



HUNTLEY MANOR

JSP16-34

Huntley Manor JSP16-34

Public Hearing at the request of GR Meadowbrook LLC for Planning Commission's recommendation to City Council for consideration of a Special Development Option Concept Plan. The subject property is 26.62 acres in Section 23 of the City of Novi and located on the south side of Grand River Avenue, west of Meadowbrook Road in the GE, Gateway East District. The applicant is proposing a 203-unit multiple-family gated community.

REQUIRED ACTION

Recommend to City Council approval or denial of the Special Development Option Concept Plan

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	08/24/16	<ul style="list-style-type: none"> • Ordinance deviations and waivers required for the deficient loading area (940 sq. ft. required, 480 sq. ft. provided) and lack of 90 degree fixture cut-off for residential street lighting • Items to be addressed on the Final Site Plan
Engineering	Approval recommended	08/29/16	<ul style="list-style-type: none"> • DCS variance for lack of stub streets • Items to be addressed on the Final Site Plan
Landscaping	Approval recommended	08/23/16	<ul style="list-style-type: none"> • Waiver to allow a decorative fence along Grand River in lieu of the required berm (Staff supports) • Waiver for lack of perimeter canopy trees around parking lot (Staff supports) • Waiver for trees instead of large native shrubs around the existing detention basin (Staff supports) • Items to be addressed on the Final Site Plan
Traffic	Approval recommended	08/25/16	<ul style="list-style-type: none"> • Deviation to allow the 2014 TIS to stand in place of preparing a new TIS (Staff supports) • Items to be addressed on the Final Site Plan
Façade	Approval recommended	08/25/16	<ul style="list-style-type: none"> • Section 9 Façade Waiver for underage of brick on the side elevations and overage of asphalt shingles (Staff supports)
Fire	Approval recommended	08/12/16	<ul style="list-style-type: none"> • Items to be addressed on the Final Site Plan

MOTION SHEET

Approval

In the matter of the request of GR Meadowbrook LLC for Huntley Manor JSP16-34 motion to **recommend approval** to the City Council of the Special Development Option Concept Plan. The recommendation shall include the following ordinance deviations:

- a. Deviation for the deficient loading area (940 sq. ft. required, 480 sq. ft. provided);
- b. Deviation lack of 90 degree fixture cut-off for residential street lighting;
- c. Waiver to allow a decorative fence along Grand River in lieu of the required berm;
- d. Waiver for lack of perimeter canopy trees around parking lot;
- e. Waiver for trees instead of large native shrubs around the existing detention basin;
- f. Section 9 Façade waiver for underage of brick on the side elevations and overage of asphalt shingles;

If the City Council approves the request, the Planning Commission recommends the Applicant be required to comply with the conditions and items listed in the staff and consultant review letters as a requirement noted in the Special Development Option Agreement.

This motion is made based on the following findings:

- a. The project results in a recognizable and substantial benefit to the ultimate users of the project and to the community, where such benefit would otherwise be unfeasible or unlikely to be achieved by a traditional development;
- b. In relation to a development otherwise permissible as a Principal Permitted Use under Section 3.1.16.B the proposed type and density of development does not result in an unreasonable increase in the use of public services, facilities and utilities, and does not place an unreasonable burden upon the subject and/or surrounding land and/or property owners and occupants and/or the natural environment;
- c. Based upon proposed uses, layout and design of the overall project, the proposed building facade treatment, the proposed landscaping treatment and the proposed signage, the Special Development Option project will result in a material enhancement to the area of the City in which it is situated;
- d. The proposed development does not have a materially adverse impact upon the Master Plan for Land Use of the City, and is consistent with the intent and spirit of this Section;
- e. In relation to a development otherwise permissible as a Principal Permitted Use under Section 3.1.16.B, the proposed development does not result in an unreasonable negative economic impact upon surrounding properties;
- f. The proposed development contains at least as much usable open space as would be required in this Ordinance in relation to the most dominant use in the development;
- g. Each particular proposed use in the development, as well as the size and location of such use, results in and contributes to a reasonable and mutually supportive mix of uses on the site, and a compatibility of uses in harmony with the surrounding area and other downtown areas of the City;
- h. The proposed development is under single ownership and/or control such that there is a single person or entity having responsibility for completing the project in conformity with this Ordinance;
- i. Relative to other feasible uses of the site, the proposed use will not cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service;

- j. Relative to other feasible uses of the site, the proposed use will not cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area;
- k. Relative to other feasible uses of the site, the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats;
- l. Relative to other feasible uses of the site, the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood;
- m. Relative to other feasible uses of the site, the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.
- n. Relative to other feasible uses of the site, the proposed use will promote the use of land in a socially and economically desirable manner; and
- o. Relative to other feasible uses of the site, the proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

-OR-

Denial

In the matter of the request of GR Meadowbrook LLC for Huntley Manor JSP16-34 motion to **recommend denial** to the City Council of the Special Development Option Concept Plan...*because the proposed Special Development Option Concept Plan would not satisfy the findings and conditions listed in Section 3.12 of the Zoning Ordinance.*

MAPS
Location
Zoning
Future Land Use
Natural Features

Huntley Manor JSP14-56

Location



Map Legend

Subject Property



City of Novi

Planning Division
Community Development Dept.
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

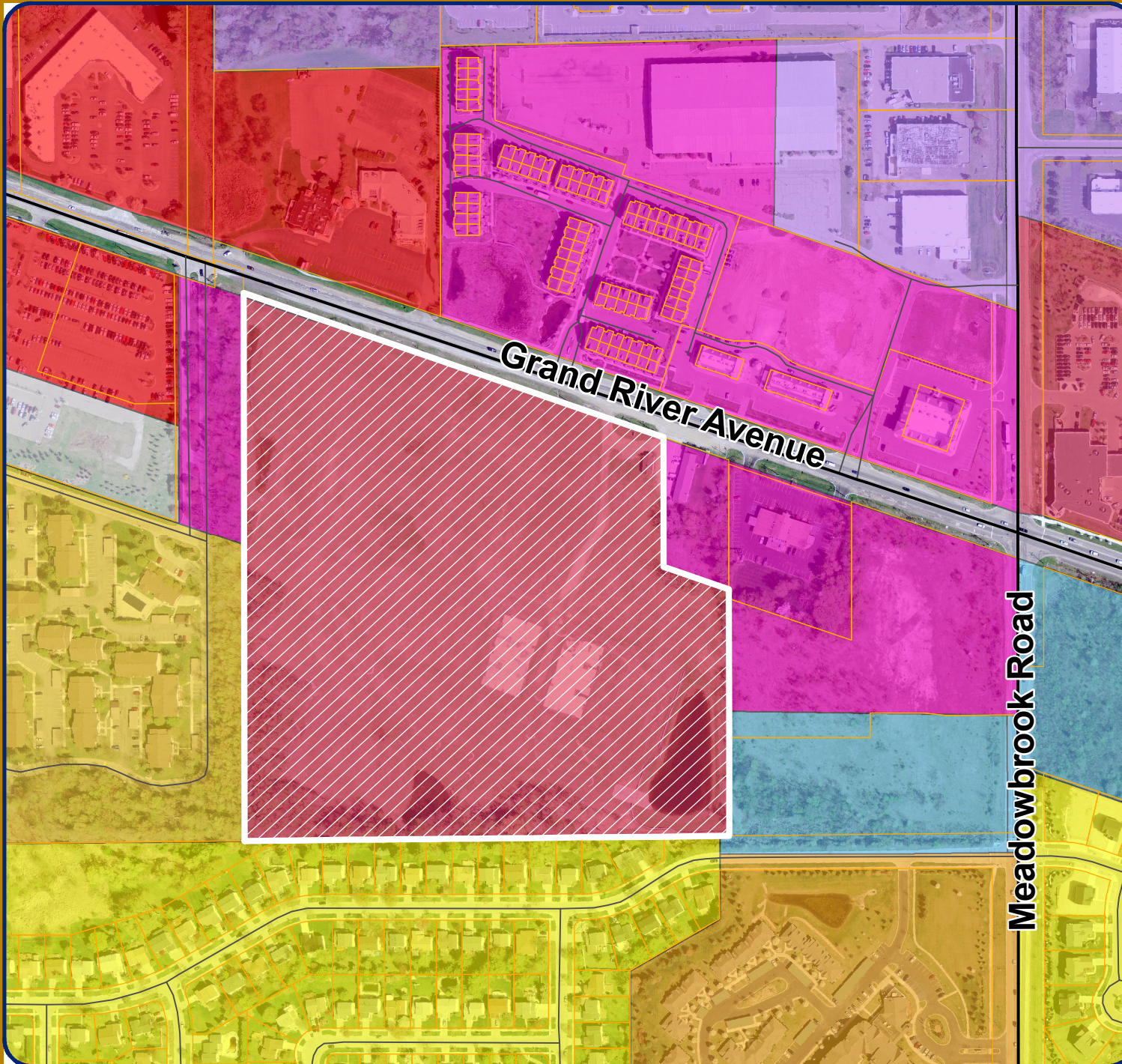
Map Author: Kristen Kapelanski
Date: 02-19-15
Project: Huntley Manor JSP14-56
Version #: 1.0

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

Huntley Manor JSP14-56

Zoning



Map Legend

- Subject Property
- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- RM-2: High-Density Multiple Family
- B-3: General Business District
- GE: Gateway East District
- I-1: Light Industrial District
- NCC: Non-Center Commercial District
- OS-1: Office Service District
- P-1: Vehicular Parking District



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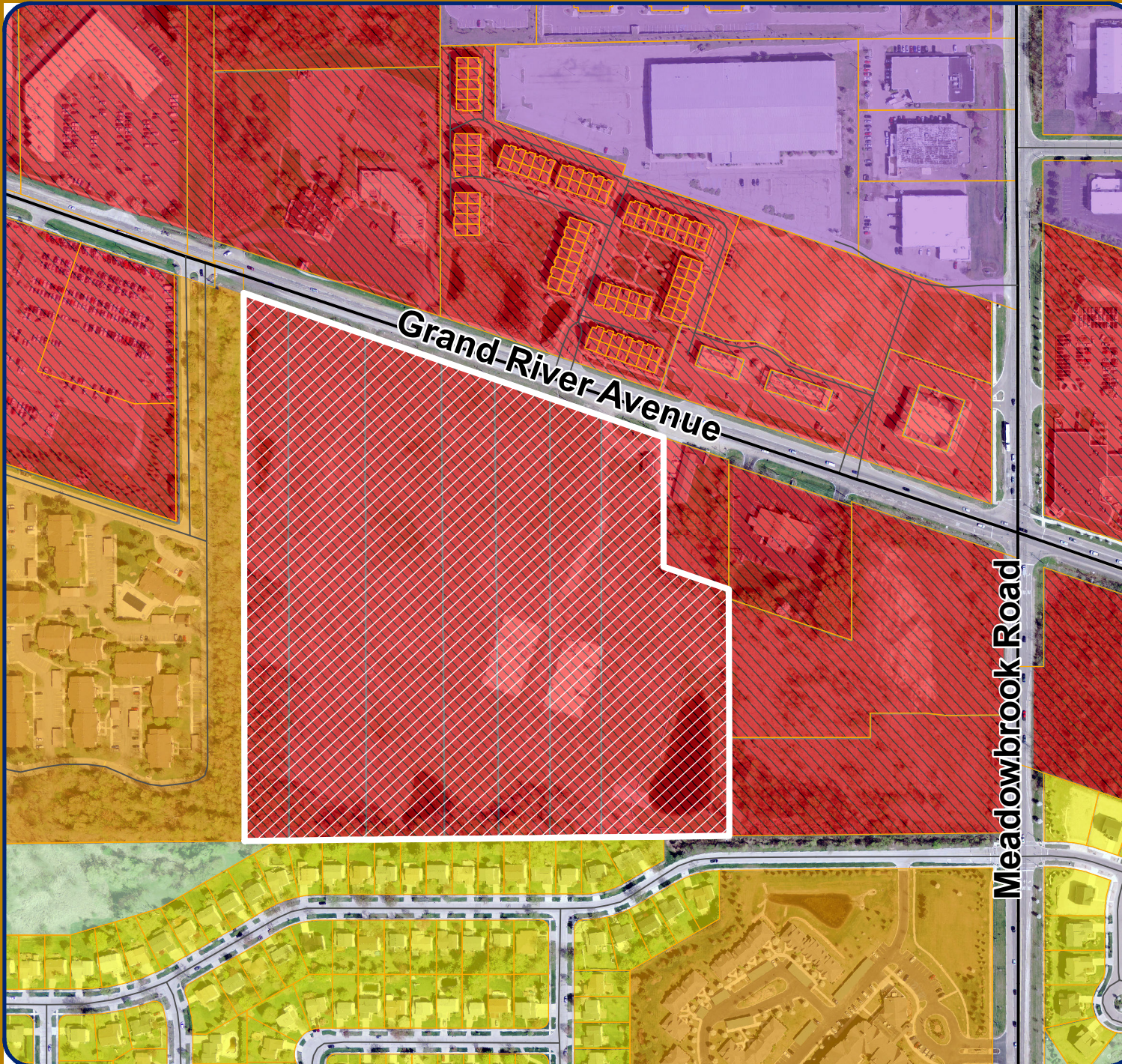
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Huntley Manor JSP14-56

Future Land Use



Map Legend

- Subject Property
- Single Family
- Multiple Family
- Industrial RD Tech
- TC Gateway
- Private Park



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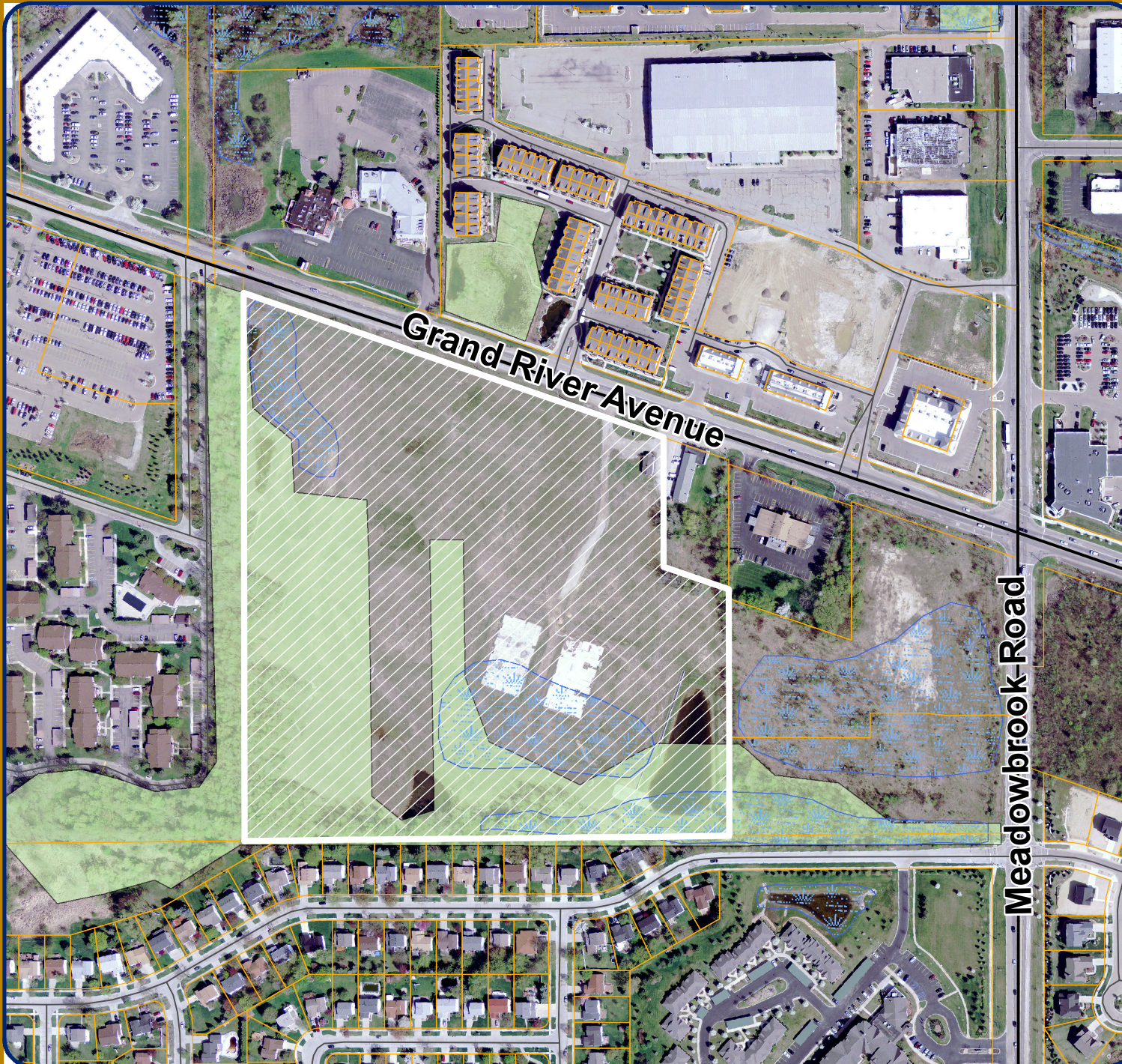
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Huntley Manor JSP14-56

Natural Features



Map Legend

-  Subject Property
-  Wetlands
-  Woodlands



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Novi, MI 48375
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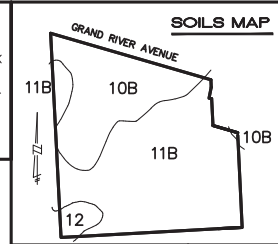
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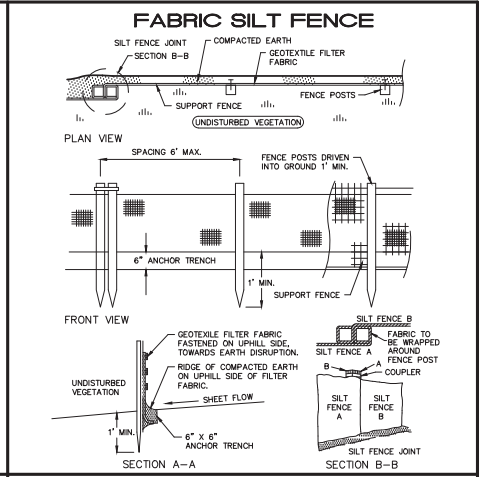
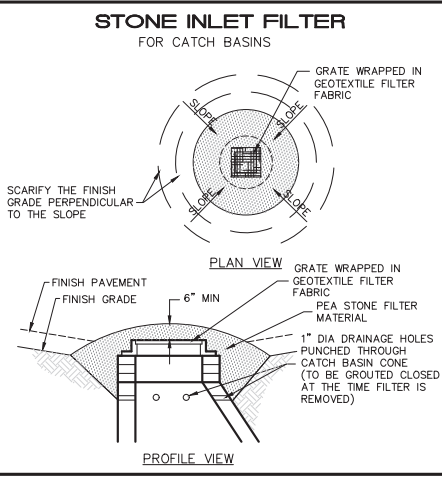
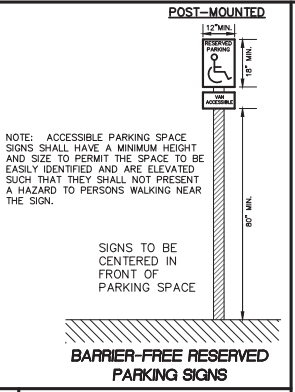
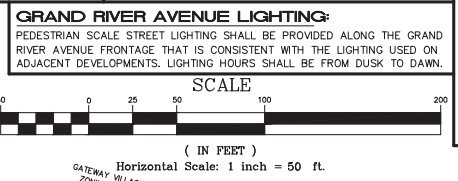
CONCEPT PLAN

(Full plan set available for viewing at the Community Development Department.)

WETLAND IMPACT				
MDOT NON REGULATED WETLAND	AREA (AC.)	WETLAND IMPACT AREA (AC.)	PERMANENT 25' ENVIRONMENTAL SETBACK AREA (AC.)	PERMANENT 25' ENVIRONMENTAL SETBACK DISTURBANCE (AC.)
A	0.337	0	0.590	0.050
B	0.253	0	0.289	0.050
TOTAL:	0.590	0	0.879	0.100



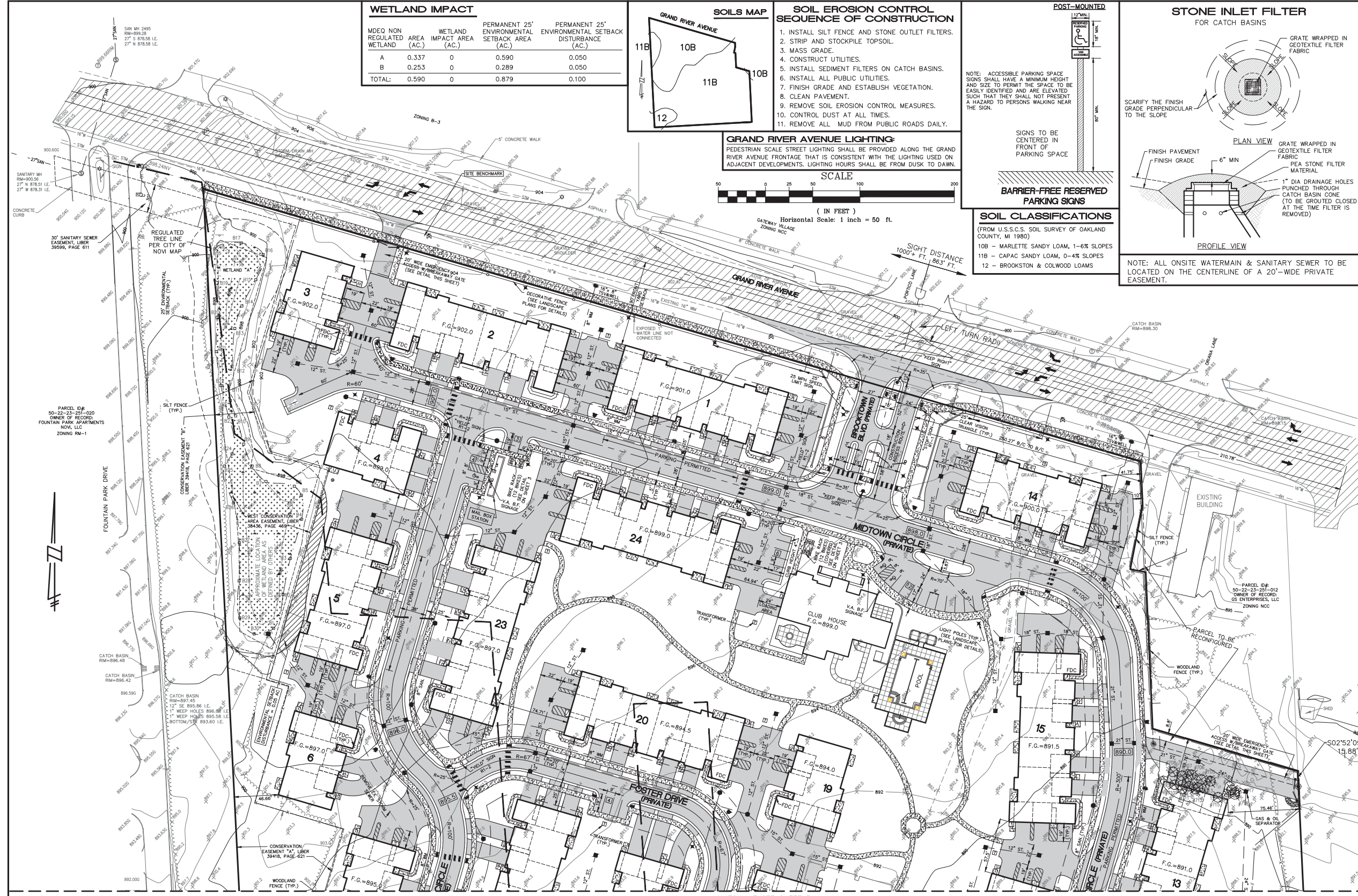
- SOIL EROSION CONTROL SEQUENCE OF CONSTRUCTION**
1. INSTALL SILT FENCE AND STONE OUTLET FILTERS.
 2. STRIP AND STOCKPILE TOPSOIL.
 3. MASS GRADE.
 4. CONSTRUCT UTILITIES.
 5. INSTALL SEDIMENT FILTERS ON CATCH BASINS.
 6. INSTALL ALL PUBLIC UTILITIES.
 7. FINISH GRADE AND ESTABLISH VEGETATION.
 8. CLEAN PAVEMENT.
 9. REMOVE SOIL EROSION CONTROL MEASURES.
 10. CONTROL DUST AT ALL TIMES.
 11. REMOVE ALL MUD FROM PUBLIC ROADS DAILY.



SOIL CLASSIFICATIONS
(FROM U.S.S.C.S. SOIL SURVEY OF OAKLAND COUNTY, MI 1980)

- 10B - MARLETTE SANDY LOAM, 1-6% SLOPES
- 11B - CAPAC SANDY LOAM, 0-4% SLOPES
- 12 - BROOKSTON & COLWOOD LOAMS

- PROPOSED IMPROVEMENTS**
1. MUNICIPAL SANITARY SEWER TO BE PROVIDED BY CONNECTING TO EXISTING MANHOLE ON THE SOUTH SIDE OF CHERRY HILL ROAD AT THE SOUTH EAST CORNER OF THE DEVELOPMENT. SEWER SHALL BE SIZE 26" PVC, 8' DIA.
 2. MUNICIPAL WATER TO BE PROVIDED BY CONNECTING TO EXISTING 16" WATERMAIN ON THE SOUTH SIDE OF GRAND RIVER AVE. ALL WATERMAIN SHALL BE D.I. CL54.
 3. ON-SITE STORM WATER DETENTION SHALL BE PROVIDED.
 4. 5' WIDE CONCRETE SIDEWALKS SHALL BE CONSTRUCTED ON BOTH SIDES OF ALL INTERIOR ROADS.
 5. 8' WD. CONCRETE SIDEWALK SHALL BE CONSTRUCTED ALONG GRAND RIVER AVE.
 6. ALL POWER AND COMMUNICATION SHALL BE LOCATED UNDERGROUND.
 7. ALL STORM SEWER SHALL BE C-76 CONCRETE.



NOTE: SEE ARCHITECTURAL PLANS FOR BUILDING AND UNIT DETAILS

NOTES:

SUBJECT PROPERTY ZONING: GE

TOTAL SITE AREA (NET OF R.O.W.): 26.62 ACRES

DENSITY:

- 13 BLDGS @ 10 UNITS/BLDG = 130
- 6 BLDGS @ 8 UNITS/BLDG = 48
- 5 BLDGS @ 5 UNITS/BLDG = 25

TOTAL UNITS PROPOSED = 203

PROPOSED DENSITY = 203/26.62 = 7.63 UNITS/AC.

MAXIMUM LOT COVERAGE:

- SITE AREA = 26.62 ACRES
- BUILDING AREA = 5.07 ACRES
- COVERAGE % PROVIDED = 19.04%

MAXIMUM ALLOWABLE ROOMS:

- 26.62 AC. x 43,560 S.F./1,600 = 725
- TOTAL PROPOSED ROOMS = 695

MAXIMUM BUILDING HEIGHT: 28'±

PARKING:

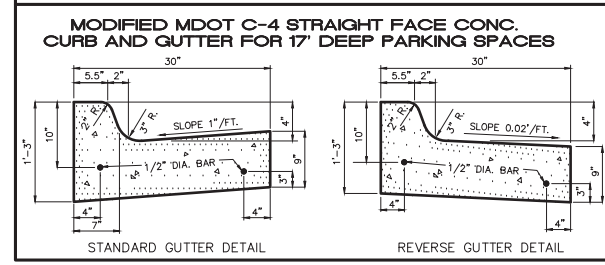
- TOTAL GARAGE SPACES FOR 203 UNITS: 406
- TOTAL DRIVEWAY SPACES FOR 203 UNITS: 406
- TOTAL RESIDENT PARKING: 812 SPACES
- 40 VISITOR PARKING SPACES (37 REGULAR SPACES AND 3 VAN ACCESSIBLE SPACES)

TRASH DISPOSAL: CURB SIDE PICKUP INCLUDING CLUBHOUSE

TREES TO BE REMOVED OUTSIDE OF REGULATED AREA: 12

WETLAND ENVIRONMENTAL SETBACK DISTURBANCE: 0.10 AC.

BICYCLE PARKING: 1 FOR EVERY 5 UNITS = 41 SPACES REQUIRED 44 SPACES PROVIDED

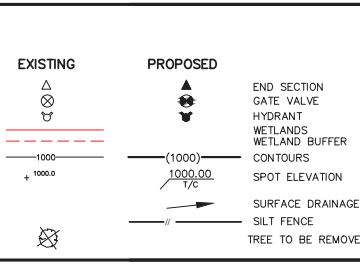
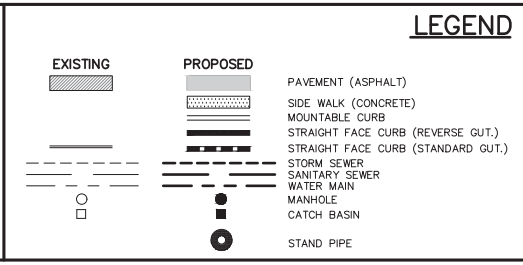
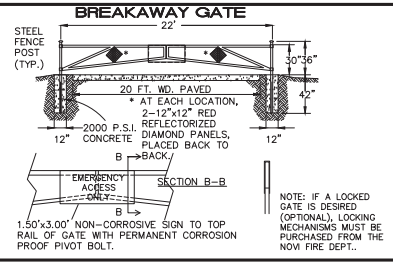


SIGN QUANTITIES

SYMBOL	DESCRIPTION	QUANTITY	PANEL	POST
R1-1	30" "STOP" SIGN W/ STREET SIGN	1	1	1
R1-2	30" "YIELD" SIGN W/ STREET SIGN	5	5	5
R2-1	(25) "25 MPH SPEED LIMIT" SIGN	1	1	1
12	D3-1 STREET NAME ATOP "STOP" SIGN	1	0	0
8"	D3-1 STREET NAME ATOP "YIELD" SIGN	6	0	0
R4-7A	"KEEP RIGHT" SIGN	2	2	2
V.A.	BARRIER FREE SIGN	3	3	3

SIGNAGE NOTES

1. STREET NAME SIGNS SHOULD BE PLACED A TOP THE INTERIOR YIELD SIGNS AND THE EXISTING STOP SIGNS.
2. ALL STREET-NAME SIGNS SHALL COMPLY WITH THE CITY OF NOVI DESIGN STANDARDS.



HUNTLEY MANOR
SECTION 23, TOWN 1 NORTH, RANGE 8 EAST
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

PRELIMINARY SITE PLAN - NORTH PORTION

SEIBER, KEAST ENGINEERING, L.L.C.
CONSULTING ENGINEERS

100 MAINCENTRE • SUITE 10 • NORTHVILLE, MICHIGAN • 48167
PHONE: 248.308.3331 FAX: 248.308.3335

SHEET 2

MATCHLINE SEE SHEET 2



PARCEL ID#:
50-22-23-251-000
OWNER OF RECORD:
FOUNTAIN PARK APARTMENTS
NOVI, LLC
ZONING RM-1

PARCEL ID#:
50-22-23-251-023
ZONING: GE

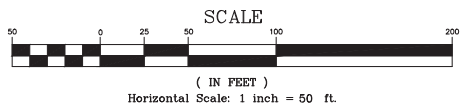
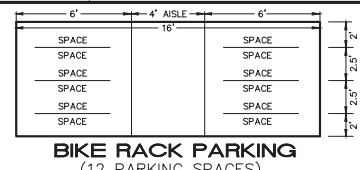
PARCEL ID#:
50-22-23-251-018
OWNER OF RECORD:
NOVI PHYSICIANS GROUP
ZONING NCC

PARCEL ID#:
50-22-23-251-019
OWNER OF RECORD:
RICHARD OTTO
ZONING OS-1

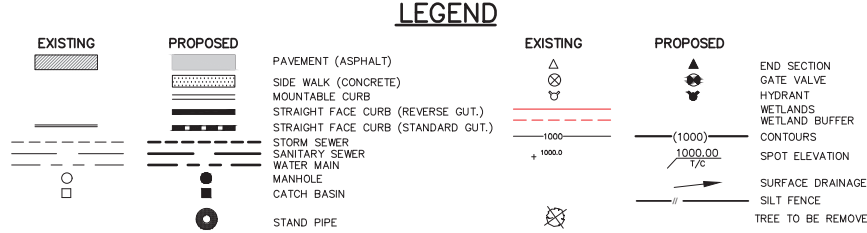
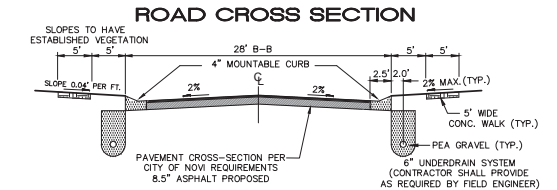
CHERRY HILL ROAD
VARIABLE WIDTH RIGHT OF WAY

TREES TABLE		(THESE TREES TO BE REMOVED)				
REGULATED TAG#	SIZE	TYPE	BOTANICAL NAME	CONDITION	ELEV.	REPLACEMENT TREES
NO 704	18"	POPLAR	POPULUS SPP	GOOD	891.0	0
NO 705	12"	POPLAR	POPULUS SPP	GOOD	891.4	0
NO 706	24"	POPLAR	POPULUS SPP	GOOD	891.0	0
NO 707	12"	POPLAR	POPULUS SPP	GOOD	891.2	0
NO 708	20"	POPLAR	POPULUS SPP	GOOD	890.8	0
NO 709	8"	POPLAR	POPULUS SPP	GOOD	891.0	0
NO 710	10"	POPLAR	POPULUS SPP	GOOD	891.0	0
NO 711	12"	POPLAR	POPULUS SPP	GOOD	891.3	0
NO 712	8"	POPLAR	POPULUS SPP	GOOD	891.0	0
NO 713	8"	POPLAR	POPULUS SPP	GOOD	891.0	0
NO 715	12"	POPLAR	POPULUS SPP	GOOD	891.4	0
NO 716	12"	POPLAR	POPULUS SPP	GOOD	891.0	0
NO 717	16"	POPLAR	POPULUS SPP	GOOD	891.4	0
NO 718	12"	POPLAR	POPULUS SPP	GOOD	890.9	0
						TOTAL 0

PARKING NOTE:
NO ON-STREET PARKING SHALL BE PERMITTED ON FOSTER DRIVE, OR THE MAIL BOX DRIVE.



NOTE: ALL ONSITE WATERMAIN & SANITARY SEWER TO BE CENTERLINE OF 20' WIDE PRIVATE EASEMENT.



SEE THE LANDSCAPE PLANS FOR TREE REPLACEMENT.

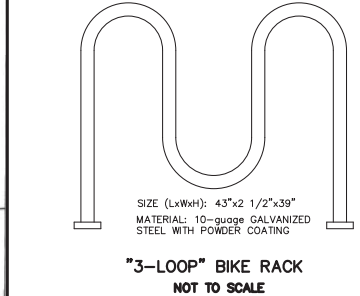
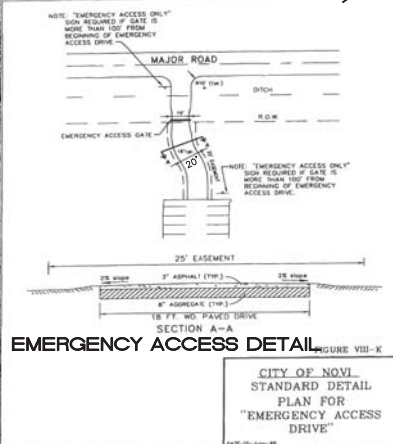
REVISIONS		
NO.	ITEM	DATE
1.	PER CITY REVIEW	11-21-14
2.	PRELIMINARY SITE PLAN	4-6-15
3.	REVISE SOWWAK EAST OF BLDG 7	5-21-15
4.	REVISE LAYOUT PER OWNER	5-16-16
5.	REVISE PER CITY CONSULTANTS	8-03-16

DATE: 09-03-14 DESIGNED BY: A.A.
CHECKED BY: C.S.
JOB NUMBER: 12-019

HUNTLEY MANOR
SECTION 23, TOWN 1 NORTH, RANGE 8 EAST
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN
PRELIMINARY SITE PLAN - SOUTH PORTION

SEIBER, KEAST ENGINEERING, L.L.C.
CONSULTING ENGINEERS
100 MAINCENTRE • SUITE 10 • NORTHVILLE, MICHIGAN • 48167
PHONE: 248.308.3331 FAX: 248.308.3335

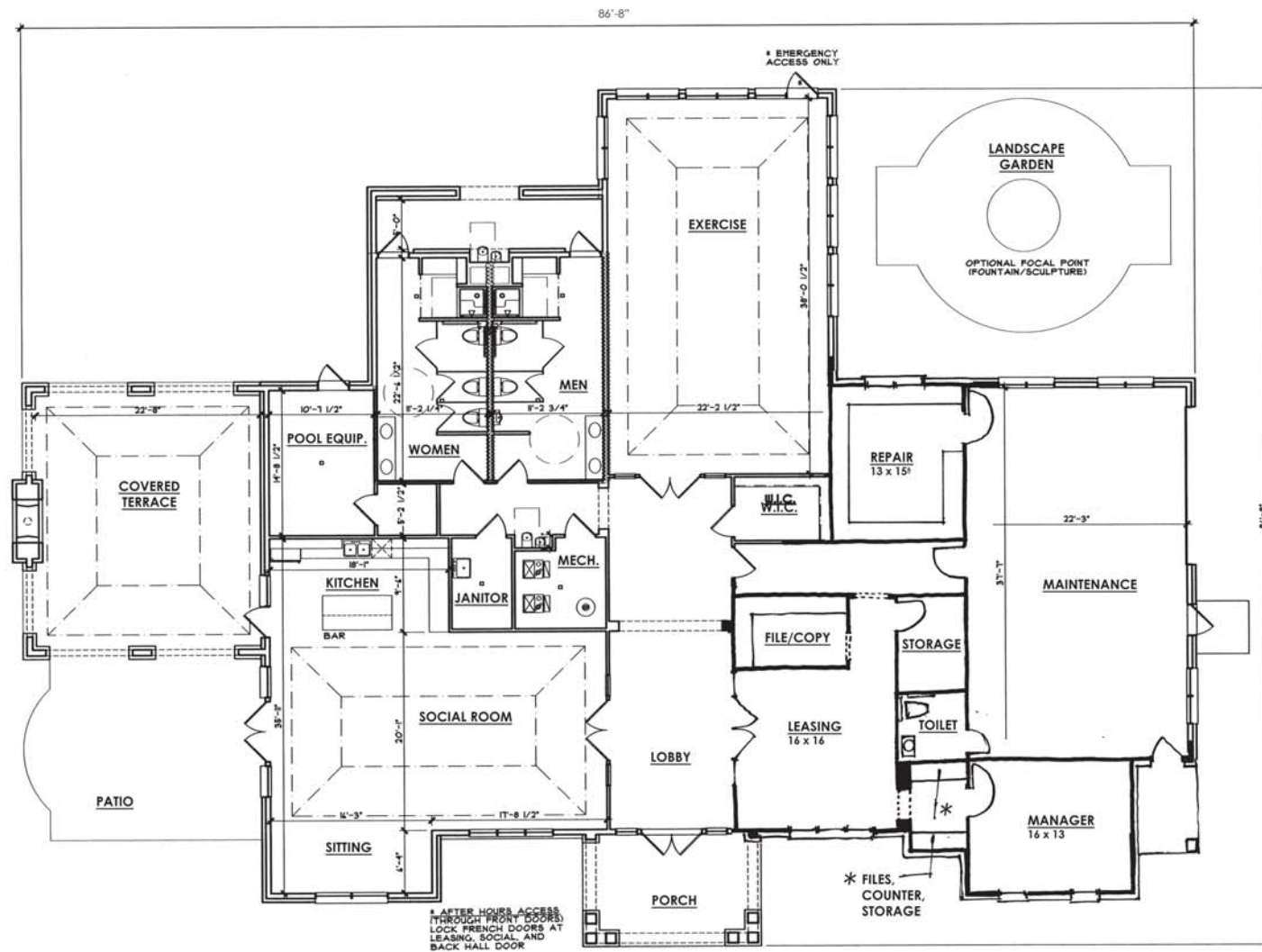
SHEET 3





FRONT ELEVATION - CLUBHOUSE

SCALE: 1/8" = 1'-0"



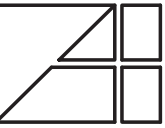
FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

SQUARE FOOTAGE	
MAIN SPACES	± 4244 SQ. FT.
MAINTENANCE / REPAIR	± 842 SQ. FT.
POOL EQUIPMENT	180 SQ. FT.
COVERED TERRACE	412 SQ. FT.
TOTAL	± 4240 SQ. FT.

ITEM NUMBER	MATERIAL
1	ASPHALT SHINGLES
2	BRICK
3	STONE
4	HORIZONTAL SIDING
5	SHAKE SIDING
6	TRIM & COLUMN
7	PAINTED DOORS
8	SHUTTERS
9	RAILING
10	BRACKETS
11	LIMESTONE

NOTE: REFER TO SHEET 'A13' FOR DETAILED MATERIAL AND MANUFACTURER INFORMATION.



Alexander V. Boggerts + Associates, P.C. • Architecture • Planning • Interior Design
 2445 Franklin Road
 Bloomfield Hills, MI 48302
 248 • 334 • 5000

SHEET TITLE
 CLUBHOUSE FRONT
 ELEVATION & PLAN
 PRELIMINARY

CLIENT/PROJECT
 G.R. MEADOWBROOK
 HUNTLEY MANOR
 NOVI, MICHIGAN

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 ALEXANDER V.
 BOGGERTS + ASSOC.
 PRELIMINARY
 8-2-16

REVISIONS
 SPA
 8-2-16

DRAWN BY
 AM
 CAD FILENAME
 CHECKED BY
 MA
 JOB NUMBER
 3228
 DATE
 SHEET NUMBER
A1



BUILDING 100 (10 UNITS) - FRONT ELEVATION 'A'
 NO THREE BEDROOM UNITS

SCALE: 1/8" = 1'-0"

NOTE: BUILDING 150 (5 UNITS) SIMILAR

ITEM NUMBER	MATERIAL
1	ASPHALT SHINGLES
2	BRICK
3	STONE
4	HORIZONTAL SIDING
5	SHAKE SIDING
6	TRIM & COLUMN
7	PAINTED DOORS
8	SHUTTERS
9	RAILING
10	BRACKETS
11	LIMESTONE

NOTE: REFER TO SHEET 'A13' FOR DETAILED MATERIAL AND MANUFACTURER INFORMATION.

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2445 Franklin Road
 Bloomfield Hills, MI 48302
 248 • 334 • 5000

SHEET TITLE
 STACKED RANCH
 FRONT ELEVATION - A

PRELIMINARY

CLIENT/PROJECT
 G.R. MEADOWBROOK
 HUNTLEY MANOR
 NOVI, MICHIGAN

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 BOGGERTS + ASSOC.

PRELIMINARY
 8-2-16

BEDS

PERMITS

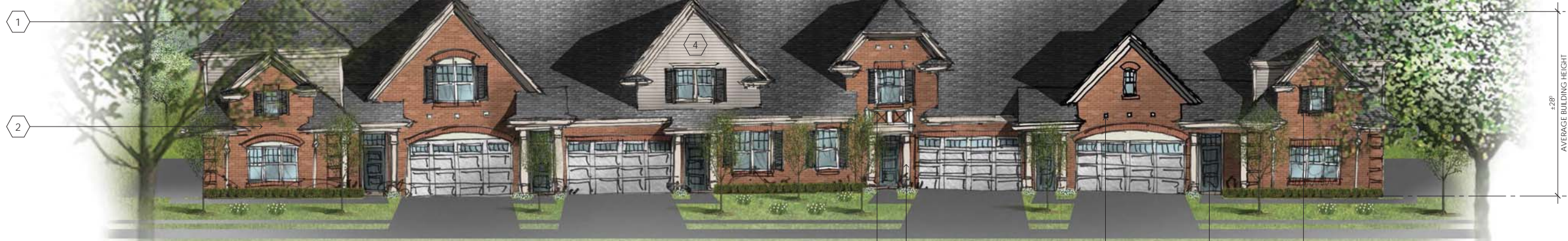
CONSTRUCTION

REVISIONS
 SPA
 8-2-16

DRAWN BY
 AM
 CAD FILENAME

CHECKED BY
 MA
 JOB NUMBER
 3228
 DATE

SHEET NUMBER
A3



BUILDING 100 (10 UNITS) - FRONT ELEVATION 'B'
 (1) THREE BEDROOM UNIT
 SCALE: 1/8" = 1'-0"
 NOTE: BUILDING 150 (5 UNITS) SIMILAR

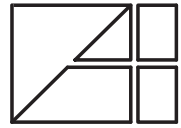


BUILDING 100 (10 UNITS) - FRONT ELEVATION 'C'
 (2) THREE BEDROOM UNITS
 SCALE: 1/8" = 1'-0"
 NOTE: BUILDING 150 (5 UNITS) SIMILAR

ITEM NUMBER	MATERIAL
1	ASPHALT SHINGLES
2	BRICK
3	STONE
4	HORIZONTAL SIDING
5	SHAKE SIDING
6	TRIM & COLUMN
7	PAINTED DOORS
8	SHUTTERS
9	RAILING
10	BRACKETS
11	LIMESTONE

NOTE: REFER TO SHEET 'A13' FOR DETAILED MATERIAL AND MANUFACTURER INFORMATION.

Alexander V. Bogaerts + Associates, P.C. • Architecture • Planning • Interior Design



2445 Franklin Road
 Bloomfield Hills, MI 48302
 248 • 334 • 5000

CLIENT/PROJECT
 STACKED RANCH
 FRONT ELEVATION - B & C
 PRELIMINARY

CLIENT/PROJECT
 G.R. MEADOWBROOK
 HUNTLEY MANOR
 NOVI, MICHIGAN

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 ALEXANDER V.
 BOGAERTS + ASSOC.

PRELIMINARY
 8-2-16
 BIDS
 PERMITS
 CONSTRUCTION

DRAWN BY
 AM
 CAD FILENAME

CHECKED BY
 MA
 JOB NUMBER
 3228
 DATE

SHEET NUMBER
 A4

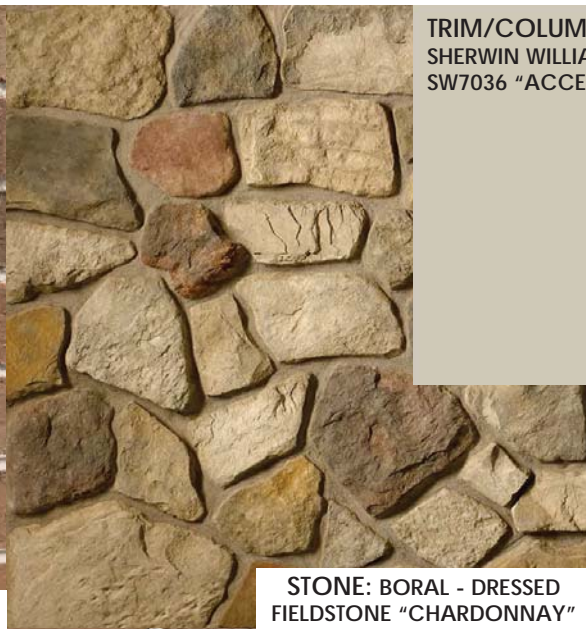
CLUBHOUSE & **A**



ASPHALT SHINGLES: CERTAINTeed DIMENSIONAL SHINGLE IN "WEATHERED WOOD"



BRICK: TRIANGLE "PINE FOREST"



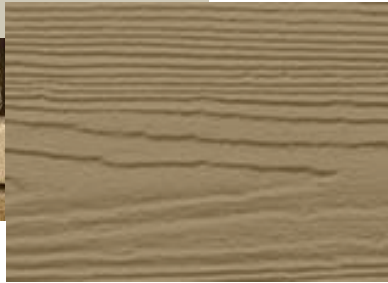
STONE: BORAL - DRESSED FIELDSTONE "CHARDONNAY"

TRIM/COLUMN/BRACKET: SHERWIN WILLIAMS SW7036 "ACCESSIBLE BEIGE"

PAINTED DOORS: BENJAMIN MOORE "VAN DEUSEN BLUE"



SHUTTERS: MID-AMERICA Custom Board and Batten Vinyl Shutters - Joined "Z" Style "FEDERAL BROWN"



SIDING: HARDIE PLANK HORIZONTAL & SHAKE SIDING "NATURAL CLAY"

EXTERIOR RAILINGS:

METAL SHERWIN WILLIAMS SW6991 "BLACK MAGIC"

B



ASPHALT SHINGLES: CERTAINTeed DIMENSIONAL SHINGLE IN "WEATHERED WOOD"



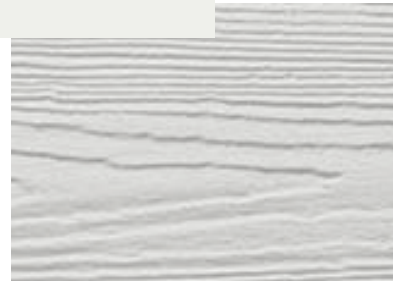
BRICK: COLUMBUS BRICK CO. "ASHLEIGH"

TRIM/COLUMN/BRACKET: SHERWIN WILLIAMS SW7006 "EXTRA WHITE"

PAINTED DOORS: BENJAMIN MOORE "VAN COURTLAND BLUE"



SHUTTERS: MIDAMERICA "BLACK" 2-PANEL SHUTTER



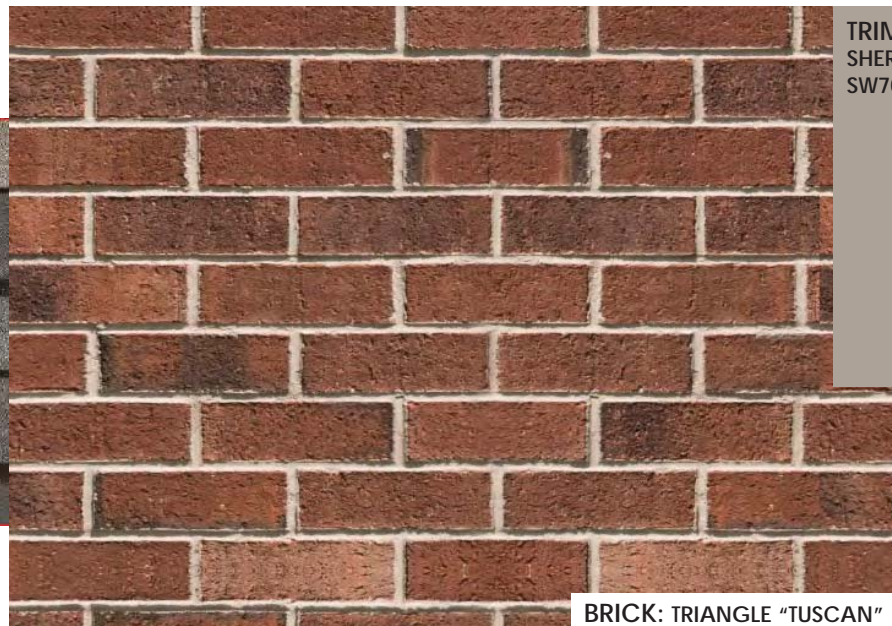
SIDING: HARDIE PLANK HORIZONTAL SIDING "SNOW"

LIMESTONE: CAPITAL STONE "DESERT BUFF"

C



ASPHALT SHINGLES: CERTAINTeed DIMENSIONAL SHINGLE IN "WEATHERED WOOD"



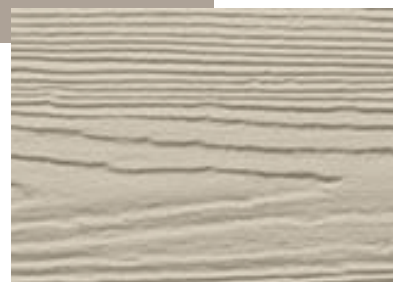
BRICK: TRIANGLE "TUSCAN"

TRIM/COLUMN/BRACKET: SHERWIN WILLIAMS SW7031 "MEGA GREIGE"

PAINTED DOORS: BENJAMIN MOORE "NARRAGANSETT GREEN"



SHUTTERS: MID-AMERICA "MIDNIGHT GREEN" 2-PANEL SHUTTER



SIDING: HARDIE PLANK HORIZONTAL SIDING "COBBLESTONE"

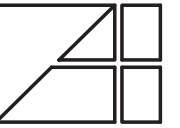
NOTE: DEVELOPER'S OPTION TO USE EITHER MATERIAL SAMPLE/COLOR SCHEME FOR BOTH RANCH & STACKED RANCH BUILDINGS

NOTE: CLUBHOUSE, A, B, OR C (DEVELOPER'S OPTION)

NOTE: ALL MATERIALS TO BE EQUAL OR SIMILAR

ITEM NUMBER	MATERIAL
1	ASPHALT SHINGLES
2	BRICK
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5	SHAKE SIDING
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10	BRACKETS
11	LIMESTONE

NOTE: REFER TO SHEETS 'A1'-'A5' & 'A8'-'A10' FOR MATERIAL LOCATIONS.



Interior Design
2445 Franklin Road
Bloomfield Hills, MI 48302
248-334-5000

EXTERIOR MATERIALS
PRELIMINARY

G.R. MEADOWBROOK
HUNTLEY MANOR
NOVI, MICHIGAN

ALEXANDER V. BOGAERTS + ASSOC.
PRELIMINARY
8-2-16

DRAWN BY: AM
CHECKED BY: MA
JOB NUMBER: 3228
DATE: []
SHEET NUMBER: A13

Alexander V. Bogaerts + Associates, P.C. • Architecture • Planning • Interior Design

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

August 24, 2016

Planning Review

Huntley Manor

JSP14-56

Petitioner

GR Meadowbrook, LLC

Review Type

Concept and Preliminary Site Plan (combined)

Property Characteristics

- Site Location: South side of Grand River Avenue, west of Meadowbrook Road (Section 23)
- Site Zoning: GE, Gateway East
- Adjoining Zoning: North (across Grand River): B-3, General Business and NCC, Non-Center Commercial; East: NCC and RM-1, Multiple-Family; West: NCC and OS, Office Service; South: R-4, One-Family Residential
- Current Site Use: Vacant
- Adjoining Uses: North: commercial; East: Fountain Park Apartments; West: vacant; South: Meadowbrook Glens Subdivision
- School District: Novi Community School District
- Site Size: 26.62 acres
- Plan Date: 8-3-2016

Project Summary

The applicant is proposing a 203-unit multiple-family gated community on a 26.62 acre parcel on the south side of Grand River Avenue and west of Meadowbrook Road using the Special Development Option (SDO) under the Gateway East (GE) District. The applicant has a mix of two and three bedroom units resulting in a density of 7.63 units per acre. Some of the units have an additional den or office that opens into the rest of the living space. Additional information is requested of the applicant regarding these additional dens/offices. Landscape amenities are proposed along with a clubhouse and pool. The applicant is proposing 24 phases, one phase for each building and one phase for roadways and infrastructure for the entire development (includes clubhouse, pool, and building 1). Each phase thereafter includes one building and related driveways and landscaping.

The site was previously approved for development and cleared. Wetland mitigation has also been constructed. The initial approval has expired although an SDO Agreement remains recorded for the property. A new owner has acquired the property and received tentative approval from the City Council on March 23, 2015 to revoke and/or revise the previous SDO approval for the property. Since that time, the applicant indicated that there may be some additional changes to the plans. Revised plans are now submitted which will be processed for full review again by the Planning Commission and City Council.

In the August 2016 submittal, the applicant has made significant changes to the site plan including size and location of proposed buildings. The buildings changed from a square configuration to a rectangular configuration, which impacted the unit's room arrangements. Other changes included reducing the site coverage from 22% to 19% and increasing the central green space. Therefore, a new site plan review process has been initiated with recommendation for a combined concept plan and preliminary site plan review due to extensive site plan details provided.

In general, the Special Development Option is intended to "...provide greater flexibility for the achievement of the objectives of the GE District by authorizing use of Special Development regulations with the view of:

- Permitting quality residential development and facilitated mixed use developments including multiple family residential, office and limited commercial;
- Encouraging the use of land in accordance with its character and adaptability;
- Conserving natural resources and natural features;
- Encouraging innovation in land use planning;
- Providing enhanced housing, cultural, and recreational opportunities for the people of the City; and
- Bringing about a greater compatibility of design and use between and among neighboring properties." (Sec. 3.1.16.A)

Multiple-family developments are a special land use in the GE District under the SDO provisions listed in Section 3.12.2.A of the Zoning Ordinance. An applicant must demonstrate that the conditions listed in Section 3.12.3.B of the Zoning Ordinance have been met.

Recommendation

Planning **recommends approval of the Concept/Preliminary Site Plan** to allow for the development of the subject property. The concept plan will be reviewed by the Planning Commission, and its recommendation will be forwarded with the concept plan and preliminary site plan to the City Council for review and approval. Additionally, an SDO Agreement will need to be approved by the City Council in conjunction with the Preliminary Site Plan, Woodland Permit, Wetland Permit and Stormwater Management Plan approval. As noted in the Zoning Ordinance, the Preliminary Site Plan, Woodland Permit, Wetland Permit and Stormwater Management Plan require the approval of the City Council under the SDO option.

SDO Eligibility (Sec. 3.12.3)

The Planning Commission and City Council are asked to consider the following when evaluating the proposed SDO concept plan. Staff comments are underlined and bracketed.

- i. The project will result in a recognizable and substantial benefit to the ultimate users of the project and to the community, where such benefit would otherwise be unfeasible or unlikely to be achieved by a traditional development. [Amenities have been provided for the residents of the proposed community including landscape features, a clubhouse, pool and open space.]
- ii. In relation to a development otherwise permissible as a Principal Permitted Use under Section 3.1.16.B, the proposed type and density of development shall not result in an unreasonable increase in the use of public services, facilities and utilities, and shall not place an unreasonable burden upon the subject and/or surrounding land and/or property owners and occupants and/or the natural environment. [The proposed density is well within the allowable density for the site and the applicant has proposed preservation of the existing natural features as well as a substantial buffer from the adjacent properties.]
- iii. Based upon proposed uses, layout and design of the overall project, the proposed building facade treatment, the proposed landscaping treatment and the proposed signage, the Special Development Option project will result in a material enhancement to the area of the City in which it is situated. [See the façade and landscape review letters for additional information.]
- iv. The proposed development shall not have a materially adverse impact upon the Master Plan for Land Use of the City, and shall be consistent with the intent and spirit of this Section. [The plan is consistent with the Master Plan recommendations for the subject property.]
- v. In relation to a development otherwise permissible as a Principal Permitted Use under Section 3.1.16.B, the proposed development shall not result in an unreasonable negative economic

- impact upon surrounding properties. [The proposed multiple-family development will pair well with the existing retail uses in the area and provide a different type of housing product that will complement the other residential properties in the immediate area.]
- vi. The proposed development shall contain at least as much useable open space as would be required in this Ordinance in relation to the most dominant use in the development. [The applicant has proposed 37.5% open space where a minimum of 25% is required.]
 - vii. Each particular proposed use in the development, as well as the size and location of such use, shall result in and contribute to a reasonable and mutually supportive mix of uses on the site, and a compatibility of uses in harmony with the surrounding area and other downtown areas of the City.
 - viii. The proposed development shall be under single ownership and/or control such that there is a single person or entity having responsibility for completing the project in conformity with this Ordinance. [A single entity currently owns the site.]

In addition to the provisions noted above, the Planning Commission and City Council should also consider the Special Land Use conditions noted in Section 6.1.2.C of the Zoning Ordinance:

- i. Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service.
- ii. Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area.
- iii. Whether, relative to other feasible uses of the site, the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats.
- iv. Whether, relative to other feasible uses of the site, the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood.
- v. Whether, relative to other feasible uses of the site, the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.
- vi. Whether, relative to other feasible uses of the site, the proposed use will promote the use of land in a socially and economically desirable manner.
- vii. Whether, relative to other feasible uses of the site, the proposed use is (a) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (b) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

Project Design Standards (Sec. 3.12.4)

The Zoning Ordinance includes both general project design standards and design standards for residential developments in the Gateway East District as listed below. See the planning review chart for a detailed review of these standards.

1. Residential Design Standards
 - a. Innovative planning and design excellence, taking into consideration the review and recommendation of the City's professional staff and/or consultants;
 - b. Relationship to adjacent land uses;
 - c. Pedestrian and/or vehicular safety provisions;
 - d. Aesthetic quality in terms of design, exterior materials and landscaping, including internal compatibility within the development as well as its relationship to surrounding properties; and

- e. Provisions for the users of the project.
2. General Design Standards
 - a. There shall be a perimeter setback and berming, as found to be necessary by the City Council, for the purpose of buffering the development in relation to surrounding properties.
 - b. There shall be underground installation of utilities, including electricity and telecommunications facilities, as found necessary or appropriate by the City.
 - c. The design of pedestrian walkways shall be reviewed with the view of achieving safety, and also considering the objectives and intent of this District.
 - d. Signage, lighting, streetscape, landscaping, building materials for the exterior of all structures, and other features of the project, shall be designed and completed with the objective of achieving an integrated and controlled development, consistent with the character of the community, surrounding development or developments, and natural features of the area.
 - e. In order to provide efficient circulation and reduce driveways and curb cuts along Grand River Avenue, all development sites fronting on Grand River Avenue shall be constructed to maximize traffic safety and convenience.

Ordinance Requirements

This project was reviewed for conformance with Article 3.12 (Gateway East District - Special Development Option), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed by the applicant and or City Council.

1. Woodland Replacement Trees: Provide on the site plan the location, condition, and proposed impact of the woodland replacement trees that were previously planted on the site.
2. Legal Documents: The Master Deed with By-laws, Wetland Easements, Woodland Easements, and any other legal documents must be submitted for review with the Final Site Plan submittal.
3. Special Development Option (SDO) Agreement: Once the concept plan is approved by the City Council a draft SDO agreement will need to be provided to the City Attorney for review.
4. Exterior Lighting: **The proposed exterior lighting is deficient in a number of respects.** The applicant is asked to review the Planning Review Chart for the details that need to be addressed, and clarify whether additional ordinance deviations will be required.
5. Room Count: The submitted plan shows two- and three- bedroom units, some of which contain a den or office. **The applicant is asked to clarify in the response letter and/or floor plans whether the dens and offices will contain a door or other partition that would qualify as a separate room in the calculations for density.**
6. Traffic Impact Study: A development of this scale would require a Traffic Impact Study (TIS) to be prepared by the applicant and reviewed by the Traffic Engineer for potential impacts or necessary improvements. Since the plan was last presented in 2014 with a TIS, and the City's Traffic Engineering Consultant has indicated that a new study is not warranted, **a deviation from this requirement is recommended. Additional dimensional clarifications to the plans are requested in the response letter, as noted in the review letter.**
7. Community Impact Assessment: A community Impact Assessment was submitted with this request. Among the information provided is that it is expected that 55 school-age children will be living in the development at full build-out. The number of people anticipated to be employed at the development is 12. The estimated project value is approximately \$17,000,000.
8. Signage: Exterior Signage is not regulated by the Planning Division or Planning Commission. Please contact Jeannie Niland (248.347.0438) for information regarding sign permit requirements.

Ordinance Deviations

Per Section 3.12.6, consistent with the Special Development Option concept, and toward encouraging flexibility and creativity in development, departures from compliance with the standards provided for an SDO project, may be granted in the discretion of the City Council as part of the approval of an SDO project in a GE District. Such departures may be authorized on the condition that there are recognized and specific features or planning mechanisms deemed adequate by the City Council designed into the project for the purpose of achieving the objectives intended to be accomplished with respect to each of the regulations from which a departure is sought. The following are deviations from the Zoning Ordinance and other applicable ordinances shown on the concept plan and to be included in the draft SDO Agreement:

1. A deviation for the deficient loading area for the proposed clubhouse (940 sq. ft. required, 480 sq. ft. provided);
2. A deviation to permit lighting fixtures that are not full cut-off adjacent to residential zoning, and potentially other exterior lighting ordinance requirements (see attached Planning Review Chart for additional information);
3. Landscape waivers for the following items:
 - a. A decorative fence along the Grand River Avenue frontage has been provided in lieu of the required berm (it is staff's opinion that berms along the other sides of the property are not warranted);
 - b. No additional parking lot perimeter canopy trees have been provided due to sufficient edge landscaping for the parking areas; and
 - c. The applicant has elected to request a waiver for the lack of large shrubs around the existing detention basin.
4. A deviation from the Façade ordinance standards since the minimum amount of Brick is not provided on the side elevations and the percentage of Asphalt Shingles exceeds the maximum amount allowed by the Ordinance on all elevations. The City's façade consultant supports these deviations for the reasons provided in the review letter.
5. A deviation from the Zoning Ordinance standards to allow the 2014 Traffic Impact Study to stand in place of preparing and presenting a new Traffic Impact Study, which is supported by staff.

Site Addressing

The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found on the Internet at www.cityofnovi.org under the forms page of the Community Development Department. Please contact Jeannie Niland [248.347.0438] in the Community Development Department with any specific questions regarding addressing of sites.

Street and Project Name

The previously approved street names expire after two years; please resubmit for Foster and Midtown street names. The applicant should contact Richelle Leskun [248.347.0579 or rleskun@cityofnovi.org] to arrange an application to the Street and Project Naming Committee.

Pre-Construction Meeting

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

Chapter 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni [248.347.0430

or smarchioni@cityofnovi.org] for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

Other Reviews

1. Engineering Review: **Approval is recommended** with items addressed on the Final Site Plan.
2. Landscape Review: **Approval is recommended** with deviations noted and items addressed on the Final Site Plan.
3. Traffic Review: **Approval is recommended** with deviations noted and items addressed on the Final Site Plan.
4. Facade Review: **Approval is recommended** with Section 9 Façade Waiver approval.
5. Fire Review: **Approval is recommended** with items addressed on the Final Site Plan.

Next Steps

Planning Commission Meeting

This Site Plan is anticipated to go before the Planning Commission for a public hearing and recommendation to the City Council on September 28, 2016. Please provide the following **no later than September 21, 2016** if you wish to keep the schedule.

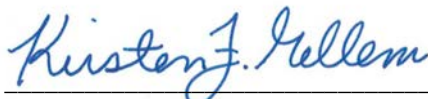
1. A response letter addressing **ALL** the comments from **ALL** the review letters and **a request for waivers and variances as you see fit**.
2. A PDF version of all the Site Plan drawings that were dated 8-3-2016 (less than 10 MB). **NO CHANGES MADE**.
3. A color rendering of the Site Plan, if any.

City Council Meeting

This Site Plan is anticipated to go before the City Council in October for a public hearing, pending the recommendation from the Planning Commission.

1. In order to expedite the review by the City Council, the applicant is asked to provide a **draft SDO Agreement** to be included in the packet that will be presented to the City Council.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0484 or kmellem@cityofnovi.org.



Kirsten Mellem, Planner



PLANNING REVIEW CHART: GE Gateway East

Review Date: August 30, 2016
Review Type: Concept and Preliminary Site Plan (combined)
Project Name: Huntley Manor
Plan Date: 8-3-2016
Prepared by: Kirsten Mellem, Planner
Contact: E-mail: kmellem@cityofnovi.org Phone: 248.347.0484

Items in **Bold** need to be addressed by the applicant prior to the approval of the Preliminary/Final Site Plan. Underlined items need to be addressed prior to the approval of the Stamping Sets

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan <i>(Adopted Aug. 25, 2010)</i>	Town Center Gateway	No change	Yes	
Density <i>(Future Land Use Map 2010)</i>	9.3 DUA	7.63 DUA	Yes	
Area Study	The site does not fall under any special category	NA	Yes	
Zoning <i>(Eff. Dec. 25, 2013)</i>	GE: Gateway East	GE: Gateway East	Yes	
Uses Permitted <i>(Sec 3.1.12.B & C)</i>	Sec 3.1.12.B Principal Uses Permitted. Sec 3.1.12.C Special Land Uses Sec. 3.12: Special Development Option (SDO) for Multi-family use allowed, non-residential use not allowed otherwise	Multiple-family 203 units	Yes	Previous SDO agreement approved on July 13, 2015 by CC. New or Revised SDO required.
Phasing – The applicant is proposing 24 phases: 1 phase for each building and 1 phase for roadways and infrastructure for the entire development including the clubhouse, pool, and Building 1. Each phase thereafter includes 1 building and related driveways and landscaping.				
Development Standards <i>(Sec 3.1.16.D)</i>				
Lot Size	Minimum Area: 2 acres Minimum Lot Width: 200 ft.	26.62 acres 1,033.71 ft.	Yes	
Lot Coverage	See Section 3.11			
Setbacks	See Section 3.11			
Building Height	35 ft. or 2 stories, whichever is less	28 ft.	Yes	
Parking Setbacks	See Section 3.11			

Item	Required Code	Proposed	Meets Code	Comments
Building Setbacks (Sec 3.11)				
<i>Major Thoroughfare</i>				
Front (north)	Min: 70 ft. from centerline Max: 90 ft. from centerline	90 ft.	Yes	
Side	0 ft.	41-46 ft.	Yes	
Rear (south)	Min: 30 ft.	106 ft.	Yes	
<i>Private Drives, Aisles, and Shared Access Drives</i>				
Front (north)	Min: 10 ft.	NA		
Side	0 ft.	NA		
Rear (south)	0 ft.	NA		
Parking Setback (Sec 3.11)				
Front (north)	No front yard parking allowed	None proposed	Yes	
Side	10 ft. with 5 ft. from building facade	Attached garages Visitor Parking: > 10 ft.	Yes	
Rear (south)	10 ft.	> 10 ft.	Yes	
Notes To District Standards for GE/SDO Option (Sec 3.6.2)				
Maximum number of stories for SDO (Sec 3.6.2.G)	3 stories max See Sec. 3.12.5.E.vi	2 stories proposed	Yes	
Minimum lot size for SDO (Sec 3.6.2.I)	Min: 5 acres Minimum lot width: 300 ft.	26.62 acres 1,033.71 ft.	Yes	
Maximum building height for SDO (Sec 3.6.2.J)	May be increased to 50 ft. Any structure within 300 ft. of one-family residential is 35 ft.	28 ft.	Yes	
Parking setback screening (Sec 3.6.2.P)	Required parking setback area shall be landscaped per Sec. 5.5.3. Abutting residential requires a berm.	Landscape plan provided.	No	Residential on south and west sides, requires berm. Landscape Review Letter supports deviation from required berm.
Modification of Parking Setback Requirements (Sec. 3.6.2.Q)	Planning Commission may modify if determined modification will improve the use of the site and landscaping	None requested	NA	
District Required Conditions for GE (Sec. 3.11)				

Item	Required Code	Proposed	Meets Code	Comments
Maximum FAR (Sec. 3.11.2.A)	Maximum floor area ratio shall be 0.275.	NA See SDO Requirements	NA	
Max. Stories (Sec. 3.11.2.B)	Maximum number of stories is limited to two.	NA See SDO Requirements	NA	
Off-street Parking (Sec. 3.11.3)	Off-street parking shall be provided within the building, parking structure, or designed parking area within 300 ft. Stilt parking is not allowed. All parking in a structure must be screened.	Attached garages and visitor parking within 300 ft. of structures	Yes	
Building Setbacks (Sec. 3.11.5)	See Chart 3.11.5. See above.			
Parking Lot Screening (Sec. 3.11.6.B)	Parking lots shall be screened from all major thoroughfares.	No parking lots proposed adjacent to thoroughfare.	Yes	
Open Space (Sec. 3.11.7)	25% of gross area of each development site shall be comprised of open space. Areas less than 20 ft. wide shall not be considered.	37.5 % open space	Yes	
Sidewalks and Bicycle Paths (Sec. 3.11.9)	Sidewalks are required. 8 ft. along Grand River. Bicycle Paths are required per the Master Plan.	8 ft. sidewalk proposed on Grand River.	Yes	
Streetscape Amenities (Sec. 3.11.10)	Decorative pedestrian-scale parking lot lighting, public pathways, bicycle racks, etc. Grand River lighting, landscape plantings, etc.	Some amenities proposed: decorative fence and lighting.	Yes	
Special Development Option (SDO) for the GE District (Sec. 3.12)				
Intent (Sec. 3.12.1)	<ul style="list-style-type: none"> - Mixed use development - Conserving natural resources and features - Innovative land use planning - Open space opportunities - Compatibility with neighboring properties 	Multiple-family, townhouses proposed.	Yes	
General Design Standards (Sec. 3.12.4.C)	<ul style="list-style-type: none"> - Perimeter setback and berming - Underground utility installation - Pedestrian safety - Signage, lighting, streetscape, landscaping, building materials - Reduction of driveways on 	No berming proposed. Signage, lighting, and landscaping proposed. Reduced driveways to	No	Landscape Review Letter supports deviation from required berm and Grand River wall and fence.

Item	Required Code	Proposed	Meets Code	Comments
	Grand River Ave.	one on Grand River.		
Plan Information (Sec. 3.12.7.C.i.u)	Community impact statement is required.	Provided.	Yes	
Special Development Option Required Conditions (Sec. 3.12.5)				
Minimum Acreage (Sec. 3.12.5.B)	5 acre minimum	26.62 acres	Yes	
Minimum Frontage (Sec. 3.12.5.C)	Road frontage is 300 ft.	1,033.71 ft.	Yes	
Dwelling Requirements (Sec. 3.12.5.D)	- Meet RM-2 conditions (3.1.8 and 3.8.3) - Minimum of 2 stories	2 stories	Yes	
RM-2 Required Conditions (Sec. 3.8.3.A)	Proper relationship between local streets, proposed service roads, driveways, and parking areas for pedestrian safety.	Provided	Yes	
RM-2 Required Conditions (Sec. 3.8.3.B)	Development façade features are clearly shown and identified.	Provided	Yes	
RM-2 Required Conditions (Sec. 3.8.3.C)	All service roads, driveways, parking areas, and open space shall be located to minimize adverse effects.	Provided	Yes	
RM-2 Required Conditions (Sec. 3.8.3.D)	Circulation between buildings and within the site shall not interfere with fire equipment access.			See Fire Review Letter
Additional Requirements (Sec. 3.12.5.E)	- Total rooms not more than area of parcel divided by 1600, if mixed use then reduced to 950 - Building elevations shall be 50%+ brick - All trash bins and HVAC units shall be screened and further than 10 ft. - Exterior Entrance, if second floor of mixed use then can have interior entrance	716 rooms (with dens) 1,159,567/1600 = 725 rooms maximum HVAC units have been removed from the plans. Proposed.	Yes	Provide additional details on den/office doors. Update charts to reflect 5 rooms for 3 bed/den units. Provide note that HVAC units will be concealed on roof or show on landscaping plans.
<i>Residential Only Developments; Other Housing in Single-Use Building</i>				
Residential Densities	Efficiency (1 room)	0 DUA	0	Yes

Item	Required Code		Proposed	Meets Code	Comments
(Sec. 3.12.5.E.vi)	1 Bedroom (2 rooms)	13.6 DUA	0 DUA 0 units	Yes	
	2 Bedrooms (3 rooms)	9.07 DUA	2.29DUA 61 units	Yes	
	3+ Bedrooms (4 rooms)	6.81 DUA	2.37 DUA 42 + 21 = 63 units	Yes	
Maximum % of DU by Type (Sec. 3.12.5.E.vi.B)	Efficiencies	5%	0%	Yes	
	One Bedroom	15%	0%	Yes	
Minimum Distance between Bldgs (Sec.3.12.5.E.vi.C)	Non-res to res = 5 ft per each foot of building height; interior front-to-front 30 ft., others 15 ft. unless > 30 ft., then 30 ft.		25 ft., 57.5 ft., 60 ft., 75 ft.	Yes	
Floor Area Ratio (Sec.3.12.5.E.vi.D)	FAR	0.50	315,497 / 1,159,567 = 0.27 FAR	Yes	Provide FAR table on site plan.
Max Height (Sec.3.12.5.E.vi.E)	Height	50 ft.	28 ft.	Yes	
Max Stories (Sec.3.12.5.E.vi.F)	# of Stories	3	2 stories	Yes	
Retail Development (Sec.3.12.5.E.vi.G)	Retail N/A		N/A	N/A	
Phasing (Sec. 3.12.6.A.iii)	Each phase shall be capable of standing on its own in terms of services, facilities, and open space.		24 phases proposed Phase 1 is roadways and utilities plus building 1.	Yes	
Site Standards: Parking and Circulation					
Number of Parking Spaces (Sec.5.2.12) <i>Residential, Multi-Family</i> <i>Private Clubs</i>	- 2 for each dwelling unit having 2 or less bedrooms and 2.5 for each dwelling unit having 3 or more bedrooms		406 garages 406 driveways = 812 resident spaces provided.	Yes	Provide the projected max occupancy for the clubhouse including number of employees on largest shift.
	2 bed units: 182 x 2 = 364 3 bed units: 21 x 2.5 = 53 - 1 for each 3 persons allowed within the max occupancy # - TBD 417 min. required parking		40 employee and visitor spaces provided. Building for leasing office only, no resident rentals for parties.	No	
Parking Space Dimensions and Maneuvering Lanes (Sec. 5.3.2)	- 90° Parking: 9 ft. x 19 ft. - 24 ft. two way drives - 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along		9 x 17 ft. proposed 22 ft. proposed	Yes No	Adjust two-way drives to be 24 ft. wide as required by Ordinance.

Item	Required Code	Proposed	Meets Code	Comments
	landscaping.			
Parking stall located adjacent to a parking lot entrance (public or private) (Sec. 5.3.13)	Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	None proposed	Yes	
End Islands (Sec. 5.3.12)	<ul style="list-style-type: none"> - End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance 	End islands are proposed.	Yes	
Sit Standards: Barrier Free (ADA)				
Barrier Free Spaces <i>Michigan Building Code 2012 / Barrier Free Code</i>	2 barrier free parking spaces (for total 26-50); at least 1 van barrier free parking space	40 visitor parking spaces. 3 barrier free proposed.	Yes	
Barrier Free Space Dimensions <i>Michigan Building Code 2012 / Barrier Free Code</i>	<ul style="list-style-type: none"> - 8' wide with an 8' wide access aisle for van accessible spaces. - 5' wide with a 5' wide access aisle for regular accessible spaces. 	3 - 8' x 8' van accessible spaces provided.	Yes	
Barrier Free Signs <i>MMUTCD / Barrier Free Code</i>	One sign for each accessible parking space.	Provided	Yes	
Site Standards: Bicycle Parking				
Minimum number of Bicycle Parking (Sec. 5.16.1)	- 1 space for each 5 dwelling units 203 units/5 = 41 required	44 spaces provided	Yes	Spaces designated as 12 near southwest end of property, should reflect 6 bike racks not 4.

Item	Required Code	Proposed	Meets Code	Comments
Bicycle Parking General requirements (Sec. 5.16)	<ul style="list-style-type: none"> - No farther than 120 ft. from the entrance being served. - When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations. - Spaces to be paved and the bike rack shall be inverted "U" design. - Shall be accessible via 6 ft. paved sidewalk. 	Covered bike parking within 120 ft. of clubhouse proposed on plans.	Yes	
Covered Bicycle Parking (Sec. 5.16.4)	When 20 or more bicycle parking spaces are required, 25% shall be covered spaces.	12 covered spaces next to the clubhouse proposed.	Yes	Provide elevation and materials of covered parking structure.
Bicycle Parking Lot layout (Sec 5.16.6)	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double	Proposed as required.	Yes	
Site Standards: Loading and Dumpsters				
Loading Spaces (Sec. 5.4)	<ul style="list-style-type: none"> - Loading, unloading space shall be provided in the rear yard at a ratio of 10 sq. ft. for each front foot of building. - Except in the case of a double frontage lot, loading-unloading, as well as trash receptacles may be located in an interior side yard beyond the minimum side yard setback requirement of the district. 940 sq. ft. for clubhouse	480 sq. ft. provided.	No	Applicant is seeking a waiver for the reduced loading zone area.
Dumpster (Sec 4.19.2.F)	<ul style="list-style-type: none"> - Located in rear yard or interior side yard in case of double frontage - Attached to the building or - No closer than 10 ft. from building if not attached - Not located in parking setback - If no setback, then it cannot be any closer than 10 ft. from property line. - Away from Barrier free 	Curbside trash pickup for residences and clubhouse. No dumpsters proposed.	NA	

Item	Required Code	Proposed	Meets Code	Comments
	Spaces			
Dumpster Enclosure (Sec. 21-145. (c))	<ul style="list-style-type: none"> - Screened from public view - A wall or fence 1 ft. higher than height of refuse bin - And no less than 5 ft. on three sides - Posts or bumpers to protect the screening - Hard surface pad. - Screening Materials: Masonry, wood or evergreen shrubbery 	NA	NA	
Site Standards: Lighting and Rooftop				
Exterior lighting (Sec. 5.7)	<p>All residential developments shall provide lighting at each entrance intersecting with a major thoroughfare sufficient to illuminate the entrance of the development.</p> <ul style="list-style-type: none"> - Minimum illumination shall be 0.2 fc - Fixtures shall not exceed 25 ft. - Lighting shall be subject to the requirements of this Section of the Zoning Ordinance. 	Lighting plan provided.	Yes	
Roof top equipment and wall mounted utility equipment (Sec. 4.19.2.E.ii)	All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building.	Unknown	No	Provide location of utility equipment.
Roof top appurtenances screening	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road or adjacent property.	Unknown	No	Provide location of utility equipment if on rooftop provide note that it will be screened.
Lighting and Photometric Plan (Sec. 5.7)				
Intent (Sec. 5.7.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of	Lighting plan provided	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	light into the night sky			
Lighting Plan (Sec. 5.7.A.1)	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures	Provided	Yes	
Lighting Plan (Sec.5.7.A.2)	Specifications for all proposed & existing lighting fixtures: <ul style="list-style-type: none"> ▪ Photometric data ▪ Fixture height ▪ Mounting & design ▪ Glare control devices ▪ Type & color rendition of lamps ▪ Hours of operation Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties	Provided	Yes	
Required Conditions (Sec. 5.7.3.A)	Height not to exceed maximum height of zoning district (or <u>25 ft.</u> where adjacent to residential districts or uses)	14 ft. maximum light pole height	Yes	
Required Conditions (Sec. 5.7.3.B)	<ul style="list-style-type: none"> ▪ Electrical service to light fixtures shall be placed underground ▪ Flashing light shall not be permitted ▪ Only necessary lighting for security purposes & limited operations shall be permitted after a site's hours of operation 			
Required Conditions (Sec.5.7.3.E)	Average to minimum light level of the surface being lit shall not exceed 4:1	3.5:1 proposed	Yes	
Required Conditions (Sec. 5.7.3.F)	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps	LEDs for light poles on Grand River Incandescent for lights within complex	No	LED should be used for all light fixtures.

Item	Required Code	Proposed	Meets Code	Comments
Min. Illumination (Sec. 5.7.3.k)	<ul style="list-style-type: none"> ▪ Parking areas: 0.2 min ▪ Loading & unloading areas: 0.4 min ▪ Walkways: 0.2 min ▪ Building entrances, frequent use: 1.0 min ▪ Building entrances, infrequent use: 0.2 min 	0.1 min 0.0 min 0.0 min 0.0 min 0.0 min	No	Provide the required minimum illumination for all areas on the site plan per Sec. 5.7.3.k.
Max. Illumination adjacent to Non-Residential (Sec. 5.7.3.K)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	0.0 minimum	Yes	
Cut off Angles (Sec. 5.7.3.L)	<ul style="list-style-type: none"> ▪ All cut off angles of fixtures must be 90° when adjacent to residential districts ▪ Maximum illumination at the property line shall not exceed 0.5 foot candle 	Proposed residential lighting does not have 90* cut off	No	Provide 90* cut off or request a variance
Site Standards: Streets & Sidewalks				
Frontage on a Public Street (Sec. 5.12)	Frontage on a Public Street is required	Frontage on Grand River	Yes	
Access to a Major Thoroughfare (Sec. 5.13)	Vehicular access provided to an existing or planned major thoroughfare	Access to Grand River	Yes	
Off-Road Non-Motorized Facilities <i>City Ordinance Ch. 11, Sec. 11-256</i>	<ul style="list-style-type: none"> - New streets shall have a sidewalk on both sides of the proposed street. - Sidewalks identified by the master plan as arterials and collectors shall be 6 ft. or 8 ft. wide designated by the Bike/Ped Plan. - Local streets and private roads shall be 5 ft. 	-Sidewalks on both sides of the street provided. -8 ft. sidewalk provided on Grand River -Local private streets 5 ft. provided.	Yes	
Pedestrian Connectivity	Whether the traffic circulation features within the site and location of automobile parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets	Visitor parking and garages connect to sidewalk network.	Yes	
Building Code and other design standard Requirements				
Building Exits	Building exits must be	Some of the clubhouse	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<i>Michigan Building Code 2012</i>	connected to sidewalk system or parking lot.	exits have access.		
Fences (Sec. 5.11)	<ul style="list-style-type: none"> - Cannot exceed 6 ft. - Front and back shall be the same. - No electric fences - Prohibited Materials - Maintenance - Uniformity - Exemptions 	<ul style="list-style-type: none"> - 5 ft. proposed - Same - Not electrified - Pre-finished black metal fence. - ½" square pickets with 2' square posts 	Yes	
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).	Provided	Yes	
Economic Impact	<ul style="list-style-type: none"> - Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied, if known) 	Project value of \$17,000,000. 320 people employed for two years. 12 people employed post project completion.	Yes	
Development/ Business Sign	<ul style="list-style-type: none"> - Signage if proposed requires a permit. - Exterior Signage is not regulated by the Planning Division or Planning Commission. 	<p>NA, Planning does not regulate</p> <p>See Grand River Corridor Study in the Master Plan for Land Use 2016 Draft.</p>	NA	<u>For sign permit information contact Jeannie Niland 248-347-0438.</u>
Project and Street Naming	Project and Street Names are to be approved for public safety concerns	<p>Applied for in 1-20-2015. Expires 1-20-2017.</p> <p>Applicant will resubmit for Foster and Midtown.</p>	Yes	<p>Project: Huntley Manor Streets: Huntley Blvd. *Foster and Midtown approved in 2005-2006</p>

Item	Required Code	Proposed	Meets Code	Comments
Legal Documents	<ul style="list-style-type: none"> - Special Development Agreement - Master Deed - Conservation Easement 	<ul style="list-style-type: none"> - City Council approved on July 13, 2015, New agreement needed. - Provide once Wetland/Woodland Permits executed. 	No	Work with planner to execute prior to stamping sets
Traffic Study	Traffic Study required for SDO	Provided study in 2014	Yes	Traffic stated that the previous study is acceptable.

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4, and 5 of the zoning ordinance for further details.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Division with future submittals.

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

08/29/2016

Engineering Review

HUNTLEY MANOR REVISED SITE PLAN

JSP16-0034

Applicant

GR MEADOWBROOK LLC

Review Type

Concept and Preliminary Site Plan

Property Characteristics

- Site Location: S. of Grand River Ave. and W. of Meadowbrook Rd.
- Site Size: 26.62 acres
- Plan Date: 08/03/16
- Design Engineer: Seiber Keast

Project Summary

- Construction of a 25 building, 203 unit residential development and associated parking. Site access would be provided by a boulevard entrance on Grand River Ave. Private roadways would provide access around the site. A 6-foot wide sidewalk would be constructed along the Grand River Ave. frontage in the R.O.W.
- Water service would be provided by an 8-inch extension from the existing 16-inch water main along the south side of Grand River Ave. and looped around the site along with 11 additional hydrants
- Sanitary sewer service would be provided by an 8-inch extension from the existing 8-inch sanitary sewer on the south side of Cherry Hill Rd.
- Storm water would be collected by a single storm sewer collection system and detained in the existing on-site detention basin.

Recommendation

Approval of the Concept and Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Concept and Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

Additional Comments (to be addressed prior to the Final Site Plan submittal):

General

1. A right-of-way permit will be required from the City of Novi and Oakland County.
2. Provide a construction materials table on the Utility Plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
3. Show all drives within 200 feet on plans.
4. Provide a stub street to the property boundary at intervals not to exceed 1,300 feet along the perimeter or **provide a variance application from Appendix C Section 4.04(A)(1)** of the Novi City Code. This request must be submitted under a separate cover. City staff would support this request.
5. Soil borings shall be provided for a preliminary review of the constructability of the proposed development (roads, basin, etc.). Borings identifying soil types, and groundwater elevation should be provided at the time of Preliminary Site plan.
6. Provide a note stating if dewatering is anticipated or encountered during construction a dewatering plan must be submitted to the Engineering Department for review.
7. Provide a traffic control plan for the proposed road work activity in Cherry Hill Rd. R.O.W.
8. Generally, all proposed trees shall remain outside utility easements. Where proposed trees are required within a utility easement, the trees shall maintain a minimum 5-foot horizontal separation distance from any existing or proposed utility. All utilities shall be shown on the landscape plan, or other appropriate sheet, to confirm the separation distance.
9. Provide a backflow prevention device on all irrigation systems. The backflow prevention device shall be an RPZ, or another approved device based on site conditions such as irrigation head heights (pop-ups), grade changes, berms etc. Please contact Kevin Roby in the Water and Sewer Division at 248-735-5640 with any questions.
10. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal. They can be found on the City website (www.cityofnovi.org/DesignManual).

Water Main

11. Provide a 20-foot wide public easement over the proposed water main.
12. Provide a profile for all proposed water main 8-inch and larger.

13. The water main stub to the east shall terminate with a hydrant followed by a valve in well. If the hydrant is not a requirement of the development at this location, the hydrant can be labeled as temporary allowing it to be relocated in the future.
14. Three (3) sealed sets of revised utility plans along with the MDEQ permit application (1/07 rev.) for water main construction and the Streamlined Water Main Permit Checklist should be submitted to the Engineering Division for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets.

Sanitary Sewer

15. Provide a 20-foot wide public easement over the proposed sanitary sewer.
16. Provide a testing bulkhead immediately upstream of the sanitary connection point. Additionally, provide a temporary 1-foot deep sump in the first sanitary structure proposed upstream of the connection point, and provide a secondary watertight bulkhead in the downstream side of this structure.
17. Provide a profile for all proposed sanitary sewer 8-inch and larger.
18. Note on the construction materials table that 6-inch sanitary leads shall be a minimum SDR 23.5, and mains shall be SDR 26.
19. Provide a note on the Utility Plan and sanitary profile stating the sanitary leads will be buried at least 5 feet deep where under the influence of pavement.
20. Seven (7) sealed sets of revised utility plans along with the MDEQ permit application (04/14 rev.) for sanitary sewer construction and the Streamlined Sanitary Sewer Permit Certification Checklist should be submitted to the Engineering Division for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets. Also, the MDEQ can be contacted for an expedited review by their office.

Storm Sewer

21. A minimum cover depth of 3 feet shall be maintained over all storm sewers. Currently, a few pipe sections do not meet this standard. Grades shall be elevated and minimum pipe slopes shall be used to maximize the cover depth. In situations where the minimum cover cannot be achieved, Class V pipe must be used with an absolute minimum cover depth of 2 feet. An explanation shall be provided where the cover depth cannot be provided.
22. Provide a 0.1-foot drop in the downstream invert of all storm structures where a change in direction of 30 degrees or greater occurs.
23. Match the 0.80 diameter depth above invert for pipe size increases.
24. Storm manholes with differences in invert elevations exceeding two feet shall contain a 2-foot deep plunge pool.
25. Label all inlet storm structures on the profiles. Inlets are only permitted in paved areas and when followed by a catch basin within 50 feet.
26. Label the 10-year HGL on the storm sewer profiles, and ensure the HGL remains at least 1-foot below the rim of each structure.

27. Provide a profile for all storm sewer 12-inches or larger.
28. Provide a schedule listing the casting type and other relevant information for each proposed storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.
29. Show and label all roof conductors, and show where they tie into the storm sewer.

Storm Water Management Plan

30. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual.
31. Provide a drainage area map.
32. Provide a 5-foot wide stone bridge allowing direct access to the standpipe from the bank of the basin during high-water conditions (i.e. stone 6-inches above high water elevation). Provide a detail and/or note as necessary.
33. A 4-foot wide safety shelf is required one-foot below the permanent water surface elevation within the basin.
34. A 25-foot wide vegetated buffer shall be provided around the perimeter of each storm water basin. This buffer cannot encroach onto adjacent lots.

Paving & Grading

35. Provide a proposed grading plan.
36. Provide crosswalks at the intersection of Midtown Circle and Foster Drive between building 9 and 10.
37. Add a note to the plan stating that the emergency access gate is to be installed and closed prior to the issuance of the first TCO in the subdivision.
38. The right-of-way sidewalk shall continue through the drive approach. The thickness of the sidewalk shall be increased to 8 inches across the drive approach. Provide additional spot grades as necessary to verify the maximum 2-percent cross-slope is maintained along the walk.
39. Provide cross-sections for all proposed paving.
40. Provide at least 3-foot of buffer distance between the sidewalk and any fixed objects, including hydrants. Note on the plan any location where the 3-foot separation cannot be provided.
41. The grade of the drive approach shall not exceed 2-percent within the first 25 feet of the intersection. Provide spot grades as necessary to establish this grade.
42. Provide top of curb/walk and pavement/gutter grades to indicate height of curb adjacent to parking stalls or drive areas.
43. Soil borings along the proposed road will be required at 500 foot intervals per Section 11-195(d) of the Design and Construction Standards. A minimum of 7 borings meeting ordinance requirements will be acceptable.
44. Per Section 26.5-35(c), a statement is required on any plan containing a private street with the following language: "City of Novi has no responsibility

to improve or maintain the private streets contained within or private streets providing access to the property described in this plan".

Soil Erosion

45. An SESC permit is required. A full review has not been done at this time. The review checklist detailing all SESC requirements is attached to this letter. Please submit a SESC permit application under a separate cover. The application can be found on the City's website at <http://cityofnovi.org/Reference/Forms-and-Permits.aspx>.

The following must be submitted at the time of Final Site Plan submittal:

46. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).
47. Draft copies of any off-site utility easements, a recent title search, and legal escrow funds must be submitted to the Community Development Department for review and approved by the Engineering Division and the City Attorney prior to getting executed.

The following must be submitted at the time of Stamping Set submittal:

48. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
49. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.
50. A draft copy of the 20-foot wide easement for the sanitary sewer to be constructed on the site must be submitted to the Community Development Department.
51. Executed copies of any required off-site utility easements must be submitted to the Community Development Department.

The following must be addressed prior to construction:

52. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).

53. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.
54. An NPDES permit must be obtained from the MDEQ because the site is over 5 acres in size. The MDEQ requires an approved plan to be submitted with the Notice of Coverage.
55. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
56. A permit for work within the right-of-way of Grand River Ave. and Cherry hill Rd. must be obtained from the City of Novi. The application is available from the City Engineering Division and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Division at 248-347-0454 for further information.
57. A permit for work within the right-of-way of Grand River Ave. must be obtained from the Road Commission for Oakland County. Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the City. Provide a note on the plans indicating all work within the right-of-way will be constructed in accordance with the Road Commission for Oakland County standards.
58. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the water main plans have been approved.
59. A permit for sanitary sewer construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the sanitary sewer plans have been approved.
60. Construction Inspection Fees, to be determined once the construction cost estimate is submitted, must be paid prior to the pre-construction meeting.
61. A storm water performance guarantee, equal to 1.2 times the amount required to complete storm water management and facilities as specified in the Storm Water Management Ordinance, must be posted at the Treasurer's Office.
62. An incomplete site work performance guarantee, equal to 1.2 times the amount required to complete the site improvements (excluding the storm water detention facilities) as specified in the Performance Guarantee Ordinance, must be posted at the Treasurer's Office.
63. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Jeremy Miller at (248) 735-5694 with any questions.



cc: Theresa Bridges, Engineering
Rob Hayes, Engineering
Kirsten Mellem, Community Development
Sabrina Lilla, Water & Sewer

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

August 23, 2016

Preliminary Site Plan - Landscaping

Huntley Manor

Review Type

Preliminary Site Plan Landscape Review

Property Characteristics

- Site Location: Grand River, west of Meadowbrook
- Site Zoning: GE
- Adjacent Zoning: East – NCC, OS-1; South – R-4, West – RM-1,NCC; North – NCC, B-3
- Plan Date: 8/3/2016

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the next plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance.

Recommendation

This plan is **recommended for approval, subject to the necessary waivers being granted.** There are some minor outstanding items that should be addressed on the Final Site Plans.

Ordinance Considerations

Existing Soils (Preliminary Site Plan checklist #10, #17)

Provided on Sheet 2.

Existing and proposed overhead and underground utilities, including hydrants.(LDM 2.e.(4))

1. All utilities, existing and propose, are shown on the Landscape Plan.
2. **Please move all trees at least 10 feet away from fire hydrants and utility structures, and 5 feet away from the 16" water main along Grand River.**

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. No woodland trees are impacted as the site was cleared for a previous project (Brooktown).
2. **Please show all previously planted woodland replacement trees near the construction limits, where they might be impacted. A note stating that all woodland replacement trees damaged or removed during construction will be replace, but there is no way of knowing on the plans what the existing conditions are, to verify that this will be carried out.**
3. **Please show existing tree labels on the Landscape Plans for use during inspections.**

Proposed trees to be saved (Sec 37 Woodland Protection 37-9, LDM 2.e.(1))

1. **As mentioned above, all woodland replacement trees in the vicinity of construction should be added to the plan (even if their dbh is less than 8") to verify their presence.**
2. **Please show the tree ids of all existing trees to be saved on the landscape plans.**

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. Property is adjacent to R-4 on the south. As such, no berm is required.
2. While much of the southern boundary is heavily vegetated with existing trees, both naturally occurring and planted, additional plantings are proposed in the southeast corner, west of the detention pond, to provide additional screening. **If the screening proves to be insufficient during the landscape inspection to screen the project from the neighbors to the south, more trees may need to be added. Please add a note to this effect in the area described.**

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. **A landscape waiver to provide a decorative fence instead of a berm along the right-of-way is necessary.** Please add a list of all requested landscape waivers to Sheet L100 that includes this waiver request.
2. The required quantity of trees has been provided (a total of 72 trees), but the entire subcanopy tree requirement was filled by Western arborvitaes. **At least half of the subcanopy trees should be deciduous subcanopy trees, per the Zoning Ordinance definition.**
3. **Please use a different species than Norway Maple, which is invasive. Per the definition of deciduous canopy trees, the tree species should have a mature canopy width of at least 20 feet and height of 30 feet.**

Street Tree Requirements (Zoning Sec. 5.5.3.E.i.c , 5.5.3.E.ii and LDM 1.d.)

1. GRAND RIVER: Based on the frontage, 23 deciduous canopy trees are required, and are provided. The trees west of the entrance need to be relocated to be at least 5 feet away from the 16" underground water main.
2. INTERIOR: The required number of trees, 160, has been provided along the interior roads and in other interior locations where there wasn't sufficient room along the roads. This is acceptable.

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. Based on the vehicular use areas, 10 trees are required and are provided.
2. **Please indicate, with quantity (SF) labels, which areas are for parking lot landscaping and which Vehicular Use Areas are used for calculations.**

Parking Lot Perimeter Canopy Trees (Zoning Sec. 5.5.3.C.(3) Chart footnote)

1. As all of the parking areas are very small, and other landscaping provides sufficient edge landscaping for the parking areas, no additional perimeter trees are provided. This requires a deviation from ordinance standards, and is supported.
2. **In this case, this is acceptable, although the calculations should be provided and a landscaping waiver should be requested.**

Multi-family Landscaping (Zoning Sec. 5.5.3.E.ii.)

3 trees are required for each ground level dwelling unit. This works out to 240 required deciduous or evergreen trees. The required number of trees is provided.

Building Foundation Landscaping (Zoning Sec 5.5.3.D.)

60% of the building frontage facing the road is required to be landscaped. All buildings meet or exceed this requirement.

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 1.d.(3))

1. Trees have been provided in lieu of the required large native shrubs. **Please add this requested waiver to the list on Sheet L100 requested above. Justification for this waiver should be provided.**

2. If the waiver is not requested, the required large native shrubs around 70% of the pond perimeter must be provided. The trees currently provided could be maintained on the plan, in addition to the required shrubs.

Corner Clearance (Zoning Sec 5.9)

1. Please show the required corner clearance zones at all intersections. Specifics regarding these are provided on the Landscape Chart.
2. All vegetation taller than 24" above street level should be removed from the clearance zones.

Proposed topography. 2' contour minimum (LDM 2.e.(1))

Please provide proposed topography in the plan set. Spot elevations should not be on the landscape plan, but if proposed contours are available, please add those.

Snow Deposit (LDM.2.q.)

Snow deposit areas are indicated.

Plant List (LDM 2.h. and t.)

1. Plant list is provided with the costs of plantings, is provided.
2. Please replace the Norway maples with a non-invasive species.

Planting Notations and Details (LDM)

1. Planting details are provided.
2. Please amend the plant mix to include compost, not Canadian Peat as the peat is obtained through the destruction of natural wetland habitats.
3. Please add a note stating that the root ball dirt should not reach above the tree's root flare as this can lead to unhealthy conditions for the tree's growth.

Irrigation (LDM 1.a.(1)(e) and 2.s)

Irrigation plans for all landscaped areas are required with the Final Site Plans.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader@cityofnovi.org.



Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART

Review Date: August 22, 2016
Project Name: JSP16 – 0034: HUNTLEY MANOR SDO
Plan Date: August 3, 2016
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan.
Underlined items need to be addressed for Final Site Plan.

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements – Basic Information (LDM (2))				
Landscape Plan (Zoning Sec 5.5.2, LDM 2.e)	<ul style="list-style-type: none"> ▪ New commercial or residential developments ▪ Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. ▪ 1"-20' minimum with proper North. Variations from this scale can be approved by LA 	Yes	Yes	Sheets are 1"=30' and 1"=10'
Owner/Developer Contact Information (LDM 2.a.)	Name, address and telephone number of the owner and developer or association	Yes	Yes	
Landscape Architect contact information (LDM 2.b.)	Name, Address and telephone number of RLA	Yes	Yes	
Survey information (LDM 2.c.)	Legal description or boundary line survey	Yes/No	Yes/No	1. Description on Sheet 1. 2. No Topo Survey provided. 3. Please provide topo survey/ existing conditions sheet in set.
Project Information (LDM 2.d.)	Name and Address	Yes	Yes	
Sealed by LA. (LDM 2.g.)	Requires original signature	Yes	Yes	<u>Signed plans needed for Final Site Plan</u>
Miss Dig Note (800) 482-7171 (LDM.3.a.(8))	Show on all plan sheets	Yes	Yes	
EXISTING CONDITIONS				
Existing plant material	Show location type and	Yes	Yes	1. Provided on Sheet 3.

Item	Required	Proposed	Meets Code	Comments
Existing woodlands or wetlands (LDM 2.e.(2))	size. Label to be saved or removed. Plan shall state if none exists.			2. Please show tree ids of trees to remain on landscape plans. 3. Please identify which trees in the vicinity of work are woodland replacement trees from Brooktown project.
Soil type (LDM.2.r.)	As determined by Soils survey of Oakland county	Yes	Yes	Sheet 2
Zoning (LDM 2.f.)	Include site and all adjacent zoning	No	No	Please show on Sheet 1
PROPOSED IMPROVEMENTS				
Existing and proposed improvements (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Yes	Yes	
Existing and proposed utilities (LDM 2.e.(4))	Overhead and underground utilities, including hydrants	Yes	Yes	
Proposed topography - 2' contour minimum (LDM 2.e.(1))	Provide proposed contours at 2' interval	No	No	
Clear Zones (LDM 2.e.(5))	25 ft. corner clearance required. Refer to Zoning Sec 5.5.9	No	No	1. Please show clear zones for all exterior and interior roads on landscape plans. 2. Please remove trees from within clear vision zones (including emergency access to Grand River). 3. Driveways shall have a ten (10) foot clear view zone as measured from the back of curb and edge of drive.
LANDSCAPING REQUIREMENTS				
Berms and ROW Planting				
All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours Berm should be located on lot line except in conflict with utilities. Berms should be constructed with 6" of top soil.				
Residential Adjacent to Non-residential (Sec 5.5.3.A) & (LDM 1.a)				
Berm requirements	Refer to Residential	No	No	1. Berm is not required

Item	Required	Proposed	Meets Code	Comments
(Zoning Sec 5.5.A)	Adjacent to Non-residential berm requirements chart			between development and property to south. 2. Existing trees are preserved and additional trees are provided along south property line to screen residences to south. 3. This appears to be sufficient, but if landscape inspection reveals that more is needed, it must be added. 4. Please add a note to this effect to Sheet L103.
Planting requirements (LDM 1.a.)	LDM Novi Street Tree List	Yes	Yes	
Adjacent to Public Rights-of-Way (Sec 5.5.B) and (LDM 1.b)				
Berm requirements (Zoning Sec 5.5.3.A.(5))	Refer to ROW landscape screening requirements chart for corresponding requirements.	No		1. A decorative fence is proposed in lieu of a berm, as was proposed for the previous submittal. 2. A new landscaping waiver is required to use a decorative fence instead of a berm. Please add this waiver request in a list with other waivers requested on Sheet L100.
Planting requirements (LDM 1.a.)	LDM Novi Street Tree List	NA		
Street tree requirements (Zoning Sec 5.5.3.B.ii)	No street trees within 25 ft. clear vision triangle	Yes	Yes	
ROW Landscape Screening Requirements Chart (Sec 5.5.3.B. ii)				
Greenbelt width (2)(3) (5)	No parking: 25 ft	No		See above
Min. berm crest width	No parking: 3 ft	No		See above
Minimum berm height (9)	No parking: 3 ft	No		See above
3' wall	(4)(7)	Yes	TBD	1. Decorative fence and sign walls proposed.

Item	Required	Proposed	Meets Code	Comments
				2. Engineer will need to design, sign & seal wall since it is over 3 feet tall.
Canopy deciduous or large evergreen trees Notes (1) (10)	<ul style="list-style-type: none"> ▪ Use NCC zoning ▪ No Parking: 1 per 40 lf ▪ 1035/40 = 26 trees 	30 trees	Yes	If desired, 4 fewer trees can be provided.
Sub-canopy deciduous trees Notes (2)(10)	<ul style="list-style-type: none"> ▪ Use NCC zoning ▪ No Parking: 1 per 25 lf ▪ 1035/25 = 41 trees 	42 trees	No	Per the Zoning Ordinance definitions, a sub-canopy deciduous tree is "A woody plant with a perennial trunk which at maturity is fifteen (15) feet to twenty nine (29) feet in height and a minimum of eight (8) feet in width and which has a crown of foliage which falls off each winter." Western arborvitae are proposed to meet the entire subcanopy requirement. While we can allow some arborvitae to provide year-round screening from Grand River, at least half of the requirement should be met with deciduous subcanopy species.
Canopy deciduous trees in area between sidewalk and curb	<ul style="list-style-type: none"> ▪ Use NCC zoning ▪ No Parking: 1 per 45 lf ▪ 1035/45 = 23 trees 	23 trees	Yes	
Parking Area Landscape Requirements LDM 1.c. & Calculations (LDM 2.o.)				
General requirements (LDM 1.c)	<ul style="list-style-type: none"> ▪ Clear sight distance within parking islands ▪ No evergreen trees 	No	No	Please add clear vision zones to plans and move trees out of them.
Name, type and number of ground cover (LDM 1.c.(5))	As proposed on planting islands	Yes	Yes	Sod is indicated.
General (Zoning Sec 5.5.3.C.ii)				
Parking lot Islands (a, b. i)	<ul style="list-style-type: none"> ▪ A minimum of 300 SF to qualify ▪ 6" curbs ▪ Islands minimum width 10' BOC to BOC 	Yes	Yes	Please indicate the area in SF of each parking island.

Item	Required	Proposed	Meets Code	Comments
Curbs and Parking stall reduction (c)	Parking stall can be reduced to 17' with 4" curb adjacent to a sidewalk of minimum 7 ft	Yes	Yes	
Contiguous space limit (i)	Maximum of 15 contiguous spaces	Max 12 space bay	Yes	
Snow deposit (LDM.2.q.)	Show snow deposit areas on plan	Yes	Yes	
Plantings around Fire Hydrant (d)	No plantings with matured height greater than 12' within 10 ft. of fire hydrants	No	No	<ol style="list-style-type: none"> 1. Please move trees to at least 10 feet away from hydrants and other utility structures. 2. Please move street trees along Grand River to at least 5 feet away from underground water main.
Landscaped area (g)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes	Yes	
Name, type and number of ground cover (LDM 1.c.(5))	As proposed on planting islands	Yes	Yes	Sod is indicated for all areas except around the detention pond and in the Grand River right-of-way.
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of parking spaces not including access aisles x 10%	<ul style="list-style-type: none"> ▪ A = x 10% = sf ▪ 6840 x 10% = 684 sf 	Not indicated	Not sure	
B = Total square footage of additional paved vehicular use areas (not including A) under 50,000 SF) x 5%	<ul style="list-style-type: none"> ▪ B = x 5% = sf ▪ Paved Vehicular access area includes loading areas 	NA		
C= Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 1 %	<ul style="list-style-type: none"> ▪ C = x 1% = sf 	NA		
Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)				
A. = Total square footage of parking spaces not including	A = x 7% = sf	NA		

Item	Required	Proposed	Meets Code	Comments
access aisles x 7%				
B = Total square footage of additional Paved vehicular use areas (not including A) under 50,000 SF) x 2%	$B = \text{ } \times 2\% = \text{ } \text{ sf}$	NA		
C= Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 0.5%	$C = \text{ } \times 0.5\% = \text{ } \text{ SF}$	NA		
All Categories				
D = A+B or A+C Total square footage of landscaped islands	$684 + B + C = 684 \text{ SF}$	Not clear	Not sure	Please label areas of islands provided and include in calculations.
E = D/75 Number of canopy trees required	$684/75 = 9 \text{ Trees}$	10	Yes	
Perimeter Green space	<ul style="list-style-type: none"> ▪ 1 Canopy tree per 35 lf ▪ Sub-canopy trees can be used under overhead utility lines. 	None provided	No	Not necessary as other required landscaping provides perimeter cover.
Parking land banked	NA	No		
Multi-Family Residential Zoning Sec 5.5.3.E.iii & LDM 1.d (2)				
Building Landscaping (Zoning Sec 5.5.3.E.ii.)	<ul style="list-style-type: none"> • 3 deciduous canopy trees or large evergreen trees per dwelling unit on the first floor. • 80 units x 3 = 240 trees • 60% of building frontage should be landscaped. 	240 trees	Yes	
Miscellaneous Landscaping Requirements				
Transformers/Utility boxes (LDM 1.e from 1 through 5)	<ul style="list-style-type: none"> ▪ A minimum of 2ft. separation between box and the plants ▪ Ground cover below 4" is allowed up to pad. ▪ No plant materials within 8 ft. from the doors 	No	No	<ol style="list-style-type: none"> 1. Locations not available yet. 2. Detail is provided along with note stating that utilities must be screened and will be checked at final landscape inspection. <u>This is acceptable.</u>
Detention/Retention Basin Planting	<ul style="list-style-type: none"> ▪ Clusters shall cover 70-75% of the basin rim 	No	No	<ol style="list-style-type: none"> 1. Trees and meadow mix are provided

Item	Required	Proposed	Meets Code	Comments
requirements (Sec. 5.5.3.E.iv)	<p>area</p> <ul style="list-style-type: none"> ▪ 10" to 14" tall grass along sides of basin ▪ Refer to wetland for basin mix ▪ Include seed mix details on landscape plan 			<p>around detention pond in lieu of required shrubs.</p> <p>2. As this is being treated as a new project, a landscape waiver must be requested for the proposed arrangement. Please add this waiver request to the list mentioned for the fence along Grand River. Please note that justification for the substitution must be provided.</p> <p>3. If a waiver isn't requested, the required large native shrubs must be provided. The proposed trees could still be included in the detention pond open space area, in addition to the shrubs, if desired.</p>
General Landscape Requirements (LDM 3)				
General Conditions (LDM 3.a)	Plant materials shall not be planted within 4 ft. of property line	No	No	Please add note near plantings along property lines.
Irrigation plan (LDM 2.s.)	A fully automatic irrigation system and a method of draining is required with Final Site Plan	No		<p>1. A note stating that the landscaping shall be irrigated is provided.</p> <p>2. Actual irrigation plans are required for Final Site Plans.</p>
Other information (LDM 2.u)	Required by Planning Commission	NA		
Landscape tree credit (LDM3.b.(d))	Substitutions to landscape standards for preserved canopy trees outside woodlands/wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM	No		

Item	Required	Proposed	Meets Code	Comments
Plant Sizes for ROW, Woodland replacement and others (LDM 3.c)	Canopy Deciduous shall be 3" and sub-canopy deciduous shall be 2.5" caliper. Refer to section for more details	Yes	Yes	
Plant size credit (LDM3.c.(2))	NA	No		
Prohibited Plants (LDM 3.d)		Yes	Yes	Please replace the Norway Maples with a non-invasive species.
Recommended trees for planting under overhead utilities (LDM 3.e)	Label the distance from the overhead utilities	No		
Collected or Transplanted trees (LDM 3.f)		No		
Nonliving Durable Material: Mulch (LDM 4)	<ul style="list-style-type: none"> ▪ Trees shall be mulched to 4" depth and shrubs, groundcovers to 3" depth ▪ Specify natural color, finely shredded hardwood bark mulch. ▪ Include in cost estimate. ▪ Refer to section for additional information 	Yes	Yes	<ol style="list-style-type: none"> 1. Please revise plant mix, shown on Sheets L101-L108, to use compost instead of Canadian Peat. Canadian peat is obtained by harvesting from wetlands, damaging those ecosystems. 2. Please add "natural in color" to note regarding mulch.
Landscape Notes and Details- Utilize City of Novi Standard Notes				
Plant List (LDM 2.h.) - Include all cost estimates				
Quantities and sizes		Yes	Yes	
Root type		Yes	Yes	Please add a note in the general planting notes that the root ball dirt should not be higher than the root flare.
Botanical and common names	Refer to LDM suggested plant list	Yes	Yes	
Type and amount of lawn		Yes/No	Yes/No	<u>Need quantities for final site plan</u>
Cost estimate (LDM 2.t)	For all new plantings, mulch and sod as listed on the plan	Yes	Yes	<u>Need for final site plan</u>
Planting Details/Info (LDM 2.i) - Utilize City of Novi Standard Details				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
Evergreen Tree		Yes	Yes	
Shrub		Yes	Yes	
Perennial/ Ground Cover	Wood stakes, fabric guys.	Yes	Yes	
Tree stakes and guys	Wood stakes, fabric guys.	Yes	Yes	
Cross-Section of Berms (LDM 2.j)				
Slope, height and width	<ul style="list-style-type: none"> ▪ Label contour lines ▪ Maximum 33% Min. 5 feet flat horizontal area 	NA		No berms are provided.
Type of Ground Cover		NA		
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole, 10 feet from structures, hydrants	NA		
Walls (LDM 2.k & Zoning Sec 5.5.3.vi)				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	Yes	TBD	See below
Walls greater than 3 ½ ft. should be designed and sealed by an Engineer		Yes	TBD	Wall details need to be designed, signed and sealed since they are over 3 feet tall.
Notes (LDM 2.i) – Utilize City of Novi Standard Details				
Installation date (LDM 2.i. & Zoning Sec 5.5.5.B)	<ul style="list-style-type: none"> ▪ Provide intended date ▪ Between Mar 15 – Nov 15 	Between Mar 15 and Nov 15	Yes	
Maintenance & Statement of intent (LDM 2.m & Zoning Sec 5.5.6)	<ul style="list-style-type: none"> ▪ Include statement of intent to install and guarantee all materials for 2 years. ▪ Include a minimum one cultivation in June, July and August for the 2-year warranty period. 	No	No	Add notes
Plant source (LDM 2.n & LDM 3.a.(2))	Shall be northern nursery grown, No.1 grade.	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
Establishment period (Zoning Sec 5.5.6.B)	2 yr. Guarantee	Yes	Yes	
Approval of substitutions. (Zoning Sec 5.5.5.E)	City must approve any substitutions <u>in writing</u> prior to installation.	Yes	Yes	

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

TRAFFIC REVIEW

Memorandum

To Barbara McBeth, AICP Page 1
 CC Sri Komaragiri, Kirsten Mellem, Brian Coburn, Jeremy Miller, Richelle Leskun
 Subject JSP 16-0034 – Huntley Manor – Pre-App – Traffic Review

From Matt Klawon, PE
 Date August 25, 2016

The preliminary site plan was reviewed to the level of detail provided and AECOM **recommends approval** for the applicant to move forward with the condition that the comments provided below are adequately addressed to the satisfaction of the City.

GENERAL COMMENTS

1. The applicant GR Meadowbrook LLC is proposing a multi-family apartment complex on the sound side of Grand River Avenue to the west of Meadowbrook Road.
2. The existing zoning is GE (Gateway East). The applicant is not proposing a zoning change although the existing zoning does not permit residential developments as a permitted use; unless, the land use is approved by City Council.

TRAFFIC IMPACTS

1. AECOM performed an initial trip generation estimate based on the ITE Trip Generation Manual, 9th Edition, as follows:

ITE Code: 220 (Apartment)
 Development-specific Quantity: 210 Dwelling Units
 Zoning Change: None

Trip Generation Summary					
	City of Novi Threshold	Estimated Trips (Permitted under existing zoning)	Estimated Trips (Permitted under proposed zoning)	Proposed Development	Analysis
AM Peak-Hour, Peak-Direction	100	N/A	N/A	86	

Trips					
PM Peak-Hour, Peak-Direction Trips	100	N/A	N/A	87	
Daily (One-Directional) Trips	750	N/A	N/A	1,397	

- The number of trips does exceed the City’s threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour. However, a traffic impact study (TIS) for this development was completed in November of 2014 for the proposed 210 apartment units. The TIS accounted for a 1% growth rate in traffic and resulted in acceptable levels of delay for the development and all impacted roadways. AECOM recommends performing the following traffic impact study in accordance with the City’s requirements:

Traffic Impact Study Recommendation	
Type of Study	Justification
None	Previously completed traffic impact study in November 2014.

EXTERNAL SITE ACCESS AND OPERATIONS

The following comments relate to the external interface between the proposed development and the surrounding roadway(s).

- The boulevard entrance design at the interface of Grand River Avenue and Brooktown Boulevard is in compliance with City standards.
- The driveway spacing between the proposed driveway and the Michigan Mobile Glass driveway to the east exceeds the City’s threshold of 275 ft for a 50 mph roadway, measured from the near approach curb to the near approach curb.
- An adequate number of site access drives are provided.
- The Brooktown Boulevard driveway is aligned with Portico Lane (Gateway Village of Novi Condominiums) on the north side of Grand River.
- The emergency access driveway detail complies with City of Novi standards.

INTERNAL SITE OPERATIONS

The following comments relate to the on-site design and traffic flow operations.

- General traffic flow
 - There are two curves along Foster Drive with a centerline radius less than 100 feet. City of Novi Zoning Ordinance Section 5.10.1.B.iv states that, for major and minor private drives, the minimum centerline radius shall be one-hundred (100) feet, in accordance with the American Association of State Highway and Transportation Officials (AASHTO)

minimum local street standards. **The applicant should update the radii or request a Planning Commission variance for the radii not meeting minimum standards.**

- b. There are no loading zones required for the proposed land use. However, there is a loading zone provided which does not appear to be accessible by a large vehicle. The applicant should provide truck travel paths if expected to access the loading zone. There is proposed curb side trash pick-up for this development.
2. Parking facilities
- a. The number of proposed parking spaces shown in this plans is four per unit. This exceeds the City of Novi's standards outlined in the Zoning Ordinance.
 - b. The applicant has also provided 40 visitor parking spaces throughout the development, which are designed in compliance with City Ordinances.
 - c. The applicant has proposed parking spaces of both 19 feet in length and 17 feet in length with a 4" curb. The plans should clarify if 6" curb is to be used at spaces that are 19' in length.
 - d. There is a proposed 22 foot width for a two-way travel lane between rows of parking spaces (in this case, the driveways serve as perpendicular parking).
 - i. The City Code of Ordinances, Chapter 11, requires 22 feet for an alley.
 - ii. The City of Novi Zoning Ordinance requires a width of 24 feet for a two-way travel lane between parking rows.
 - iii. **The City should either determine that the driveways serve as alleys or the applicant should:**
 - 1. **Increase the driveway width to be a minimum of 24 feet to ensure proper space for maneuvering, OR**
 - 2. **Request a variance for not meeting the minimum 24-foot width.**
 - e. Parking end islands must be three feet shorter than the adjacent parking space. Add dimensions or notes to plan set.
 - f. Update plans to show inside and outside parking end island radii.
 - g. Two ADA parking spaces are provided in the lot northeast of the clubhouse and one is located adjacent to the mail box station, which meets the requirements given by the 2010 ADA standards. The parking space dimensions and proposed signing also meet the requirements given by the 2010 ADA standards.
 - h. The City of Novi Zoning Ordinance requires one bicycle parking space for every five units. The applicant has provided four bicycle parking areas throughout the site totaling 44 bicycle parking spaces.
3. Sidewalk Requirements
- a. The proposed typical sidewalk width of five feet complies with City standards; however, it appears that, in some areas, the sidewalk width exceeds five feet. Please indicate and dimension these areas on the plans.
 - b. Provide a detail for proposed ADA ramps.
 - c. The development is compliant with the City's Non-Motorized Master Plan.
 - d. Consider removing the midblock crosswalks on Foster Drive and Midtown Circle or consider placing W11-2 pedestrian warning signs on approach to the crosswalk.
4. All on-site signing and pavement markings shall be in compliance with the Michigan Manual on Uniform Traffic Control Devices. The following is a discussion of the proposed signing and pavement markings.
- a. The applicant has indicated areas where on-street parking is permitted throughout the site; however, signing details have not been included to notify drivers where parking is

prohibited. The applicant should include applicable “No Parking” signing details and locations in future submittals.

- b. The sign quantities table indicates that six 8” street name signs will be installed atop the “Yield” signs. The applicant should confirm that only six signs are required, as it appears that there are four unique internal intersections controlled by yield signs, therefore, a total of eight street name signs would be required.
- c. In addition to the aforementioned van accessible plaque, insert ADA parking signs into sign quantities.
- d. Provide additional pavement marking details for crosswalks, ADA pavement markings, and ADA signing.
- e. Provide details related to the color and width of the proposed pavement markings throughout the site.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Maureen Peters, PE
Reviewer, Traffic/ITS Engineer



Matthew G. Klawon, PE
Manager, Traffic Engineering and ITS
Engineering Services

FAÇADE REVIEW



August 25, 2015

Review Status Summary:

Approved, Section 9 Waiver Recommended.

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Director of Community Development

Re: **FACADE ORDINANCE REVIEW – Preliminary Site Plan**
Huntley Manor, PSP16-0118
 Façade Region: 1, Zoning District: GE

Dear Ms. McBeth:

The following is our updated Facade Review based on the conceptual drawings dated 8/2/16, prepared by Alexandre V Bogaerts, Architects. The percentages of materials proposed for each model are as shown in the tables below. The maximum (and minimum) percentages allowed by the Schedule Regulating Façade Materials of Ordinance Section 5.15 are shown in the right hand column. Materials that are in non-compliance with the Facade Schedule are highlighted in bold.

Elevation A	Front	Rear	Right Side	Left Side	Ordinance Maximum (Minimum)
Brick	35%	40%	15%	15%	100% (30% Min)
Horizontal Siding	10%	20%	40%	40%	50% (Note 11)
Asphalt Shingles	50%	30%	30%	30%	25%
Wood Trim, columns, shutters	5%	10%	15%	15%	15%

Elevation B	Front	Rear	Right Side	Left Side	Ordinance Maximum (Minimum)
Brick	40%	40%	15%	15%	100% (30% Min)
Horizontal Siding	5%	20%	40%	40%	50% (Note 11)
Asphalt Shingles	50%	30%	30%	30%	25%
Wood Trim, columns, shutters	5%	10%	15%	15%	15%

Elevation C	Front	Rear	Right Side	Left Side	Ordinance Maximum (Minimum)
Brick	40%	40%	15%	15%	100% (30% Min)
Horizontal Siding	5%	20%	40%	40%	50% (Note 11)
Asphalt Shingles	50%	30%	30%	30%	25%
Wood Trim, columns, shutters	5%	10%	15%	15%	15%

Clubhouse (Sheet A-6)	Front	Rear	Right Side	Left Side	Ordinance Maximum (Minimum)
Brick	20%	30%	30%	30%	100% (30% Min)
Stone	15%	10%	0%	15%	100%
Limestone	2%				
Shake Siding	5%	10%	0%	0%	50% (Note 11)
Horizontal Siding	10%	5%	15%	15%	50% (Note 11)
Asphalt Shingles	38%	35%	35%	30%	25%
Wood Trim, Columns, etc.	10%	10%	20%	10%	15%

Mail Box Kiosk	Front	Rear	Right Side	Left Side	Ordinance Maximum (Minimum)
Brick	75%	80%	90%	90%	100% (30% Min)
Horizontal Siding	5%	5%	5%	5%	50% (Note 11)
Asphalt Shingles	10%	10%	0%	0%	25%
Wood Trim, columns, shutters	10%	5%	5%	5%	15%

As shown above the minimum amount of Brick is not provided on the side elevations and the percentage of Asphalt Shingles exceeds the maximum amount allowed by the Ordinance on all elevations. These deviations would require a Waiver in accordance with section 5.15.9 of the Façade Ordinance.

The front facades exhibit well-balanced massing with architectural details such as shutters, columns and decorative balustrades with an aesthetically pleasing composition of high quality materials. The areas of Asphalt Shingles are mitigated by roof line articulation including gables, Dutch hips and full return cornices. Extensive brick details are incorporated including quoins, soldier courses, arched windows, garage doors headers, limestone inlays, and rowlock sills. Areas of wood siding are accented with corner batten boards, crown molded window headers, and window surrounds. The rear facades indicate brick extending up to the second floor belt line. The material samples depicted on sheet A-13 indicate carefully coordinated colors and textures for all materials.

Recommendation - It is our recommendation that the drawings are consistent with the intent and purpose of the Façade Ordinance and that a Façade Waiver in accordance with Section 5.15.9 be granted for the overage of Asphalt Shingles on all elevations and underage of Brick on the side elevations. It should be noted that although the drawings are conceptual in nature the extent of architectural details indicated and as described above is substantially the basis for this recommendation and that the construction drawings should maintain consistency with the conceptual drawings with respect to the quantity and type of all architectural details.

Notes to the Applicant:

1. It should be noted that any roof top equipment must be screened from view from all on-site and off-site vantage points using compliant materials consistent with the building design.
2. Dumpster enclosures are required to be constructed of brick matching the primary building.
3. Monument signs, guard houses, gated entrance pedestals and other structures, if any are required to comply with the façade Ordinance.
4. Inspections – The Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board will be compared to materials delivered to the site. It is the applicant’s responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department’s Online Inspection Portal with the following link. Please click on “Click here to Request an Inspection” under “Contractors”, then click “Façade”.

<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

If you have any questions regarding this matter, please do not hesitate to call.

Sincerely,
DRN & Associates, Architects PC



Douglas R. Necci, AIA

FIRE REVIEW



August 12, 2016

TO: Barbara McBeth- City Planner
Kirsten Mellem- Plan Review Center

RE: Huntley Manor (formerly Brooktown)

PSP#16-0118

Project Description: 21 multi-family buildings on Grand River

Comments:

- 1) For interior fire protection systems a separate fire protection line shall be provided in addition to a domestic service for each building. Individual shutoff valves for interior fire protection shall be by post indicator valve (P.I.V.) or by valve in well and shall be provided within a public water main easement. Show all water mains and fire protection supply lines on plans. **(D.C.S. Sec.11-68(a)(9)) Please include details on final site plan.**

- 2) The installation of security gates across a fire apparatus access road shall be approved by the fire chief. Where security gates are installed, they shall have an approved means of emergency operation. The security gates and the emergency operation shall be maintained operational at all times. Electric gate operators, where provided, shall be listed in accordance with UL 325. Gates intended for automatic operation shall be designed, constructed and installed to comply with the requirements of ASTM F 2200 **(Fire Prevention Code. Please include details on final site plan**

Recommendation: Recommended for Approval with the conditions above.

Sincerely,

Joseph Shelton-Fire Marshal
City of Novi – Fire Dept.

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
Dave Staudt

Gwen Markham

Andrew Mutch

Wayne Wrobel

Laura Marie Casey

Brian Burke

City Manager
Pete Auger

**Director of Public Safety
Chief of Police**
David E. Molloy

Director of EMS/Fire Operations
Jeffery R. Johnson

Assistant Chief of Police
Erick W. Zinser

Assistant Chief of Police
Jerrod S. Hart

Novi Public Safety Administration
45125 W. Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTER

SEIBER KEAST ENGINEERING, LLC

ENGINEERING CONSULTANTS

Clif Seiber, P.E.
Patrick G. Keast, P.E.
Azad W. Awad
Robert J. Emerine, P.E.
Jason M. Emerine, P.E.

100 MainCentre, Suite 10
Northville, MI 48167
Phone No. 248.308.3331

September 21, 2016

Ms. Kirsten Mellem, Planner
City of Novi Planning and Community Development Department
45175 West 10 Mile Road
Novi, Michigan 48375

Re: Huntley Manor Preliminary Site Plan
Section 23, T 1 N, R 8 E, City of Novi (JSP 14-56)
SKE Job No. 12-019

Dear Ms. Mellem:

This letter together with all response letters and an electronic copy of the Preliminary Site Plan for Huntley Manor are being forwarded you by email. The Preliminary Site Plan is dated August 3, 2016 and includes the Engineering, Architectural, Landscape and Photometric Plans. The following is our response to the comments noted in the Plan Review Center Report dated August 24, 2016. Response to Landscape and Architectural review comments are provided in separate letters.

Planning Review Letter Dated August 24, 2016

- 1. We are requesting a waiver of the requirement for 940 s.f. of loading area for the Club House. The 480 s.f. area will be sufficient for this facility.*

Woodland and Wetland Review Letter Dated June 16, 2016

1. We intend to meet all Novi ordinance requirements related to the Woodlands and Wetlands located on this site.
2. No woodland trees will be removed
3. No wetland disturbance is proposed and 0.10 acres of buffer disturbance is proposed.
4. We have received a MDEQ Permit for the Cherry Hill Road drainage ditch sanitary sewer crossing and culvert installation.

SEIBER, KEAST ENGINEERING, LLC

Ms. Kirsten Mellem
September 21, 2016
Page 2 of 2

Traffic Review Letter Dated August 25, 2016

1. *We are requesting a variance from the minimum 100-foot centerline radii on Foster Drive.* The proposed minimum radius shown on the plans is 67-feet. This minimum radius for Foster Drive is the same as that approved on the 2015 plans for this project.
2. *The 22-foot wide drives located between buildings and at the end of the buildings provide access to garages and garage parking and are not intended for general traffic circulation. Therefore, these drives should be considered alleys.*
3. All other items will be addressed when the Engineering Construction Plans are submitted.

Fire Department Review Letter Dated August 12, 2016

1. We have no objections to the conditions noted in the Fire Marshal's approval letter.

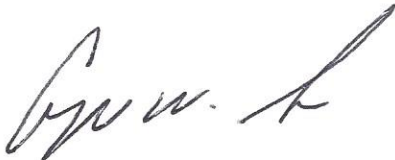
Engineering Review Letter Dated August 29, 2016

1. *We are requesting a variance from the requirement to provide stub streets at 1,300-foot intervals along the property boundary.* An emergency access drive for future use by the property east of Huntley Manor has been provided.
2. All other items will be addressed when the Engineering Construction Plans are submitted.

If you have any questions or require any additional information call me.

Sincerely,

SEIBER, KEAST ENGINEERS, LLC



George W. Norberg

Encl.

cc. Mark Kassab, GR Meadowbrook, LLC



September 21, 2016

Kirsten Mellem
Planner
City of Novi
45175 West Ten Mile Road
Novi, Michigan 48375

**RE: Landscape Review – Preliminary Site Plan - Landscaping
GR Meadowbrook L.L.C.
Huntley Manor JSP14-56
Grand River west of Meadowbrook - Novi, Michigan**

Dear Ms. Mellem,

We are in receipt of the “Concept / Preliminary Site Plan: Planning Review” dated August 24, 2016. The report comments related to landscape and irrigation by Mr. Rick Meader, Novi Landscape Architect have been reviewed and are understood. Each of these items will be addressed in the “Final Site Plan” documents for approval with that submission.

The items bolded in your report, will be addressed as follows:

Ordinance Considerations

Existing and proposed overhead and underground utilities, including hydrants. (LDM 2.e.(4))

2. Please move all trees at least 10 feet away from fire hydrants and utility structures, and 5 feet way from the 16” water main along Grand River

Trees will be moved 10’ away from utility structures

(6) trees located west of the emergency access drive will be moved to 5’ south of the 16” water main (and north of the sidewalk); they will also be changed to sub-canopy trees in order to minimize conflicts with overhead lines to the south

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 & LDM 2.3 (2))

2. Please show all previously planted woodland replacement trees near the construction limits, where they might be impacted.

Data is not available – Replacement trees will be provided per direction by the City of Novi

3. Please show existing tree labels on the Landscape Plans for use during inspection.

Data is not available

Proposed trees to be saved (Sec 37 Woodland Protection 37-9, LDM 2.e.(1))

1. As mentioned above, all woodland replacement trees in the vicinity of construction should be added to the plan (even if their dbh is less than 8") to verify their presence

Data is not available

Adjacent to Residential – Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. Please add a note indicating additional trees may be needed if proposed screening is found insufficient from the neighbors to the south during the landscape inspection.

Note will be added

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. Add a list of all requested landscape waivers to Sheet L100.

Applicant requests a waiver allowing a decorative fence instead of a berm along the right of way, in order to match the Grand River Corridor streetscape standards as have been installed across the street. Grand River Avenue conveys a small downtown pedestrian aesthetic rather than a bermed suburban subdivision. The decorative fence is a part of this appeal.

A list of all landscape waivers requested will be included

2. At least half of the subcanopy trees required should be deciduous subcanopy trees, per the Zoning Ordinance definition.

Applicant requests a waiver allowing the subcanopy requirement of 42 trees to be fulfilled by planting all Western Arborvitae, rather than 21 trees being subcanopy deciduous trees. The request is made due to the necessity of providing screening of Grand River Avenue from the residential units along that frontage for privacy.

3. Use a different species than Norway Maple, which is invasive. Per the definition of deciduous canopy trees, the tree species should have a mature canopy width of at least 20 feet and height of 30 feet.

Norway Maple trees will be changed to Autumn Blaze Maple trees

Street Tree Requirement – Buffer (Zoning Sec. 5.5.3.E.i.c, 5.5.3.E.ii and LDM 1.d.)

1. Grand River: The trees west of the entrance need to be relocated to be at least 5 feet away from the 16” underground water main.

(6) trees located west of the emergency access drive will be moved to 5’ south of the 16” water main (and north of the sidewalk); they will also be changed to sub-canopy trees in order to minimize conflicts with overhead lines to the south

Parking Lot Landscaping (Zoning Sec. 5.5.3.C)

1. Please indicate, with quantity (SF) labels, which areas are for parking lot landscaping and which Vehicular Use Areas are used for calculations.

Quantity (SF) labels will be added for parking lot landscape and vehicular use area calculations

Parking Lot Perimeter Canopy Trees (Zoning Sec. 5.5.3.C Chart footnote)

1. Provide Perimeter Canopy Tree calculations and request a landscape waiver

Perimeter Canopy Tree calculations will be provided

Applicant requests a waiver to negate the required 22 perimeter trees, based on the amount of currently proposed landscape being sufficient for the parking areas

This waiver will be included in the list

Storm Basin Landscape (Zoning Sec. 5.5.3.E)iv and LDM 1.d.(3))

1. Trees have been provided in lieu of the required large native shrubs.

Applicant requests a waiver to negate the requirement for large native shrubs due to the existence of previously planted trees along the basin. The existing trees and ground surface are established vegetation. Bringing workers and machinery into the area to add the required shrubs would expose the ground to potential soil erosion problems and cause unnecessary disturbance to the existing environment.

This waiver will be included in the list

Corner Clearance (Zoning Sec. 5.9)

1. Show the required corner clearance zones at all intersections.

Corner clearance zones will be added to road and drive intersections

2. All vegetation taller than 24” above street level should be removed from the clearance zones

All vegetation taller than 24” will be removed from the corner clearance zones

Proposed topography 2' contour minimum (LDM2.e.(1))

1. Provide proposed topography in the plan set. Spot elevations should not be on the landscape plan, but if proposed contours are available, please add those.

Contours will be provided on the landscape plan.

Plant List (LDM.2.g)

1. Replace the Norway maples with a non-invasive species.

Norway Maple trees will be changed to Autumn Blaze Maple trees.

Planting Notations and Details (LDM)

2. Amend the plant mix to include compost, not Canadian Peat.

The plant mix will be amended to include compost instead of Canadian Peat

3. Add a note stating that the root ball dirt should not reach above the tree's root flare.

A note will be added stating the root ball dirt should not reach above the tree's root flare

Irrigation (LDM 1.a.(1)(e) and 2.s)

1. Irrigation plans for all landscaped areas are required with the Final Site Plans

Irrigation plans will be provided as part of the final site plan submittal.

The plans being submitted with this letter are dated 08.01.16 and labeled "SPA"; no revisions have been made.

If you should have any additional questions, please do not hesitate to contact me.

Sincerely,

HAGENBUCH WEIKAL LANDSCAPE ARCHITECTURE



Kenneth S. Weikal - Principal



ALEXANDER V. BOGAERTS & ASSOCIATES, P.C.

Architecture

Planning

Interior Design

2445 Franklin Rd.
Bloomfield Hills, MI 48302
248/ 334-5000
fax: 248/ 334-0092

September 19, 2016

City of Novi
45175 10 Mile Road
Novi, Michigan 48375

Attn: Kirsten Mellem, Planning Department
RE: Huntley Manor

Kirsten,

In response to your review letter dated August 24, 2016, page 4 of 6 ordinance requirements,
5. Room count:

The dens and offices indicated on our AVB Huntley Manor SPA floor plans dated 8-2-16 **will not**
contain doors or other partitions.

Sincerely

Mark C. Abanatha

Mark Abanatha, Architect

COMMUNITY IMPACT STATEMENT

HUNTLEY MANOR

A Planned Residential Multi-Family Development

Community Impact Assessment

August 1, 2016

Developed By:

**GR Meadowbrook, L.L.C.
31550 Northwestern Highway, Suite 200
Farmington Hills, MI 48334**

Prepared By:

**Seiber Keast Engineering, LLC
100 MainCentre, Suite 10
Northville, MI 48167-1592
Telephone: 248.308.3331**

SITE DESCRIPTION

The Huntley Manor (Formerly Brooktown) residential multi-family development consists of an irregular shaped vacant parcel of land containing 26.62 acres.

The property is located on the south side of Grand River Avenue approximately 670 feet west of Meadowbrook Road in Section 23 of the City of Novi. The subject property is zoned GE, Gateway East, which provides for a mixture of residential and commercial uses.

The road frontage includes 1,033.71 feet on Grand River Avenue and is a 3 lane asphalt roadway containing a center left turn lane. All of the frontage road falls within the jurisdiction of the Road Commission for Oakland County.

TOPOGRAPHY

Topographically, the site contains gently to moderately sloping terrain which falls in a southeasterly direction toward the Cherry Hill Road ditch located within the Meadowbrook Glens Subdivision No. 3. The site's highest elevation of 906 (USGS Datum) is located at the northwesterly corner of the property at the Grand River Avenue right-of-way, while the lowest elevation of 880.5 is found at the site's southeasterly corner, north of lot 316 of Meadowbrook Glens. This elevation change of 25.5 feet over a distance of 1,425 feet provides an average site slope of 1.8 percent.

ADJACENT LAND USES

The proposed Huntley Manor development is surrounded by vacant land, multi-family uses, commercial uses and a single family residential subdivision. As mentioned earlier, the Meadowbrook Glens Subdivision No. 3 borders the site to the south and is zoned R-4. West of the site is the Fountain Park Apartment complex, an RM-1 use. A small commercial glass repair shop is located along the easterly border of the site adjacent to Grand River Avenue along with the adjoining Ted C. Sullivan Funeral Home. The remainder of the Huntley Manor easterly border is vacant property that had previously commenced development as a medical office building, but was terminated part way through construction. All of these properties found along the easterly border are zoned NCC (Non-Center Commercial), except for the most southerly parcel that is zoned OS-1. Finally, the property located across Grand River Avenue to the north is zoned NCC and contains a mix of commercial and multi-family residential uses.

DRAINAGE COURSES

No drainage courses are located on the subject property. The site is drained by means of sheet flow and is directed to a storm water basin that was previously constructed in the mid-2000's. The basin outlets to the road ditch located on the north side of Cherry Hill Road. This drainage ditch also serves as the drainage outlet for a portion of the Meadowbrook Glens Subdivision.

No designated flood plain areas exist on the site. The City of Novi Federal Flood Hazard Insurance Rate Maps indicated that flood hazard areas are located to the east across Meadowbrook Road as part of the Bishop Creek. Since the tributary area of the Cherry Hill Road ditch is less than two square miles, the Michigan Department of Environmental Quality does not have jurisdiction over the drain as it relates to flood hazard areas.

VEGETATION

Construction of the Brooktown project began in the mid-2000's and was cleared of trees and vegetation except for areas designated for preservation along the site's westerly and southerly borders. This conservation area comprises 3.88 acres of the site and is recorded as Conservation Easement A in Liber 39418, Page 621 of Oakland County Records. Located within the Conservation Easement are two wetland pockets totaling 1.70 acres in size. These two pockets are also recorded in Conservation Easements as West and South easements recorded in Liber 38436, Page 469 of Oakland County Records. These easement areas are shown on the Huntley Manor Site Plan.

The remainder of the property was stripped of topsoil in preparation for development. When construction was terminated, topsoil was re-spread on the site and seeded. This area now contains field grasses and the remnants of two building pads.

A variety of trees are found in the conservation easement including oak, maple, hickory, poplar, box elder and elm.

WETLANDS

Wetland boundaries have been identified and flagged by the previous developer and are shown on the plan.

The two wetland pockets measuring 1.70 acres in size are located along the westerly border of the site close to Grand River Avenue, and at the middle of the site near the property's southerly border. As previously described, both wetlands are located within recorded conservation easements.

It is doubtful that either of these pockets is regulated by the Michigan Department of Environmental Quality. However, since no impact is proposed to the wetland pockets, such jurisdiction is a moot point.

WILDLIFE

Wildlife commonly found on the site consist of small mammals such as field mice, squirrels, raccoons, fox and rabbits. A variety of small birds normally populate the area. In addition, numerous deer tracks have been observed on the site.

SOILS CLASSIFICATIONS

The soils classification as provided by the United States Soil Conservation Services Soil Survey of Oakland County in 1980, indicate Marlette Sandy Loam and Capac Sandy Loam for the vast majority of the site. A small pocket of Brookston & Colwood Loams are located at the southwest corner of the site within the conservation easement.

MUNICIPAL WATER SUPPLY

Municipal water supply is available to the site by means of a 16-inch diameter water main located on the south side of Grand River Avenue along the site's entire road frontage. A "looped" water supply with two points of connection to this existing main is proposed as part of the Huntley Manor project. In addition, an 8-inch diameter main will be stubbed to the property located to the east of the subject site for future development on the vacant land. Due to the size of the water main on Grand River Avenue, adequate water supply is anticipated for both domestic use and firefighting purposes.

WASTE WATER DISPOSAL

An existing 8-inch diameter sanitary sewer is located within the Cherry Hill Road right-of-way of the Meadowbrook Glens Subdivision No. 3. A connection will be made to this public sewer and extended throughout the site. Since the Cherry Hill Road right-of-way extends to the Huntley Manor south property line, no off-site easements are required for the sewer connection.

At the rate of 2.5 people per unit multiplied by 203 units, the total service population of 508 persons is anticipated for the Huntley Manor development. This equates to 159 tap units. Based on a per capita usage of 100 gallons per day, average flow rates are expected to be 0.079 cubic feet per second. With a peaking factor of 3.970, the peak flow from the project would be 0.313 cubic feet per second. The capacity of the existing 8-inch diameter sanitary sewer is greater than 0.70 cubic feet per second, therefore, capacity is sufficient.

PUBLIC UTILITIES

Public utilities such as electricity, telephone, cable television, and natural gas are now available on Grand River Avenue. Consumers Energy and DTE have reviewed the utility requirements and have indicated that adequate public utility service will be available to the site.

PROJECT DESCRIPTION

The proposed Huntley Manor multi-family residential development will be a gated community containing 203 units located within a total of 24 buildings. The site will consist of 5-five unit buildings, 6-eight unit buildings and 13-ten unit buildings. The project will include 182 two-bedroom units and 21 three-bedroom units. All apartments will be provided with a 2-car garage.

Based on 203 units and 26.62 net site acres, the proposed density is 7.63 units per acre.

Of the 26.62 acres of land within the site, 9.98 acres will be open space, providing an open space ratio of 37.5 percent. This number greatly exceeds the ordinance requirement of 25 percent. Such open space includes conservation areas consisting of woodlands, wetlands, and non-conservation lawn areas with walkways. Except for Buildings 1, 2 and 14 located on the Grand River Avenue frontage, the remaining 21 buildings either back or side to open space areas (see sheet 6 of the plan set).

Amenities include a 6,240 square foot clubhouse, with deck areas and a full size swimming pool.

PHASING

A total of 24 phases are provided during project development – one phase for each building. Phase 1 includes all the roadways and infrastructure for the entire development including the clubhouse and pool, and Building 1. Each phase thereafter includes one building and related driveways and landscaping. See Sheet 5 of the plan set for phasing details.

ROADWAYS

All interior roadways are proposed to be private. Midtown Circle is the “Major” collector and provides the 28-foot wide roadway that is required for a public City street. The “Minor” roadway, Foster Drive, measures 24-feet in width.

Brooktown Boulevard provides the main entry into the development and contains traffic control gates and a guardhouse. A 130-foot long entry is provided with no driveways and extensive landscaping and walls.

A secondary emergency access driveway to Grand River Avenue is provided at the westerly end of the site’s road frontage adjacent to Building 3. In addition, an emergency access drive is provided to the vacant property to the east for future use by that development.

A Traffic Impact Study dated November 18, 2014, has been prepared by the traffic engineering firm of Fleis & Vanderbrink Engineering. This study indicates that the existing and future traffic

levels at the proposed Huntley Manor entrance are currently at acceptable levels and will continue to be at those levels after construction is completed.

ENVIRONMENTAL CONCERNS

Upon full development, the proposed site will yield approximately 5.07 acres of building area. Therefore, Building Coverage will be 19.04 percent.

Ecologically, the development will affect the existing vegetation and ground cover to the extent that nearly all existing field grasses not located within conservation easements will be removed. In addition, 14 non-regulated trees will be removed. No regulated trees will be removed.

It is expected that a portion of the small mammals and birds populating the site will remain in the 3.88 acre conservation area located within the development.

The ground water table will be affected slightly due to the extent of paving and building coverage. However, no deep excavations are planned which would contribute to the lowering of the ground water table. Soil erosion control will be provided on the site in accordance with the City of Novi requirements. Surface water run-off is expected to contain some road salts and oils carried by automobiles. Most suspended sediments will be removed in the storm water quality/detention basins, and oil and gas separators proposed in the development.

Air quality will be affected somewhat by automobile emissions and natural gas combustion gases from the apartment heating systems. In addition, the net ambient air temperature of the site will be increased slightly due to the loss of vegetation and the addition of pavement and buildings.

Noise levels will increase due to the additional automobile and truck traffic, and exterior air conditioning units.

An aesthetic impact will result from the introduction of man-made structures and site improvements.

Site lighting will be designed to maintain a low profile and prevent light spill and glare onto the adjacent property. A photometric plan and light fixture catalog cuts have been provided in the plan set.

No hazardous or toxic chemicals will be stored on-site except for household cleaners, chlorine tablets for the swimming pool, pesticides and fertilizers used for lawn and plant care. No underground storage tanks, wells, or septic tanks are proposed and none will be permitted.

Finally, landscaping will soften the overall impact of the development as demonstrated on the Preliminary Site Plan Landscape Plans.

STORM WATER DISPOSAL

Storm water management will be provided with a 62,725 square foot storm water detention/sedimentation basin. This facility has been designed to accommodate the 100-year frequency storm event and will release storm water discharges to the Cherry Hill Road ditch. The existing storm water rate of flow prior to development is 33.24 cubic feet per second. In the post development condition, this flow is reduced to 3.5 cubic feet per second. This represents a 90-percent reduction in the rate of storm water discharge. The basin will provide "first flush" storage to provide pretreatment of storm water prior to discharge to the drain system. The total storage volume provided is 210,881 cubic feet.

DEMANDS ON POLICE DEPARTMENT SERVICES

Based on the Police records for the year 2013, and the SEMCOG population estimate for the City of Novi for 2013 of 59,395 persons, the per capita response was one Police Department response for every 2.63 persons. Based on an expected residential population of 525 persons (2.5 persons per household), it is estimated that 200 annual Police Department calls would be made from the project.

DEMANDS ON FIRE DEPARTMENT SERVICES

After deducting a 30-percent factor for commercial, industrial, and office uses, the per capita response for the City of Novi during the year 2013, was 102.3 persons per Fire Department run. Based on the estimated Huntley Manor population of 508 persons, the total projected annual Fire Department responses is 5. The project is located within one-half mile of Fire Station No. 1 at 42975 Grand River Avenue. Due to the proximity of the fire station, response time is expected to be only a few minutes.

REFUSE AND SOLID WASTE DISPOSAL

Refuse and solid waste will be disposed of off-site by private contractors. No dumpsters or community trash compactors are planned for the project since curb side pickup will be utilized.

EDUCATIONAL DEMANDS ON THE PUBLIC SCHOOL SYSTEM

The total 2014/2015 student enrollment in the Novi Community Schools is 6,266. Of this total, 2,020 were of High School Age (9-12th grade), 1,056 attended Middle School (7-8th grade), and 3,190 were enrolled at the elementary school level. Some impact is expected upon the community educational system due to the expected 55 school age children living in the complex. Based on population percentages of school children, it is projected that the number of elementary school children from the Huntley Manor development upon full build out will be approximately 28, the number of middle school students is 9, while the number of high school students will be 18. Huntley Manor is located within the Orchard Hills Elementary school district. That school currently has an enrollment of 427 students.

Projections are based on a ratio of student enrollment as compared to the total City of Novi 2013 population of 59,396 persons.

ANTICIPATED TAX REVENUES

At a total non-homestead tax rate of \$52.6859 mills (Novi 180) assessed for every \$1,000 of state equalized value and an estimated project value of \$17,000,000, the total annual tax revenue derived from the Huntley Manor development is expected to be \$447,830.

EMPLOYMENT PROJECTIONS

It is expected that during construction of the project, a total of 320 people will be employed over a two-year period. Upon project completion, continued employment of 12 persons is anticipated.