

cityofnovi.org

ZONING BOARD OF APPEALS
CITY OF NOVI
Community Development Department
(248) 347-0415

Case No. PZ13-0042 Tom's Bar & Grill

Location: 27200 Beck Road

Zoning District: OST, Office Service Technology District

The applicant is requesting variances from the CITY OF NOVI, CODE OF ORDINANCES, Section 2400 to allow a reduction in the exterior side yard setback to 35 ft. (50 ft. required) for an existing building proposed for redevelopment to a restaurant use. The property is located north of Grand River Ave. and east of Beck Road.

Ordinance Sections:

CITY OF NOVI, CODE OF ORDINANCES, Section 2400 requires front and exterior side yard setbacks of 50 feet minimum in the OST Zoning District.

City of Novi Staff Comments:

The petitioner is proposing to redevelop an existing building as a restaurant. The staff report and review documents from the Planning Commission meeting are attached for reference. Staff supports consideration of the request provided that substantial justice can be provided to the other property owners in the district.

Standards for Granting a Dimensional Variance:

A variance may be granted if a practical difficulty exists due to all of the following:

- There are unique circumstances or physical conditions of the property such as narrowness, shallowness, shape, water, topography or similar physical conditions and the need for the variance is not due to the applicant's personal or economic difficulty because_____.
- The need is not self-created because_____.
- Strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome because_____.
- The requested variance is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district because_____.
- The requested variance will not cause an adverse impact on surrounding property, property values or the use and enjoyment of the property in the neighborhood or zoning district because_____.



cityofnovi.org

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For Official Use Only

ZBA Case No: P2130042 ZBA Date: 9/10/13 Payment Received: \$ _____ (Cash)

Check # _____ Include payment with cash or check written to "City of Novi."

TO BE COMPLETED BY APPLICANT - PLEASE PRINT

Please submit one original signed application and 13 copies of all supporting documentation relevant to the appeal,

Applicant's Name Toma Palushaj Date July 11, 2013

Company (if applicable) Tom P. LLC #6
c/o Matthew C. Quinn

Address* 28345 Beck Rd., Suite 401 City Wixom ST MI ZIP 48393

*Where all case correspondence is to be mailed.

Applicant's E-mail Address: mquinn@michlaw.biz

Phone Number (248) 869.0030 FAX Number (248) 869.0039

Request is for:

Residential Construction (New/ Existing) Vacant Property Commercial Signage

1. Address of subject ZBA case: 27200 Beck Road ZIP _____

2. Sidwell Number: 5022-22-16-176-033 may be obtained from Assessing Department (248) 347-0485

3. Is the property within a Homeowner's Association jurisdiction? Yes No

4. Zoning: RA R-1 R-2 R-3 R-4 RT RM-1 RM-2 MH OS-1 OS-2 OSC OST _____ OTHER _____

5. Property Owner Name (if other than applicant) N/A

6. Does your appeal result from a Notice of Violation or Citation Issued? Yes No

7. Indicate ordinance section(s) and variances requested:

1. Section 2400 Variance requested 35' variance for exterior side yard building setback

2. Section _____ Variance requested _____

3. Section _____ Variance requested _____

4. Section _____ Variance requested _____

RECEIVED

JUL 11 2013

CITY OF NOVI
COMMUNITY DEVELOPMENT

8. Please submit an accurate, scaled drawing of the property showing:

- a. All property lines and dimensions correlated with the legal description.
- b. The location and dimensions of all existing and proposed structures and uses on property.
- c. Any roads, easements, drains, or waterways which traverse or abut the property and the lot area and setback.
- d. Dimensions necessary to show compliance with the regulations of this Ordinance.

9. State the practical difficulties which prevent conformance with the Zoning Ordinance requirements (attach separate sheet if necessary):

Mr. Palushaj is expanding an existing structure to create the new restaurant. When he bought the existing structure City Gate Dr. to the north did not exist. Therefore it is a practical difficulty which has been created not out of his own actions.

10. Describe any unique circumstances regarding the property (i.e., shape, topography, etc.) which are not common to other properties in the area and which prevent strict compliance with the Zoning Ordinance:

This is a unique property due to the fact that Mr. Palushaj is expanding an existing structure by adding additional square footage to the north side. With the creation of City Gate Dr. there is not sufficient space within the site to comply with the required 50' exterior side yard setback. We are therefore requesting a 35' waiver.

SIGN CASES ONLY:

Your signature on this application indicates that you agree to install a **Mock-Up Sign ten (10) days** before the scheduled ZBA meeting.

Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next scheduled ZBA meeting, or cancelled. A mock-up sign is **NOT** to be the actual sign. Upon approval, the mock-up sign must be removed within five (5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five (5) days of the meeting.

Variance approval is void if permit not obtained within one hundred eighty (180) days of date of decision.

There is a five (5) day hold period before work/action can be taken on variance approvals.

All property owners' within 300 feet of ZBA property address will be notified of the ZBA case and variance requests.

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official/ Inspector or Ordinance Officer made

- Construct New Home/Building
- Addition to Existing Home/Building
- Accessory Building
- Use
- Signage
- Other

Toma Palushaj
Applicants Signature Toma Palushaj

7-11-13
Date

Toma Palushaj
Property Owners Signature Toma Palushaj

7-11-13
Date

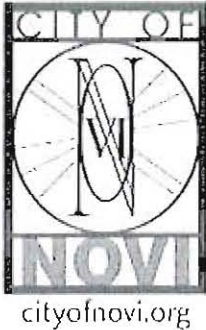
DECISION ON APPEAL

_____ Granted _____ Denied _____ Postponed by Request of Applicant _____ Board _____

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following items and conditions:

Chairperson, Zoning Board of Appeals

Date



PLAN REVIEW CENTER REPORT

June 14, 2013

Planning Review

Tom's Bar and Grill

JSP13-45

Petitioner

Tom P LLC #6

Review Type

Preliminary Site Plan with Retail Service Overlay

Property Characteristics

- Site Location: 27200 Beck Road, southeast corner of Citygate Drive and Beck Road (Section 16)
- Site Zoning: OST, Planned Office Service Technology
- Adjoining Zoning: North (across Citygate Drive): FS with PRO; East and South: OST; West (across Beck Road): B-2
- Current Site Use: Vacant building
- Adjoining Uses: North (across Citygate Drive): USA 2 Go gas station and Tim Horton's Restaurant; East: vacant; South: Chase Bank; West (across Beck Road): Westmarket Square Shopping Center
- School District: Novi Community School District
- Site Size: 1.88 acres
- Plan Date: 05-13-13

Project Summary

The parcel in question is located on 27200 Beck Road on the southeast corner of Citygate Drive and Beck Road in Section 16 of the City of Novi. The property totals 1.88 acres. The current zoning of the property is OST, Planned Office Service Technology. The applicant has proposed a 5,700 sq. ft. sit-down restaurant (with associated parking, landscaping and stormwater facilities) utilizing the Retail Service Overlay Option.

The Retail Service Overlay Option is intended "...to provide a limited amount of retail and personal service establishments to serve the employees of and visitors to the nearby office use areas." The option allows additional uses not typically permitted in the OST District provided certain conditions are met and subject to the Special Land Use requirements outlined in Section 2516.2(c). A sit-down restaurant is a use permitted under this option.

Recommendation

Approval of the ***Preliminary Site Plan is recommended.*** The applicant has met the standards of the Retail Service Overlay Option and there are only minor planning related items to be addressed on the Final Site Plan submittal.

Special Land Use Considerations

In the OST District any developments utilizing the Retail Service Overlay provisions are subject to the considerations for Special Land Uses outlined in the Zoning Ordinance. Section 2516.2(c) of

the Zoning Ordinance includes specific factors the Planning Commission shall consider in the review of the request:

- Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service.
- Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area.
- Whether, relative to other feasible uses of the site, the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats.
- Whether, relative to other feasible uses of the site, the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood.
- Whether, relative to other feasible uses of the site, the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.
- Whether, relative to other feasible uses of the site, the proposed use will promote the use of land in a socially and economically desirable manner.
- Whether, relative to other feasible uses of the site, the proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 23A (Planned Office Service Technology District), Article 24 (Schedule of Regulations), Article 25 (General Provisions) and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed by the applicant.

1. Retail Service Overlay: The applicant is utilizing the Retail Service Overlay Option which allows an applicant to develop properties for uses not usually permitted in the OST District. The applicant has met the conditions that apply to properties using this option. Access has been provided from the adjacent planned collector road (Citygate Drive). A total of 36.7% of the site has been maintained as open space and the proposed façade has met the standards of the façade ordinance and will be complementary to the design of other buildings in the area. **A public hearing to be held by the Planning Commission is required.**
2. Building Setbacks: Buildings in the OST District must be setback 50 feet from all property lines. The plan indicates a 15 foot building setback in the northern yard. **The applicant has indicated they will seek a variance from the Zoning Board of Appeals for this deficiency.**
3. Required Parking Spaces: The number of parking spaces required for a sit-down restaurant use is based on the square footage of the building or the established occupant load. The greater number from those two separate calculations is the number of required parking spaces. The applicant has not provided a floor plan at this time. As such, the number of required parking spaces (based on the established occupant load) cannot be calculated. The applicant should be aware that parking calculations could change based on the established occupant load and additional spaces may need to be added to the site at some point in the future. See the planning review chart for additional information.

4. Parking Space Dimensions: A 7 foot sidewalk is required in areas adjacent to 17' parking spaces. **The applicant should include a 7 foot sidewalk adjacent to the proposed barrier free spaces.**
5. Sidewalks: The 5 foot sidewalk proposed along Citygate Drive does not extend to the eastern property line. A sidewalk is required along this entire road frontage. Citygate Drive has not been extended to the subject property's eastern-most border at this time. **The applicant should either extend the sidewalk to the eastern property line or provide funds in an escrow account for the extension of the sidewalk at a future date.** See the traffic review letter for additional information.
6. Construction of Collector Road: The Novi Mile GR/Beck Planned Rezoning Overlay Agreement included provisions for the extension of Citygate Drive to the east eventually looping around to Grand River Avenue. This agreement contemplated the completion of the road when the next property in the area was developed. The applicant should consider completing the planned extension of Citygate Drive to better serve the proposed development from Grand River Avenue.
7. Signage: Exterior Signage is not regulated by the Planning Division or Planning Commission. Please contact Jeannie Niland (248.347.0438) for information regarding sign permits.

Response Letter

A letter from either the applicant or the applicant's representative addressing comments in this, and in the other review letters, is requested to be submitted prior to the Planning Commission meeting and with the next set of plans addressing each of the comments listed above and in other review letters.

Chapter 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

Pre-Construction Meeting

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0586 or kkapelanski@cityofnovi.org.

Planning Review Summary Chart

Tom's Bar and Grill JSP13-45

Preliminary Site Plan

Plan Dated: May 13, 2013

Item	Required	Proposed	Meets Requirements?	Comments
Master Plan	Retail Overlay	Retail Overlay	Yes	
Zoning	OST	Retail Overlay	Yes	
Use (Sec. 2302A)	Uses permitted in the B-1 District and Restaurants uses	Sit-down restaurant	Yes	Public Hearing required.
Building Height (Sec. 2400)	3 stories or 46 feet	30'	Yes	
Retail Service Overlay Provisions (Sec. 2302A.2)				
Access points	Access shall be provided from a public or private local street or collector road that loops between two arterials	Access provided from adjacent planned collector road	Yes	
Open Space	Min. 15% of site shall be maintained as open space	36.7%	Yes	
Max. % retail use	Retail uses shall not exceed 25% of the total floor space in any polygon identified for Retail Service Overlay in the Master Plan	Area is largely undeveloped at this time	Yes	
Façade	Architectural design and facade materials shall be compatible with and complementary to other developed buildings in the area			See façade review comments for additional information.
Building Setbacks (Section 2400)				
Front (west)	50 feet	62 feet	Yes	
Exterior Side (north)	50 feet	15 feet	No	The applicant has indicated they will seek a variance from the Zoning

Item	Required	Proposed	Meets Requirements?	Comments
				Board of Appeals.
Interior Side (south)	50 feet	50 feet	Yes	
Rear (east)	50 feet	269 feet	Yes	
Parking Setbacks (Section 2400)				
Front (west)	20 feet	147 feet	Yes	
Exterior Side (north)	20 feet	20 feet	Yes	
Interior Side (south)	20 feet	20 feet	Yes	
Rear (east)	20 feet	20 feet	Yes	
Number of Parking Spaces (Sec. 2505)	<p>One for each 70 sq. ft. GFA or one for each two employees plus one for each two customers allowed under max. capacity</p> <p>5,700 sq. ft. / 70 = 81 spaces</p> <p>At least 81 spaces required</p>	82 spaces proposed	Yes?	<p>The applicant should be aware that parking calculations could change based on the occupant load calculations and the number of employees in the largest working shift.</p> <p>The Building Division will need to confirm the occupant load calculations as part of the Preliminary Site Plan submittal.</p>
Parking Space Dimensions (Sec. 2506)	<p>9' x 19' parking space dimensions and 24' wide drives for 90° parking layout.</p> <p>(9' x 17' if overhang on 7' wide interior sidewalk or landscaped area as long as detail indicates 4" curb)</p> <p>8' x 23' parking space dimensions and 13' drives for 0° parking layout</p>	<p>9' x 19' and 9'x 17' for 90° layout with 24' wide drives</p> <p>8' x 23' for 0° layout</p>	Yes	The applicant should include a 7' sidewalk adjacent to the proposed barrier free spaces. See the traffic review for additional information.
Barrier Free Spaces (Barrier Free)	3 standard barrier free space	4 barrier free (2 van accessible)	Yes	

Item	Required	Proposed	Meets Requirements?	Comments
Code)	1 van accessible barrier free space			
Barrier Free Space Dimensions (Barrier Free Code)	8' wide with a 5' wide access aisle (8' wide access aisle for van accessible)	8' wide with a 5' wide access aisle 8' wide access aisle for van accessible	Yes	
Barrier Free Signs (Barrier Free Design Graphics Manual)	One barrier free sign is required per space.	Barrier free signs shown	Yes	
Loading Space Screening	View of loading and waiting areas must be shielded from rights of way and adjacent properties.	Loading space screened with landscape.	Yes	
Accessory Structure Setback- Dumpster (Sec. 2503)	Accessory structures should be setback a minimum of 10 feet from any building unless structurally attached to the building and setback the same as parking from all property lines; in addition, the structure must be in the rear or interior side yard.	Dumpster enclosure setback adequately and located in the interior side yard of a double-fronted lot.	Yes	
Dumpster (Chap. 21, Sec. 21-145)	Screening of not less than 5 feet on 3 sides of dumpster required, interior bumpers or posts must also be shown. Enclosure to match building materials and be at least one foot taller than height of refuse bin.	Dumpster screening to meet ordinance requirements provided.	Yes	

Item	Required	Proposed	Meets Requirements?	Comments
Exterior Signs	Exterior Signage is not regulated by the Planning Division or Planning Commission.			Please contact <u>Jeannie Niland</u> (248.347.0438).
Exterior Lighting (Sec. 2511)	Photometric plan and exterior lighting details needed at final site plan.	Photometric plan not provided.		Photometric plan required at time of Final Site Plan submittal.
Sidewalks (City Code Sec. 11-276(b))	Building exits must be connected to sidewalk system or parking lot. A 5' sidewalk is required along the proposed collector road.	Connection proposed. Sidewalk does not extend to the property line.	No	Applicant should extend the sidewalk to the east property line or provide funds in an escrow account so that the sidewalk can be extended at a future date.

Prepared by Kristen Kapelanski, (248) 347-0586 or kkapelanski@cityofnovi.org

Seal: _____

Title:
Site Plan

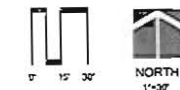
Project:
**Tom's Bar and Grill
 Novi, Michigan**

Prepared for:
 A.P. Land Holdings LLC
 33322 Cigna Blvd
 Novi, MI 48167

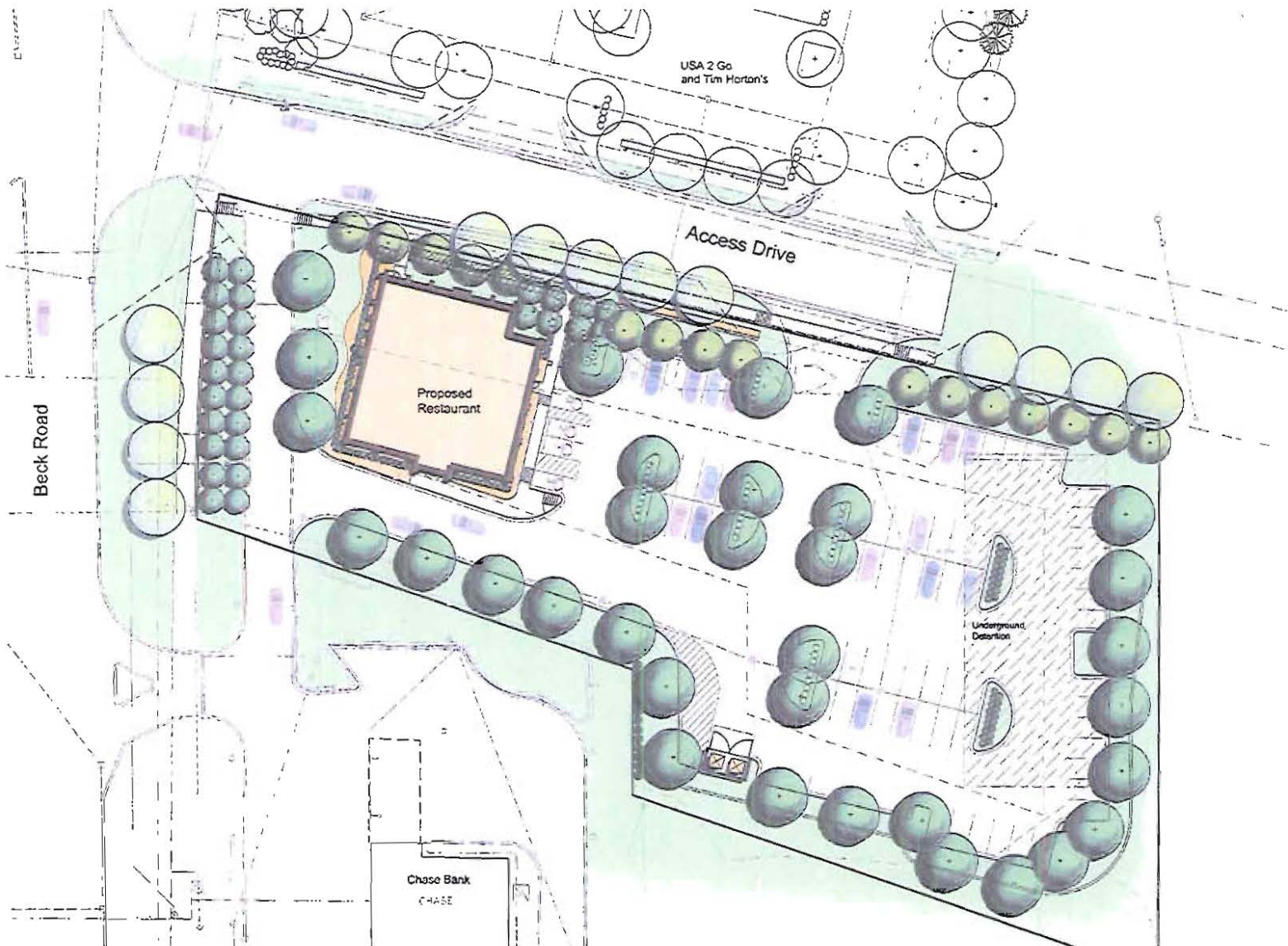
Revision: _____ Issued: _____
 Landscape: June 17, 2013
 Revised: May 12, 2013

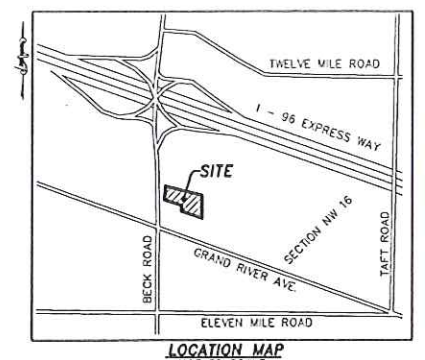
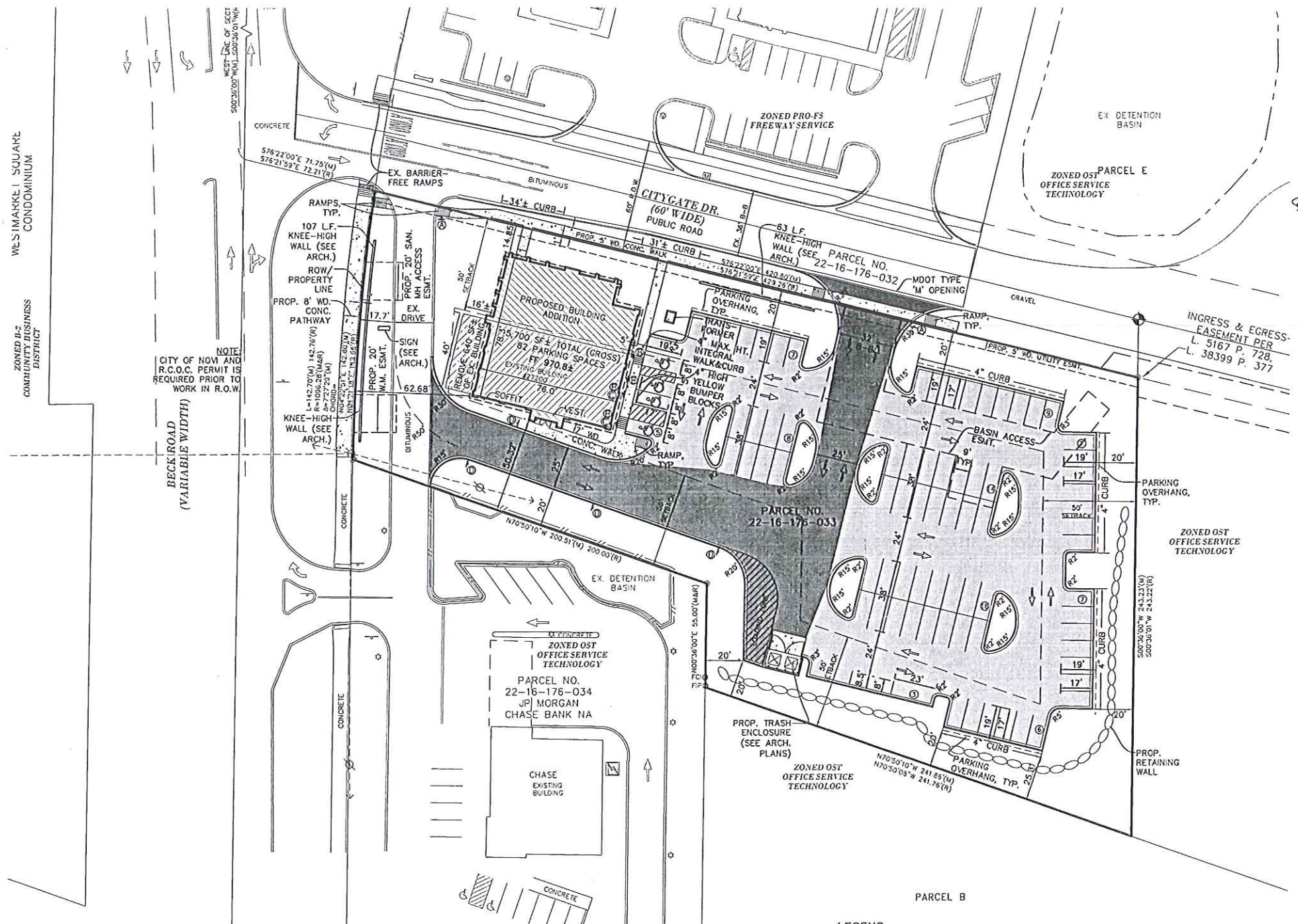
Job Number:
 12-177

Drawn By: _____ Checked By: _____
 JA JA



Sheet No. _____





PARCEL ID: 50-22-16-176-033

SITE DATA:
 SITE AREA: 1.88± ACRES GROSS
 EXISTING ZONING: OST - OFFICE SERVICE TECHNOLOGY
 PROPOSED ZONING: OST - OFFICE SERVICE TECHNOLOGY WITH RSD - RETAIL SERVICE OVERLAY
 PROPOSED BUILDING: 2,954 S.F. ± EXISTING BUILDING AREA TO REMAIN
 2,218 S.F. ± BUILDING ADDITION AREA
 5,700 S.F. ± TOTAL (GROSS BUILDING AREA)
 REQUIRED BUILDING SETBACKS:
 50' FRONT MIN. (WEST)
 50' FRONT MIN. (NORTH)
 50' SIDE MIN. (SOUTH)
 50' REAR MIN. (EAST)
 PROPOSED BUILDING SETBACKS:
 62.68' FRONT MIN. (WEST)
 14.85' FRONT MIN. (NORTH) 35.15' VARIANCE RED'D
 50.32' SIDE MIN. (SOUTH)
 268.9' REAR MIN. (EAST)
 REQUIRED PARKING SETBACKS:
 20' FRONT MIN. (WEST)
 20' FRONT MIN. (NORTH)
 20' SIDE MIN. (SOUTH)
 20' REAR MIN. (EAST)
 REQUIRED PARKING:
 SIT DOWN RESTAURANT
 ONE (1) FOR EACH SEVENTY (70) SQUARE FEET GROSS FLOOR AREA (14.3 SPACES PER ONE THOUSAND (1,000) SQUARE FEET), OR ONE (1) FOR EACH TWO (2) EMPLOYEES, PLUS ONE (1) FOR EACH TWO (2) CUSTOMERS ALLOWED UNDER MAXIMUM CAPACITY (INCLUDING WAITING AREAS), WHICHEVER IS GREATER
 PARKING REQUIRED:
 SCENARIO 1: 5,700 S.F. / 70 S.F. PLUS
 =81 PARKING SPACES
 PARKING PROVIDED: =82 PARKING SPACES
 (INCLUDES 4 H.C. SPACES)

NOTES:
 1) ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.
 2) ROOFTOP EQUIPMENT MUST BE SCREENED PER ORDINANCE REQUIREMENTS.
 3) EXTERIOR LIGHTING MUST COMPLY WITH SECTION 2511 OF THE CITY OF NOVI CODE.
 4) RIGHT OF WAY PERMIT IS REQUIRED FROM THE CITY OF NOVI FOR ANY WORK IN CITYGATE DRIVE OR BECK ROAD, RIGHT-OF-WAY.
 5) RIGHT OF WAY PERMIT IS REQUIRED FROM THE ROAD COMMISSION FOR OAKLAND COUNTY FOR ANY WORK IN BECK ROAD RIGHT-OF-WAY.
 6) ALL SIGNS SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES (CHAPTER 28) OF THE CITY OF NOVI, AND WHERE REQUIRED SHALL BE RENEWED AND APPROVED BY THE DEPARTMENT OF BUILDING AND SAFETY AND A PERMIT ISSUED.
 7) ALL PARKING AND TRAFFIC CONTROL SIGNS SHALL COMPLY WITH THE DESIGN AND PLACEMENT REQUIREMENTS OF THE "2011 MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (2011 MUTCD).
 8) NOTIFY THE CITY OF NOVI A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
 9) CALL MISS DIG (800) 482-7171 A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
 10) ALL SOIL EROSION AND SILT MUST BE CONTROLLED AND CONTAINED ON-SITE.
 11) ALL EXCAVATION UNDER OR WITHIN A 1 ON 1 INFLUENCE OF PUBLIC PAVEMENT, EXISTING OR PROPOSED, SHALL BE BACKFILLED AND COMPACTED WITH SAND (CLASS II WDOT).
 12) THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES.
 13) PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT, ENGINEERING SITE INSPECTION IS REQUIRED.
 14) IF DEWATERING IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION THE CONTRACTOR IS REQUIRED TO SUBMIT A DEWATERING PLAN TO THE CITY ENGINEERING DIVISION FOR REVIEW.
 15) DIMENSIONS OF PARKING STALLS (LENGTH AS WELL AS WIDTH) ABUTTING A CURB OR SIDEWALK ARE TO THE FACE OF CURB OR WALK. ALL OTHER DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE INDICATED.

FIRE DEPARTMENT NOTES:
 1) ALL ROADS ARE TO BE PAVED PRIOR TO CONSTRUCTION ABOVE THE FOUNDATION.
 2) ALL WATER MAINS AND FIRE HYDRANTS ARE TO BE INSTALLED AND BE IN SERVICE PRIOR TO CONSTRUCTION ABOVE THE FOUNDATION.
 3) THE BUILDING ADDRESS IS TO BE POSTED FACING THE STREET THROUGHOUT CONSTRUCTION. THE ADDRESS IS TO BE AT LEAST 3 INCHES HIGH ON A CONTRASTING BACKGROUND.

COMMERCIAL SITE LAYOUT, SITE DESIGN, BOUNDARY SURVEYS, TOPOGRAPHIC SURVEYS, INDUSTRIAL & MULTI-UNIT LAND SURVEYING, CONSTRUCTION LAYOUT

RESIDENTIAL SITE LAYOUT, BOUNDARY SURVEYS, TOPOGRAPHIC SURVEYS, MULTI-FAMILY PLOT PLANS, CONSTRUCTION LAYOUT

ALPINE ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS

48892 WEST ROAD
 SUITE 109
 NOVI, MICHIGAN 48377

(248) 926-3701 (BUS)
 (248) 926-3765 (FAX)
 WWW.ALPINE-INC.NET

3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 1.800.482.7171 (TOLL FREE)

A.P. LAND HOLDINGS, LLC

PRELIMINARY SITE PLAN

CLIENT: A.P. LAND HOLDINGS, LLC

REVISIONS:
 2012/07/18 PRE-APP. SUBMITTAL
 2013/05/13 P&P SUBMITTAL

DATE: 2012-06-15

DRAWN BY: TG

CHECKED BY: TG/JP

SCALE: HOR 1"=30 FT. VER 1"=10 FT.

2

TRAFFIC SIGNING REQUIREMENTS

ITEM	MUTCD CODE	QUANTITY	SIZE	DESCRIPTION
(A)	R1-1	2	24"x24"	STOP
(B)	R7-8	4	12"x18"	RESERVED HANDICAP PARKING ONLY
(C)	R7-8P	2	12"x6"	VAN ACCESSIBLE
(D)	R7-9A MOD	4	12"x18"	NO PARKING FIRE LANE

TRAFFIC SIGNING AND STRIPING REQUIREMENTS

- ALL PERMANENT AND TEMPORARY TRAFFIC SIGNAGE & STRIPING SHALL COMPLY WITH THE 2011 MUTCD.
- MARKINGS FOR HANDICAPPED PARKING SPACES SHALL BE BLUE AND MARKINGS FOR NON-HANDICAPPED PARKING SPACES SHALL BE WHITE.
- REGULAR PARKING SPACES ADJACENT TO RAISED ISLANDS SHALL BE 9 FEET WIDE TO FACE OF CURB, AND BARRIER-FREE PARKING SPACES ADJACENT TO RAISED ISLANDS SHALL BE 8 FEET WIDE TO FACE OF CURB.
- SOLID ARROWS INDICATE WHERE ARROWS ARE PROPOSED AS PART OF THE STRIPING PLAN; HOLLOW ARROWS ARE PROVIDED TO DENOTE TRAFFIC FLOW DIRECTION.

PAVING LEGEND		BUILDING LEGEND	
[Pattern]	CONCRETE	[Pattern]	EXISTING BUILDING
[Pattern]	ASPHALT PARKING AREA	[Pattern]	BUILDING ADDITION
[Pattern]	HEAVY DUTY ASPHALT	[Pattern]	BUILDING DEMO AREA

LEGEND

[Symbol]	EXISTING STORM	[Symbol]	FINISH FLOOR
[Symbol]	EXISTING WATER MAIN	[Symbol]	PROP. DRAINAGE ARROW
[Symbol]	EXISTING SANITARY	[Symbol]	PROP. TOP OF PAVEMENT ELEV.
[Symbol]	EXISTING GAS	[Symbol]	PROP. TOP OF CURB ELEV.
[Symbol]	EX. CATCH BASIN	[Symbol]	PROP. OUTER ELEV.
[Symbol]	EX. MANHOLE	[Symbol]	PROP. TOP OF WALK ELEV.
[Symbol]	EX. END SECTION	[Symbol]	PROP. SPOT ELEV.
[Symbol]	EX. WATER SHUT-OFF	[Symbol]	PROP. CONTOUR
[Symbol]	EX. HYDRANT	[Symbol]	PROP. CATCH BASIN
[Symbol]	EX. GATE VALVE	[Symbol]	PROP. MANHOLE
[Symbol]	EX. WELL	[Symbol]	PROP. END SECTION
[Symbol]	EX. CLEANOUT	[Symbol]	PROP. STORM SEWER
[Symbol]	EX. VENT	[Symbol]	PROP. SANITARY SEWER
[Symbol]	EX. POWER LINE	[Symbol]	PROP. WATER MAIN
[Symbol]	EX. CURB	[Symbol]	PROP. GATE VALVE NUMBER
[Symbol]	EX. TRAFFIC SIGNAL	[Symbol]	PROP. HYDRANT
[Symbol]	EX. UTILITY POLE	[Symbol]	PROP. SAN. STR. NUMBER
[Symbol]	EX. LIGHT POLE	[Symbol]	PROP. STM. STR. NUMBER
[Symbol]	EX. POST	[Symbol]	PROP. HYDRANT NUMBER
[Symbol]	EX. SIGN	[Symbol]	PITCH IN CURB AND GUTTER
[Symbol]	EX. GUY WIRE	[Symbol]	PITCH OUT CURB AND GUTTER
[Symbol]	FOUND IRON	[Symbol]	
[Symbol]	EX. AIR CONDITIONING UNIT	[Symbol]	
[Symbol]	EX. TRANSFORMER	[Symbol]	
[Symbol]	EX. ELECTRIC METER	[Symbol]	
[Symbol]	EX. ELECTRIC	[Symbol]	
[Symbol]	EX. TREE	[Symbol]	
[Symbol]	EX. GAS FLAG	[Symbol]	
[Symbol]	EX. BOLLARD	[Symbol]	
[Symbol]	EX. TELE. PEDESTAL	[Symbol]	
[Symbol]	EX. MAILBOX	[Symbol]	
[Symbol]	EX. FENCE	[Symbol]	

NOTICE:
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.



NOTE:
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.