



CITY of NOVI CITY COUNCIL

Agenda Item L
May 6, 2019

SUBJECT: Approval of a deviation from Subdivision Ordinance, Appendix C, Section 4.04 for the lack of a secondary connection at an interval exceeding one thousand three hundred feet for the site plan associated with Woodbridge Park (parcel 50-22-26-300-015) located at the northeast corner of 9 Mile and Novi Road.

SUBMITTING DEPARTMENT: Department of Public Works, Engineering Division

CITY MANAGER APPROVAL: *VPA*

BACKGROUND INFORMATION:

The applicant, Pulte Homes of Michigan, LLC, is proposing a 40-unit multi-family residential development with frontage and access to Nine Mile Road. The subject property is approximately 9 acres and is located at the northeast corner of 9 Mile and Novi Road. Private roads are proposed to serve the development. The development also proposes a connection to the Shiro restaurant parking lot located to the east for secondary emergency access only.

The Planning Commission approved a development plan on May 23, 2018, subject to City Council approval for the lack of a stub street or connection to adjacent existing residential development to the north. The site grading and layout plans from the Final Site Plan are attached.

Staff supports approval of the requested deviation from Subdivision Ordinance, Appendix C, Section 4.04.A.1, since the connection to the existing residential development to the north is impractical due to topography, dimensions and other natural features associated with the subject property.

RECOMMENDED ACTION: Approval of a deviation from Subdivision Ordinance, Appendix C, Section 4.04 for the lack of a secondary connection at an interval exceeding one thousand three hundred feet for the site plan associated with Woodbridge Park (parcel 50-22-26-300-015) located at the northeast corner of 9 Mile and Novi Road.

Woodbridge Park

Location Map



Parcel 22-26-300-015

Novil Road

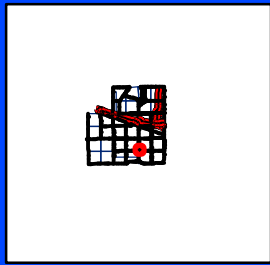
Nine Mile Road

Map Author: D. Rechten
Date: 02/12/2019
Project:
Version #:

Amended By:
Date:
Department:

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.



City of Novi
Engineering Division
Department of Public Works
26300 Lee BeGole Drive
Novi, MI 48375
cityofnovi.org



1 inch = 167 feet

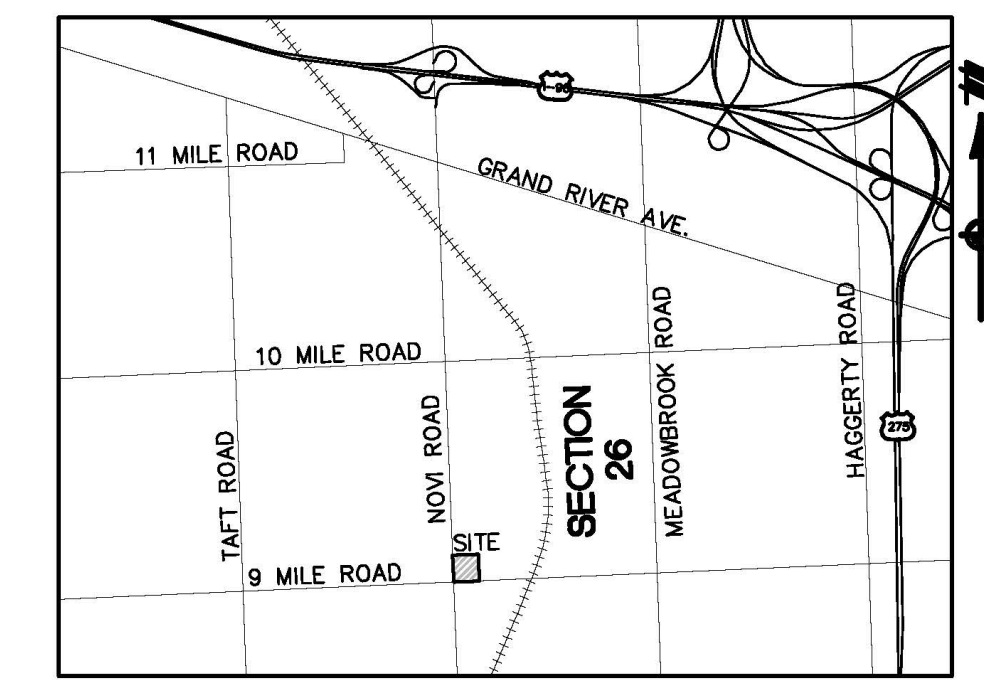




FINAL SITE PLAN

WOODBIDGE PARK

A MULTI-FAMILY RESIDENTIAL DEVELOPMENT
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN



LOCATION MAP
1" = 500'

DEVELOPER/APPLICANT

PULTE HOMES OF MICHIGAN, LLC.
100 BLOOMFIELD HILLS PARKWAY, SUITE 150
BLOOMFIELD HILLS, MICHIGAN 48304
CONTACT: JOE SKORE
PHONE: (248) 249-4611

ENGINEER

ATWELL, LLC
311 NORTH MAIN STREET
ANN ARBOR, MICHIGAN 48104
CONTACT: MATTHEW W. BUSH, PE
PHONE: (734) 994-4000

DEVIATIONS

THE FOLLOWING DEVIATIONS REQUIRE APPROVAL BY THE CITY OF NOVI:

APPROVAL GRANTED BY	DEVIATION GRANTED
ZONING BOARD OF APPEALS	PERIMETER SETBACK - [SECTION 3.17.D] 40 FEET BUILDING SETBACK ALONG NORTH PROPERTY LINE 37 FEET BUILDING SETBACK ALONG WEST PROPERTY LINE 27 FEET BUILDING SETBACK ALONG EAST PROPERTY LINE
CITY COUNCIL	BUILDING ORIENTATION - [SECTION 3.8.2.D] PERIMETER BUILDINGS ORIENTED AT ANGLES LESS THAN 45° SIDEWALKS - [ENGINEERING DESIGN MANUAL SECTION 7.4.2.C.1] 12.5 FEET FROM BACK OF CURB TO OUTSIDE EDGE OF SIDEWALK STUB STREETS - [NOVI SUBDIVISION ORD. APPENDIX C, SECTION 4.04] NO SECONDARY STUB STREET IS BEING PROVIDED
PLANNING COMMISSION	DRIVE TAPER LENGTH - [DESIGN AND CONST. STANDARDS FIGURE IX.5] 7.5' LONG TAPER PROPOSED DRIVE SEPARATION - [ENGINEERING DESIGN MANUAL, FIGURE IX.12] 141 FEET BETWEEN DRIVES ON SAME SIDE OF NINE MILE 188 FEET BETWEEN DRIVE ON OPPOSITE SIDE OF NINE MILE

SITE DATA

ZONING	EXISTING ZONING	RM-1
FUTURE ZONING	MULTIPLE FAMILY (9.3 DU/ACRE)	
PROPOSED ZONING	RM-1	
GROSS SITE AREA	9.23 ACRES ±	
R.O.W. AREA	1.66 ACRES ±	
WETLANDS AREA	0.09 ACRES ±	
NET SITE AREA	7.48 ACRES ±	
DENSITY		
PROPOSED UNITS	40 UNITS	
RM-1 ALLOWABLE UNIT DENSITY	5.4 DU/ACRE	(BASED ON ROOM COUNT)
DENSITY - PROPOSED (GROSS)	4.3 DU/ACRE ±	
DENSITY - PROPOSED (NET)	5.3 DU/ACRE ±	
TOTAL OPEN SPACE AREA*	177,100 SF	
USABLE OPEN SPACE AREA *	21,540 SF	(8,000 SF MIN)
MINIMUM BUILDING COVERAGE	54,102 SF	
MAXIMUM LOT AREA COVERED (NET)	17 %	(25% MAX)

* EXCLUDES STORMWATER DETENTION BASINS, WETLANDS, AND ROAD R.O.W.

SETBACKS	BLDG. TO BLDG.	30 FEET MIN
BLDG. TO PROPERTY LINE (REAR - EAST)	27 FEET	(75 FEET MIN)
BLDG. TO PROPERTY LINE (SIDE - NORTH)	40 FEET	(75 FEET MIN)
BLDG. TO NOVI ROAD R.O.W.	37 FEET	(50 FEET MIN)

BUILDING SIZE	HIGHT	32 FEET	(MAX)
LENGTH	144 FEET		(MAX)
STORIES	2		
FLOOR AREA PER UNIT	1,860 SF		(900 SF MIN; 3 BEDROOM)

PARKING	PARKING SPACES (UNITS)	160 SPACES*
STREET PARKING NEAR MAILBOXES	5 SPACES	
PARKING SPACES (TOTAL)	165 SPACES	(100 REQUIRED, 2.5 PER UNIT)
BIKE PARKING	8 SPACES	(8 REQUIRED, 1 PER 5 UNITS)

NET SITE AREA	=	7.51 ACRES
NUMBER OF ROOMS PER UNIT	=	4 ROOMS
PROPOSED UNITS	=	40 UNITS
NUMBER OF ROOMS	=	160 ROOMS
RM ALLOWABLE NUMBER OF ROOMS	=	169 (NET / 2,000 PER 3.8.1.A)



OVERALL PLAN
NO SCALE

ESTIMATED QUANTITIES

WATER	Quantity	Unit	STORM	Quantity	Unit
8" D.I. CL. 54 Water Main	1,102	L.F.	8" Storm Lead PVC	690	L.F.
Hydrant Assembly	6	EA.	12" C-76 RCP Storm Sewer	1,420	L.F.
8" Gate Valve in Well	7	EA.	15" C-76 RCP Storm Sewer	188	L.F.
Connection to Existing	2	EA.	24" C-76 RCP Storm Sewer	77	L.F.
2" Type "K" Water Lead	505	L.F.	12" Concrete Flared End Section	2	EA.
			24" Concrete Flared End Section	1	EA.
			Storm Structure	25	EA.
SANITARY	Quantity	Unit	PAVING	Quantity	Unit
8" PVC SDR 26	636	L.F.	Bituminous Surface Course (1.5")	3,880	S.Y.
6" PVC SDR 26	460	L.F.	Bituminous Base Course (3.5")	3,880	S.Y.
Sanitary Manhole	5	EA.	10" 21AA Aggregate Base	3,880	S.Y.
			Concrete Curb & Gutter	9,805	L.F.
			Concrete Sidewalk, 5' wide (4" conc.)	10,630	S.F.

SHEET INDEX

01 COVER SHEET	23 SOIL EROSION & SEDIMENT CONTROL DETAILS & NOTES
02 GRADING PLAN	24 LANDSCAPE PLAN
03 UTILITY PLAN	25 LANDSCAPE PLAN
04 ROAD PROFILE - OSPREY DRIVE & HERON DRIVE	26 LANDSCAPE PLAN
05 ROAD PROFILE - WOODBRIDGE LANE	27 LANDSCAPE PLAN
06 SANITARY SEWER PLAN & PROFILE 1	28 LANDSCAPE PLAN
07 WATERMAIN PLAN & PROFILE 1	29 TRAFFIC CONTROL PLAN
08 WATERMAIN PLAN & PROFILE 2	A1 BUILDING ELEVATIONS
09 STORM SEWER PLAN & PROFILE - EAST	A2 BUILDING ELEVATIONS
10 STORM SEWER PLAN & PROFILE - SOUTH	A3 BUILDING ELEVATIONS
11 STORM SEWER PLAN & PROFILE - NORTH	DT-1 CITY OF NOVI WATERMAIN DETAILS
12 STORMWATER MANAGEMENT ASSESSMENT PLAN	DT-2 CITY OF NOVI WATERMAIN DETAILS
13 STORMWATER CONVEYANCE & UTILITY TABLES	DT-3 CITY OF NOVI WATERMAIN DETAILS
14 INTERSECTION PLAN	DT-4 CITY OF NOVI WATERMAIN DETAILS
15 LAYOUT PLAN	DT-5 CITY OF NOVI WATERMAIN DETAILS
16 EXISTING CONDITIONS & DEMOLITION SHEET	DT-6 CITY OF NOVI SANITARY SEWER DETAILS
17 FRONTAGE PLAN	DT-7 CITY OF NOVI SANITARY SEWER DETAILS
18 DETAILS	DT-8 CITY OF NOVI SANITARY SEWER DETAILS
19 WOODLAND ANALYSIS	DT-9 CITY OF NOVI STORM SEWER DETAILS
20 TREE LIST	DT-10 CITY OF NOVI STORM SEWER DETAILS
21 FIRE PROTECTION PLAN	DT-11 CITY OF NOVI PAVEMENT DETAILS
22 SOIL EROSION & SEDIMENT CONTROL PLAN	DT-12 CITY OF NOVI PAVEMENT DETAILS
	1 OF 1 PHOTOMETRIC SITE PLAN (BY OTHERS)
	OCWRC SOIL EROSION CONTROL DETAIL SHEET
	IRRIGATION PLAN

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE CITY OF NOVI'S CURRENT STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR MUST OBTAIN A PERMIT FROM THE CITY OF NOVI FOR ANY WORK WITHIN THE RIGHT-OF-WAY OF 9 MILE ROAD AND A PERMIT FROM THE ROAD COMMISSION FOR OAKLAND COUNTY AND THE CITY OF NOVI FOR THE SANITARY SEWER CONNECTION IN THE NOVI ROAD RIGHT OF WAY.
- ALL PAVEMENT MARKINGS, TRAFFIC CONTROL SIGNS, AND PARKING SIGNS SHALL COMPLY WITH THE DESIGN AND PLACEMENT REQUIREMENTS OF THE 2011 MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- TWO (2) COPIES OF AS-BUILT PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER WITHIN THIRTY (30) DAYS OF COMPLETION OF THE UTILITY INSTALLATION AS PER SECTION 31-7 (a) CITY OF NOVI ORDINANCE.
- PROPOSED STREETS AND DRIVES ARE TO BE PRIVATE.

FIRE DEPARTMENT NOTES

- ALL FIRE HYDRANTS AND WATER MAINS SHALL BE INSTALLED AND IN SERVICE PRIOR TO ABOVE FOUNDATION BUILDING CONSTRUCTION.
- ALL ROADS SHALL BE PAVED AND CAPABLE OF SUPPORTING 35 TONS PRIOR TO CONSTRUCTION ABOVE FOUNDATION.
- BUILDING ADDRESSES SHALL BE POSTED FACING THE STREET DURING ALL PHASES OF CONSTRUCTION. ADDRESSES SHALL BE A MINIMUM OF THREE INCHES IN HEIGHT ON A CONTRASTING BACKGROUND.
- PROVIDE 4"-6" DIAMETER OF CONCRETE FILLED STEEL POST 48" ABOVE FINISH GRADE AT EACH HYDRANT AS REQUIRED.
- FIRE LANES SHALL BE POSTED WITH "FIRE LANE - NO PARKING" SIGNS IN ACCORDANCE WITH ORDINANCE #65.99.02.

PROJECT NARRATIVE

THE DEVELOPMENT IS PROPOSED TO BE AN EXCLUSIVE MULTI-FAMILY RESIDENTIAL COMMUNITY LOCATED ON AN APPROXIMATE 9-ACRE PARCEL IN THE CITY OF NOVI, OAKLAND COUNTY, MICHIGAN. THE PROPOSED PARCEL IS LOCATED AT THE NORTHEAST CORNER OF NINE MILE ROAD AND NOVI ROAD. THE PROPERTY IS PROPOSED TO BE DEVELOPED BY HOMEBUILDERS, PULTE HOMES. THE SUBJECT PARCEL IS CURRENTLY UNDEVELOPED AND CONTAINS LOW AND MEDIUM QUALITY WOODLANDS AND A STREAM FLOWS THROUGH THE SOUTH WEST CORNER OF THE SITE. THE STREAM AND HIGHER QUALITY TREES WILL BE PRESERVED.

THE DEVELOPMENT IS PROPOSED USING THE EXISTING RM-1 ZONING TO ALLOW FOR A MULTI-FAMILY HOUSING USE. LANDSCAPE BUFFERS WILL BE PROVIDED ON THE SIDES OF THE DEVELOPMENT BUFFERING THE PROPERTY FROM THE ADJACENT USES. A SIDEWALK WILL BE PROVIDED ALONG THE FRONTAGE OF NINE MILE ROAD, FROM THE PROJECT ENTRANCE OUT THE NOVI ROAD SIDEWALK.

THE DEVELOPMENT WILL CONTAIN PRIVATE ROADS AND IS ALSO PROPOSED TO BE SERVED BY PUBLIC SEWER AND WATER LOCATED WITHIN THE NOVI ROAD AND NINE MILE ROAD RIGHT-OF-WAYS. STORM WATER MANAGEMENT IS PROPOSED TO BE ADDRESSED THROUGH THE CONSTRUCTION OF A DETENTION BASIN IN THE SOUTHERN PORTION OF THE SITE. THE DETENTION POND WILL BE DESIGNED IN ACCORDANCE WITH THE CITY'S REQUIREMENTS FOR 100-YEAR DETENTION.

THE DEVELOPMENT IS PLANNED TO BE CONSTRUCTED IN ONE PHASE.



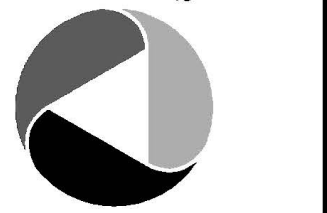
Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND ADDRESS TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF ANY PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2019 ATWELL, LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL, LLC.

ATWELL
866.850.4200 www.atwell-group.com
311 NORTH MAIN STREET
ANN ARBOR, MI 48104
734.994.4000



SECTION 26
TOWN 1 NORTH, RANGE 8 EAST
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN

PULTE HOMES OF MICHIGAN, LLC
WOODBIDGE PARK
FINAL SITE PLAN
COVER SHEET

DATE
NOVEMBER 9, 2018

2018-11-27 PER CITY
2019-01-04 UTIL. PERM.
2019-01-18 PER CITY
2019-03-01 PER CITY

REVISIONS

NO	DATE	DESCRIPTION
NA	NA	NA
NA	NA	NA
NA	NA	NA

DRAWN BY: KS
CHECKED BY: SS

P.M.: MB
JOB #: 17001466

SHEET NO. 01



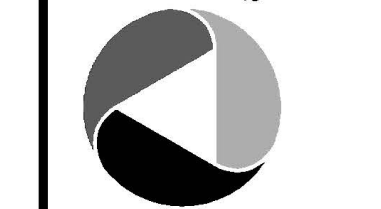
Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2019 ATWELL, LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL, LLC.

ATWELL
866.850.4200 www.atwell-group.com
311 NORTH MAIN STREET
ANN ARBOR, MI 48104
734.994.4000

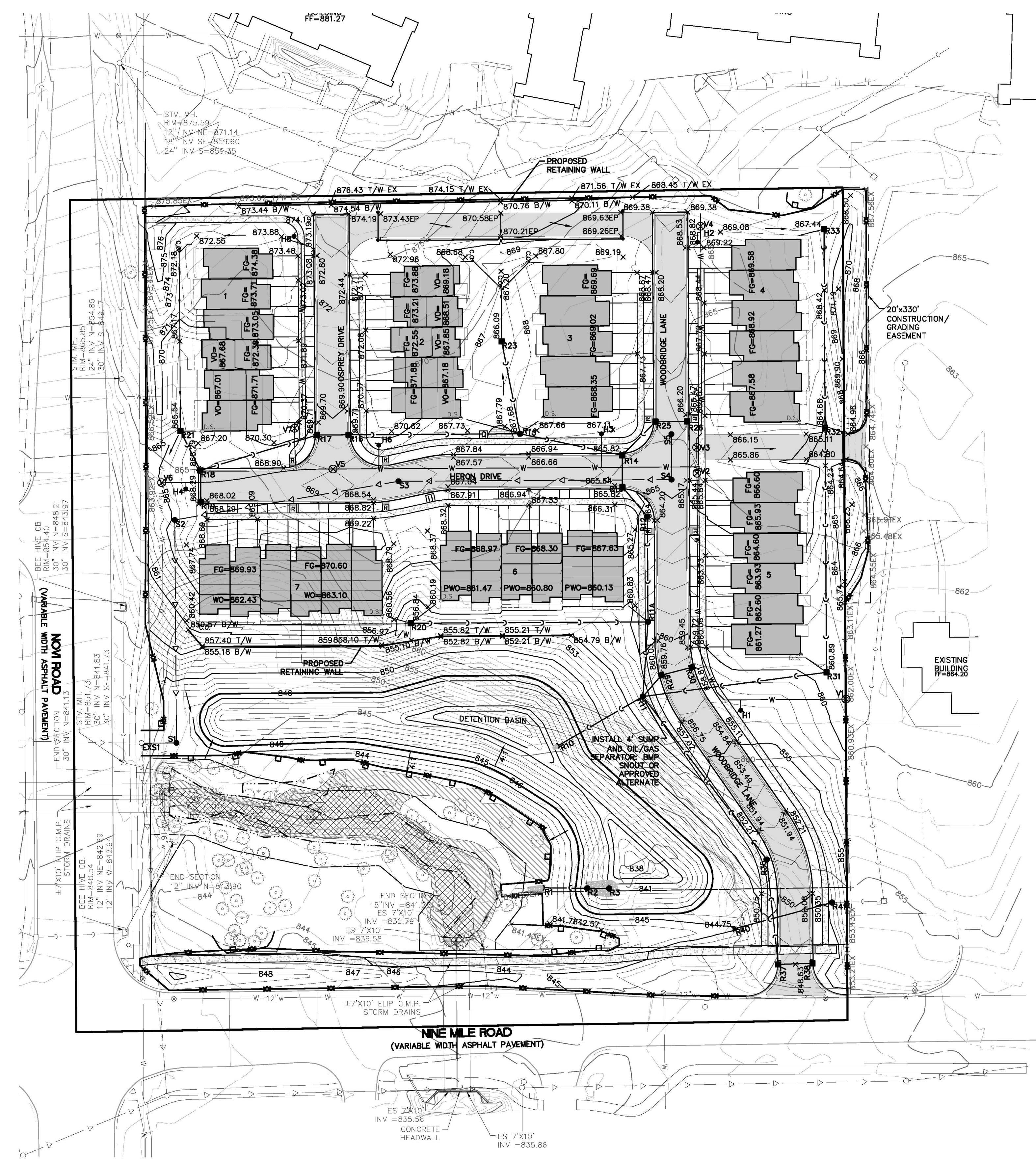
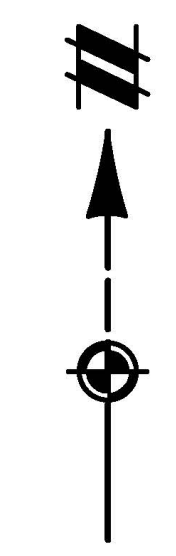


SECTION 26
TOWN 1 NORTH, RANGE 8 EAST
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN

PULTE HOMES OF MICHIGAN, LLC
WOODBRIDGE PARK
FINAL SITE PLAN
GRADING PLAN

DATE
NOVEMBER 9, 2018
2018-11-27 PER CITY
2019-01-04 UTIL. FERM.
2019-01-18 PER CITY
2019-03-01 PER CITY

REVISIONS
SCALE: 1" = 50 FEET
DRAWN BY: KS
CHECKED BY: SS
P.M.: MB
JOB #: 17001466
SHEET NO. 02



GRADING NOTES

1. THE RIGHT-OF-WAY PATHWAY WILL MATCH EXISTING GRADE AT BOTH ENDS.
2. WETLAND BUFFERS IMPACTED BY CONSTRUCTION SHALL BE RESTORED WITH THE WETLAND EDGE SEED MIX SPECIFIED ON SHEET 23 OR APPROVED ALTERNATE.
3. TEMPORARY STOCKPILING OF MATERIAL IS NOT ANTICIPATED. IF NEEDED, STOCKPILES WILL BE PLACED IN THE LOCATION OF THE PERMANENT BERMS AND TEMPORARY SILT FENCE SHALL BE INSTALLED SURROUNDING ANY STOCKPILE MATERIAL.
4. SLOPES STEEPER THAN 1V:6H SHALL BE STABILIZED WITH EROSION CONTROL BLANKET.
5. ALL CULVERT END SECTIONS MUST BE PROVIDED WITH GROUTED RIPRAP IN ACCORDANCE WITH CITY ORDINANCE SPECIFICATIONS.
6. INSTALLATION OF SILT FENCING AND TREE FENCING SHALL NOT OCCUR PRIOR TO THE INITIAL CITY PRECONSTRUCTION MEETING.
7. RETAINING WALLS SHALL BE BOULDER TYPE OR APPROVED OTHER. DESIGN TO BE PROVIDED BY OTHERS. ALL RETAINING WALLS TO BE LESS THAN 48-INCHES IN HEIGHT.
8. IT IS THE DEVELOPER'S RESPONSIBILITY TO GRADE AND STABILIZE DISTURBANCES DUE TO THE INSTALLATION OF PUBLIC UTILITIES.
9. 8" SDR 26 PVC STORM BUILDING LEADS ARE TO BE LAID AT 0.5% MINIMUM AND ARE INTENDED TO COLLECT DOWNSPOUTS AND SUMP DISCHARGES WHERE APPLICABLE.

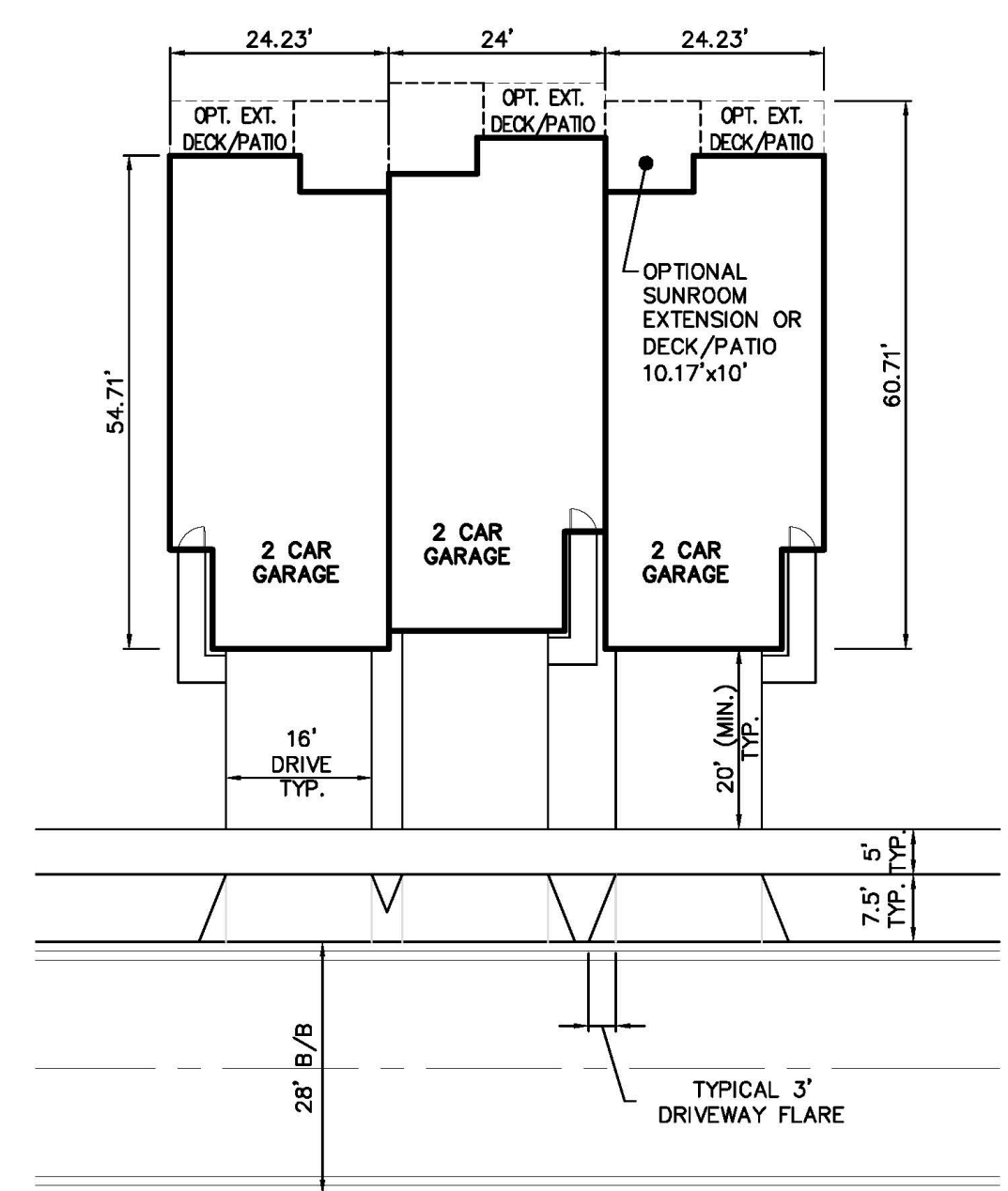
LEGEND

	BOUNDARY LINE		EXIST. CULVERT
	EXIST. EASEMENT		EXIST. CATCH BASIN/INLET
	SECTION LINE		EXIST. HYDRANT
	BOUNDARY/PROPERTY LINE		EXIST. VALVE
	EXIST. SETBACK		EXIST. SANITARY SEWER
	EXIST. CONTOUR		PROP. SETBACK
	EXIST. TREE LINE		PROP. BUILDING
	EXIST. CURB AND GUTTER		PROP. BUILDING INTERIOR
	EXIST. FENCE		PROP. WALL
	EXIST. GRAVEL		PROP. PARKING STRIPE
	EXIST. BUILDING		PROP. BACK OF CURB
	EXIST. WETLAND		PROP. ASPHALT
	EXIST. FLOODPLAIN		PROP. LOT LINE
	EXIST. WETLAND BUFFER		PROP. PARKING STRIPE
	EXIST. OVERHEAD ELEC. LINE		PROP. CONTOUR
	EXIST. OVERHEAD TELE. LINE		PROP. SILT FENCE
	EXIST. CABLE LINE		PROP. TREE PROTECTION FENCE
	EXIST. UNSPECIFIED UTILITIES		PROP. STORM SEWER
	EXIST. GAS		PROP. SANITARY
	EXIST. STORM		PROP. WATER MAIN
	EXIST. WATER MAIN		PROP. CATCH BASIN/INLET
	EXIST. SANITARY		PROP. WATER VALVE
			PROP. FIRE HYDRANT
			PROP. MANHOLE

K:\17001466\DWG\PLAN SET\SITE-FINAL\17001466SP-02-C.DWG 3/7/2019 11:18 AM BRETT DADABAUDH

LAYOUT NOTES

1. THE PROPOSED DEVELOPMENT IS PLANNED TO BE DEVELOPED USING THE CITY'S PLANNED REZONING OVERLY DEVELOPMENT OPTION TO ALLOW FOR THE MULTI-FAMILY USE.
2. LANDSCAPE BUFFERS WILL BE PROVIDED ON THE SIDES OF THE DEVELOPMENT AS SHOWN BUFFERING THE PROPERTY FROM THE ADJACENT USES.
3. THE DEVELOPMENT WILL CONTAIN PRIVATE ROADS. THE CITY OF NOVI HAS NO RESPONSIBILITY TO IMPROVE OR MAINTAIN THE PRIVATE STREETS CONTAINED WITHIN OR PRIVATE STREETS PROVIDING ACCESS TO THE PROPERTY DESCRIBED IN THIS PLAN.
4. ALL SIDEWALKS AND SIDEWALK RAMPS SHALL BE ADA COMPLIANT.
5. SIGHT DISTANCE TRIANGLES SHOWN FOR 3.5' EYE HEIGHT IN ACCORDANCE WITH MDOT TRAFFIC AND SAFETY STANDARDS FEBRUARY 6, 2008 (2004 AASHTO, EXHIBITS 9-55, 861). SIGHT DISTANCE FOR SPEED LIMIT FOR 45 MPH AND 4 LANES OF TRAFFIC IS 530'.
6. FIVE (5) ON-STREET PARALLEL PARKING SPACES IS PROPOSED NEAR THE MAILBOXES. THESE SPACES SHALL BE DELINEATED WITH SIGNAGE AND THE ROAD IS NOT TO BE STRIPED. UNIT GARAGE AND DRIVE WAY PARKING EXCEEDS CITY PARKING REQUIREMENTS.
7. PROPOSED BUILDING FACADES WILL HAVE A MINIMUM OF 30% BRICK OR STONE.
8. THE TOTAL PROPOSED FLOOR SQUARE FOOTAGE OF EACH DWELLING UNIT IS 1,860 SQUARE FEET.



TYPICAL UNIT DETAIL
NOT TO SCALE

CITY BUILDING SEPARATION TABLE

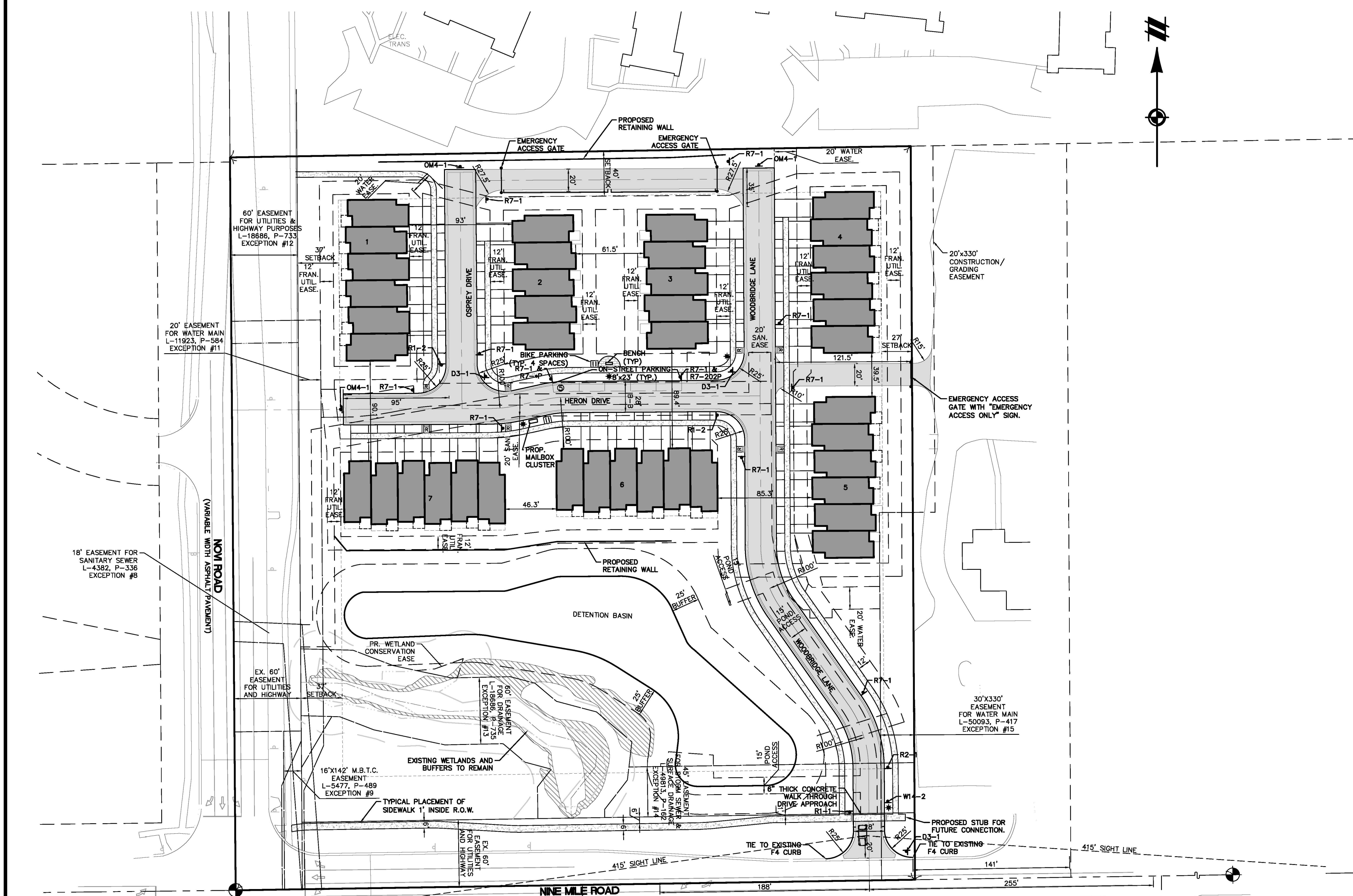
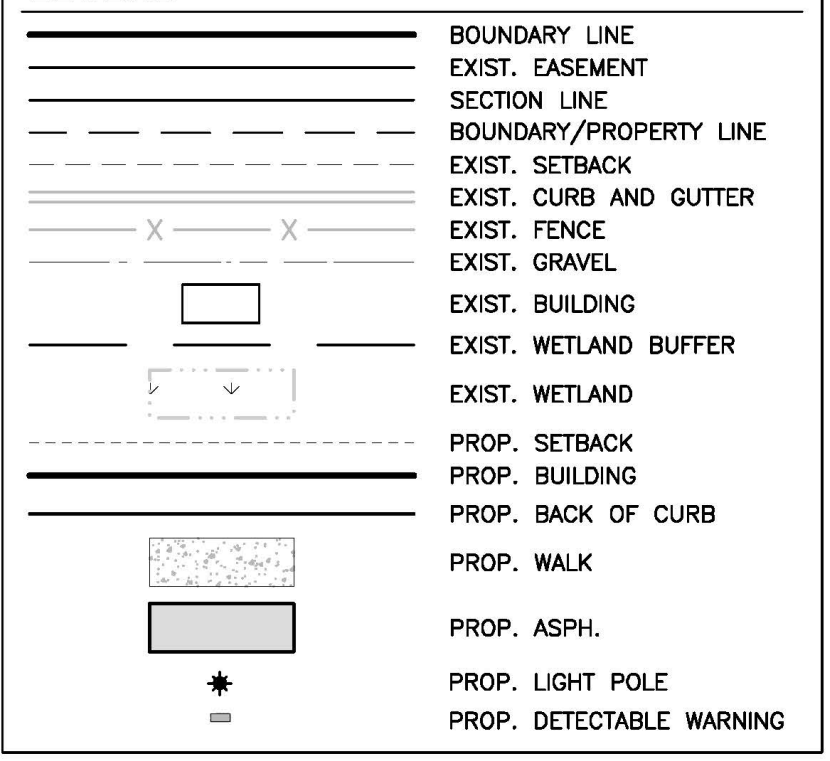
SPACE BETWEEN BUILDINGS	H _a (feet)	H _b (feet)	L _a (feet)	L _b (feet)	Required spacing (feet)	Proposed spacing (feet)
2 & 3	32	32	120.0	120.0	61.3	61.5
4 & 5	32	32	54.0	54.0	39.3	39.5
6 & 7	32	32	44.0	44.0	36.0	45.3
1&2	32	32	120.0	120.0	61.3	93.0
1&7	32	32	55.0	55.0	39.7	90.1
2&6	32	32	17.0	17.0	27.0	89.4
3&6	32	32	55.0	55.0	39.7	89.4
3&4	32	32	120.0	120.0	61.3	93.0
5&6	32	32	55.0	55.0	39.7	85.3

BUILDING ROOM COUNT TABLE

BUILDING NUMBER	LENGTH	HEIGHT	NUMBER OF THREE BEDROOM UNITS	ROOM COUNT (FOUR ROOMS PER UNIT)*
1	144	32	6	24
2	120	32	5	20
3	120	32	5	20
4	144	32	6	24
5	144	32	6	24
6	144	32	6	24
7	144	32	6	24
TOTALS			40	160
ALLOWED PER RM-1 ZONING				163

* ROOM COUNTS SHOWN PER CITY OF NOVI ZONING ORDINANCE 3.8.1.c

LEGEND



SIGNAGE NOTES

1. ALL ON-SITE SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE MUTCD.
2. ALL ROADSIDE SIGNS SHOULD BE INSTALLED TWO FEET FROM THE FACE OF THE CURB TO THE NEAR EDGE OF THE SIGN.
3. ALL SIGNS SHALL BE A HEIGHT OF 7 FEET FROM GRADE TO THE BOTTOM OF THE SIGN WHEN PLACED IN THE VICINITY OF A CURBED AREA.
4. TRAFFIC CONTROL SIGNS SHALL USE THE FHWA STANDARD ALPHABET SERIES.
5. TRAFFIC CONTROL SIGNS SHALL HAVE HIGH INTENSITY PRISMATIC (HIP) SHEETING TO MEET FHWA RETROREFLECTIVITY REQUIREMENTS.
6. STREET NAME SIGNS SHALL BE DESIGNED PER THE CITY OF NOVI TRAFFIC CONTROL SIGN STANDARDS.
- 6.1. STREET NAME SIGNS ARE REQUIRED TO HAVE A GREEN FIELD, WHITE LETTERS, AND A WHITE BORDER. TEXT SHALL CONSIST OF A CAPITALIZED FIRST LETTER WITH THE REMAINING LETTERS IN LOWERCASE FONT.
- 6.2. STREET NAME SIGNS SHALL HAVE A MINIMUM HEIGHT OF 12 INCHES AND MINIMUM LETTERING HEIGHT OF EIGHT INCHES FOR THE CAPITAL LETTERS AND SIX INCHES FOR THE LOWERCASE LETTERS, IF LOCATED ADJACENT TO A ROAD WITH A SPEED LIMIT OF 30 MPH OR GREATER, OR HAVE A MINIMUM HEIGHT OF EIGHT INCHES AND MINIMUM LETTERING HEIGHT OF 4.5 INCHES, IF LOCATED AT RESIDENTIAL STREET INTERSECTIONS.
- 6.3. STREET NAME SIGNS SHALL HAVE A LETTERING HEIGHT OF THREE INCHES FOR SUPPLEMENTARY LETTERING TO INDICATE THE STREET TYPE (E.G. DRIVE, AVENUE, ETC.).
- 6.4. ALL STREET NAME SIGNS WITHIN THE CITY'S RIGHT OF WAY OR LOCATED ON PUBLIC STREETS AT THE INTERSECTION OF A PUBLIC STREET AND A PRIVATE STREET SHALL BE MOUNTED ON A 3 LB. OR GREATER U-CHANNEL POST AS DICTATED BY THE HEIGHT OF THE PROPOSED SIGNS. STREET NAME SIGNS WITH A NOMINAL HEIGHT OF 12 INCHES SHALL BE SINGLE SIDED AND SANDWICHED ON A 1 1/4" X 1 1/4" 12-GAUGE PERFORATED GALVANIZED STEEL INSERT WITH THE ENDS OF THE SIGNS BOLTED TOGETHER. THE STEEL INSERT SHALL HAVE A MINIMUM LENGTH OF 36 INCHES AND MUST EXTEND A MINIMUM OF 12 INCHES INTO THE 3 LB. OR HEAVIER U-CHANNEL POST. IN PREVIOUS EXPERIENCES, THE CITY HAS DISCOVERED THAT THE CONNECTION BETWEEN THE SIGNS AND THE U-CHANNEL POSTS MUST BE REPLACED WHEN RIVETS ARE USED TO JOIN THE ENDS OF THE SIGNS. THE BOLTS TO ADJOIN THE SIGNS ARE NOT REQUIRED ON STREET SIGNS PLACED ON PRIVATE ROADWAYS SINCE PRIVATE ROADWAY SIGNS ARE NOT MAINTAINED BY THE CITY.
7. SINGLE SIGNS WITH NOMINAL DIMENSIONS OF 12" X 18" OR SMALLER IN SIZE SHALL BE MOUNTED ON A GALVANIZED 2 LB. U-CHANNEL POST. MULTIPLE SIGNS AND/OR SIGNS WITH NOMINAL DIMENSION GREATER THAN 12" X 18" SHALL BE MOUNTED ON A GALVANIZED 3 LB. OR GREATER U-CHANNEL POST AS DICTATED BY THE WEIGHT OF THE PROPOSED SIGNS.

