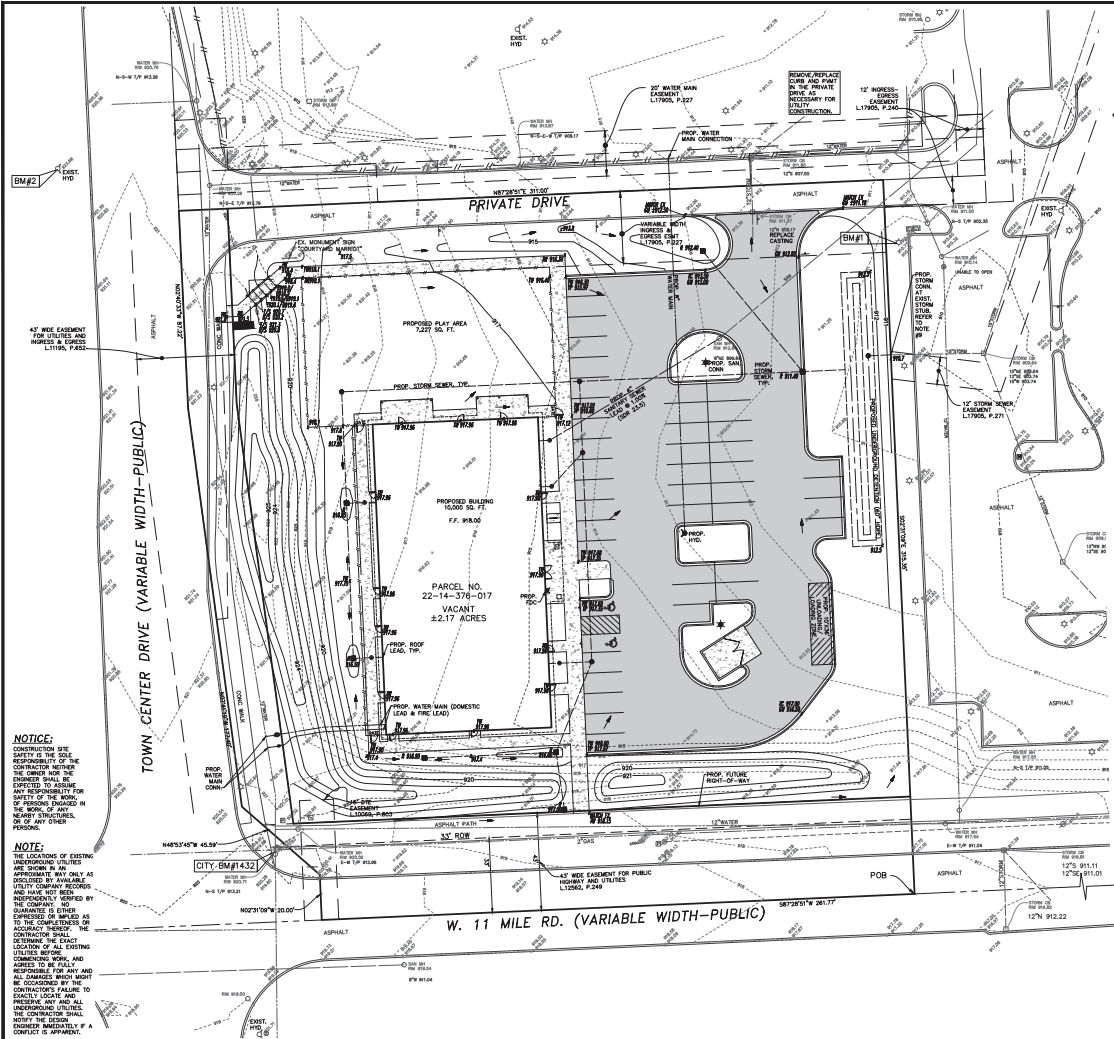
81
 Call before you dig.

LOCKHARD CONSTRUCTION

TOPOGRAPHIC SURVEY

THE LEARNING EXPERIENCE
 SECTION 14
 CITY OF HOVA, MISSOURI
 COUNTY OF HOVA, MISSOURI

CLIENT: LOCKHARD CONSTRUCTION
 DRAWN BY: SD
 CHECKED BY: TD
 DATE: 09-02-2016
 PROJECT NO: 16-018
 SCALE: 1" = 40' (HORIZONTAL)
 1" = 20' (VERTICAL)
 SHEET NO: 3



LEGEND:

| | | | |
|---|-------------------------------|---|-----------------------------|
| □ | EX. CATCH BASIN | ○ | PROP. STORM SEWER |
| ○ | EX. STORM MANHOLE | ○ | PROP. SANITARY SEWER |
| ○ | EX. SANITARY MANHOLE | ○ | PROP. WASTE MAIN |
| ○ | EX. CLEANOUT | ○ | PROP. STRUCTURE |
| ○ | EX. WATER GATE VALVE | ○ | PROP. END SECTION |
| ○ | EX. COMMUNICATIONS MANHOLE | ○ | PROP. CLEAN-OUT |
| ○ | EX. HYDRANT | ○ | PROP. HYDRANT |
| ○ | EX. WATER TAP | ○ | PROP. GATE VALVE |
| ○ | EX. WATER SHUTOFF | ○ | PROP. CURB BOX |
| ○ | EX. GAS SHUTOFF | ○ | PROP. CUTTER ELEV. |
| ○ | EX. GAS VENT | ○ | PROP. TOP OF CURB ELEV. |
| ○ | EX. ELECTRIC MANHOLE | ○ | PROP. TOP OF WALK ELEV. |
| ○ | EX. MANHOLE | ○ | PROP. TOP OF PARADEY ELEV. |
| ○ | EX. PEDESTAL | ○ | PROP. TOP OF STAR ELEV. |
| ○ | EX. TRANSFORMER | ○ | PROP. SHANING ARROW |
| ○ | EX. LIGHTPOLE | ○ | PROP. BOTTOM OF STAR ELEV. |
| ○ | EX. UTILITY POLE | ○ | PROP. SHANING ARROW |
| ○ | EX. CITY ANCHOR | ○ | PROP. 90° TEE |
| ○ | EX. COMMUNICATION MANHOLE | ○ | PROP. TREE PROTECTION FENCE |
| ○ | EX. GROUND MANHOLE | ○ | PROP. 90° TEE |
| ○ | EX. SIGN | ○ | PROP. 90° TEE |
| ○ | EX. POST/ROAD | ○ | PROP. ASPHALT |
| ○ | EX. TRAFFIC SIGNAL | ○ | PROP. CONCRETE |
| ○ | EX. SOIL BORING | ○ | PROP. CONCRETE |
| ○ | EX. FENCE | ○ | PROP. CONCRETE |
| ○ | EX. FINISH FLOOR ELEVATION | ○ | PROP. CONCRETE |
| ○ | EX. LIGHT POLE | ○ | PROP. CONCRETE |
| ○ | EX. CURB & GUTTER (PITCH IN) | ○ | PROP. CONCRETE |
| ○ | EX. CURB & GUTTER (PITCH OUT) | ○ | PROP. CONCRETE |

- NOTES:**
- CONTRACTOR SHALL CONFORM TO THE CURRENT CITY OF NEW STANDARDS AND SPECIFICATIONS.
 - CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS, SIZES, INVERTS AND GRADES PRIOR TO THE START OF ANY WORK.
 - CONTRACTOR TO PLACE BOLLARDS AND FENCES FOR INDUSTRIAL DRAWINGS.
 - CONTRACTOR SHALL FIELD VERIFY EXISTING UTILITY LOCATIONS, SIZES, INVERTS AND GRADES PRIOR TO THE START OF ANY WORK.
 - PAVING CONTRACTOR SHALL TAKE EXTRA CARE TO ENSURE MINIMUM PAVEMENT SLOPE IS ACHIEVED. REMOVAL OF ADDITIONAL PAVEMENT MAY BE NECESSARY.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES, CURB, SIDEWALK, LANDSCAPING, SIGNAL, ETC.
 - COMPACTED SAND MATERIAL SHALL BE PROVIDED FOR ALL UTILITIES WITHIN THE INFLUENCE OF PAVED AREAS.
 - 18" MINIMUM VERTICAL CLEARANCE SHALL BE PROVIDED AT ALL UTILITY CROSSINGS.
 - CONTRACTOR TO FIELD VERIFY LOCATION, DEPTH, AND SIZE OF THE EXISTING STORM SEWER STRUCTURE TO START OF CONSTRUCTION. REDUCTION OF THE UNDERGROUND DRAINAGE SYSTEM MAY BE NECESSARY.
 - THE SANITARY LEAD IS REQUIRED TO BE BURIED AT LEAST 5 FEET DEEP WHERE UNDER THE INFLUENCE OF PAVEMENT.

SOIL TYPES
 SEE THE GEOTECHNICAL SURVEY PREPARED BY THE NATURAL RESOURCES CONSERVATION DEPARTMENT. THE PRELIMINARY SOILS FOUND AT THE SUBJECT SITE CONSISTS OF MARLETTIE SANDY LOAM 18" - 6% SLOPES.

NOTICE:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE SITE. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS ON THE SITE. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS ON THE SITE.

NOTE:
 THE LOCATION OF EXISTING UNDERGROUND UTILITIES AND DEPTHS ARE ONLY AS INDICATED BY AVAILABLE UTILITY COMPANY RECORDS. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTHS OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS ON THE SITE.

RESIDENTIAL CONSTRUCTION
 PRELIMINARY GRADING, UTILITY, AND SECC PLAN
 SECTION 14
 CITY OF NEW
 COUNTY OF
 MISSOURI

DATE: 09-02-2016
 DRAWN BY: SD
 CHECKED BY: TD

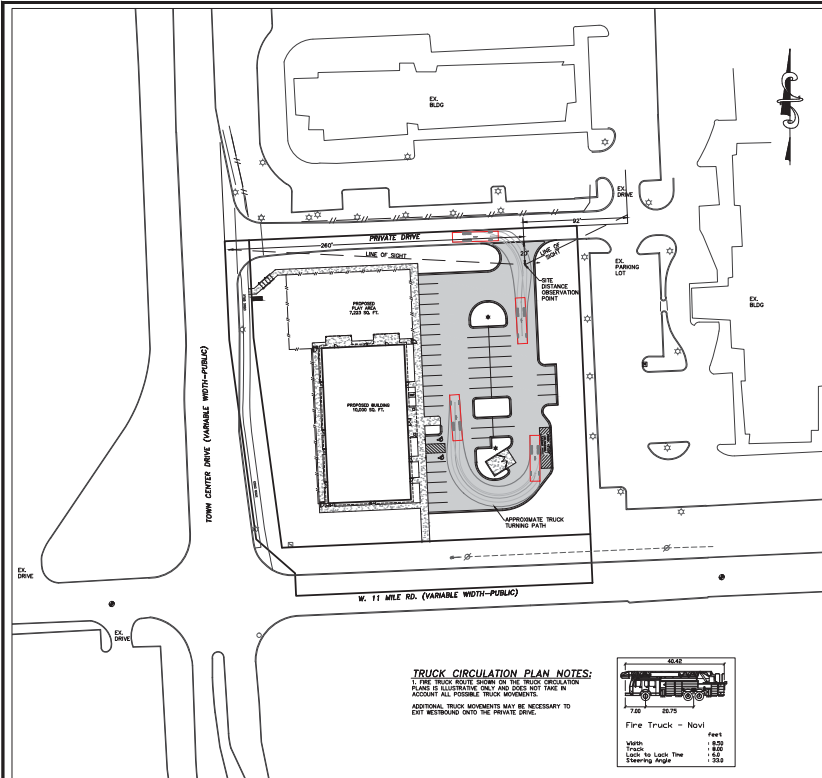
SCALE: 1" = 20' (SEE PLAN)

4

18-218

ALPINE ENGINEERING, INC.
 4800 WEST ROAD
 NEW BRUNSWICK, NJ 07003

811
 Know what's below
 Call before you dig.



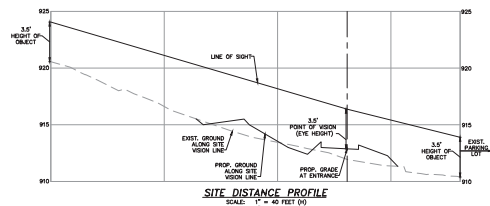
TRUCK CIRCULATION PLAN NOTES:
 1. THE TRUCK ROUTE SHOWN ON THE TRUCK CIRCULATION PLAN IS ILLUSTRATIVE ONLY AND DOES NOT TAKE IN ACCOUNT ALL POSSIBLE TRUCK MOVEMENTS.
 ADDITIONAL TRUCK MOVEMENTS MAY BE NECESSARY TO EXIT WESTWARD ONTO THE PRIVATE DRIVE.



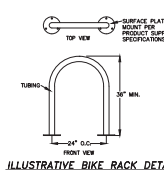
TRUCK CIRCULATION, SITE DISTANCE, AND EXIST. DRIVEWAY PLAN
 SCALE: 1" = 40 FEET

NOTICE:
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY HEAVY STRUCTURES, OR OF ANY OTHER PERSONS.

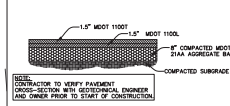
NOTE:
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER AS DETERMINED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDICATED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PROTECT ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.



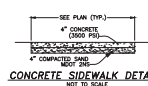
SITE DISTANCE PROFILE
 SCALE: 1" = 40 FEET (H)
 1" = 4 FEET (D)



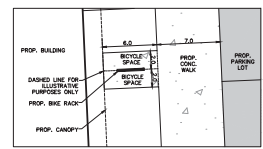
ILLUSTRATIVE BIKE RACK DETAIL
 NOT TO SCALE



BITUMINOUS PAVEMENT CROSS-SECTION
 NOT TO SCALE

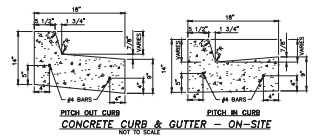


CONCRETE SIDEWALK DETAIL
 NOT TO SCALE

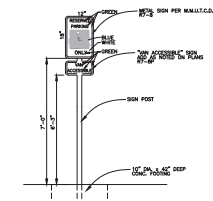


BIKE PARKING ENLARGED DETAIL
 SCALE: 1" = 5 FT

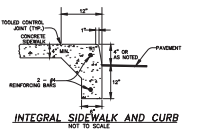
BIKE PARKING NOTES:
 1. ALL BIKE PARKING SPACES SHALL BE FINISH AND ADJACENT TO A BIKE RACK OF THE INVERTED "U" DESIGN THAT IS SOLID, CANNOT BE EASILY REMOVED WITH COMMON TOOLS, PROVIDES AT LEAST TWO (2) CONTACT POINTS FOR A BIKE, IS AT LEAST THREE (3) FEET IN HEIGHT, AND PERMITS THE COILING OF A BIKE THROUGH THE FRAME AND ONE (1) WHEEL WITH A STANDING U-LOCK OR CABLE IN AN UPRIGHT POSITION. THE RACK SHALL BE INSTALLED ON CONCRETE OR SIMILAR ALTERNATIVE INSTALLATIONS AND DESIGN MAY BE CONSIDERED IF THE PROPOSED RACK DESIGN FUNCTIONS SIMILAR TO THE INVERTED "U" DESIGN.
 2. ALL BIKE PARKING FACILITIES SHALL BE ACCESSIBLE FROM ADJACENT STREETS AND ENTRANCES VIA A PAVED WALK THAT HAS A MINIMUM WIDTH OF 50 (50) FEET.
 3. ALL BIKE PARKING FACILITIES SHALL BE SEPARATED FROM AUTOMOBILE PARKING SPACES AND ACCESS AREAS BY A BARRIER CURB, LANDSCAPE AREA, SIDEWALK, OR OTHER METHOD THAT COMPLES WITH ALL CITY ORDINANCES.



CONCRETE CURB & GUTTER - ON-SITE
 NOT TO SCALE



ADA BARRIER FREE SIGN
 NOT TO SCALE



INTEGRAL SIDEWALK AND CURB
 NOT TO SCALE

RESIDENTIAL
 COMMERCIAL
 INDUSTRIAL
 MUNICIPAL
 TRANSPORTATION
 MARINE
 CONSTRUCTION LAYOUT

LOCKHARD CONSTRUCTION
SITE DETAILS
 THE LEARNING EXPERIENCE
 SECTION 14
 CITY OF NOVI, MICHIGAN
 COUNTY OF OAKLAND

DATE: 09-02-2016
 DRAWN BY: SD
 CHECKED BY: TD
 SCALE: 1" = 40 FEET

NOV 18 2016 10:57 AM

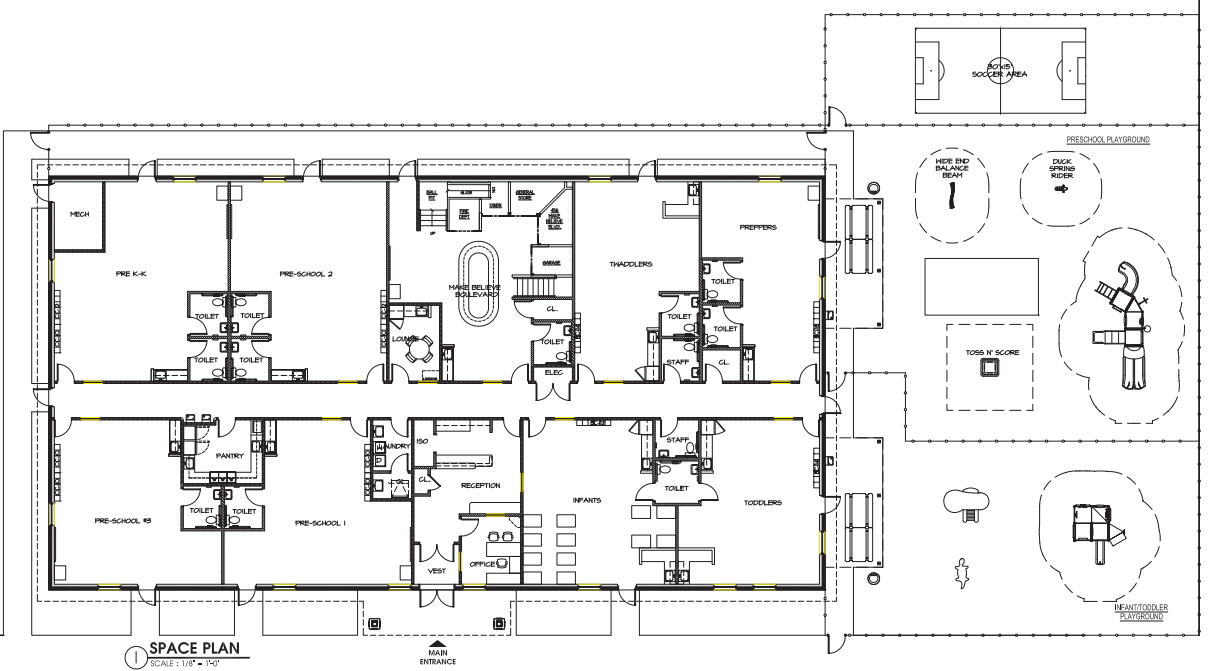
4885 WEST ROAD
 NOVI, MICHIGAN 48277

ALPINE ENGINEERING, INC.
 10000 W. HAWTHORNE AVE. SUITE 100
 TROY, MI 48068

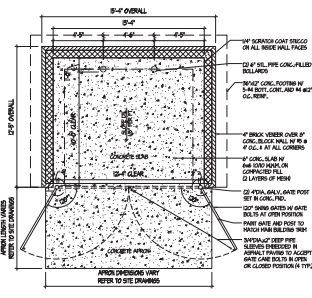
811
 Keep before you dig
 Call before you dig

REVISIONS

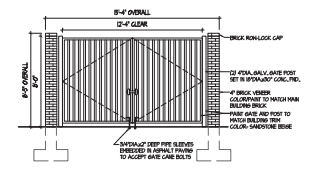
NOV 18 2016 10:57 AM



1 SPACE PLAN
SCALE: 1/8" = 1'-0"



2 DUMPSTER ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"



3 DUMPSTER ENCLOSURE ELEV.
SCALE: 1/4" = 1'-0"

LICENSING CALCULATIONS
Learning Experience, Novi, Michigan

| ROOM | STATE REQUIRED SF* | NET SF* | ACTUAL SF* | RATIO CHILD PER SF* | # OF CHILDREN | # OF TEACHERS | TEACHER RATIO | AGE GROUP |
|-------------------|--------------------|---------|------------|---------------------|---------------|---------------|---------------|-----------|
| INFANT ** | 660 | 660 | 100 | 1/50 | 12 | 8 | 1/4 | 0-18 MO. |
| TODDLERS ** | 600 | 600 | 662 | 1/50 | 12 | 8 | 1/4 | 18-24 MO. |
| PREPPERS ** | 500 | 500 | 370 | 1/50 | 8 | 2 | 1/20 | 24-36 MO. |
| PRE-SCHOOL # *** | 100 | 100 | 70 | 1/50 | 20 | 2 | 1/10 | 3-4 YRS. |
| PRE-SCHOOL #2 *** | 840 | 842 | 898 | 1/50 | 24 | 2 | 1/12 | 4-5 YRS. |
| PRE-SCHOOL #3 *** | 500 | 500 | 700 | 1/50 | 20 | 2 | 1/10 | 5-6 YRS. |
| PRE-SCHOOL #4 *** | 660 | 660 | 804 | 1/50 | 24 | 2 | 1/12 | 5-6 YRS. |
| HALLS BELIEVE *** | 170 | 170 | 180 | 1/50 | 22 | 3 | 1/10 | VARIABLES |
| TOTALS | 4250 | 629 | 6997 | -- | 90 | 22 | -- | -- |

* CALCULATED USING MIN. NET FLOOR AREA
** AT LEAST 2 SEAT PER CHILD. (IF SEAT IS A CAROUSEL, SHALL BE PRESENT BY AT LEAST 1 CHILDREN PRESENT)
*** AT LEAST 2 SEAT PER CHILD. (IF SEAT IS A CAROUSEL, SHALL BE PRESENT BY AT LEAST 1 CHILDREN PRESENT)
NET AREA: 12,000 SF.
PLAY AREA: 12,000 SF.

Jarmel Kizel
ARCHITECTURE, ENGINEERING, INTERIOR DESIGN, IMPLEMENTATION SERVICES
42 CENTER PARKWAY
LIVONIA, MICHIGAN 48150
TEL: 973.494.7669
FAX: 973.494.4549
www.jarmelkizel.com
Architecture
Engineering
Interior Design
Implementation Services

ISSUE

| NO. | DATE | DESCRIPTION | BY |
|-----|------|-------------|----|
| | | | |

REVISION

| NO. | DATE | DESCRIPTION | BY |
|-----|------|-------------|----|
| | | | |

PROFESSIONAL SEAL

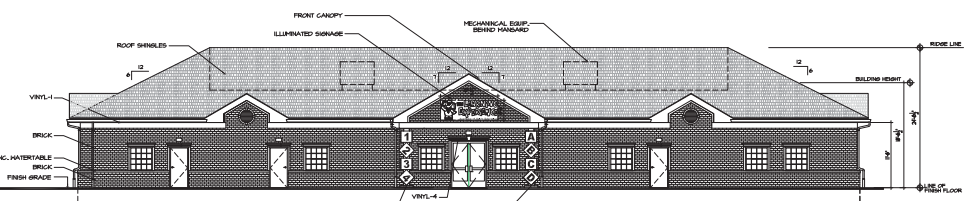
| | |
|---|--------------------------|
| NAME: JARMEL KIZEL, M.S., P.E. | NO. 10000000000000000000 |
| ADDRESS: 42 CENTER PARKWAY, LIVONIA, MI 48150 | EXPIRES: 12/31/2018 |
| CITY: LIVONIA, MI | STATE: MI |
| COUNTRY: USA | EXPIRES: 12/31/2018 |
| EXPIRES: 12/31/2018 | EXPIRES: 12/31/2018 |

THE LEARNING EXPERIENCE
TOYON CENTER FOR
NOVI, MICHIGAN

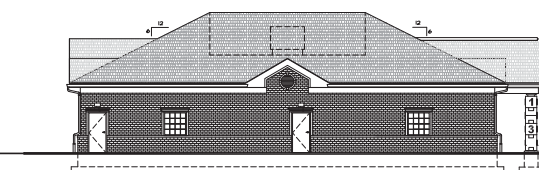
Project Number: 1518-5-16-054
Scale: 1/8" = 1'-0"
Drawn By: CS
Checked By: JKB

SPACE PLAN

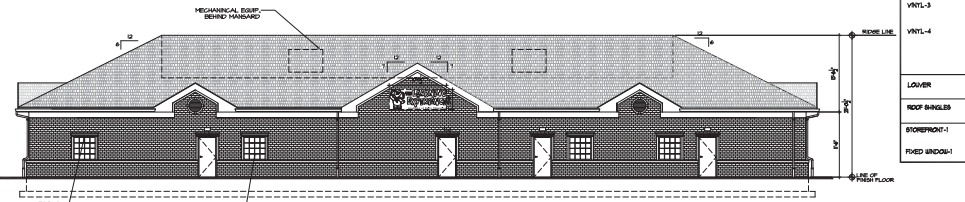
Drawing Number: SA-3.1
Date: 11/29/16



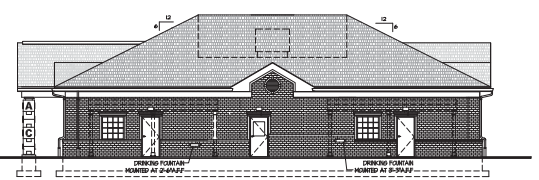
1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



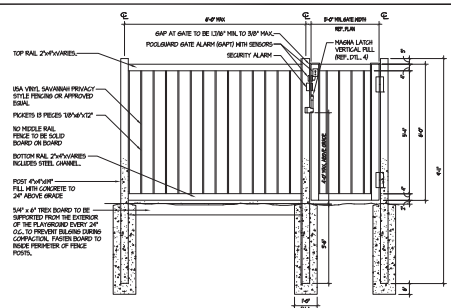
3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE

| NAME | MANUFACTURER | SIZE / TYPE | COLOR |
|---------------------|---------------------|--|------------------------------------|
| EPS-1 | DRYVIT | - | COLOR: BELMONT MOORE, RED |
| EPS-2 | DRYVIT | - | COLOR: BELMONT MOORE, YELLOW |
| EPS-3 | DRYVIT | - | COLOR: BELMONT MOORE, BLUE |
| EPS-4 | DRYVIT | - | COLOR: BELMONT MOORE, GREEN |
| COLUMN INLAY | - | - | COLOR: BELMONT MOORE, WHITE |
| LETTERING | - | - | - |
| BRICK | LAURENCEVILLE BRICK | MODULAR | COLOR: RED BANGOUT |
| CONCRETE WATERTABLE | ANCHOR | - | COLOR: LITE GREY |
| VENTIL-1 | FLAMEGLID | VENTIL FREEZE BOARD 8"X10" 138"X14" (NET SIZE); 8" PVC BOARD PRODUCT: 8"X10" | - |
| VENTIL-2 | PYPON | TRADITIONAL WINDOW CROSS HEAD 120"X18" (NET SIZE); 12"X14" PRODUCT: 12"X14" | COLOR: WHITE PRODUCT: DO-8085 |
| VENTIL-3 | PYPON | DOORS CROSSHEAD 120"X18" (NET SIZE); 12"X14" PRODUCT: 12"X14" | COLOR: WHITE PRODUCT: DO-8085 |
| VENTIL-4 | PYPON | DOORS CROSSHEAD 120"X18" (NET SIZE); 12"X14" PRODUCT: 12"X14" | COLOR: WHITE PRODUCT: DO-8085 |
| LOWER | PYPON | 1/2" DIA | COLOR: WHITE PRODUCT: PELV/80TK |
| ROOF SHINGLES | GAF | TERRELLINE ULTRA ASPHALT SHINGLES 30 YEAR WARRANTY | COLOR: WEATHERED WOOD PRODUCT: |
| STONEFRONT-1 | - | - | - |
| FIXED WINDOW-1 | SILVERLINE | - | - |



5 TYPICAL PVC FENCE AND GATE DETAIL
SCALE: 1/2" = 1'-0"

Jarmel Kizel
ARCHITECTS AND INTERIORS INC.
42 CENTER PARKWAY
MILFORD, NEW JERSEY 07033
TEL: 973.974.7669
FAX: 973.974.4549
www.jarmelkizel.com
Architecture
Engineering
Interior Design
Implementation Services

ISSUE

| | | | |
|-----|------|-------------|----|
| NO. | DATE | DESCRIPTION | BY |
| | | | |

REVISION

| | | | |
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| NO. | DATE | DESCRIPTION | BY |
| | | | |

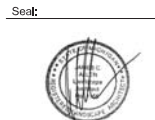
PROJECT INFORMATION

| | | | |
|-----------|----------------|--------|----------|
| PROJECT: | AMMEL HILL, NJ | NO. 03 | 12/22/18 |
| OWNER: | AMMEL HILL LLC | NO. 04 | 12/22/18 |
| DESIGNER: | AMMEL HILL LLC | NO. 05 | 12/22/18 |
| DATE: | 12/22/18 | NO. 06 | 12/22/18 |
| SCALE: | 1/4" = 1'-0" | NO. 07 | 12/22/18 |
| DATE: | 12/22/18 | NO. 08 | 12/22/18 |
| SCALE: | 1/8" = 1'-0" | NO. 09 | 12/22/18 |
| DATE: | 12/22/18 | NO. 10 | 12/22/18 |
| SCALE: | 1/4" = 1'-0" | NO. 11 | 12/22/18 |
| DATE: | 12/22/18 | NO. 12 | 12/22/18 |
| SCALE: | 1/8" = 1'-0" | NO. 13 | 12/22/18 |
| DATE: | 12/22/18 | NO. 14 | 12/22/18 |
| SCALE: | 1/4" = 1'-0" | NO. 15 | 12/22/18 |
| DATE: | 12/22/18 | NO. 16 | 12/22/18 |
| SCALE: | 1/8" = 1'-0" | NO. 17 | 12/22/18 |
| DATE: | 12/22/18 | NO. 18 | 12/22/18 |
| SCALE: | 1/4" = 1'-0" | NO. 19 | 12/22/18 |
| DATE: | 12/22/18 | NO. 20 | 12/22/18 |
| SCALE: | 1/8" = 1'-0" | NO. 21 | 12/22/18 |
| DATE: | 12/22/18 | NO. 22 | 12/22/18 |
| SCALE: | 1/4" = 1'-0" | NO. 23 | 12/22/18 |
| DATE: | 12/22/18 | NO. 24 | 12/22/18 |
| SCALE: | 1/8" = 1'-0" | NO. 25 | 12/22/18 |

THE LEADING EXPERIENCE
TURNKEY DESIGN
NOVA MEDICINE

ELEVATIONS

Project Number: **18205-18-054** Scale: **1/4" = 1'-0"**
 Drawn By: **CS** Approved By:
 Drawing Name: **ELEVATIONS**
 Drawing Number: **SA-3.2**
 Issue Date: **12/22/18**



Title:
Landscape Plan

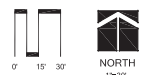
Project:
The Learning Experience
Novi, Michigan

Prepared for:
Alpha Engineering
48892 West Road
Novi, Michigan 48377
248.926.3701

Revision: Issued:
Submitted: September 1, 2016
Revised: November 1, 2016

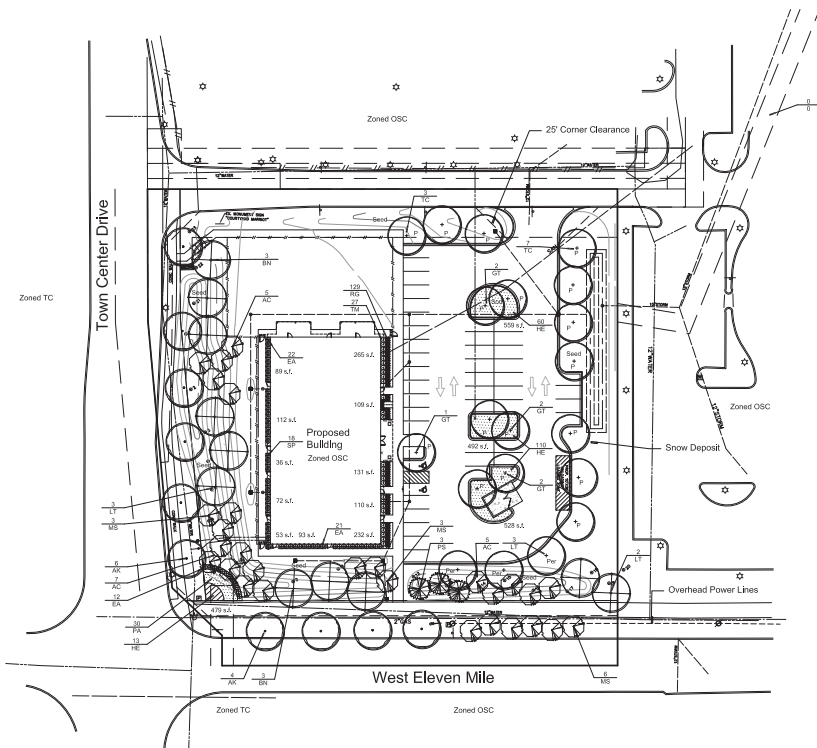
Job Number:
16455

Drawn By: Checked By:
jca jca



Sheet No.

L-1



Notes:
Transformer to be Screened per Detail on Sheet L-2.
Plantings Shall be Located no Closer than 4' to Property Lines.

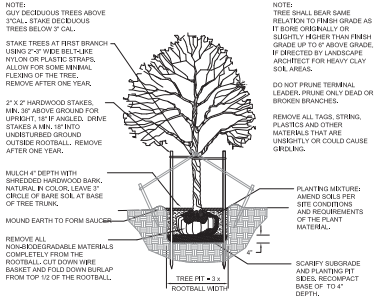
Landscape Summary

| | |
|---------------------------------|------------------------------|
| Existing Zoning | OSC |
| Parking Lot Landscaping | |
| Parking Space Area | 5,896 s.f. |
| Vehicle Use Area | 13,037 s.f. |
| Landscape Area Required | 1,249 s.f. |
| Landscape Area Shown | 5,896 s.f., x 10% = 597 s.f. |
| Canopy Trees Required | 13,037 s.f., x 5% = 652 s.f. |
| Landscape Area Shown | 1,579 s.f. |
| Canopy Trees Shown | 17 Trees (1,249/75) |
| Canopy Trees Required | 17 Trees |
| Parking Lot Perimeter | |
| Perimeter | 620 ft. |
| Trees Required | 18 Trees (210 ft. / 35) |
| Trees Shown | 3 Trees |
| Building Foundation Landscaping | |
| Perimeter of Building | 420 ft. |
| Landscape Area Required | 3,360 s.f. (420 ft. x 8) |
| Landscape Area Shown | 1,302 s.f. |
| Greenbelt Plantings | |
| 11 Mile Adjacent to Parking | |
| Street Frontage | 101 ft. |
| Trees Required | 3 Trees (101 ft. / 35) |
| Trees Shown | 3 Trees |
| Sub-Canopy Trees Required | 5 Trees (101 ft. / 20) |
| Sub-Canopy Trees Shown | 5 Trees |
| Greenbelt Plantings | |
| Streets not Adjacent to Parking | |
| Street Frontage | 456 ft. |
| Trees Required | 11 Trees (456 ft. / 40) |
| Trees Shown | 11 Trees |
| Sub-Canopy Trees Required | 18 Trees (456 ft. / 25) |
| Sub-Canopy Trees Shown | 18 Trees |
| Street Lawn | |
| 11 Mile Adjacent to Parking | |
| Street Frontage | 101 ft. |
| Trees Required | 3 Trees (101 ft. / 35) |
| Trees Shown | 3 Trees |
| Street Lawn | |
| Streets not Adjacent to Parking | |
| Street Frontage | 456 ft. |
| Trees Required | 10 Trees (456 ft. / 45) |
| Trees Shown | 10 Trees |

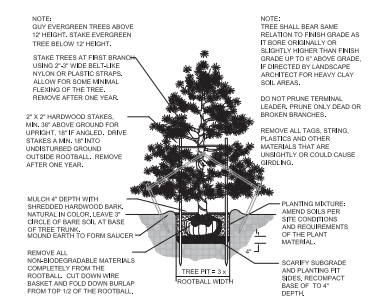
Requested Waiver:
Parking Lot Perimeter Trees cannot be Planted Due to Walk, Building Locations and Overlap with Required Parking Lot Trees.
A Waiver of 15 Trees is Requested.
Building Perimeter Landscaping of 2,058 s.f. This is Due to Perimeter Walks and Play Areas. This Landscape Area is Accounted for Elsewhere on the Site.

Plant List

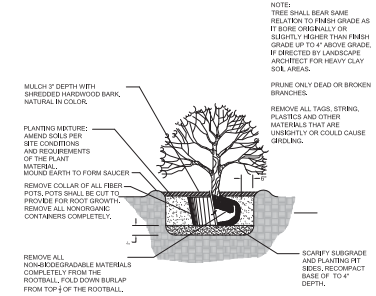
| Code | Plant Name | Quantity | Unit | Price | Total |
|------|----------------------------|----------|------|---------|------------|
| 101 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 102 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 103 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 104 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 105 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 106 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 107 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 108 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 109 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 110 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 111 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 112 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 113 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 114 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 115 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 116 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 117 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 118 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 119 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 120 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 121 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 122 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 123 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 124 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 125 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 126 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 127 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 128 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 129 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 130 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 131 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 132 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 133 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 134 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 135 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 136 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 137 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 138 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 139 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 140 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 141 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 142 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 143 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 144 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 145 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 146 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 147 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 148 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 149 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 150 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 151 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 152 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 153 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 154 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 155 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 156 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 157 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 158 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 159 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 160 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 161 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 162 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 163 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 164 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 165 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 166 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 167 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 168 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 169 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 170 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 171 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 172 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 173 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 174 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 175 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 176 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 177 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 178 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 179 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 180 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 181 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 182 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 183 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 184 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 185 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 186 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 187 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 188 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 189 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 190 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 191 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 192 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 193 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 194 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 195 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 196 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 197 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 198 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 199 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |
| 200 | 1" Green Island Arborvitae | 150 | ea | \$10.00 | \$1,500.00 |



DECIDUOUS TREE PLANTING DETAIL



EVERGREEN TREE PLANTING DETAIL



SHRUB PLANTING DETAIL

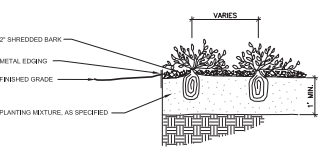
LANDSCAPE NOTES

- All plants shall be north Midwest American region grown, No. 1 grade plant materials, and shall be free to move. Free from physical damage and dead parts.
- Plants shall be tall, well-developed, and healthy appearing growing condition.
- Plants shall be watered before and after planting, including:
- All plants shall be watered, fertilized and mulched and shall be guaranteed to establish a normal growth cycle for at least two (2) full years following City approval.
- All plants shall conform to the guidelines established by the most recent edition of the American Standard Nursery Stock.
- Protein granules shall only be used if recommended on the label. Soil shall be amended and topsoil shall be replaced as needed.
- "AgriForm" tabs or other slow-release fertilizer shall be added to the planting pits before being backfilled.
- Amended planting mix shall consist of 1/3 screened topsoil, 1/3 sand and 1/3 soil, mixed and spread to the depth as indicated by planting detail.
- The Landscape Contractor shall be responsible for all work shown on the landscape plan and specifications.
- For modifications or changes to materials, plant types shall be made without the approval of the Landscape Architect.
- The City of Novi Landscape Architect shall have the right to reject all plant material if not of sufficient quantity for the guaranteed period.
- The Landscape Contractor shall be responsible for maintaining all plant material in the field until the guaranteed period.
- The Landscape Architect shall have the right, at any stage of the installation, to reject any plant or material that does not meet the requirements of the plans and specifications. If requested by owner.
- Contractor shall be responsible for checking plant quantities to ensure quantities on drawings and plant list are the same. In the event of a discrepancy, the quantities on the plans shall prevail.
- The Landscape Contractor shall seed and mulch or soil (as indicated on plans).
- All areas delineated on the site plan shall be protected throughout the construction.
- A permanent weed control agent, "Preen" or equal, shall be applied uniformly on top of all mulch in all planting beds.
- All landscape areas shall be provided with an underground automatic watering system.
- Soil shall be two year old "Baron Chateaufort" Kentucky Blue Grass grown in a soil nursery on farm soil.

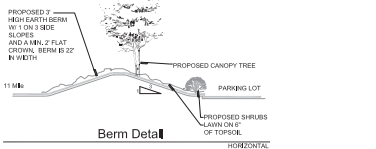
CITY OF NOVI NOTES

- All landscape plants shall be backfilled with a sand mixture to facilitate drainage.
- All proposed landscape plants shall be certified.
- All landscape areas shall be irrigated.
- Overhead 110V lines are to be identified as directed by the property owner.
- Evergreen and canopy trees shall be planted a minimum of 10' from the system, and marked.
- All plant material shall be guaranteed for two (2) years after City Approval and shall be installed and maintained according to City of Novi standards. Reason for being Non-Compliant the next Appropriate Planting Cycle.
- All proposed trees shall be planted a minimum of 4' from both the back of curb and proposed walks.
- All base and shrub planting beds shall be mulched with shredded hardwood bark, spread to minimum depth of 4". All base area trees shall have a 4" diameter disk of shredded hardwood mulch 3' away from tree. All proposed annual and perennial beds shall receive 2" of dark colored bark mulch as indicated on the plans. Mulch to be free from debris and foreign material, and shall comply to those specifications.
- All Substitutions or Deviations from the Landscape Plan Must be Approved in Writing by the City of Novi Prior to the Installation.

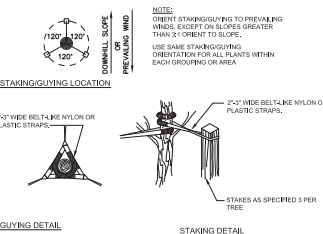
NOTES:
 THE APPROXIMATE DATE OF INSTALLATION FOR THE PROPOSED LANDSCAPE WILL BE SPRING OR FALL OF 2017.
 THE SITE SHALL BE MAINTAINED BY THE DEVELOPER IN ACCORDANCE WITH THE STANDARDS SET FORTH IN TITLE 18 OF THE ZONING ORDINANCE. THE INCLUDED VEGETATION AND MATERIALS ARE REQUIRED BY NORMAL MAINTENANCE PRACTICES.
 NO PLANTING SHALL BE RESPONSIBLE FOR REPLACING ANY TREES WITHIN THE CITY'S JURISDICTION THAT ARE DAMAGED THROUGH NORMAL MAINTENANCE OR REPAIRS.
 PLANT MATERIALS SHALL BE GUARANTEED FOR 2 YEARS AND SHALL BE MAINTAINED IN ACCORDANCE WITH CITY ORDINANCES, MAINTENANCE PRACTICES AT THE TIME OF CITY APPROVAL. WATERING IS NECESSARY UNTIL SUCH CONDITIONS ARE MET.



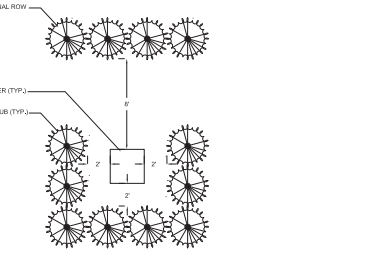
PERENNIAL PLANTING DETAIL



BERM DETAIL



TREE STAKING DETAIL



TRANSFORMER SCREENING DETAIL



Title:
 Landscape Details

Project:
 The Learning Experience
 Novi, Michigan

Prepared for:
 Alpha Engineering
 4880 West Road
 Novi, Michigan 48377
 248.926.3701

Revision:
 Submitted
 Revised

Issued:
 September 1, 2016
 November 1, 2016

Job Number:
 16055

Drawn By:
 Joe

Checked By:
 Joe



Sheet No.



Seal:



Title:

Woodland Plan

Project:

The Learning Experience
Novi, Michigan

Prepared for:

Alpha Engineering
4882 West Road
Novi, Michigan 48337
248.926.3701

Revision:

Issued:

Submitted: September 1, 2016
Revised: November 1, 2016

Job Number:

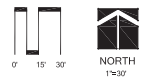
16055

Drawn By:

Jch

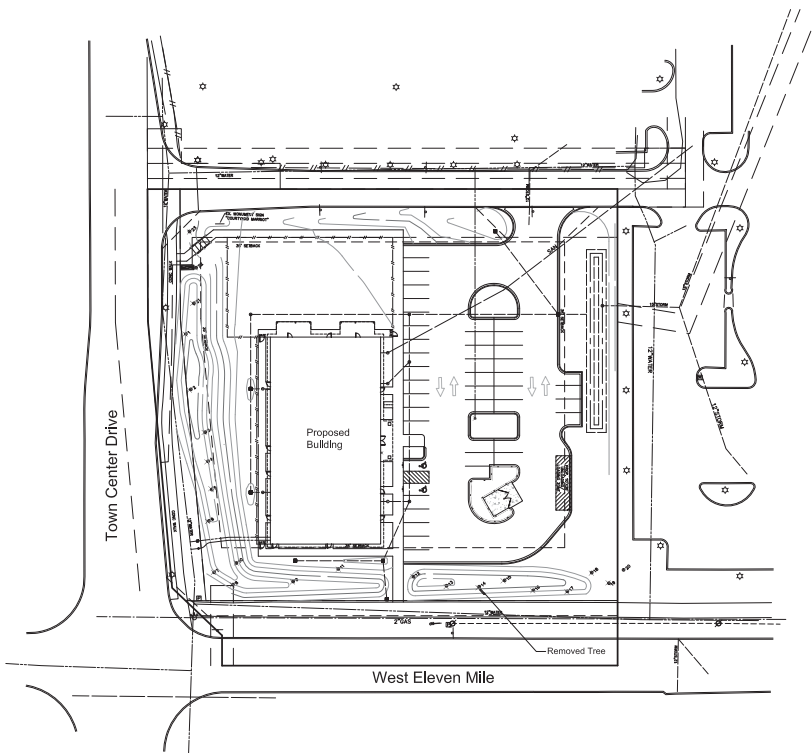
Checked By:

Jch



Sheet No.

1-3



Tree List

| TAG NO. | DIAMETER | COMMON NAME | BOTANICAL NAME | CONDITION | REMARKS | REQUIRED REPLACEMENT |
|---------|----------|------------------|------------------|----------------------|---------|----------------------|
| 1 | 9 | Acer x heumannii | Freeman Maple | Good | Remove | 0 |
| 2 | 12 | Acer x heumannii | Freeman Maple | Good | Remove | 0 |
| 3 | 9 | Austrian Pine | Pinus nigra | Poor | Remove | 0 |
| 4 | 11 | Austrian Pine | Pinus nigra | Poor | Remove | 0 |
| 5 | 11 | Austrian Pine | Pinus nigra | Poor | Remove | 0 |
| 6 | 11 | Acer x heumannii | Freeman Maple | Good | Remove | 0 |
| 7 | Dead | | | | | |
| 8 | 11 | Austrian Pine | Pinus nigra | Poor | Remove | 0 |
| 9 | 14 | Acer x heumannii | Freeman Maple | Good | Remove | 0 |
| 10 | 6.9 | Austrian Pine | Pinus nigra | Poor | Remove | 0 |
| 11 | 11 | Catsapple | Malus spp. | Good | Remove | 0 |
| 12 | 14 | Acer x heumannii | Freeman Maple | Good | Remove | 0 |
| 13 | 14 | Acer x heumannii | Freeman Maple | Good | Remove | 0 |
| 14 | Dead | | | | | |
| 15 | 12 | Austrian Pine | Pinus nigra | Poor | Remove | 0 |
| 16 | 13 | Austrian Pine | Pinus nigra | Poor | Remove | 0 |
| 17 | 12 | Acer x heumannii | Freeman Maple | Good | Remove | 0 |
| 18 | 9 | Bradford Pear | Pyrus calleryana | Good | Remove | 0 |
| 19 | 6.6 | Bradford Pear | Pyrus calleryana | Good | Remove | 0 |
| 20 | 6.6 | Bradford Pear | Pyrus calleryana | Good | Remove | 0 |
| 21 | 10 | Acer x heumannii | Freeman Maple | Good | Remove | 0 |
| 22 | 13 | Bradford Pear | Pyrus calleryana | Fair | Remove | 0 |
| 23 | 9 | Austrian Pine | Pinus nigra | Poor | Remove | 0 |
| | | | | Replacement Required | | 9 |


Woodland Summary

Total Trees 23 Trees
 Less: 1 Non-Regulated Trees 21 Trees
 Dead Trees 2 Trees
 Not Regulated Trees 0 Regulated Trees
 Non-Regulated Trees Removed 22 Trees

Note:
 Surveyed Trees are not within a Woodland and are not Regulated



D-Series Size 0 LED Area Luminaire



Specifications

- Wattage: 100W
- Height: 12.5"
- Length: 12.5"
- Width: 12.5"
- Depth: 12.5"
- Weight: 12.5 lbs

Introduction

The modern styling of the D-Series is setting the standard for lighting in both progressive and traditional spaces as it blends seamlessly with its environment.

The D-Series offers the benefits of the latest in LED technology into a high performance, high efficiency luminaire. The outstanding performance results in size with excellent uniformity, greater color rendering and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 60% and maintenance costs of less than 10% of the original.

Example: D-Series LED 400-1000-400-75M-WOOD-SPA-D08D

| Item | Description | Quantity | Unit Price | Total Price |
|------|---|----------|------------|-------------|
| 1 | D-Series LED 400-1000-400-75M-WOOD-SPA-D08D | 1 | 100.00 | 100.00 |

Notes:

- See schedule for mounting height.
- See luminaire schedule for light loss factor.
- Calculations are shown in footcandles at grade.

Emergency Battery Operation

The WST LED is designed for emergency use. It features a long life, maintenance free product with typical energy savings of 75% compared to metal halide systems. The integral battery backup system provides emergency lighting without the use of a back-up or remote gens, so transformers maintain their excellent energy.

The WST LED is ideal for replacing existing 50-175W metal halide luminaire products. The expected service life is 20+ years of nighttime use.

WST LED Architectural Wall Sconce



Specifications

- Wattage: 10W
- Height: 6"
- Width: 6"
- Depth: 6"
- Weight: 1.2 lbs

Introduction

The sleek architectural Wall Sconce is available with the latest in LED technology. The result is a long life, maintenance free product with typical energy savings of 75% compared to metal halide systems. The integral battery backup system provides emergency lighting without the use of a back-up or remote gens, so transformers maintain their excellent energy.

The WST LED is ideal for replacing existing 50-175W metal halide luminaire products. The expected service life is 20+ years of nighttime use.

Example: WST LED 2-150ATN/KX/SQ-M301-D08D

| Item | Description | Quantity | Unit Price | Total Price |
|------|----------------------------------|----------|------------|-------------|
| 1 | WST LED 2-150ATN/KX/SQ-M301-D08D | 1 | 10.00 | 10.00 |

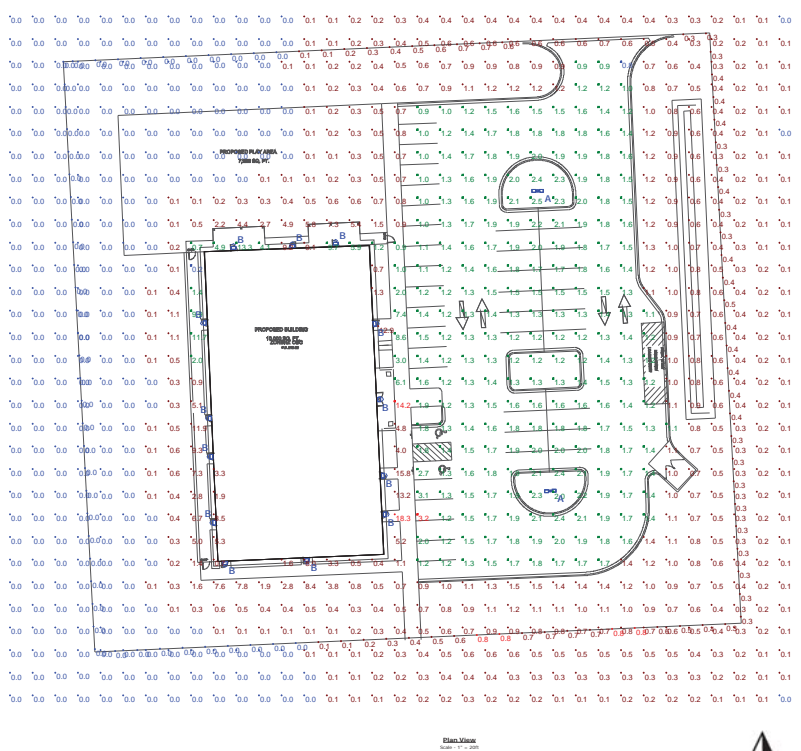
Notes:

- See schedule for mounting height.
- See luminaire schedule for light loss factor.
- Calculations are shown in footcandles at grade.

Emergency Battery Operation

The WST LED is designed for emergency use. It features a long life, maintenance free product with typical energy savings of 75% compared to metal halide systems. The integral battery backup system provides emergency lighting without the use of a back-up or remote gens, so transformers maintain their excellent energy.

The WST LED is ideal for replacing existing 50-175W metal halide luminaire products. The expected service life is 20+ years of nighttime use.



GENERAL NOTE

1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
2. SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
3. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT GRADE.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

| Statistics | Symbol | Unit | Min | Max | Avg | Min/Max | Avg/Min |
|--------------------|--------|------|-----|------|------|---------|---------|
| MINIMUM FOOTCANDLE | 0.0 | fc | 0.0 | 12.0 | 2.0 | 0.0 | 2.0 |
| MAXIMUM FOOTCANDLE | 12.0 | fc | 0.0 | 12.0 | 12.0 | 12.0 | 12.0 |
| AVERAGE FOOTCANDLE | 2.0 | fc | 0.0 | 12.0 | 2.0 | 0.0 | 2.0 |
| MINIMUM FOOTCANDLE | 0.0 | fc | 0.0 | 12.0 | 2.0 | 0.0 | 2.0 |

| Luminaire Schedule | Symbol | Label | Quantity | Manufacturer | Catalog Number | Description | Lamp | Mounting Height | Beam Spread | Beam Angle | Beam Diameter | Beam Area | Beam Volume | Beam Intensity | Beam Spread | Beam Angle | Beam Diameter | Beam Area | Beam Volume | Beam Intensity |
|--------------------|--------|---------------|----------|---------------|---|------------------------------------|----------|-----------------|-------------|------------|---------------|-----------|-------------|----------------|-------------|------------|---------------|-----------|-------------|----------------|
| 1 | A | Area Lighting | 1 | Area Lighting | Area LED 400-1000-400-75M-WOOD-SPA-D08D | Area LED with 4000K 1000lm 75W LED | Area LED | 12.5" | 12.5" | 12.5" | 12.5" | 12.5" | 12.5" | 12.5" | 12.5" | 12.5" | 12.5" | 12.5" | 12.5" | 12.5" |
| 2 | B | Area Lighting | 1 | Area Lighting | Area LED 400-1000-400-75M-WOOD-SPA-D08D | Area LED with 4000K 1000lm 75W LED | Area LED | 12.5" | 12.5" | 12.5" | 12.5" | 12.5" | 12.5" | 12.5" | 12.5" | 12.5" | 12.5" | 12.5" | 12.5" | |



46892 West Road, Suite 109
Novi, Michigan 48377
Phone: (248) 926-3701
Fax: (248) 926-3765
Web: www.alpine-inc.net

January 4, 2017

via hand delivery

ATTN: Carol Chaput
City of Novi Community Development Department
45175 West 10 Mile Road
Novi, MI 48375

**Re: The Learning Experience – Day Care Center
ZBA Submittal
Alpine Engineering Inc. Project #16-218
JSP16-19**

Dear Carol:

On behalf of our client, Lockard, please find the additional information enclosed for your review and distribution

- Owners' signed copy of the "Zoning Board of Appeals" application
- Copy of the Review Standards
- One (1) set of Preliminary Site Plans (dated 12-01-2016)

If you have any questions/comments, please feel free to contact me at (248) 941-5624 or shiloh@alpine-inc.net.

Thank you.

Sincerely,
Alpine Engineering, Inc.

Shiloh Dahlin
Senior Project Engineer

Cc: Dustin Whitehead (Lockard) via email
Paul Riordan (Lockard) via email