



# Carvana JSP 18-47

## Carvana JSP 18-47

Public hearing at the request of Carvana for JSP 18-47 Carvana Novi for Planning Commission's approval of the Special Land Use, Preliminary Site Plan and Storm Water Management plan. The applicant is proposing a 5,800 square foot Vending Machine Fulfillment Center to building to facilitate storage and sales for used cars. The site plan proposes approximately 26 parking spaces including four spaces for single car hauler trucks.

## Required Action

Approval or denial for Special Land Use, Preliminary Site Plan and Storm Water Management Plan

| REVIEW        | RESULT               | DATE     | COMMENTS   |
|---------------|----------------------|----------|--|
| Planning      | Approval recommended | 11-20-18 | <ul style="list-style-type: none"> <li>Consisted with PRO approval</li> <li>Additional conditions as noted in the motion sheet for Special Land Use approval</li> <li>Additional items to be addressed with Final Site Plan</li> </ul> |
| Engineering   | Approval recommended | 11-19-18 | <ul style="list-style-type: none"> <li>Additional items to be addressed with Final Site Plan</li> </ul>  |
| Landscaping   | Approval recommended | 11-13-18 | <ul style="list-style-type: none"> <li>Additional items to be addressed with Final Site Plan</li> </ul>  |
| Traffic       | Approval recommended | 11-19-18 | <ul style="list-style-type: none"> <li>Additional items to be addressed with Final Site Plan</li> </ul>  |
| Parking Study | Approval recommended | 10-03-18 | <ul style="list-style-type: none"> <li>Additional items to be addressed with Final Site Plan</li> </ul>  |
| Façade        | Approval recommended | 09-27-18 | <ul style="list-style-type: none"> <li>Consisted with PRO approval</li> </ul>  |
| Fire          | Approval recommended | 09-14-18 | <ul style="list-style-type: none"> <li>Additional items to be addressed with Final Site Plan</li> </ul>  |

## Motion sheet

### Approval – Special Land Use Permit

In the matter of Carvana JSP18-47, motion to **approve** the Special Land Use Permit to allow an unlisted use for a car vending machine and subject to the following:

1. The proposed use will not cause any detrimental impact on existing thoroughfares (*based on Traffic review and the restricted truck deliveries*);
2. The proposed use will not cause any detrimental impact on the capabilities of public services and facilities (*based on Engineering review*);
3. The proposed use is compatible with the natural features and characteristics of the land (*because there are no regulated natural features on site*);
4. The proposed use is compatible with adjacent uses of land (*because the proposed use conforms to the conditions of an approved PRO agreement*);
5. The proposed use is consistent with the goals, objectives, and recommendations of the City's Master Plan for Land Use (*as it fulfills one of the Master Plan objectives to attract new businesses to the City of Novi*);
6. The proposed use will promote the use of land in a socially and economically desirable manner (*as it fulfills one of the Master Plan objectives to attract new businesses to the City of Novi*);
7. The proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located;
8. The proposed use will be subject to the following conditions, that were part of the Unlisted use determination by City Council:
  - a. The use shall be limited to properties with freeway frontage only (*it fronts on I-96*);
  - b. A trip generation study is required to establish the minimum parking requirement. (*A trip generation study was provided*);
  - c. Outside storage or storage sheds on site should not be allowed with this use, as they not meet the design intent of Town Center district (*Outside storage is not proposed*);
  - d. A limit shall be set for number of single car haulers, parked within the site. Staff recommends that they are placed such that they are not visible from Adell Drive or from along the freeway frontage. (*Four single car haulers are proposed to be parking on site and are sufficiently screened*);
  - e. All loading areas shall be screened with landscaping with 100% opacity in Summer, 80% in Winter, or other opaque screening (*Landscape review notes that all loading areas are sufficiently screened*);
  - f. A layout plan shall be provided indicating the location of the dumpster enclosure, loading area for the delivery truck(s), parking spaces for employees and customers, and any single car hauler parking on site so that staff can review the viability of circulation proposed (*The plan is in general conformance with the ordinance requirements*);
9. The allowable hours for the 9-car hauler delivery shall be from 9 PM – 6:00 AM and 9:00 AM – 3:00 PM. A circulation plan showing wheel paths for both delivery truck and single car haulers to review site maneuverability from point of entry to point of exit; and
10. (*additional comments here if any*)

*(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, Article 5, and Article 6 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

### Approval – Preliminary Site Plan

In the matter of Carvana JSP18-47, motion to **approve** the Preliminary Site Plan based on and subject to the following:

1. Following deviations as approved by the City Council as part of the Adell Planned Rezoning Overlay on October 22, 2018, that are applicable for this site plan:
  - a. Planning deviation from section 3.1 .26.D for exceeding the maximum allowable building height of 65 feet and maximum allowable 5 stories, provided they conform to the 2015 International Building Code standards for High-rise (Type I or Type II) construction:
    - i. Unit 8 Carvana (75'-10", 8 tiers proposed)
  - b. Planning deviation from section 5.12 to allow lack of required frontage on public road for Units 1 through 8. Frontage is proposed via a proposed private drive, built to City standards;
  - c. Planning deviation from section 3.1.25.D to allow reduction of minimum required front parking setback of 20 ft., from the proposed access easement. A maximum of 18 feet is requested;
  - d. Planning deviation from section 3.1.25.D to allow reduction of minimum required interior side parking setback of 20 ft. for the following units as shared access is proposed between parking lots:
    - i. Unit 8: 10 ft. along East
  - e. Planning deviation from section 4.19 .2.F to allow alternate location for dumpsters, instead of required rear yard for units 1, 5, 6, 7 and 8, provided the proposed location does not impact traffic circulation and appropriate screening is provided at the time of preliminary site plan. The applicant requests dumpsters to be allowed in exterior/interior side yards;
  - f. Planning deviation to allow placement of loading areas in alternate locations instead of required rear yard or interior side yard for double frontage lots, as listed below, provided proposed locations do not conflict with traffic circulation and appropriate screening will be provided at the time of Preliminary site plan review:
    - i. Unit 8: exterior side yard
  - g. The applicant shall provide supporting data to justify the proposed loading area square footages, to be reviewed and approved by Planning Commission at the time of Preliminary site plan approval;
  - h. Planning deviation from standards of Sec. 5.12 for up to 5% reduction in minimum required parking (to be established by staff after reviewing the calculations provided) for each unit within the development subject to the individual users providing satisfactory justification for Planning Commission's approval of the parking reduction at the time of respective site plan approval;
  - i. Facade deviation to allow the following allowable percentages listed in section 5.15 of Zoning Ordinance for the buildings listed below.
    - i. Underage of brick (30% minimum required, 73% proposed on front facade)
    - ii. Underage of combined brick and stone (50% minimum required, 73% on front, 30% on right facade, 30% on left and 39% on rear facade proposed)
    - iii. Overage of display glass (25% maximum allowed, 80% on front facade, 63% on right facade, 63% on left facade and 57% on rear facade proposed).

- j. Planning deviation to allow proposing the minimum required Open Space for each Unit as Common element spread within the development boundaries as shown in the Open Space Plan, provided the applicant restores the wetland/woodland on the southerly portion of the site pursuant to a plan meeting City ordinance requirements is submitted and approved at the time of Wetland permit/preliminary site plan approval, and provides the pedestrian walkway through the open space as proposed. (A minimum of 153 of total site area designed as permanently landscaped open areas and pedestrian plazas is required per section 3.27. I.F.);
- k. Planning deviation from Section 5.7 .3.K. to allow exceeding the maximum spillover of 1 foot candle along interior side property lines provided the applicant submits a photometric plan that demonstrates that the average to minimum light level ratio is kept to the maximum allowable 4: 1;
- l. Planning deviation to allow exceeding the maximum spillover of 1 foot candle and approvable increase of the average to minimum light level ration from 4: 1 within the Adell Drive pavement areas as listed in Section 5.7 .3.K. along access easements along Adell Drive, at the time of or Preliminary Site Plan review for the individual units;
- m. The following deviations from Chapter 28, Signs, from City Code of Ordinances for the building signs for Carvana to allow for seven additional wall signs for Unit 8: Carvana(Nine are requested for the entire unit: eight signs on the tower and one canopy sign at the front entrance. Two wall signs are allowed), provided that such deviations shall be the maximum amount authorized, and the City may require a lesser deviation at the time of site plan approval if deemed appropriate;
- n. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- o. *(additional conditions here if any).*

*(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**-AND-**

**Approval – Stormwater Management Plan**

In the matter of the request of Carvana, for the Carvana Novi JSP 18-47, motion to approve the Stormwater Management Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any).*

*(This motion is made because it otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

**- OR -**

**Denial – Special Land Use**

In the matter of the request of Carvana, for the Carvana Novi JSP 18-47, motion to deny the Special Land Use.... *(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**Denial – Preliminary Site Plan**

In the matter of the request of Carvana, for the Carvana Novi JSP 18-47, motion to deny the Preliminary Site Plan ... *(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**-AND-**

**Denial – Stormwater Management Plan**

In the matter of the request of Carvana, for the Carvana Novi JSP 18-47, motion to deny the Stormwater Management Plan ... *(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

**MAPS**

Location

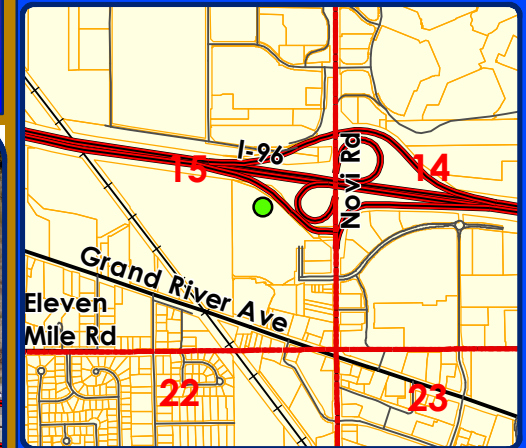
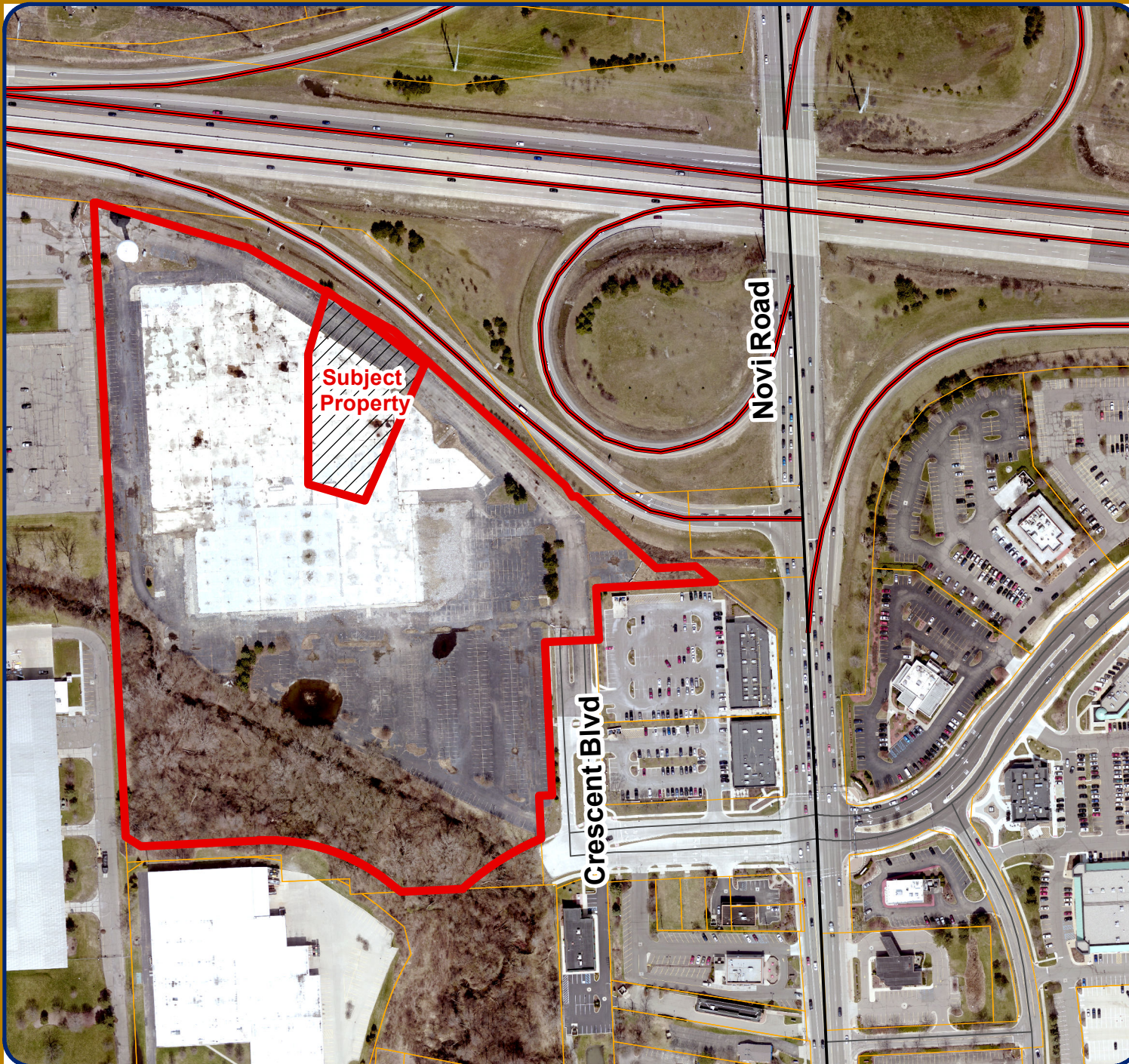
Zoning

Future Landuse

Natural Features

# JSP 18-47: CARVANA NOVI

Location



## LEGEND

 Sections



## City of Novi

Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

Map Author: Sri Komaragiri

Date: 12/07/18

Project: JSP 18-47: CARVANA NOVI

Version #: 1

0 62.5 125 250 375 Feet

1 inch = 282 feet

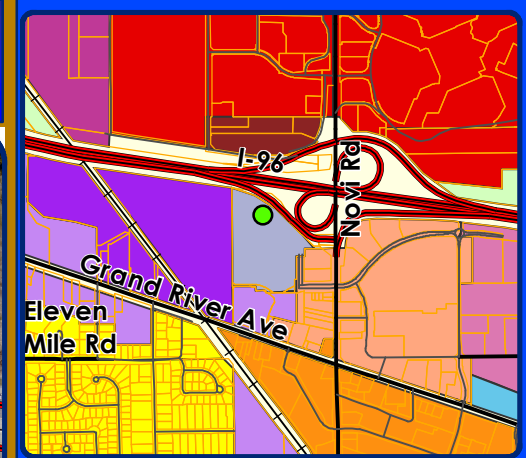
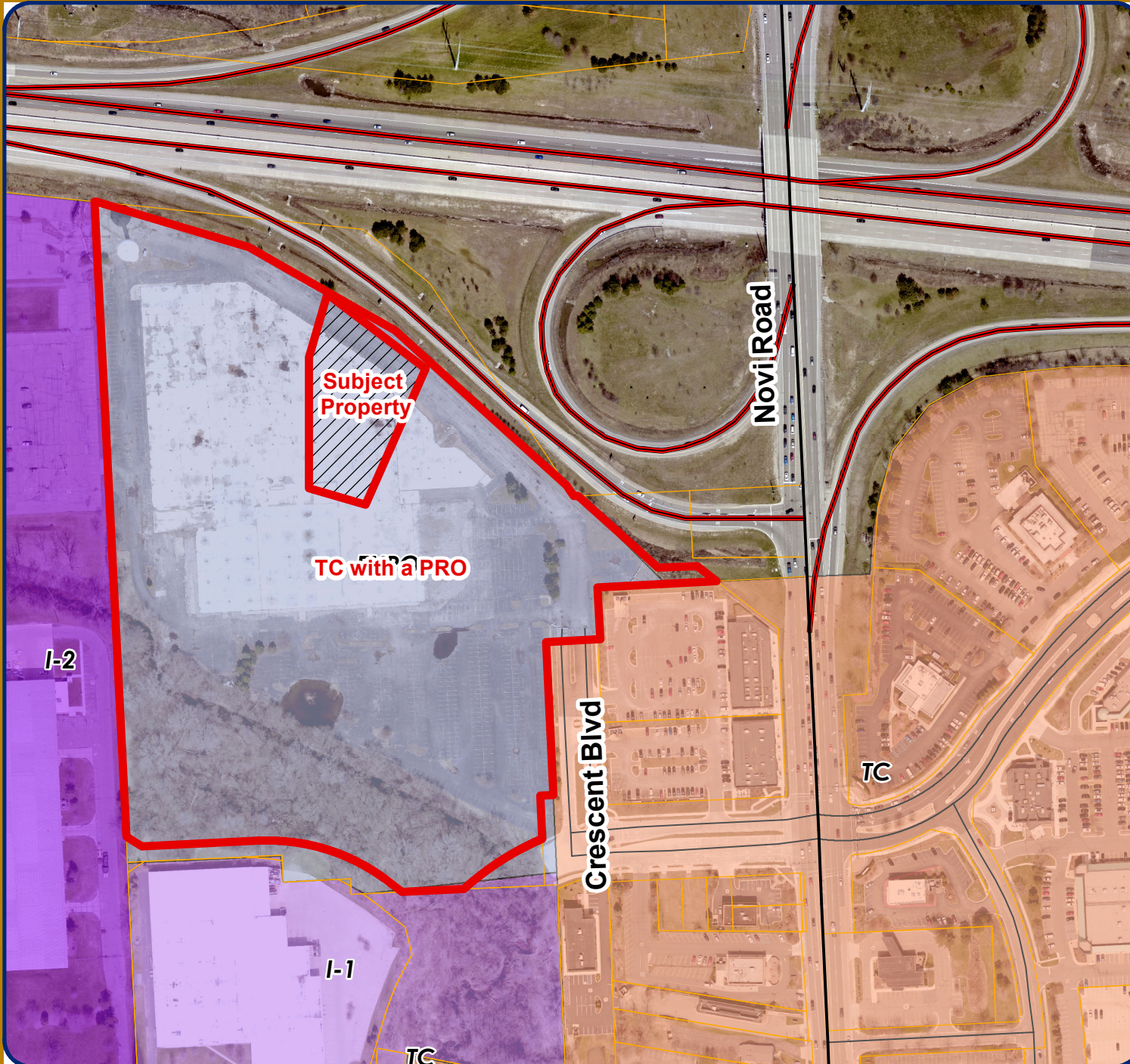


### MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

# JSP 18-47: CARVANA NOVI

## Zoning



- R-A: Residential Acreage
- R-4: One-Family Residential District
- B-3: General Business District
- C: Conference District
- EXPO: EXPO District
- I-1: Light Industrial District
- I-2: General Industrial District
- OS-1: Office Service District
- OSC: Office Service Commercial
- OST: Office Service Technology
- RC: Regional Center District
- TC: Town Center District
- TC-1: Town Center -1 District



**City of Novi**  
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City Hall / Civic Center  
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1 inch = 282 feet



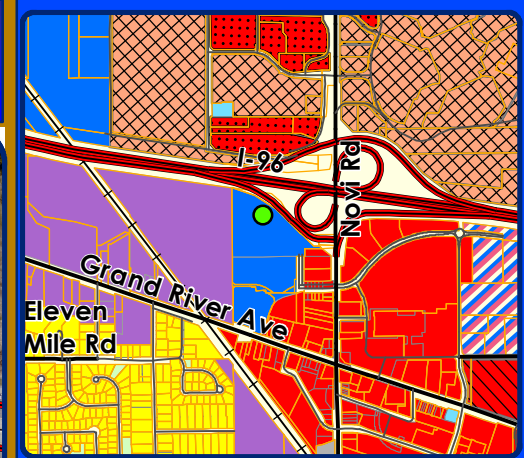
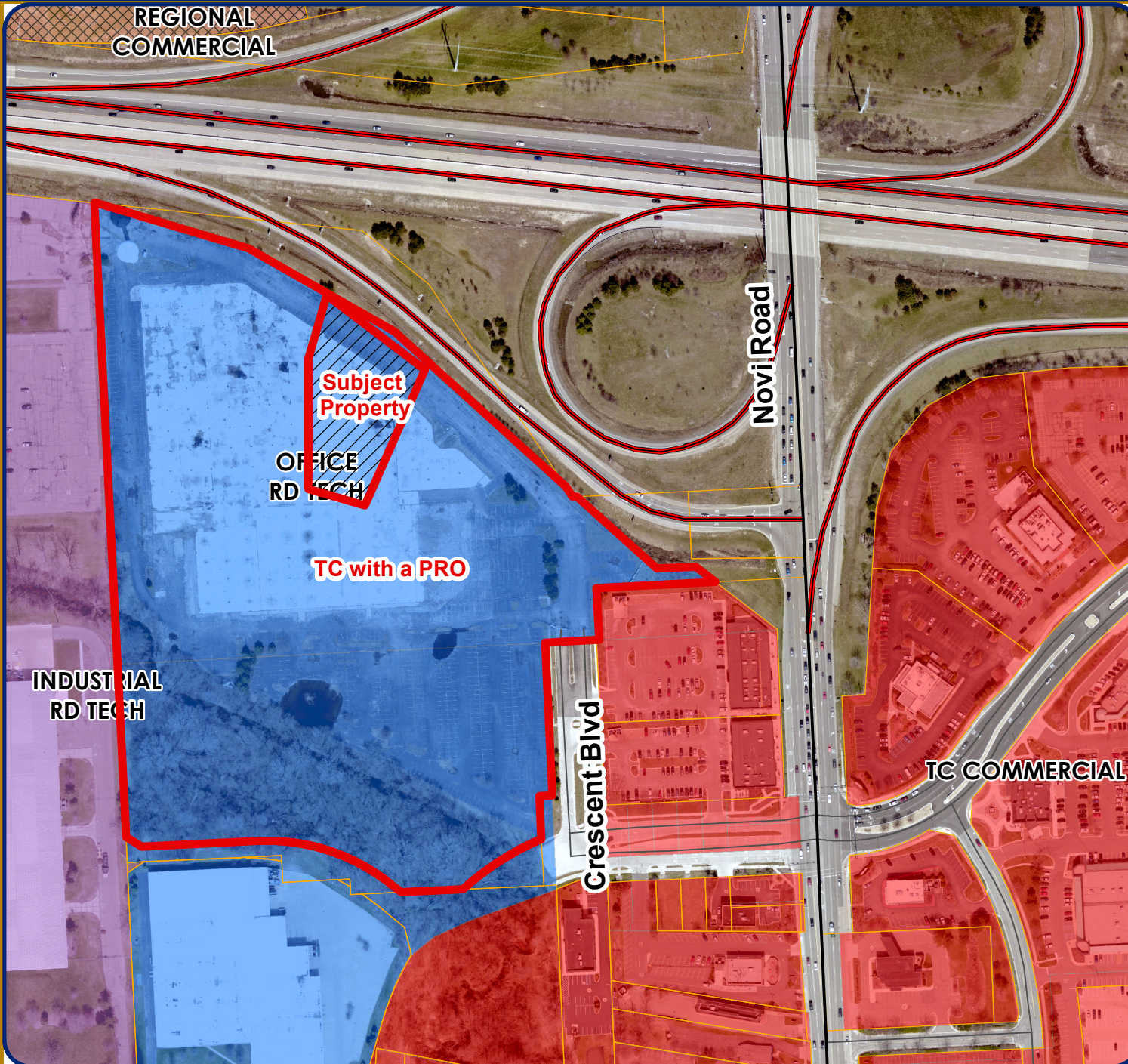
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# JSP 18-47: CARVANA NOVI

Future Landuse



### LEGEND

#### FUTURE LAND USE

- Single Family
- Office RD Tech
- Office Commercial
- Industrial RD Tech
- Regional Commercial
- TC Commercial
- TC Gateway
- PD2
- Public
- Private Park
- Cemetry



## City of Novi

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45175 W Ten Mile Rd  
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cityofnovi.org

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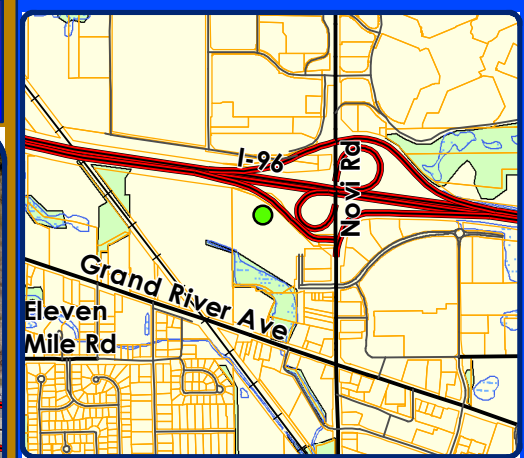
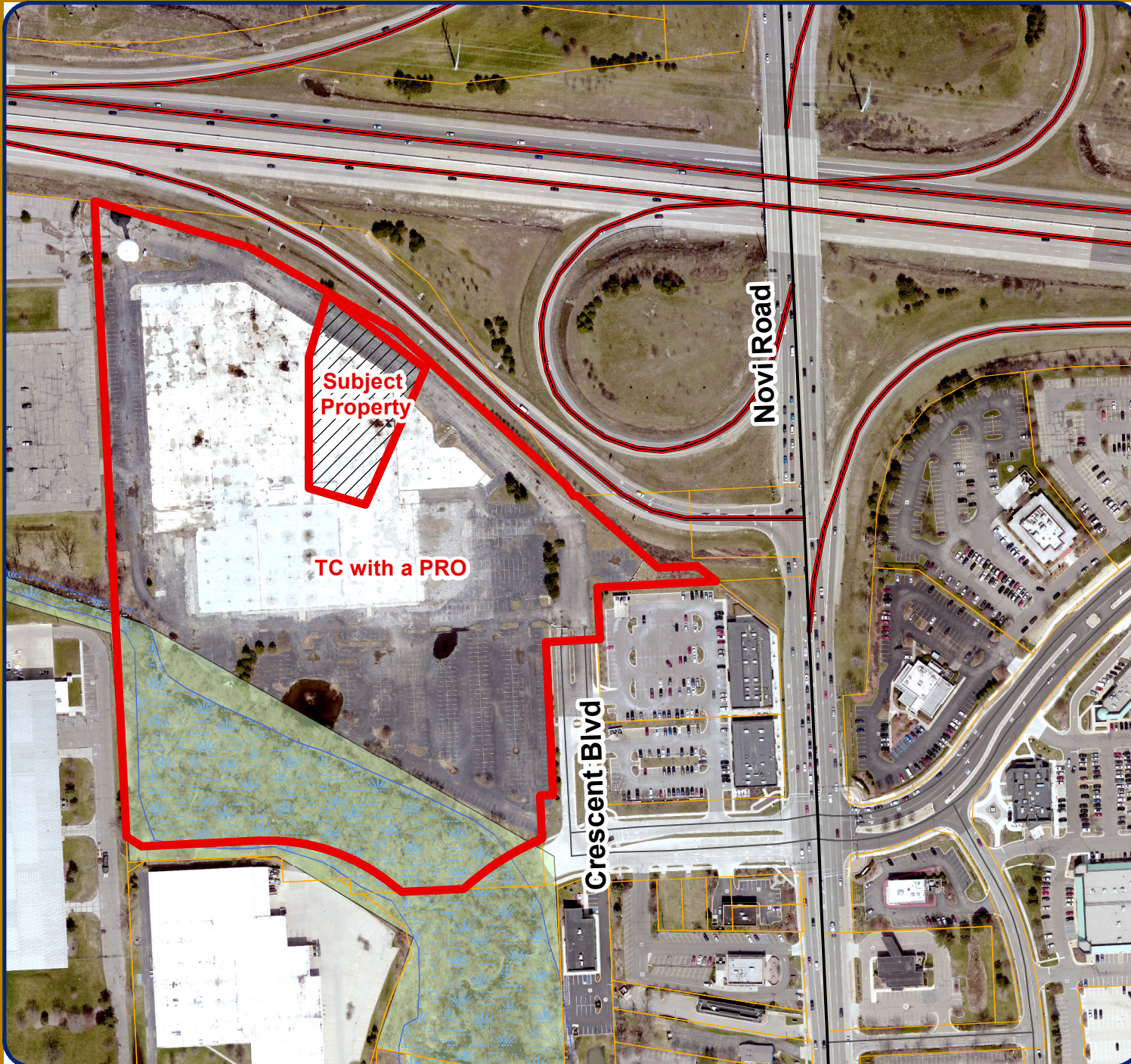


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# JSP 18-47: CARVANA NOVI

## Zoning



### LEGEND

- WETLANDS
- WOODLANDS



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**SITE PLAN**

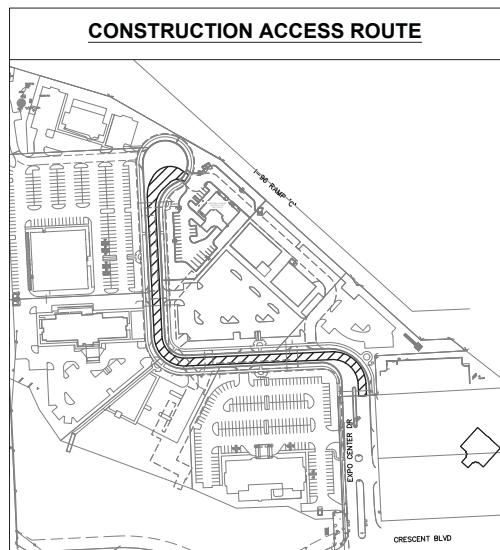
(Full size drawings available for viewing at the Community Development Department)





# PRELIMINARY CIVIL ENGINEERING PLANS CARVANA

## ADELL CENTER - UNIT 8 NOVI, MI 48375



| DRAWING INDEX |                              |
|---------------|------------------------------|
| SHEET NUMBER  | SHEET TITLE                  |
| C0.0          | TITLE SHEET                  |
| C1.0          | SITE PLAN                    |
| C2.0          | GRADING AND UTILITY PLAN     |
| C3.0          | PHOTOMETRIC SITE PLAN        |
| L1.0          | LANDSCAPE PLAN               |
| L2.0          | LANDSCAPE NOTES AND SCHEDULE |
| L2.1          | LANDSCAPE NOTES AND DETAILS  |

### PROJECT TEAM

**OVERALL DEVELOPER**  
ORVILLE PROPERTIES LLC  
20733 WEST TEN MILE ROAD  
SOUTHFIELD, MI 48075  
CONTACT: KEVIN ADELL

**TENANT**  
CARVANA  
1930 W RIO SALADO PKWY  
TEMPE, AZ 85281  
TEL: (480)244-3900  
EMAIL: ARWA.LULU@CARVANA.COM  
CONTACT: ARWA LULU

**ARCHITECT**  
ONE ARCHITECTURE  
8801 N CENTRAL AVE, SUITE 101  
PHOENIX, AZ 85020  
TEL: (360)314-8108  
CONTACT: SYLVIA MARQUART

**CIVIL ENGINEER/APPLICANT**  
KIMLEY-HORN AND ASSOCIATES, INC.  
39111 SIX MILE ROAD  
LIVONIA, MI 48152  
TEL: (614)454-6697  
EMAIL: DERIK.LEARY@KIMLEY-HORN.COM  
CONTACT: DERIK LEARY, PROJECT MANAGER

**LANDSCAPE ARCHITECT**  
KIMLEY-HORN AND ASSOCIATES, INC.  
39111 SIX MILE ROAD  
LIVONIA, MI 48152  
TEL: (630)487-3450  
EMAIL: KEITH.DEMCHINSKI@KIMLEY-HORN.COM  
CONTACT: KEITH DEMCHINSKI, PLA

**SURVEYOR**  
GREENTECH ENGINEERING INC.  
51147 WEST PONTIAC TRAIL  
WIXOM, MI 48393  
TEL: (248)668-0700  
CONTACT: DAN LECLAIR

### LEGAL DESCRIPTION

PART OF THE SOUTHEAST 1/4 OF SECTION 15, T1N-R8E, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS:  
COMMENCING AT THE EAST 1/4 CORNER OF SAID SECTION 15; THENCE S00°00'30"E, ALONG THE EAST LINE OF SAID SECTION, 127.37 FEET; THENCE S89°23'16"W, 174.05 FEET TO THE SOUTHERLY LINE OF INTERSTATE 96; THENCE ALONG THE SOUTHERLY LINE OF SAID INTERSTATE 96 THE FOLLOWING SIX [6] COURSES: [1] N49°21'55"W, 49.41 FEET; [2] N89°42'38"W, 76.56 FEET; [3] N45°13'48"W, 209.02 FEET; [4] S89°46'34"W, 8.19 FEET; [5] N31°29'37"W, 24.21 FEET; AND [6] N45°13'48"W, 295.36 FEET TO THE POINT OF BEGINNING; THENCE LEAVING SAID SOUTHERLY LINE, S 44°50'22" W, 270.88 FEET; THENCE S 89°50'22" W, 83.03 FEET; THENCE N 00°09'38" W, 177.37 FEET; THENCE S 87°07' FEET TO THE RIGHT, WITH A RADIUS OF 75.00 FEET, CENTRAL ANGLE OF 66°30'52", HAVING A CHORD BEARING AND DISTANCE OF N 33°05'51" E, 82.26 FEET; THENCE 126.83 FEET ALONG A CURVE TO THE LEFT, WITH A RADIUS OF 58.00 FEET, CENTRAL ANGLE OF 125°17'36", HAVING A CHORD BEARING AND DISTANCE OF N 03°42'13" E 103.03 FEET; THENCE N 32°38'57" E, 20.00 FEET TO A POINT ON THE SAID SOUTHERLY LINE OF INTERSTATE 96; THENCE, ALONG SAID SOUTHERLY LINE, S 57°40'28" E, 121.36 FEET AND S 45°13'48" E, 154.40 FEET TO THE POINT OF BEGINNING, CONTAINING 1.30 ACRES AND SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

### BENCHMARKS

**SITE BENCHMARKS:**  
(LOCATIONS SHOWN ON SURVEY)

CITY OF NOVI BM 1542  
X1 ON NORTH RIM OF SANITARY MANHOLE 25± WEST OF BACK OF CURB NOVI ROAD & 45± SOUTH OF DRIVE #26179 NOVI ROAD  
ELEVATION=915.0 N.A.V.D.88

SBM #1 ARROW ON HYDRANT, SOUTH SIDE OF CRESCENT BOULEVARD, 24± EAST OF SOUTHEAST PROPERTY CORNER  
ELEVATION=915.58 (N.A.V.D.88 DATUM)

SBM #2 ARROW ON HYDRANT, 260± WEST OF EXPO CENTER DRIVE, 68± SOUTH OF BUILDING FOUNDATION.  
ELEVATION=912.13 (N.A.V.D.88 DATUM)

SBM #3 ARROW ON HYDRANT NORTH SIDE OF SITE 12.5± SOUTHWEST OF RIGHT OF WAY FENCE 250± EAST OF ADELL WATER TOWER.  
ELEVATION=914.36 (N.A.V.D.88 DATUM)

### PROFESSIONAL ENGINEER'S CERTIFICATION

I, DERIK LEARY, A LICENSED PROFESSIONAL ENGINEER OF MICHIGAN, HEREBY CERTIFY THAT THIS SUBMISSION, PERTAINING ONLY TO THE "C" SERIES CIVIL SHEETS LISTED ABOVE, WAS PREPARED ON BEHALF OF CARVANA BY KIMLEY-HORN AND ASSOCIATES, INC. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS 26TH DAY OF OCTOBER, A.D., 2018.

6201066961 LICENSED PROFESSIONAL ENGINEER  
MY LICENSE EXPIRES ON OCTOBER 31, 2020



| NO.      | REVISIONS | DATE |
|----------|-----------|------|
| 10/26/18 |           |      |
| 10/26/18 |           |      |
| 10/26/18 |           |      |

**Kimley-Horn**  
KIMLEY-HORN AND ASSOCIATES, INC.  
39111 SIX MILE ROAD  
LIVONIA, MI 48152-4697  
WWW.KH-USA.COM

SCALE: AS NOTED  
DESIGNED BY: DL  
DRAWN BY: ANC  
CHECKED BY: DL



TITLE SHEET

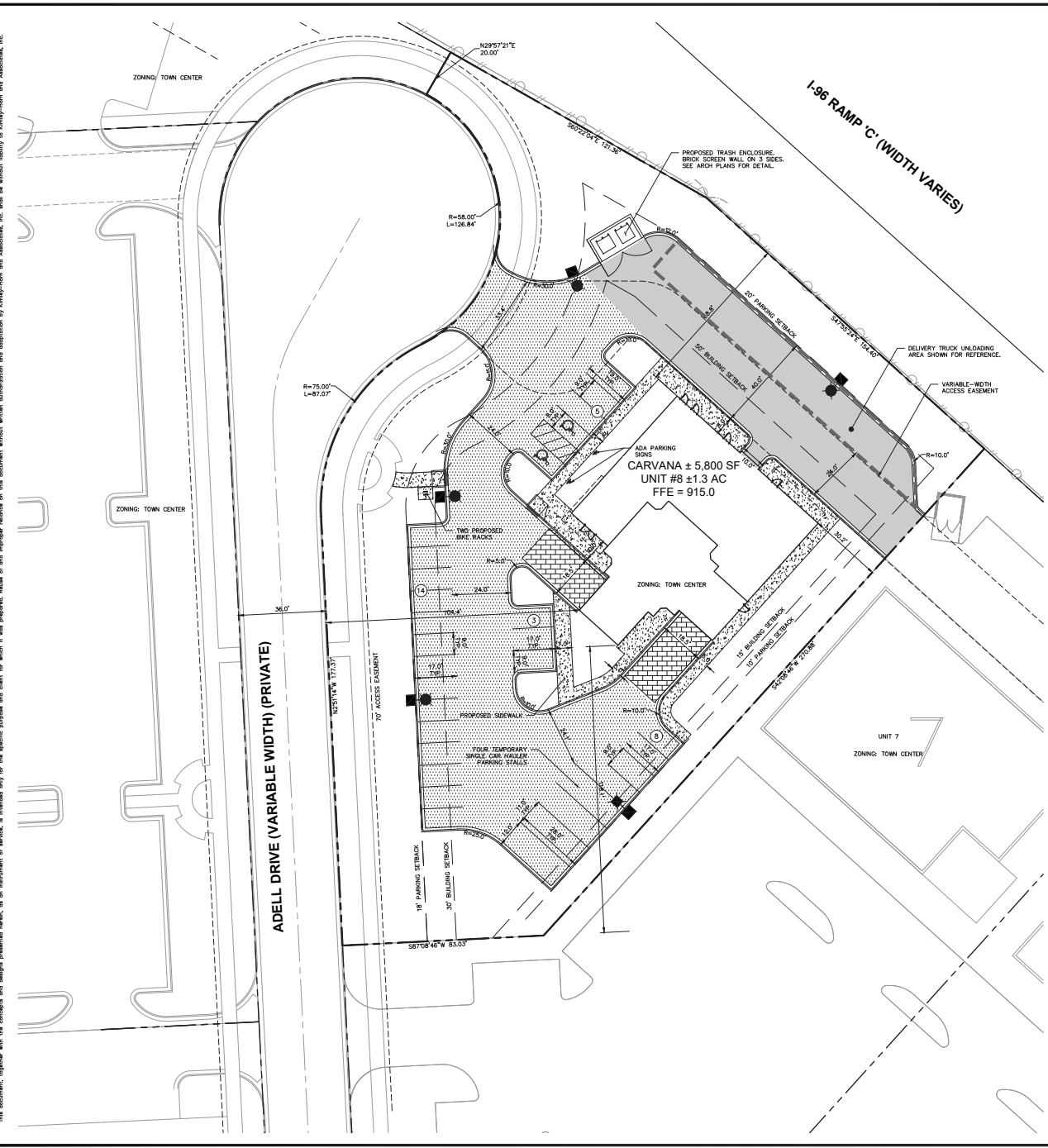
CARVANA  
UNIT 8  
ADELL CENTER  
NOVI, MI 48375

ORIGINAL ISSUE:  
9/5/2018  
KHA PROJECT NO:  
190014003

SHEET NUMBER  
C0.0

Drawing Name: N:\S\1548\15480003\15480003.dwg Date: 10/26/2018 10:26:18 AM User: dleary  
This document, together with the contracts and design permit(s) thereon, is an instrument of service, and its preparation and use is subject to the specific provisions and conditions set forth in the contracts and design permit(s) and associated bylaws, rules and regulations of the Michigan State Board of Engineering and Architecture. You shall be deemed to have read, understood and agreed to the terms and conditions of the contracts and design permit(s) and associated bylaws, rules and regulations of the Michigan State Board of Engineering and Architecture, Inc.

Drawing name: N:\S\190014003\190014003.dwg; Date: 09/05/2018 10:28:00 AM; User: jk...  
 This document, together with the drawings and design presented herein, is an instrument of service, as defined in the Professional Engineers Act, and shall be used only for the specific project and site for which it was prepared. Reuse of any information contained in this document without authorization and registration by Kimley-Horn and Associates, Inc. shall be strictly prohibited by Kimley-Horn and Associates, Inc.



GRAPHIC SCALE IN FEET  
0 10 20 30 40

**LEGEND**

- PROPOSED STANDARD DUTY ASPHALT
- PROPOSED HEAVY DUTY CONCRETE
- PROPOSED SIDEWALK
- PROPOSED BRICK PAVERS

**GENERAL NOTES**

1. CURRENT OVERALL PID SITE TO BE SUBDIVIDED BY OVERALL DEVELOPER, CONCURRENTLY.
2. ENTIRE SITE FALLS WITHIN NRCS SOILS CLASSIFICATION "URBAN LAND".
3. THERE ARE NO EXISTING WETLANDS ON THE CARVANA SITE.
4. THERE ARE NO EXISTING WOODLANDS ON THE CARVANA SITE.
5. SITE IS LOCATED WITHIN ZONE "X" (AREAS OF 0.2% CHANCE FLOOD) OF FEMA FLOOD INSURANCE RATE MAP NUMBER 26125C0265P DATED SEPTEMBER 29, 2006.
6. ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
7. BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
8. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
9. RAMP ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3'-FEET, TYPICAL.
10. REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS. SEE MEP PLANS FOR SITE ELECTRICAL DRAWINGS.
11. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.

**CARVANA SITE DATA TABLE**

|                           | REQUIRED   | PROVIDED     |
|---------------------------|--|--------------|
| PARKING REQ. BY CITY      | 1 SPACE PER 200 SF OF NET SALES FLOOR AREA = 29 STALLS | 30 STALLS    |
| PERVIOUS/IMPERVIOUS RATIO |  |              |
| TOTAL SITE AREA           | SQUARE FEET  | ACRES        |
| PERVIOUS AREA             | 27,004   | 0.48 (47.8%) |
| IMPERVIOUS AREA           | 29,530   | 0.52 (52.2%) |
| BUILDING HEIGHT           | 70' - 10'  |              |
| NUMBER OF EMPLOYEES       | 10 - 12  |              |
| ARCHITECTURAL FACADE      |  |              |
| MATERIAL                  | PERCENTAGES  |              |
| BRICK                     | 50%  |              |
| CLEAR GLASS               | 33%  |              |
| SPANDREL GLASS            | 0%   |              |
| ACM PANELS                | 17%  |              |
| HW DOORS                  | 0%   |              |

| NO. | REVISIONS                         | DATE     | BY |
|-----|-----------------------------------|----------|----|
| 1   | PRELIMINARY SITE PLAN RESUBMITTAL | 10/08/18 | DL |

**Kimley-Horn**  
 ASSOCIATES, INC.  
 3011 S.W. MILE ROAD  
 PORTLAND, OR 97201  
 PHONE: 503-254-4697  
 WWW.KIMLEY-HORN.COM

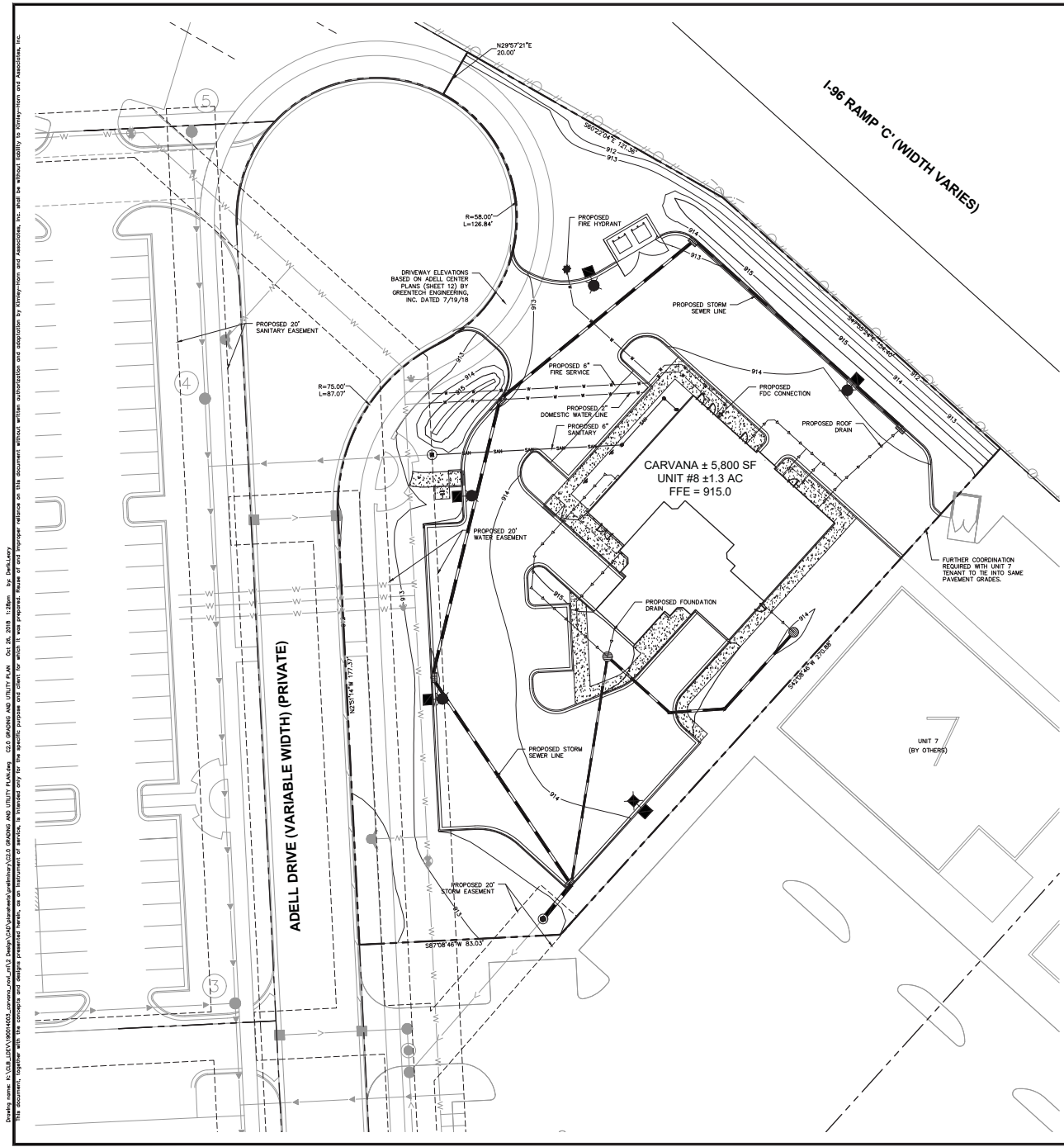
SCALE: AS NOTED  
 CHECKED BY: DL  
 DRAWN BY: ANC  
 DESIGNED BY: DL

**CARVANA**

**SITE PLAN**

**CARVANA UNIT 8**  
 ADELL CENTER  
 NOV, 18 4875

ORIGINAL ISSUE:  
 9/5/2018  
 KHA PROJECT NO.  
 190014003  
 SHEET NUMBER  
**C1.0**



**LEGEND**

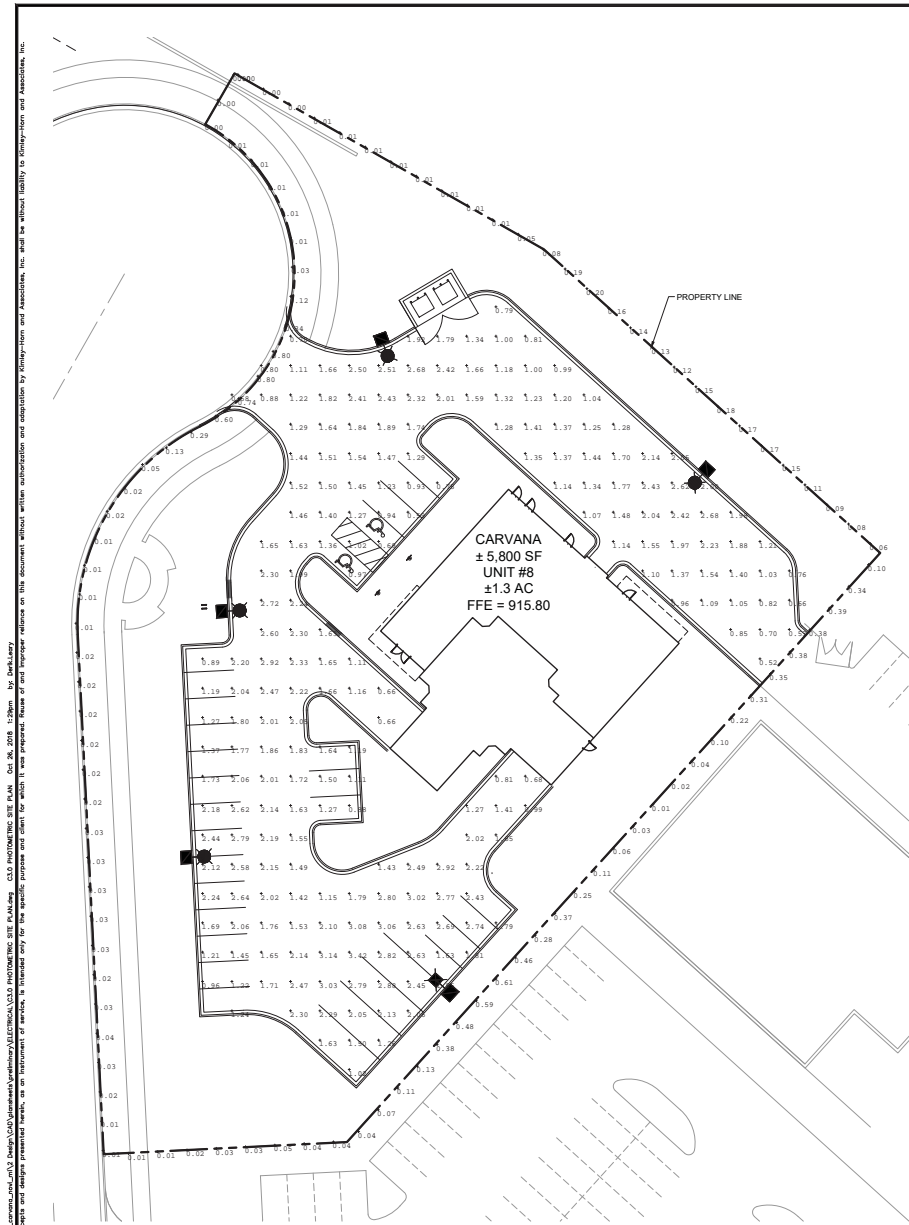
|                             |                     |
|-----------------------------|---------------------|
| ME = MATCH ELEVATION        |                     |
| --- SAN --- SAN --- SAN --- | EXISTING SANITARY   |
| --- W --- W --- W ---       | EXISTING WATER LINE |
| --- S --- S --- S ---       | EXISTING STORM      |
| --- RD --- RD --- RD ---    | PROPOSED ROOF DRAIN |
| --- SAN --- SAN --- SAN --- | PROPOSED SANITARY   |
| --- W --- W --- W ---       | PROPOSED WATER LINE |
| --- S --- S --- S ---       | PROPOSED STORM LINE |
| --- XXX --- XXX ---         | PROPOSED CONTOUR    |
| --- XXX --- XXX ---         | EXISTING CONTOUR    |

**GRADING AND UTILITY NOTES**

- CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
- ALL PAYMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
- NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
- MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
- MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROADS.
- WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
- MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS, UNLESS OTHERWISE NOTED.
- ALL WATER LINES ≥ 3" SHALL BE DUCTILE IRON PIPE, CLASS 52.
- ALL SANITARY SEWER LINES SHALL BE PVC WEETING, ASTM D-3034 SDR 26 EXCEPT FOR SANITARY SEWER THAT CROSSES ABOVE WATER MAIN, THIS PIPE SHALL BE AWWA C900 (UNLESS WATER MAIN CASING IS UTILIZED). PROVIDE #2Z MINIMUM COVER.
- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
- CONTRACTOR TO CALL "MISS DIG SYSTEM" (1-800-482-7171) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
- PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION. THE MUNICIPALITY SHALL BE NOTIFIED OF ANY AND ALL CHANGES TO THE DESIGN PLANS.
- CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SHIELDING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
- CONTRACTOR TO AVOID DISRUPTION OF ANY ADJACENT TENANT'S TRAFFIC OPERATIONS DURING INSTALLATION OF UTILITIES.
- ALL IMBRIGOS ARE TO CENTERLINE OF PIPE OR CENTER OF MANHOLE UNLESS NOTED OTHERWISE.
- SEE ARCHITECTURAL AND MEP PLANS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING.
- LIGHT POLES SHOWN FOR COORDINATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE SITE LIGHTING PLANS BY OTHERS FOR MORE INFORMATION.
- SEE DETAILS FOR LOCATING STORM STRUCTURES WITHIN THE CURB LINE.
- STORMWATER FACILITIES MUST BE FUNCTIONAL BEFORE BUILDING CONSTRUCTION BEGINS.
- ALL FIRE HYDRANTS MUST BE INSTALLED AND OPERATIONAL PRIOR TO ANY BUILDING CONSTRUCTION.
- PROPOSED CONTOURS TIE OUT TO EXISTING SPOT ELEVATIONS PROVIDED BY THE DEVELOPER FOR OVERALL DEVELOPMENT OF THE SITE.

Drawing name: N:\AS\190014003\190014003.dwg; Date: 9/5/2018 11:28am; By: John Henry  
 This document, together with the drawings and design information herein, is to be used only for the specific project and shall not be used for any other project without the written authorization and signature of the Engineer and Association, Inc. shall be the sole liability to the contractor and Association, Inc.

|  |                    |                                 |   |  |   |  |
|--|--------------------|---------------------------------|---|--|---|--|
|  | <b>CARVANA</b><br> | <b>GRADING AND UTILITY PLAN</b> | <b>CARVANA</b><br><b>UNIT 8</b><br><small>ADELL CENTER<br/>NOVI, MI 48375</small> | ORIGINAL ISSUE:<br>9/5/2018<br>KHA PROJECT NO.<br>190014003<br>SHEET NUMBER<br><b>C2.0</b> | SCALE: AS NOTED<br>DESIGNED BY: DEL<br>DRAWN BY: ANC<br>CHECKED BY: DEL | PRELIMINARY SITE PLAN RESUBMITTAL<br>10/08/18<br>DATE<br>NO. REVISIONS<br>BY |
|--|--------------------|---------------------------------|---|--|---|--|



### DESIGN CRITERIA

| PARKING AREAS    |  | PROPERTY LINE    |  |
|------------------|--|------------------|--|
| ILLUMINANCE (Fc) |  | ILLUMINANCE (Fc) |  |
| MINIMUM = 0.2    |  | MAXIMUM = 1.0    |  |
| UNIFORMITY = 4:1 |  |                  |  |

### CALCULATION SUMMARY

| PARKING AREAS     |  | PROPERTY LINE    |  |
|-------------------|--|------------------|--|
| ILLUMINANCE (Fc)  |  | ILLUMINANCE (Fc) |  |
| MINIMUM = 0.52    |  | MAXIMUM = 0.80   |  |
| UNIFORMITY = 3.29 |  |                  |  |

### LEGEND

| SYMBOL | QTY | DESCRIPTION  | MOUNTING HEIGHT |
|--------|-----|--|-----------------|
|        | 4   | PROPOSED SINGLE 154W, 300K, 17716 LUMENS DISTRIBUTION TYPE 5W LSI LED SITE AREA LUMINAIRE MODEL #XALM-5W-LED-SS-30-UE-BRZ-IL | 25 FT           |
|        | 1   | PROPOSED SINGLE 154W, 300K, 14552 LUMENS DISTRIBUTION TYPE 3 LSI LED SITE AREA LUMINAIRE MODEL #XALM-3-LED-SS-30-UE-BRZ-IL   | 25 FT           |



### Ordering Guide

| ITEM | DESCRIPTION                   | QTY | UNIT PRICE | TOTAL PRICE |
|------|-------------------------------|-----|------------|-------------|
| 1    | XALM FT LED HO 40 UE BRZ ALSC | 4   | 100.00     | 400.00      |
| 2    | XALM 3 LED HO 40 UE BRZ ALSC  | 1   | 150.00     | 150.00      |

### Accessory Ordering Information

| Order Number | Description     | Order Number |
|--------------|-----------------|--------------|
| 100001       | 100001 - 100001 | 100001       |
| 100002       | 100002 - 100002 | 100002       |



The Mirada sleek design makes it perfectly-suited for architectural applications, while its cost-effective die-cast aluminum housing makes its acquisition cost very competitive. The Mirada offers high performance silicone optics, die cast aluminum housing, 35,000+ lumens and is available with integral wireless controls.

### Features & Specifications

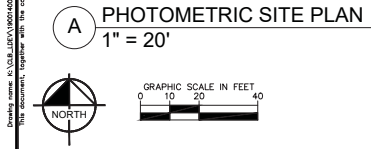
**Optical System**

- State-of-the-art one-piece silicone optics (sheet delivered) industry leading optical control with an integrated gasket to provide IP68 rated sealed optical chamber at 1 atmosphere.
- Proprietary silicone reflector optics provide exceptional coverage and uniformity in 400 Types 2, 3, 308 and FT.
- Silicone optical material does not yellow or crack with age and provides a minimum light transmittance of 95%.
- One weight.
- Available in 3000K, 4000K, and 5000K (+/- 275K) color temperatures.
- Minimum CRI of 75. 90CRI available. Custom factory for lead time.
- Integral Level 5.0 Lighter available for improved back-light control without sacrificing street side performance. See page 5 for more details.

**Electrical**

- High performance driver features over-voltage, under-voltage, short-circuit and over-temperature protection.
- 9-10V dimming 100% - 100% dim standard.
- Standard Commercial Voltage (120-277 VAC) Input 50/60 Hz or optional High Voltage (240-277VAC).
- 1.75 Calculated Life = 100k Hours (See Lumen Maintenance on Page 2)
- Total harmonic distortion < 20%.
- Operating temperature: -40°C to +60°C (+4°F to +142°F)
- Power factor > 99
- Heat sinker aluminum construction and heat.
- Heat radiatable large production device meets a minimum Category C Line operation per ANSI/IES (IES 41.2).
- High efficiency LEDs mounted in moisture resistant circuit board with dissipation.
- Terminal block provided accepts up to 10ga wire.
- Components are fully enclosed in potting material for moisture resistance. Driver complies with FCC standards. Driver and all electronic components can easily be accessed.

**Product Dimensions**



**B** PARKING LOT LIGHTING FIXTURES  
N.T.S

Drawing name: K:\ALM\1804003000\1804003000.dwg (1804003000) - C:\3D\PHOTOMETRIC SITE PLAN - Oct 26, 2018 1:28pm by: D:\ALM\1804003000\1804003000.dwg (1804003000) - C:\3D\PHOTOMETRIC SITE PLAN - Oct 26, 2018 1:28pm  
 This document, together with the drawings and design instrument herein, is an instrument of service, and its preparation and use is subject to the terms and conditions of the contract for professional services between the client and the consultant. It is the property of the consultant and shall remain the property of the consultant. No part of this document may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the consultant.

|              |          |           |          |
|--------------|----------|-----------|----------|
| SCALE:       | AS NOTED | PROJECT:  |          |
| DESIGNED BY: | PHMS     | DRAWN BY: | DOM      |
| CHECKED BY:  | PHMS     | DATE:     | 10/26/18 |
| APPROVED BY: | PHMS     | DATE:     | 10/26/18 |
| REVISIONS:   |          | DATE:     |          |
| NO.          |          | DATE:     |          |

|                                 |       |
|---------------------------------|-------|
| <b>Kimley-Horn</b>              | DATE: |
| 3011 S. W. 11th Ave., Suite 200 |       |
| Fort Lauderdale, FL 33315       |       |
| PHONE: 754-524-6977             |       |
| FAX: 754-524-6977               |       |
| WWW.KH-FIRM.COM                 |       |

|                              |       |
|------------------------------|-------|
| <b>CARVANA</b>               | DATE: |
| 1101 W. 11th Ave., Suite 200 |       |
| Fort Lauderdale, FL 33315    |       |
| PHONE: 754-524-6977          |       |
| FAX: 754-524-6977            |       |
| WWW.KH-FIRM.COM              |       |

|                              |       |
|------------------------------|-------|
| <b>PHOTOMETRIC SITE PLAN</b> | DATE: |
| 1101 W. 11th Ave., Suite 200 |       |
| Fort Lauderdale, FL 33315    |       |
| PHONE: 754-524-6977          |       |
| FAX: 754-524-6977            |       |
| WWW.KH-FIRM.COM              |       |

|                              |       |
|------------------------------|-------|
| <b>CARVANA UNIT 8</b>        | DATE: |
| 1101 W. 11th Ave., Suite 200 |       |
| Fort Lauderdale, FL 33315    |       |
| PHONE: 754-524-6977          |       |
| FAX: 754-524-6977            |       |
| WWW.KH-FIRM.COM              |       |

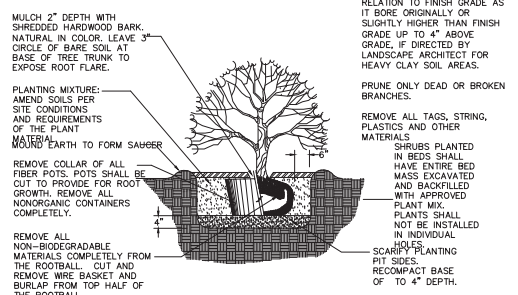
|                 |           |
|-----------------|-----------|
| ORIGINAL ISSUE: | 9/5/2018  |
| KHA PROJECT NO. | 190014003 |
| SHEET NUMBER    | C3.0      |





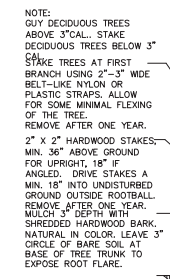


Drawing name: N:\305-11\1\1000-305\305.dwg Project name: 305.dwg Plot name: 305.dwg Date: 06/26/2018 11:29am User: dcarlaway  
 This document, together with the landscape and design permit application, is an instrument of service. It is to be prepared in accordance with the Florida Statutes and approved by the Florida Department of Transportation and approved by the Florida Department of Transportation and approved by the Florida Department of Transportation.



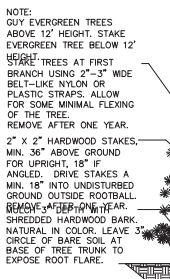
SHRUB PLANTING DETAIL

NOT TO SCALE



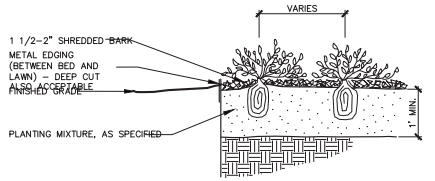
DECIDUOUS TREE PLANTING DETAIL

Not to scale



EVERGREEN TREE PLANTING DETAIL

Not to scale



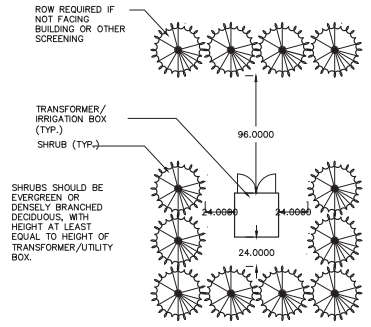
PERENNIAL PLANTING DETAIL

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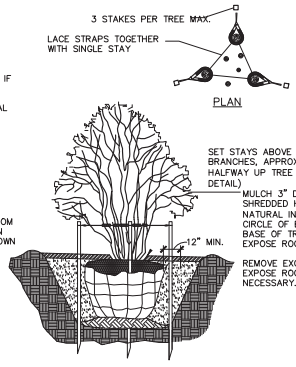
TREE STAKING DETAIL

Not to scale



TRANSFORMER SCREENING DETAIL

Not to scale



MULTI-STEM TREE PLANTING DETAIL

Not to scale

|             |                                 |
|-------------|---------------------------------|
| SCALE       | AS NOTED                        |
| DESIGNED BY | COL                             |
| DRAWN BY    | ANC                             |
| CHECKED BY  | DEL                             |
| DATE        | 10/26/18                        |
| PROJECT     | KHA PROJECT NO. 19004003        |
| DATE        | NOV. 18 2018                    |
| REVISION    | PRELIMINARY SITE PLAN SUBMITTAL |
| BY          | DEL                             |
| BY          | DEL                             |

**Kimley-Horn** ASSOCIATES, INC.  
 3015 W. UNIVERSITY AVENUE, SUITE 200  
 TALLAHASSEE, FL 32310-3897  
 PHONE: 904-224-6677  
 WWW.KIMLEY-HORN.COM

**CARVANA**  
 LANDSCAPE NOTES AND DETAILS  
**CARVANA UNIT 8**  
 AGELL CENTER  
 NOV. 18 2018

ORIGINAL ISSUE: 9/5/2018  
 KHA PROJECT NO. 19004003  
 SHEET NUMBER L2.1

**NCS-377 System, Inc.**  
 1-800-482-7171

**BUILDING ELEVATIONS**

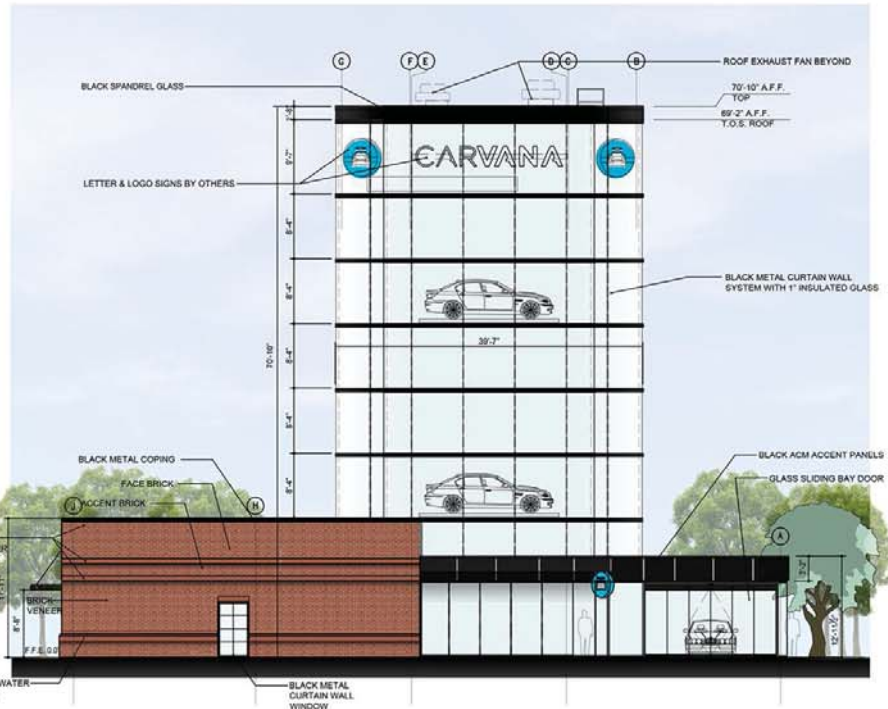
OCCUPIED SPACES

| CARVANA        | FRONT |
|----------------|-------|
| Brick          | 30%   |
| Clear Glass    | 53%   |
| Spandrel Glass | 0%    |
| ACM Panels     | 17%   |
| HM Doors       | 0%    |



① FRONT ELEVATION

SCALE: 1/16" = 1'-0"



② LEFT ELEVATION

SCALE: 1/16" = 1'-0"

OCCUPIED SPACES

| CARVANA        | LEFT |
|----------------|------|
| Brick          | 70%  |
| Clear Glass    | 26%  |
| Spandrel Glass | 0%   |
| ACM Panels     | 4%   |
| HM Doors       | 0%   |

330 W. 19th Street  
Charlotte, NC 28202  
704.333.8962  
www.ahnor.com



ARCHITECTS  
Designs for a changing world

CARVANA



1. MAY 30, 2018

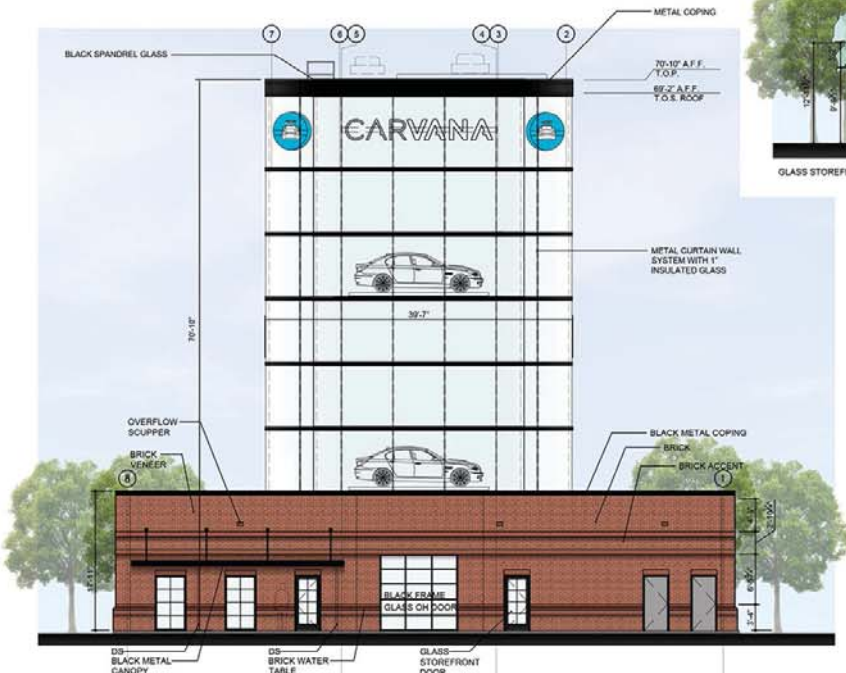
Date Issued: MAY 25, 2018

43700 EXPO CENTER DRIVE

SD-2  
DETROIT, MI (NOVI)

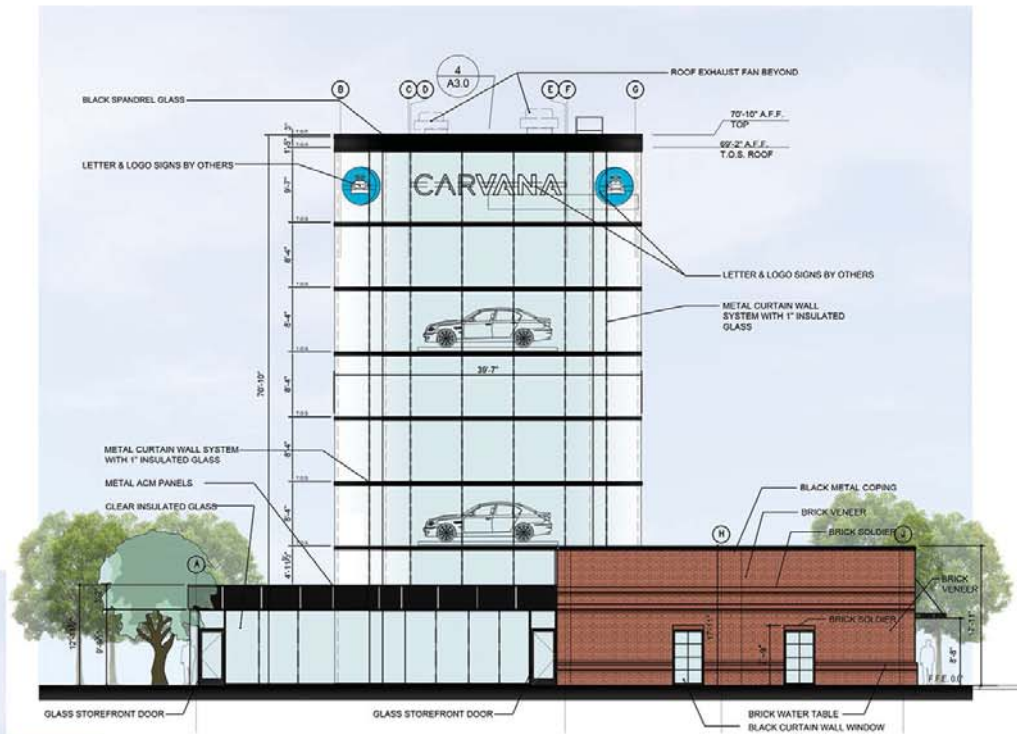
OCCUPIED SPACES

| CARVANA        | REAR |
|----------------|------|
| Brick          | 82%  |
| Clear Glass    | 14%  |
| Spandrel Glass | 0%   |
| ACM Panels     | 0%   |
| HM Doors       | 4%   |



③ REAR ELEVATION

SCALE: 1/16" = 1'-0"



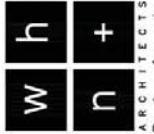
④ RIGHT ELEVATION

SCALE: 1/16" = 1'-0"

OCCUPIED SPACES

| CARVANA        | RIGHT |
|----------------|-------|
| Brick          | 93%   |
| Clear Glass    | 7%    |
| Spandrel Glass | 0%    |
| ACM Panels     | 0%    |
| HM Doors       | 0%    |

330 W. 19th Street  
Charlotte, NC 28202  
704.333.8962  
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ARCHITECTS  
Designs for a changing world

CARVANA

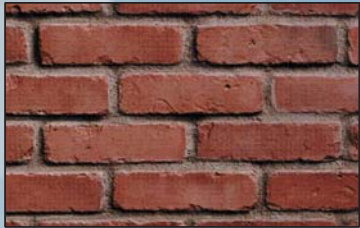


1. MAY 30, 2018

Date Issued: MAY 25, 2018  
43700 EXPO CENTER DRIVE

SD-3  
DETROIT, MI (NOVI)

FAÇADE BOARD



BRICK  
COLOR: RED

CLEAR INSULATED GLASS



CURTAIN WALL SYSTEM  
MATERIAL: METAL  
COLOR: BLACK



PANEL  
MATERIAL: METAL  
COLOR: BLACK

# FACADE SAMPLE BOARD

THIS IS THE CONCEPT BOARD MEANT TO BE REPRESENTATIVE OF THE MATERIAL AND BRICK TO BE SPECIFIED ONCE DESIGN IS FINALIZED

- DECEMBER 2018 -

# CARVANA

43700 EXPO CENTER DRIVE  
NOVI, MI, 48375

# ONE!

ARCHITECTURE



## PLANNING REVIEW



# PLAN REVIEW CENTER REPORT

November 20, 2018

## Planning Review

**CARVANA**

JSP 18-47

### PETITIONER

Carvana

### REVIEW TYPE

Revised Preliminary Site Plan with a Special Land Use

### PROPERTY CHARACTERISTICS

|                  |   |   |
|------------------|---|---|
| Section          | 15  |   |
| Site Location    | Tax Map ID would require Master Deed approval;<br>South of I-96, west of Novi Road, northwest of Crescent Boulevard |   |
| Site School      | Novi Community School District  |   |
| Site Zoning      | TC with PRO   |   |
| Adjoining Zoning | North   | C-Conference district across I-96                                 |
|                  | East  | TC with PRO   |
|                  | West  | TC with PRO   |
|                  | South   | TC with PRO   |
| Current Site     | Existing Industrial Building  |   |
| Adjoining Uses   | North   | Hotel across I-96   |
|                  | East  | Currently vacant; Possible restaurant                             |
|                  | West  | Currently vacant; Indoor recreational facility across Adell Drive |
|                  | South   | Currently vacant; Indoor recreational facility across Adell Drive |
| Site Size        | 1.30 acres  |   |
| Plan Date        | October 26, 2018  |   |

### PROJECT SUMMARY

The applicant is proposing a 5,800 square foot Vending Machine Fulfillment Center to building to facilitate storage and sales for used cars. The site plan proposes approximately 26 parking spaces including four spaces for single car hauler trucks.

Proposed use is considered an unlisted use. City Council has approved the unlisted use request at their October 22, 2018 meeting subject to the use being part of Adell Center development.

### RECOMMENDATION

Approval of the Preliminary Site Plan and Special Land Use is **recommended** subject to the items in this letter and attached chart being addressed.

### PROJECT HISTORY

The applicant has requested to waive the requirement for a Pre-application meeting in their e-mail dated August 29, 2018.

Unlisted Use Determination:

On July 11, 2018, the Planning Commission held a public hearing and postponed their recommendation to Council.

On August 22, 2018, the Planning Commission has recommended approval to City Council for the proposed unlisted use at the proposed location in the TC, Town Center District.

On September 24, 2018, the City Council considered the unlisted use determination request and indicated its tentative approval

On October 22, 2018, the City Council has approved the PRO concept plan, agreement and the unlisted use.

### **SPECIAL LAND USE CONSIDERATIONS**

---

An unlisted use would require a Special land use. Section 6.1.2.C of the Zoning Ordinance outlines specific factors the Planning Commission shall consider in the review of any Special Land Use:

- i. Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service.
- ii. Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area.
- iii. Whether, relative to other feasible uses of the site, the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats.
- iv. Whether, relative to other feasible uses of the site, the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood.
- v. Whether, relative to other feasible uses of the site, the proposed use is consistent with the goals, objectives, and recommendations of the City's Master Plan for Land Use.
- vi. Whether, relative to other feasible uses of the site, the proposed use will promote the use of land in a socially and economically desirable manner.
- vii. Whether, relative to other feasible uses of the site, the proposed use is
  - a. listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and
  - b. is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

### **ORDINANCE REQUIREMENTS**

---

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. **Please see the attached chart for information pertaining to ordinance requirements.** Items in **bold** below must be addressed and incorporated as part of the Final Site Plan submittal:

1. *Adell PRO: The subject property is part of a Planned Rezoning Overlay request for Adell Center Development, which was approved by City Council at their October 22, 2018 meeting.*
2. **Unlisted Use Conditions:** Unlisted use approval is subject to following conditions:
  - a. *The use should be limited to properties with freeway frontage only. **Complies.***
  - b. *A trip generation study is required to establish the minimum parking requirement. **Provided as required***
  - c. *Outside storage or storage sheds on site should not be allowed with this use, as they not meet the design intent of Town Center district. **Outside storage is not proposed***
  - d. *A limit should be set for number of single car haulers, parked within the site. Staff*

- recommends that they are placed such that they are not visible from Adell Drive or from along the freeway frontage. Four single car haulers are proposed to be parking on site.*
- e. **Landscape review notes that single car hauler parking area is sufficiently screened.**  
*All loading areas should be screened with landscaping with 100% opacity in Summer, 80% in Winter, or other opaque screening. Landscape architect has recommended a correction to change 100% to 90% opacity as 100% cannot be achieved with landscaping. Landscape review notes that all loading areas are sufficiently screened.*
  - f. *A layout plan should be provided indicating the location of the dumpster enclosure, loading area for the delivery truck(s), parking spaces for employees and customers, and any single car hauler parking on site so that staff can review the viability of circulation proposed. **Proposed layout conforms to the code and the PRO agreement.***
    - a. *A circulation plan showing wheel paths for both delivery truck and single car haulers to review site maneuverability from point of entry to point of exit. **One is provided. The site plan proposes to use the off-site driveways through Unit 6 and 7 parking lots for secondary emergency access and for its nine-vehicle car hauler exit. Refer to comment number 6 for more details.***
3. Minimum Parking Required: Proposed use is not listed in Section 5.2. Minimum required parking is to be determined based on parking study. **Based on the study, 20-22 minimum parking spaces may be allowed if additional information requested in parking study review is provided. Refer to review for more details.**
  4. Lighting and Photometric Plan: Photometric plan and additional information is typically required at the time of Final Site Plan when the site is not abutting a residential district. **A photometric plan is submitted. Please provide the missing information noted in the review chart.**
    - a. Planning deviation from Section 5.7 .3.K. to allow exceeding the maximum spillover of 1 foot candle along interior side property lines provided the applicant submits a photometric plan that demonstrates that the average to minimum light level ratio is kept to the maximum allowable 4: 1;
    - b. Planning deviation to allow exceeding the maximum spillover of 1 foot candle and approvable increase of the average to minimum light level ration from 4: 1 within the Adell Drive pavement areas as listed in Section 5.7 .3.K. along access easements along Adell Drive, at the time of or Preliminary Site Plan review for the individual units;
  5. Plan Review Chart: Planning review chart provides additional comments and requests clarification for certain items. **Please those comments in addition to the comments provided in this letter.**
  6. Off-site easements: The site plan proposes to use the off-site driveways through Unit 6 and 7 parking lots for secondary emergency access and for its nine-vehicle car hauler exit. Easements for these accesses should be in place prior to Final site plan approval. All off-site driveways should be open for use prior to occupancy. **The applicant shall provide necessary documentation to address this issue, such as draft off-site easements and letter of intent, etc.**
  7. Accessory Structure/Transformer: Please indicate the location for a transformer, if needed. It will be subject to parking lot setbacks and should be located in the rear yard.
  8. Master Deed: Any changes to off-site and on-site easements as shown on the approved Master Deed or the recorded easements shall be amended, as needed, and according to the current site layout, prior to final stamping set approval.

#### **LIST OF DEVIATIONS UNDER CONSIDERATION AS PART OF PRO**

Following list of deviations are approved as part of Adell Drive PRO Concept Plan and agreement. The current site plan should conform to the following conditions.

1. Planning deviation from section 3.1 .26.D for exceeding the maximum allowable building height of 65 feet and maximum allowable 5 stories, provided they conform to the 2015 International Building Code standards for High-rise (Type I or Type II) construction:
  - a. Unit 8 Carvana (75'-10", 8 tiers proposed)
2. Planning deviation from section 5.12 to allow lack of required frontage on public road for Units 1 through 8. Frontage is proposed via a proposed private drive, built to City standards;
3. Planning deviation from section 3.1.25.D to allow reduction of minimum required front parking setback of 20 ft., from the proposed access easement. A maximum of 18 feet is requested;
4. Planning deviation from section 3.1.25.D to allow reduction of minimum required interior side parking setback of 20 ft. for the following units as shared access is proposed between parking lots:
  - a. Unit 8: 10 ft. along East
5. Planning deviation from section 4.19 .2.F to allow alternate location for dumpsters, instead of required rear yard for units 1, 5, 6, 7 and 8, provided the proposed location does not impact traffic circulation and appropriate screening is provided at the time of preliminary site plan. The applicant requests dumpsters to be allowed in exterior/interior side yards;
6. Planning deviation to allow placement of loading areas in alternate locations instead of required rear yard or interior side yard for double frontage lots, as listed below, provided proposed locations do not conflict with traffic circulation and appropriate screening will be provided at the time of Preliminary site plan review:
  - a. Unit 8: exterior side yard
7. The applicant shall provide supporting data to justify the proposed loading area square footages, to be reviewed and approved by Planning Commission at the time of Preliminary site plan approval;
8. Planning deviation from standards of Sec. 5.12 for up to 5% reduction in minimum required parking(to be established by staff after reviewing the calculations provided) for each unit within the development subject to the individual users providing satisfactory justification for Planning Commission's approval of the parking reduction at the time of respective site plan approval;
9. Facade deviation to allow the following allowable percentages listed in section 5.15 of Zoning Ordinance for the buildings listed below.
  - a. Underage of brick (30% minimum required, 73% proposed on front facade)
  - b. Underage of combined brick and stone (50% minimum required, 73% on front, 30% on right facade, 30% on left and 39% on rear facade proposed)
  - c. Overage of display glass (25% maximum allowed, 80% on front facade, 63% on right facade, 63% on left facade and 57% on rear facade proposed).
10. Planning deviation to allow proposing the minimum required Open Space for each Unit as Common element spread within the development boundaries as shown in the Open Space Plan, provided the applicant restores the wetland/woodland on the southerly portion of the site pursuant to a plan meeting City ordinance requirements is submitted and approved at the time of Wetland permit/preliminary site plan approval, and provides the pedestrian walkway through the open space as proposed. (A minimum of 153 of total site area designed as permanently landscaped open areas and pedestrian plazas is required per section 3.27. I .F.);
11. Planning deviation from Section 5.7 .3.K. to allow exceeding the maximum spillover of 1 foot candle along interior side property lines provided the applicant submits a photometric plan that

demonstrates that the average to minimum light level ratio is kept to the maximum allowable 4:1;

12. Planning deviation to allow exceeding the maximum spillover of 1 foot candle and approvable increase of the average to minimum light level ration from 4: 1 within the Adell Drive pavement areas as listed in Section 5.7 .3.K. along access easements along Adell Drive, at the time of or Preliminary Site Plan review for the individual units;

## OTHER REVIEWS

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- a. Engineering Review: Engineering recommends approval with additional comments to be provided at the final site plan submittal.
- b. Landscape Review: Landscape recommends approval. Additional comments to be addressed with final site plan submittal.
- c. Traffic Review: Traffic recommends approval with additional comments to be provided at the final site plan submittal.
- d. Facade Review: Façade recommends approval subject to deviations approved as part of the PRO plan approval request.
- e. Fire Review: Fire recommends approval.

## NEXT STEP: PLANNING COMMISSION MEETING

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A Planning Commission public hearing is scheduled for December 12, 2018. Please submit the following no later than December 05, 2018 to out together the Planning Commission packet.

1. Revised site plan dated October 26, 2018. No Changes made to address the current reviews.
2. Response letter addressing all comments in all review letters.
3. A façade sample board.
4. A color rendering of the site. Optional, to be used for presentation purposes.

## FINAL SITE PLAN SUBMITTAL

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After receiving the Preliminary Site Plan approval, please submit the following for Final site plan review and approval

1. Seven copies of Final Site Plan addressing all comments from Preliminary review
2. Response letter **addressing all comments and refer to sheet numbers where the change is reflected**
3. Final Site Plan Application
4. Final Site Plan Checklist
5. Engineering Cost Estimate
6. Landscape Cost Estimate
7. Other Agency Checklist
8. No Revision Façade Affidavit (if no changes are proposed for Façade)
9. Legal Documents as required
10. Drafts of any legal documents (note that off-site easements need to be executed and any on-site easements need to be submitted in draft form before stamping sets will be stamped)

## ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER

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After receiving Final Site Plan approval, please submit the following for Electronic stamping set approval:

1. Plans addressing the comments in all of the staff and consultant review letters in PDF format.
2. Response letter addressing all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

## STAMPING SET APPROVAL

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Stamping sets are still required for this project. After having received all of the review letters from City staff the applicant should make the appropriate changes on the plans and submit **10 size 24" x 36" copies with original signature and original seals,** to the Community Development Department for final Stamping Set approval.

### **SITE ADDRESSING**

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**New address is required for this project.** The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found by clicking on this [link](#).

Please contact the Ordinance Division 248.735.5678 in the Community Development Department with any specific questions regarding addressing of sites.

### **STREET AND PROJECT NAME**

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**Not Applicable**

### **PRE-CONSTRUCTION MEETING**

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**A Pre-Construction meeting is required for this project.** Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or [smarchioni@cityofnovi.org](mailto:smarchioni@cityofnovi.org)] in the Community Development Department.

### **CHAPTER 26.5**

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Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or [skomaragiri@cityofnovi.org](mailto:skomaragiri@cityofnovi.org).



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Sri Ravali Komaragiri – Planner



**PLANNING REVIEW CHART: TC - Town Center District**

**Review Date:** November 19, 2018  
**Review Type:** Preliminary Site Plan with SLU: 1<sup>st</sup> Revision  
**Project Name:** **18-47 CARVANA**  
**Plan Date:** October 26, 2018  
**Prepared by:** Sri Ravali Komaragiri, Planner  
**E-mail:** [skomaragiri@cityofnovi.org](mailto:skomaragiri@cityofnovi.org) **Phone:** 248.735.5607

- **Bold:** Items that need to be addressed by the applicant with the next site plan submittal
- **Bold and Underline:** Does not conform to the code
- *Italics:* Notes to be noted

| Item  | Required Code  | Proposed                                     | Meets Code | Comments  |
|---|--|--|------------|---|
| <b>Zoning and Use Requirements</b>                                  |  |  |            |   |
| <b>Master Plan</b><br><i>(adopted July 26, 2017)</i>                | Office Research Development Technology   | Car Vending Facility                         | Yes?       | <i>The applicant has requested an unlisted use determination, which was approved by City Council at their October 22, 2018 meeting.</i>                                       |
| <b>Town Center Area Study</b>                                       | This site is in close proximity to study area boundary for Town Center Area study adopted in 2014  | The applicant is requesting to rezone to TC. | No?        |   |
| <b>Zoning</b><br><i>(Effective Dec. 25, 2013)</i>                   | EXPO   | TC: Town Center                              | No         | <i>The subject property is part of a Planned Rezoning Overlay request for Adell Center Development, which was approved by City Council at their October 22, 2018 meeting.</i> |
| <b>Density</b><br><i>Future Land Use Map(adopted July 26, 2017)</i> | Not Applicable   | Residential development not proposed         | NA         |   |
| <b>Phasing</b>  | Show proposed phasing lines on site plan. Describe scope of work for each phase. Each phase should be able to stand on its own with regards to utilities and parking | Phasing is not proposed.                     | NA?        |   |
| <b>Height, bulk, density and area limitations</b>                   |  |  |            |   |



| Item   | Required Code  | Proposed   | Meets Code | Comments  |
|--|--|--|------------|---|
| <b>Frontage on a Public Street</b><br>(Sec. 5.12)<br>(Sec. 6.3.2.A)          | Frontage upon a public street is required  | Frontage and access from the proposed private drive.   | Yes        | <i>This deviation is approved as past the Adell Center PRO request</i>  |
| <b>Access To Major Thoroughfare</b><br>(Sec. 5.13)                           | Access to major thoroughfare is required, unless the property directly across the street between the driveway and major thoroughfare is either multi-family or non-residential   | Adell Center has access to Crescent Boulevard, individual parcels have access to internal private drive; No single family residential zoning in the vicinity                                 | NA         | <i>This deviation is approved as past the Adell Center PRO request</i>  |
| <b>Open Space Area</b><br>(Sec. 3.27.1.F)                                    | 15% (permanently landscaped open areas and pedestrian plazas).   | Required open space is provided at a central location within Adell Center development.<br><br>A small pocket park is proposed as agreed to allow for pedestrian crossing across Adell Center | Yes        |   |
| <b>Maximum % of Lot Area Covered</b><br>(By All Buildings)<br>(Sec. 3.6.2 D) | No Maximum   | Total site area: 1.30 acres<br>Pervious Area: 25, 634 SF<br>Impervious Area: 30, 900 SF<br>Building foot print 5,800 SF  | Yes        |   |
| <b>Building Height</b><br>(Sec.3.1.26.D)                                     | 5 stories or 65 ft, whichever is less<br><br>Provisions for additional height only applies for TC-1, not TC district<br><br><b><u>Buildings in excess of 55' may need to conform to the 2015 International Building Code standards for High-Rise (Type I or Type II) construction.</u></b> | Unit 8: 70'-10" and 8 tiers (Carvana)  | Yes        | <i>This deviation is currently being considered as past the Adell Center PRO request.</i><br><br>The deviation request refers to 75'-10" Plans indicate 70-10". Additional height is less than the deviation granted. |
| <b>Building Setbacks</b> (Sec 3.1.26 D) and (Sec. 3.27.1.C)                  |  |  |            |   |

| Item   | Required Code  | Proposed   | Meets Code        | Comments   |
|--|--|--|-------------------|--|
| <p><b>Front</b><br/>                     50 feet minimum from all lot lines for exterior lot<br/><br/>                     15 feet minimum for front side, for interior lot lines<br/><br/>                     15 feet between separate buildings on same side</p>                        | <p>Has frontage on Adell drive. A minimum of 15 ft. is required.</p> | <p>It appears a setback over 15 feet is provided</p> | <p>Yes</p>        | <p><b>Please provide the distance from access easement to the building</b></p> |
| <p><b>Exterior Side Yard</b><br/>                     50 feet exterior<br/>                     15 feet interior<br/><br/>                     Exterior: lot lines located abutting non-TC district lots.<br/><br/>                     Interior: lot lines abutting TC district lots.</p> | <p>I-96 Exterior: 50 ft.</p>   | <p>168.8 ft</p>                                      | <p><b>Yes</b></p> |  |
| <p><b>Side Yard</b><br/>                     50 feet exterior<br/>                     15 feet interior<br/><br/>                     Exterior: lot lines located abutting non-TC district lots.<br/><br/>                     Interior: lot lines abutting TC district lots.</p>          | <p>All units require a minimum of 15 ft. from side lot lines</p>     | <p>30.3 ft.</p>                                      | <p>Yes</p>        |  |
| <p><b>Rear Yard</b><br/>                     50 feet exterior<br/>                     15 feet interior<br/><br/>                     Exterior: lot lines located abutting non-TC district lots.<br/><br/>                     Interior: lot lines abutting TC district lots.</p>          | <p>Unit 8: NA (double frontage)</p>                                  |  | <p>NA</p>         |  |
| <p><b>Parking Setback (Sec 3.1.25.D)</b></p>   |  |  |                   |  |

| Item  | Required Code  | Proposed   | Meets Code | Comments   |
|---|--|--|------------|--|
| <b>Front Parking Setback</b>                              | 20 ft. from access easement for private roads<br><br><b>A setback for 18 feet is being considered as part of the PRO request</b>   | Unit 8: <b>18 ft.</b> **   | No?        | <i>This deviation is approved as past the Adell Center PRO request</i> |
| <b>Exterior Side Yard Parking Setback</b>                 | 20 ft. from access easement for private roads  | 20 ft. (I-96)  | Yes        |  |
| <b>Side Yard Parking Setback</b>                          | 20 ft. from side lot lines   | <b>10 ft.</b><br><br><i>This deviation is approved as past the Adell Center PRO request</i>  | Yes        |  |
| <b>Rear Yard Parking Setback</b>                          | 10 ft. from lot lines and ROW  | Unit 8: NA (double frontage)   | Yes?       | 20 ft. setback line is indicated.                                      |
| <b>Note To District Standards (Sec 3.6.2)</b>             |  |  |            |  |
| <b>Exterior Side Yard Abutting a Street (Sec 3.6.2.C)</b> | All exterior side yards abutting a street shall be provided with a setback equal to front yard.  | Provided as required   | Yes        |  |
| <b>Minimum lot area and width (Sec 3.6.2.D)</b>           | Except where otherwise provided in this ordinance, the minimum lot area and width, maximum percentage of lot coverage shall be determined by the requirements set forth. | Lot area and dimension are reviewed as part of the Site Condominium and PRO for Adell Center | Yes        |  |
| <b>Yard setbacks (Sec 3.6.2.H&amp;L)</b>                  | If site abuts a residential zone, buildings must be set back at least 3' for each 1' of building height, but in no case can be less than 20' setback                     | Does not abut residential zoning   | NA         |  |
| <b>Wetland/Watercourse Setback (Sec 3.6.2.M)</b>          | A setback of 25 ft. from wetlands and from high watermark course shall   | No wetlands or woodlands on site   | NA         |  |

| Item   | Required Code  | Proposed  | Meets Code | Comments   |
|--|--|---|------------|--|
|  | be maintained  |   |            |  |
| <b>Parking setback screening</b><br>(Sec 3.6.2.P)                    | Required parking setback area shall be landscaped per sec 5.5.3.   | Meets the requirements  | Yes        | Refer to Landscape review for more details.  |
| <b>Modification of parking setback requirements</b><br>(Sec 3.6.2.Q) | The Planning Commission may modify parking setback requirements based on its determination according to Sec 3.6.2.Q.   | Complies with setbacks as listed in Adell Center PRO agreement  | Yes        |  |
| <b>TC District Required Conditions (Sec 3.27)</b>                    |  |   |            |  |
| <b>Site Plans</b><br>(Sec. 3.27.1.A.)                                | Site area under 5 acres: Requires Planning Commission approval;<br>Site area over 5 acres: Requires City Council approval upon Planning Commission recommendation  | The parent parcel is less than 5 acres  | No?        | <i>Site plan approval for individual lots less than require Planning Commission approval, unless Council reserves the right to approval site plans as part of PRO approval</i> |
| <b>Parking Setbacks and Screening</b><br>(3.27.1 D)                  | 20 ft. from ROW (access easement for private roads)  | A setback for 18 feet is being considered as part of the PRO request  | Yes        |  |
|  | Surface parking areas must be screened by either a 2.5 ft. brick wall, semitransparent screening or a landscaped berm from all public ROW (access easement for private roads)                                  | A combination of brick wall and a semi-transparent screening is provided on both side of proposed Adell drive | Yes        |  |
|  | For TC-1, No front yard or side yard parking on any non-residential collector.   | Not applicable  | NA         |  |
| <b>Architecture/Pedestrian Orientation</b><br>(3.27.1 E)             | No building in the TC-1 district shall be in excess of one-hundred twenty-five (125) feet in width, unless pedestrian entranceways are provided at least every one-hundred twenty-five (125) feet of frontage. | Not applicable  | NA         |  |

| Item  | Required Code  | Proposed   | Meets Code | Comments  |
|---|--|--|------------|---|
| <b>Façade materials</b><br>(Sec. 3.27.1 G)  | All sides of the building and accessory buildings must have the same materials. Façade materials may deviate from brick or stone with PC approval. | Section 9 waiver is supported.   | No?        | <i>This deviation is currently being considered as past the Adell Center PRO request.</i> |
| <b>Parking, Loading, Signs, Landscaping, Lighting, Etc</b><br>(Sec. 3.27.1 H)                   | All loading in TC-1 shall be in rear yards.  | Requested rezoning category is TC  | NA         |   |
|   | Off-street parking counts can be reduced by the number of on-street parking adjacent to a use  | On-street parking is not proposed  | NA         |   |
|   | PC may allow parking requirement reduction when parking areas serve dual functions.  | Required parking for this site is determined based on Traffic study              | Yes?       | <b>Refer to parking study review for more comments</b>                                    |
|   | Special assessment district for structured park  | Not proposed   | NA         |   |
| <b>Sidewalks required</b><br>(Sec. 3.27.1 I)  | For TC-1 only, Sidewalks required along non-residential collector to be 12.5 ft. wide.   | Not Applicable   | NA         |   |
|   | Direct pedestrian access between all buildings and adjacent areas  | A pedestrian connection from building to sidewalks along Adell Drive is provided | Yes        |   |
| <b>Bicycle Paths</b><br>(Sec. 3.27.1 J)   | Bike paths required to connect to adjacent residential & non-residential areas.  | Not required   | NA         |   |
| <b>Development amenities</b><br>(Sec. 3.27.1 L)   | All sites must incorporate amenities such as exterior lighting, outdoor furniture, and safety paths in accordance with Town Center Study Area.     | Amenities are provided as part of the Site Condominium project for Adell Center  | Yes        | <b>The applicant may choose to provide additional amenities on site for added value</b>   |
| <b>Combination of use groups within a single structure</b><br>(Sec. 3.27.1 M)<br>(Sec.3.27.2.B) | - Additional regulations per Sec. 3.27.1.M and 3.27.2.B apply if combination of uses proposed in same  | Each building stands on its own with a single use                                | NA         |   |

| Item   | Required Code  | Proposed   | Meets Code | Comments   |
|--|--|--|------------|--|
|  | building   |  |            |  |
| <b>Street and Roadway Rights-Of-Way</b><br>(Sec. 3.27.1 N)   | Nonresidential collector and local streets shall provide ROWs consistent with DCS standards<br><br>Roadway width: 36 feet<br>ROW/Access Easement: 70 feet                            | Roadway width: 36 feet<br>Access Easement: 70 feet   | Yes        |  |
| <b>Parking, Handicap Parking and Bike Requirements</b>   |  |  |            |  |
| <b>Required Parking Calculation</b><br>(Sec. 5.2.12)<br>(Sec. 4.82.2)  | Proposed use is not listed in Section 5.2. Minimum required parking is to be determined based on parking study   | Proposed: 26 spaces<br>4 single car hauler spaces  | Yes?       | Based on study, 20-22 minimum parking spaces may be allowed if additional information requested in parking study review is provided.<br><br><b>Please update the numbers on site plan. It indicates 30 proposed spaces. Only 26 are provided</b> |
| <b>Barrier Free Spaces</b><br><i>Barrier Free Code</i><br><br><i>*No deviations since this is a Michigan Building Code requirement</i> | 1 Regular, 1 Van accessible  | Two van accessible spaces are provided   | Yes        |  |
| <b>Minimum number of Bicycle Parking</b><br>(Sec. 5.16.1)  | Two spaces   | Two  | Yes        |  |
| <b>Parking Lot Design Requirements (Sec. 5.3.2.)</b>   |  |  |            |  |
| <b>Parking Space Dimensions and Maneuvering Lanes</b><br>(Sec. 5.3.2)  | - 90° Parking: 9 ft. x 19 ft.<br>- 24 ft. two way drives<br>- 9 ft. x 17 ft. parking spaces allowed as long as detail indicates a 4" curb at these locations<br>- 60° 9 ft. x 18 ft. | - 90° Parking: 9 ft. x 19 ft.<br>- 24 ft. two way drives<br>9 ft. x 17 ft. parking spaces allowed as long as detail indicates a 4" curb at t | Yes        |  |
| <b>Parking lot entrance offset</b><br>(Sec. 5.3.6)   | Parking lot entrances must be set back 25' from any single-family residential district.  | Subject property does not abut single-family residential district.   | NA         |  |
| <b>End Islands</b><br>(Sec. 5.3.12)  | - End Islands with landscaping and   | They appear to comply.   | Yes        |  |

| Item   | Required Code  | Proposed   | Meets Code | Comments  |
|--|--|--|------------|---|
|  | raised curbs are required at the end of all parking bays that abut traffic circulation aisles.<br>- The end islands shall generally be at least 8 ft. wide, have an outside radius of 15 ft., and be constructed 3 ft. shorter than the adjacent parking stall   |  |            |   |
| <b>Parking stall located adjacent to a parking lot entrance</b><br>(public or private)<br><i>(Sec. 5.3.13)</i> | - Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer   | Not applicable   | NA         |   |
| <b>Barrier Free Space Dimensions</b><br><i>Barrier Free Code</i>   | - 8' wide with an 8' wide access aisle for van accessible spaces<br>- 8' wide with a 5' wide access aisle for regular accessible spaces  | Two 8' wide spaces with an 8' wide access aisle for van are provided | Yes        |   |
| <b>Barrier Free Signs</b><br><i>Barrier Free Code</i>  | One sign for each accessible parking space.  | Indicated  | Yes        |   |
| <b>Bicycle Parking General requirements</b><br><i>(Sec. 5.16)</i>  | - No farther than 120 ft. from the entrance being served<br>- When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations<br>- Spaces to be paved and the bike rack shall be inverted "U" design<br>- Shall be accessible via 6 ft. paved sidewalk | Appears to be within 12 ft.  | Yes?       | <b>Please dimension the sidewalk next to the bike racks. It should be a minimum of 6 feet</b> |
| <b>Bicycle Parking Lot layout</b><br><i>(Sec 5.16.6)</i>   | Parking space width: 6 ft.<br>One tier width: 10 ft.<br>Two tier width: 16 ft.<br>Maneuvering lane   | Not indicated  | No         | <b>Please provide the required layout</b>   |

| Item   | Required Code  | Proposed  | Meets Code  | Comments   |
|--|--|---|-------------|--|
|  | width: 4 ft.<br>Parking space depth: 2 ft. single, 2 ½ ft. double  |   |             |  |
| <b>Loading Space (Sec. 5.4.2.)</b>   | Loading area required for all uses in Town Center  | Loading area proposed in exterior side yard.<br><br>A seventy five foot long nine car hauler will access this site. A truck turning plan is provided.<br><br>Four single car haulers are also proposed to be parked on site   | <b>Yes</b>  |  |
| <b>Loading Space location (Sec. 5.4.2)</b>   | - rear yard or<br>- interior side yard beyond the side yard setback for double frontage lots   | A loading zone for 9-car hauler is proposed in the exterior side yard. A deviation for this location is being considered with Adell Center PRO request.<br><br>Four single car haulers are proposed in the interior side yard | <b>No</b>   |  |
| <b>Loading Space Area (Sec. 5.4.2)</b><br><br>In the ratio of 10 sq. ft. per front foot of building. | 750 SF is requested as part of the Adell Center PRO  | It appears to be 750 SF   | <b>Yes?</b> | <b>Indicate the loading zone area on the plans.</b>                |
| <b>Loading Space Screening (Sec. 5.4.2 B)</b>  | Loading area must be screened from view from adjoining properties and from the street.   | Sufficient screening is provided  | <b>Yes</b>  |  |
| <b>Dumpster Sec 4.19.2.F</b>   | - Located in rear yard<br>- Attached to the building or no closer than 10 ft. from building if not attached<br>- Not located in parking setback<br>- Rear lot abuts ROW, 50 ft. setback required.<br>- Away from Barrier free Spaces | Provided in exterior side yard.<br>Meets the parking setback  | No?         | <i>Dumpster is allowed in exterior side yard per PRO agreement</i> |



| Item  | Required Code   | Proposed                                    | Meets Code | Comments   |
|---|---|---|------------|--|
| <b>Dumpster Enclosure</b><br><i>Sec. 21-145. (c)</i><br><i>Chapter 21 of City Code of Ordinances</i>  | <ul style="list-style-type: none"> <li>- Screened from public view</li> <li>- A wall or fence 1 ft. higher than height of refuse bin</li> <li>- And no less than 5 ft. on three sides</li> <li>- Posts or bumpers to protect the screening</li> <li>- Hard surface pad.</li> <li>- Screening Materials: Masonry, wood or evergreen shrubbery</li> </ul> | Information not indicated                   | No?        | <b>Refer to façade review for more comments</b>  |
| <b>Lighting and Photometric Plan (Sec. 5.7)</b>   |   |   |            |  |
| These deviations is being considered as part of the Adell Center PRO plan <ol style="list-style-type: none"> <li>1. Planning deviation from Section 5.7.3.K. to allow exceeding the maximum spillover of 1 foot candle along interior side property lines provided the applicant submits a photometric plan that demonstrates that the average to minimum light level ratio is kept the maximum allowable 4:1;</li> <li>2. Planning deviation to allow exceeding the maximum spillover of 1 foot candle and approvable increase of the average to minimum light level ration from 4:1 within the Adell Drive pavement areas as listed in Section 5.7.3.K. along access easements along Adell Drive, at the time of or Preliminary Site Plan review for the individual units;</li> </ol> |   |   |            |  |
| <b>Intent (Sec. 5.7.1)</b>  | 24B Establish appropriate minimum levels, prevent unnecessary glare, reduce spill-over onto adjacent properties & reduce unnecessary transmission of light into the night sky   | A lighting and photometric plan is provided | No?        | Refer to other comments  |
| <b>Lighting Plan (Sec. 5.7.2 A.i)</b>   | Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures   | Shown                                       | Yes        |  |
| <b>Building Lighting (Sec. 5.7.2.A.iii)</b>   | Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, luminance levels of walls and the aiming points of any remote fixtures.   |   |            | <b>The proposed building is a glass tower. Please indicate if the interior building lighting will be turned on. If yes, those photometric should be included in the spillover calculations</b> |
| <b>Lighting Plan (Sec.5.7.2 A.ii)</b>   | Specifications for all proposed & existing lighting fixtures  | provided                                    | Yes        |  |

| Item   | Required Code  | Proposed            | Meets Code | Comments  |
|--|--|---------------------|------------|---|
|  | Photometric data   | provided            | Yes        |   |
|  | Fixture height   | 25 feet             | Yes        |   |
|  | Mounting & design  | Pole lights         | Yes        |   |
|  | Glare control devices  | Full-cut off        | Yes        |   |
|  | Type & color rendition of lamps  | LED                 | Yes        |   |
|  | Hours of operation   | Not provided        | No         |   |
|  | Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties   |                     |            |   |
| <b>Required Conditions</b><br>(Sec. 5.7.3.A)   | Light pole height not to exceed maximum height of zoning district (65 ft. for TC)  | 25 feet             | Yes        |   |
| <b>Required Conditions</b><br>(Sec. 5.7.3.B&G)   | <ul style="list-style-type: none"> <li>- Electrical service to light fixtures shall be placed underground</li> <li>- Flashing light shall not be permitted</li> <li>- Only necessary lighting for security purposes &amp; limited operations shall be permitted after a site's hours of operation</li> </ul> | Unable to determine | No         | <b>Add these notes to the photometric plan</b>  |
| <b>Security Lighting</b><br>(Sec. 5.7.3.H)<br><br>Lighting for security purposes shall be directed only onto the area to be secured. | <ul style="list-style-type: none"> <li>- All fixtures shall be located, shielded, and aimed at the areas to be secured.</li> <li>- Fixtures mounted on the building and designed to illuminate the facade are preferred.</li> </ul>  | Unable to determine | No         | <b>Provide hours of operation and indicate what lights will be turned on for security reasons</b> |
| <b>Required Conditions</b><br>(Sec.5.7.3.E)  | Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1   | Unable to determine | No         | <b>Provide the value to verify conformance</b>  |
| <b>Required Conditions</b><br>(Sec. 5.7.3.F)   | Use of true color rendering lamps such as  | LED                 | Yes        |   |

| Item  | Required Code   | Proposed   | Meets Code | Comments   |
|---|---|--|------------|--|
|   | metal halide is preferred over high & low pressure sodium lamps   |  |            |  |
| <b>Min. Illumination (Sec. 5.7.3.K)</b>                                       | Parking areas: 0.2 min  | Minimum provided   | Yes        |  |
|   | Loading & unloading areas: 0.4 min  | Minimum provided   | Yes        |  |
|   | Walkways: 0.2 min   | Minimum provided   | Yes        |  |
|   | Building entrances, frequent use: 1.0 min   | Minimum provided   | Yes        |  |
|   | Building entrances, infrequent use: 0.2 min   | Minimum provided   | Yes        |  |
| <b>Max. Illumination adjacent to Non-Residential (Sec. 5.7.3.K)</b>           | When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle  | Less than 1 fc   | Yes        |  |
| <b>Cut off Angles (Sec. 5.7.3.L)</b>  | When adjacent to residential districts:<br>- All cut off angles of fixtures must be 90°<br>- maximum illumination at the property line shall not exceed 0.5 foot candle | Not applicable   | NA         |  |
| <b>Building Code and Other Requirements</b>                                   |   |  |            |  |
| <b>Accessory Structures (Sec. 4.19)</b>                                       | - Each accessory building shall meet all setback requirements for the zoning district in which the property is situated<br>- Shall meet the façade ordinance standards  | Accessory structures are not proposed                      | NA         | <b>A transformer detail is provided on sheet L2.1. A location is not shown on the layout. Please indicate the location of transformer on plans</b> |
| <b>Exterior Building Wall Façade Materials (Sec. 5.15) (Sec. 3.27.1.G)</b>    | Façade Region: 1  | Complies with deviations approved as part of PRO agreement | Yes        | <i>This deviation is currently being considered as past the Adell Center PRO request.</i>  |
| <b>Roof top equipment and wall mounted utility equipment Sec. 4.19.2.E.ii</b> | All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the   | Information not provided                                   | No         | <b>Refer to Façade review for more information requested</b>   |

| Item   | Required Code  | Proposed   | Meets Code | Comments  |
|--|--|--|------------|---|
|  | design and color of the building   |  |            |   |
| <b>Building Code</b>   | Building exits must be connected to sidewalk system or parking lot.  | Sidewalks shown on the plans   | Yes        |   |
| <b>Design and Construction Standards Manual</b>                              | Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).   | Lot lines are consistent with the Adell Center Site Condominium plan               | Yes        | <b>Provide the recorded parcel ID on plan</b>   |
| <b>General layout and dimension of proposed physical improvements</b>        | Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private). | Mostly provided. Additional information requested in this and other review letters | No         | <b>Provide additional information as requested in all reviews</b>                     |
| <b>Economic Impact</b>   | <ul style="list-style-type: none"> <li>- Total cost of the proposed building &amp; site improvements</li> <li>- Number of anticipated jobs created (during construction &amp; after building is occupied, if known)</li> </ul>   | Not provided   | No?        | Provide requested information   |
| <b>Signage</b><br><br><u>See link below (Chapter 28, Code of Ordinances)</u> | <ul style="list-style-type: none"> <li>- Signage if proposed requires a permit.</li> <li>- <u>Signage is not regulated by the Planning Commission or Planning Division.</u></li> </ul>   | Signage complies with deviations approved with Adell Center PRO                    |            | <i>Apply for final sign permit through ordinance department prior to installation</i> |
| <b>Property Address</b>  | The applicant should contact the Building Division for an address prior to applying for a building permit.   | One is not required at this time.  | <b>No</b>  | <u>Submit address application after Final Site Plan approval.</u>                     |
| <b>Project and Street Naming Committee</b>                                   | Some projects may need approval from the Street and Project Naming Committee.  | Not applicable   |            |   |

| Item                    | Required Code   | Proposed   | Meets Code | Comments   |
|-------------------------|---|--|------------|--|
| <b>Master Deed</b>      | Master Deed should be approved for site condominiums prior to stamping set approval                                     | Lot lines are being reviewed as part of the Site Condominium site plan for Adell Center  | No?        | <b>Master Deed should be recorded prior to final site plan approval</b>          |
| <b>Future Easements</b> | - A 60 feet ROW with additional 10 feet access easement or 70 feet access easement is required for proposed Adell drive | A 70 feet access easement is provided<br><br>Cross access/parking easements are required | No?        | <b>Refer to Engineering review for additional easements that may be required</b> |

**NOTES:**

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4, and 5 of the zoning ordinance for further details.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

## ENGINEERING REVIEW



## PLAN REVIEW CENTER REPORT

11/19/2018

### Engineering Review

Carvana  
JSP 18-0047

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#### Applicant

Carvana, LLC

#### Review Type

Revised Preliminary Site Plan

#### Property Characteristics

- Site Location: South west of I-96 ramp 'C', east of Adell Drive
- Site Size: 1.3 acres
- Plan Date: 10/26/2018
- Design Engineer: Kimley-Horn

#### Project Summary

- Construction of an approximately 5,800 square-foot building and associated parking. Site access would be provided by Adell Drive.
- Water main in Adell Drive. A 2-inch domestic lead and a 6-inch fire lead would be provided to serve the building, along with an additional hydrant.
- Sanitary sewer service in Adell Drive, sanitary sewer lead to building.
- Storm water management provided for the development, with individual storm water treatment unit for the site.

#### Recommendation

**Approval of the revised Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.**

**Comments:**

The revised Preliminary Site Plan meets the general requirements of the design and construction standards as set forth in Chapter 11 of the City of Novi Codified Ordinance, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

**Additional Comments (to be addressed upon Final Site Plan submittal):**

General

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
2. Provide a minimum of two ties to established section or quarter section corners.
3. Site plans shall be tied to at least one City benchmark and all proposed site elevations must be on the City's datum (NAVD 88). Site benchmarks listed on the plans may be removed during demolition work. Coordinate with overall development for site benchmarks.
4. Provide a construction materials table on the Utility Plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
5. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed.
6. Provide a traffic control sign table listing the quantities of each sign type proposed for the development. Provide a note along with the table stating all traffic signage will comply with the current MMUTCD standards.
7. Per Section 26.5-35(h), a statement is required on any plan containing a private street with the following language: "City of Novi has no responsibility to improve or maintain the private streets contained within or private streets providing access to the property described in this plan".
8. Standard details are not required with the Final Site Plan submittal. Provide the City's standard detail sheets for water main (5 sheets-rev. 02/16/2018), sanitary sewer (3 sheets- rev. 02/16/2018), storm sewer (2 sheets- rev. 02/16/2018), and paving (2 sheets-rev. 03/05/2018) at the time of the printed Stamping Set submittal. These details can be found on the City's website at this location: <http://cityofnovi.org/Government/City-Services/Public-Services/Engineering-Division/Engineering-Standards-and-Construction-Details.aspx>

Water Main

9. A unique shut-off valve within the water main easement is required for each building service lead.
10. Coordinate with overall development for size of building fire and domestic service leads, and extension of water main for additional fire hydrant(s) as



required. The stubs shown to be provided on the overall development are not consistent with the size of the service leads indicated on this site plan.

11. Proposed fire hydrant lead must from water main, not from building fire service lead.
  - a. Hydrant leads in excess of 25 feet in length must be 8 inch.
  - b. Show on the plans 20 foot wide public water main easement for proposed hydrant and lead.

#### Sanitary Sewer

12. Include a sanitary sewer basis of design on the utility plan.
13. Each building is required to have a unique sanitary sewer monitoring manhole, within a dedicated 20-foot wide access easement to the monitoring manhole from the public right-of-way (rather than a public sanitary sewer easement).
14. Provide a note on the construction materials table that 6-inch sanitary leads shall be a minimum SDR 23.5, and mains shall be SDR 26.
15. Provide a note on the Utility Plan stating that sanitary leads shall be buried at least 5 feet deep where under the influence of pavement.

#### Storm Sewer

16. A minimum cover depth of 3 feet shall be maintained over all storm sewers.
17. Provide a schedule listing the casting type and other relevant information for each proposed storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.
18. Show and label all roof conductors, and show where they will tie into the storm sewer system on the layout and on the profile.
19. Provide a four-foot deep sump in the last storm structure prior to discharge off-site.
20. Relocate catch basin and storm sewer to minimize conflict with proposed building water service leads.

#### Storm Water Management Plan

21. Provide a sheet entitled Storm Water Management Plan (SWMP). The SWMP shall comply with the Storm Water Ordinance and Chapter 5 of the Engineering Design Manual (refer to the runoff coefficients, 1V:4H allowable basin slopes, etc.). Include reference to the overall SWMP for the Adell Center development and demonstrate that the site plan is in accordance with the overall SWMP.
22. The SWMP must detail the storm water system design, calculations, details, and maintenance as stated in the ordinance.
23. Indicate the proposed location of the first flush storm water quality treatment unit. This unit will require its own Storm Drain Facility Maintenance Easement Agreement.

24. Provide manufacturers details and sizing calculations for the pretreatment structure within the plans. Provide drainage area and runoff coefficient calculations specific to the area tributary to each treatment structure.
25. Provide supporting calculations for runoff coefficient determination. A runoff coefficient of 0.35 shall be used for all turf grass lawns (mowed lawns).

#### Paving & Grading & Floodplain

26. Provide top of curb/walk and pavement/gutter grades to indicate height of curb adjacent to parking stalls or drive areas.
27. Curbing and walks adjacent to the end of 17-foot stalls shall be reduced to 4-inches high, rather than the standard 6-inch height to be provided adjacent to 19-foot stalls. Provide additional details as appropriate.
28. The end islands shall conform to the City standard island design, or variations of the standard design, while still conforming to the standards given in Section 2506 of Appendix A of the Zoning ordinance (i.e. 2' minor radius, 15' major radius, minimum 8' wide, 3' shorter than adjacent 19' stall).
29. Refer to City standard paving details for minimum pavement cross sections and sidewalk details.
30. The overall development plans for Adell Drive show a concrete drive approach. Provide 8 inch concrete drive approach according to detail 9B on standard details. Public sidewalk shall continue through the drive approach. Provide spot grades to confirm maximum 2 percent cross slope across is maintained across the walk.
31. Provide the standard Type 'M' approach at the proposed driveway.

#### Soil Erosion and Sediment Control

32. A SESC permit is required. The review checklist detailing all SESC requirements is attached to this letter. An informal review will be complete with the Final Site Plan if SESC plans are included in the submittal. The SESC permit application must be submitted under separate cover prior to the start of construction. The application can be found on the City's website at <https://www.cityofnovi.org/Reference/Forms/Bldg-SoilErosionPermitNewDevelopment.aspx>.

#### Off-Site Easements

33. Any off-site utility easements anticipated must be executed **prior to final approval of the plans**.
  - a. A cross-access easement is required with unit 7 to the east.
  - b. An access easement is also required with unit 6.

#### **The following must be submitted at the time of Final Site Plan submittal:**

34. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must**

**be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

35. Draft copies of any off-site easements, a recent title search, and legal escrow funds must be submitted to the Community Development Department for review and approved by the Engineering Division and the City Attorney prior to getting executed.

**The following must be submitted at the time of Stamping Set submittal:**

36. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
37. Draft copy of 20 foot water main easement proposed on the site must be submitted to Community Development.
38. A draft copy of the 20-foot wide access easement for the sanitary sewer monitoring manhole to be constructed on the site must be submitted to the Community Development Department.
39. Executed copies of reviewed and approved off-site easements, if applicable.

**The following must be addressed prior to construction:**

40. A pre-construction meeting shall be required prior to the commencement of any site work. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
41. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application fee).
42. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
43. Construction Inspection Fees, to be determined once the construction cost estimate is submitted, must be paid prior to the pre-construction meeting.
44. A permit for public water main construction must be obtained from the MDEQ, if applicable. This permit application must be submitted through the Water and Sewer Senior Manager after the water main plans have been approved.
45. A storm water performance guarantee, equal to 1.2 times the amount required to complete storm water management and facilities as specified in

the Storm Water Management Ordinance, must be posted with Community Development.

46. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted with Community Development.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Darcy Rechten at (248) 735-5695 with any questions.



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Darcy N. Rechten, P.E.

cc: George Melistas, Engineering  
Sri Komaragiri, Community Development

## LANDSCAPE REVIEW



# PLAN REVIEW CENTER REPORT

November 13, 2018

## Revised Preliminary Site Plan - Landscaping

Carvana

### Review Type

Revised Preliminary Landscape Review

### Job #

JSP18-0047

### Property Characteristics

- Site Location: Adell Drive – Unit 8
- Site Acreage: 1.3 acres
- Site Zoning: TC
- Adjacent Zoning: East, West, South: TC, North: I-96
- Plan Date: 10/26/2018

### Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Preliminary/Final Site Plan submittal. Underlined items should be addressed in Final Site Plans. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Chart are summaries and are not intended to substitute for any Ordinance.

**Note: Landscape waivers will need to be granted by the Planning Commission.**

### Landscape Waivers Required:

1. Less than 60% of building frontage facing I-96 is landscaped. *Supported by staff because line of shrubs on top of berm will also screen building foundation from I-96.*
2. Some foundation landscaping is not located at the base of the building. *Supported by staff because, aside from the berm landscaping, foundation landscaping that is not at base of building is located just across sidewalk from the building.*

### Recommendation

The project is **recommended for approval** at this time, assuming the waivers are granted by the Planning Commission. The changes noted below can be addressed in Final Site Plans.

### Ordinance Considerations

Existing and proposed overhead and underground utilities, including hydrants. (LDM 2.e.(4))

1. Provided.
2. There are no overhead utility lines in the vicinity of the project.

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. There are no existing trees on the site.
2. The landscaping shown along Adell Drive, including the sitting area and associated landscaping, and I-96 will be installed by the developer of the overall Adell project.
3. **Please show tree fence lines around those landscape elements on these plans and include a tree fence detail.**

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

Property is not adjacent to Residential.

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. The trees along Adell Drive, and berm and canopy trees along the I-96 frontage will be installed by the developer of the overall Adell project.
2. **Please show the calculations on these plans, and show the net number of trees that need to be provided by Carvana in the Adell Drive greenbelt. The perimeter trees proposed for the parking lot meet the required additional canopy trees.**
3. **Although the calculations do not indicate they are required because the requirement is met by the canopy trees, the subcanopy trees indicated on the Roads & Utilities Plan must still be planted. Please show them as proposed on these plans and add them to the plant list.**
4. **Please also show the berms, walls and/or fencing that are shown on the Roads and Utilities plan as being provided in future phases. They should be shown as being proposed on these plans.**

Street Tree Requirements (Zoning Sec. 5.5.3.E.i.c and LDM 1.d.)

1. No street trees are required within the TC district.
2. All trees shown along Adell Drive will be planted by the overall site developer but count toward the greenbelt trees canopy tree requirement.

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

Based on the vehicular use areas, 1,667 sf of islands and 8 trees are required. 2,131 sf of islands and 8 trees are provided.

Parking Lot Perimeter Canopy Trees (Zoning Sec. 5.5.3.C.(3) Chart footnote)

1. Based on the length of the perimeter, 19 deciduous canopy trees are required.
2. Between the trees provided along the I-96 berm in Phase 1, and the new trees proposed by Carvana, 19 trees are provided.

Loading Zone and utility screening (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)

The additional dogwoods placed along the I-96 berm and the tall junipers placed along the parking lot provide satisfactory screening for the loading areas.

Building Foundation Landscape (Zoning Sec 5.5.3.D.)

1. Based on the building perimeter, 2,356 sf of landscape area is required and 2,396 sf is provided.
2. **Please label all foundation landscape areas with their area in sf.**
3. **Based on the proposed configuration, two landscape waivers are required.**
  - a. None of the building foundation facing I-96 has landscaped. *This waiver is supported by staff as the line of dogwoods proposed along the berm will also screen the building foundation.*
  - b. Some of the other foundation landscaping is not located at the base of the building. *This waiver is supported by staff because, aside from the landscaping discussed above, the foundation landscaping is located no further than across a sidewalk from the building.*

Plant List (LDM 2.h. and t.)

1. Provided
2. 12 of 22 species proposed (55%) are native to Michigan.

Planting Notations and Details (LDM)

Provided.

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 1.d.(3))

The site's storm water will be treated in underground detention system so no storm basin landscaping is required.

Irrigation (LDM 1.a.(1)(e) and 2.s)

1. The proposed landscaping must be provided with sufficient water to become established and survive over the long term.
2. If an irrigation plan will be installed, please include the plans for that system in Final Site Plans.
3. If an irrigation plan is not provided, please indicate how plantings will receive sufficient water for establishment and long-term survival.

Proposed topography. 2' contour minimum (LDM 2.e.(1))

1. Berm along I-96 frontage is shown as being built by others.
2. Berm at entry from Roads & Utilities Plan shown as proposed.

Snow Deposit (LDM.2.q.)

Provided.

Proposed trees to be saved (Sec 37 Woodland Protection 37-9, LDM 2.e.(1))

No woodlands or trees exist on the site.

Corner Clearance (Zoning Sec 5.9)

Provided.

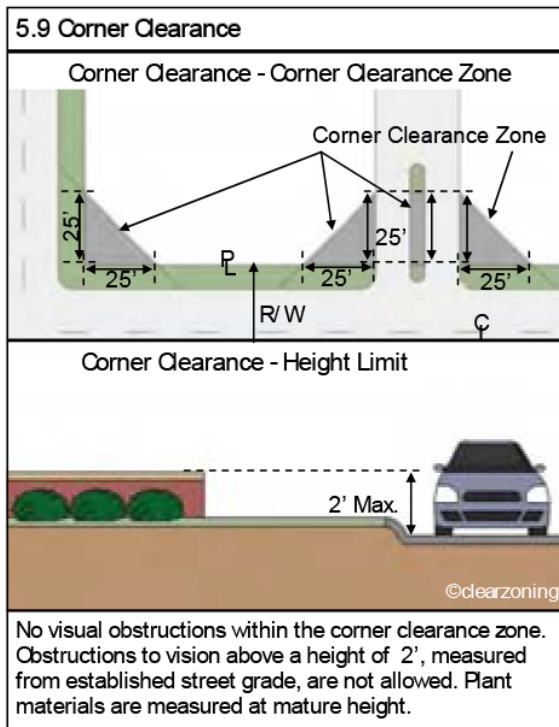
If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org).

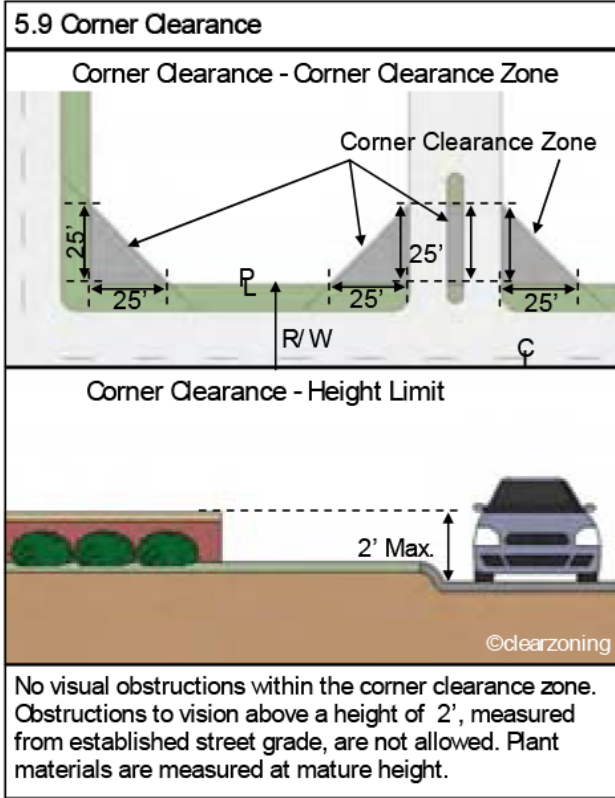


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Rick Meader – Landscape Architect







## LANDSCAPE REVIEW SUMMARY CHART

**Review Date:** November 13, 2018  
**Project Name:** JSP18 – 0047: Carvana  
**Plan Date:** October 26, 2018  
**Prepared by:** Rick Meader, Landscape Architect E-mail: [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org);  
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan.  
Underlined items need to be addressed for Final Site Plan.

**Note: Landscape waivers will need to be granted by the Planning Commission.**

### Landscape Waivers Required:

1. Less than 60% of building frontage facing I-96 is landscaped. *Supported by staff because line of shrubs on top of berm will also screen building foundation from I-96.*
2. Some foundation landscaping is not located at the base of the building. *Supported by staff because, aside from the berm landscaping, foundation landscaping that is not at base of building is located just across sidewalk from the building.*

| Item  | Required   | Proposed       | Meets Code | Comments                         |
|---|--|----------------|------------|----------------------------------|
| <b>Landscape Plan Requirements (LDM (2))</b>                        |  |                |            |                                  |
| <b>Landscape Plan</b><br><i>(Zoning Sec 5.5.2, LDM 2.e.)</i>        | <ul style="list-style-type: none"> <li>▪ New commercial or residential developments</li> <li>▪ Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less.</li> <li>▪ 1" =20' minimum with proper North. Variations from this scale can be approved by LA</li> <li>▪ Consistent with plans throughout set</li> </ul> | Scale: 1" =20' | Yes        |                                  |
| <b>Project Information</b><br><i>(LDM 2.d.)</i>                     | Name and Address   | Yes            | Yes        |                                  |
| <b>Owner/Developer Contact Information</b><br><i>(LDM 2.a.)</i>     | Name, address and telephone number of the owner and developer or association   | Yes            | Yes        |                                  |
| <b>Landscape Architect contact information</b><br><i>(LDM 2.b.)</i> | Name, Address and telephone number of RLA  | Yes            | Yes        |                                  |
| <b>Sealed by LA.</b><br><i>(LDM 2.g.)</i>                           | Requires original signature  | No             |            | <u>Need for Final Site Plans</u> |
| <b>Miss Dig Note</b><br>(800) 482-7171<br><i>(LDM.3.a.(8))</i>      | Show on all plan sheets  | Yes            | Yes        |                                  |

| Item  | Required  | Proposed  | Meets Code | Comments  |
|---|---|---|------------|---|
| <b>Zoning</b> (LDM 2.f.)  | Include all adjacent zoning   | <u>Parcel:</u> TC<br><u>North:</u> I-96<br><u>South, East, West:</u> TC   | Yes        |   |
| <b>Survey information</b> (LDM 2.c.)  | <ul style="list-style-type: none"> <li>▪ Legal description or boundary line survey</li> <li>▪ Existing topography</li> </ul>                                    | <ul style="list-style-type: none"> <li>▪ Legal description on cover sheet.</li> <li>▪ No existing conditions provided.</li> </ul> | Yes        | As entire site will be stripped by site developer, no existing topography is required.  |
| <b>Existing plant material</b><br><b>Existing woodlands or wetlands</b> (LDM 2.e.(2)) | <ul style="list-style-type: none"> <li>▪ Show location type and size. Label to be saved or removed.</li> <li>▪ Plan shall state if none exists.</li> </ul>      | Proposed landscaping from Road & Utilities Plan shown as provided by others.  | No         | <b>Please show the sitting area and associated plantings as existing and note they are to be provided by others. Those areas must be fenced off to protect them during construction of Carvana.</b> |
| <b>Soil types</b> (LDM.2.r.)  | <ul style="list-style-type: none"> <li>▪ As determined by Soils survey of Oakland county</li> <li>▪ Show types, boundaries</li> </ul>                           | Site is shown as Urban Land on Sheet L1.0   | Yes        |   |
| <b>Existing and proposed improvements</b> (LDM 2.e.(4))                               | Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W  | Yes   | Yes        |   |
| <b>Existing and proposed utilities</b> (LDM 2.e.(4))                                  | <ul style="list-style-type: none"> <li>• Overhead and underground utilities, including hydrants</li> <li>• Include existing and proposed light posts</li> </ul> | Yes   | Yes        |   |
| <b>Proposed grading. 2' contour minimum</b> (LDM 2.e.(1))                             | Provide proposed contours at 2' interval  | Proposed berms and other contours are shown   | Yes        |   |
| <b>Snow deposit</b> (LDM.2.q.)  | Show snow deposit areas on plan   | Yes   | Yes        |   |
| <b>LANDSCAPING REQUIREMENTS</b>   |   |   |            |   |
| <b>Parking Area Landscape Requirements LDM 1.c. &amp; Calculations (LDM 2.o.)</b>     |   |   |            |   |
| <b>General requirements</b> (LDM 1.c)   | <ul style="list-style-type: none"> <li>▪ Clear sight distance within parking islands</li> <li>▪ No evergreen trees</li> </ul>                                   | Yes   | Yes        |   |
| <b>Name, type and number of ground cover</b> (LDM 1.c.(5))                            | As proposed on planting islands   | Based on plant list it appears only sod will be used, but callout indicates seed/sod.   | Yes        | <b>Please correct the callout to just indicate sod.</b>   |
| <b>General (Zoning Sec 5.5.3.C.ii)</b>  |   |   |            |   |

| Item  | Required  | Proposed  | Meets Code | Comments  |
|---|---|---|------------|---|
| <b>Parking lot Islands</b><br><i>(a, b, i)</i>  | <ul style="list-style-type: none"> <li>▪ A minimum of 200 SF to qualify</li> <li>▪ A minimum of 200sf unpaved area per tree planted in an island</li> <li>▪ 6" curbs</li> <li>▪ Islands minimum width 10' BOC to BOC</li> </ul> | Yes   | Yes        |   |
| <b>Curbs and Parking stall reduction</b> <i>(c)</i>   | Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.  | Spaces are all 19' long                               |            | To decrease impervious area, the spaces adjacent to open space or a 7' wide sidewalk may be shortened to 17' if the curb is lowered to 4".          |
| <b>Contiguous space limit</b> <i>(j)</i>  | Maximum of 15 contiguous spaces   | 14 spaces is maximum bay length                       | Yes        |   |
| <b>Plantings around Fire Hydrant</b> <i>(d)</i>   | No plantings with matured height greater than 12 feet within 10 feet of fire hydrants or utility structures, and 5 feet from underground utility lines.   | All plantings are shown at least 10 ft from hydrants. | Yes        | <b>To assist contractors, please add a note to the plans stating that all trees are to be at least 10 feet from hydrants or utility structures.</b> |
| <b>Landscaped area</b> <i>(g)</i>   | Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped   | Yes   | Yes        |   |
| <b>Clear Zones</b> (LDM 2.3.(5))  | 25 ft corner clearance required. Refer to Zoning Section 5.5.9  | Yes   | Yes        |   |
| <b>Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)</b> |   |   |            |   |
| A = Total square footage of vehicular use areas up to 50,000sf x 7.5%   | <ul style="list-style-type: none"> <li>• <math>A = x \text{ sf} * 7.5\% = A \text{ sf}</math></li> <li>• <math>22,228 * 7.5\% = 1667 \text{ sf}</math></li> </ul>   | 2,131 sf  | Yes        |   |
| B = Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 1 %   | <ul style="list-style-type: none"> <li>• <math>B = x \text{ sf} * 1\% = B \text{ sf}</math></li> <li>• <math>(xxx - 50000) * 1\% = xx \text{ sf}</math></li> </ul>  | NA  | Yes        |   |
| <b>Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)</b>  |   |   |            |   |
| A. = Total square footage of vehicular use area up to 50,000 sf x 5%  | $A = x \text{ sf} * 5\% = A \text{ sf}$   | NA  |            |   |

| Item  | Required   | Proposed  | Meets Code | Comments   |
|---|--|---|------------|--|
| B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5%  | $B = 0.5\% \times 0 \text{ sf} = B \text{ SF}$   | NA  |            |  |
| <b>All Categories</b>   |  |   |            |  |
| C = A+B<br>Total square footage of landscaped islands   | $C = 1,667 + 0 = 1,667 \text{ SF}$   | 2,131 SF  | Yes        |  |
| D = C/200<br>Number of canopy trees required  | $D = 1667/200 = 8 \text{ Trees}$   | 8 trees   | Yes        |  |
| <b>Perimeter Green space</b>  | <ul style="list-style-type: none"> <li>▪ 1 Canopy tree per 35 lf</li> <li>▪ <math>670/35 = 19 \text{ trees}</math></li> </ul>  | 19 trees  | Yes        |  |
| <b>Accessway perimeter</b>  | 1 canopy tree per 35 lf on each side of road, less widths of access drives.  | Accessway perimeter is included in parking lot perimeter calculation.   |            |  |
| <b>Parking land banked</b>  | NA   | No  |            |  |
| <b>Berms, Walls and ROW Planting Requirements</b>   |  |   |            |  |
| <b>Berms</b>  |  |   |            |  |
| <ul style="list-style-type: none"> <li>▪ All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours</li> <li>▪ Berm should be located on lot line except in conflict with utilities.</li> <li>▪ Berms should be constructed with 6" of top soil.</li> </ul> |  |   |            |  |
| <b>Residential Adjacent to Non-residential (Sec 5.5.3.A) &amp; (LDM 1.a)</b>  |  |   |            |  |
| <b>Berm requirements</b><br>(Zoning Sec 5.5.A)  | No berm is required as the site is not adjacent to residentially zoned properties.   | None  | Yes        |  |
| <b>Planting requirements</b><br>(LDM 1.a.)  | LDM Novi Street Tree List  | NA  |            |  |
| <b>Adjacent to Public Rights-of-Way (Sec 5.5.B) and (LDM 1.b)</b>   |  |   |            |  |
| <b>Berm requirements</b><br>(Zoning Sec 5.5.3.A.(5))  | NA   |   |            | Please indicate with a note that the berm will be built by others. |
| <b>Cross-Section of Berms (LDM 2.j)</b>   |  |   |            |  |
| Slope, height and width   | <ul style="list-style-type: none"> <li>▪ Label contour lines</li> <li>▪ Maximum 33%</li> <li>▪ Min. 3 feet flat horizontal area</li> <li>▪ Minimum 3 feet high</li> <li>▪ Constructed of loam with 6' top layer of topsoil.</li> </ul> | <ul style="list-style-type: none"> <li>▪ Berm along I-96 will be built by overall site developer.</li> <li>▪ Berm at cul-de-sac is proposed, per the Roads &amp; Utilities Plan.</li> </ul> | Yes        |  |
| Type of Ground Cover  |  | NA  |            |  |

| Item   | Required  | Proposed   | Meets Code   | Comments   |
|--|---|--|--|--|
| Setbacks from Utilities  | Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole  | NA   |  |  |
| <b>Walls (LDM 2.k &amp; Zoning Sec 5.5.3.vi)</b>                               |   |  |  |  |
| <b>Material, height and type of construction footing</b>                       | Freestanding walls should have brick or stone exterior with masonry or concrete interior  | Fence and columns along Adell Drive are shown as being built by others.  | Yes  |  |
| <b>Walls greater than 3 ½ ft. should be designed and sealed by an Engineer</b> |   | No walls are proposed  |  |  |
| <b>ROW Landscape Screening Requirements (Sec 5.5.3.B. ii)</b>                  |   |  |  |  |
| <b>Greenbelt width (2)(3) (5)</b>  | NA  |  |  | The required greenbelt berms and landscaping along I-96 and Adell Drive will be planted as part of the Roads and Utilities construction.   |
| Min. berm crest width  | NA  |  |  | See above  |
| Minimum berm height (9)  | NA  |  |  | See above  |
| 3' wall  | (4)(7)  | No   |  | See above  |
| <b>Canopy deciduous or large evergreen trees</b><br>Notes (1) (10)             | <p><b>Adjacent to pkg: 1 tree per 25lf frontage (net of access drives)</b><br/> <u>I-96:</u></p> <ul style="list-style-type: none"> <li>• 170/25 = 7 trees</li> </ul> <p><u>Adell Drive:</u></p> <ul style="list-style-type: none"> <li>• 268/25 = 11 trees</li> </ul> <p><b>Not adj to pkg: 1 tree per 30lf frontage (net of access drives)</b><br/> <u>I-96:</u></p> <ul style="list-style-type: none"> <li>• 108/30 = 4 trees</li> </ul> <p><u>Adell Drive:</u></p> <ul style="list-style-type: none"> <li>• 108/30 = 4 trees</li> </ul> | <p><u>I-96:</u></p> <ul style="list-style-type: none"> <li>• 7 canopy trees</li> </ul> <p><u>Adell Drive:</u></p> <ul style="list-style-type: none"> <li>• 9 deciduous canopy trees provided in Phase 1 as street trees.</li> <li>• 6 parking lot perimeter trees are located in the greenbelt.</li> </ul> | <p><u>I-96:</u><br/>Yes (with wall)</p> <p><u>Adell:</u><br/>Yes</p> | <ol style="list-style-type: none"> <li>1. Please copy the calculations for Adell Drive greenbelt landscaping from the required column to left (which are based on Roads &amp; Utilities Plan) to the landscape plan.</li> <li>2. Please show the wall to be built in Phase 1 at cul-de-sac as existing.</li> <li>3. Only canopy OR subcanopy tree requirement needs to be met in TC district, not both.</li> </ol> |
| <b>Sub-canopy deciduous trees</b><br>Notes (2)(10)                             | <p><b>Adjacent to pkg: 1 tree per 25lf frontage (net of access drives)</b><br/> <u>I-96:</u></p> <ul style="list-style-type: none"> <li>• 170/15 = 11 trees</li> </ul>  | <p><u>I-96:</u></p> <ul style="list-style-type: none"> <li>• 2 subcanopy trees</li> </ul> <p><u>Adell Drive:</u></p>   | <p><u>I-96:</u><br/>Yes (met by Phase 1 trees)</p>                   | <ol style="list-style-type: none"> <li>1. See above.</li> <li>2. Please note that the Roads &amp; Utilities Plan shows the five (5) subcanopy trees</li> </ol>   |

| Item  | Required  | Proposed   | Meets Code                            | Comments   |
|---|---|--|---------------------------------------|--|
|   | <u>Adell Drive:</u><br><ul style="list-style-type: none"> <li>• 268/15 = 11 trees</li> </ul> <b>Not adj to pkg: 1 tree per 30lf frontage (net of access drives)</b><br><u>I-96:</u><br><ul style="list-style-type: none"> <li>• 108/20 = 5 trees</li> </ul> <u>Adell Drive:</u><br><ul style="list-style-type: none"> <li>• 108/20 = 5 trees</li> </ul> | <ul style="list-style-type: none"> <li>• 5 subcanopy trees shown as being provided on Road &amp; Utilities Plan in Future Phases.</li> </ul>   | and wall)<br><br><u>Adell:</u><br>Yes | <b>along the Adell Drive greenbelt as being provided in future phases, so they must be provided by Carvana, even though they are not required by calculations.</b>   |
| <b>Canopy deciduous trees in area between sidewalk and curb</b><br><i>(Novi Street Tree List)</i>   | NA  |  |                                       | Trees along Adell Drive are being provided by site developer.  |
| <b>Non-Residential Zoning Sec 5.5.3.E.iii &amp; LDM 1.d (2)</b><br>Refer to Planting in ROW, building foundation landscape, parking lot landscaping and LDM |   |  |                                       |  |
| <b>Screening of outdoor storage, loading/unloading</b><br><i>(Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)</i>  |   | <ul style="list-style-type: none"> <li>▪ Loading area along I-96 frontage is screened by berm, canopy trees and dogwood hedge.</li> <li>▪ Southern area is screened by tall junipers along south and east edges of parking lot.</li> </ul> | Yes                                   |  |
| <b>Transformers/Utility boxes</b><br><i>(LDM 1.e from 1 through 5)</i>  | <ul style="list-style-type: none"> <li>▪ A minimum of 2ft. separation between box and the plants</li> <li>▪ Ground cover below 4" is allowed up to pad.</li> <li>▪ No plant materials within 8 ft. from the doors</li> </ul>  | No   | TBD                                   | 1. It appears provided screening will be sufficient but that can't be fully determined without the transformer shown.<br>2. <b>Please show transformer location on landscape plan.</b><br>3. <b>If the transformer is not screened sufficiently per city detail, additional screening must be added.</b> |
| <b>Building Foundation Landscape Requirements (Sec 5.5.3.D)</b>   |   |  |                                       |  |
| <b>Interior site landscaping SF</b>   | <ul style="list-style-type: none"> <li>▪ Equals to entire perimeter of the building, less pavement at doors, x</li> </ul>   | 2396 SF  | Yes                                   | 1. <b>Please label SF of all foundation areas provided and label them as foundation</b>  |



| Item  | Required  | Proposed   | Meets Code  | Comments   |
|---|---|--|---|--|
|   | 8 with a minimum width of 4 ft.<br>■ A: 294.5 lf x 8ft = 2356 SF  |  |   | area.<br>2. <b>A landscape waiver is required since some of the foundation landscaping is not located at the foundation.</b> <i>This request would be supported by staff as the landscaping is just across the sidewalk when it's not at the building, except for the north side, which is discussed below.</i>  |
| <i>Zoning Sec 5.5.3.D.ii. All items from (b) to (e)</i>         | If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space  | <ul style="list-style-type: none"> <li>■ None of frontage facing I-96 is landscaped.</li> <li>■ 125/173lf (72%) facing Adell Drive is landscaped.</li> </ul> | <ul style="list-style-type: none"> <li>■ No</li> <li>■ Yes</li> </ul> | 1. The berm and hedge along the top of the berm screen the foundation from I-96.<br>2. <b>A landscape waiver is required for lack of landscaping along foundation facing I-96.</b> <i>This waiver would be supported by staff since the berm and hedge screen the foundation from I-96.</i><br>3. <b>It would still be preferable if some sort of landscaping could be provided along the building frontage facing I-96.</b> |
| <b>Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv)</b> |   |  |   |  |
| <b>Planting requirements</b><br><i>(Sec. 5.5.3.E.iv)</i>        | <ul style="list-style-type: none"> <li>■ Clusters shall cover 70-75% of the basin rim area</li> <li>■ 10" to 14" tall grass along sides of basin</li> <li>■ Refer to wetland for basin mix</li> </ul> | The site's storm water is being treated by an underground storm water detention system.  |   |  |
| <b>Phragmites Control</b><br><i>(Sec 5.5.6.C)</i>               | <ul style="list-style-type: none"> <li>■ Any and all populations of Phragmites australis on site shall be included on tree survey.</li> <li>■ Treat populations per MDEQ guidelines and</li> </ul>    | The overall site's Phragmites will be managed by that developer.   |   |  |

| Item  | Required  | Proposed | Meets Code | Comments   |
|---|---|----------|------------|--|
|   | requirements to eradicate the weed from the site.   |          |            |  |
| <b>LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS</b>                              |   |          |            |  |
| <b>Landscape Notes – Utilize City of Novi Standard Notes</b>                            |   |          |            |  |
| <b>Installation date</b><br><i>(LDM 2.i. &amp; Zoning Sec 5.5.5.B)</i>                  | Provide intended date   | Yes      | Yes        |  |
| <b>Maintenance &amp; Statement of intent</b><br><i>(LDM 2.m &amp; Zoning Sec 5.5.6)</i> | <ul style="list-style-type: none"> <li>▪ Include statement of intent to install and guarantee all materials for 2 years.</li> <li>▪ Include a minimum one cultivation in June, July and August for the 2-year warranty period.</li> </ul> | Yes      | Yes        |  |
| <b>Plant source</b><br><i>(LDM 2.n &amp; LDM 3.a.(2))</i>                               | Shall be northern nursery grown, No.1 grade.  | Yes      | Yes        |  |
| <b>Irrigation plan</b><br><i>(LDM 2.s.)</i>   | A fully automatic irrigation system or a method of providing sufficient water for plant establishment and survival is required on Final Site Plans.   | No       |            | 1. <u>Please add irrigation plan or information as to how plants will be watered sufficiently for establishment and long- term survival.</u><br>2. <u>If xeriscaping is used, please provide information about plantings included.</u> |
| <b>Other information</b><br><i>(LDM 2.u)</i>  | Required by Planning Commission   | NA       |            |  |
| <b>Establishment period</b><br><i>(Zoning Sec 5.5.6.B)</i>                              | <b>2 yr. Guarantee</b>  | Yes      | Yes        | <b>Please revise City of Novi Landscape Note #7 to read 3 months instead of 1 year for replacement of failed material.</b>   |
| <b>Approval of substitutions.</b><br><i>(Zoning Sec 5.5.5.E)</i>                        | City must approve any substitutions in writing prior to installation.   | Yes      | Yes        |  |
| <b>Plant List (LDM 2.h.) – Include all cost estimates</b>                               |   |          |            |  |
| Quantities and sizes  | Refer to LDM suggested plant list   | Yes      | Yes        |  |
| Root type   |   | Yes      | Yes        |  |
| Botanical and common names  |   | Yes      | Yes        | The proposed plant list includes 12 of 22 (55%) species that are native to Michigan.   |

| Item   | Required  | Proposed   | Meets Code | Comments   |
|--|---|--|------------|--|
| Type and amount of lawn  |   | Sod  | Yes        |  |
| Cost estimate (LDM 2.t)  | For all new plantings, mulch and sod as listed on the plan  | Yes  | Yes        |  |
| <b>Planting Details/Info (LDM 2.i) – Utilize City of Novi Standard Details</b> |   |  |            |  |
| Canopy Deciduous Tree  | Refer to LDM for detail drawings  | Yes  | Yes        |  |
| Evergreen Tree   |   | Yes  | Yes        |  |
| Shrub  |   | Yes  | Yes        |  |
| Perennial/ Ground Cover  |   | Yes  | Yes        |  |
| Tree stakes and guys. (Wood stakes, fabric guys)                               |   | Yes  | Yes        |  |
| Tree protection fencing  | Located at Critical Root Zone (1' outside of dripline)  | Note showing trees to be protected, but no fencelines are shown. | No         | <ol style="list-style-type: none"> <li>Please show tree fencing lines on plan for Adell Drive trees, sitting area and I-96 plantings.</li> <li>Please provide a fencing detail showing the fencing located at 12" outside of the trees' dripline.</li> </ol> |
| <b>Other Plant Material Requirements (LDM 3)</b>                               |   |  |            |  |
| General Conditions (LDM 3.a)   | Plant materials shall not be planted within 4 ft. of property line  | Yes  | Yes        |  |
| Plant Materials & Existing Plant Material (LDM 3.b)                            | Clearly show trees to be removed and trees to be saved.   | Trees to be installed in Phase 1 are shown as existing.          | Yes        |  |
| Landscape tree credit (LDM3.b.(d))   | Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM | No   |            | No trees outside of woodlands/wetlands are being saved.  |
| Plant Sizes for ROW, Woodland replacement and others (LDM 3.c)                 | 2.5" canopy trees<br>6' evergreen trees   | Yes  | Yes        |  |
| Plant size credit (LDM3.c.(2))   | NA  | No   |            |  |
| Prohibited Plants  | No plants on City   | None   |            |  |

| Item   | Required  | Proposed | Meets Code | Comments |
|--|---|----------|------------|----------|
| <i>(LDM 3.d)</i>   | Invasive Species List   |          |            |          |
| <b>Recommended trees for planting under overhead utilities</b><br><i>(LDM 3.e)</i> | Label the distance from the overhead utilities  | NA       |            |          |
| <b>Collected or Transplanted trees</b><br><i>(LDM 3.f)</i>                         |   | No       |            |          |
| <b>Nonliving Durable Material: Mulch</b> <i>(LDM 4)</i>                            | <ul style="list-style-type: none"> <li>▪ Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth</li> <li>▪ Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate.</li> <li>▪ Refer to section for additional information</li> </ul> | Yes      | Yes        |          |

**NOTES:**

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

TRAFFIC REVIEW



AECOM  
27777 Franklin Road  
Southfield  
MI, 48034  
USA  
aecom.com

**Project name:**  
JSP18-0047 – Carvana Revised Preliminary Plan  
Traffic Review

**From:**  
AECOM

**Date:**  
November 19, 2018

**To:**  
Barbara McBeth, AICP  
City of Novi  
45175 10 Mile Road  
Novi, Michigan 48375

**CC:**  
Sri Komaragiri, Lindsay Bell, George Melistas, Darcy  
Rechtien, Hannah Smith

# Memo

**Subject:** JSP18-0047 Carvana Revised Preliminary Plan Traffic Review

The revised preliminary site plan was reviewed to the level of detail provided and AECOM **recommends approval** for the applicant to move forward with the condition that the comments provided below are adequately addressed to the satisfaction of the City.

## GENERAL COMMENTS

1. The applicant, Carvana, LLC, is proposing a 5,800 SFT Carvana Vending Machine Fulfillment Center as part of the overall Adell Center multi-use development on Adell Drive off of Expo Center Drive.
2. Expo Center Drive is under the jurisdiction of the City of Novi and Adell Drive is a private roadway.
3. The parcel is currently zoned EXPO, and the applicant of the Adell Center multi-use development is proposing to rezone to TC (Town Center District) with a Planned Rezoning Overlay (PRO).
4. The following is a list of traffic-related waivers/variances that may be required:
  - a. The applicant should confirm that the loading zone can accommodate the car hauler without any portion of the loading/unloading activities diminishing access to the travel lanes (per Section 5.4.4), else a deviation may be required.

## TRAFFIC IMPACTS

1. Trip generation estimates were previously provided as part of the Adell Center PRO Concept plan. Because this is a unique land use, additional trip generation information is not available at this time.
2. The number of trips is not expected to exceed the City’s threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour. AECOM recommends performing the following traffic impact study in accordance with the City’s requirements:

| Traffic Impact Study Recommendation |               |
|-------------------------------------|---------------|
| Type of Study                       | Justification |
| None                                | N/A           |

## EXTERNAL SITE ACCESS AND OPERATIONS

1. The applicant provided vehicle turning paths along Adell Drive to the Carvana site for the anticipated nine-vehicle car hauler that will access the site twice daily.
  - a. The vehicle wheel paths encompass the entire road width at the two 90 degree turns along Adell Drive.
  - b. The times of deliveries will need to be coordinated such that they arrive and depart during non-peak periods, else modifications to the road layout may be necessary to accommodate the large car hauler travel paths more safely. The applicant should work with City staff to identify the time restrictions that may be applicable.
2. The applicant has indicated that its nine-vehicle car hauler will enter from Adell Drive and exit through Units 6 and 7.
  - a. Depending on the time of deliveries, this may pose safety and operational concerns with the patrons of Units 6 and 7. If this is to remain the truck route, the following may be required:
    - i. Access easements from Units 6 and 7.
    - ii. Delivery times will need to be restricted to non-peak periods for Units 6 and 7 to lessen the impact of the large car haulers from traveling through the parking lots while occupied by vehicles and pedestrians. The applicant should work with City staff to identify the time restrictions that may be applicable.
3. The applicant has proposed one driveway on Adell Drive with a secondary access to the parking lot for Unit 7 of the development.
  - a. The width of the proposed driveway is 33.4 feet back-of-curb to back-of-curb. The driveway width is within the allowable range but the applicant should provide justification for the proposed dimension or could consider revising the widths to 30' to meet the standard dimension if appropriate. Refer to Figure IX.1 in the City's Code of Ordinances for more information.
  - b. The applicant should dimension the radii information entering/exiting Adell Drive to ensure compliance with Figure IX.1.
4. The applicant should provide sight distance measurements at the sight driveway, toward the south direction based on the proposed 25 MPH speed limit.
5. The proposed sidewalk along the site frontage to Adell Drive is being built by the Adell Center development and reviewed under the Adell Center Roads and Utilities letter. Internal site sidewalks will be reviewed in the "Internal Site Operations" section.

## INTERNAL SITE OPERATIONS

*The following comments relate to the on-site design and traffic flow operations.*

1. General Traffic Flow
  - a. The applicant has generally indicated 24' aisles throughout the site.
  - b. The applicant should indicate the intended operation of the two 18.5 foot wide brick paver areas on the site and indicate whether they will be required to accommodate one-way or two-way vehicular operation so they may be appropriately evaluated.
  - c. The applicant should include dimensions for the radii and width of the proposed end islands throughout the site to review accessibility and compliance with City requirements as stated in Section 5.3.12 of the Zoning Ordinance.
    - i. Note that all end islands adjacent to a travel way shall be constructed three (3) feet shorter than the adjacent parking space.
    - ii. The end island outside radii is required to be a minimum of 15'. There are some end islands where the outside radii should be adjusted to meet the standards.
  - d. The applicant has proposed a trash receptacle on the northwest side of the site.
    - i. The applicant has confirmed that the trash receptacle is accessible by trash collection vehicles via turning movement paths.
  - e. The applicant has provided a 16' wide loading zone on the north side of the building, adjacent to the 24' wide aisle.

- i. The applicant should indicate the length of the proposed loading zone to determine the square footage, as required by Section 5.4 of the Zoning Ordinance. The length should be adequate to accommodate the 75' long typical car hauler.
    - ii. The applicant should confirm that the loading zone can accommodate the car hauler without any portion of the loading/unloading activities diminishing access to the travel lanes (per Section 5.4.4), else a deviation may be required. The applicant has indicated the hauler route will be coordinated with Units 6 and 7 once that tenants join.
  - f. The applicant has provided truck travel patterns throughout the site to/from the loading zone.
    - i. The applicant has indicated that it is anticipated that there will be on average two deliveries of vehicles to the site per day. The times of the deliveries will need to be coordinated with the City and will likely be required to be during non-peak periods for other units within the Adell Center development due to potential conflicts.
2. Parking Facilities
  - a. The applicant has indicated 17 and 19 foot long parking spaces.
    - i. The applicant should indicate the proposed curb type to ensure compliance with the 6" curb height requirement by City standards for 19 foot long parking spaces and the 4" curb height requirement with 17 foot long parking spaces and a clear 2 foot overhang.
    - ii. The applicant should indicate which space(s) are designated as van accessible.
    - iii. The applicant should indicate the width of the accessible parking access aisle.
  - b. The applicant should indicate where the accessible route via a sidewalk ramp is located.
  - c. The applicant has provided 30 parking spaces and per Section 5.2.12 of the City's Zoning Ordinance, 29 parking spaces are required.
  - d. The applicant has provided two (2) bicycle parking spaces, which meets the requirement based on motor vehicles sales land use.
    - i. The applicant should include dimensional details to ensure compliance with Section 5.16 of the City's Zoning Ordinance. Note that a 6 foot accessible route is required from the adjacent street to the bicycle parking facilities.
    - ii. The bicycle parking should be rotated 90 degrees to allow the bicycles proper access to/from the bicycle parking area.
3. Sidewalk Requirements
  - a. The applicant is generally proposing 5' wide sidewalks throughout the site, which is in compliance with City standards.
    - i. The applicant is proposing 7' wide sidewalks in front of the 17' long parking spaces which is in compliance with City standards.
  - b. The applicant has included a sidewalk connection between Adell Drive and the Carvana facility.
  - c. The applicant should label sidewalk ramps on the plans and include the latest Michigan Department of Transportation (MDOT) detail.

## SIGNING AND STRIPING

1. All on-site signing and pavement markings shall be in compliance with the Michigan Manual on Uniform Traffic Control Devices (MMUTCD). The following is a discussion of the proposed signing and striping.
  - a. The applicant should provide a signing quantities table and additional details (MMUTCD designation and proposed size) in future submittals.
  - b. The applicant should include proposed signing locations throughout the development.
2. The applicant should indicate the proposed signing on site and provide notes and details related to the proposed signing.
  - a. Single signs with nominal dimensions of 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post. Multiple signs and/or signs with nominal dimension greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post as dictated by the weight of the proposed signs.



- b. The applicant should indicate a bottom height of 7' from final grade for all signs installed.
  - c. The applicant should indicate that all signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign.
  - d. Traffic control signs shall use the FHWA Standard Alphabet series.
  - e. Traffic control signs shall have High Intensity Prismatic (HIP) sheeting to meet FHWA retroreflectivity requirements.
3. The applicant shall include parking space striping notes to indicate that:
    - a. The standard parking spaces shall be striped with four (4) inch white stripes.
    - b. The accessible parking space and associated aisle should be striped with four (4) inch blue stripes.
    - c. Where a standard space is adjacent to an accessible space, abutting blue and white stripes shall be installed.
  4. The applicant should provide a detail for the proposed international symbol for accessibility pavement markings that may be placed in the accessible parking space. The symbol shall be white or white with a blue background and white border with rounded corners.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

**AECOM**



Maureen N. Peters, PE  
Senior Traffic/ITS Engineer



Paula K. Johnson, PE  
Senior Transportation Engineer

**PARKING STUDY REVIEW**



AECOM  
27777 Franklin Road  
Southfield  
MI, 48034  
USA  
aecom.com

**Project name:**  
JSP18-0047 Carvana Parking Assessment  
Traffic Review

**From:**  
AECOM

**Date:**  
October 3, 2018

**To:**  
Barbara McBeth, AICP  
City of Novi  
45175 10 Mile Road  
Novi, Michigan 48375

**CC:**  
Sri Komaragiri, Lindsay Bell, George Melistas,  
Hannah Smith, Darcy Rechten

# Memo

**Subject:** Carvana Parking Assessment Traffic Review

The parking assessment memorandum was reviewed to the level of detail provided and AECOM **recommends approval** for the applicant to move forward.

## GENERAL COMMENTS

1. The applicant, Carvana, LLC, is proposing a multi-use commercial development on the northern end of the Adell Drive cul-de-sac within the proposed Adell Center.
2. The applicant consulted Kimley-Horn to complete a parking assessment to review the parking demand requirements for the site.
3. The development is planned to consist of a 5,800 square foot (SF) Carvana Vending Machine Fulfillment Center.

## City Parking Requirements

1. The proposed development is required to provide the following number of parking spaces, based on City requirements:
  - a. While Carvana is not a traditional motor vehicle sales facility, that is the most closely representative land use for the proposed site.
  - b. City Ordinance requires one parking space for each 200 SF of sales room, which equates to 29 parking spaces for the 5,800 SF facility.

## Parking Demand

1. The Kimley-Horn study reviewed staffing and operational information provided by Carvana to estimate the parking demand for the Novi Carvana site. Based on the information provided, the parking demands considered:
  - a. Approximately 10 – 12 employees (across multiple shifts)
  - b. One to two customers to be on site simultaneously
  - c. The need for vehicles being unloaded from the nine-vehicle car hauler to be temporarily stored in the surface parking lot

2. The parking demand was estimated to be a conservative 20 to 22 spaces assuming that all employees would be on-site simultaneously at the same time as the nine-vehicle delivery.
3. The parking assessment recommends providing signage to direct employee and customers to park in designated spaces, while also identifying which spaces are to be reserved for the temporary storage of unloaded vehicles. Such signage could improve site parking efficiencies.

## Conclusions

1. The proposed Carvana site provides 30 surface parking spaces, which is in excess of the City's requirement. It should be noted that three of the parking spaces are designated for one-vehicle haulers.
2. The parking demand as calculated within the study using conservative estimates, is less than the City requirement, by eight to 10 parking spaces. A reduction in parking spaces less than City requirements may be supported contingent upon additional information requested in item 3 below.
3. The applicant should indicate the maximum number of employees per shift that may overlap with the scheduled delivery times in order to determine the maximum parking demand. The maximum parking demand may consider the following:
  - a. Number of employees on largest shift
  - b. Maximum number of customers at one time
  - c. Three parking spaces reserved for one-vehicle haulers
  - d. Nine parking spaces reserved for temporary storage of sale vehicles
4. The applicant could consider reducing the number of parking spaces in an effort to provide other site amenities or landscaped areas. AECOM would support a reduction in overall parking required on the site, assuming parking is provided per the considerations in Conclusions, Item 3.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

**AECOM**



Maureen N. Peters, PE  
Senior Traffic/ITS Engineer



Paula K. Johnson, PE  
Senior Traffic Engineer

FAÇADE REVIEW



September 27, 2018

City of Novi Planning Department  
 45175 W. 10 Mile Rd.  
 Novi, MI 48375-3024

*Façade Review Status Summary:*  
**Approved, Section 9 Waiver recommended.**

Re: **FACADE ORDINANCE REVIEW – Preliminary Site Plan**  
**Carvana (Adell Center) JSP18-0047**  
 Façade Region: 1, Zoning District: Rezoning to TC-1

The following is the façade review for Preliminary Site Plan for the proposed Carvana facility. The Façade Ordinance, Section 5.15, and the Town Center (TC) Ordinance, Section 3.27.G are applicable to this project. The percentages of materials proposed for each façade are as shown in the tables below. Materials in non-compliance are highlighted in bold. This review is based on drawings dated 5/30/18, by WHN Architects of Charlotte North Carolina.

| <b>Carvana</b>           | Front<br>(Adell Ctr. Exposure)<br>(Southwest) | Right<br>(Southeast) | Left<br>(Northwest) | Rear<br>(I-96 Exposure)<br>(Northeast) | Façade Ordinance<br>Maximum (Minimum) |
|--------------------------|---|----------------------|---------------------|--|---------------------------------------|
| Brick                    | <b>7%</b>                                     | 30%                  | 30%                 | 39%                                    | 100% (30% Min)                        |
| Brick and Stone Combined | <b>7%</b>                                     | <b>30%</b>           | <b>30%</b>          | <b>39%</b>                             | (50% Min., TC Ord.)                   |
| Spandrel Glass, Black    | 3%  | 2%                   | 2%                  | 2%                                     | 50%                                   |
| Flat Metal Panels        | 10%   | 5%                   | 5%                  | 2%                                     | 50%                                   |
| Display Glass            | <b>80%</b>                                    | <b>63%</b>           | <b>63%</b>          | <b>57%</b>                             | 25%                                   |

As shown above the minimum percentage of Brick (30%) is not provided on the front façade, the minimum combined percentage of Brick and Stone (50%) is not provided on all facades and the percentage of Display Glass exceeds the maximum amount allowed by the Ordinance (25%) on all facades. The Façade Ordinance defines Display Glass as areas of vision glass that are intended through exposure to thoroughfares and pedestrian ways and lighting methods to strongly emphasize the items displayed within the building. Based on this definition, the Carvana tower is considered Display Glass, for the purpose of this review.

In this case the Display Glass occurs only on the tower element. The automobiles display within together with interior lighting will afford the tower a high degree of visibility, particularly at nighttime. Similar to the Town Center bell tower, we believe that the tower will represent an iconic element that will help orient visitors within the Novi shopping district. We believe this is beneficial and justifies a deviation from strict interpretation of the Façade Ordinance with respect to Display Glass. In response to staff and consultant comments the applicant has added significant amount of Brick to all facades. The underage of Brick occurs only on the front elevation which is predominately Display Glass. Excluding display glass and vision glass, all facades will be primarily Brick.

**Recommendation** – For the reasons stated above it is our recommendation that the design is consistent with the intent and purpose of the Façade Ordinance and the TC Ordinance. The deviations summarized below are consistent with the deviations that were reviewed and tentatively approved by the City Council for this building as part of the Planned Rezoning Overlay Concept Plan for Adell Center Development. This recommendation is subject to final approval of the PRO Concept Plan and the agreement.

1. Underage of Brick on the front façade.
2. Underage of combined Brick and Stone on all facades.
3. Overage of Display Glass on all facades (tower element).

**General Façade Requirements;**

1. All roof top equipment must be screened from view from all on-site and off-site vantage points using compliant materials consistent with the building design. In this case the elevated views from the nearby highway overpass would be included.

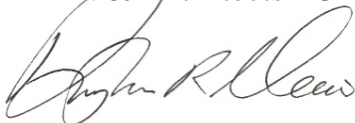
3. Dumpster enclosures (excluding doors) are required to be constructed of brick or stone matching the primary buildings.

*5. A Façade Material Sample Board indicating carefully coordinated materials and colors must be provided for all building, monument signs and landscape walls. It should be noted that dissonant and / or intense colors are prohibited by the Façade Ordinance, Section 5.15.2.*

6. Inspections – The Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board will be compared to materials delivered to the site. It is the applicant’s responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department’s Online Inspection Portal with the following link. Please click on “Click here to Request an Inspection” under “Contractors”, then click “Façade”. <http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

If you have any questions regarding this matter please contact the City of Novi Department of Planning and Community Development.

Sincerely,  
DRN & Architects PC



Douglas R. Necci, AIA  
Novi Façade Consultant

**FIRE REVIEW**





September 14, 2018

TO: Barbara McBeth- City Planner  
Sri Ravali Komaragiri- Plan Review Center  
Lindsay Bell-Plan Review Center  
Hannah Smith-Planning Assistant

**CITY COUNCIL**

**Mayor**  
Bob Gatt

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**Chief of Police**  
David E. Molloy

**Director of EMS/Fire Operations**  
Jeffery R. Johnson

**Assistant Chief of Police**  
Erick W. Zinser

**Assistant Chief of Police**  
Scott R. Baetens

RE: Carvana

**PSP# 18-0171**

JSP# 18-47

PSP# 18-0147

**Project Description:**

New multi-story commercial building construction of a car sales lot/company, on 1.30 acres lot.

**Comments:**

- All fire hydrants **MUST** be installed and operational prior to any building construction begins.
- All fire hydrants **MUST** be added to the plans for review.
- Fire hydrant spacing is <300' from fire hydrant to fire hydrant. **City of Novi Ordinance 11-68(F)(1)c.**
- **MUST** separate the fire hydrant and the fire service lead into the structure. OR provide water flow calculations that the fire hydrant will have the ability to produce 4000 gpm. **City of Novi Ordinance 11-68(a).**
- FDC location is **acceptable** near front main entrance and is within the 100' distance requirement to a hydrant.

**Recommendation:**

This project is a part of the larger "Adell Property" – large construction project at Novi Rd x I96. Most of this project is being reviewed as an out-lot property within this new entertainment district.

APPROVED WITH CONDITIONS

Sincerely,

Kevin S. Pierce-Fire Marshal  
City of Novi – Fire Dept.

**Novi Public Safety Administration**  
45125 Ten Mile Road  
Novi, Michigan 48375  
248.348.7100  
248.347.0590 fax

cityofnovi.org

cc: file

APPLICANT RESPONSE LETTER



December 4, 2018

Community Development Department  
City of Novi  
Attn: Sri Ravali Komaragiri  
45175 10 Mile Road  
Novi, MI 48375

Re: Carvana Novi – Preliminary Site Plan Application  
43700 Expo Center Drive  
Novi, MI 48375

Dear Ms. Komaragiri:

We are in response of your review comments on November 29, 2018 for the proposed Carvana located at 43700 Expo Center Drive in Novi, MI. Below is a summary of the actions that will be taken in response to the comments for final site plan submittal.

**Site Plan Review:**

1. Please provided distance from access easement to building.

**Response: The distance is +/- 7 feet.**

2. Please update the [parking] numbers on site plan. It indicates 30 proposed spaces. Only 26 are provided.

**Response: The parking count will be updated on the plans.**

3. Please dimension the sidewalk next to the bike racks. It should be a minimum of 6 feet.

**Response: Sidewalk dimension will be added to the plans and ensured 6 feet is met.**

4. Please provide the required bicycle parking layout.

**Response: Bicycle parking layout will be dimensioned according to city standards.**

5. Please indicate the loading zone area on the plans.

**Response: Loading zone area will be labeled on the plans.**

6. The proposed building is a glass tower. Please indicate on the photometric plan if the interior building lighting will be turned on. If yes, those photometrics should be included in the spillover calculations.

**Response: Tower lighting does remain on, however the lighting is pointed inward. We will provide indoor lighting and how it affects the exterior when submitting for final site plan.**

7. Please add these [required conditions] notes to the photometric plan.

**Response: The required conditions notes will be added to the photometric plan.**

8. Please provide the hours of operation and indicate what lights will be turned on for security reasons.

**Response: Hours of operation will be added to the plans, 7:00 am to 9:00 pm.**

9. Please provide the average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1.

**Response: This will be added to the plans and verified.**

10. Please indicate the location of the transformer on the plans.

**Response: Transformer will be added to the plans.**

11. Provide the recorded parcel ID on the plan.

**Response: Parcel ID will be added to the plans.**

12. Submit address application after Final Site Plan approval.

**Response: Address application will be submitted after Final Site Plan approval.**

13. Master deed should be recorded prior to final site plan approval.

**Response: Comment noted, the master deed will be recorded prior to final site plan approval.**

14. A cross access easement is required with Unit 7 to the east. An access easement is also required with Unit 6.

**Response: An access easement is currently shown on the plans.**

### **Landscaping Review:**

1. Please show the sitting area and associated plantings as existing and note they are to be provided by others. Those areas must be fenced off to protect them during construction of Carvana.

**Response: The sitting area and associated plantings will be shown on the plan and called out to be provided by others. They will also be fenced off during construction.**

2. Please correct the callout to just indicate sod.

**Response: The callout will be corrected to just indicate sod.**

3. To assist contractors, please add a note to the plans stating that all trees are to be at least 10 feet from hydrants or utility structures.

**Response: Note will be added to the plans.**

4. Please indicate with a note that the berm will be built by others.

**Response: Note will be added to the plans.**

5. Please copy the calculations for Adell Drive greenbelt landscaping from the required column to left (which are based on Roads & Utilities Plan) to the landscape plan. Please show the wall to be built in Phase 1 at cul-de-sac as existing. Only canopy OR subcanopy tree requirement needs to be met in TC district, not both.

**Response: The calculations will be copied to the landscape plan and the wall will be shown on the plans.**

6. Please note that the Roads & Utilities Plan shows the five (5) subcanopy trees along Adell Drive greenbelt as being provided in future phases, so they must be provided by Carvana, even though they are not required by calculations.

**Response: This will be added to the plans and labeled correctly.**

7. Please show transformer location on landscape plan. If the transformer is not screened sufficiently per city detail, additional screening must be added.

**Response: The transformer will be added to the landscape plan.**

8. Please label SF of all foundation areas provided and label them as foundation area. A landscape waiver is required since some of the foundation landscaping is not located at the foundation.

**Response: SF of all foundation areas provided will be labeled on plans.**

9. A landscape waiver is required since some of the foundation landscaping is not located at the foundation.

**Response: We request the landscape waiver for foundation plantings. We have plantings adjacent to sidewalk on east side and provide plantings north across drive aisle adjacent to I-96.**

10. A landscape waiver is required for lack of landscaping along foundation facing I-96. It would be preferable if some sort of landscaping could be provided along the building frontage facing I-96.

**Response: We request the landscape waiver for foundation plantings. We have plantings adjacent to sidewalk on east side and provide plantings north across drive aisle adjacent to I-96.**

11. Please add irrigation plan or information plan or information as to how plants will be watered sufficiently for establishment and long-term survival. If xeroscaping is used, please provide information about plantings included.

**Response: We specified drought tolerant plants. We will provide more information on watering when submitting for final site plan approval.**

12. Please revise City of Novi Landscape Note #7 to read 3 months instead of 1 year for replacement of failed material.

**Response: Note will be revised on plans.**

13. Please show tree fencing lines on plan for Adell Drive trees, sitting area and I-96 plantings. Please provide a fencing detail showing the fencing located at 12" outside of the trees' dripline.

**Response: Fencing lines and detail will be added to plans.**

**Traffic General Comments:**

1. The applicant should confirm that the loading zone can accommodate the car hauler without any portion of the loading/unloading activities diminishing access to the travel lanes (per Section 5.4.4), else a deviation may be required.

**Response: The loading zone is able to accommodate the car hauler.**

**Traffic External Site Access and Operations Comments:**

1. The times of deliveries will need to be coordinated such that they arrive and depart during non-peak periods, else modifications to the road layout may be necessary to accommodate the large car hauler paths more safely. The application should work with City staff to identify the time restrictions that may be applicable.

**Response: Carvana stated the typical delivery hours are set for pre and post peak hours, and they will continue to coordinate the times of their deliveries so that they remain as such.**

2. If this is to remain the truck route, the following may be required: access easements from Units 6 and 7, and delivery times will need to be restricted to non-peak periods for Units 6 and 7 to lessen the impact of the large car haulers from traveling through the parking lots while occupied by vehicles and pedestrians. The application should work with City staff to identify the time restrictions that may be available.

**Response: Access easement is already provided and shown on the plans. We will continue to work with adjacent Units for access easement and hauler route.**

3. The width of the proposed driveway is 33.4 feet back of curb to back of curb. The driveway width is within the allowable range but the applicant should provide justification for the proposed dimension or could consider revising the widths to 30' to meet the standard dimension if appropriate. Refer to Figure IX.1 in the City's Code of Ordinances for more information.

**Response: The proposed driveway width is what was provided by the Adell PRO Plans. The width is needed for the delivery car-hauler turn movements. We will work with Adell and their Engineer to update accordingly per figure.**

4. The applicant should dimension the radii information entering/existing Adell Drive to ensure compliance with Figure IX.1.

**Response: The radii for the driveway will be added to the plans. We will work with Adell and their Engineer to update accordingly per figure.**

**Traffic External Site Access and Operations Comments:**

1. The applicant should indicate the intended operation of the two 18.5 foot wide brick paver areas on the site and indicate whether they will be required to accommodate one-way or two-way vehicular operation so they may be appropriately evaluated.

**Response: The pavers are located at vehicle exit way and this is where the car exits the tower after a car has been vended from the tower. Vehicles are ultimately entering the tower from the rear of the building and only exiting through the two brick paver areas.**

2. The applicant should include dimensions for the radii and width of the proposed end islands throughout the site to review accessibility and compliance with City requirements as stated in Section 5.3.12 of the Zoning Ordinance. Note that all end islands adjacent to a travel way shall be constructed three (3) feet shorter than the adjacent parking space. The end

**Response: We will revise these islands to meet this requirement. The sidewalk will be revised to maintain 200 sf interior islands as well.**

Should you have any questions or further concerns, please do not hesitate to contact me.

Regards,



Derik Leary, P.E.  
Kimley-Horn and Associates, Inc.  
614-454-6697

## TRIP GENERATION STUDY



## MEMORANDUM

To: City of Novi Planning Department, Attn: Sri Komaragiri

From: Tim Sjogren, PE (IL), PTOE – Kimley-Horn  
Kyle Sant, EIT – Kimley-Horn

Date: September 4, 2018

RE: Parking Assessment for Carvana Vending Machine Fulfillment Center  
43700 Expo Center Drive, Novi, Michigan

---

Kimley-Horn and Associates, Inc. (Kimley-Horn) was retained by Carvana, LLC to assess parking demand anticipated for the Carvana Vending Machine Fulfillment Center proposed for the property commonly known as 43700 Expo Center Drive, located on the northwest quadrant of Expo Center Drive and Crescent Boulevard in Novi, Michigan.

The proposed development is unique and differs from a traditional motor vehicle sales facility. Carvana provides vehicles online for sale. Vehicles are then transported to the Vending Machine Fulfillment Center for customer pick-up. The site would be used to receive vehicles from transport and facilitate customer pick-up only; vehicle inventory would not be stored onsite for customer browsing. Pursuant to the process outlined in Section 4.87 (Unlisted Use Determinations) of the City of Novi Zoning Ordinance, the proposed use has been classified as an Unlisted Use. Based on this determination and a review of the land use categories outlined in Section 5.2 (Off-Street Parking Requirements) of the Zoning Ordinance, the parking requirement for motor vehicle sales (one space per 200 square feet of sales room) was identified as most closely representative of the proposed use.

The proposed 5,800 square-foot Carvana development would provide a total of 30 parking spaces. The proposed parking supply is consistent with the City of Novi parking requirements for a motor vehicle sales facility, as outlined in Section 5.2 (Off-Street Parking Requirements) of the *Zoning Ordinance*. Furthermore, the proposed parking supply is expected to support anticipated employee and customer parking demand, as well as vehicle delivery operations at the proposed Carvana Vending Machine Fulfillment Center, based on a review of a Project Narrative submitted to the City of Novi in July 2018.

### Proposed Parking Supply

Carvana, LLC proposes to develop an approximately 5,800 square-foot Vending Machine Fulfillment Center. A copy of the site plan is provided as **Attachment 1**. Based on the Unlisted Use classification and a review of the City's parking requirements, the parking ratio defined for motor vehicle sales (one space per 200 square feet of sales room) was identified as most closely

representative of the parking demand anticipated for the proposed development. Accordingly, based on the parking requirements outlined in Section 5.2 (Off-Street Parking Requirements) of the *Zoning Ordinance*, the proposed use is required to provide a total of 29 parking spaces. As shown in the site plan, a total of 30 parking spaces is proposed. Therefore, the proposed parking supply meets the requirements outlined in the City's *Zoning Ordinance*.

### **Anticipated Parking Demand**

The proposed development would provide a 5,800 square-foot Vending Machine Fulfillment Center for motor vehicles. The vertical parking structure would provide temporary storage for up to 28 purchased vehicles awaiting customer pick-up. In addition, a total of 30 surface parking spaces would be provided for customers, employees, and onsite loading activity. While traditional motor vehicle sales facilities provide inventory and sales onsite, the Carvana system provides for online vehicle sales. Purchased vehicles are transported from a remote location to the Carvana Vending Machine Fulfillment Center to facilitate customer pick-up activity. Based on its unique operational characteristics, a summary of the anticipated parking demand for the proposed Carvana development is outlined below.

#### **Customer Parking Demand**

As part of the online vehicle sales transaction, customers are required to schedule an appointment for vehicle pick-up. These appointments are scheduled in advance; customer visits to the site are by appointment only. Based on information provided by Carvana, LLC, operations at existing Carvana sites reveal an average of 8 to 13 customer pick-ups per day. These pick-ups are staggered in 20-minute increments during normal business hours, from 7:00 AM to 9:00 PM.

#### **Employee Parking Demand**

Carvana anticipates 10-12 employees (including management) to support the proposed development. Based on operations at existing Carvana sites, employees are expected to work in shifts during typical business hours, from 7:00 AM to 9:00 PM.

#### **Vehicle Deliveries**

Purchased vehicles would be delivered to the site from a remote location an average of twice per day. Purchased vehicles would be delivered to the site via a truck with a capacity to carry up to nine vehicles. The delivery truck fleet is owned and operated by Carvana, LLC; therefore, the days and times of deliveries to the site would be controlled. Delivery vehicles would utilize the onsite unloading zone to temporarily stage vehicles in the parking lot until they can be loaded into the site's vertical parking facility. These deliveries would likely be scheduled at 5:00 AM and 9:00 PM, outside normal business operations.

Based on the operational characteristics outlined above, during normal business hours (7:00 AM to 9:00 PM) parking demand is anticipated to be limited to shift employees and one or two customer parking spaces. Customer appointments for vehicle pick-up are intentionally staggered; and therefore, limited customer parking demand is expected to occur onsite simultaneously.

Peak parking demand for the proposed Carvana Vending Machine Fulfillment Center would likely occur outside of business hours during the vehicle delivery periods of approximately 5:00 AM and 9:00 PM. During this time, up to nine parking spaces would be temporarily utilized for vehicle

staging prior to loading into the vertical structure. In addition to the purchased vehicle loading activity, employee parking demand is also assumed during these periods. Using a conservative assumption that all 10-12 employees would be onsite for the deliveries, a total of approximately 20 to 22 spaces would be occupied during the loading activities at 5:00 AM and 9:00 PM. This peak parking demand estimate is assumed to be conservative as it does not reflect the planned employee shifts.

**Conclusion**

The proposed Carvana development would provide a total of 30 surface parking spaces for employees, customers, and deliveries. These spaces would be provided in addition to the vertical parking structure planned for the temporary storage of purchased vehicles. The proposed parking supply is expected to support the unique operational characteristics of this development. Specifically, the proposed 30-space supply is expected to support anticipated parking demand for employees, customers, and vehicle delivery activities. Furthermore, the proposed parking supply is consistent with the City of Novi parking requirements for a motor vehicle sales facility, as outlined in Section 5.2 (Off-Street Parking Requirements) of the *Zoning Ordinance*. In order to enhance efficient use of the proposed parking supply, signage is recommended to direct employees and customers to park in designated spaces and nine parking spaces should be reserved for temporary use during the vehicle delivery periods which are expected to occur outside normal business hours.

Please do not hesitate to contact us with any questions related to the information in this memorandum.



**NARRATIVE**



**CARVANA**

**Project Summary: Carvana Vending Machine  
Fulfillment Center**

**Submitted by:**

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**Submitted to:**

**The City of Novi, Detroit**

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**September 6, 2018**



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CARVANA

## Development Team

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## **Section 1. Introduction**

### **Introduction**

Carvana, LLC is pleased to submit this project narrative to the City of Novi as part of the Preliminary Site Plan Application. This request will allow for the development of a Carvana Vending Machine Fulfillment Center at 43700 Expo Center Drive as part of the overall Adell Center Multi-Use Development in Novi, Michigan.

Carvana's proposed use differs significantly from a traditional automobile sales facility. Rather than utilizing large surface parking areas to store and display vehicle inventory on-site, Carvana facilitates the sale of used vehicles online at Carvana.com. The cars are then transported to the Carvana Vending Machine Fulfillment Center nearest the customer and are then made available for customer pickup via a state of the art Vending Machine structure. Through the use of the Vending Machine Fulfillment Center, Carvana has transformed the stress-filled car buying experience into a user-friendly and exciting customer experience.

### **About Carvana**

Carvana is an online automotive retailer that is disrupting the used car industry. Through a robust, user-friendly website, Carvana offers over 11,000 pre-owned vehicles for sale and provides buyers the opportunity for a 360° view of the interior and exterior of the vehicle prior to purchase. Customers are given a 7-day test drive and delivery of the vehicle can be made in as little as 24 hours.

- Carvana was founded in 2012 as an online automotive retailer. Carvana has been described as an "Amazon for cars" and provides the ability for customers to buy a car in as less than 10 minutes.
- In 2017 Carvana made the Inc. 5000 list as one of the fastest growing companies in the nation coming in at #34.

- Carvana is now the 2<sup>nd</sup> largest pre-owned automotive retailer in the state of Georgia.
- Through the use of a coin-operated Vending Machine Carvana delivers cars to buyers in an entertaining and memorable way.
- Carvana currently has Vending Machine stores operating in:

|                  |                  |
|------------------|------------------|
| Nashville, TN    | Tampa, FL        |
| Dallas, TX       | Orlando, FL      |
| Austin, TX       | Charlotte, NC    |
| San Antonio, TX  | Raleigh, NC      |
| Houston, TX      | Tempe, AZ        |
| Jacksonville, FL | Gaithersburg, MD |
| Cleveland, OH    |                  |

With the development of its Vending Machine properties, Carvana provides a nontraditional bricks-and-mortar identity for those consumers who want to establish an in person relationship with their car retailer. Visitors to the Vending Machine are welcomed by appointment-only and standard hours of operation are daily from 7am to 9pm.

### The Carvana Difference

| The Carvana Difference                   |  |
|--|--|
| Traditional Automobile Dealers           | Carvana  |
| 10 to 20 acres                           | 1 to 3 acres   |
| 30,000+ building square footage          | 5,700+/- building square footage                                   |
| Over 650 parking spaces                  | Approx. 30-40 parking spaces                                       |
| Vehicles are displayed for sale          | Vehicles are pre-sold, awaiting customer pickup                    |
| Walk-ins are welcome and encouraged      | Store visit by appointment-only                                    |
| Large areas of impervious surfaces       | Small areas of impervious surfaces                                 |
| Fuel pumps                               | No fuel pumps  |
| Balloons, loud signs, marketing gimmicks | No marketing gimmicks, loud music or large banners leading to site |

## Site size

Carvana packs a lot of excitement into a small site. While most traditional car dealers require 10 to 20 acres to house their showrooms and inventory, Carvana requires on average only 1 to 3 acres for their Vending Machine Fulfillment Center locations and only 1.3 acres specifically for Novi, MI. Carvana is able to comfortably place the tower, welcome center, customer parking, landscaping and storm water retention on the site. This is in large part because there are no vehicles on display for direct sale, all sales occur online. Carvana does not need to display vehicles for direct sale because its website includes state of the art, highly interactive 360 degree views of all vehicles with detailed information about the condition and history.

## Architecture and Engineering



The Carvana fulfillment center features an award-winning, contemporary, single-story building connected to a 75-foot glass and steel octagonal tower (pictured left). The building center includes: The Customer Center, employee office space and the Vending Machine Car Tower, which is attached to the building. Inside the

tower are pre-purchased vehicles awaiting customer pick-up. It is important to note that the tower is not occupied and acts simply as temporary storage of vehicles.



After completing the final sales paperwork in the Carvana Customer Center (pictured left), customers place their token in the coin machine and that is what initiates the car to vend from the tower. The customer's car is brought down from the tower via a proprietary automated delivery system, and brought out to the

customer through two glass doors and into a drive aisle closest to the Customer Center entrance.

## Project Location

Carvana intends to purchase the property that is approximately 1.3-acres with direct visibility off from I-96. The location is known as parcel ID 22-15-476-045.



## Plan of Operation

Outlined below is Carvana's operational detail, which includes a thorough understanding of the unique nature of the typical operations.

**Workforce:** Carvana projects to employ 10-12 employees that will consist of Customer Advocates and a Manager. These employees will work in shifts. Their activities include:

- Setting appointments with customers for pick-up of purchased vehicle
- Welcoming customers to facility
- Finalizing purchase paperwork, obtaining final signatures
- Assist in off-loading of vehicles from Carvana haulers/delivery trucks
- Loading of vehicles into Vending Machine Tower

**Clients and Customers:** Before a customer completes their online vehicle purchase, they are prompted to schedule their pickup time before arriving to the Carvana Vending Machine. Customer visits to the site are by appointment only.

**Processes Conducted on the Site:** As previously mentioned, activities on the site include setting up appointments with customers to schedule pick-up of their cars; off-loading of vehicles from the delivery trucks; loading of vehicles into the Vending Machine; finalization of purchase paperwork and presentation of cars to their owners. Standard hours of operation are from 7:00 a.m. to 9:00 p.m. There will be no servicing of vehicles or auto repair being conducted at the Vending Machine facility, although there is a designated area in the building where the vehicle is placed for a light rinse before being loaded into the Vending Machine for customer pick-up. Additionally, there are no outdoor speakers or any promotional signs.

**Materials Used:** There are no hazardous materials used at the Carvana Vending Machine Fulfillment Center.

**Receiving and Deliveries:** There are deliveries of cars to the site via a nine-car delivery truck. Carvana owns and operates their own fleet of delivery vehicles and the drivers are Carvana employees. Accordingly, Carvana controls the days and times of deliveries to the site. It is anticipated that there will be on average two deliveries of vehicles to the site per day. Additionally, for those customers who

choose the at-home delivery option, single car haulers are available on site and Customer Advocates will deliver the vehicle to the customer's home.

**Waste:** The waste produced at a Carvana Vending Machine site is the same as an office building, largely dry paper and cardboard. The site will have an enclosed trash receptacle.

## **Phasing**

All of the construction and development proposed in this application will be undertaken in a single phase.

## **Circulation**

General customer and employee parking is provided on site. Drivers operating the nine car haulers will be instructed to access the site into the loading/unloading area and vehicles will be off-loaded into the empty parking spaces temporarily before entering the car tower.

Carvana's site is designed to allow Carvana's multi-car haulers to loop through the site. Trucks will enter from the cul-de-sac, pause at a dedicated unloading zone between the building and freeway, and exit through the back of Unit 6 and 7 and back out onto Adell Drive. Deliveries are timed to prevent two multi-car haulers from being present simultaneously. Since the delivery trucks are based at other locations, Carvana is naturally desirous of unloading those haulers promptly so that they can return to their base locations.

## **Traffic**

Customer pick-ups are made by appointment only, therefore customers will naturally self-regulate their impact on peak hour traffic flows. It is expected that customers who are travelling to the area will avoid peak hour appointments. Alternatively, customers who are already travelling through the area will use a stop at Carvana as an excuse to complete their commute during those peak hours. No vehicle repair, customization, auto-body services or auto parts sales will be available at the proposed center. As such, the vehicle trips accessing Carvana during peak hours may be further reduced from what is estimated to be generated.

The Vending Machine facility does not house “for sale” vehicles in the tower or in the available parking spaces, therefore Carvana would not generate traffic for customers shopping for a new vehicle similar to how a traditional car dealership operates. A traffic memo is providing in our submission package for reference.

**Impact of Proposed Development**

The innovative site plan and unique nature of this land use allow for what many could consider a vacant, remnant parcel, to instead be redeveloped into a vibrant use and strong contributor to economic development in the City of Novi. The proposed Carvana use represents an improvement over the existing site uses and conditions. The proposed development uses a smaller footprint than a traditional car dealership, and by reducing the amount of parking on the site, more green area is provided. Additionally, the overall traffic impact to the site will be reduced.

The proposed development will also have a positive aesthetic impact on the surrounding area. The new Carvana tower will complement the Multi-Use Development and will become a destination location for consumers in the City of Novi and the larger Detroit metropolitan area. The Carvana facility will join the existing development and inject some well-needed vitality to the area. The operational impact on the surrounding area will be minimal.



## **Section 2. Conclusion**

This proposed development will bring a new and exciting company, whose values, mission and goals align closely with the goals espoused in the City of Novi's Master Plan for Land Use Review, most recently updated in 2016.

Some of these shared visions are:

- Embracing new development of land that is of high quality design and materials
- Promoting environmental stewardship through the preservation of open space and utilization of low-impact development techniques
- Placing a high value on economic development through maintaining the balance between the economy, environment and community to create sustainable developments that meets the needs of the community today and in the future

Carvana looks forward to working with City of Novi to develop a Carvana Vending Machine Fulfillment Center, which will provide residents of Novi, and entire Detroit metropolitan area, with a new retail car buying experience. The development team looks forward to working with the City of Novi to make the vision for this parcel.