



COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals **ZONING BOARD APPEALS DATE:** September 12, 2023

REGARDING: 1927 West Lake Drive, Parcel # 50-22-03-131-026 (PZ23-0028)

BY: Alan Hall, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant

Ronnie & Wafaa Jamil

Variance Type

Dimensional Variance

Property Characteristics

Zoning District: This property is zoned One Family Residential (R-4)

Location: East of West Park Drive, South of Pontiac Trail

Parcel #: 50-22-03-131-026

Request

The applicant is requesting variances from City of Novi Zoning Ordinance Section 3.1.5 for a side yard setback of 2.25 ft. (10 ft. required, variance of 7.75 ft.); for an aggregate total of 4.5 ft. (25 ft. required, variance of 20.5 ft.); for an increase in lot coverage to 42.5% (25% maximum, variance of 17.5%) This variance would accommodate the building of a new home. This property is zoned One-Family Residential (R-4).

II. STAFF COMMENTS:

This property is 30' wide and located on Walled Lake. Currently the property has a house and a detached garage that are both nonconforming to the required setbacks. The existing house and detached garage are planned to be demolished. The new home and attached garage appear to be similar in lot coverage as other new homes in the area. There are (2) variances requested.

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we **grant** the variance in Case No. **PZ23-0028**, sought by _____, for _____ because Petitioner has shown practical difficulty requiring _____.

(a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because _____.

(b) The property is unique because _____.

(c) Petitioner did not create the condition because _____.

(d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because _____.

(e) The relief if consistent with the spirit and intent of the ordinance because _____.

(f) The variance granted is subject to:
1. _____
2. _____
3. _____
4. _____

2. I move that we **deny** the variance in Case No. **PZ23-0028**, sought by _____, for _____ because Petitioner has not shown practical difficulty requiring _____.

- (a) The circumstances and features of the property including _____ are not unique because they exist generally throughout the City.

- (b) The circumstances and features of the property relating to the variance request are self-created because _____.

- (c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that _____.

- (d) The variance would result in interference with the adjacent and surrounding properties by _____.

- (e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to _____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0423.

Alan Hall – Deputy Director Community Development - City of Novi



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RECEIVED

JUL 11 2023

**CITY OF NOVI
 COMMUNITY DEVELOPMENT**

**ZONING BOARD OF APPEALS
 APPLICATION**

APPLICATION MUST BE FILLED OUT COMPLETELY

I. PROPERTY INFORMATION (Address of subject ZBA Case)				Application Fee: <u>250</u>	
PROJECT NAME / SUBDIVISION				Meeting Date: <u>Sept 12 2023</u>	
ADDRESS <u>1927 West Lake Drive</u>		LOT/SIUTE/SPACE #		ZBA Case #: <u>PZ 23-0028</u>	
SIDWELL # <u>50-22-03-131-026</u>		May be obtained from the Assessing Department (248) 347-0485			
CROSS ROADS OF PROPERTY					
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			REQUEST IS FOR: <input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE		
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO					
II. APPLICANT INFORMATION					
A. APPLICANT		EMAIL ADDRESS <u>r.jamil@gasngoods.com</u>		CELL PHONE NO. <u>248-330-8462</u>	
NAME <u>Ronnie d Wafaa Jamil</u>				TELEPHONE NO.	
ORGANIZATION/COMPANY				FAX NO.	
ADDRESS <u>35649 Lancashire Drive</u>		CITY <u>Farmington Hills</u>		STATE <u>Mi</u>	ZIP CODE <u>48331</u>
B. PROPERTY OWNER <input checked="" type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER					
Identify the person or organization that owns the subject property:		EMAIL ADDRESS		CELL PHONE NO.	
NAME				TELEPHONE NO.	
ORGANIZATION/COMPANY				FAX NO.	
ADDRESS		CITY		STATE	ZIP CODE
III. ZONING INFORMATION					
A. ZONING DISTRICT					
<input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____					
B. VARIANCE REQUESTED					
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:					
1. Section <u>3-1.5</u>		Variance requested		<u>Min Side Yard 10" / Requesting 2'25"</u>	
2. Section _____		Variance requested		<u>Agg total required 25' requesting 4'5"</u>	
3. Section _____		Variance requested		<u>Max Lot Coverage 25% requesting 42.5%</u>	
4. Section _____		Variance requested		_____	
IV. FEES AND DRAWINGS					
A. FEES					
<input type="checkbox"/> Single Family Residential (Existing) \$200 <input type="checkbox"/> (With Violation) \$250 <input checked="" type="checkbox"/> Single Family Residential (New) \$250 <input type="checkbox"/> Multiple/Commercial/Industrial \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> Signs \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> House Moves \$300 <input type="checkbox"/> Special Meetings (At discretion of Board) \$600					
B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF					
<ul style="list-style-type: none"> Dimensioned Drawings and Plans Site/Plot Plan Existing or proposed buildings or addition on the property Number & location of all on-site parking, if applicable 			<ul style="list-style-type: none"> Existing & proposed distance to adjacent property lines Location of existing & proposed signs, if applicable Floor plans & elevations Any other information relevant to the Variance application 		



ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

DIMENSIONAL USE SIGN

There is a five (5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten (10) days before the scheduled ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be an actual sign. Upon approval, the mock-up sign must be removed within five (5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five (5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 7.10 – Miscellaneous

No order of the ZBA permitting the erection of a building shall be valid for a period longer than one (1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the ZBA permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty (180) days unless such use is established within such a period; provided, however, where such use permitted is dependent upon the erection or alteration of a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one (1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING ADDITION TO EXISTING HOME/BUILDING SIGNAGE
 ACCESSORY BUILDING USE OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

Applicant Signature

Date 7/11/23

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

Property Owner Signature

Date

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

GRANTED

DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following conditions:

Chairperson, Zoning Board of Appeals

Date



Community Development Department

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Novi, MI 48375
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**REVIEW STANDARDS
DIMENSIONAL VARIANCE**

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.
 Not Applicable Applicable If applicable, describe below:

Lot is narrow to build a house

and/or

- b. Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.
 Not Applicable Applicable If applicable, describe below:

and/or

- c. Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.
 Not Applicable Applicable If applicable, describe below:

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

I acquired the property as is

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

Lot is too small to build a house with the required setbacks

Standard #4. Minimum Variance Necessary.

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

lot is only 30 ft wide as the other homes on the same street. need the variance to build a livable home

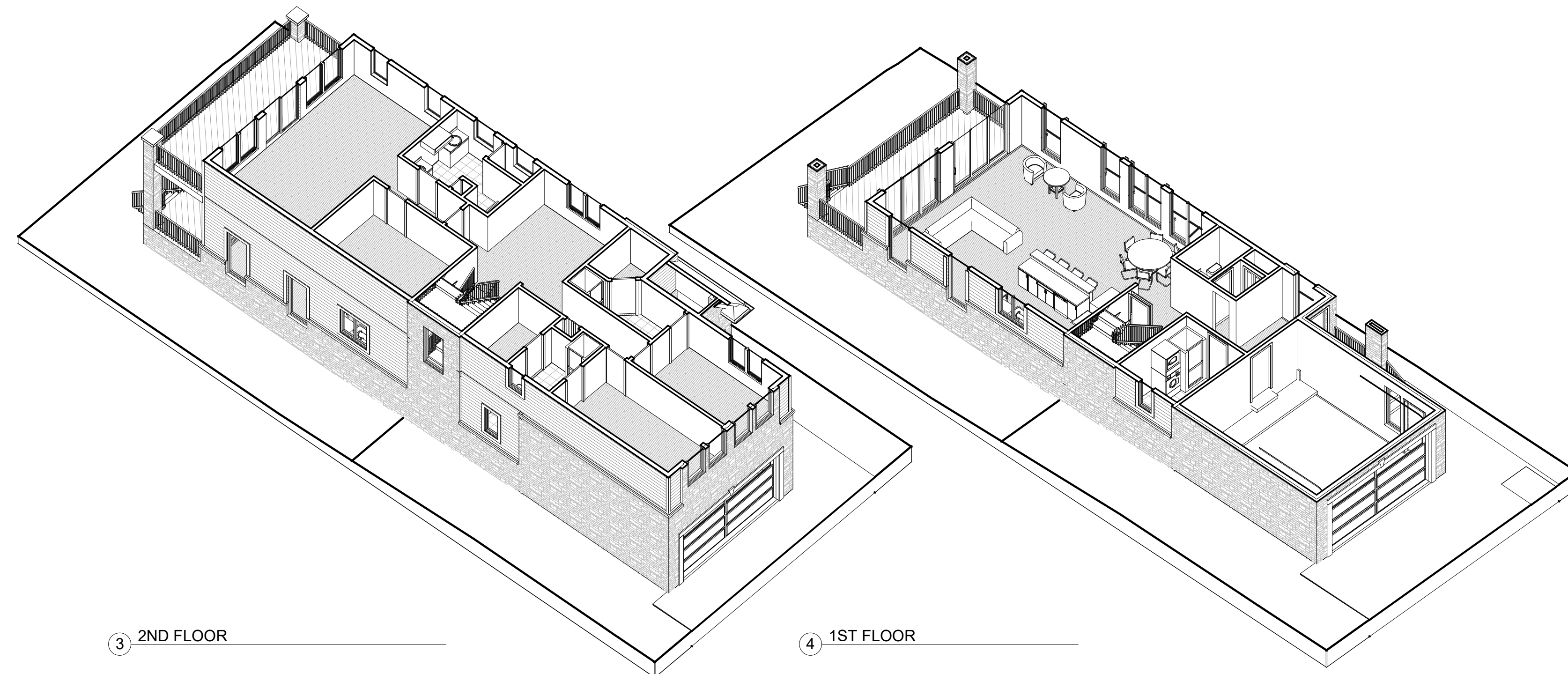
Standard #5. Adverse Impact on Surrounding Area.

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

the house will add more value to surrounding homes in the area

SINGLE FAMILY HOUSE

1927 W Lake Rd, Novi, MI 48377



SHEET LIST	
Sheet Number	Sheet Name
A100	COVER SHEET
A101	FOUNDATION PLAN
A102	FLOOR PLANS
A103	ELEVATIONS
A104	ELEVATIONS
A106	3D VIEWS
A105	SECTIONS

AREA SCHEDULE (GROSS BUILDING)	
Level	Area
1ST FLOOR	1200 SF
2ND FLOOR	1578 SF
	2778 SF

Deferred submittal: sealed truss drawings by truss company mrc 2015, 802.10

DESIGN LOADS
THE STRUCTURE IS DESIGNED FOR THE FOLLOWING LIVE LOADS, IN ADDITION TO THE LATERAL LOADS AND SUPERIMPOSED DEAD LOADS AND SELF-WEIGHT OF THE STRUCTURE.

BUILDING OCCUPANCY CATEGORY: 11

- LIVE LOADS
- ROOF SNOW LOAD:
 - GROUND SNOW LOAD: 25.0 PSF
 - FLAT ROOF SNOW LOAD (PI); (MINIMUM ROOF LOAD): 20 PSF
 - SNOW EXPOSURE FACTOR (Ce): 1.0
 - SNOW LOAD IMPORTANCE FACTOR (I): 1.0
 - THERMAL FACTOR (Ct): 1.0
 - ADDITIONAL LOADING DUE TO DRIFTING AT CHANGES IN ROOF

ELEVATIONS AND ICE AT OVERHANGS PER APPLICABLE CODE. DESIGN DEAD LOAD: 15 PSF TOTAL DESIGN ROOF LOAD: 35 PSF



6 2ND FLOOR
3/32" = 1'-0"

5 1ST FLOOR
3/32" = 1'-0"

SMOKE ALARM
317.1 SINGLE AND MULTIPLE-STATION SMOKE ALARMS. SINGLE AND MULTIPLE STATION SMOKE ALARM SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1- IN EACH SLEEPING ROOM.
2- OUTSIDE OF EACH SEPARATE SLEEPING AREA MAXIMUM TEN-FOOT FROM THE BEDROOM DOOR
3- ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS. A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL
NOTES FROM MICHIGAN RESIDENTIAL CODE 2009

FRAMING:
-NOTCHES IN SOLID LUMBER JOISTS, RAFTERS AND BEAMS SHALL NOT EXCEED ONE-SIXTH OF THE DEPTH OF THE MEMBER. SHALL NOT BE LONGER THAN ONE THIRD OF THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED IN THE MIDDLE ONE THIRD OF THE SPAN. NOTCHES AT THE ENDS OF THE MEMBER SHALL NOT EXCEED ONE-FORTH THE DEPTH OF THE MEMBER. THE DIAMETER OF THE HOLES BORED OR CUT INTO MEMBERS SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE MEMBER. HOLES SHALL NOT BE CLOSER THAN 2" TO THE TOP OR BOTTOM OF THE MEMBER, OR TO ANY OTHER HOLE OR NOTCH LOCATED IN THE MEMBER. -TOP PLATES WOOD STUDS WALLS SHALL BE CAPPED WITH A DOUBLE TOP PLATE INSTALLED TO PROVIDE OVERLAPPING AT CORNERS AND INTERSECTIONS WITH BEARING PARTITIONS. END JOINTS IN TOP PLATES SHALL BE OFFSET AT LEAST 24 INCHES. -DRILLING AND NOTCHING STUDS: ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTH. STUDS IN NONBEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NOT TO EXCEED 40 PERCENT OF A SINGLE STUD WIDTH. ANY STUD MAY BE BORED OR DRILLED, PROVIDED THAT THE DIAMETER OF THE RESULTING HOLE IS NO GREATER THAN 40 PERCENT OF THE STUD WIDTH. THE EDGE OF THE HOLE IS NO CLOSER THAN 5/8" TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS THE A CUT OF A NOTCH. -WHEN THE TOP PLATE OF AN EXTERIOR OR INTERIOR LOAD BEARING WALL IS CUT BY MORE THAN 50 WIDTH A GALVANIZED METAL TIE NOT LESS THAN 0.054 INCH THICK AND 1.5 INCH WIDE SHALL BE FASTENED TO EACH PLATE ACROSS AND TO EACH SIDE OF THE OPENING WITH NOT LESS THAN SIX 16D NAILS.
-JOISTS FRAMING FROM OPPOSITE SIDES OVER A BEARING SUPPORT SHALL LAP A MINIMUM OF 3 INCHES AND SHALL BE NAILED TOGETHER WITH A MIN. OF THREE FACE NAIL. -JOIST FRAMING INTO THE SIDE OF WOOD GIRDER SHALL BE SUPPORTED BY APPROVED FRAMING ANCHORS OR ON LEDGER STRIP NOT LESS THAN NOMINAL 2 INCHES BY 2 INCHES. -THE ENDS OF EACH JOIST, BEAM OR GIRDER SHALL HAVE NOT LESS THAN 1 1/2" INCHES OF BEARING ON WOOD AND NOT LESS THAN 3 INCHES ON CONCRETE.

FLASHING:
-FLASHING INSPECTION WILL BE REQUIRED PRIOR TO INSTALLING THE FULL WALL OF BRICK
-WEEP HOLES: WEEP HOLES SHALL BE PROVIDED IN THE OUTSIDE WYTH OF MASONRY WALLS AT A MAXIMUM SPACING OF 33 INCHES ON CENTER. SHALL NOT BE LESS THAN 3/16" IN DIAMETER.
-PROVIDE CORROSION-RESISTANT FLASHING AT THE EXTERIOR FRONT PORCH AT THE LINE OF ATTACHMENT WITH THE HOUSE AT THE FOYER.

FIRE SAFETY
-FIRE BLOCKING SHALL BE PROVIDED BY USING BATTS OR BLANKETS OF MINERAL OR GLASS FIBER OR OTHER APPROVED NONRIGID MATERIAL AT OPENINGS AROUND VENTS, PIPES AND DUCTS AT CEILING AND FLOOR LEVEL. AT THE CONCEALED SPACE BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF RUN, AT CONCEALED SPACES OF STUD WALLS AND PARTITIONS AT CEILING AND FLOOR LEVEL.
-DRAFT STOP SHOULD BE INSTALLED AT THE SECOND FLOOR AND DIVIDE THE FLOOR AREA INTO TWO EQUAL AREAS IF FLOOR FRAMING CONSTRUCTED OF TRUSS-TYPE OPEN WEB OR PERFORATED MEMBERS. DRAFT STOPPING MATERIAL SHOULD BE 1/2" GYPSUM BOARD. (R502.12 MI. RES. CODE 2009)

EXTERIOR FINISHES:
-BRICK VENEER IS ANCHORED TO WOOD STUDS BY USING CORRUGATED SHEET METAL TIES, NO. 22 U.S. GAGE BY 7/8" CORRUGATED. SPACED AT 24" HORIZONTALLY AND 16" VERTICALLY.
-ADDITIONAL METAL TIES WILL BE PROVIDED AROUND ALL WALL OPENINGS GREATER THAN 16" IN EITHER DIMENSION.

INTERIOR FINISHES:
-BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH NONABSORBENT SURFACE AND SHALL EXTEND TO A HEIGHT OF 6 FT ABOVE THE FLOOR.
-GYPSUM BACKER: GYPSUM BOARD USED AS THE BASE OR BACKER BOARD FOR ADHESIVE APPLICATION OF CERAMIC TILE OR OTHER NONABSORBENT FINISH MATERIAL SHALL CONFORM WITH ASTM C 630 OR C 1178. WATER RESISTANT GYPSUM BACKING BOARD SHALL BE PERMITTED TO BE USED ON CEILINGS WHERE FRAMING SPACING DOES NOT EXCEED 12 INCHES ON CENTER FOR 1/2" THICK OR 16 INCHES FOR 5/8" INCH THICK GYPSUM BOARD.
-TEMPERED GLASS SHOULD BE USED OVER THE MASTER TUB.
ROOM CEILING HEIGHTS:
-HABITABLE ROOMS, HALLWAYS, CORRIDORS, BATHROOMS, LAUNDRY ROOMS AND BASEMENT SHALL HAVE A CEILING HEIGHT NOT LESS THAN 7 FEET MEASURED FROM THE FINISH FLOOR TO THE LOWEST PROJECTION FROM THE CEILING.
ROOM CEILING HEIGHTS:
-HABITABLE ROOMS, HALLWAYS, CORRIDORS, BATHROOMS, LAUNDRY ROOMS AND BASEMENT SHALL HAVE A CEILING HEIGHT NOT LESS THAN 7 FEET MEASURED FROM THE FINISH FLOOR TO THE LOWEST PROJECTION FROM THE CEILING.

SMOKE ALARMS:
-THE SMOKE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE DWELLING UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.
-ALL SMOKE ALARMS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72.
-THE SMOKE ALARM SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND WHEN PRIMARY POWER IS INTERRUPTED SHALL RECEIVE POWER FROM BATTERY. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION.

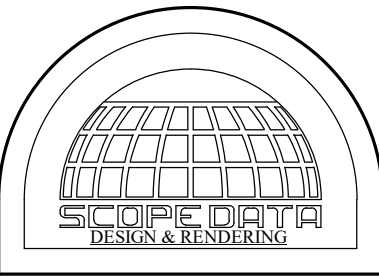
ROOF CONSTRUCTION:
-TRUSS MANUFACTURER SHALL HAVE TRUSS TIES PROVIDED AT BEARING LOCATIONS IN ACCORDANCE WITH TABLE 802.11. A OF THE CODE. CONTINUOUS LOAD PATH SHALL BE PROVIDED TO TRANSMIT THE UPLIFT FORCES FROM THE TRUSS TIES TO THE FOUNDATION. WIND UPLIFT PRESSURE ON ROOF ASSEMBLIES SHALL BE DETERMINED USING THE EFFECTIVE WIND AREA OF 100 SQ. FT. AND ZONE 1 IN TABLE R301.2(2)

EMERGENCY ESCAPE:
EVERY SLEEPING SPACE SHALL HAVE AT LEAST ONE OPENABLE EMERGENCY ESCAPE WINDOW WITH SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR, MIN. NET CLEAR OPENING HEIGHT 24" AND MIN. NET OPENING WIDTH OF 20". R310 MICH. RESIDENTIAL CODE 2009.

FOR ALL HEADERS OVER FOUR FEET AND LVL BEAMS
USE TWO JACK STUD UNDER EACH END AND ONE KING STUD

ELECTRICAL
A SWITCH CONTROLLED LIGHT FIXTURE OR RECEPTACLE MUST BE INSTALLED IN EVERY HABITABLE ROOM, BATHROOM, HALLWAY, STAIRWAY, UTILITY ROOM, ATTACHED GARAGE, DETACHED GARAGE W/ELECTRIC POWER, STORAGE SPACE, AND EXTERIOR DOOR GRADE-LEVEL DOOR LOCATIONS. ATTICS AND UNDER FLOOR SPACES CONTAINING EQUIPMENT OR USED FOR STORAGE MUST BE PROVIDED WITH A SWITCH OPERATED LIGHT.

RECEPTACLE OUTLETS ARE REQUIRED IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, SUNROOM, BEDROOM, REC ROOM, HALLWAY 6 FT. OR MORE IN LENGTH AND SIMILAR DWELLING AREAS SPACED SO THAT NO POINT ALONG THE WALL LINE EXCEEDS 6 FT. FROM AN OUTLET. AT LEAST 1 RECEPTACLE SHALL BE INSTALLED IN A BATHROOM WITHIN 36" OF EACH BASIN. COUNTERTOPS 12" IN WIDTH OR WIDER SHALL HAVE RECEPTACLES PLACED WITHIN 20" ABOVE THE COUNTER TOP AND SPACED SO NO POINT EXCEEDS 24" FROM AN OUTLET. AT LEAST ONE RECEPTACLE OUTLET MUST BE INSTALLED IN EACH LAUNDRY, BASEMENT, ATTACHED GARAGE. OUTDOOR OUTLETS MUST BE INSTALLED AT THE FRONT AND BACK OF EACH DWELLING WITHIN 6'-6" ABOVE GRADE. ATTICS OR CRAWL SPACES CONTAINING EQUIPMENT MUST BE PROVIDED WITH AT LEAST ONE RECEPTACLE OUTLET WITHIN 25 FT. OF THE EQUIPMENT.



SCOPE DATA, LLC.
381 DEER PATH TRL
WATERFORD
MICHIGAN 48327
WWW.SCOPEDATA.COM

CONTACT NUMBER
PH: (248) 739-6390
FAX: (248) 562-1450
EMAIL:
INFO@SCOPEDATA.COM

PROJECT:
SINGLE FAMILY HOUSE

ADDRESS
1927 W Lake Rd, Novi,
MI 48377

OWNER

CONTRACTOR

SUBMITTALS

REVISIONS	
#	Revision Date

PROJECT NO

DATE
6/23/2023

SCALE

SHEET TITLE
FLOOR PLANS

SHEET #
A102

AREA SCHEDULE (GROSS BUILDING)		
Level	Area	
1ST FLOOR	1200 SF	
2ND FLOOR	1578 SF	
	2778 SF	

DOOR SCHEDULE				
#	Level	From Room: Name	Description	Width
1	1ST FLOOR	ENTRANCE	20 MIN FIRE RATED	3'-0"
2	1ST FLOOR	2 CAR GARAGE	16'-0" X 8'-0" GARAGE DOOR	16'-0"
3	1ST FLOOR	FAMILY ROOM	3 PANELS SLIDING DOOR	8'-7"
4	1ST FLOOR	MUD ROOM	2'-8" X 8'-0"	2'-8"
5	1ST FLOOR	POWD.	2'-8" X 8'-0"	2'-8"
6	1ST FLOOR		BIFOLD	2'-6"
7	1ST FLOOR	PANTRY	2'-8" X 8'-0"	2'-8"
8	1ST FLOOR		MAIN ENTRANCE	3'-0"
9	1ST FLOOR	2 CAR GARAGE	EXTERIOR DOOR	3'-0"
10	2ND FLOOR	MASTER BEDROOM	2'-8" X 7'-0"	2'-8"
11	2ND FLOOR	W.I.C.	2'-8" X 7'-0"	2'-8"
12	2ND FLOOR	BEDROOM 3	2'-8" X 7'-0"	2'-8"
13	2ND FLOOR	BATH	2'-8" X 7'-0"	2'-8"
14	2ND FLOOR	BEDROOM 2	2'-8" X 7'-0"	2'-8"
15	2ND FLOOR	MASTER BEDROOM	EXTERIOR SLIDING DOOR	5'-8"
16	2ND FLOOR	BATH 2	2'-8" X 7'-0"	2'-8"
17	2ND FLOOR	MASTER BEDROOM	2'-8" X 7'-0"	2'-8"
18	2ND FLOOR	W.I.C.	2'-8" X 7'-0"	2'-8"
19	2ND FLOOR	W.I.C.	2'-8" X 7'-0"	2'-8"
20	2ND FLOOR	LOFT AREA- 2ND FL HALLWAYS	2'-0" BIFOLD	2'-0"
21	2ND FLOOR	MASTER BATH	CLOSED DOOR	1'-6"
23	2ND FLOOR	MASTER BATH	2'-8" X 7'-0"	2'-8"

WINDOW SCHEDULE					
Type Mark	Level	From Room: Name	Rough Opening Width	Rough Opening Height	Description
1	1ST FLOOR	MUD ROOM	2'-0"	4'-0"	CASEMENT
2	1ST FLOOR	2 CAR GARAGE	2'-6"	6'-0"	CASEMENT
3	1ST FLOOR	FAMILY ROOM	3'-0"	7'-0"	FIXED TEMPERED
3	1ST FLOOR	FAMILY ROOM	3'-0"	7'-0"	FIXED TEMPERED
3	1ST FLOOR	FAMILY ROOM	3'-0"	7'-0"	FIXED TEMPERED
3	1ST FLOOR	ENTRANCE	3'-0"	7'-0"	FIXED TEMPERED
4	1ST FLOOR	KITCHEN	4'-0"	4'-0"	SLIDING
5	1ST FLOOR	DINING	5'-0"	7'-0"	FIXED TEMPERED
5	1ST FLOOR	DINING	5'-0"	7'-0"	FIXED TEMPERED
6	1ST FLOOR	FAMILY ROOM	8'-10"	8'-0"	3 PANELS FIXED WINDOW- TEMPERED
7	2ND FLOOR	BATH	2'-0"	4'-0"	CASEMENT- TEMPERED
8	2ND FLOOR	BEDROOM 3	3'-0"	5'-0"	CASEMENT- EGRESS
8	2ND FLOOR	BEDROOM 2	3'-0"	5'-0"	CASEMENT- EGRESS
8	2ND FLOOR	BEDROOM 3	3'-0"	5'-0"	CASEMENT- EGRESS
9	2ND FLOOR		3'-0"	6'-0"	STAIR WINDOW
10	2ND FLOOR	MASTER BATH	3'-0"	4'-1"	CASEMENT- TEMPERED
10	2ND FLOOR	MASTER BATH	3'-0"	4'-1"	CASEMENT- TEMPERED
11	2ND FLOOR	MASTER BEDROOM	6'-0"	6'-0"	2 CASEMENT
11	2ND FLOOR	MASTER BEDROOM	6'-0"	6'-0"	2 CASEMENT
12	2ND FLOOR	MASTER BEDROOM	2'-6"	5'-1"	FIXED- TEMPERED
12	2ND FLOOR	MASTER BEDROOM	2'-6"	5'-1"	FIXED- TEMPERED
13	2ND FLOOR	BEDROOM 3	5'-0"	5'-0"	2 CASEMENT- EGRESS
13	2ND FLOOR	LOFT AREA- 2ND FL HALLWAYS	5'-0"	5'-0"	2 CASEMENT- EGRESS
9	ROOF	ATTIC	3'-0"	6'-0"	STAIR WINDOW
14	ROOF	ATTIC	2'-4"	3'-6"	SLOPE TO MATCH ROOF - SEE ELEVATION
15	ROOF	ATTIC	5'-0"	4'-0"	2 CASEMENT- EGRESS
15	ROOF	ATTIC	5'-0"	4'-0"	2 CASEMENT- EGRESS
15	ROOF	ATTIC	5'-0"	4'-0"	2 CASEMENT- EGRESS
15	ROOF	ATTIC	5'-0"	4'-0"	2 CASEMENT- EGRESS

EXTERIOR JOINTS IN THE BUILDING ENVELOPE THAT ARE SOURCE OF AIR LEAKAGE SHALL BE CAULKED, GASKETED WEATHER-STRIPPED, OR OTHERWISE SEALED THE AREAS MAY INCLUDE JOINTS AROUND WINDOW AND DOORFRAMES BETWEEN WALL PANELS, OR PENETRATIONS AND UTILITY SERVICES THROUGH WALLS, FLOORS, AND ROOF / CEILING ASSEMBLIES THAT ADDRESS NUMBERS TO BE VISIBLE FROM STREET AND CONTRASTING WITH THE BACKGROUND MATERIALS

EXTERIOR JOINTS IN THE BUILDING ENVELOPE THAT ARE SOURCE OF AIR LEAKAGE SHALL BE CAULKED, GASKETED WEATHER-STRIPPED, OR OTHERWISE SEALED THE AREAS MAY INCLUDE JOINTS AROUND WINDOW AND DOORFRAMES, BETWEEN WALL PANELS, OR PENETRATIONS AND UTILITY SERVICES THROUGH WALLS.

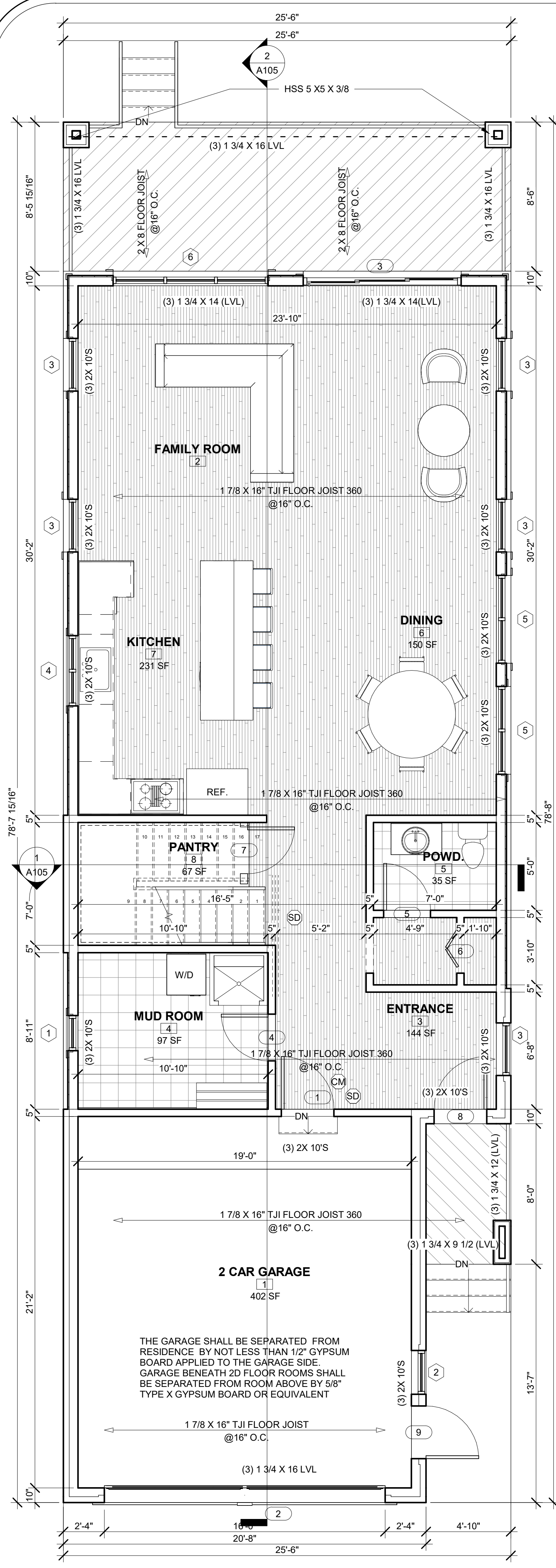
FIELD VERIFY CODE COMPLIANT IS PROVIDED AT THE FOLLOWING LOCATIONS:

A. CONCEALED SPACES OF STUDS, WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVEL.

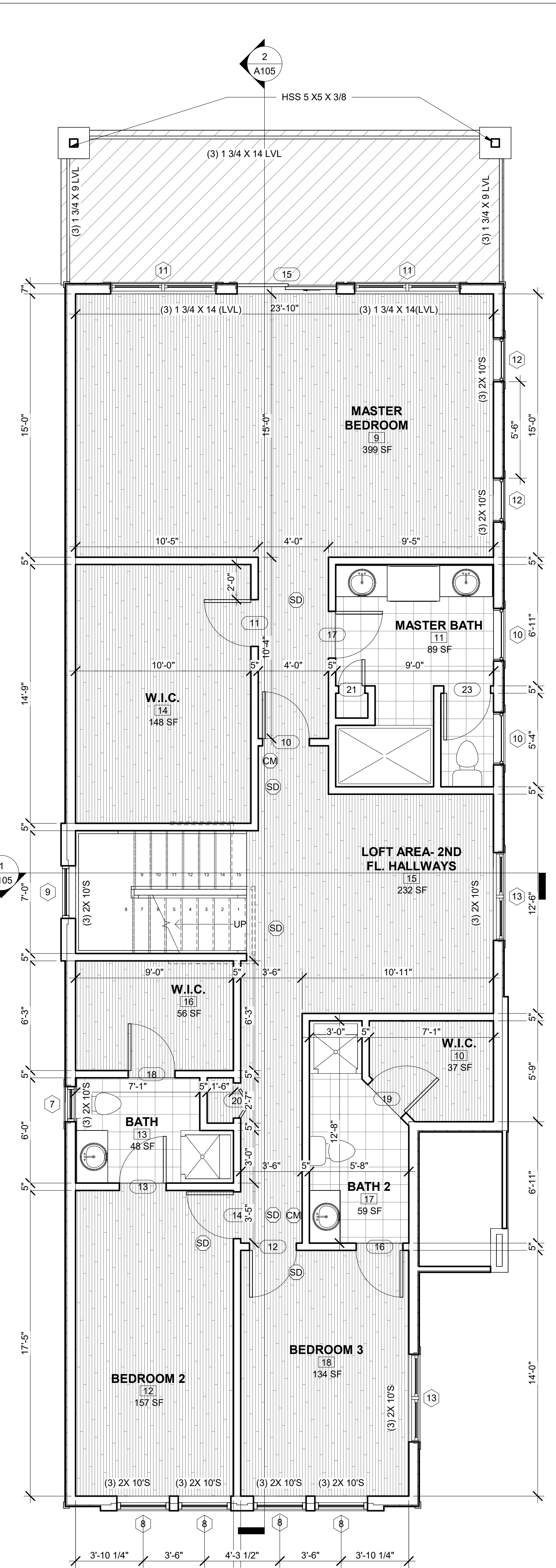
B. ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES, SUCH AS OCCURS AT SOFFITS, DROP CEILINGS, COVE CEILING.

C. CONCEALED SPACES BETWEEN STAIRS STRINGERS AT THE TOP ANDS BOTTOM OF THE RUN, AND OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS AND FIREPLACES AT CEILING AND FLOOR LEVEL, WITHOUT NONCOMBUSTIBLE MATERIALS

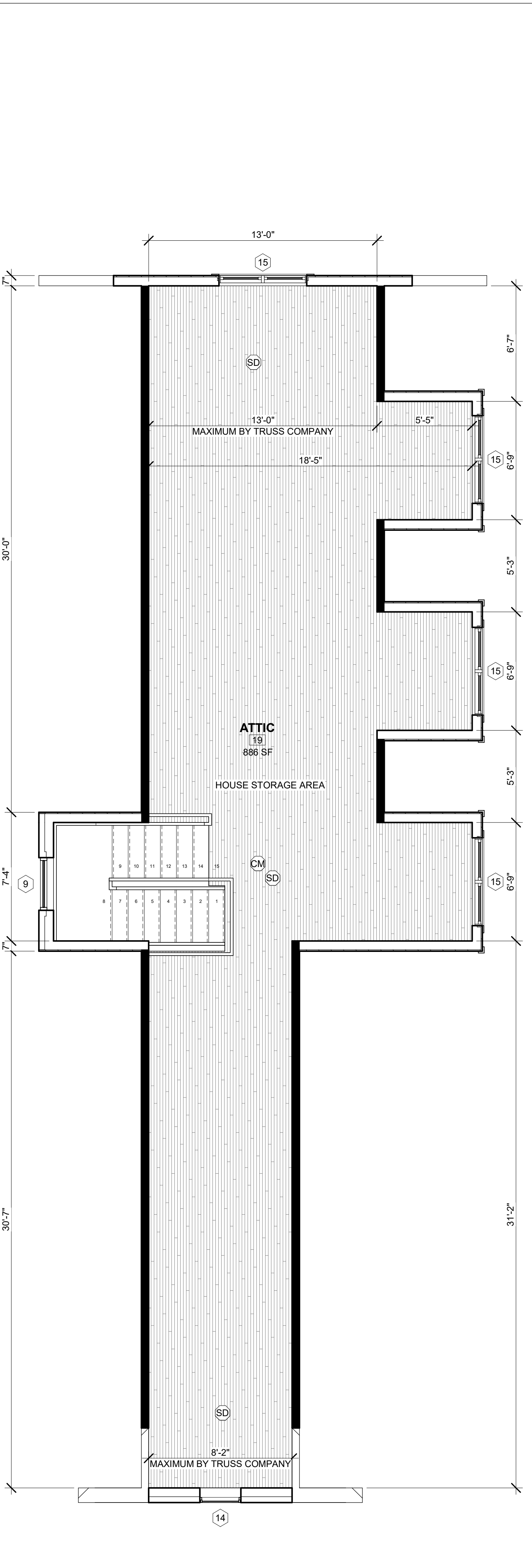
ROOM FINISH SCHEDULE				
Room Number	Level	Room Name	Area	Finish Floor
1	1ST FLOOR	2 CAR GARAGE	402 SF	
2	1ST FLOOR	FAMILY ROOM	341 SF	
3	1ST FLOOR	ENTRANCE	144 SF	
4	1ST FLOOR	MUD ROOM	97 SF	
5	1ST FLOOR	POWD.	35 SF	
6	1ST FLOOR	DINING	150 SF	
7	1ST FLOOR	KITCHEN	231 SF	
8	1ST FLOOR	PANTRY	67 SF	
9	2ND FLOOR	MASTER BEDROOM	399 SF	
10	2ND FLOOR	W.I.C.	37 SF	
11	2ND FLOOR	MASTER BATH	89 SF	
12	2ND FLOOR	BEDROOM 2	157 SF	
13	2ND FLOOR	BATH	48 SF	
14	2ND FLOOR	W.I.C.	148 SF	
15	2ND FLOOR	LOFT AREA- 2ND FL. HALLWAYS	232 SF	
16	2ND FLOOR	W.I.C.	56 SF	
17	2ND FLOOR	BATH 2	59 SF	
18	2ND FLOOR	BEDROOM 3	134 SF	
19	ROOF	ATTIC	886 SF	



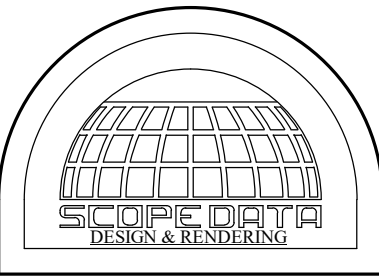
1 1ST FLOOR PLAN
1/4" = 1'-0"



2 2ND FLOOR PLAN
1/4" = 1'-0"



3 ATTIC
1/4" = 1'-0"



SCOPE DATA, LLC.
 381 DEER PATH TRL
 WATERFORD
 MICHIGAN 48327
 WWW.SCOPEDATA.COM

CONTACT NUMBER
 PH: (248) 739-6390
 FAX: (248) 562-1450

EMAIL:
 INFO@SCOPEDATA.COM

PROJECT:
 SINGLE FAMILY HOUSE

ADDRESS
 1927 W Lake Rd, Novi,
 MI 48377

OWNER

CONTRACTOR

SUBMITTALS

REVISIONS	
#	Revision Date

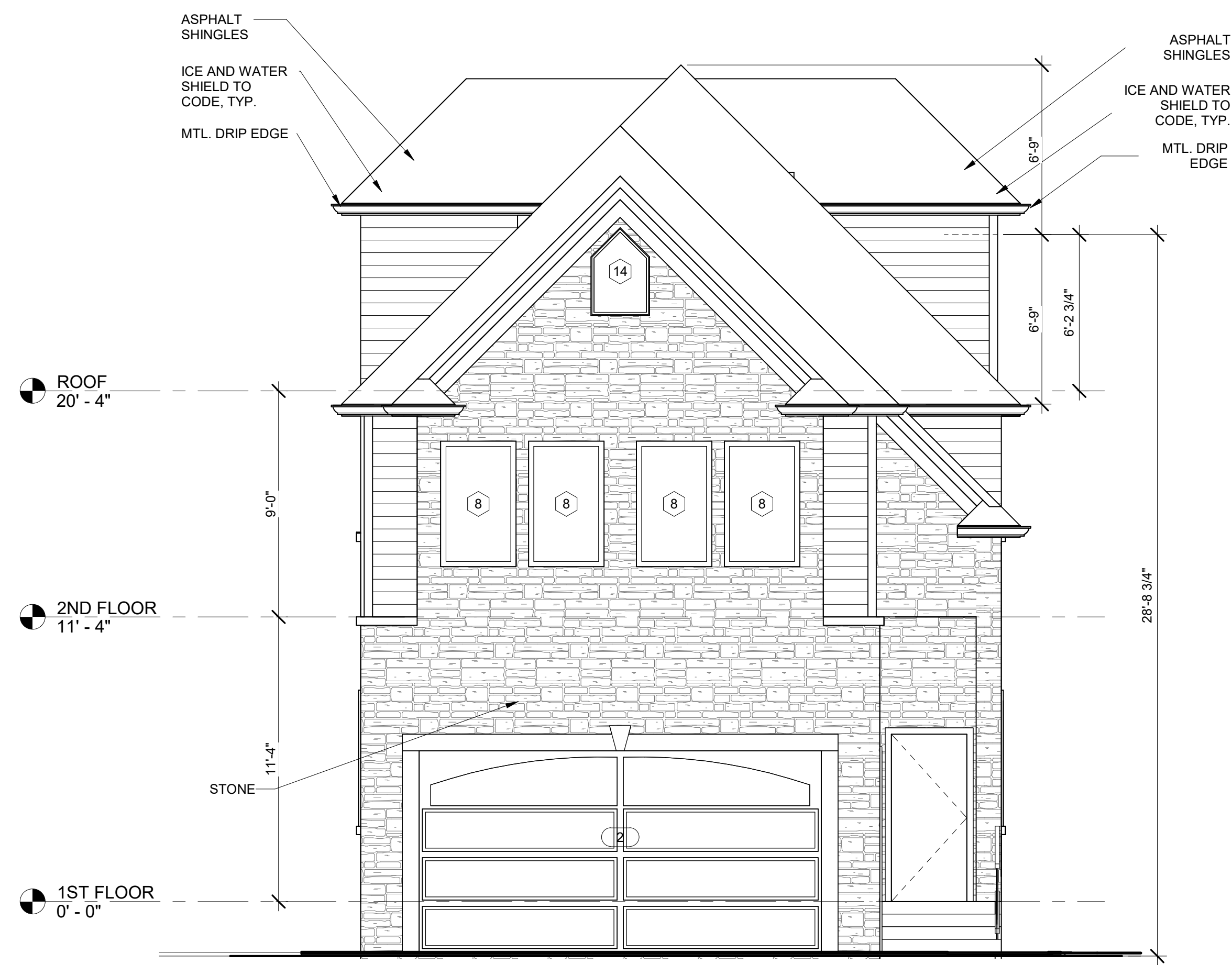
PROJECT NO

DATE
 6/23/2023

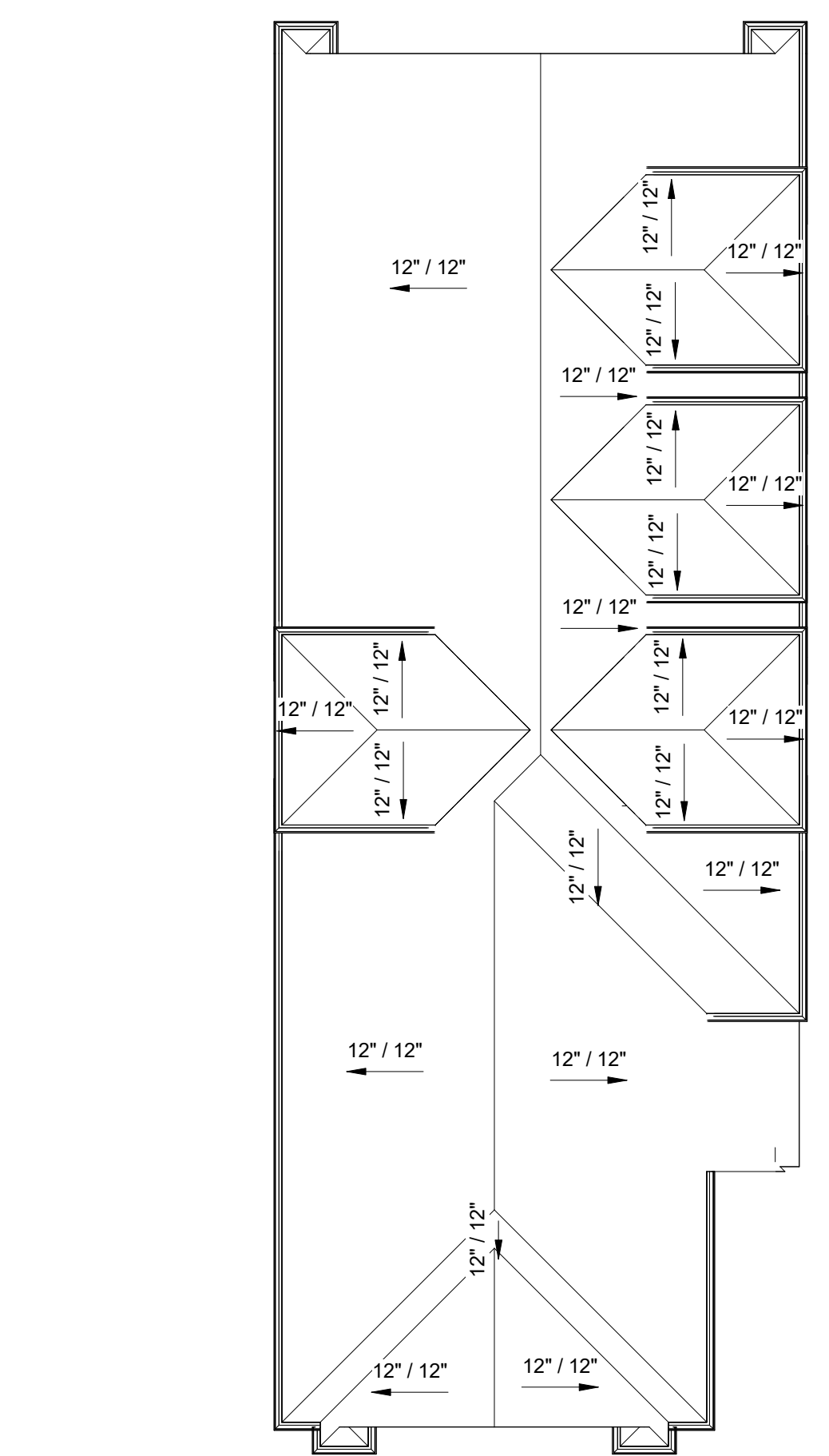
SCALE

SHEET TITLE
 ELEVATIONS

SHEET #
 A103



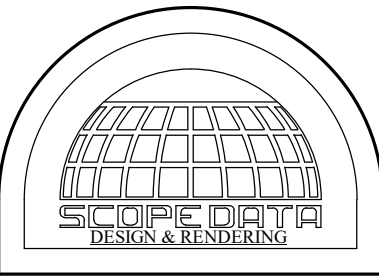
② NORTH WEST ELEVATION
 1/4" = 1'-0"



③ ROOF PLAN
 1/8" = 1'-0"



① NORTH EAST ELEVATION
 1/4" = 1'-0"



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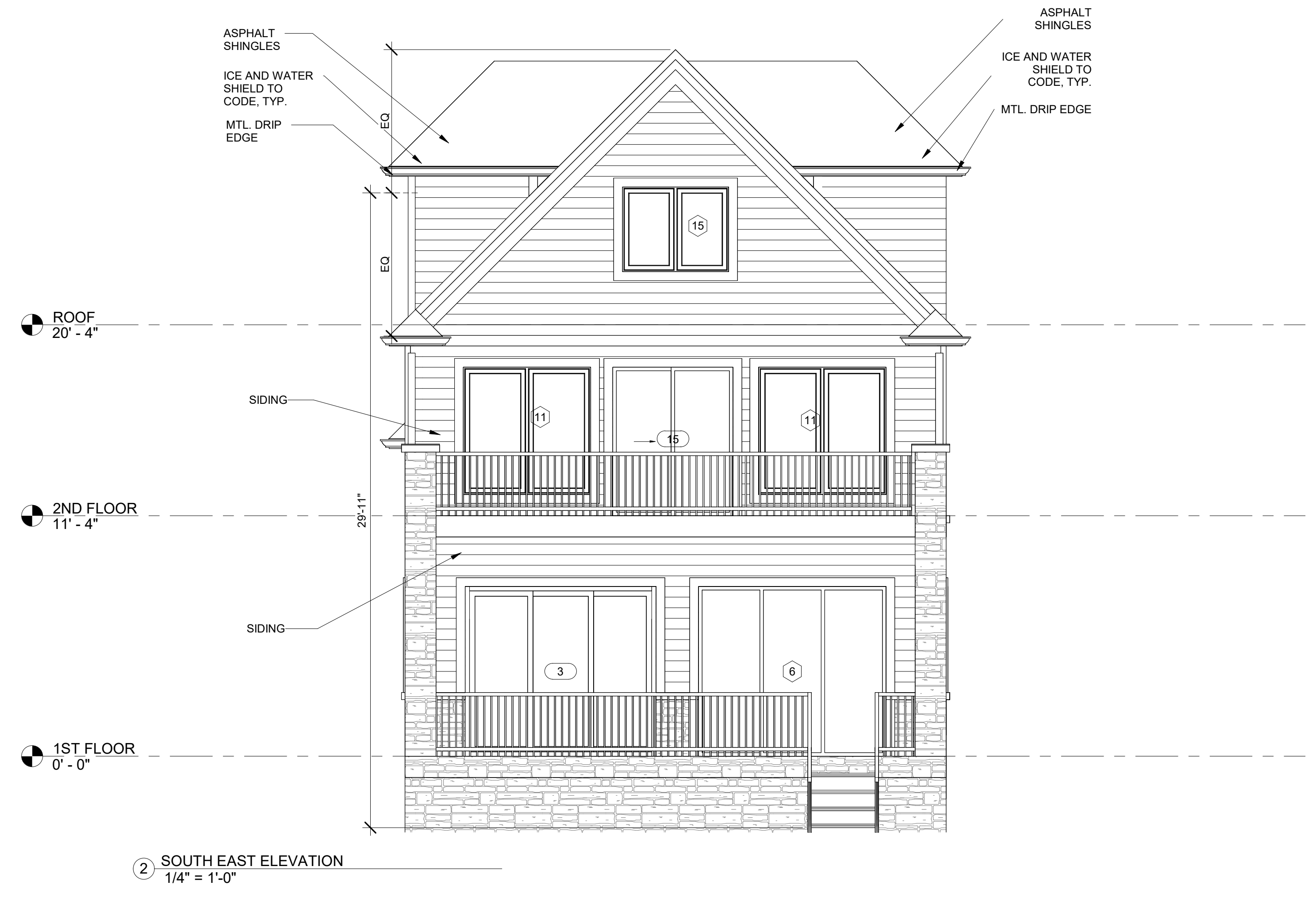
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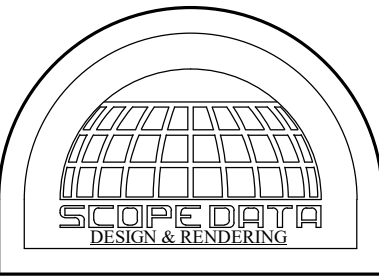
DATE
 6/23/2023

SCALE

SHEET TITLE
 ELEVATIONS

SHEET #
 A104





SCOPE DATA, LLC.
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REVISIONS	
#	Revision Date

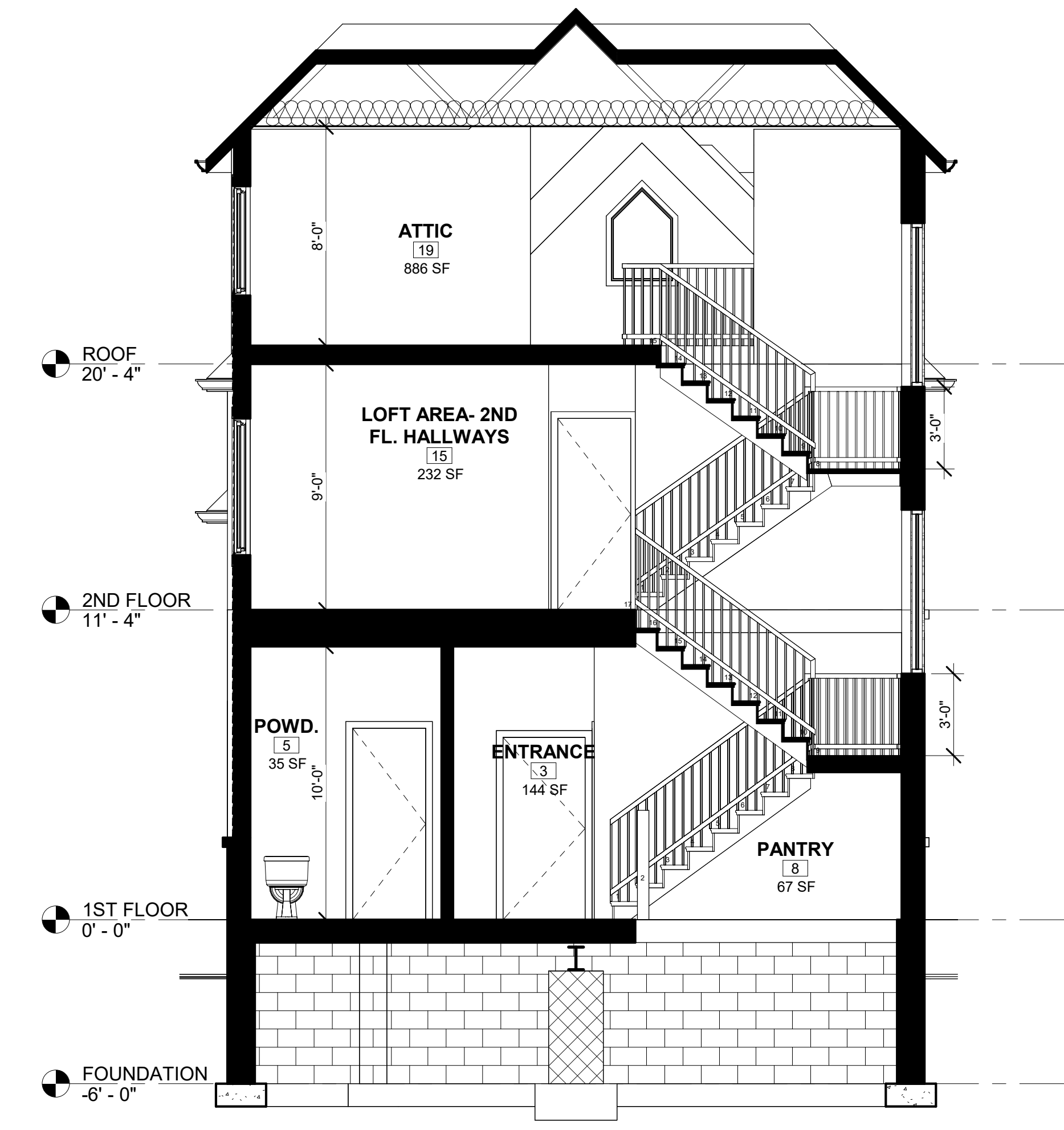
PROJECT NO

DATE
6/23/2023

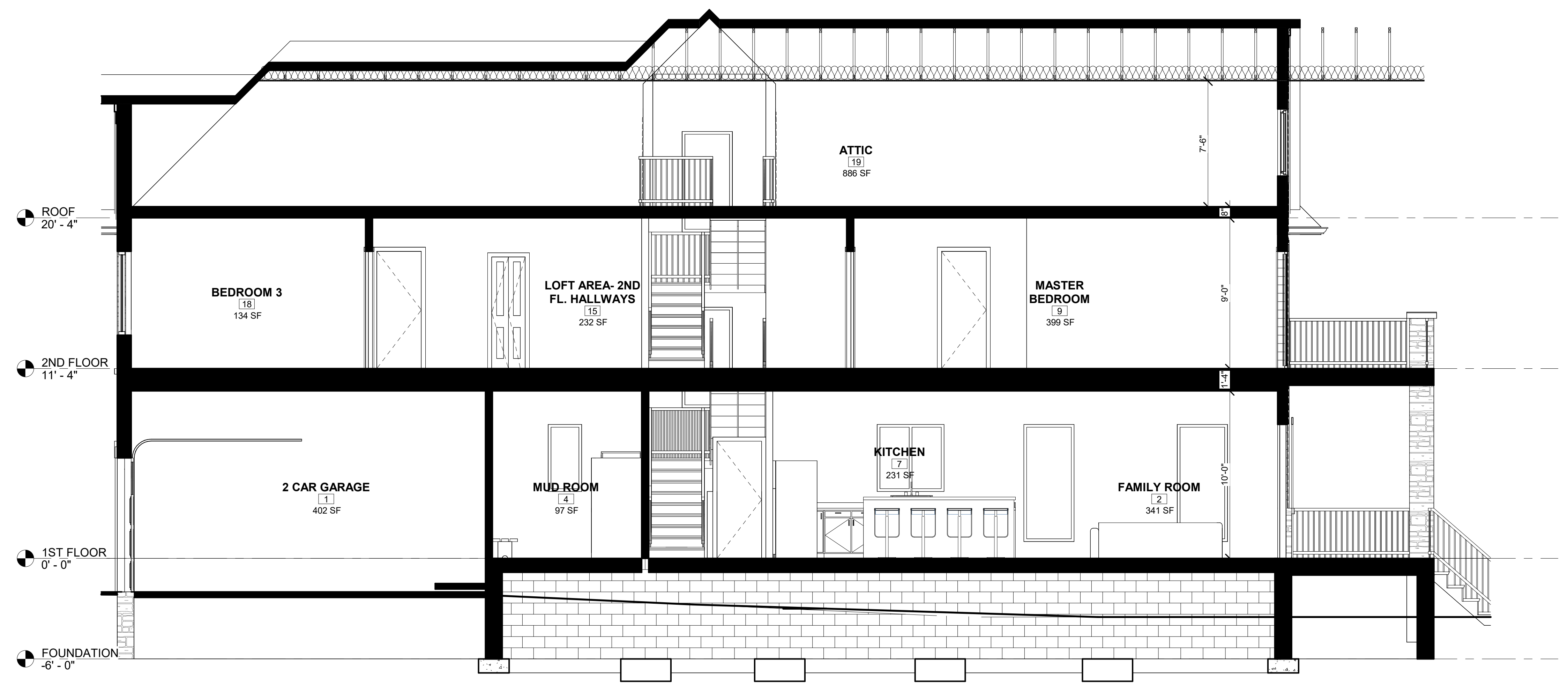
SCALE

SHEET TITLE
SECTIONS

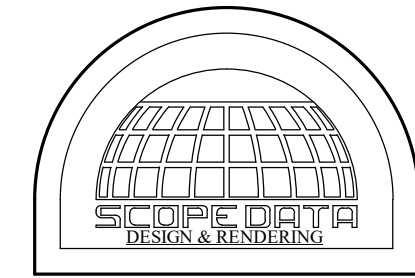
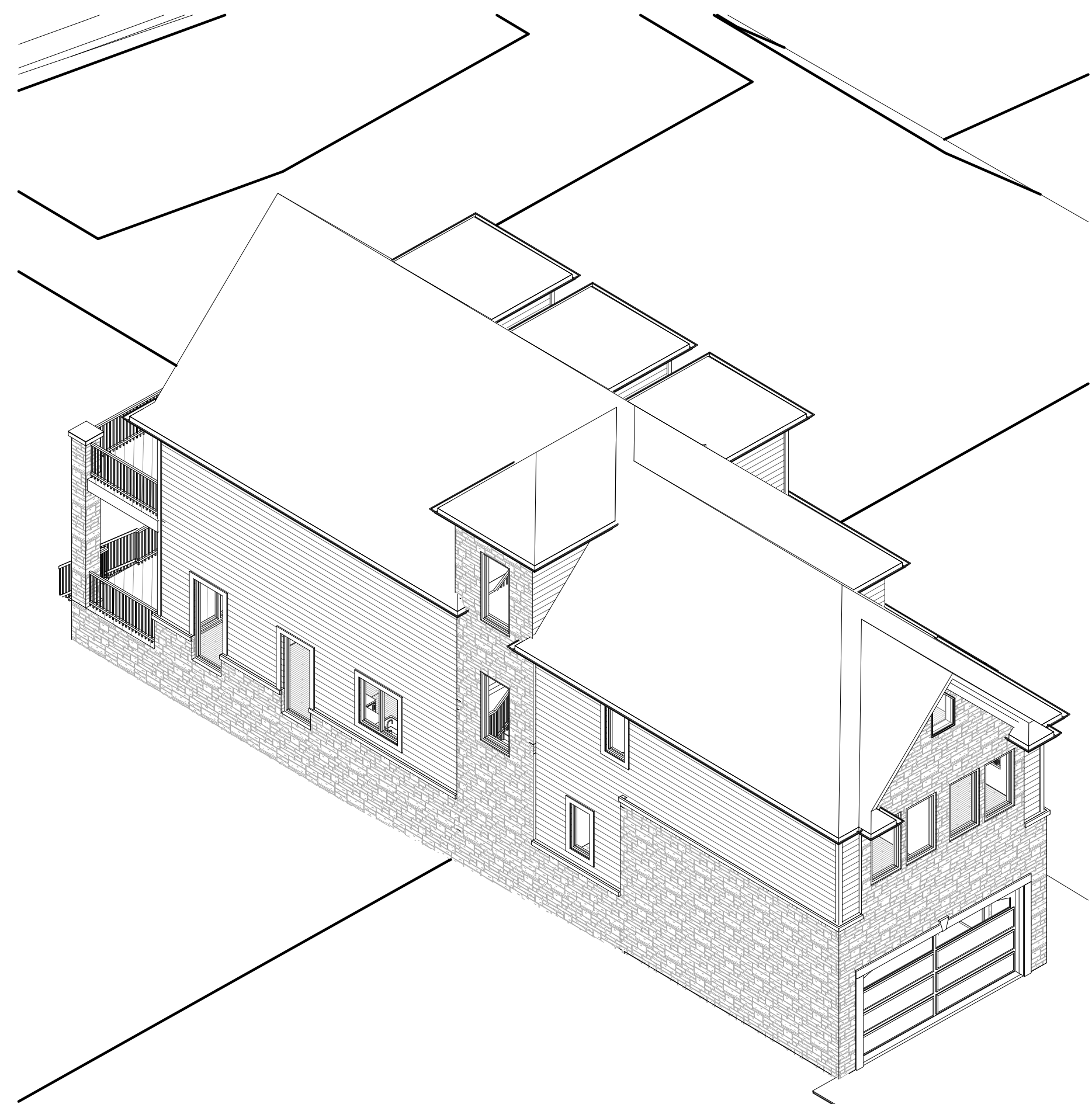
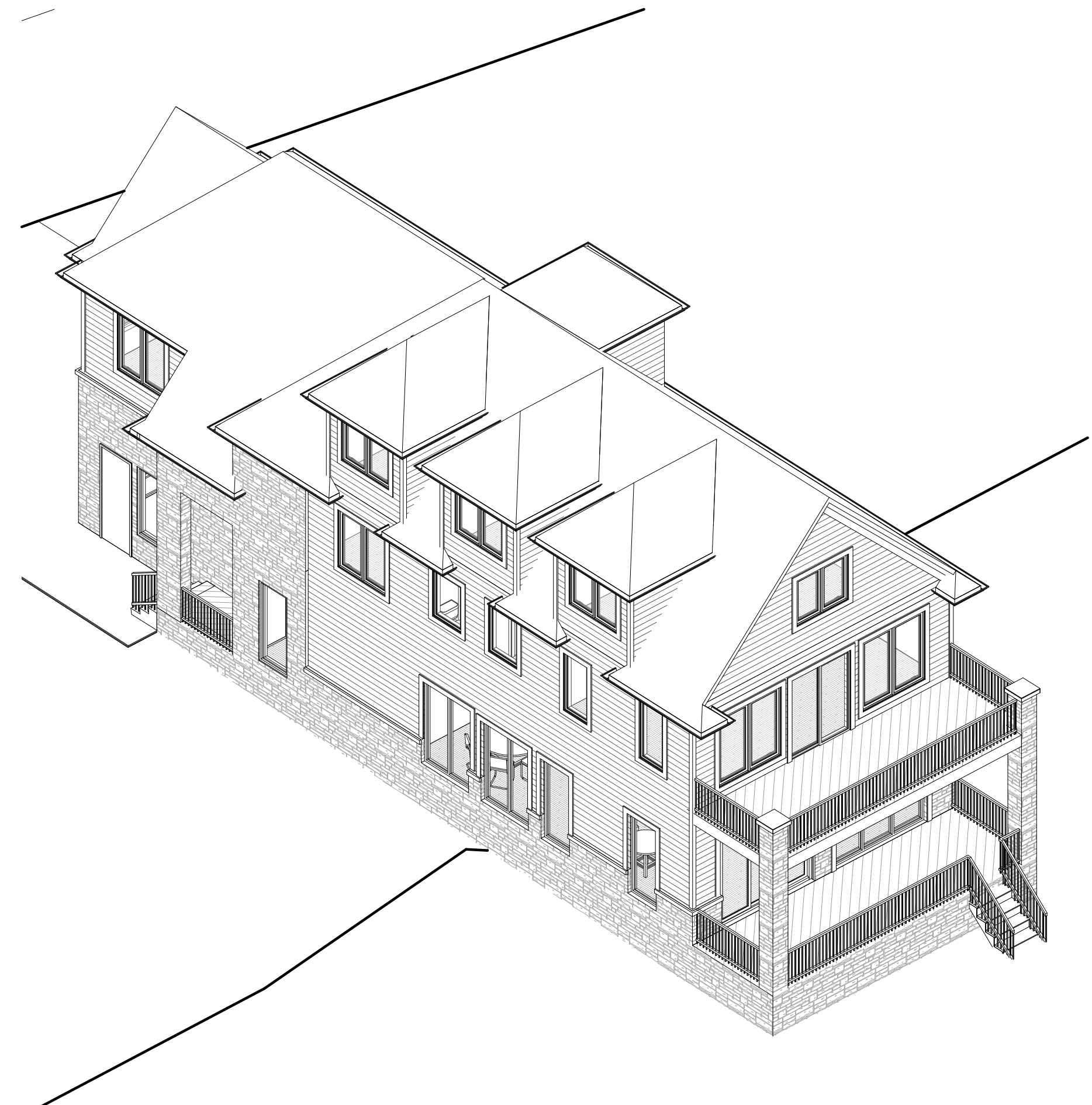
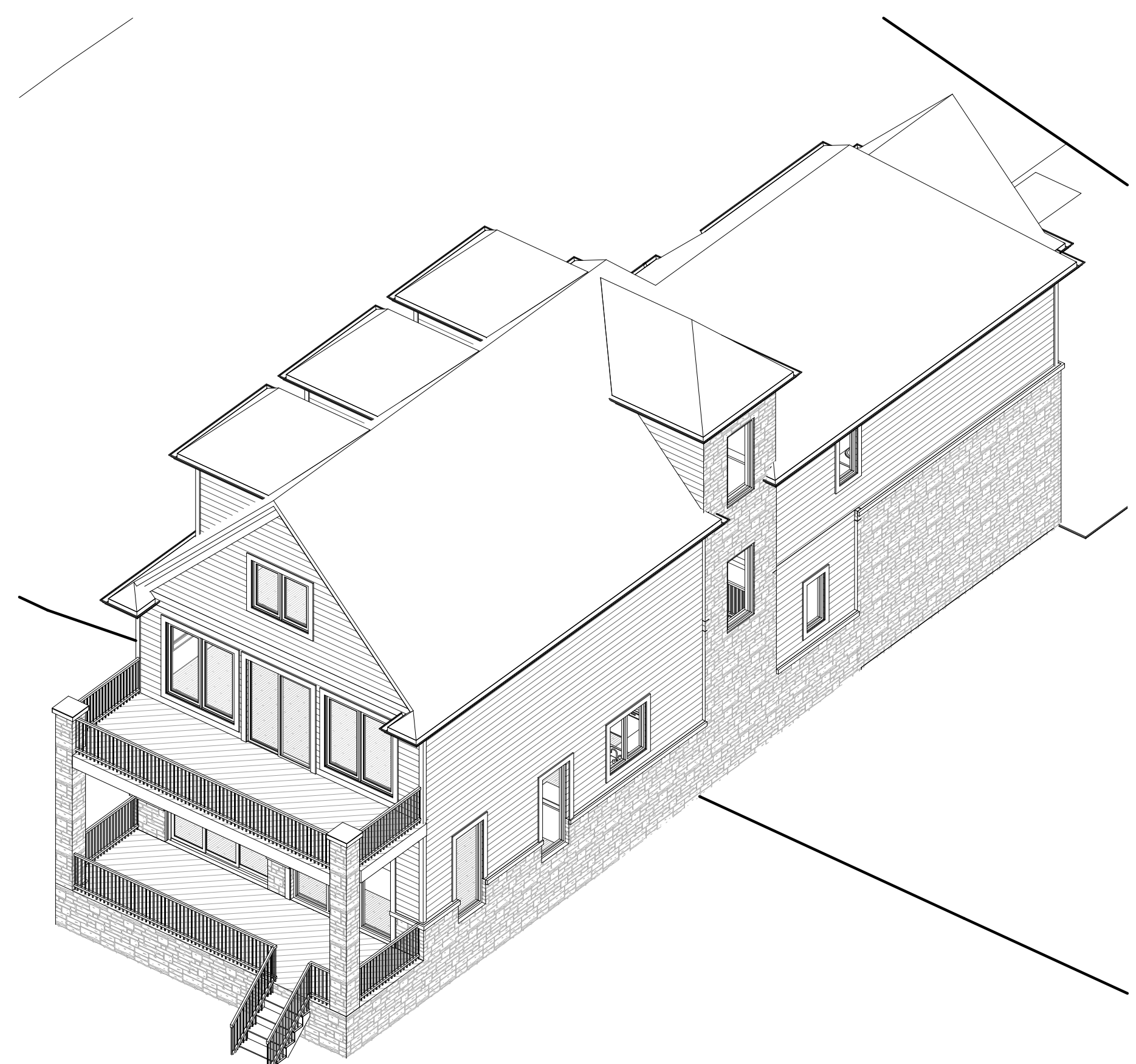
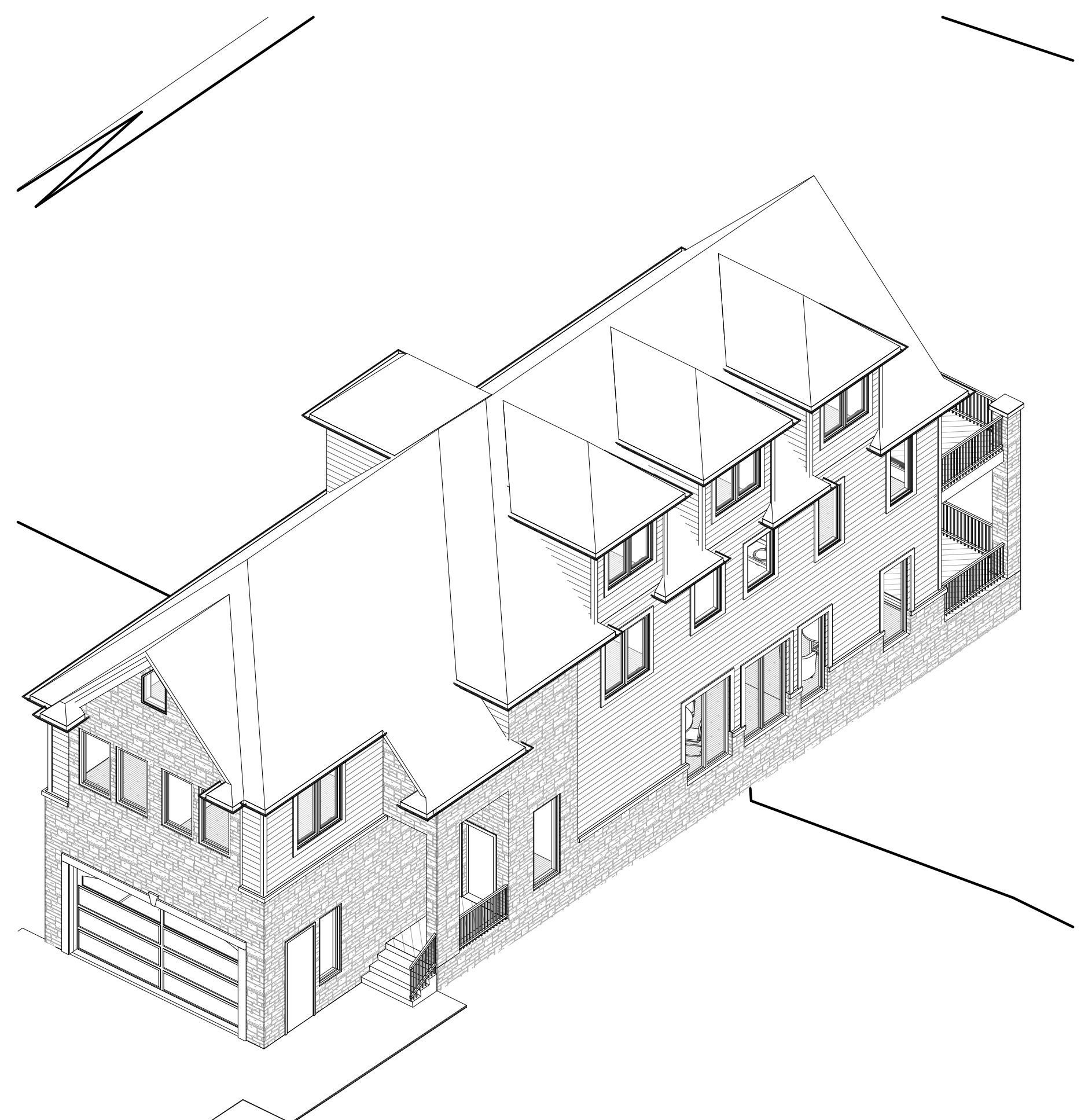
SHEET #
A105



1 Section 1
1/4" = 1'-0"



2 Section 2
1/4" = 1'-0"



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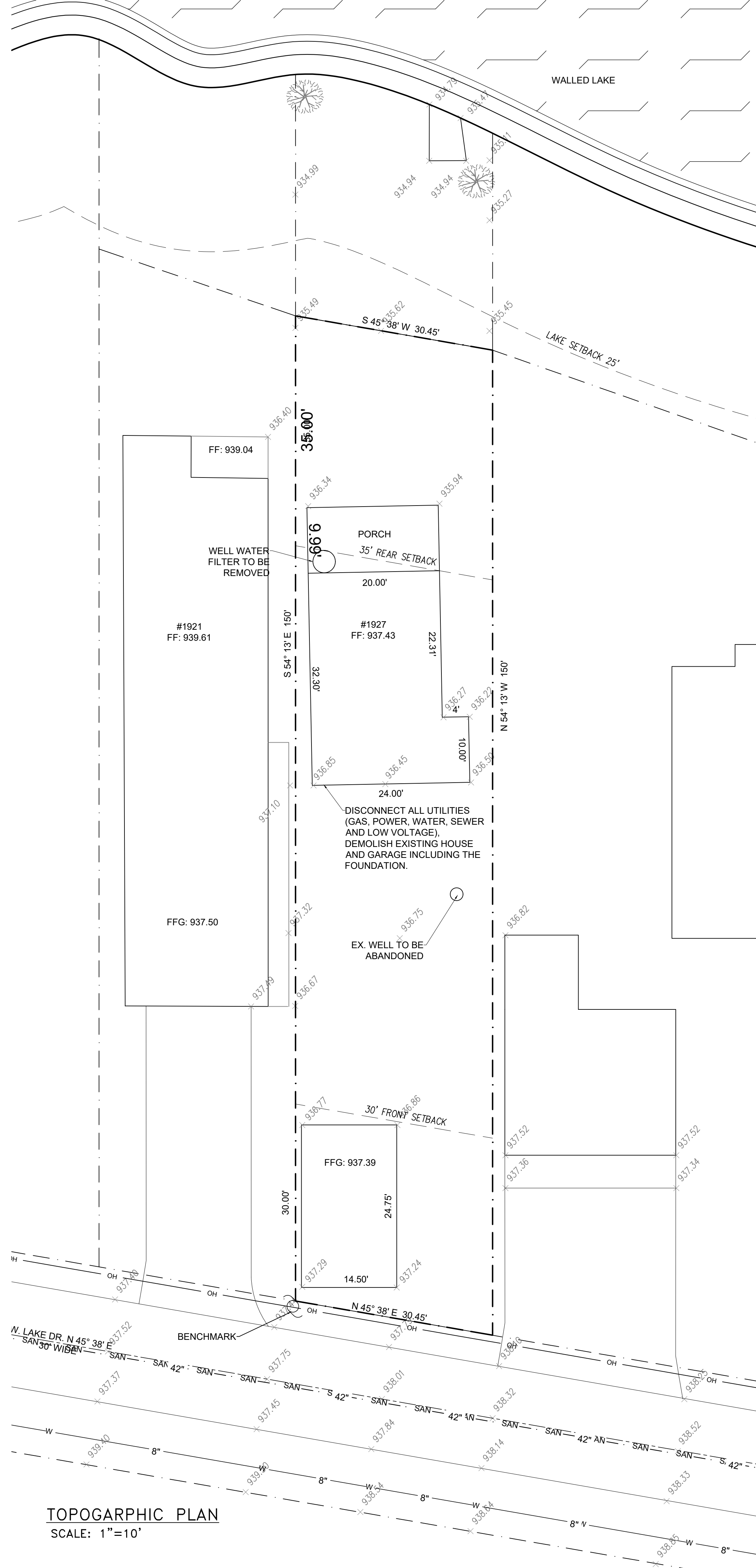
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DATE
 6/23/2023

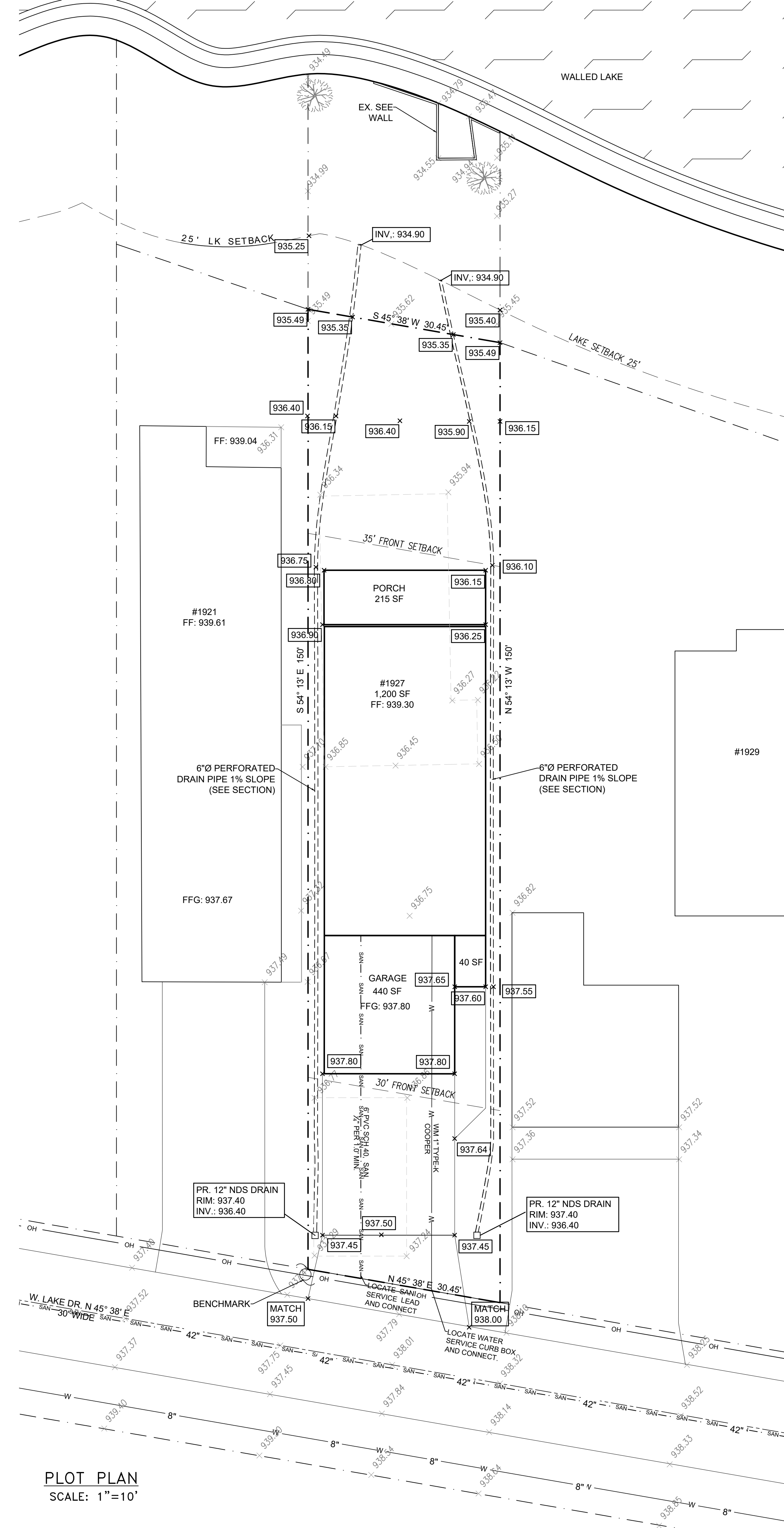
SCALE

SHEET TITLE
 3D VIEWS

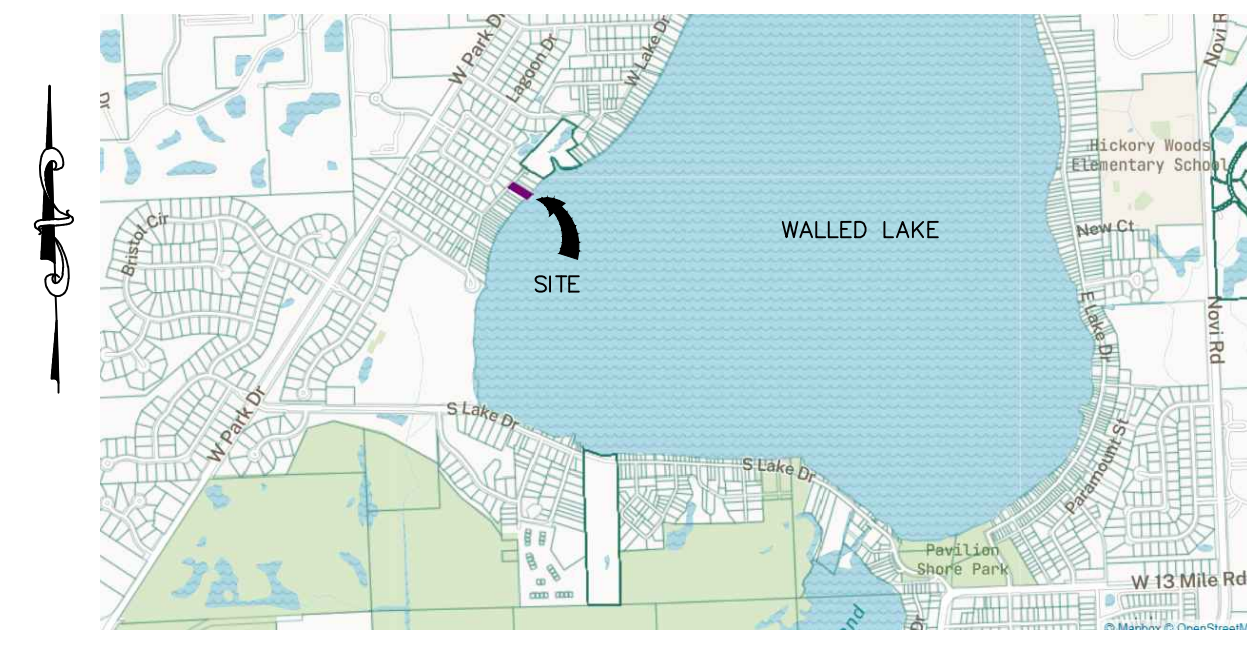
SHEET #
 A106



TOPOGRAPHIC PLAN
SCALE: 1"=10'



PLOT PLAN
SCALE: 1"=10'



LOCATION MAP
NOT TO SCALE

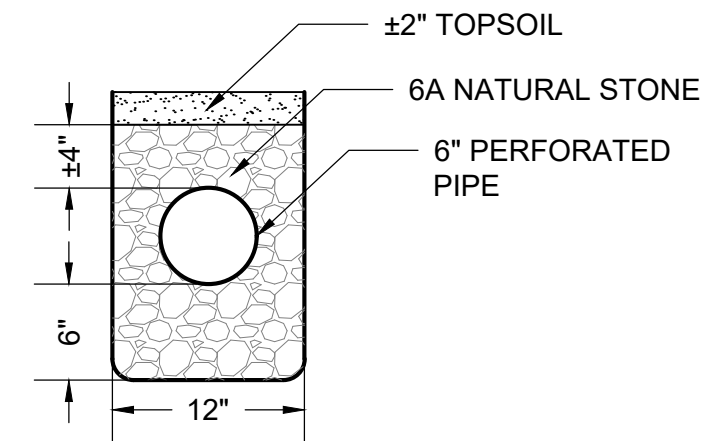
SITE INFORMATION:
ZONING: R-4
AREA: 4,500 SF ==> 0.10 AC

AREA COVERED:
BUILDING AREA: 1,200 SF
FRONT PORCH: 40 SF
BACK PORCH: 215 SF
GARAGE: 440 SF
1,895 SF

1,896/4,500 x 100%=42.5% ==> 25% MAX.

SETBACKS:
MINIMUM FRONT YARD SETBACK: 30 FT
MINIMUM REAR YARD SETBACK: 35 FT
MINIMUM SIDE YARD SETBACK: 10 FT ONE SIDE
25 FT TAL 2 SIDES

BY GRAPHIC PLOTTING ONLY, THIS PARCEL IS LOCATED WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD AREA ZONE AE. (EL. 934) PER THE FLOOD INSURANCE RATE MAP, MAP NUMBER 26125C0488F, EFFECTIVE DATE OF SEPTEMBER 29, 2006.



PREF. PIPE SECTION
SCALE: 1"=1.0'

BENCH MARK DATA (NAVD-88 DATUM)

BENCHMARK 1
NAIL ON THE WEST SIDE OF
UTILITY POLE.
ELEVATION: 938.81

LEGAL DESCRIPTION:
T1N, R8E, SEC 3 BENTLEY SUB LOT 25

LEGEND	
PROPERTY LINE	— — — — —
OVER-HEAD WIRES	— OW — OW —
GAS LINE	— GAS — GAS —
WATER MAIN	— WM — WM —
SANITARY LINE	— SAN — SAN —
STORM LINE	— STORM — STORM —
FENCE	— ○ — ○ — ○ —
SANITARY SEWER MAN HOLE	⊙
STORM SEWER CATCH BASIN	⊕
POWER POLE / LIGHT POLE	⊙ PP / LP
FIRE HYDRANT	⊗
WATER SHOT-OFF	⊗
ASPHALT PAVEMENT	■
CONCRETE PAVEMENT	■
SURFACE DRAIN DIRECTION	—>

BEARING CONSTRUCTION AND CONSULTING L.L.C.
32969 HAMILTON CT.
STE. 120
FARMINGTON HILLS, MI
PH:(248) 470-9057

PROJECT
SINGLE FAMILY HOME
1927 W. LAKE DR.
NOVI, MI

CLIENT

REVISIONS

NOTES

APPROVED BY
LARRY MEROGI

SEAL



SCALE:
AS NOTED

DATE
6/24/2023

SHEET TITLE
TOPO AND PLOT PLAN

SHEET
SP-1