



COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals

ZONING BOARD APPEALS DATE: March 13, 2018

REGARDING: 27250 Wixom Rd, Parcel # 50-22-17-101-024 (PZ18-0001)

BY: Larry Butler, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant

Mamnoon Siddiqui/Siddiqui Orthodontics

Variance Type

Dimensional Variance

Property Characteristics

Zoning District: Light Industrial
Location: East of Wixom Road and South of Grand River Avenue
Parcel #: 50-22-17-101-024

Request

The applicant is requesting variances from the City of Novi Zoning Ordinance Section 5.4 to eliminate the requirement for a loading and unloading zone. Loading zone is required by code. This property is zoned Light Industrial (I-1).

II. STAFF COMMENTS:

Reduction of parking spaces for loading zone would impact business.

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we **grant** the variance in Case No. **PZ18-0001**, sought by _____, for _____ because Petitioner has shown practical difficulty requiring _____.

 - (a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because _____.
 - (b) The property is unique because _____.
 - (c) Petitioner did not create the condition because _____.

(d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because_____.

(e) The relief if consistent with the spirit and intent of the ordinance because _____.

(f) The variance granted is subject to:

1. _____.
2. _____.
3. _____.
4. _____.

2. I move that we **deny** the variance in Case No. **PZ18-0001**, sought by _____, for _____ because Petitioner has not shown practical difficulty requiring _____.

(a) The circumstances and features of the property including _____ are not unique because they exist generally throughout the City.

(b) The circumstances and features of the property relating to the variance request are self-created because _____.

(c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that _____.

(d) The variance would result in interference with the adjacent and surrounding properties by _____.

(e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to _____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Larry Butler
Deputy Director Community Development
City of Novi



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ZONING BOARD OF APPEALS APPLICATION

RECEIVED

JAN 24 2018

CITY OF NOVI
 COMMUNITY DEVELOPMENT

APPLICATION MUST BE FILLED OUT COMPLETELY

I. PROPERTY INFORMATION (Address of subject ZBA Case)				Application Fee: <u>\$ 300.00</u>	
PROJECT NAME / SUBDIVISION Siddiqui Orthodontics				Meeting Date: <u>3/13/18</u>	
ADDRESS 27250 Wixom Rd.		LOT/SUITE/SPACE #		ZBA Case #: <u>PZ 18-0001</u>	
SIDWELL # 50-22- 17 - 101 - 024		May be obtain from Assessing Department (248) 347-0485			
CROSS ROADS OF PROPERTY Grand River and Wixom Rd.					
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			REQUEST IS FOR: <input type="checkbox"/> RESIDENTIAL <input checked="" type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE		
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO					
II. APPLICANT INFORMATION					
A. APPLICANT		EMAIL ADDRESS mamnoons@hotmail.com		CELL PHONE NO. 734 516 7857	
NAME Mamnoon Siddiqui				TELEPHONE NO. 313 565 0880	
ORGANIZATION/COMPANY Siddiqui Properties LLC				FAX NO. 313 565 2305	
ADDRESS 2211 Monroe St.		CITY Dearborn Mi		STATE Mi	ZIP CODE 48124
B. PROPERTY OWNER <input checked="" type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER					
Identify the person or organization that owns the subject property:		EMAIL ADDRESS		CELL PHONE NO.	
NAME				TELEPHONE NO.	
ORGANIZATION/COMPANY				FAX NO.	
ADDRESS		CITY		STATE	ZIP CODE
III. ZONING INFORMATION					
A. ZONING DISTRICT					
<input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER <u>B-3</u>					
B. VARIANCE REQUESTED					
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:					
1. Section <u>5.4</u> Variance requested <u>for not providing a loading zone</u>					
2. Section _____ Variance requested _____					
3. Section _____ Variance requested _____					
4. Section _____ Variance requested _____					
IV. FEES AND DRAWINGS					
A. FEES					
<input type="checkbox"/> Single Family Residential (Existing) \$200 <input type="checkbox"/> (With Violation) \$250 <input type="checkbox"/> Single Family Residential (New) \$250 <input checked="" type="checkbox"/> Multiple/Commercial/Industrial \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> Signs \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> House Moves \$300 <input type="checkbox"/> Special Meetings (At discretion of Board) \$600					
B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF					
<ul style="list-style-type: none"> • Dimensioned Drawings and Plans • Site/Plot Plan • Existing or proposed buildings or addition on the property • Number & location of all on-site parking, if applicable • Existing & proposed distance to adjacent property lines • Location of existing & proposed signs, if applicable • Floor plans & elevations • Any other information relevant to the Variance application 					



ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

DIMENSIONAL USE SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign ten-(10) days** before the scheduled ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next scheduled ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is established within such a period; provided, however, where such use permitted is dependent upon the erection or alteration of a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING ADDITION TO EXISTING HOME/BUILDING SIGNAGE
 ACCESSORY BUILDING USE OTHER section 5.4 loading zone

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT


Applicant Signature

1/22/18
Date

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

Property Owner Signature

Date

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

GRANTED

DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

Chairperson, Zoning Board of Appeals

Date

January 22, 2018

Zoning Board of Appeals

Community Development Department

45175 Ten Mile Road

Novi, MI 48375

To the committee members of the Zoning Board of Appeals,

I am writing this letter in support of the Application to the Zoning Board of Appeals requesting a variance for not being able to provide a Loading/Unloading Zone in the improvements being made on the property located at 27250 Wixom Rd. Novi, MI 48374.

The facility will be occupied by two small business. One of them is in the dental practice of the specialty of Orthodontics (Siddiqui Orthodontics, PC) and they will be occupying a smaller part of the improved facility (the addition). The larger part of the facility (existing building which was the old Huntington Bank) will be occupied by a Medical office. Neither businesses will be having any large truck deliveries which would require a dedicated Loading/Unloading zone. Both businesses usually have small truck deliveries like the FedEx or UPS deliveries which make quick stops for deliveries and pickup.

Providing a Loading/Unloading zone on this site will be an undue burden to our businesses as it will most likely have to come at the expense of reduced parking spaces. We would like to keep the number of parking spaces provided in the proposed improvements.

We ask the Zoning Board of Appeals to please consider granting this request for variance. We appreciate your thoughtful consideration.

Thank you,

Sincerely,

A handwritten signature in black ink, appearing to read "Mamnoon A. Siddiqui, D.D.S., M.S.", written in a cursive style.

Dr. Mamnoon A. Siddiqui

Siddiqui Properties, LLC



Community Development Department

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**REVIEW STANDARDS
DIMENSIONAL VARIANCE**

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.
 Not Applicable Applicable If applicable, describe below:

Due to the existing site changing use from a bank to a medical facility, the loading zone size of 75'-0" x 10'-0" will create hardship for this site.

and/or

- b. Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.
 Not Applicable Applicable If applicable, describe below:

and/or

- c. Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.
 Not Applicable Applicable If applicable, describe below:

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

We have an existing site that formerly was a bank and now changing the use to Medical. The code requires a loading zone size of 75'-0" x 10'-0". This will create a hardship on the site size, especially Medical, that has no use for a loading zone area.

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

The new use is Medical (Orthodontic and Dental) and will not require a loading zone area, especially this size (75'-0" x 10'x0"). The maximum area needed is for a van that can use regular parking.

Standard #4. Minimum Variance Necessary.

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

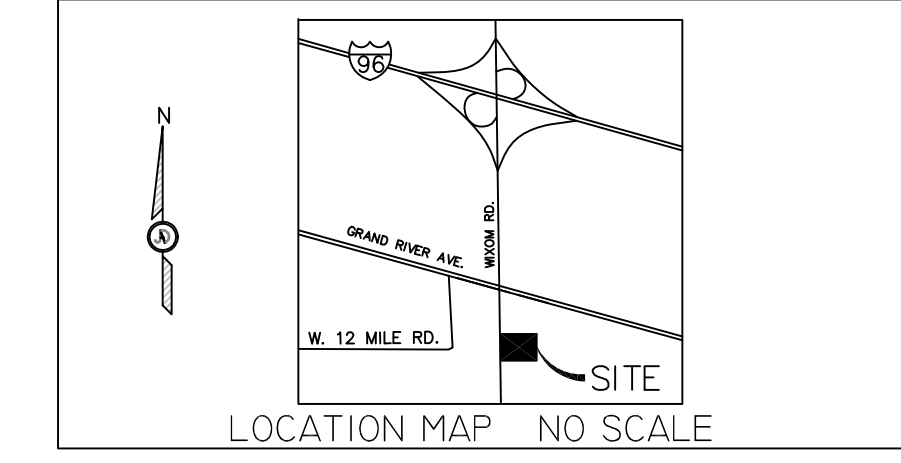
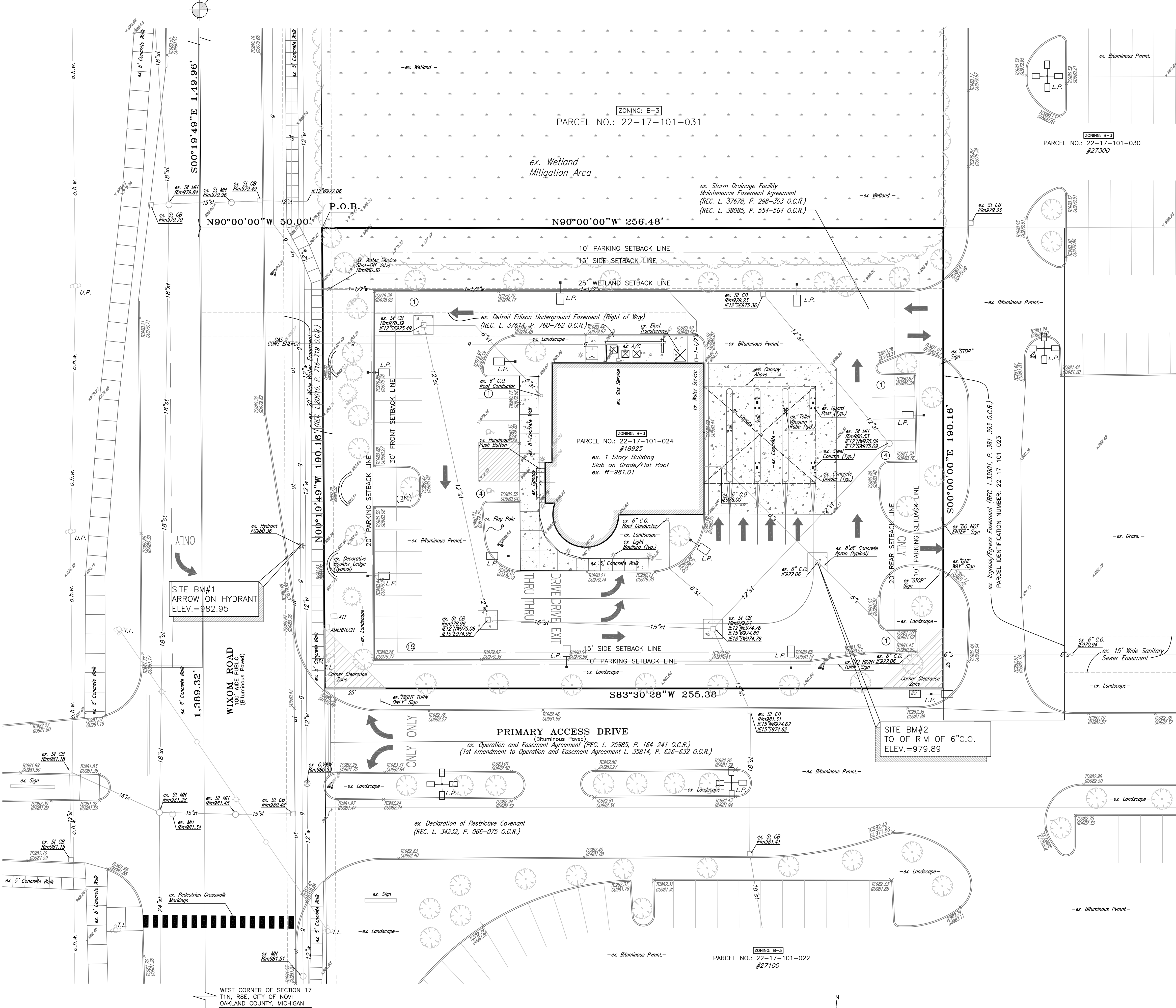
As a Orthodontic and Dental office, a loading area is not required (75'-0" x 10'-0").

Standard #5. Adverse Impact on Surrounding Area.

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

There is no adverse impact on the surrounding area.

NORTHWEST CORNER OF SECTION 17, T1N, R8E, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN



ZONING: B-3 LOCAL BUSINESS
LEGAL DESCRIPTION:
OUTLOT 3:
 PARCEL IDENTIFICATION NUMBER: 22-17-101-024
 THAT PART OF THE NORTHWEST 1/4 OF SECTION 17, T.1N., R.8E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 17, THENCE SOUTH 00°19'49" EAST 1,249.96 FEET ALONG THE WEST LINE OF SAID SECTION, THENCE NORTH 90°00'00" EAST 50.00 FEET TO THE POINT OF BEGINNING, THENCE NORTH 90°00'00" EAST 256.48 FEET; THENCE SOUTH 00°00'00" EAST 190.16 FEET; THENCE SOUTH 90°00'00" WEST 255.38 FEET; THENCE NORTH 00°19'49" WEST 190.16 FEET TO THE POINT OF BEGINNING, CONTAINING 1.13 ACRES MORE OR LESS, SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS, RIGHTS OF WAY, LEASES AND AGREEMENT OF RECORD, IF ANY.

ALSO TOGETHER WITH APPURTENANT RIGHTS IN OPERATION AND EASEMENT AGREEMENT DATED APRIL 19, 2002 AND RECORDED JUNE 13, 2002 IN LIBER 2585, PAGE 184, OAKLAND COUNTY RECORDS.
 MORE COMMONLY KNOWN AS: 27250 WIXOM ROAD, NOVI, MICHIGAN.
OUTLOT 3-INGRESS/INGRESS EASEMENT:
 PARCEL IDENTIFICATION NUMBER: 22-17-101-023
 THAT PART OF THE NORTHWEST 1/4 OF SECTION 17, T.1N., R.8E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 17, THENCE SOUTH 00°19'49" EAST 1,440.12 FEET ALONG THE WEST LINE OF SAID SECTION, THENCE NORTH 90°00'00" EAST 305.38 FEET TO THE POINT OF BEGINNING, THENCE NORTH 00°00'00" WEST 130.16 FEET; THENCE NORTH 00°00'00" EAST 50.00 FEET; THENCE SOUTH 00°00'00" EAST 203.16 FEET; THENCE SOUTH 00°00'00" WEST 50.00 FEET; THENCE NORTH 00°00'00" WEST 13.00 FEET TO THE POINT OF BEGINNING, CONTAINING 0.23 ACRES MORE OR LESS AND SUBJECT TO RIGHT OF WAY, EASEMENTS, RESTRICTIONS, RESERVATIONS, RIGHTS OF WAY, LEASES AND AGREEMENTS OF RECORD, IF ANY.

DESCRIPTION	EXISTING	PROPOSED
STORM/SEWER	MANHOLE 12" x 12"	MANHOLE 12" x 12"
SANITARY/COMBINED/SEWER	MANHOLE 12" x 12"	MANHOLE 12" x 12"
WATER LINE	4" x 4" WATER VALVE	4" x 4" WATER VALVE
UTILITY POLE/POWER LINE	4" x 4" UTILITY POLE	4" x 4" UTILITY POLE
UTILITY POLE W/GUY WIRE	4" x 4" UTILITY POLE	4" x 4" UTILITY POLE
GAS LINE	6" x 6" GAS LINE	6" x 6" GAS LINE
CONCRETE PAVEMENT	6" x 6" CONCRETE	6" x 6" CONCRETE
SILT FENCE	SILT FENCE	SILT FENCE
FENCE	FENCE	FENCE
LOT IDENTIFICATION NO.	LOT 178	LOT 178
PARCEL IDENTIFICATION NO.	11-30-277-078	11-30-277-078
FIRST FLOOR ELEVATION	FF=987.7	PROP. FF=987.7
BASEMENT FLOOR ELEV.	BF=987.7	PROP. BF=987.7
GARAGE FLOOR ELEVATION	GF=987.7	PROP. GF=987.7
SPOT ELEVATION	* 414.4	* 414.4
CONTOUR LINE	980	980
FINISHED GRADE ELEV.	987.77C	[987.77C]
TOP OF WALK ELEV.	987.77W	[987.77W]
OUTTER ELEVATION	987.76U	[987.76U]
TOP OF CURB ELEVATION	987.77C	[987.77C]
BRICK LEDGE ELEVATION	987.76L	[987.76L]
TOP OF WALL ELEVATION	987.77W	[987.77W]
BOTTOM OF WALL ELEV.	987.76W	[987.76W]
SURFACE DRAINAGE FLOW		
EVERGREEN TREE		
DECIDUOUS TREE		
LIGHT BOULIARD		
LIGHT POLE		
HEDGE		
IRON FOUND		
MONUMENT FOUND		
RECORDED	R.	
MEASURED	M.	

BENCH MARK-NAVD 88 DATUM
 THE BENCHMARK DESCRIPTIONS, ELEVATIONS, AND LABELS CONTAINED ON THIS LIST IS SUBJECT TO CHANGE WITHOUT PRIOR NOTICE AT ANY TIME DUE TO ONGOING CONSTRUCTION AND MAINTENANCE PROJECTS THROUGHOUT THE PROJECT AREA. IT IS STRONGLY ADVISED TO FIELD MEASURE THE ELEVATION DIFFERENCE BETWEEN A MINIMUM OF TWO BENCHMARKS TO VERIFY A BENCHMARK ELEVATION BEFORE USE ON THIS PROJECT.
 SITE BM#1: 1" x 1" METAL KEY OF SAN 6" C.O. LOCATED 40' N. OF B/CURB AND 27' W. OF SOUTH ONE WAY EXIT DRIVE. ELEVATION = 979.89

FLOOD MAP DETERMINATION
 FEMA ISSUED MAPS
 MAP ITEM IDENTIFICATION: 260125C0608
 MAP ISSUED DATE: SEP. 29, 2006
 ZONE "X": AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% FLOODPLAIN.

ZONING REQUIREMENTS
 ZONING: B-3 LOCAL BUSINESS
 SET BACKS MINIMUM: FRONT SETBACK: 30 FEET (BUILDING) 20 FEET (PARKING)
 REAR SETBACK: 20 FEET (BUILDING) 10 FEET (PARKING)
 SIDE YARD SETBACK: 15 FEET (BUILDING) 10 FEET (PARKING)

SOIL TYPES (GEOTECHNICAL REPORT)
 SANDY CLAY/SILT AND SILTY SAND

J.A.D. SERVICES
 5119 Highland Road-#201
 Waterford, MI 48327
 Telephone: (248) 739-9955
 jad222@sbcglobal.net

PROPERTY OWNER:
 SIDDIQUI PROPERTIES, LLC
 2211 MONROE STREET
 DEARBORN, MICHIGAN 48124
CONTACT PERSON:
 MR. MAMNOON SIDDIQUI
 TELEPHONE: 313-565-0880

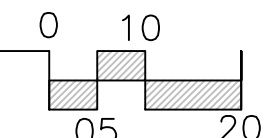
SHEET TITLE:
 TOPOGRAPHICAL SURVEY
PROJECT TITLE:
 27250 WIXOM ROAD
 PART OF THE NW 1/4, SEC. 17, T.1N., R.8E.
 CITY OF NOVI, OAKLAND COUNTY, MI

PROJECT NO.:
 1713
 DRAWN JAD
 CHECKED JAD
 APPROVED JAD

ISSUED FOR DATE
 TOPO SURVEY 07-01-2017
 SITE PLAN 07-30-2017
 REVISION 1 12-20-2017
 REVISION 2 01-04-2017

SCALE: 1"=20'
 SHEET NO:
C-1

TOPOGRAPHICAL SURVEY
 SCALE: 1"=20'



BUILDING AREA COMPUTATION
 EXISTING BUILDING AREA = 4,254 SQ.FT.
 PROPOSED BUILDING AREA = 2,696 SQ.FT.
 TOTAL BUILDING AREA = 6,950 SQ.FT.

PARKING REQUIRED
 6,950 SQ.FT. / 175 = 39.71 (40)
 40 SPACES REQUIRED

PARKING PROVIDED
 REGULAR SPACES = 37 SPACES
 HC SPACES = 3 SPACES
 TOTAL SPACES PROVIDED = 40 SPACES

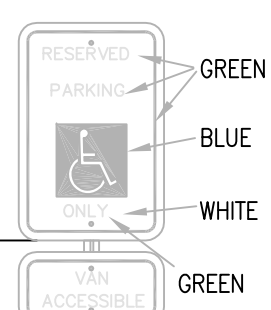
LANDSCAPING
 INTERIOR AREAS = 2,172 SQ.FT.
 PRIMER PERIMETER AREAS = 15,827 SQ.FT.
 TOTAL LANDSCAPED AREA = 18,000 SQ.FT.

IMPERVIOUS SURFACE
 PRE DEVELOPMENT-EXISTING CONDITIONS
 15,081 SF (PERIMETER LANDSCAPING)
 2,205 SF (INTERIOR AREA LANDSCAPING)
 17,286 SF (TOTAL LANDSCAPED AREA)

POST DEVELOPMENT-PROPOSED ADDITION
 15,836 SF (PERIMETER LANDSCAPING)
 2,353 SF (INTERIOR AREA LANDSCAPING)
 18,189 SF (TOTAL LANDSCAPED AREA)

18,189 SF > 17,286 SF (NO ADDITIONAL STORM DETENTION IS REQUIRED)

PANEL SHOULD BE A FULL 7 FT ABOVE FINISHED GRADE (IF A "MAN ACCESSIBLE" PLATE IS TO BE USED, IT MAY BE 6 FT AFG)

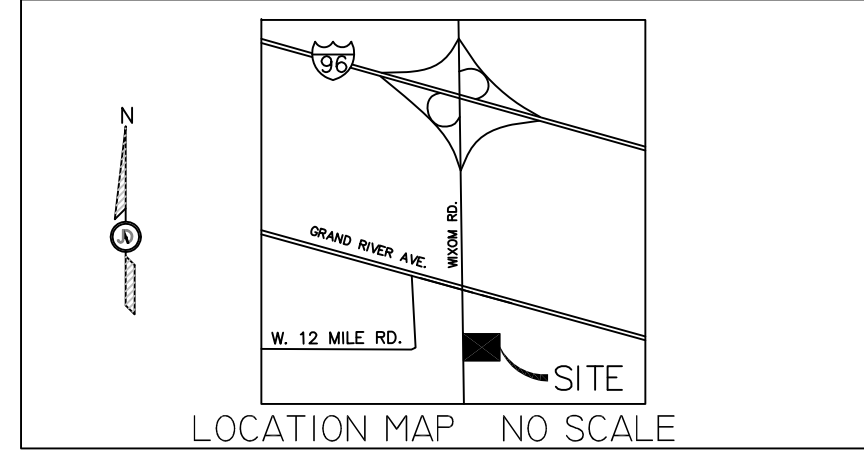


HC SIGN DETAIL
 R7-8 (12'X18')

N.T.S.

NORTHWEST CORNER OF SECTION 17, T1N, R8E, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

WEST CORNER OF SECTION 17, T1N, R8E, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN



LEGAL DESCRIPTION:
 ZONING: I-1 LIGHT INDUSTRIAL WITH CONSENT JUDGEMENT FOR B-3 LOCAL BUSINESS DISTRICT.

OUTLOT 3:
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 THAT PART OF THE NORTHWEST 1/4 OF SECTION 17, T.1N., R.8E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 17, THENCE SOUTH 00°19'49" EAST 1,249.96 FEET ALONG THE WEST LINE OF SAID SECTION, THENCE NORTH 90°00'00" EAST 50.00 FEET TO THE POINT OF BEGINNING, THENCE NORTH 90°00'00" EAST 256.48 FEET; THENCE SOUTH 00°00'00" EAST 190.16 FEET; THENCE SOUTH 90°00'00" WEST 255.38 FEET; THENCE NORTH 00°19'49" WEST 190.16 FEET TO THE POINT OF BEGINNING, CONTAINING 1.13 ACRES MORE OR LESS, SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS, RIGHTS OF WAY, LEASES AND AGREEMENT OF RECORD, IF ANY.

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UTILITY POLE/POWER LINE	6" g	6" g
UTILITY POLE W/GUY WIRE	6" g	6" g
GAS LINE	6" g	6" g
CONCRETE PAVEMENT	6" c	6" c
SILT FENCE	6" c	6" c
FENCE	6" c	6" c
LOT IDENTIFICATION NO.	LOT 178	LOT 178
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GARAGE FLOOR ELEVATION	GF=987.7	PROP. GF=987.7
SPOT ELEVATION	* 882.0	* 882.0
CONTOUR LINE	980	980
FINISHED GRADE ELEV.	987.7TC	[987.7TC]
TOP OF WALK ELEV.	987.7TW	[987.7TW]
OUTTER ELEVATION	987.7GU	[987.7GU]
TOP OF CURB ELEVATION	987.7TC	[987.7TC]
BRICK LEDGE ELEVATION	987.7BL	[987.7BL]
TOP OF WALL ELEVATION	987.7TW	[987.7TW]
BOTTOM OF WALL ELEV.	987.7BW	[987.7BW]
SURFACE DRAINAGE FLOW		
EVERGREEN TREE		
DECIDUOUS TREE		
LIGHT BOUILLARD		
LIGHT POLE		
HEDGE		
IRON FOUND		
MONUMENT FOUND		
RECORDED	R.	
MEASURED	M.	

BENCH MARK-NAVD 88 DATUM

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CITY OF NOVI BM #1711
 * ON NORTH RIM OF GATE WELL LOCATED 200' NORTH OF ENTRANCE TO SAM'S CLUB GAS STATION, 90' EAST OF CENTERLINE OF WIXOM ROAD AND 3' WEST OF SIDEWALK. ELEVATION = 974.22

SITE BM#1
 TOP OF IRON HYDRANT LOCATED 10' W OF E. WIXOM R.O.W. AND 100' N. CENTER OF ACCESS DR. S. OF PROPERTY. ELEVATION = 982.95

SITE BM#2
 TOP OF METAL KEY OF SAN 6" C.O. LOCATED 40' N. OF B/CURBS AND 27' W. OF SOUTH ONE WAY EXIT DRIVE. ELEVATION = 979.89

FLOOD MAP DETERMINATION
 FEMA ISSUED MAPS
 MAP ITEM IDENTIFICATION: 2601250608
 MAP ISSUED DATE: SEP. 29, 2006
 ZONE "X": AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% FLOODPLAIN.

TOPO NOTES
 THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE DERIVED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS OR EXACTNESS OF LOCATION.

ZONING REQUIREMENTS
 ZONING: B-3 LOCAL BUSINESS
 SET BACKS MINIMUM: FRONT SETBACK: 30 FEET (BUILDING) 20 FEET (PARKING)
 REAR SETBACK: 20 FEET (BUILDING) 10 FEET (PARKING)
 SIDE YARD SETBACK: 15 FEET (BUILDING) 10 FEET (PARKING)

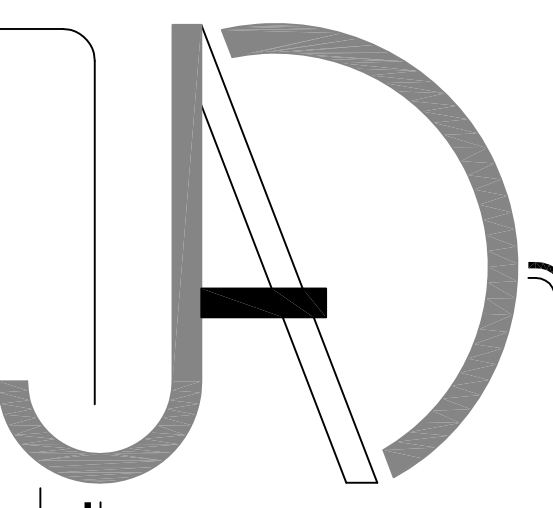
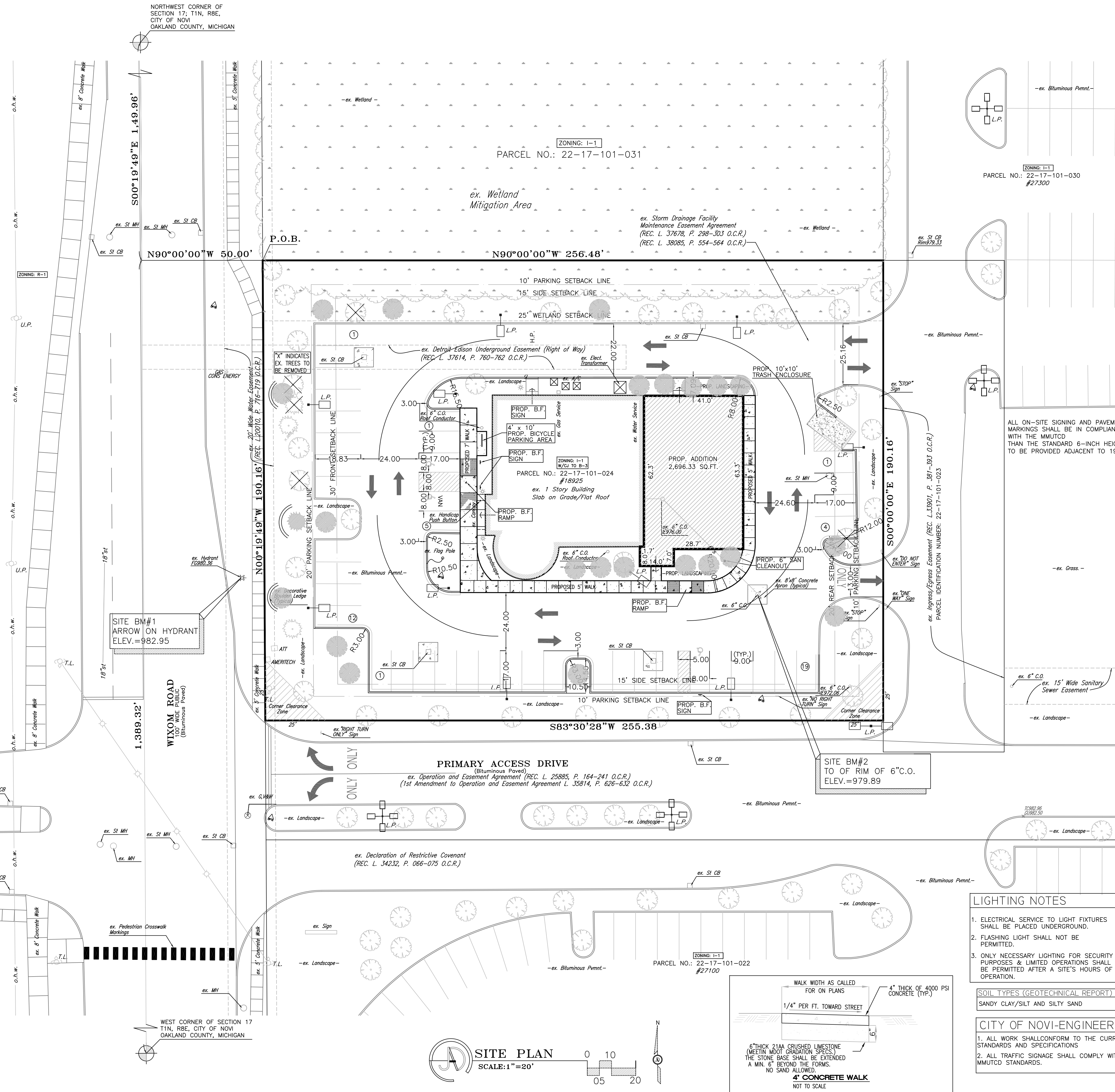
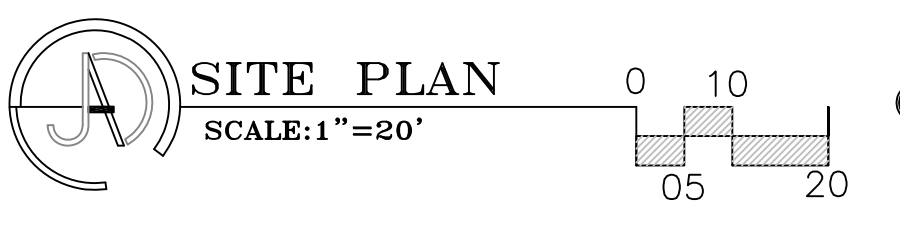
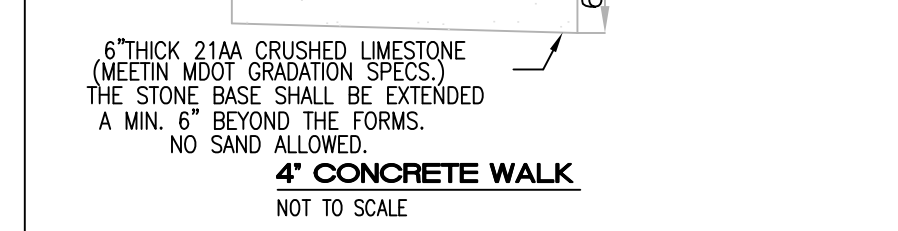
LIGHTING NOTES

- ELECTRICAL SERVICE TO LIGHT FIXTURES SHALL BE PLACED UNDERGROUND.
- FLASHING LIGHT SHALL NOT BE PERMITTED.
- ONLY NECESSARY LIGHTING FOR SECURITY PURPOSES & LIMITED OPERATIONS SHALL BE PERMITTED AFTER A SITE'S HOURS OF OPERATION.

SOIL TYPES (GEOTECHNICAL REPORT)
 SANDY CLAY/SILT AND SILTY SAND

CITY OF NOVI-ENGINEERING NOTES

- ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS
- ALL TRAFFIC SIGNAGE SHALL COMPLY WITH THE CURRENT MMUTCD STANDARDS.



J.A.D. SERVICES
 5119 Highland Road-#201
 Waterford, MI 48327
 Telephone: (248) 739-9955
 jad222@sbcglobal.net

PROPERTY OWNER:
 SIDDIQUI PROPERTIES, LLC
 2211 MONROE STREET
 DEARBORN, MICHIGAN 48124

CONTACT PERSON:
 MR. MAMNOON SIDDIQUI
 TELEPHONE: 313-565-0880

SHEET TITLE:
 SITE PLAN

PROJECT TITLE:
 27250 WIXOM ROAD
 PART OF THE NW 1/4, SEC. 17, T.1N., R.8E.
 CITY OF NOVI, OAKLAND COUNTY, MI

PROJECT NO.:
 1713

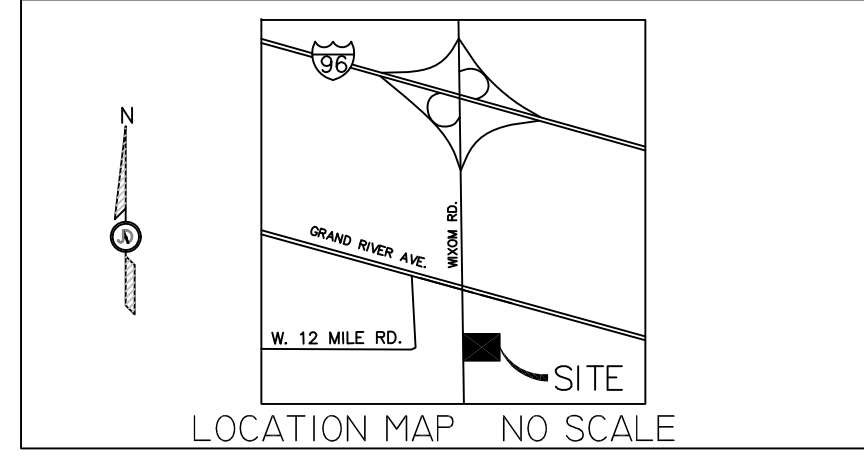
DRAWN: JAD
CHECKED: JAD
APPROVED: JAD

ISSUED FOR: DATE

TOPO SURVEY: 07-01-2017
SITE PLAN: 07-30-2017
REVISION 1: 12-20-2017
REVISION 2: 01-04-2017

SCALE: 1"=20'
SHEET NO.: C-2

NORTHWEST CORNER OF SECTION 17, T1N, R8E, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN



ZONING: I-1 LIGHT INDUSTRIAL WITH CONSENT JUDGEMENT FOR B-3 LOCAL BUSINESS DISTRICT.

LEGAL DESCRIPTION:
OUTLOT 3:
 PARCEL IDENTIFICATION NUMBER: 22-17-101-024
 THAT PART OF THE NORTHWEST 1/4 OF SECTION 17, T.1N., R.8E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS:
 COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 17, THENCE SOUTH 00°19'49" EAST 1,249.96 FEET ALONG THE WEST LINE OF SAID SECTION, THENCE NORTH 90°00'00" EAST 50.00 FEET TO THE POINT OF BEGINNING, THENCE NORTH 90°00'00" EAST 256.48 FEET; THENCE SOUTH 00°00'00" EAST 190.16 FEET; THENCE SOUTH 90°00'00" WEST 255.38 FEET; THENCE NORTH 00°19'49" WEST 190.16 FEET TO THE POINT OF BEGINNING, CONTAINING 1.13 ACRES MORE OR LESS, SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS, RIGHTS OF WAY, LEASES AND AGREEMENT OF RECORD, IF ANY.

ALSO TOGETHER WITH APPURTENANT RIGHTS IN OPERATION AND EASEMENT AGREEMENT DATED APRIL 19, 2002 AND RECORDED JUNE 13, 2002 IN LIBER 2585, PAGE 184, OAKLAND COUNTY RECORDS.

MORE COMMONLY KNOWN AS: 27250 WIXOM ROAD, NOVI, MICHIGAN.

OUTLOT 3-INGRESS/INGRESS EASEMENT:
 PARCEL IDENTIFICATION NUMBER: 22-17-101-023
 THAT PART OF THE NORTHWEST 1/4 OF SECTION 17, T.1N., R.8E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS:
 COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 17, THENCE SOUTH 00°19'49" EAST 1,440.12 FEET ALONG THE WEST LINE OF SAID SECTION, THENCE NORTH 90°00'00" EAST 305.38 FEET TO THE POINT OF BEGINNING, THENCE NORTH 00°00'00" WEST 100.16 FEET; THENCE NORTH 00°00'00" EAST 50.00 FEET; THENCE SOUTH 00°00'00" EAST 203.16 FEET; THENCE SOUTH 00°00'00" WEST 50.00 FEET; THENCE NORTH 00°00'00" WEST 13.00 FEET TO THE POINT OF BEGINNING, CONTAINING 0.23 ACRES MORE OR LESS AND SUBJECT TO RIGHT OF WAY, EASEMENTS, RESTRICTIONS, RESERVATIONS, RIGHTS OF WAY, LEASES AND AGREEMENTS OF RECORD, IF ANY.

DESCRIPTION	EXISTING	PROPOSED
STORM/SEWER	MANHOLE 12" x 12" x 12"	MANHOLE 12" x 12" x 12"
SANITARY/COMBINED/SEWER	MANHOLE 12" x 12" x 12"	MANHOLE 12" x 12" x 12"
WATER LINE	4" x 4" x 4"	4" x 4" x 4"
UTILITY POLE/POWER LINE	4" x 4" x 4"	4" x 4" x 4"
UTILITY POLE W/GUY WIRE	4" x 4" x 4"	4" x 4" x 4"
GAS LINE	6" x 6" x 6"	6" x 6" x 6"
CONCRETE PAVEMENT	6" x 6" x 6"	6" x 6" x 6"
SILT FENCE	6" x 6" x 6"	6" x 6" x 6"
FENCE	6" x 6" x 6"	6" x 6" x 6"
LOT IDENTIFICATION NO.	LOT 178	LOT 178
PARCEL IDENTIFICATION NO.	11-30-277-078	11-30-277-078
FIRST FLOOR ELEVATION	FF=987.7	PROP. FF=987.7
BASEMENT FLOOR ELEV.	BF=987.7	PROP. BF=987.7
GARAGE FLOOR ELEVATION	GF=987.7	PROP. GF=987.7
SPOT ELEVATION	*414	*414
CONTOUR LINE	980	980
FINISHED GRADE ELEV.	987.7TC	[987.7TC]
TOP OF WALK ELEV.	987.7TW	[987.7TW]
OUTTER ELEVATION	987.7GU	[987.7GU]
TOP OF CURB ELEVATION	987.7TC	[987.7TC]
BRICK LEDGE ELEVATION	987.7BL	[987.7BL]
TOP OF WALL ELEVATION	987.7TW	[987.7TW]
BOTTOM OF WALL ELEV.	987.7BW	[987.7BW]
SURFACE DRAINAGE FLOW		
EVERGREEN TREE		
DECIDUOUS TREE		
LIGHT BOULLARD		
LIGHT POLE		
HEDGE		
IRON FOUND		
MONUMENT FOUND		
RECORDED	R.	
MEASURED	M.	

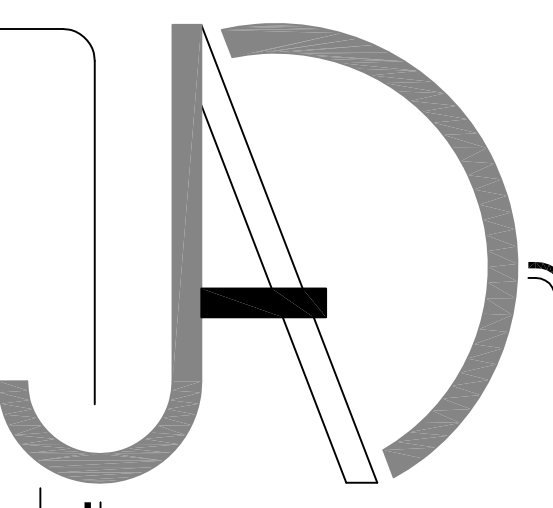
BENCH MARK-NAVD 88 DATUM
 THE BENCHMARK DESCRIPTIONS, ELEVATIONS, AND LABELS CONTAINED ON THIS LIST IS SUBJECT TO CHANGE WITHOUT PRIOR NOTICE AT ANY TIME DUE TO ONGOING CONSTRUCTION AND MAINTENANCE PROJECTS THROUGHOUT THE PROJECT. IT IS STRONGLY ADVISED TO FIELD MEASURE THE ELEVATION DIFFERENCE BETWEEN A MINIMUM OF TWO BENCHMARKS TO VERIFY A BENCHMARK ELEVATION BEFORE USE ON THIS PROJECT.
 SITE BENCHMARK BM #171: TOP OF IRON ON IMPERMEABLE MORTAR INDICATED TOP OF THE BENCHMARK FOR THE LOCATION OF THE BENCHMARK FRAME AND SIGNATURES 40' W. OF THE BENCHMARK FRAME SOUTH CENTER LINE OF THE BENCHMARK FRAME AND 40' W. OF THE BENCHMARK FRAME SOUTH BENCHMARK #171 WEST OF SIDEWALK. ELEVATION 979.85
 ELEVATION = 974.23
 SITE BENCHMARK BM #172: TOP OF METAL KEY OF SAN 6" C.O. LOCATED 40' N. OF B/CURB AND 27' W. OF SOUTH ONE WAY EXIT DRIVE. ELEVATION = 979.89

FLOOD MAP DETERMINATION
 FEMA ISSUED MAPS
 MAP ITEM IDENTIFICATION: 260125C0608
 MAP ISSUED DATE: SEP. 29, 2006
 ZONE "X": AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% FLOODPLAIN.

TOPO NOTES
 THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING WERE DERIVED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS OR EXACTNESS OF LOCATION.

ZONING REQUIREMENTS
 ZONING: B-3 LOCAL BUSINESS
 SET BACKS MINIMUM: FRONT SETBACK: 30 FEET (BUILDING)
 20 FEET (PARKING)
 REAR SETBACK: 20 FEET (BUILDING)
 10 FEET (PARKING)
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SOIL TYPES (GEOTECHNICAL REPORT)
 SANDY CLAY/SILT AND SILTY SAND



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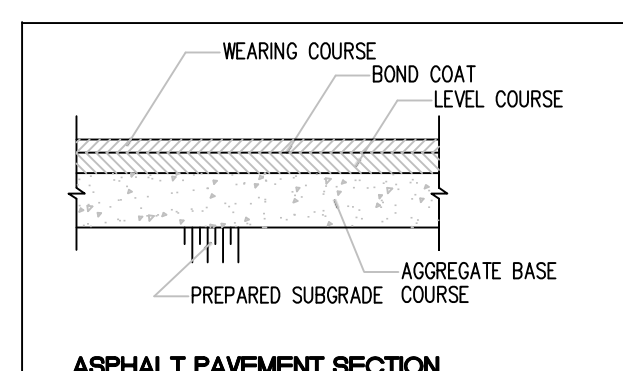
PROPERTY OWNER:
 SIDDIQUI PROPERTIES, LLC
 2211 MONROE STREET
 DEARBORN, MICHIGAN 48124
CONTACT PERSON:
 MR. MAMNOON SIDDIQUI
 TELEPHONE: 313-565-0880

SHEET TITLE:
 UTILITIES PLAN
PROJECT TITLE:
 27250 WIXOM ROAD
 PART OF THE NW 1/4, SEC. 17, T.1N., R.8E.
 CITY OF NOVI, OAKLAND COUNTY, MI

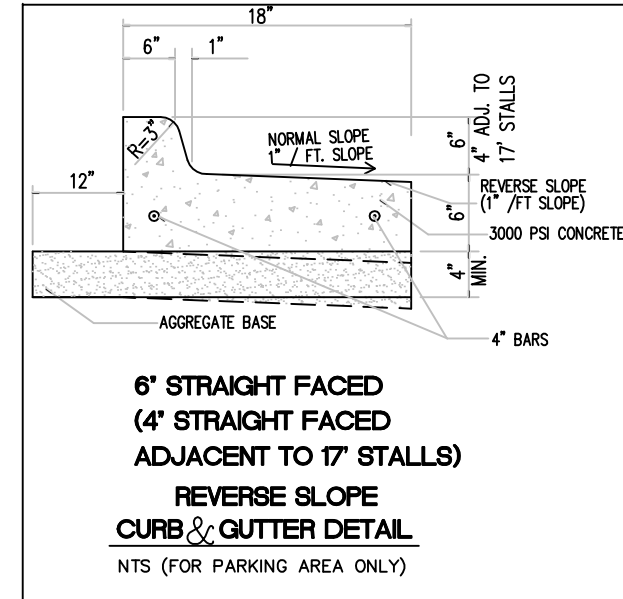
PROJECT NO.:
 1713
DRAWN: JAD
CHECKED: JAD
APPROVED: JAD

ISSUED FOR DATE
 TOPO SURVEY 07-01-2017
 SITE PLAN 07-30-2017
 REVISION 1 12-20-2017
 REVISION 2 01-04-2017

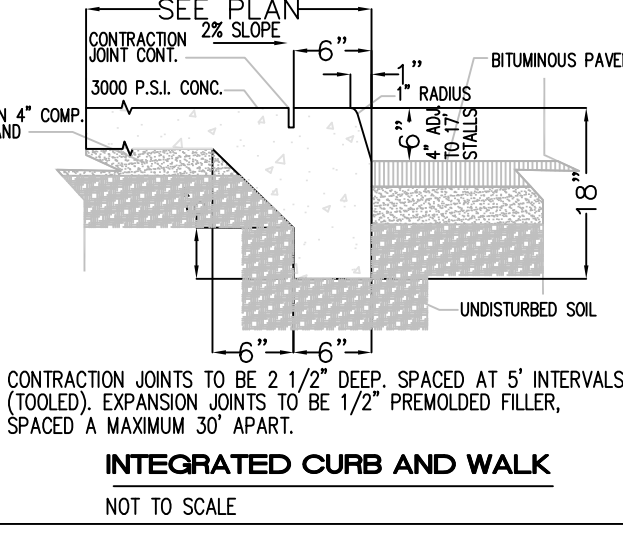
SCALE: 1"=20'
SHEET NO.:
 C-3



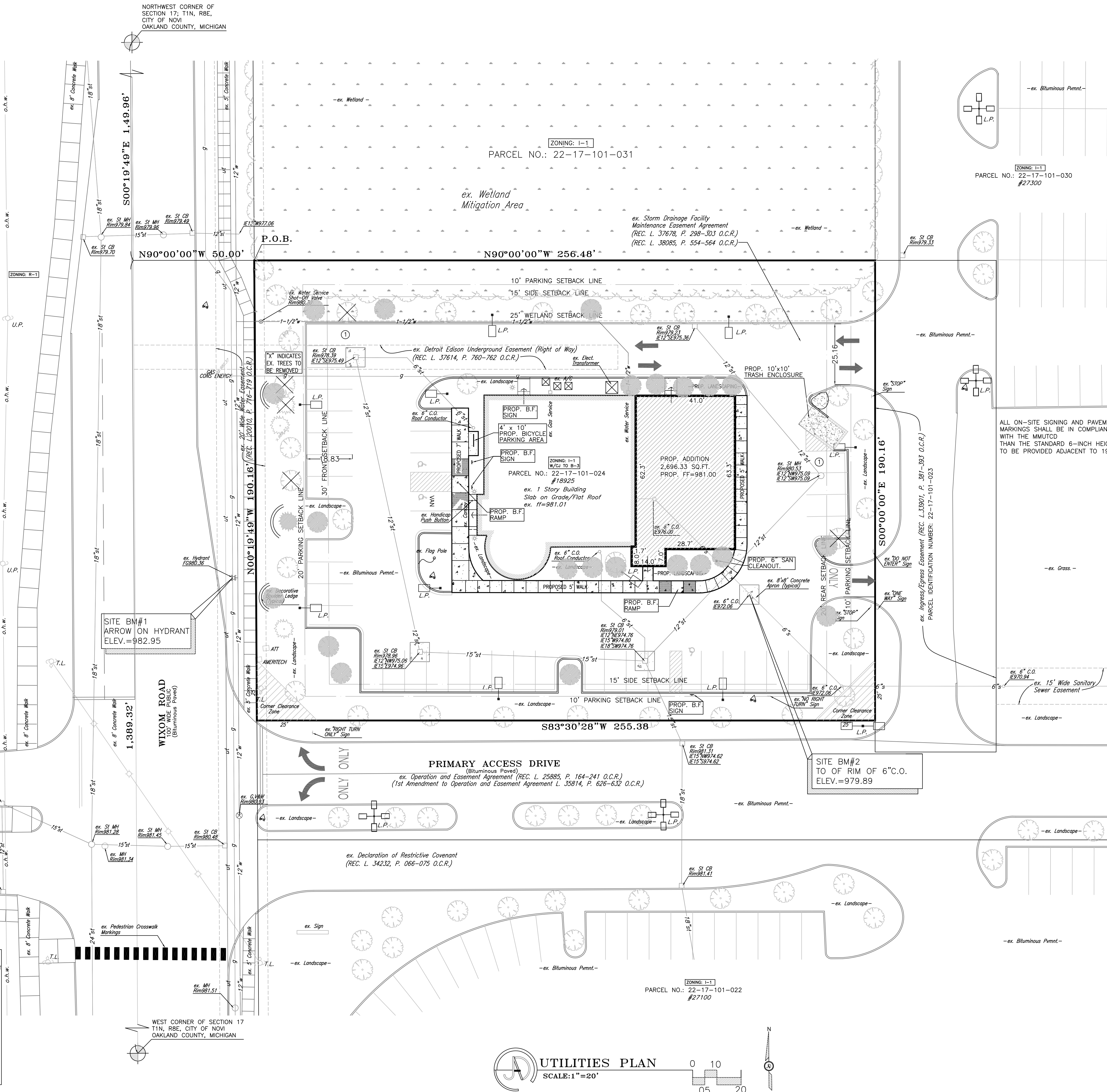
ASPHALT PAVEMENT SECTION
 WEARING COURSE - 1 1/2" THICK SE1
 LEVEL COURSE - 1 1/2" THICK 3C
 AGGREGATE BASE - 8" THICK 21AA



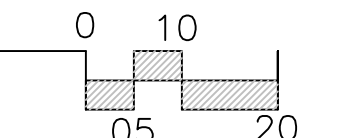
6" STRAIGHT FACED CURB & GUTTER DETAIL
 WEARING COURSE - 1 1/2" THICK SE1
 LEVEL COURSE - 1 1/2" THICK 3C
 AGGREGATE BASE - 8" THICK 21AA

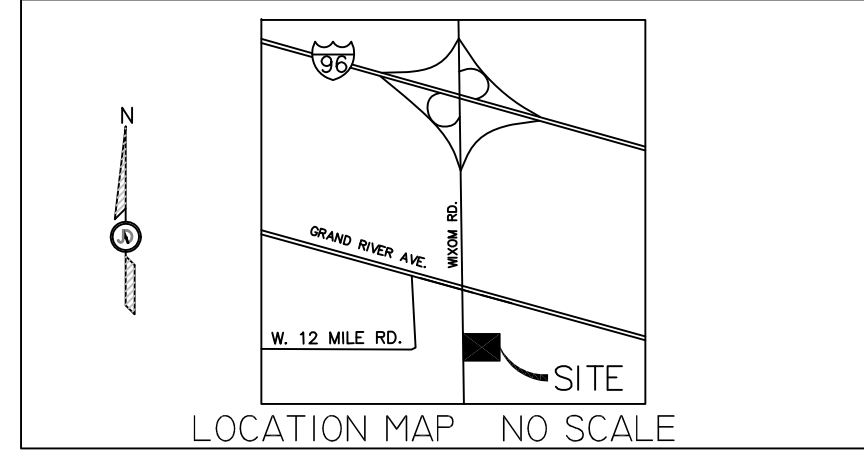
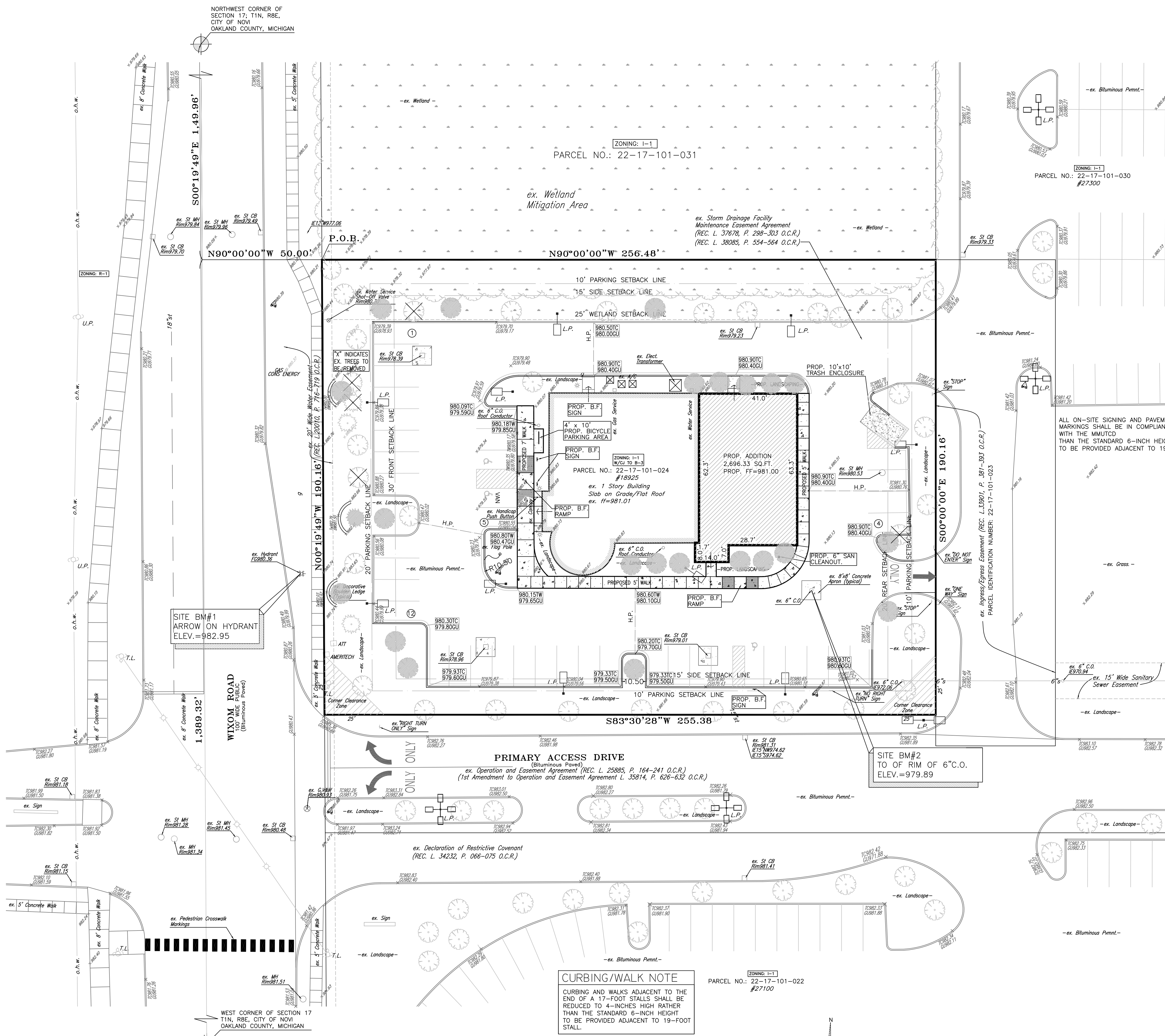


INTEGRATED CURB AND WALK
 NOT TO SCALE



UTILITIES PLAN
 SCALE: 1"=20'





LEGAL DESCRIPTION:
OUTLOT 3:
PARCEL IDENTIFICATION NUMBER: 22-17-101-024
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OUTLOT 3-INGRESS/INGRESS EASEMENT:
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TELEPHONE: 313-565-0880

SHEET TITLE:
GRADING PLAN
PROJECT TITLE:
27250 WIXOM ROAD
PART OF THE NW 1/4, SEC. 17, T.1N., R.8E.
CITY OF NOVI, OAKLAND COUNTY, MI

PROJECT NO.:
1713
DRAWN JAD
CHECKED JAD
APPROVED JAD

ISSUED FOR DATE
TOPO SURVEY 07-01-2017
SITE PLAN 07-30-2017
REVISION 1 12-20-2017
REVISION 2 01-04-2017

SCALE: 1"=20'
SHEET NO.: C-4