



## CAMELOT PARC PSLR (FKA AVALON PARK APARTMENTS) JSP22-01

### JSP22-01 CAMELOT PARC APARTMENTS (FKA AVALON PARK APARTMENTS) PSLR

Public hearing at the request of Wixom Road Development, LLC for recommendation to the City Council for Concept Plan approval under the Planned Suburban Low Rise Overlay District. The subject property is located on the east side of Wixom Road, north of Eleven Mile Road (Section 17). The applicant is proposing 46 apartment units in three low-rise buildings. The subject property is currently zoned R-1, One Family Residential, with a Planned Suburban Low-Rise Overlay.

### Required Action

Recommend approval/denial of the Planned Suburban Low-Rise (PSLR) Overlay Concept Plan to the City Council.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	5-10-23	<p><b>Deviations to:</b></p> <ul style="list-style-type: none"> <li>• <b>Allow building to front on an approved private driveway, which does not conform to the City standards;</b> <i>(Supported as Stonebrook Dr was approved for Villas at Stonebrook and avoids an additional curb cut on Wixom Road)</i></li> <li>• <b>Allow parking spaces to be within 12 feet of a building in one location south of Building 1;</b> <i>(Supported as moving building north would cause greater wetland impacts)</i></li> <li>• <b>Allow reduction of minimum required private open space;</b> <i>(Supported as woodland and wetland areas are preserved)</i></li> <li>• <b>Allow reduction in minimum percentage of active recreation areas;</b> <i>(Supported as woodland and wetland areas are preserved)</i></li> <li>• <b>Allow less than 10% of the total site area as active open space;</b> <i>(Supported as a majority of the site is being preserved for natural features)</i></li> <li>• <b>Allow for the lack of pedestrian entrances on the rear side of 2 buildings;</b> <i>(Supported as this area will not be visible behind the berm)</i></li> <li>• <b>Deviation for exceeding the 4:1 average to minimum illumination ratio (5.3:1 proposed)</b></li> </ul>

			<ul style="list-style-type: none"> <li>Items to be addressed on the Preliminary Site Plan submittal</li> </ul>
Engineering	Approval recommended	1-17-23	<ul style="list-style-type: none"> <li><b>Deviation for absence of a stub street required at 1,300 feet interval along the property boundary;</b></li> <li>Items to be addressed on the Preliminary Site Plan submittal</li> </ul>
Landscaping	Approval recommended	4-28-23	<ul style="list-style-type: none"> <li><b>Allow absence of required landscaped berm along Wixom Road frontage</b> <i>(Supported as woodland and wetland impacts would result)</i></li> <li>Items to be addressed on the Preliminary Site Plan submittal</li> </ul>
Traffic	Approval recommended	1-12-23	<ul style="list-style-type: none"> <li>Items to be addressed on the Preliminary Site Plan submittal</li> </ul>
Wetland	Approval recommended	1-9-23	<ul style="list-style-type: none"> <li><b>City of Novi Wetland permit and wetland buffer authorization required</b></li> <li>Items to be addressed on the Preliminary Site Plan submittal</li> </ul>
Woodland	Approval recommended	1-29-18	<ul style="list-style-type: none"> <li><b>City of Novi Woodland permit required.</b></li> <li>Items to be addressed on the Preliminary Site Plan submittal</li> </ul>
Façade	Approval recommended	5-5-23	<ul style="list-style-type: none"> <li><b>Waiver from PSLR standard to permit a small amount of standing seam metal as it is an enhancement to the building design</b></li> <li>Design is in full compliance with the Façade Ordinance</li> </ul>
Fire	Approval recommended	12-28-23	<ul style="list-style-type: none"> <li>Items to be addressed on the Preliminary Site Plan submittal</li> </ul>



## Motion Sheet

### Approval –PSLR Overlay Concept Plan

In the matter of Camelot Parc Apartments JSP22-01, motion to **recommend approval** of the Planned Suburban Low-Rise (PSLR) Overlay Development Agreement Application and Concept Plan based on the following findings, City Council deviations, and conditions:

1. The PSLR Overlay Development Agreement and PSLR Overlay Concept Plan will result in a recognizable and substantial benefit to the ultimate users of the project and to the community. *[The applicant proposes a walking trail through a 0.74 acre area of woodland to be preserved, which is short of the 10% of site area requirement. There is also a requirement for 200 square feet of private open space per unit that is not fully provided. There are two benches in separate locations as enhancements of the common open spaces shown on the site. Since so much of the property is wetland area to be preserved and wetland mitigation, it is difficult to achieve some of the "active" open space requirements. The site would have a connection to Wildlife Woods Park, the extensive pathway system within Ascension Providence Park hospital campus to the east and ITC Trail.]*
2. In relation to the underlying zoning or the potential uses contemplated in the City of Novi Master Plan, the proposed type and density of use(s) will not result in an unreasonable increase in the use of public services, facilities and utilities, and will not place an unreasonable burden upon the subject property, surrounding land, nearby property owners and occupants, or the natural environment. *[The estimated number of daily vehicle trips is 350, which is less than the 750 trip threshold for a Traffic Study. Peak hour trips also do not reach the threshold of 100 trips (Estimated: 37 AM trips, 40 PM trips). The proposed use is expected to have minimal impacts on the use of public services, facilities, and utilities over what the underlying zoning would allow. The proposed concept plan impacts about 0.3 acres of existing 2.41 acres of wetlands and proposes removal of approximately 19% of the regulated woodland trees. The plan indicates appropriate mitigation measures on-site.]*
3. In relation to the underlying zoning or the potential uses contemplated in the City of Novi Master Plan, the proposed development will not cause a negative impact upon surrounding properties. *[The proposed buildings are buffered by landscaping and preserved natural features. The multi-family residential use is a reasonable transition from the two-family and one-family developments to the west, east and south and the commercial shopping center to the north.]*
4. The proposed development will be consistent with the goals and objectives of the City of Novi Master Plan, and will be consistent with the requirements of this Article [Article 3.1.27]. *[The proposed development could help provide for missing middle housing needs that are walkable to the commercial areas to the north, which is recommended in the City's 2016 Master Plan for Land Use. The area was included in the PSLR overlay in the Master Plan and Zoning Ordinance, which permits multiple-family uses as a special land use. The proposed arrangement of buildings and site layout minimizes the impact on existing natural features.]*
5. City Council deviations for the following *(as the Concept Plan provides substitute*

*safeguards for each of the regulations and there are specific, identified features or planning mechanisms deemed beneficial to the City by the City Council which are designed into the project for the purpose of achieving the objectives for the District as stated in the planning review letter):*

- a. Deviation from Sec. 3.21.2.A.i to allow development to front on an approved private drive, which does not conform to the City standards with respect to required sixty foot right-of-way, as the road was previously approved for the Villas at Stonebrook development, and because the shared access reduces the number of curb cuts on Wixom Road;
- b. Deviation from Sec. 3.21.2.A.iii.c. to allow parking spaces to be within 12 feet of a building in one location south of building 1 (15 feet minimum required);
- c. Deviation from Sec. 3.21.2.A.v to allow a reduction in the minimum required private open space (9,200 square feet total required, 3,150 square feet provided), as constructing additional private open space would cause greater wetland and woodland impacts;
- d. Deviation from Sec. 3.21.2.A.v to allow reduction of minimum percentage of active recreation areas (50% of open spaces required, approximately 30% provided), and less than 10% of the total site (9% proposed), *as the development proposes connection to Wildlife Woods Park, which contains connections to the Providence and the ITC trail systems, and providing additional active recreation would cause greater wetland and woodland impacts;*
- e. Deviation from Sec. 3.21.2.C.ii. for lack of pedestrian entrances on rear side of two buildings, as this side of the building will be screened by the existing berm and trees;
- f. Deviation from Section 3.21.2.C.ii.d. to allow the use of a minor amount of standing seam metal material (2-4% proposed), as in the opinion of the City's Façade Consultant the material is used in a manner that enhances the facades, and the design is otherwise in conformance with the façade standards;
- g. Deviation from Sec. 5.7.3.K for exceeding the 4:1 average to minimum illumination ratio (5.3:1 proposed), and the light from the fixtures at the western turn-around will be shielded from visibility in the ROW;
- h. Deviation from Sec. 3.21.2.A.iii and Sec. 5.5.3 to allow absence of required landscaped berm along Wixom Road north of the emergency access drive due to resulting woodland impacts and there is no development proposed in that area. In addition, the berm south of the access drive is not long enough to provide undulation;
- i. Deviation from Sec. 4.04, Article IV, Appendix C-Subdivision ordinance of City Code of Ordinances for absence of a stub street required at 1,300 feet intervals along the property boundary to provide connection to the adjacent property boundary, due to conflict with existing wetlands and woodlands;

j. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Preliminary Site Plan; and

k. *(additional comments here if any)*  
*(because the plan is otherwise in compliance with Article 3, Article 4 and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**-OR-**

**Denial – PSLR Overlay Concept Plan**

In the matter of Camelot Parc Apartments JSP22-01, motion to **recommend denial** of the Planned Suburban Low-Rise (PSLR) Overlay Development Agreement Application and Concept Plan...*(because the proposed concept plan would not satisfy the findings and conditions noted in Article 23B of the Zoning Ordinance.)*

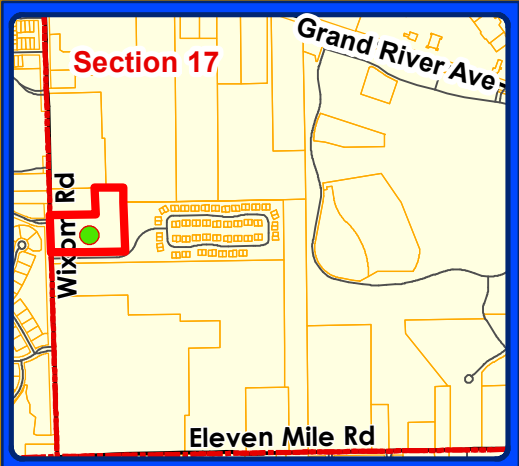
**Maps**  
**Location**  
**Zoning**  
**Future Land Use**  
**Natural Features**


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# AVALON PARK APARTMENTS

## LOCATION

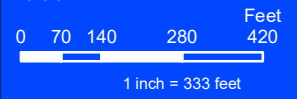


**LEGEND**  
 Subject Property



**City of Novi**  
Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

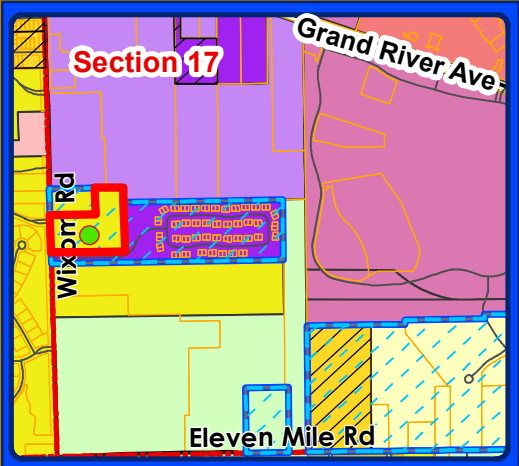
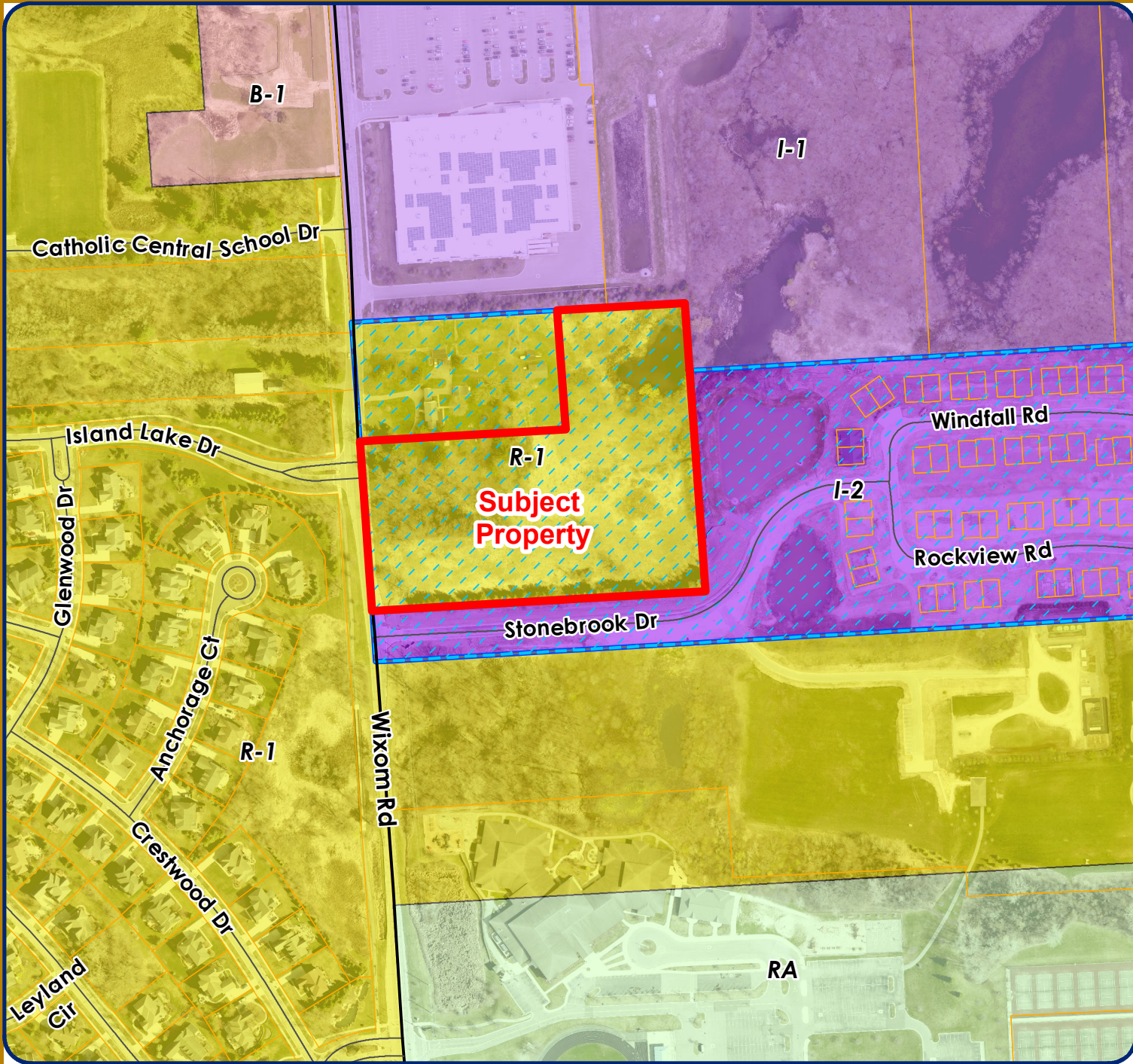
Map Author: Lindsay Bell  
Date: 6/1/23  
Project: AVALON PARK  
Version #: 1



**MAP INTERPRETATION NOTICE**  
Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.



# AVALON PARK APARTMENTS ZONING



**LEGEND**

**Zoning Overlay**


**Overlay Name**

- Planned Suburban Low-Rise (PSLR)
- Planned Rezoning (PRO)
- R-A: Residential Acreage
- R-1: One-Family Residential District
- R-3: One-Family Residential District
- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- B-1: Local Business District
- B-2: Community Business District
- I-1: Light Industrial District
- I-2: General Industrial District
- OSC: Office Service Commercial

**CITY OF**  
  
**NOVI**

**City of Novi**  
 Dept. of Community Development  
 City Hall / Civic Center  
 45175 W Ten Mile Rd  
 Novi, MI 48375  
[cityofnovi.org](http://cityofnovi.org)

Map Author: Lindsay Bell  
 Date: 6/1/23  
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0 70 140 280 420 Feet  
  
 1 inch = 333 feet

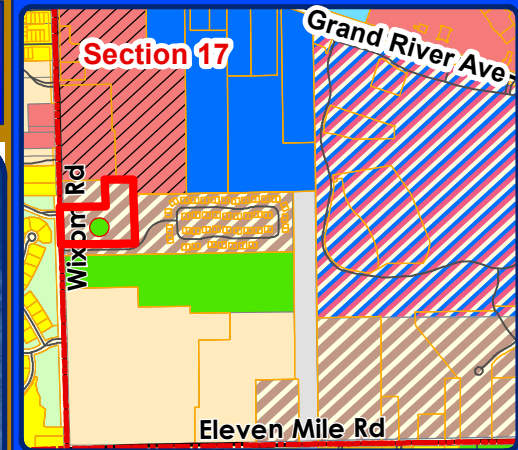
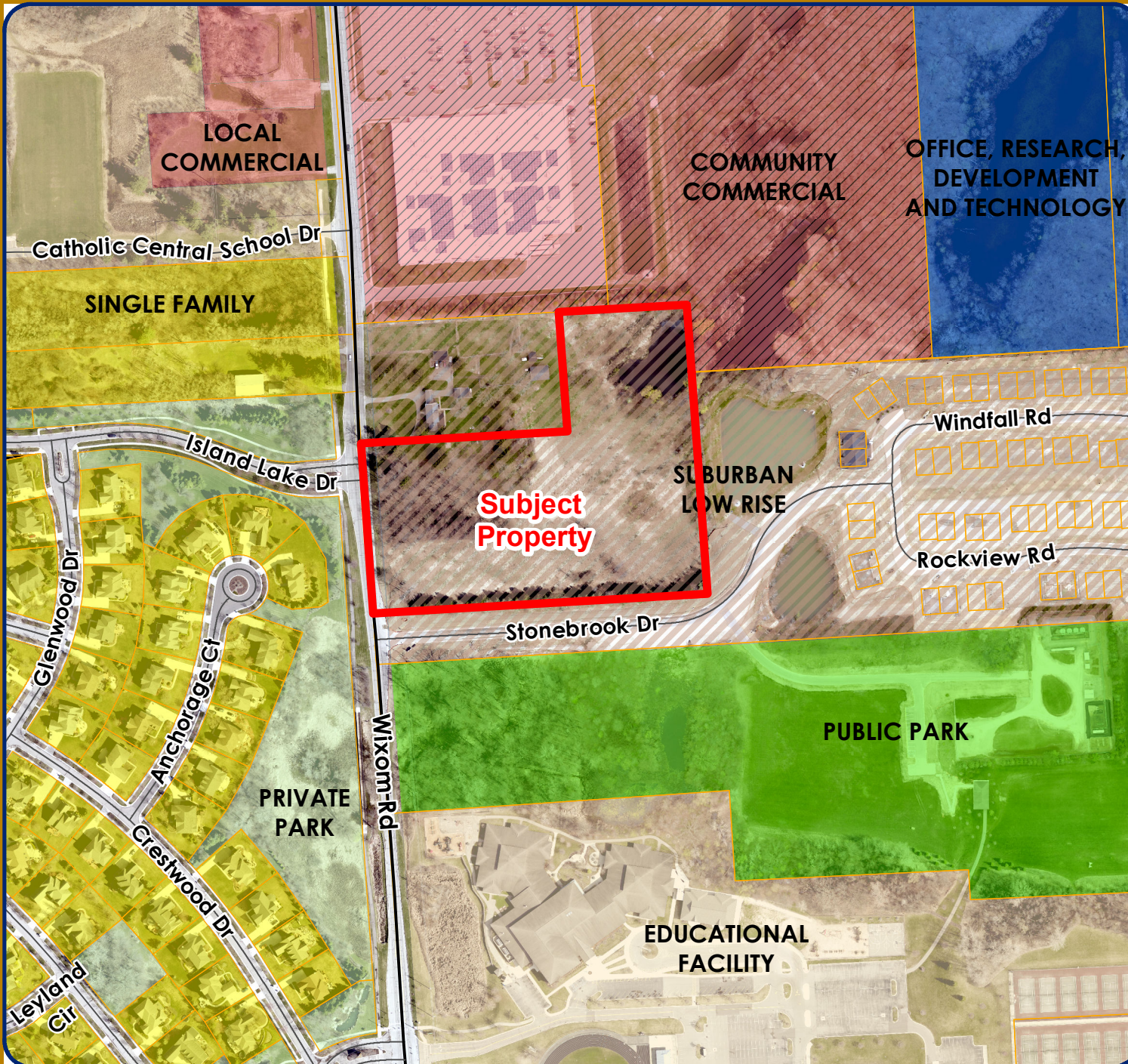
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# AVALON PARK APARTMENTS

## FUTURE LAND USE



**LEGEND**

- Single Family
- Suburban Low-Rise
- Office, Research, Development and Technology
- Office Commercial
- Local Commercial
- Community Commercial
- Educational Facility
- Public
- Public Park
- Private Park
- Utility
- Subject Property

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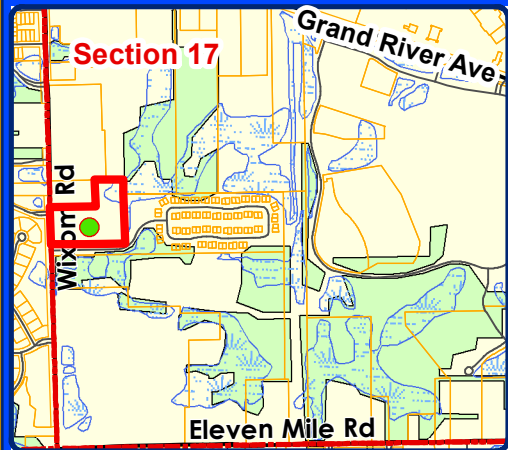
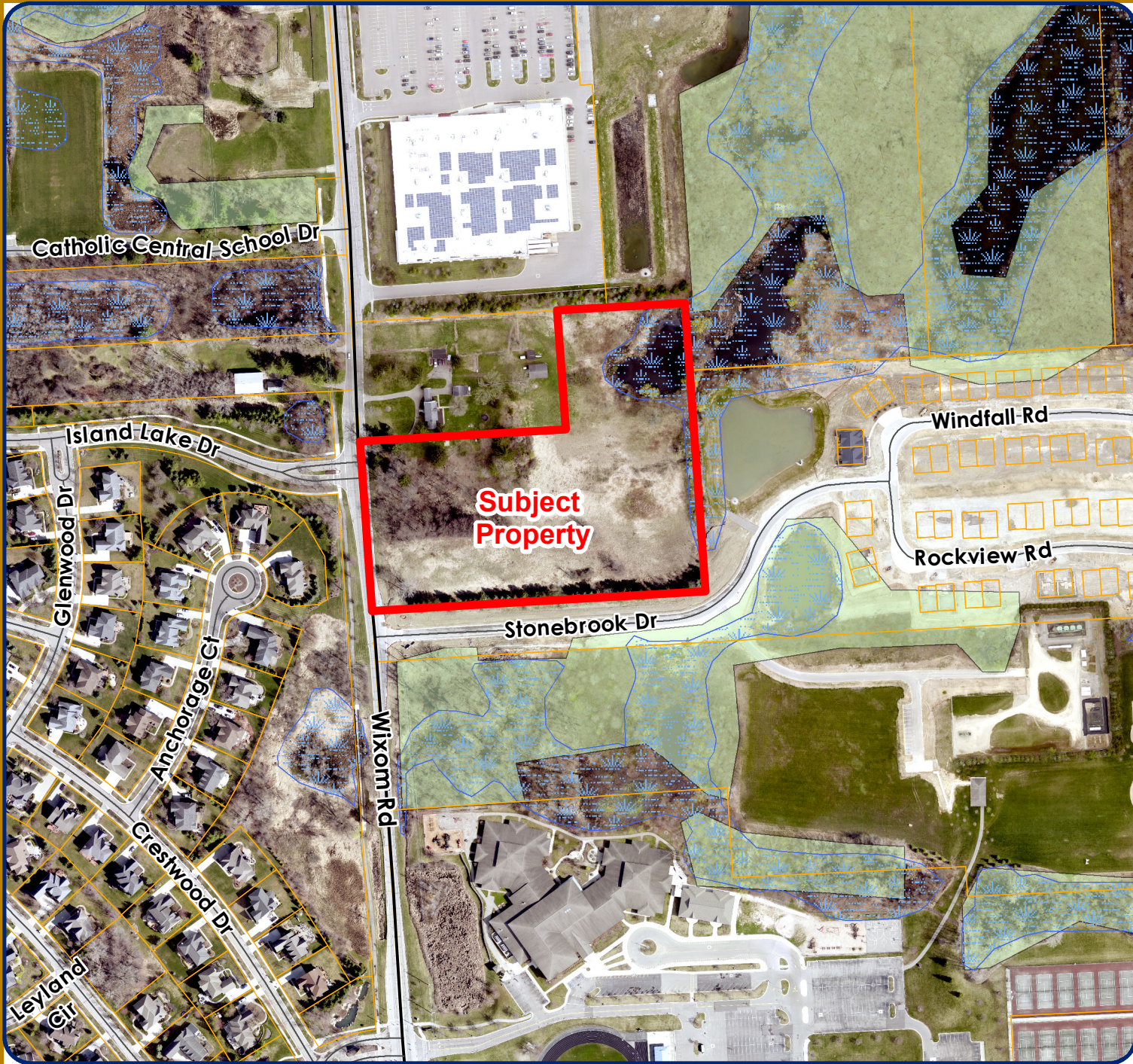
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# AVALON PARK APARTMENTS

## NATURAL FEATURES

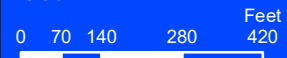


- LEGEND**
-  WETLANDS
  -  WOODLANDS
  -  Subject Property



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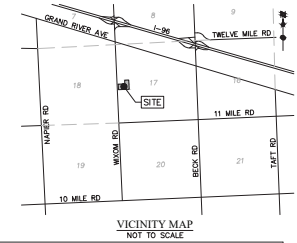


**PSLR OVERLAY CONCEPT PLAN**  
**(Full plan set available for viewing at the Community Development Department.)**

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# AVALON PARK APARTMENTS

## A PLANNED SUBURBAN LOW-RISE (PSLR) OVERLAY RESIDENTIAL COMMUNITY CITY OF NOVI, OAKLAND COUNTY, MICHIGAN PSLR OVERLAY PRELIMINARY PLAN



### DEVELOPMENT TEAM

**DEVELOPER / APPLICANT**  
WIXOM ROAD DEVELOPMENT, LLC  
14955 TECHNOLOGY DR.  
SHELBY TWP, MI 48315  
CONTACT: MARK GESUALA  
PHONE: (586) 219-2212  
EMAIL: MARK@WOLVERINEBUILDINGCOMPANY.COM

**CIVIL ENGINEER**  
ATWELL, LLC  
TWO TOWNE SQUARE, SUITE 700  
SOUTHFIELD, MICHIGAN 48076  
CONTACT: JARED KIME, PE  
PHONE: (248) 447-2000  
EMAIL: JKIME@ATWELL-GROUP.COM

**LANDSCAPE ARCHITECT**  
J EPPINK PARTNERS, INC.  
9336 SASHABAW ROAD  
CLARKSTON, MI 48348  
PHONE: (248) 917-8646  
CONTACT: JIM EPPINK

### PROPOSED PSLR OVERLAY DEVIATIONS

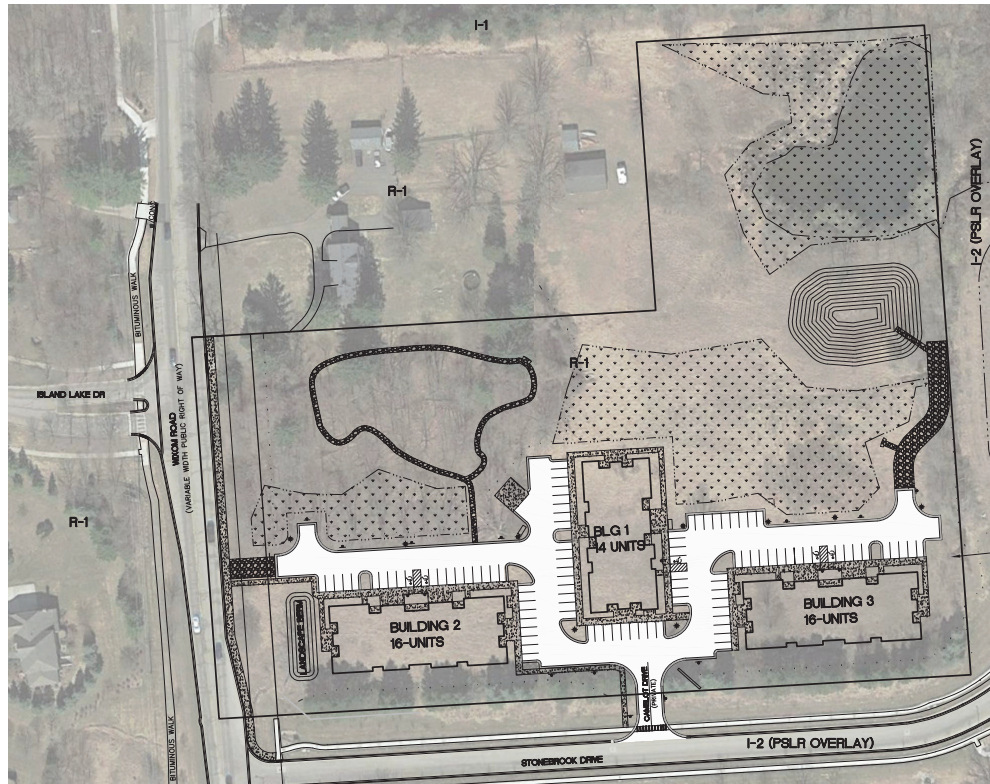
- NO SECONDARY ACCESS STREET IS BEING PROVIDED (PER CITY OF NOVI ZONING ORDINANCE APPENDIX C, SECTION 4.04).
- REDUCTION IN REQUIRED PARKING DISTANCE FROM THE BUILDINGS (15 FEET REQUIRED) FROM THE SOUTH FAÇADE OF BUILDING 1 DOWN TO 12.5 FEET.
- A WAIVER FOR LESS THAN 200 SQUARE FEET OF OPEN SPACE PER UNIT.
- A WAIVER FOR THE REQUIREMENT OF ACTIVE RECREATION AREAS SHALL COMPRISE AT LEAST 50% OF THE OPEN SPACE PROVIDED.
- A WAIVER FOR GREATER THAN 10% OF THE TOTAL SITE AREA AS ACTIVE OPEN SPACE.
- AN EXCEPTION FOR THE LIGHT POLE VISIBLE ALONG WIXOM ROAD.
- A WAIVER FOR THE REQUIREMENT OF ALL BUILDINGS, PARKING LOTS AND LOADING AREAS TO BE SEPARATED FROM SECTION LINE ROAD RIGHTS-OF-WAY BY A 30 FT. LANDSCAPE BUFFER CONTAINING AN UNDULATING 3.5 FT. TALL, LANDSCAPED BERM FOR THE AREA NORTH OF THE EMERGENCY ACCESS DRIVE.
- A WAIVER TO ALLOW THE EXISTING TREES AND VEGETATION TO REMAIN FOR THE AREA NORTH OF THE EMERGENCY ACCESS DRIVE IN LIEU OF THE REQUIRED FRONTAGE LANDSCAPING AND TREE PLANTINGS.
- A WAIVER OF THE REQUIREMENT FOR GROUND FLOOR PEDESTRIAN ENTRANCES 60' MAXIMUM SPACING.
- A WAIVER OF THE FAÇADE MATERIAL REQUIREMENT FOR A MINIMUM OF 30% BRICK ON THE ENDS OF THE BUILDINGS (RIGHT AND LEFT SIDES).

### GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE CITY OF NOVI'S CURRENT STANDARDS AND SPECIFICATIONS, UNLESS OTHERWISE APPROVED IN THE PRO AGREEMENT.
- THE CONTRACTOR MUST OBTAIN A PERMIT FROM THE CITY OF NOVI FOR ANY WORK WITHIN THE WIXOM ROAD RIGHT-OF-WAY.
- ALL PAYMENT MARKINGS, TRAFFIC CONTROL SIGNS, AND PARKING SIGNS SHALL COMPLY WITH THE DESIGN AND PLACEMENT REQUIREMENTS OF THE 2011 MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- EMERGENCY ACCESS LOCATION TO BE USED AS CONSTRUCTION ENTRANCE.

### FIRE DEPARTMENT NOTES

- ALL FIRE HYDRANTS AND WATER MAINS SHALL BE INSTALLED AND IN SERVICE PRIOR TO ABOVE FOUNDATION BUILDING CONSTRUCTION AS EACH PHASE IS BUILT.
- ALL ROADS SHALL BE PAVED AND CAPABLE OF SUPPORTING 35 TONS PRIOR TO CONSTRUCTION ABOVE FOUNDATION.
- BUILDING ADDRESSES SHALL BE POSTED FACING THE STREET DURING ALL PHASES OF CONSTRUCTION. ADDRESSES SHALL BE A MINIMUM OF THREE INCHES IN HEIGHT ON A CONTRASTING BACKGROUND.
- PROVIDE 4"-6" DIAMETER OF CONCRETE FILLED STEEL POST 48" ABOVE FINISH GRADE AT EACH HYDRANT AS REQUIRED.
- FIRE LANES SHALL BE POSTED WITH "FIRE LANE - NO PARKING" SIGNS IN ACCORDANCE WITH ORDINANCE #85.99.02.



### OVERALL DEVELOPMENT MAP

SCALE 1"=60'

### PROJECT NARRATIVE

AVALON PARK IS A 46-UNIT RESIDENTIAL DEVELOPMENT FEATURING THREE TWO-STORY APARTMENT BUILDINGS LOCATED ON 8.78 ACRES ON THE EAST SIDE OF WIXOM ROAD BETWEEN WEST 11 MILE ROAD AND GRAND RIVER AVENUE. THE SITE IS CURRENTLY VACANT WITH BOTH WETLAND AND WOODLAND PRESENT. A BERM WAS BUILT ALONG THE SOUTH SIDE TO SCREEN FROM THE PREVIOUS DRIVEWAY FOR AN INDUSTRIAL USE TO THE EAST THAT HAS SINCE BEEN REPLACED WITH A RESIDENTIAL DEVELOPMENT. THE NORTHERN PORTION OF THE SITE CONTAINS AN EXISTING SHED AND A POND WITHIN ONE OF THE WETLANDS.

WHILE THE CURRENT ZONING AND FUTURE LAND USE DESIGNATION IS R1, THE PARCEL HAS AN EXISTING PSLR OVERLAY ASSOCIATED WITH IT. THIS OVERLAY ALLOWS FOR LOW-RISE MULTIPLE-FAMILY RESIDENTIAL AS A SPECIAL LAND USE. RESIDENTIAL DEVELOPMENTS ARE LOCATED TO THE EAST (STONERBROOK) AND TO THE WEST (ISLAND LAKE). WITH 2.43 ACRES OF OPEN SPACE, THE DEVELOPMENT CONTAINS A WALKING PATH THAT EMBRACES A PARK LIKE SETTING. THE DEVELOPMENT WILL BE SERVICED BY PUBLIC UTILITIES AND AN ENTRANCE TO STONERBROOK DRIVE (PRIVATE). THERE IS AN EXISTING ACCESS EASEMENT FOR THIS PARCEL FROM STONERBROOK DRIVE.

THIS PROPOSED PSLR OVERLAY DEVELOPMENT OFFERS THE FOLLOWING COMMUNITY BENEFITS:

- 2.43 ACRES OF OPEN SPACE CONTIGUOUS TO SURROUNDING AREA
- WALKING PATHS AND PARK FEATURES
- LOWER DENSITY THAN ALLOWABLE
- NO NEW CURB CUTS ON WIXOM ROAD

### SHEET INDEX

Sheet Number	Sheet Title
1	COVER SHEET
2	EXISTING CONDITIONS
3	REMOVAL PLANS
4	LAYOUT PLAN
5	UTILITY PLAN
6	STORM WATER MANAGEMENT AND GRADING PLAN
7	WETLAND MITIGATION PLAN
8	FIRE PROTECTION PLAN
9	DETAIL SHEET
10	TREE LIST
1 OF 1	PHOTOMETRIC PLAN

### LANDSCAPE PLANS

Sheet	Sheet Title
LP-1	LANDSCAPE PLANTING PLAN
LP-2	LANDSCAPE PLANTING PLAN
LP-2	LANDSCAPE PLANTING PLAN

### ARCHITECTURE PLANS

Sheet	Sheet Title
A101	14 UNIT FIRST FLOOR
A102	14 UNIT SECOND FLOOR
A103	16 UNIT FIRST FLOOR
A104	16 UNIT SECOND FLOOR
A201	14 UNIT ELEVATIONS
A202	16 UNIT ELEVATIONS

### SITE DATA

GROSS SITE AREA	8.78 AC
R.O.W. AREA	0.54 AC
NET SITE AREA	8.24 AC
WETLANDS AREA (PRESERVED)	2.41 AC
WETLAND AREA (MITIGATION)	0.55 AC

ZONING:	
EXISTING	R-1
PROPOSED	R-1 WITH PSLR OVERLAY

PROPOSED UNITS	46 UNITS
BUILDING SIZES	68.67' x 178' (16 UNITS) - 2 11,103 SF*
	68.67' x 155' (14 UNITS) - 1 9,634 SF*
	*BUILDING SF BASED ON FIRST STORY FOOTPRINT
BUILDING LOT COVERAGE	8.87%

ALLOWABLE UNIT DENSITY	6.5 DU/ACRE
DENSITY - PROPOSED (GROSS)	5.2 DU/ACRE
DENSITY - PROPOSED (NET)	5.6 DU/ACRE

SETBACKS:	
FRONT:	30' (50' LANDSCAPE)
REAR:	30'
SIDE:	30'

PARKING REQUIRED (2 PER UNIT):	92 SPACES
PARKING PROVIDED:	101 SPACES (INCLUDING 5 ADA SPACES)
BICYCLE PARKING REQUIRED: (1 SPACE PER 5 UNITS)	10 UNITS
BICYCLE PARKING PROVIDED:	12 UNITS

JSP22-001  
NOT FOR CONSTRUCTION

Know what's below.  
Call before you dig.  
THE LOCATION OF UTILITIES, INCLUDING UTILITIES NOT SHOWN ON ANY RECORD DRAWING, MAY BE DIFFERENT FROM THE INFORMATION PROVIDED BY THE CITY OF NOVI. THE CONTRACTOR SHALL OBTAIN THE LATEST EDITION OF ALL COMPASSING AIDS AND APPLIES TO BE FULLY RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT OCCUR DURING THE CONSTRUCTION OF ANY UTILITIES AND ALL UNDERGROUND UTILITIES.

NOTICE:  
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR THE WORK OF PERSONS EMPLOYED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES.

CONSULT ATWELL, LLC FOR REPRODUCTION OF THIS PLAN. REPRODUCTION SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF ATWELL, LLC.

ATWELL  
4440 WIXOM ROAD  
SOUTHFIELD, MI 48076  
TEL: (248) 447-2000

SECTION 17  
TOWN 1 NORTH, RANGE 8 EAST  
CITY OF NOVI  
OAKLAND COUNTY, MICHIGAN

WIXOM ROAD DEVELOPMENT, LLC  
AVALON PARK APARTMENTS  
PSLR OVERLAY CONCEPT PLAN  
COVER SHEET

DATE: NOV. 29, 2021

11.29.21 PRE-APP TOWNWORKS  
11.29.21 PRE-CITY PERM LAYOUT  
12.22.21 REVISIONS  
04/19/23 REV PER CITY

REVISIONS

SCALE: 1" = 60 FEET

DRAWN BY: JSP  
CHECKED BY: CK  
P.M.: DJM  
JOB #: 20004113  
FILE CODE: -  
SHEET NO. 1

**ADJACENT ZONING**

N	PSR	PSR
E	PSR	PSR
S	PSR	PSR
W	PSR	PSR

**LEGEND**

--- BOUNDARY LINE	○	EXIST. CULVERT
- - - - - EXIST. EASEMENT	○	EXIST. CATCH BASIN/INLET
- - - - - EXIST. CONTOUR	○	EXIST. HYDRANT
- - - - - EXIST. VALVE	○	EXIST. UNDESIGNED UTILITY
- - - - - EXIST. CURB AND GUTTER	○	EXIST. SANITARY SEWER
- - - - - EXIST. SOIL BOUNDARY	○	EXIST. SIGN
- - - - - EXIST. SOLS TYPE	○	EXIST. LIGHT POLE
- - - - - EXIST. TREE	○	EXIST. UTILITY POLE
- - - - - EXIST. TREE DEMO	○	EXIST. WETLAND
- - - - - EXIST. PHRAGMITES	○	EXIST. GAS
- - - - - EXIST. WATER MAIN	○	EXIST. UNDERGROUND UTILITY
- - - - - EXIST. SANITARY	○	EXIST. WOODLAND
- - - - - EXIST. STORM	○	CLEARING LIMITS
- - - - - EXIST. OVERHEAD ELEC. LINE	○	

**SOIL LEGEND**

SURF.	NAME	SLOPE	HSS.
11B	CAPAC SANDY LOAM	0-4%	C
12	BROOKSTON & COLWOOD LOAMS	1-6%	D/B
27	HOOGLIGHT & ADRIAN MUCKS	D/A	
	URBAN LAND	NA	NA

**WETLAND NOTES**

1. WETLAND DELINEATION PERFORMED ON NOVEMBER 3, 2020 BY ASTI. REFER TO THE WETLAND DELINEATION AND JURISDICTIONAL ASSESSMENT REPORT DATED NOVEMBER 9, 2020.
2. REMOVE ALL PHRAGMITES OR JAPANESE KNOTWEED IN ALL WETLAND AREA.
3. JAPANESE KNOTWEED WAS NOT OBSERVED DURING INVASIVE SPECIES ASSESSMENT.

**SURVEY NOTES**

1. BEARINGS ARE BASED ON MICHIGAN STATE PLATE COORDINATES (NAD83), SOUTH ZONE, GROUND DISTANCES, INTERNATIONAL FEET, MEASURED BEARINGS AS SHOWN DIFFER FROM RECORD TITLE BEARINGS. VERTICAL DATUM IS BASED ON NAVD83.
2. THE SITE SHOWN HEREON IS LOCATED WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) ACCORDING TO MAP NUMBER 26125000P OF THE FLOOD INSURANCE RATE MAP, EFFECTIVE DATE SEPTEMBER 29, 2006.
3. WATER MAIN, STORM SEWER, SANITARY SEWER AND FRANCHISE UTILITY STRUCTURES HAVE BEEN FIELD LOCATED WHERE VISIBLE. UTILITY AND AS-BUILT MAPS HAVE BEEN REQUESTED AND SOME MAPS HAVE BEEN RECEIVED AT DATE OF THIS SURVEY. FRANCHISE UTILITY MAPS HAVE BEEN REQUESTED FROM THE APPROPRIATE FRANCHISE COMPANIES, BUT NOT ALL MAPS HAVE BEEN RECEIVED AT DATE OF SURVEY.

NOTE: THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED.

NOTE TO THE CLIENT - SOURCE INFORMATION FROM PLANS AND MARKINGS WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAN OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATOR SERVICE MAY BE NECESSARY.

4. THERE WERE NO PARKING STALLS OBSERVED AT THE DATE OF THE FIELD WORK.
5. NO PARTY WALLS WERE DESIGNATED BY THE CLIENT OR OBSERVED AT THE DATE OF THE FIELD WORK.
6. THE SUBJECT PROPERTY IS LOCATED 2100' NORTH OF THE INTERSECTION OF WIXOM ROAD AND 11 MILE ROAD, ON WIXOM ROAD.
7. THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
8. THERE WAS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
9. TREE PROTECTION FENCE TO EXTEND TO DRIPLINE OF TREES TO BE PROTECTED.

**LEGAL DESCRIPTION AS SURVEYED**

DESCRIPTION OF TAX PARCEL 50-22-17-300-019 PER PROPERTY STATUS REPORT BY VANGUARD TITLE COMPANY, REFERENCE NO.: V0432643, CERTIFIED TO: SEPTEMBER 8, 2021.

LAND SITUATED IN THE CITY OF NOVI, COUNTY OF OAKLAND, STATE OF MICHIGAN, MORE PARTICULARLY DESCRIBED AS:

A PART OF THE NORTHWEST 1/4 AND SOUTHWEST 1/4 OF SECTION 17, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, COUNTY OF OAKLAND, STATE OF MICHIGAN AND BEING MORE PARTICULARLY DESCRIBED AS COMMENCING AT THE WEST 1/4 CORNER OF SAID SECTION 17, THENCE SOUTH 00 DEGREES 19 MINUTES 14 SECONDS EAST, 119.02 FEET ALONG THE WEST LINE OF SAID SECTION 17 AND THE CENTERLINE OF WIXOM ROAD TO 30 SECONDS EAST, 473.20 FEET, THENCE NORTH 00 DEGREES 34 MINUTES 38 SECONDS WEST, 199.20 FEET, THENCE NORTH 00 DEGREES 34 MINUTES 38 SECONDS WEST, 199.20 FEET, THENCE SOUTH 00 DEGREES 19 MINUTES 14 SECONDS EAST, 310.00 FEET, THENCE NORTH 00 DEGREES 34 MINUTES 38 SECONDS WEST, 77.00 FEET TO THE WEST LINE OF SAID SECTION 17 AND THE CENTERLINE OF SAID WIXOM ROAD, (SAID POINT BEING NORTH 00 DEGREES 19 MINUTES 14 SECONDS WEST, 218.71 FEET FROM THE SOUTHWEST CORNER OF SAID SECTION 17), THENCE NORTH 00 DEGREES 19 MINUTES 14 SECONDS WEST, 306.88 FEET ALONG THE WEST LINE OF SAID SECTION 17 AND THE CENTERLINE OF SAID WIXOM ROAD TO THE POINT OF BEGINNING.

**CITY OF NOVI REFERENCE BENCHMARK:**

BENCHMARK 1733: "X" ON NORTH NORTHWEST FLANGE BOLT OF FIRE HYDRANT ELEVATION: 969.59 (NAVD83)

**SITE BENCHMARKS:**

BENCHMARK #1: ARROW ON FIRE HYDRANT ELEVATION: 969.70 (NAVD83)  
 BENCHMARK #2: ARROW ON FIRE HYDRANT ELEVATION: 971.45 (NAVD83)



Know what's below. Call before you dig. 811. Know what's below. Call before you dig. 811. Know what's below. Call before you dig. 811.

NOTICE: THE SURVEYOR HAS NO LIABILITY FOR THE SOLE RESPONSIBILITY OF THE USER OF THIS INFORMATION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NOVI OR ANY OTHER AGENCIES. THE SURVEYOR SHALL NOT BE RESPONSIBLE FOR THE WORK OF PERSONS EMPLOYED BY THE USER OR FOR THE WORK OF PERSONS EMPLOYED BY THE USER OR FOR THE WORK OF PERSONS EMPLOYED BY THE USER OR FOR THE WORK OF PERSONS EMPLOYED BY THE USER.



ATWELL  
 4400 WILSON AVENUE  
 SUITE 700  
 TROY, MI 48063  
 TEL: 248.447.2000

SECTION 17  
 RANGE 8 EAST  
 TOWN 1 NORTH  
 CITY OF NOVI  
 OAKLAND COUNTY, MICHIGAN

WIXOM ROAD DEVELOPMENT, LLC  
 AVALON PARK APARTMENTS  
 PSR OVERLAY CONCEPT PLAN  
 EXISTING CONDITIONS

DATE: NOV. 29, 2021  
 11,261 PRR-APP TOLERANCES:  
 0.1/32" PER CITY SIZE TOLERANCE  
 1/32" PER CITY SIZE TOLERANCE  
 0.1/32" PER CITY SIZE TOLERANCE

REVISIONS  
 0 20 50  
 SCALE: 1" = 50 FEET  
 DRAWN BY: MK  
 CHECKED BY: CK  
 P.M.: JKME  
 JOB #: 20004113  
 FILE CODE: -  
 SHEET NO. 2

NOT FOR CONSTRUCTION



**311**  
 Know what's below.  
 Call before you dig.  
 THE LOCATION OF UTILITIES IS NOT GUARANTEED. THE CONTRACTOR SHALL OBTAIN THE LATEST RECORD DRAWINGS AND VERIFY THE LOCATION OF UTILITIES BY THE WORK OF PROBED DRUGS IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND ALL UNDERGROUND UTILITIES.

**NOTICE:**  
 CONSTRUCTION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE WORK OF PROBED DRUGS IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND ALL UNDERGROUND UTILITIES.

CONTRACTOR: ATWELL LLC  
 PROJECT NO: 20004113  
 DATE: 11/29/2023

**ATWELL**  
 11300 17TH AVE SE, SUITE 700  
 BURBANK, MI 48310  
 TEL: 248.447.2000  
 FAX: 248.447.2000

SECTION 17  
 TOWN 1 NORTH, RANGE 8 EAST  
 CITY OF NOVI  
 OAKLAND COUNTY, MICHIGAN

WIXOM ROAD DEVELOPMENT, LLC  
 AVALON PARK APARTMENTS  
 PLSR OVERLAY CONCEPT PLAN  
 REMOVAL PLANS

DATE: NOV. 29, 2021

11,292.01 PLSR APP. TOWNHOMES  
 152.72 PLSR OVERL. RES. LAYOUT  
 11,222.29 REVISIONS  
 84,192.81 REV. PER CITY

REVISIONS

0 25 50  
 SCALE: 1" = 50 FEET  
 DRAWN BY: MW  
 CHECKED BY: CK  
 P.M.: JKJMK  
 JOB #: 20004113  
 FILE CODE: -  
 SHEET NO. 3

**LEGEND**

BOUNDARY LINE	EXIST. EASEMENT	EXIST. EASEMENT	EXIST. CULVERT
EXIST. SECTION LINE	EXIST. CONTOUR	EXIST. VALVE	EXIST. CATCH BASIN/INLET
PROG. DEMO	EXIST. CURB AND GUTTER	EXIST. SANITARY SEWER	EXIST. HYDRANT
EXIST. BUILDING	EXIST. SOIL BOUNDARY	EXIST. UNSPECIFIED UTILITY	EXIST. SIGN
EXIST. SOLS TYPE	EXIST. TREE	EXIST. LIGHT POLE	EXIST. SON
EXIST. TREE DEMO	EXIST. WATER MAIN	EXIST. WETLAND	EXIST. UNDERGROUND UTILITY
EXIST. SANITARY	EXIST. STORM	EXIST. WOODLAND	CLEARING LIMITS
EXIST. OVERHEAD ELEC. LINE			

**PHRAGMITE REMOVAL NOTES**

TEN AREAS OF PHRAGMITES AUSTRALIS (PHRAGMITES) WERE IDENTIFIED BY ASTL OF THOSE 10 AREAS, SIX WILL BE REMOVED AS PART OF THE REDEVELOPMENT LEAVING FOUR AREAS TO BE TREATED. THOSE FOUR AREAS ARE PART OF WETLANDS A AND C.

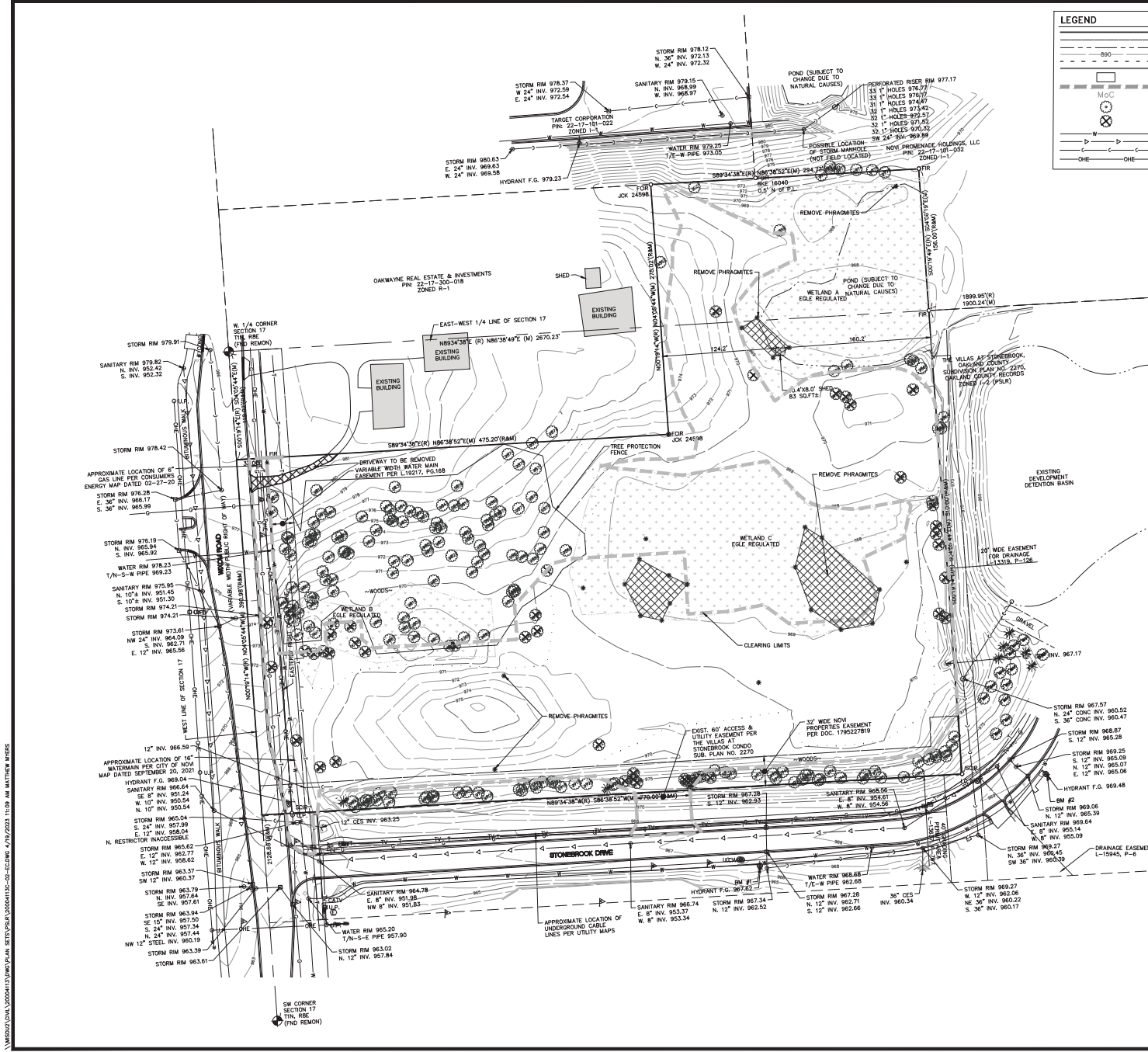
AREA OF PHRAGMITES TREATMENT: WETLAND A TOTALS 950 SF; WETLAND C TOTALS 5,505 SF.

TREAT PHRAGMITES WITH GLYPHOSATE IN LATE AUGUST/FIRST WEEK OF SEPTEMBER.

WAIT THREE WEEKS OR THE FIRST WEEK OF OCTOBER (WHICHEVER COMES SOONER) FOR THE BRACK THEN CUT DOWN AND DISPOSE OF OFF-SITE. TAKE TO REMOVE STEMS AND RHIZOMES AND EXPOSE BARE SOIL. SEED AREAS WITH A FORESTER WETLAND SEED MIX NATIVE TO MICHIGAN.

CHECK AREAS THE FOLLOWING FALL AND SPOT TREAT AS NECESSARY. SPOT TREATMENT SHOULD OCCUR UNTIL PHRAGMITES IS ELIMINATED.

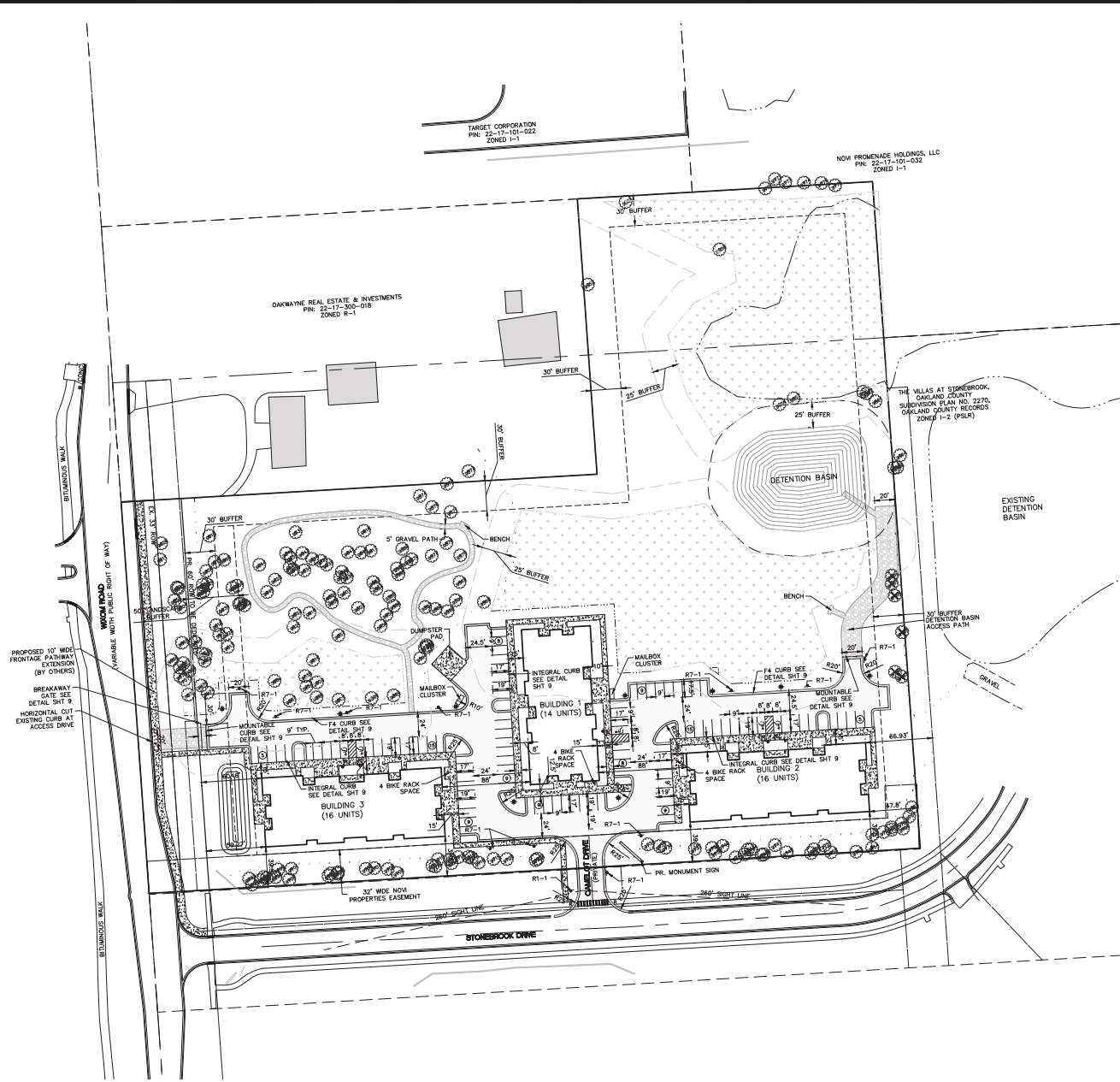
NO JAPANESE MUILKWEED WAS OBSERVED ON SITE.



M:\2023\20004113\DWG\PLAN SET\PSLR OVERLAY CONCEPT PLAN 11/29/2023 11:09 AM MATTHEW BATES

NOT FOR CONSTRUCTION

W:\PROJECTS\2024\20240413\DWG\PLAN SET\PSR\20240413-03-LWP 4/19/2024 11:09 AM MATTHEW WOODS



**LEGEND**

[Solid line]	BOUNDARY LINE
[Dashed line]	EXIST. EASEMENT
[Dotted line]	SECTION LINE
[Long dashed line]	EXISTING RIGHT OF WAY
[Short dashed line]	EXIST. CURB AND GUTTER
[Dash-dot line]	EXIST. WETLAND BUFFER
[Dotted line]	PROP. SETBACK
[Dashed line]	PROP. BUILDING
[Dotted line]	PROP. BACK OF CURB
[Dotted line]	EXIST. WETLAND
[Dotted line]	PROP. CONCRETE WALK
[Dotted line]	PROP. ASPH.
[Dotted line]	PROP. GRAVEL PATH
[Dotted line]	PROP. SIDEWALK RAMP

**SIGNAGE NOTES**

- SIGNS 12" X 18" OR SMALLER IN SIZE SHALL BE MOUNTED ON A GALVANIZED 2 LB. U-CHANNEL POST.
- SIGNS GREATER THAN 12" X 18" SHALL BE MOUNTED ON A GALVANIZED 3 LB. OR GREATER U-CHANNEL POST.
- SIGN BOTTOM HEIGHT OF 7' FROM FINAL GRADE.
- SIGNING SHALL BE PLACED 2' FROM THE FACE OF THE CURB OR EDGE OF THE NEAREST SIDEWALK TO THE NEAR EDGE OF THE SIGN.
- FHWA STANDARD ALPHABET SERIES USED FOR ALL SIGN LANGUAGE.
- HIGH-INTENSITY PRISMATIC (HIP) SHEETING TO MEET FHWA RETRO-REFLECTIVITY.



**SIGN QUANTITIES**

SIGN TYPE	SIGN SIZE	QUANTITY
R1-1	30"x30"	1
R7-1	18"x12"	11
R7-8	18"x12"	5
R7-8P	8"x12"	5

**LAYOUT NOTES**

- THE PROPOSED DEVELOPMENT IS PLANNED TO BE DEVELOPED USING THE CITY'S PLANNED SUBURBAN LOW-RISE (PSLR) OVERLAY DEVELOPMENT OPTION UNDER OVERLAY SPECIAL USE APPROVAL ALLOWING FOR "LOW-RISE MULTIPLE-FAMILY" RESIDENTIAL USES.
- THE PURPOSE OF THIS CONCEPT PLAN SUBMITTAL IS FOR PRELIMINARY ZONING REVIEW WITH THE CITY. IN ACCORDANCE WITH THE EXISTING PSUR OVERLAY.
- SITE ACCESS WILL BE VIA PRIVATE ENTRANCE AND PARKING LOT. THE PROPOSED CONNECTION WILL BE COORDINATED WITH THE CITY OF NOW.
- ALL SIDEWALKS AND SIDEWALK RAMPS WILL BE ADA COMPLIANT.
- SEE SHEET 9 FOR T-TURN AROUND DETAIL.
- THE DEVELOPMENT IS PROPOSED TO BE SERVED BY PUBLIC SEWER AND WATER. THE LOCATIONS OF THE EXISTING WATER AND SEWER AS SHOWN ARE APPROXIMATE. FIRE PROTECTION IS IN ACCORDANCE WITH CITY OF NOW STANDARDS WILL BE DEPICTED ON SUBSEQUENT SUBMITTALS.
- STORM WATER MANAGEMENT IS PROPOSED TO BE ADDRESSED THROUGH THE CONSTRUCTION OF A DETENTION BASIN AS SHOWN. REFER TO THE GRADING AND DETAILS SHEET FOR CONCEPTUAL SIGNING CALCULATION. THE STORM WATER OUTLET IS CURRENTLY PLANNED TO BE DETAINED FOR THE 100-YEAR EVENT ON-SITE AND THEN DIRECTED TO THE REGIONAL DETENTION BASIN TO THE SOUTH.
- THIS PROJECT IS TO BE COMPLETED IN A SINGLE PHASE.
- EMERGENCY ACCESS GATE IS TO BE INSTALLED AND CLOSED PRIOR TO THE ISSUANCE OF THE FIRST BUILDING PERMIT IN THE SUBDIVISION.

**ATWELL**  
 4800-4800 WILLOW AVE  
 TWO TOWNSHIP, MI 48061  
 TEL: 248.447.7000  
 FAX: 248.447.2000

---

SECTION 17

TOWN 1 NORTH, RANGE 8 EAST

CITY OF NOW

OAKLAND COUNTY, MICHIGAN

---

WIXOM ROAD DEVELOPMENT, LLC  
 AVALON PARK APARTMENTS  
 PSUR OVERLAY CONCEPT PLAN  
 LAYOUT PLAN

---

DATE: NOV. 29, 2021

11.29.21 PRE-APP TOWNSHIPS

11.23.21 PRE-CITY REV LAYOUT

11.22.21 REVISIONS

04.19.23 REV PER CITY

---

REVISIONS

0	25	50
---	----	----

SCALE: 1" = 50 FEET

DRAWN BY: MW

CHECKED BY: CK

P.M.: JJKME

JOB #: 200404113

FILE CODE: -

SHEET NO. 4

NOT FOR CONSTRUCTION



Call before you dig.

THE LOCATION OF UTILITIES... NOTIFICATION... ATWELL ENGINEERING, LLC... 248.447.2000



SECTION 17  
TOWN OF NORTH RANGE 8 EAST  
CITY OF NOVI  
OAKLAND COUNTY, MICHIGAN

WIXOM ROAD DEVELOPMENT, LLC  
AVALON PARK APARTMENTS  
PSLR OVERLAY CONCEPT PLAN  
UTILITY PLAN

DATE: NOV. 29, 2021

11.24.21 PLSR APP TOWNSHIPS  
11.23.21 PER CITY RES LAYOUT  
11.22.21 REVISIONS  
04.19.21 REV PER CITY

REVISIONS  
SCALE: 1" = 50 FEET  
DRAWN BY: JMK  
CHECKED BY: JMK  
JOB #: 20004113  
FILE CODE: -  
SHEET NO. 5

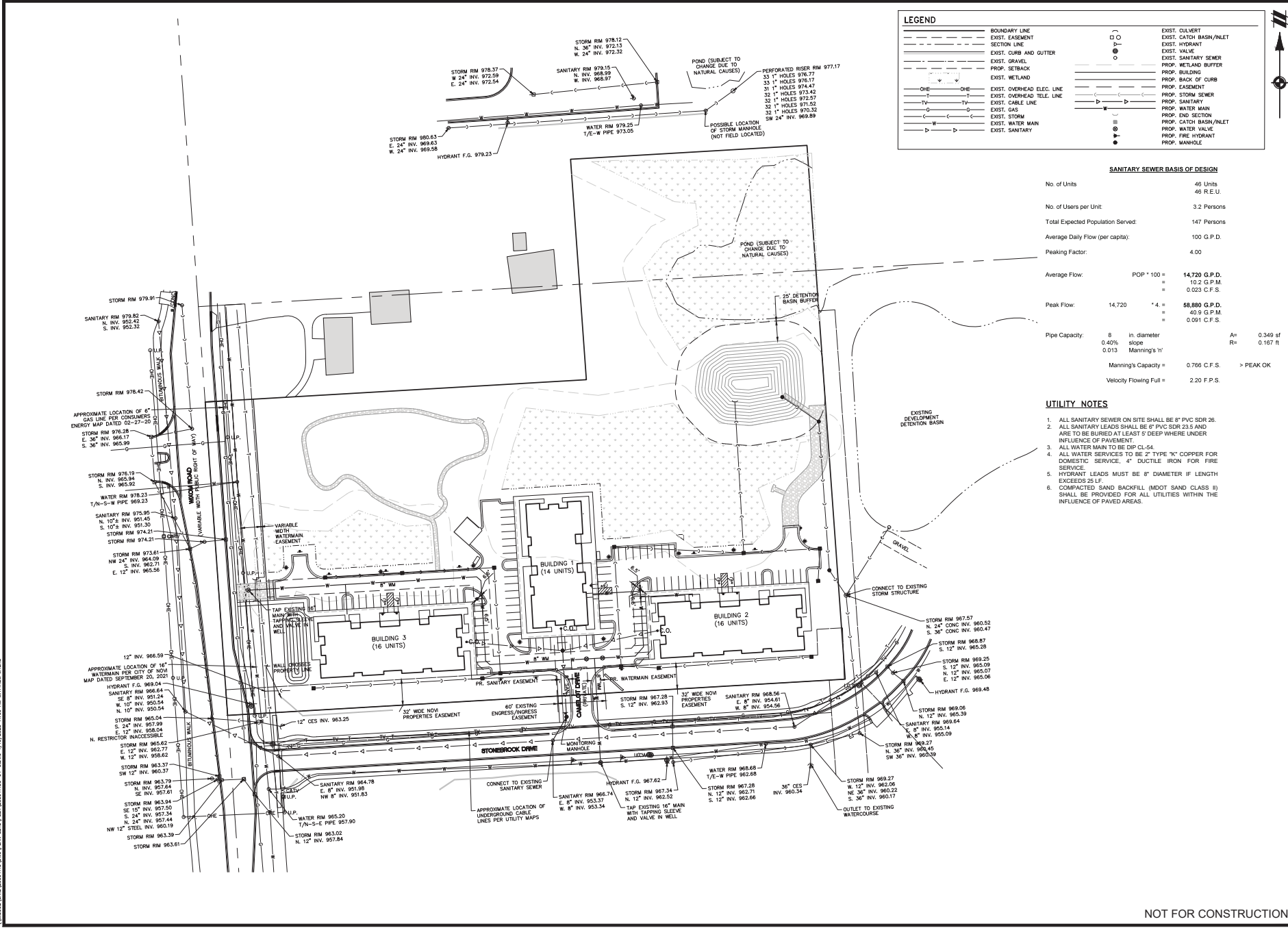
**LEGEND**

---	BOUNDARY LINE	○	EXIST. CULVERT
- - -	EXIST. EASEMENT	○	EXIST. CATCH BASIN/INLET
---	SECTION LINE	○	EXIST. HYDRANT
---	EXIST. CURB AND GUTTER	○	EXIST. VALVE
---	EXIST. GRAVEL	○	EXIST. SANITARY SEWER
---	PROF. SEEBACK	○	PROF. METLAND BUFFER
---	EXIST. WETLAND	○	PROF. BACK OF CURB
---	EXIST. OVERHEAD ELEC. LINE	○	PROF. EASEMENT
---	EXIST. OVERHEAD TELE. LINE	○	PROF. STORM SEWER
---	EXIST. CABLE LINE	○	PROF. SANITARY
---	EXIST. GAS	○	PROF. WATER MAIN
---	EXIST. STORM	○	PROF. END SECTION
---	EXIST. WATER MAIN	○	PROF. CATCH BASIN/INLET
---	EXIST. SANITARY	○	PROF. WATER VALVE
---		○	PROF. FIRE HYDRANT
---		○	PROF. MANHOLE

**SANITARY SEWER BASIS OF DESIGN**

No. of Units	46 Units
No. of Users per Unit	46 R.E.U.
Total Expected Population Served	3.2 Persons
Average Daily Flow (per capita)	100 G.P.D.
Peaking Factor:	4.00
Average Flow:	POP * 100 = 14,720 G.P.D.
	= 10.2 G.P.M.
	= 0.023 C.F.S.
Peak Flow:	14,720 * 4 = 58,880 G.P.D.
	= 40.9 G.P.M.
	= 0.051 C.F.S.
Pipe Capacity:	8 in diameter A= 0.349 ft
	0.013 Manning's n R= 0.167 ft
Manning's Capacity =	0.766 C.F.S. > PEAK OK
Velocity Flowing Full =	2.20 F.P.S.

- UTILITY NOTES**
- ALL SANITARY SEWER ON SITE SHALL BE 8" PVC SDR 26.
  - ALL SANITARY LEADS SHALL BE 6" PVC SDR 23.5 AND ARE TO BE BURIED AT LEAST 5' DEEP WHERE UNDER INFLUENCE OF PAVEMENT.
  - ALL WATER MAIN TO BE DIP C-54.
  - ALL WATER SERVICES TO BE 2" TYPE "K" COPPER FOR DOMESTIC SERVICE, 4" DUCTILE IRON FOR FIRE SERVICE.
  - HYDRANT LEADS MUST BE 8" DIAMETER IF LENGTH EXCEEDS 25 FT.
  - COMPACTED SAND BACKFILL (MOT SAND CLASS II) SHALL BE PROVIDED FOR ALL UTILITIES WITHIN THE INFLUENCE OF PAVED AREAS.

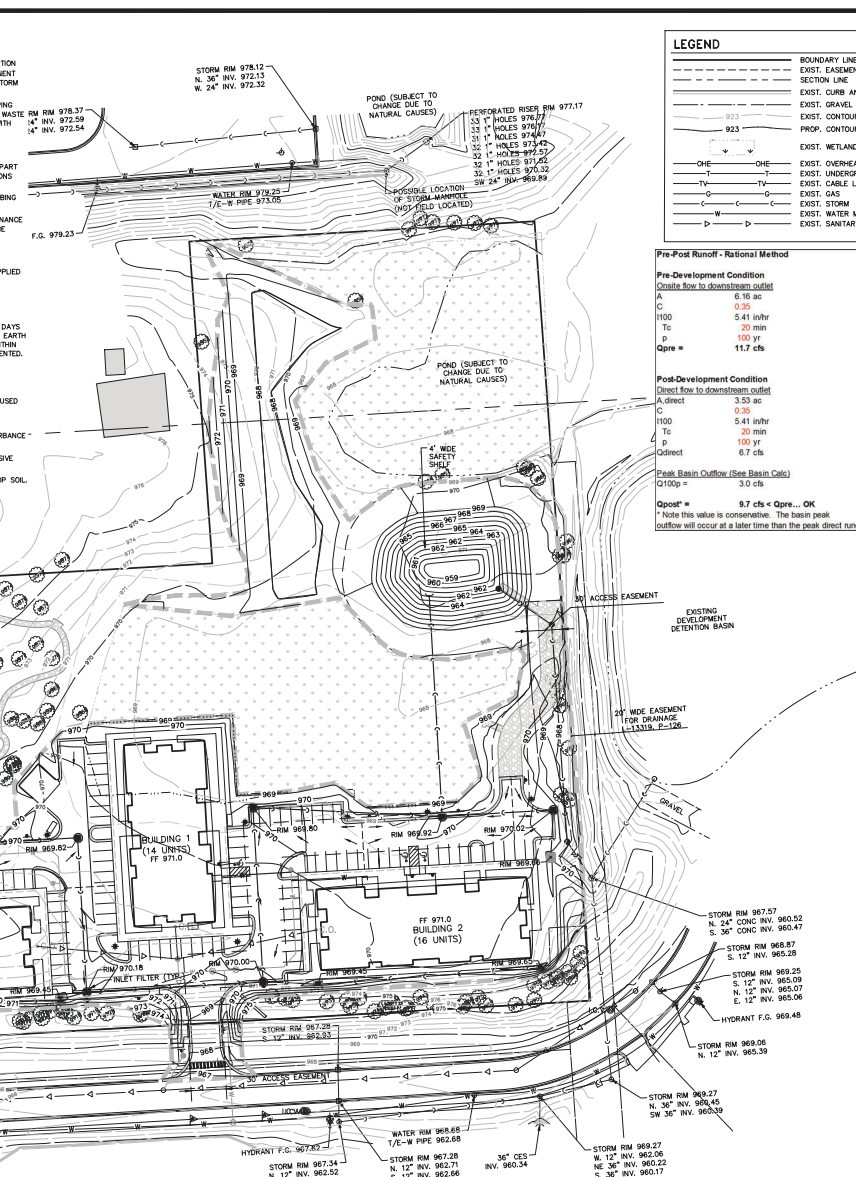


NOT FOR CONSTRUCTION



# GRADING AND SECC NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL WORK SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATION OF THE OAKLAND COUNTY WATER RESOURCES COMMISSIONER AND CITY OF NOVI.
2. SOIL EROSION AND SEDIMENTATION BEST MANAGEMENT PRACTICE (BMP) MEASURES SHALL BE INSTALLED PRIOR TO START OF ANY CONSTRUCTION OR EARTH DISRUPTION ACTIVITIES AND SHALL BE MAINTAINED AT ALL TIMES UNTIL CONSTRUCTION HAS BEEN COMPLETED, INCLUDING ALL GRASS BEING WELL ESTABLISHED AND/OR PERMANENT EROSION AND SEDIMENTATION BMP MEASURES ARE IN PLACE. OAKLAND COUNTY WATER RESOURCES COMMISSIONER MAY REQUIRE WORK TO BE STOPPED AND THE STORM DRAINAGE OUTLET TO ANY TOWNSHIP OR COUNTY SINKS IS PROHIBITED. HAZARDOUS WASTES ARE TO BE REMOVED OFF-SITE AND PROPERLY DISPOSED OF CONSISTENT WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS.
3. CONTRACTOR TO DESIGNATE A SITE DUMP/WASH AREA PRIOR TO STARTING CONSTRUCTION FOR SUCH PURPOSES AS WASHING OUT CONCRETE TRUCKS AND DUMPING NON-HAZARDOUS WASTE MATERIALS. SUBJECT TO THE SUPERVISION OF THE OAKLAND COUNTY WATER RESOURCES COMMISSIONER, DUMPING OR DISCHARGE OF ANY WASTE MATERIALS TO ANY TOWNSHIP OR COUNTY SINKS IS PROHIBITED. HAZARDOUS WASTES ARE TO BE REMOVED OFF-SITE AND PROPERLY DISPOSED OF CONSISTENT WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS.
4. DEVELOPER SHALL SUBMIT A DETAILED EROSION CONTROL PLAN, COMPLETED APPLICATION AND CHECKLIST FORMS, PAY ALL FEES AND POST AN EROSION CONTROL PERFORMANCE BOND, AS REQUIRED, PRIOR TO ANY EARTH CHANGE.
5. SEDIMENT AND EROSION CONTROLS MUST BE INSPECTED WITHIN 24 HOURS OF 0.50" OR GREATER RAINFALL. A WRITTEN LOG OF THESE INSPECTIONS MUST BECOME PART OF THE STORMWATER POLLUTION PREVENTION PLAN AND INDICATE THE DATE OF INSPECTION, NAME OF INSPECTOR, WEATHER CONDITIONS, OBSERVATIONS, AND ACTIONS TAKEN TO CORRECT ANY PROBLEMS AND THE DATE.
6. SEDIMENT TRAPS, INLET FILTERS, AND PERMIER CONTROLS SHALL BE IMPLEMENTED AS A FIRST STEP OF GRADING AND WITHIN 7 DAYS FROM THE START OF GRUBBING AND SHALL CONTINUE TO BE MAINTAINED UNTIL THE PROJECT IS COMPLETE.
7. INLET FILTERS SHALL BE INSPECTED FOR BUILD-UP OF SILT AND OTHER DEBRIS. THIS IS EVIDENT IF GEOTEXTILE/STONE STRUCTURE IS CAUSING FLOODING. MAINTENANCE WOULD CONSIST OF REMOVING OF SEDIMENTS WITH A STIFF BRISTLE BRUSH OR SQUARE POINT SHOVEL. IF INLET FILTER IS BEYOND THIS LEVEL, OR REPAIR IT MAY BE NECESSARY TO REPLACE BOTH THE STONE AND GEOTEXTILE FILTER.
8. EROSION AND SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES, AND PONDS.
9. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN, CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERMIER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF THE SITE.
10. CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED AND AS DIRECTED ON THESE PLANS. HE SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES, AND OTHER EARTH CHANGES HAS BEEN ACCOMPLISHED.
11. STORM PILES WILL BE SEEDED AND MULCHED AND RE-SEEDING DOES NOT TAKE.
12. PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 5 CALENDAR DAYS AFTER FINAL GRADING OR THE MEASURE HAS BEEN COMPLETED. WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER AN EARTH CHANGE HAS BEEN COMPLETED OR WHERE SIGNIFICANT EARTH CHANGE ACTIVITY CEASES, TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED WITHIN 30 CALENDAR DAYS. ALL TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED. ALL PERMANENT SOIL EROSION CONTROL MEASURES WILL BE IMPLEMENTED AND ESTABLISHED BEFORE A CERTIFICATE OF COMPLIANCE IS ISSUED.
13. ALL MUD/DIRT TRACKED OUTTO EXISTING ROADS FROM THIS SITE, DUE TO CONSTRUCTION, SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR/BUILDER.
14. CLEANUP WILL BE DONE IN A MANNER TO ENSURE THAT EROSION CONTROL MEASURES ARE NOT DISTURBED.
15. DUST CONTROLS WILL BE EXERCISED AT ALL TIMES WITHIN THE PROJECT BY THE CONTRACTOR, SPRINKLING TANK TRUCKS WILL BE AVAILABLE AT ALL TIMES TO BE USED ON HAUL ROUTES OR OTHER PLACES BECOMING A PROBLEM.
16. NO SOLID OR LIQUID WASTE SHALL BE DISCHARGED INTO STORM WATER RUNOFF.
17. EXCESS DIRT/FILL IS NOT TO BE PLACED WITHIN THE PROPOSED BUILDING LIMITS OR ON ANY AREAS ON OR ADJACENT TO THE SITE BEYOND THE LIMITS OF DISTURBANCE - SHOWN ON THE SOIL EROSION PLANS UNLESS WRITTEN AUTHORIZATION IS PROVIDED BY THE ACCEPTING LAND OWNER.
18. STAGING THE WORK WILL BE DONE BY THE LANDOWNER OR LANDOWNER'S REPRESENTATIVE AS DIRECTED IN THESE PLANS AND IN AN EFFORT TO ENSURE PROGRESSIVE STABILIZATION OF DISTURBED EARTH CHANGE.
19. TOP SOIL REPLACEMENT: TOP SOIL SHALL BE STOCKPILED ON THE SITE SO THAT AREAS MAY BE RECOVERED WITH A MINIMUM OF THREE INCHES OF TOP SOIL. ALL REPLACED TOP SOIL SHALL IMMEDIATELY BE PLANTED WITH GRASS OR OTHER PLANT MATERIAL ACCEPTABLE TO THE TOWNSHIP SO AS TO PREVENT EROSION.



### LEGEND

---	BOUNDARY LINE	○	EXIST. CULVERT
---	EXIST. EASEMENT	○	EXIST. CATCH BASIN/INLET
---	SECTION LINE	○	EXIST. HYDRANT
---	EXIST. CURB AND OUTLET	○	EXIST. VALVE
---	EXIST. GRAVEL	○	EXIST. SANITARY SEWER
---	EXIST. CONTOUR	○	PROP. STREBRACK
---	PROP. CONTOUR	○	PROP. BUILDING
---	ONE	○	PROP. BACK OF CURB
---	TWO	○	PROP. WETLAND BUFFER
---	THREE	○	PROP. GRADING LIMITS
---	EXIST. OVERHEAD ELEC. LINE	○	PROP. STORM SEWER
---	EXIST. UNDERGROUND UTILITY	○	PROP. SANITARY
---	EXIST. CABLE LINE	○	PROP. WATER MAIN
---	EXIST. GAS	○	PROP. END SECTION
---	EXIST. WATER MAIN	○	PROP. CATCH BASIN/INLET
---	EXIST. SANITARY	○	PROP. WATER VALVE
---		○	PROP. FIRE HYDRANT
---		○	PROP. MANHOLE

### Pre-Post Runoff - Rational Method

Pre-Development Condition	
Area	6.16 ac
Runoff Coefficient	0.35
Runoff	5.41 in/hr
Time of Concentration, Tc	20 min
Peak Runoff	112 cfs

Post-Development Condition	
Area	6.16 ac
Runoff Coefficient	0.35
Runoff	5.41 in/hr
Time of Concentration, Tc	20 min
Peak Runoff	112 cfs

### PRELIMINARY STORM WATER CALCULATIONS

Drainage Area and Runoff Coefficient	Area of	C	CA
Sub Area	0.00	1.0	0.00
Water	0.00	0.85	0.00
Impervious	3000	35.00	105,000
Grass	3000	56.00	168,000
Learn/Park	100	64.70	6,470
Total	152,460	1.50	2,287

Time of Concentration	Slope	L/F	V <sub>1/2</sub> (ft/sec)	Tc (min)
Sheet	1.0%	100	0.48	4.2
Channel	1.3%	100	1.37	3.8
Inlet	---	---	---	0.0
Conduit	---	---	---	0.0
Time of Concentration, Tc	1300	3.0	2.2	20.0

### 5.1. Detention Area Parameters

Design Detention Area, A <sub>d</sub>	= 3.50 ac	Calculated	C = 0.62A
Runoff Coeff. C	= 0.71		
Time of Concentration, T <sub>c</sub>	= 20.0 min	Assigned	

### 5.2. Channel Protection Volume Control

Post-development site runoff volume from a 1.5-inch rainfall event	= 17,727 cf
Channel Protection Volume Control	= 17,727 cf

### 5.3. Channel Protection Rate Control, Extended Detention

Based on a 2 year / 24 hour storm	= 17,139 cf
-----------------------------------	-------------

### 5.4. Water Quality Control (Forebay)

Forebay design volume = 15% of the Water Quality Volume	= 1,358 cf
---	------------

### 5.5. Detention and Flood Control

Design Detention Volume	= 17,139 cf
Forebay Design Volume	= 1,358 cf

## MAINTENANCE SCHEDULE AND NOTES

1. CHECKING THE DEPTH OF SEDIMENT DEPOSIT TO ENSURE THE CAPACITY OF THE BASIN IS ADEQUATE FOR STORM WATER AND SEDIMENT DEPOSITION, AND FOR THE REMOVING OF SEDIMENT.
2. CHECKING THE BASIN FOR PIPING, SEEPAGE OR OTHER MECHANICAL DAMAGE.
3. CHECKING FOR THE PRESENCE OF ANY SOIL CARVING, WHICH WOULD PREVENT PROPER DRAINAGE FROM THE BASIN.
4. CHECKING THE OUTFALL TO ENSURE DRAINAGE IS NOT CAUSING ANY CORROSIVE VELOCITIES AND TO ENSURE THE OUTLET IS NOT CLOGGED.
5. ANY PROBLEM DISCOVERED DURING THE MAINTENANCE CHECKS SHOULD BE ADDRESSED IMMEDIATELY.
6. SEDIMENT REMOVED DURING CLEANING SHOULD BE PLACED AT AN UP-LAND AREA AND NOT RETURNED TO THE MIXON ROAD DRAINAGE DISTRIB.
7. CLEANING OF THE SITE OF SITE DRAINING FROM ADJACENT PROPERTIES DRAIN INTO EXISTING WETLANDS.

## DRAINAGE NARRATIVE

THE SITE IS CURRENTLY PART OF THE MIXON ROAD DRAINAGE DISTRIB. THE AVALON PARK DEVELOPMENT RUNOFF WILL BE CAPTURED, DETAINED, AND RELEASED SOUTH INTO THE MIXON ROAD DRAINAGE DISTRIB. THE PROPOSED SITE REDUCES THE RUNOFF RATE TO THE MIXON ROAD DRAINAGE DISTRIB BY DETAINING ON SITE OF SITE DRAINING FROM ADJACENT PROPERTIES DRAIN INTO EXISTING WETLANDS.

### Pool Volume

Elevation	Surface Area	Depth	Cumulative Volume (Storage)
(Stage)	(SQ FT)	(FT)	(CF)
966.0	500	0	0
965.0	800	1.0	800
964.0	1200	1.0	2,000
963.0	1800	1.0	3,800
962.0	3000	1.0	6,800

**ATWELL**  
14000 WILLOW CREEK RD  
TOWNSHIP OF NOVI, MICHIGAN 48240  
TEL: 248.477.7000  
WWW.ATWELL-LLC.COM

SECTION 17  
TOWN OF NORTH RANGE 8 EAST  
CITY OF NOVI  
OAKLAND COUNTY, MICHIGAN

AXLON ROAD DEVELOPMENT, LLC  
AVILON PARK APARTMENTS  
P&I OVERLAY CONCEPT PLAN  
STORM WATER MANAGEMENT AND GRADING PLAN

DATE: NOV. 29, 2021  
11:26 AM P&I APP. LOCKED  
11:27 AM CIV. ELS. LOCKED  
11:22 REVISIONS  
\$419.23 REV PER CITY

REVISIONS
0
1
2
3
4
5
6

SCALE: 1" = 50 FEET  
DRAWN BY: MW  
CHECKED BY: CK  
P.M.I. TICKED  
JOB # 2004113  
FILE CODE: --  
SHEET NO. 6



Know what's below.

Call before you dig. The location of buried... Call before you dig.

NOTICE: Construction Site Safety is the sole responsibility of the contractor... ATWELL CONSULTING

ATWELL CONSULTING logo and address: 700 SOUTH BRIDGE STREET, SUITE 700, OAKLAND COUNTY, MICHIGAN 48864-4470



SECTION 17, TOWN OF NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

WIXOM ROAD DEVELOPMENT, LLC, AXVILON PARK APARTMENTS, P&R OVERLAY CONCEPT PLAN, WETLAND MITIGATION PLAN

DATE: NOV. 29, 2021. 11,292.91 P&R APP TOWNSHIP, 11,292.91 P&R CITY RES LAZOR, 11,292.22 REVISIONS, \$419.23 REV PER CITY

REVISIONS table with columns for date, description, and initials.

LEGEND table with symbols for boundary lines, easements, section lines, existing right of way, curbs and gutters, detention basins, setbacks, buildings, backs of curbs, wetlands, wetland demoes, wetland buffers, concrete walks, asphalt, and gravel paths.

WETLAND IMPACTS

Table with columns: Wetland, Edge, City, Wetland Area, Wetland Impact Area, Buffer Impact Area, Wetland Impact Volume, Wetland Impact Area, Wetland Impact Area, Mitigation Ratio, Wetland Impact Area. Includes a Totals row.

NOTES

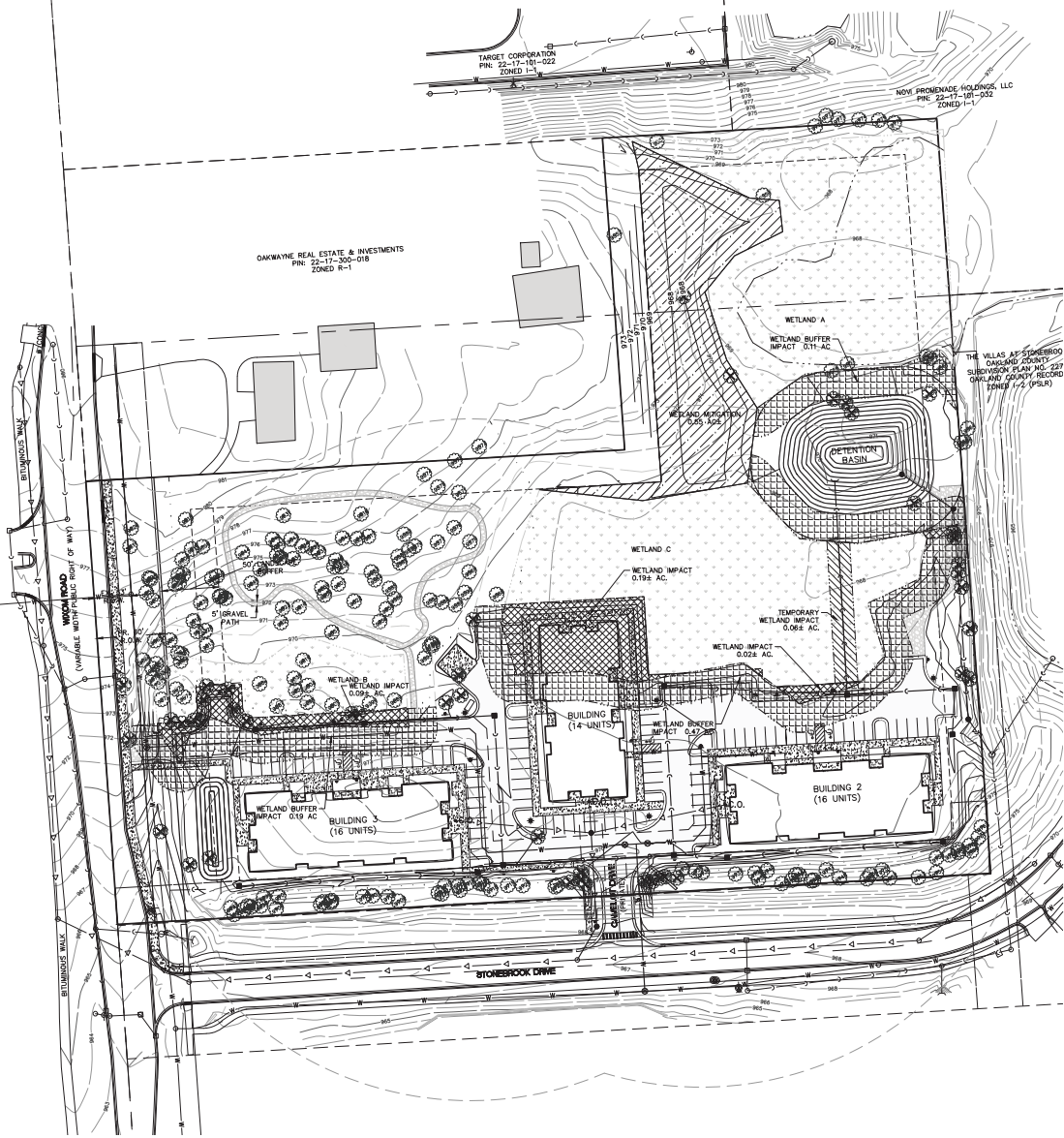
- 1. SEE LANDSCAPE SHEETS FOR TREE REPLACEMENT QUANTITIES.
2. WETLAND MITIGATION RATIOS PER MANNIK SMITH GROUP REVIEW DATED JANUARY 17TH, 2022.
3. MITIGATION NOT PROPOSED FOR TEMPORARY WETLAND IMPACT.
4. MITIGATION PLAN PER ASTL.
5. FOR TEMPORARY WETLAND DISTURBANCE USE EMERGENT SEED MIX.
6. FOR BUFFER DISTURBANCE USE THE CRP POLLINATOR MIX.
7. GRADE CONSTRUCTION AREA TO MEET EXISTING CONTOURS. ALL EXCESS MATERIAL MUST BE REMOVED OUTSIDE WETLAND AREAS.
8. SEED DISTURBED AREA WITH A WETLAND SEED MIX USING ONLY SPECIES NATIVE TO MICHIGAN.

TEMPORARY WETLAND RESTORATION

CRP POLLINATOR SEED MIX table with columns: GRASSES, SEEDS & BUSHES, PLS OZ/ACRE, SEEDS/SQ FT. Lists various plant species and their quantities.

EMERGENT WETLAND MIX

EMERGENT WETLAND MIX table with columns: GRASSES, SEEDS & BUSHES, PLS OZ/ACRE, SEEDS/SQ FT. Lists various plant species and their quantities.



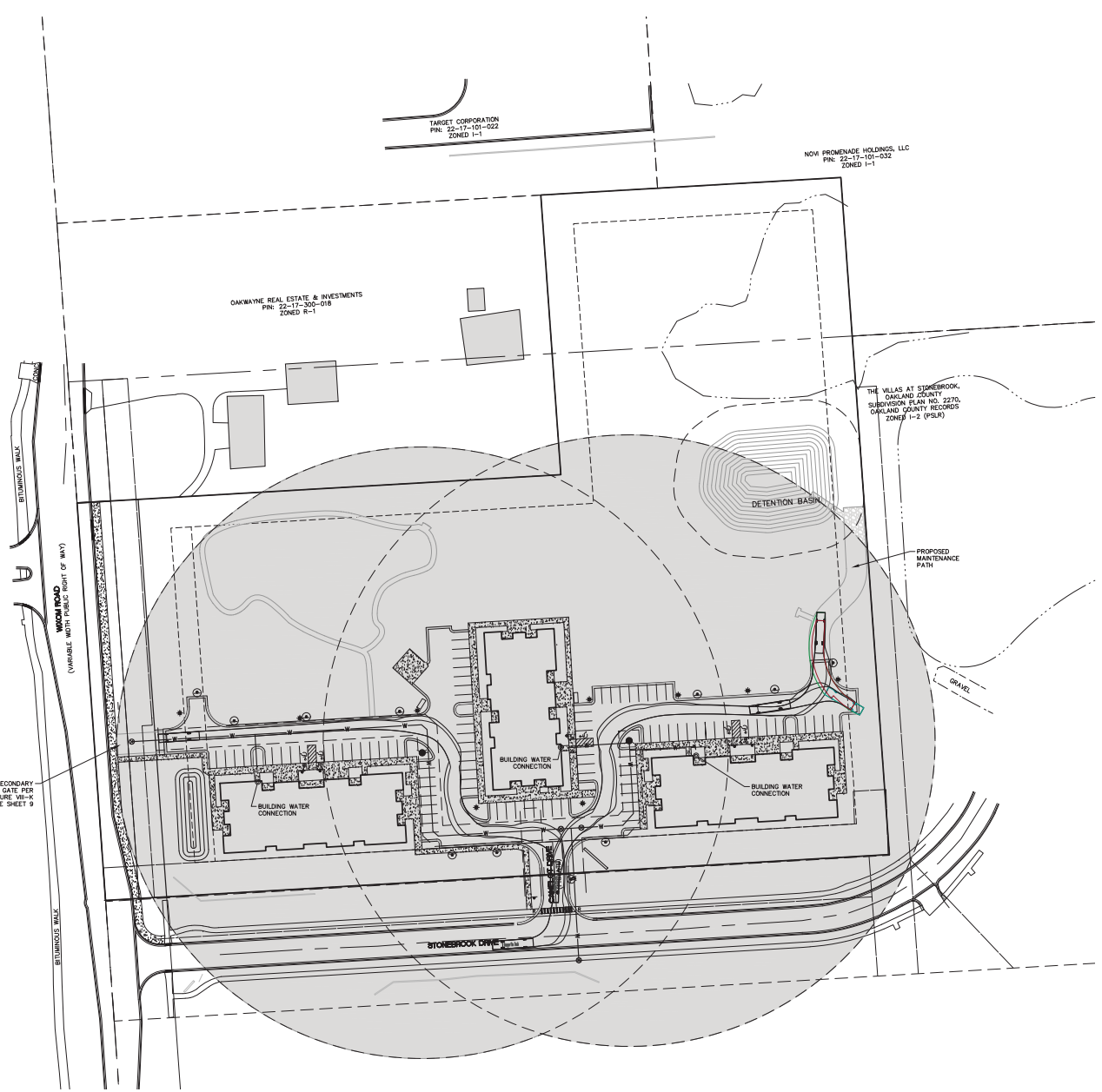
NOT FOR CONSTRUCTION

VERTICAL CURVE: 20004113.DWG PLAN SET: 15/01/2021 10:00 AM DATE: 11/29/2021 11:09 AM MATTHEW JONES



W:\PROJECTS\2004\213\DWG\PLAN SET\PSR\20040113-03-APP.DWG 4/19/2003 11:10 AM MATTHEW WATERS

EMERGENCY SECONDARY ACCESS DRIVE AND GATE PER CITY OF NOV. FIGURE VII-K SEE SHEET 9



**LEGEND**

- PROPOSED WATER MAIN
- 300' RADIUS HYDRANT COVERAGE (TYP.)
- PROPOSED HYDRANT
- NO PARKING - FIRE LANE SIGN



**311**

Know what's below.

Call before you dig.

THE LOCATION OF UTILITIES, INCLUDING BUT NOT LIMITED TO, GAS, WATER, AND SEWER, IS NOT GUARANTEED. ANY INFORMATION PROVIDED BY THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF UTILITIES PRIOR TO ANY CONSTRUCTION. ANY DAMAGE TO UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NOVATO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NOVATO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NOVATO.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NOVATO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NOVATO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NOVATO.

CONTRACTOR: ATWELL, LLC  
 REPRODUCTION SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF ATWELL, LLC

**FIRE DEPARTMENT NOTES**

1. ALL FIRE HYDRANTS MUST BE INSTALLED AND OPERATIONAL PRIOR TO ANY COMBUSTIBLE MATERIAL IS BROUGHT ON SITE.
2. THE MINIMUM WIDTH OF A POSTED FIRE LANE IS 20 FEET. THE MINIMUM HEIGHT OF A POSTED FIRE LANE IS 14 FEET.
3. AN UNOBSTRUCTED OUTSIDE TURNING RADIUS OF 50 FEET MINIMUM AND AN INSIDE TURNING RADIUS OF 30 FEET MAXIMUM ARE TO BE PROVIDED AT INTERSECTIONS OF PRIVATE OR PUBLIC ROADWAYS AND CURB-GUTTERS.
4. THE DISTRIBUTION SYSTEM IN ALL DEVELOPMENTS REQUIRING MORE THAN EIGHT HUNDRED (800) FEET OF WATER MAIN SHALL HAVE A MINIMUM OF TWO (2) CONNECTIONS TO A SOURCE OF SUPPLY AND SHALL BE A LOOPED SYSTEM.
5. THE ABILITY TO SERVE AT LEAST TWO THOUSAND (2,000) GALLONS PER MINUTE IN SINGLE-FAMILY DETACHED RESIDENTIAL, THREE THOUSAND (3,000) GALLONS PER SCHOOL AREAS, AND AT LEAST FOUR THOUSAND (4,000) GALLONS PER MINUTE IN OFFICE, INDUSTRIAL, AND SHOPPING CENTERS IS ESSENTIAL.
6. HYDRANTS SHALL BE SPACED APPROXIMATELY THREE HUNDRED (300) FEET APART ONLINE IN COMMERCIAL, INDUSTRIAL, AND MULTIPLE-RESIDENTIAL AREAS. IN CASES WHERE THE BUILDINGS WITHIN DEVELOPMENTS ARE FULLY FIRE SUPPRESSED, HYDRANTS SHALL BE NO MORE THAN FIVE HUNDRED (500) FEET APART. THE SPACING OF HYDRANTS AROUND COMMERCIAL AND/OR INDUSTRIAL DEVELOPMENTS SHALL BE CONSIDERED AS INDIVIDUAL CASES WHERE SPECIAL CIRCUMSTANCES EXIST UPON CONSULTATION WITH THE FIRE CHIEF.
7. ONSITE WATER MAINS ARE 8" DIAMETER.

**ATWELL**

444-440-4400 WIXOM, MI 48193  
 TWO SOUTH MAIN STREET SUITE 700  
 WIXOM, MI 48193  
 TEL: 517-248-4470 FAX: 517-248-4470

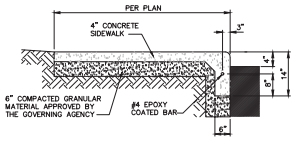
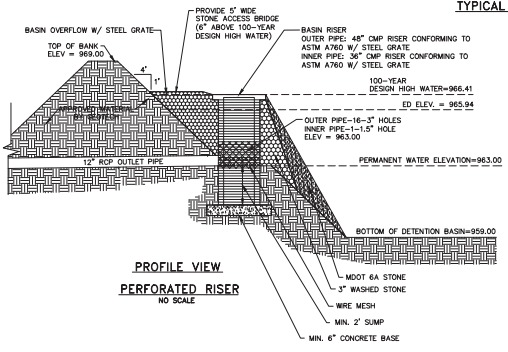
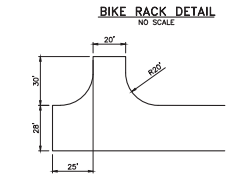
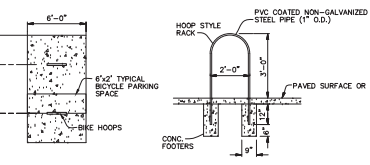
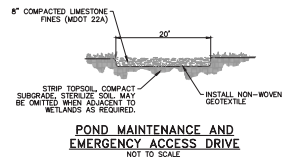
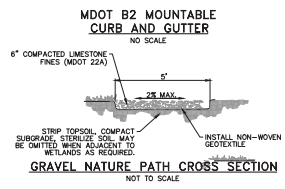
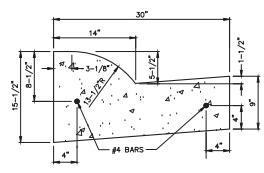
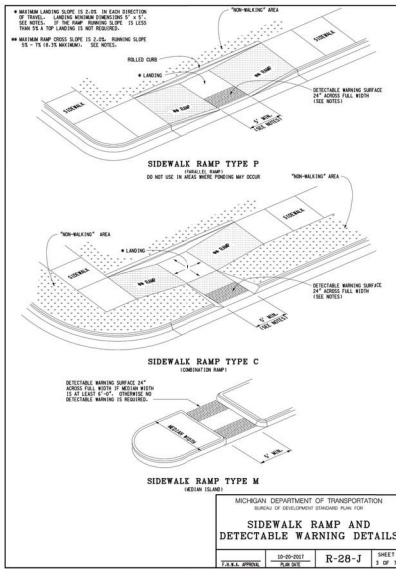
SECTION 17	TOWN 1 NORTH, RANGE 8 EAST
	CITY OF NOVATO
	OAKLAND COUNTY, MICHIGAN

WIXOM ROAD DEVELOPMENT, LLC  
 AVALON PARK APARTMENTS  
 PSR OVERLAY CONCEPT PLAN  
 FIRE PROTECTION PLAN

DATE	NOV. 29, 2021
11-29-21	PSR APP TOWNSHIPS
11-23-21	REV. CITY REV. LAYOUT
11-22-21	REVISIONS
04-19-21	REV. PER CITY

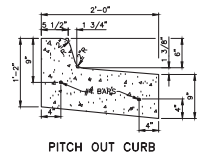
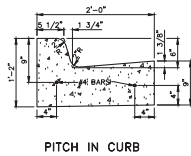
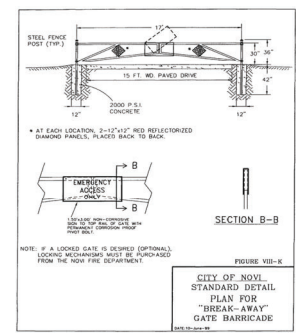
REVISIONS  
 0 25 50  
 SCALE: 1" = 50 FEET  
 DRAWN BY: MJW  
 CHECKED BY: CK  
 P.M.: JKME  
 JOB #: 20040113  
 FILE CODE: -  
 SHEET NO. 8

NOT FOR CONSTRUCTION



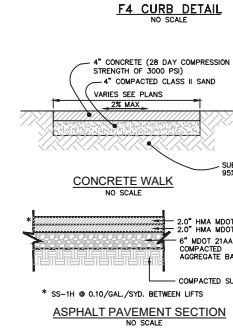
NOTE: WHERE THE CURB HEIGHT IS BEING REDUCED FOR ADA RAMP, THE RE-BAR SHALL HAVE A MINIMUM OF 3 INCHES OF COVER BELOW THE TOP OF CURB

NOTE: BASE AND SUBBASE AGGREGATES TO EXTEND MINIMUM 1'-0" BEHIND BACK OF CURB.

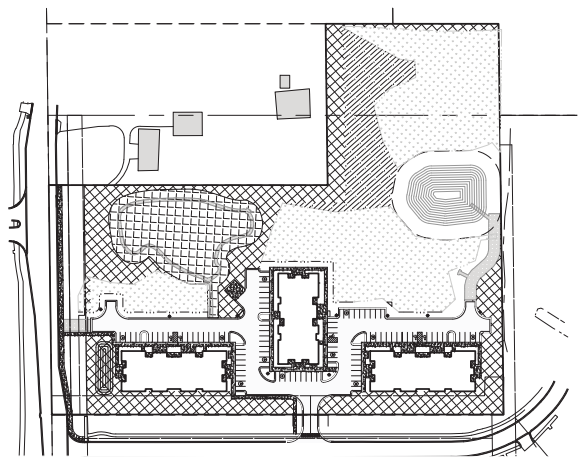


NOTE: WHERE THE CURB HEIGHT IS BEING REDUCED FOR ADA RAMP, THE RE-BAR SHALL HAVE A MINIMUM OF 3 INCHES OF COVER BELOW THE TOP OF CURB

NOTE: BASE AND SUBBASE AGGREGATES TO EXTEND MINIMUM 1'-0" BEHIND BACK OF CURB.



NOTE: 55-1H @ 0.10/GAL/INCH BETWEEN LIFTS



	PROPOSED	REQUIRED
TOTAL NET SITE AREA =	8.24 ACRES	-
TOTAL OPEN SPACE =	2.43 ACRES	-
PASSIVE OPEN SPACE =	1.69 ACRES	-
ACTIVE OPEN SPACE (WALKING TRAIL) =	0.74 ACRES	0.82 ACRES (10% OF SITE)

NOT FOR CONSTRUCTION

**811**  
Know what's below.  
Call before you dig.  
THE LOCATION OF EXISTING UTILITY LINES IS THE RESPONSIBILITY OF THE CALLER. CALLERS SHOULD VERIFY THE LOCATION OF EXISTING UTILITY LINES PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ALL UTILITIES WHICH MUST BE REPAIRED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY PERMITS AND ALL NECESSARY UTILITIES. CALL 811 AT LEAST 48 HOURS BEFORE ANY EXCAVATION. CONTACT INFORMATION: 811 MICHIGAN, 1-800-487-7000, WWW.811MICHIGAN.COM

**ATWELL**  
SECTION 17  
TOWN 1 NORTH, RANGE 8 EAST  
CITY OF NOVI  
OAKLAND COUNTY, MICHIGAN

WYOM ROAD DEVELOPMENT, LLC  
AVALON PARK APARTMENTS  
PSLR OVERLAY CONCEPT PLAN  
DETAIL SHEET

DATE: NOV. 29, 2021  
11.29.21 PRE-APP TOWNMEETING  
11.29.21 PRE-CITY REV. LAYOUT  
11.29.21 REVISIONS  
04.19.21 REV. PER CITY

REVISIONS  
NA NA NA  
N/A  
DRAWN BY: MA  
CHECKED BY: CK  
P.L.M.: LKME  
JOB #: 20004113  
FILE CODE: -  
SHEET NO. 9


\\ms0252\cadd\20040413\00001132-02-EC-DWG 4/17/2003 11:10 AM MATTHEW WATERS

Tag No.	DBH	Common Name	Botanical Name	Condition	Regulated Woodland	To Be Removed	Replacement Requirement
9624	15	Sugar Maple	<i>Acer saccharum</i>	Good	YES		
9625	8	Black Cherry	<i>Prunus serotina</i>	Good	YES		
9626	11	White Spruce	<i>Picea glauca</i>	Good	YES		
9627	15	Sugar Maple	<i>Acer saccharum</i>	Good	YES		
9628	17.5	Siberian Elm	<i>Ulmus pumila</i>	Good	YES		
9629	9	Siberian Elm	<i>Ulmus pumila</i>	Good	YES		
9630	15	Sugar Maple	<i>Acer saccharum</i>	Good	YES		
9631	34	White Pine	<i>Pinus albicaulis</i>	Good	YES		
9632	11	American Elm	<i>Ulmus americana</i>	Good	YES		
9633	18	Black Locust	<i>Robinia pseudoacacia</i>	Dead	YES		
9634	9	Silver Maple	<i>Acer saccharinum</i>	Good	YES		
9635	10	Silver Maple	<i>Acer saccharinum</i>	Good	YES		
9636	12	Siberian Elm	<i>Ulmus pumila</i>	Good	YES		
9637	13.5	Sugar Maple	<i>Acer saccharum</i>	Good	YES		
9638	20	Black Cherry	<i>Prunus serotina</i>	Fair	YES		
9639	15	Silver Maple	<i>Acer saccharinum</i>	Good	YES		
9640	12	Silver Maple	<i>Acer saccharinum</i>	Good	YES		
9641	10	American Elm	<i>Ulmus americana</i>	Good	YES		
9642	14	Eastern Cottonwood	<i>Populus deltoides</i>	Dead	YES		
9643	9.5	Sugar Maple	<i>Acer saccharum</i>	Good	YES		
9644	14	American Elm	<i>Ulmus americana</i>	Good	YES		
9645	12	Sugar Maple	<i>Acer saccharum</i>	Good	YES		
9646	8.5	Sugar Maple	<i>Acer saccharum</i>	Good	YES		
9647	22.5	Sugar Maple	<i>Acer saccharum</i>	Good	YES		
9648	16	Silver Maple	<i>Acer saccharinum</i>	Good	YES		
9649	14	Silver Maple	<i>Acer saccharinum</i>	Good	YES		
9650	9	American Elm	<i>Ulmus americana</i>	Good	YES		
9651	9	American Elm	<i>Ulmus americana</i>	Good	YES		
9652	17	White Ash	<i>Fraxinus americana</i>	Good	YES		
9653	14	Silver Maple	<i>Acer saccharinum</i>	Good	YES		
9654	10	American Elm	<i>Ulmus americana</i>	Good	YES		
9655	16.5	Silver Maple	<i>Acer saccharinum</i>	Good	YES		
9656	11	Swamp White Oak	<i>Quercus bicolor</i>	Good	YES		
9657	15	Swamp White Oak	<i>Quercus bicolor</i>	Good	YES		
9658	19.5	Siberian Elm	<i>Ulmus pumila</i>	Good	YES		
9659	19	Sugar Maple	<i>Acer saccharum</i>	Good	YES		
9660	42	Silver Maple	<i>Acer saccharinum</i>	Poor	YES		
9661	8	Pignut Hickory	<i>Carya glabra</i>	Good	YES		
9662	9.5	Pignut Hickory	<i>Carya glabra</i>	Good	YES		
9663	8	American Elm	<i>Ulmus americana</i>	Good	YES		
9664	11	American Elm	<i>Ulmus americana</i>	Good	YES		
9665	15	American Elm	<i>Ulmus americana</i>	Good	YES		
9666	9.5	Pignut Hickory	<i>Carya glabra</i>	Good	YES		
9667	15	Siberian Elm	<i>Ulmus pumila</i>	Good	YES		
9668	8.5	American Elm	<i>Ulmus americana</i>	Good	YES		
9669	8	American Elm	<i>Ulmus americana</i>	Good	YES		
9670	15.5	American Elm	<i>Ulmus americana</i>	Good	YES		
9671	8	Silver Maple	<i>Acer saccharinum</i>	Good	YES		
9672	20	White Oak	<i>Quercus alba</i>	Good	YES		
9673	11	Silver Maple	<i>Acer saccharinum</i>	Good	YES		
9674	9	American Elm	<i>Ulmus americana</i>	Good	YES		
9675	11.5	Sugar Maple	<i>Acer saccharum</i>	Good	YES		
9676	14	Silver Maple	<i>Acer saccharinum</i>	Good	YES		
9677	9	American Basswood	<i>Tilia americana</i>	Good	YES		
9678	9	American Basswood	<i>Tilia americana</i>	Good	YES		
9679	8	Silver Maple	<i>Acer saccharinum</i>	Good	YES		
9680	34	Silver Maple	<i>Acer saccharinum</i>	Good	YES		
9681	33	Silver Maple	<i>Acer saccharinum</i>	Good	YES		
9682	12	Silver Maple	<i>Acer saccharinum</i>	Good	YES		
9683	10.5	American Elm	<i>Ulmus americana</i>	Fair	YES		
9684	8	Silver Maple	<i>Acer saccharinum</i>	Good	YES		
9685	9	Silver Maple	<i>Acer saccharinum</i>	Good	YES		
9686	13	American Elm	<i>Ulmus americana</i>	Good	YES		
9687	18	Silver Maple	<i>Acer saccharinum</i>	Good	YES		
9688	16	Silver Maple	<i>Acer saccharinum</i>	Good	YES		
9689	8	Swamp White Oak	<i>Quercus bicolor</i>	Good	NO		
9690	13	Aspen	<i>Populus sp.</i>	Good	NO		
9691	24	Eastern Cottonwood	<i>Populus deltoides</i>	Good	NO	YES	0
9692	19	Eastern Cottonwood	<i>Populus deltoides</i>	Good	NO	YES	0
9693	13	Red Pine	<i>Pinus resinosa</i>	Good	NO		
9694	8	Red Pine	<i>Pinus resinosa</i>	Good	NO		
9695	10.5	Red Pine	<i>Pinus resinosa</i>	Good	NO		
9696	11.5	Red Pine	<i>Pinus resinosa</i>	Good	NO		
9697	10.5	Red Pine	<i>Pinus resinosa</i>	Good	NO		

Tag No.	DBH	Common Name	Botanical Name	Condition	Regulated Woodland	To Be Removed	Replacement Requirement	
9698	16	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9699	12.5	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9700	10.5	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9701	12	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9702	10	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9703	12	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9704	10	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9705	14	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9706	10.5	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9707	9	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9708	9	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9709	8	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9710	12	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9711	9.5	White Pine	<i>Pinus albicaulis</i>	Good	NO			
9712	9.5	White Pine	<i>Pinus albicaulis</i>	Good	NO			
9713	8	White Pine	<i>Pinus albicaulis</i>	Good	NO			
9714	9	White Pine	<i>Pinus albicaulis</i>	Good	NO			
9715	9	White Pine	<i>Pinus albicaulis</i>	Good	NO			
9716	9	White Pine	<i>Pinus albicaulis</i>	Good	NO			
9717	9	White Pine	<i>Pinus albicaulis</i>	Good	NO			
9718	10	American Basswood	<i>Tilia americana</i>	Good	NO			
9719	14	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9720	14	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9721	8	Red Pine	<i>Pinus resinosa</i>	Good	NO	YES	0	
9722	11	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9723	13	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9724	10	Red Pine	<i>Pinus resinosa</i>	Good	NO	YES	0	
9725	9	Red Pine	<i>Pinus resinosa</i>	Good	NO	YES	0	
9726	9.5	Red Pine	<i>Pinus resinosa</i>	Good	NO	YES	0	
9727	12	Red Pine	<i>Pinus resinosa</i>	Good	NO	YES	0	
9728	10	Red Pine	<i>Pinus resinosa</i>	Good	NO	YES	0	
9729	10	White Pine	<i>Pinus albicaulis</i>	Good	NO	YES	0	
9730	8	White Pine	<i>Pinus albicaulis</i>	Good	NO	YES	0	
9731	10	White Pine	<i>Pinus albicaulis</i>	Good	NO	YES	0	
9732	11	White Pine	<i>Pinus albicaulis</i>	Good	NO	YES	0	
9733	10	White Pine	<i>Pinus albicaulis</i>	Good	NO	YES	0	
9734	12	White Pine	<i>Pinus albicaulis</i>	Good	NO	YES	0	
9735	13	White Pine	<i>Pinus albicaulis</i>	Good	NO	YES	0	
9736	11	White Pine	<i>Pinus albicaulis</i>	Good	NO	YES	0	
9737	13.5	Callery Pear	<i>Pyrus calleryana</i>	Good	NO			
9738	11	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9739	12.5	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9740	13	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9741	9	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9742	12	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9743	10	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9744	12	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9745	11.5	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9746	11	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9747	13	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9748	12	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9749	11	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9750	12	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9751	9	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9752	8	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9753	10	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9754	10	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9755	9	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9756	9	Callery Pear	<i>Pyrus calleryana</i>	Good	NO			
9757	9	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9758	9	Red Pine	<i>Pinus resinosa</i>	Good	NO			
9759	10	White Pine	<i>Pinus albicaulis</i>	Fair	NO			
9760	8	White Pine	<i>Pinus albicaulis</i>	Good	NO			
9761	9	White Pine	<i>Pinus albicaulis</i>	Good	NO			
9762	9	White Pine	<i>Pinus albicaulis</i>	Good	NO			
9763	11	Eastern Cottonwood	<i>Populus deltoides</i>	Good	NO			
9764	10	Black Willow	<i>Salix nigra</i>	Good	NO			
9765	10	Black Willow	<i>Salix nigra</i>	Good	NO			
9766	10	Black Willow	<i>Salix nigra</i>	Poor	NO			
9767	8	Black Willow	<i>Salix nigra</i>	Good	NO			
9768	8	Black Willow	<i>Salix nigra</i>	Good	NO			
9769	24	Eastern Cottonwood	<i>Populus deltoides</i>	Good	NO	YES	0	
9770	13	Black Willow	<i>Salix nigra</i>	Fair	NO	YES	0	
9771	12	White Oak	<i>Quercus alba</i>	Good	NO			
9772	10	Northern White Cedar	<i>Thuja occidentalis</i>	Good	NO			
9773	34	Eastern Cottonwood	<i>Populus deltoides</i>	Good	NO			
9774	9	American Elm	<i>Ulmus americana</i>	Good	NO			
9775	13	American Elm	<i>Ulmus americana</i>	Good	NO			
9776	9	Red Oak	<i>Quercus rubra</i>	Good	NO			
Total:							36	26

NOTES:  
 NO TREES OVER 36" D.B.H. ARE BEING REMOVED. TREE REPLACEMENT BASED ON WOODLANDS TABLE IN SECTION 37-8 OF THE WOODLANDS PROTECTION NOW CODE OF ORDINANCES.  
 ALL REPLACEMENT TREES SHALL BE TWO AND ONE-HALF (2 1/2) INCHES CALIPER OR GREATER. ALL REPLACEMENT TREES SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.

NOT FOR CONSTRUCTION




Know what's below.  
 Call before you dig.

THE LOCATION OF UTILITIES, INCLUDING BUT NOT LIMITED TO, GAS, WATER, SINK, SEWER, AND TELEPHONE LINES, SHALL BE DETERMINED BY THE CITY OF OAKLAND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK OF PROTECTING EXISTING UTILITIES AND FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES DAMAGED BY THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES DAMAGED BY THE WORK.

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES DAMAGED BY THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES DAMAGED BY THE WORK.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES DAMAGED BY THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES DAMAGED BY THE WORK.



ATWELL  
 4800 WOODLAND AVENUE  
 OAKLAND, MICHIGAN 48113  
 TEL: 484.447.2000

SECTION 17  
 TOWN OF NORTH RANGE 8 EAST  
 CITY OF NOVI  
 OAKLAND COUNTY, MICHIGAN

WIXOM ROAD DEVELOPMENT, LLC  
 AVALON PARK APARTMENTS  
 PLSR OVERLAY CONCEPT PLAN  
 TREE LIST

DATE: NOV. 29, 2021  
 11:26:01 PM - APP. 10:00:00 AM  
 11:23:28 PM - CITY DESK LAYOUT  
 11:22:22 REVISED  
 04/18/23 REV PER CITY

REVISIONS

NO.	DATE	BY	DESCRIPTION

DRAWN BY: MK  
 CHECKED BY: CK  
 JOB #: 20004113  
 FILE CODE: -  
 SHEET NO. 10



**D-Series Size 1**  
Legacy LED Area Luminaire

**Specifications**

Depth: 11.5" (293mm)  
 Depth (B): 11.5" (293mm)  
 Depth (D): 11.5" (293mm)  
 Height: 9" (229mm)  
 Height (A): 9" (229mm)  
 Height (B): 9" (229mm)  
 Height (C): 9" (229mm)  
 Height (D): 9" (229mm)  
 Height (E): 9" (229mm)  
 Height (F): 9" (229mm)  
 Height (G): 9" (229mm)  
 Height (H): 9" (229mm)  
 Height (I): 9" (229mm)  
 Height (J): 9" (229mm)  
 Height (K): 9" (229mm)  
 Height (L): 9" (229mm)  
 Height (M): 9" (229mm)  
 Height (N): 9" (229mm)  
 Height (O): 9" (229mm)  
 Height (P): 9" (229mm)  
 Height (Q): 9" (229mm)  
 Height (R): 9" (229mm)  
 Height (S): 9" (229mm)  
 Height (T): 9" (229mm)  
 Height (U): 9" (229mm)  
 Height (V): 9" (229mm)  
 Height (W): 9" (229mm)  
 Height (X): 9" (229mm)  
 Height (Y): 9" (229mm)  
 Height (Z): 9" (229mm)



**WEDGE3 LED**  
Architectural Wall Sconce

**Specifications**

Depth (D): 4" (102mm)  
 Depth (B): 4" (102mm)  
 Height: 9" (229mm)  
 Height (A): 9" (229mm)  
 Height (B): 9" (229mm)  
 Height (C): 9" (229mm)  
 Height (D): 9" (229mm)  
 Height (E): 9" (229mm)  
 Height (F): 9" (229mm)  
 Height (G): 9" (229mm)  
 Height (H): 9" (229mm)  
 Height (I): 9" (229mm)  
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 Height (T): 9" (229mm)  
 Height (U): 9" (229mm)  
 Height (V): 9" (229mm)  
 Height (W): 9" (229mm)  
 Height (X): 9" (229mm)  
 Height (Y): 9" (229mm)  
 Height (Z): 9" (229mm)

**Ordering Information**

EXAMPLE: DSX1 LED P7 40K T3M MV0LT 5PA N2ARQZ P3RW DOBDD 01

Item #	Qty	Description	Unit	Notes
DSX100	100	DSX1 LED P7 40K T3M MV0LT 5PA N2ARQZ P3RW DOBDD 01	EA	

**Ordering Information**

EXAMPLE: WDG3 LED P3 40K 700R R3 MV0LT SRM DOBDD

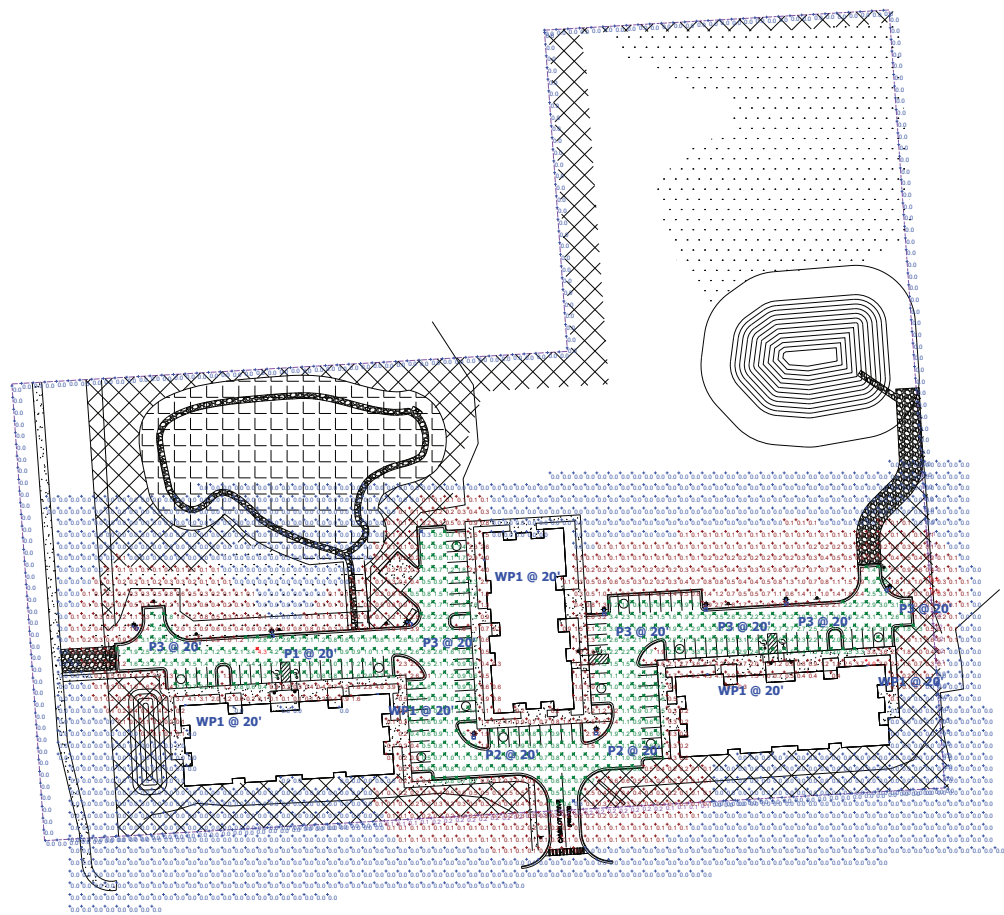
Item #	Qty	Description	Unit	Notes
WDG300	100	WDG3 LED P3 40K 700R R3 MV0LT SRM DOBDD	EA	

Item #	Qty	Description	Unit	Notes
DSX100	100	DSX1 LED P7 40K T3M MV0LT 5PA N2ARQZ P3RW DOBDD 01	EA	
WDG300	100	WDG3 LED P3 40K 700R R3 MV0LT SRM DOBDD	EA	

Item #	Qty	Description	Unit	Notes
WDG300	100	WDG3 LED P3 40K 700R R3 MV0LT SRM DOBDD	EA	

**LITHONIA LIGHTING**  
 10000 W. Granddave Ave., Columbus, Georgia 31907 • Phone: 404.886.9000 • Fax: 404.886.9001  
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**LITHONIA LIGHTING**  
 COMMERCIAL OUTDOOR  
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 2020 © 2022 LITHONIA LIGHTING



**General Note**

- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
- CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"
- LIGHTING ALTERNATES REQUIRE NEW PHOTOMETRIC CALCULATION AND RESUBMISSION TO CITY FOR APPROVAL.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

FOR ORDERING INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

**Plan View**  
Scale - 1" = 50'

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Lumens Per Lamp	Light Loss Factor	Wattage	Mounting Height
□	P1	1	Lithonia Lighting	DSX1 LED P7 40K BLC	DSX1 LED P7 40K BLC MV0LT	LED	10300	0.9	102	20'
□	P2	2	Lithonia Lighting	DSX1 LED P7 40K T5W	DSX1 LED P7 40K T5W MV0LT	LED	10900	0.9	102	20'
□	P3	5	Lithonia Lighting	DSX1 LED P3 40K T3TW	DSX1 LED P3 40K T3TW MV0LT	LED	12534	0.9	102	20'
□	WP1	6	Lithonia Lighting	WDG3 LED P3 700R R3	WDG3 LED WITH P3 PERFORMANCE PACKAGE, 700R, 700R, 700R, 700R, 700R, 700R OPTIC	LED	856	0.9	59.2761	20'

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Parking Lot	✕	1.6 fc	4.3 fc	0.3 fc	14.3:1	5.3:1	0.4:1
Property Line	+	0.0 fc	0.4 fc	0.0 fc	N/A	N/A	0.0:1
Grade @ 0'	+	0.5 fc	4.9 fc	0.0 fc	N/A	N/A	0.1:1

**Designer**  
 DS  
**Date**  
 10/20/2022  
 Rev. 03/16/2023  
**Scale**  
 Not to Scale  
**Drawing No.**  
 #22-81512 V2  
**1 of 1**



**CITY OF NOVI LANDSCAPE NOTES:**

1. ALL PLANT MATERIALS ARE TO BE INSTALLED IN A SOUND, WORKMAN-LIKE MANNER AND IN ACCORDANCE WITH THE CURRENT CITY OF NOVI PLANTING REQUIREMENTS
2. ALL PLANT MATERIALS SHALL BE INSTALLED BETWEEN MARCH 15th AND NOVEMBER 15th.
3. ALL PLANT MATERIALS ARE TO BE NORTHERN NURSERY GROWN IN 1" GRADE AND INSTALLED ACCORDING TO ACCEPTED PLANTING PROCEDURES. ALL PLANT MATERIALS SHALL CONFORM TO THE CURRENT ANA STANDARDS FOR NURSERY STOCK. THEY SHALL BE PLANTED ACCORDING TO THE CITY OF NOVI PLANTING AND CARE INSTRUCTIONS. THE CITY SHALL HAVE THE RIGHT TO INSPECT THE PLANT MATERIALS PRIOR TO PLANTING AND TO REJECT ANY PLANT MATERIALS DEEMED NOT TO MEET THE STANDARDS OF THE ZONING ORDINANCE.
4. ALL TREES SHALL HAVE A CENTRAL LEADER AND A RADIAL BRANCHING STRUCTURE. PARK GRADE TREES ARE NOT ACCEPTABLE. ALL TREES SHALL BE SHIELDED AND BRANDED (BARK).
5. ANY DECIDUOUS CANOPY TREES WITH BRANCHES THAT MIGHT TEND TO DEVELOP INTO "Y" CROTCHES SHALL BE SUBORDINATED SO AS NOT TO BECOME DOMINANT BRANCHES.
6. MULCH SHALL BE NATURAL COLOR, FINELY SHREDED HARDWOOD BARK FOR ALL PLANTINGS. 4" THICK FOR TREES IN 4 FOOT DIAMETER CIRCLE WITH 1" PULLED AWAY FROM TRUNK. 3" THICK FOR SHRUBS AND SHRUB BEDS AND 2" THICK BARK FOR PERSONALS.
7. ALL PLANT MATERIAL SHALL BE WARRANTED FOR TWO (2) FULL YEARS AFTER DATE OF ACCEPTANCE BY THE CITY OF NOVI. ALL UNHEALTHY AND DEAD MATERIAL SHALL BE REPLACED WITHIN 3 MONTHS OF DISCOVERY OR THE NEXT APPROPRIATE PLANTING PERIOD WHICH EVER COMES FIRST.
8. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION INCLUDING WATERING, CULTIVATION, WEED CONTROL AND SOIL ENRICHMENTS AS MAY BE NECESSARY.
9. ANY SUBSTITUTIONS OR DEVIATIONS FROM THE LANDSCAPE PLAN MUST BE APPROVED IN WRITING BY THE CITY OF NOVI PRIOR TO INSTALLATION.
10. ALL TREE WRAP, STAKES, AND GUYS MUST BE REMOVED BY JULY 1ST FOLLOWING THE FIRST WINTER SEASON AFTER INSTALLATION.
11. ALL LANDSCAPE AREAS ARE TO BE MAINTAINED IN HEALTHY GROWING CONDITION FREE OF DEBRIS AND REFUSE AND IN CONFORMANCE WITH THE APPROVED LANDSCAPE PLAN.
12. CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS AND EXCESS MATERIALS FROM THE SITE PRIOR TO FINAL ACCEPTANCE.
13. PLANT MATERIALS, EXCEPT SOO, FRODO COVERS AND CREeping TYPE PLANTINGS, SHALL NOT BE LOCATED WITHIN FOUR (4) FEET OF THE PROPERTY LINE.
14. ALL TRANSFORMERS ARE TO BE SCREENED ON THREE SIDES (MIN) IN ACCORDANCE WITH THE CITY OF NOVI ORDINANCE AND SO AS NOT TO CONTACT WITH DTE RESTRICTIONS. (SEE DETAIL THIS SHEET).
15. THE OWNER IS RESPONSIBLE FOR REQUEST OF FINAL INSPECTION AND ACCEPTANCE OF THE LANDSCAPE AT THE END OF THE 2-YEAR WARRANTY PERIOD.
16. THE PROVIDER OF THE FINANCIAL GUARANTEE FOR THE LANDSCAPE INSTALLATION SHALL BE FULLY RESPONSIBLE FOR COMPLETION OF THE LANDSCAPE INSTALLATION AND MAINTENANCE FOR THE APPROVED LANDSCAPE PLAN AND APPLICABLE CITY ORDINANCES.

17. THE DETAILS AND NOTES SHOWN ON THIS PAGE ARE STANDARDS. THESE DETAILS ARE NOT ALL INCLUSIVE AND ARE NOT MEANT TO SUBSTITUTE FOR ANY ORDINANCE OR CODE REQUIREMENT. FOR COMPLETE LANDSCAPE REQUIREMENTS, SEE THE ZONING ORDINANCE LANDSCAPE SECTION 5.3.3. LANDSCAPE DESIGN MANUAL AND THE APPROPRIATE REFERENCES WITHIN THE APPLICABLE ZONING CLASSIFICATION AND ANY OTHER APPLICABLE CODE REQUIREMENTS.
18. INTENDED DATE OF INSTALLATION SHALL BE BETWEEN MARCH 15th AND NOVEMBER 15th. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR 2 YEARS, A MINIMUM OF ONE CULTIVATION IN JUNE, JULY AND AUGUST FOR THE 2-YEAR WARRANTY PERIOD.

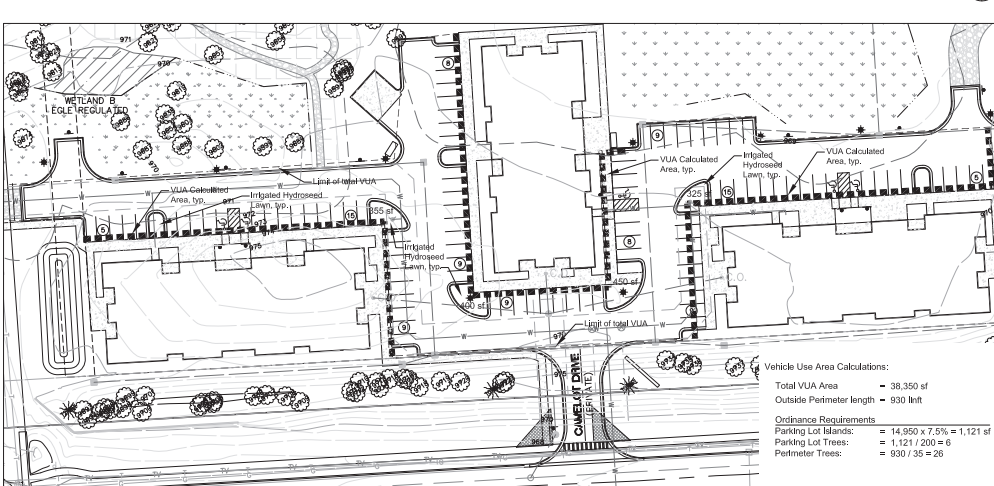
**LANDSCAPE PLANTING NOTES:**

1. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH ALL PERTINENT UTILITY COMPANIES 72 HOURS IN ADVANCE OF ANY DESIRE TO MAKE THESE SERVICES AVAILABLE WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SAID UTILITIES OR STRUCTURES.
2. CONTRACTOR SHALL NOT FULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST. SUCH CONDITIONS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
3. ANY DISCREPANCIES BETWEEN DIMENSIONED LAYOUT AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE. FAILURE TO MAKE SUCH DISCREPANCIES KNOWN WILL RESULT IN CONTRACTOR'S RESPONSIBILITY AND LIABILITY FOR ANY CHANGES AND ASSOCIATED COSTS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH CONSTRUCTION INSTALLATION OPERATIONS.
5. CONTRACTOR SHALL PROVIDE AND MAINTAIN POSITIVE SURFACE DRAINAGE.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EXISTING MATERIALS THAT ARE DAMAGED DURING CONSTRUCTION.
7. SEE PLANT & MATERIAL LIST AND PLANTING DETAILS FOR PLANTING REQUIREMENTS, MATERIALS AND EXECUTION.
8. THE LOCATION OF ALL PLANT MATERIAL SHALL BE SCALED FROM DRAWINGS OR INTERPRETED FROM PLANT LIST. FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL FROM THE OWNER'S REPRESENTATIVE.
9. THE CONTRACTOR SHALL "WATER IN" AND FERTILIZE ALL PLANTS IMMEDIATELY AFTER PLANTING.
10. AN AUTOMATED IRRIGATION SYSTEM SHALL BE INSTALLED TO PROVIDE IRRIGATION TO ALL NEW SOO LAWN AND PLANTING BED AREAS WITHIN THE LIMITS OF CONSTRUCTION. SEE IRRIGATION PLAN FOR LOCATION, LAYOUT, AND DETAIL. IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO ENSURE THAT THE LANDSCAPE IRRIGATION CONTRACTOR COMPLETES "AS BUILT" DRAWINGS WHICH WILL DOCUMENT THE IRRIGATION SYSTEM AND THAT THE DRAWINGS SHALL BE SUBMITTED TO THE CITY OF NOVI BUILDING DEPARTMENT AS A RECORD SET OF THE IRRIGATION SYSTEM. THE IRRIGATION SYSTEM SHALL MEET ALL STANDARDS AND REQUIREMENTS OF THE CITY OF NOVI INCLUDING ALL PERMITS AND INSPECTIONS. TYP.
11. CONTRACTOR SHALL ADHERE TO ALL SOO EROSION PREVENTION METHODS AS DIRECTED WITHIN CIVIL ENGINEERING DRAWINGS AND MUNICIPAL ORDINANCE INCLUDING MAINTAINING Silt FENCING AND ENSURING THAT SOIL SILT AND OTHER DEBRIS IS PREVENTED FROM LEAVING SITE OR ENTERING AREA DRAINS, SEWER INLETS, CREEKS OR NATURAL AREAS.
12. ALL UNPAVED AREAS WITHIN PROJECT AREA SHALL BE SOO LAWN, MULCH PLANNING BEDS, DETENTION BASIN WITH SPECIFIED SEED MIX, OR GROUND COVER PLANTINGS. TYP.

**IRRIGATION SYSTEM REQUIREMENTS:**

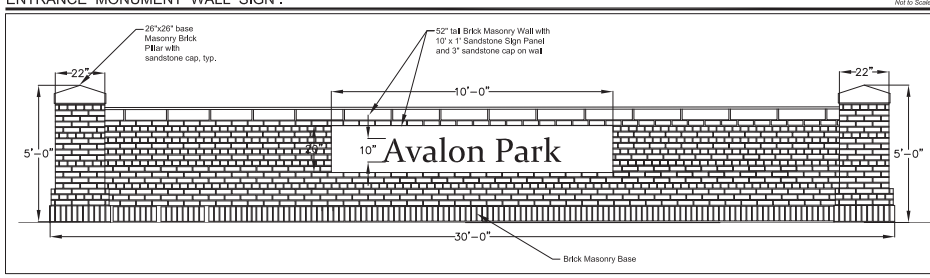
- CONTRACTOR SHALL BE RESPONSIBLE TO SUPPLY AND INSTALL AN AUTOMATED IRRIGATION SYSTEM THAT PROVIDES COVERAGE TO ALL MAINTAINING LAWN AREAS AND PLANTING BEDS THROUGHOUT THE PROJECT SITE.
- THE REQUIRED PRESSURE ZONE VALVE (RPZ) MUST BE INSTALLED IN ACCORDANCE WITH THE 2015 MICHIGAN PLUMBING CODE.
- THE RPZ MUST BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR WINTERIZATION THAT INCLUDES DRAIN PORTS AND BLOWOUT PORTS.
- THE RPZ MUST BE INSTALLED A MINIMUM OF 18 INCHES ABOVE FINISHED GRADE.
- PLUMBING PERMITS ARE REQUIRED.
- THE ASSEMBLY MUST BE TESTED AFTER INSTALLATION WITH THE RESULTS RECORDED ON THE CITY OF NOVI TEST REPORT FORM.

**VEHICLE USE AREA (V.U.A.) WITHIN IMPROVED PARKING LOT AREA**



**Vehicle Use Area Calculations:**  
 Total V.U.A. Area = 38,350 sq ft  
 Outside Perimeter Length = 930' lin ft  
 Ordinance Requirements:  
 Parking Lot Islands = 14,950 x 7.5% = 1,121 sq ft  
 Parking Lot Trees = 1,121 / 200 = 6  
 Perimeter Trees = 930 / 35 = 26

**ENTRANCE MONUMENT WALL SIGN :**



**LANDSCAPE INSTALLATION DETAILS (CITY OF NOVI STANDARDS):**

**PERENNIAL PLANTING DETAIL**  
 Once Transformer locations are determined, each transformer shall be planted per detail below.  
 (10" Dwarf Burning Bush per location - assuming 3 locations)

**TREE STAKING DETAIL**  
 STAKES AS SPECIFIED 3 PER TREE

**SHRUB PLANTING DETAIL**  
 NOT TO SCALE

**DECIDUOUS TREE PLANTING DETAIL**  
 NOT TO SCALE

**TRANSFORMER SCREENING DETAIL**  
 NOT TO SCALE

**EVERGREEN TREE PLANTING DETAIL**  
 NOT TO SCALE

**MULTI-STEM TREE PLANTING DETAIL**  
 NOT TO SCALE

**LANDSCAPE REQUIREMENTS :**

Landscaping adjacent to Right of Way:	Wixom Road (195')		Stonebrook Dr. (683')	
	Req	Provided	Req	Provided
Canopy deciduous or large evergreen trees See notes on table	1 deciduous tree per 35' of frontage 180 / 35 = 5.1	6 provided	N/A 683 / 35 = 19.5	55 existing / 6 proposed
Sub-Canopy deciduous trees See notes on table	1 sub-canopy tree per 20' of frontage 180 / 20 = 9.0	10 provided	34 Req 683 / 20 = 34.15	34 proposed
Canopy deciduous trees between sidewalk & curb See notes on table	1 deciduous tree per 35' of frontage 302 / 35 = 8.6	10 provided	N/A 683 / 35 = 19.5	6 existing / 6 proposed
<b>Total Trees:</b>		26 proposed trees	34	34 proposed trees

M-F Zoning Landscape Requirement	Req	Provided
Multi-Family Unit Landscape See notes on table	3 trees per 1st floor units 69 trees 23.3 x 0.9	69 provided 36 trees toward Parking Lot Perimeter Trees

**Building Foundation Landscape:**  
 35% of the perimeter of each building foundation shall be landscaped to include deciduous shrubs, evergreen shrubs, and ornamental trees. Foundation planting beds shall be maintained with Russian-spruce and/or evergreen hedges. An automatic irrigation system shall provide irrigation coverage within foundation landscape. See SPP-1 for foundation landscape details.

**Existing Tree and Woodland Replacement Requirements:**  
 See Existing Tree Inventory and Replacement Tree Installation on sheet 42. 11 Woodland Replacement Trees are used to meet Existing Woodland Replacement Trees Provided: 42. Develops Bank Landscape Requirement

**Requested Waiver:**  
 See Sheet LP-3

**Parking Area Landscape requirement**

Category	A	B	C	D
Total square footage of parking spaces not including access drive equals:	14,950 / 7.5%	NA	1,121 sq ft	5.8
Required	1,121 sq ft	NA	1,121 sq ft	6
Provided	1,121 sq ft	NA	1,121 sq ft	6

**Parking Lot Perimeter tree requirements:**  
 Perimeter parking lot trees are required 1 tree per 35' of V.U.A. See V.U.A. within Improved Parking Area plan Sheet LP-1.

Outside Parking Lot Perimeter:  
 Perimeter Trees Required: 4 x 20' / 35 = 26 (26 trees required)  
 Perimeter Trees Provided: 26 trees

**Detention Basin Landscape requirements:**  
 Detention and Retention Basin Landscape Requirements: 1 tree / 35' of pond edge measured at permanent water line, 6-10 feet away from permanent water level at east, west and south sides of pond.  
 Clusters of large native shrubs (not in a straight line) shall cover 70-75% of basin perimeter measured 10' from permanent water level. At least 3 different shrub species native to Michigan.

Bottom and sides of basin extending 25 feet from permanent water level to be planted with mix of native grasses, sedges and willow-like.  
 Perimeter of Detention Basin:  
 Detention Basin Trees Required: 4 x 40' / 35 = 11.4 (11 trees required)  
 Detention Basin Shrubs Provided: 11 trees (Required Woodland Replacement trees used to meet Detention Basin Requirement)  
 Detention Basin Shrubs Provided: 70% coverage of 400 perimeter  
 10 shrubs  
 Fencing will include for retention basin and outside of the following minimum:  
 50% topsoil/50% sand or 20% topsoil/80% sand/20% compost

**Accessory Perimeter Tree Requirement:**  
 1 Canopy Tree per 35' (30' x 2 / 35' = 2 required / 2 provided)

**Plantings around Fire Hydrants & Utilities:**  
 1. No plantings with mature height greater than 12' to be planted within 10' of a fire hydrant, manhole, catch basin or other utility structures.  
 2. Trees shall not be planted within 5' of underground lines.

General Area Groundcover: Hydroseeded lawn shall be installed throughout all planted and landscape planting areas, typ.  
 Shaded hardwood mulch shall be installed at all planted and landscape planting areas, typ.



**J EPPINK PARTNERS, INC**  
 Urban Design Studio

Urban Retail Design  
 Landscape Architecture  
 Traditional Town Planning  
 4655 Technology Drive  
 Shelby Township, Michigan  
 48152-1922

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**Project**  
**AVALON PARK APARTMENTS**  
 Section 17  
 Town 1 North  
 Range 8 East  
 City of Novi,  
 Oakland County, Michigan

**Owner**  
**WIXOM ROAD DEVELOPMENT, LLC**  
 14655 Technology Drive  
 Shelby Township, MI 48151  
 586-218-2212

**Sheet**  
**Landscape Planting Plan**

**Issue / Revisions**

REVISION LAYOUT	10-07-2023
Update per City Review	04-10-2023

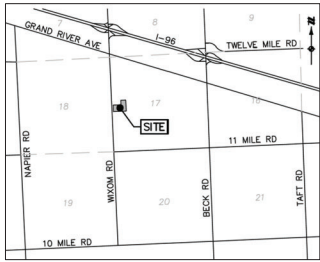
**Checked By**  
 JTE

**Date**  
 March 10, 2023

**Scale**  
 AS NOTED

**CITY OF NOVI PROJECT NUMBER**  
 JSPP2-001





LOCATION MAP:

**TREE REQUIREMENT PLANT SYMBOL LEGEND:**

- Landscape Adjacent to Right-of-Way (Canopy Tree)
- Landscape Adjacent to Right-of-Way (Sub-Canopy Tree)
- Canopy Tree between sidewalk & curb (Canopy Tree)
- Parking Lot Interior Landscape (Canopy Tree)
- MF Zoning Landscape (Canopy & Evergreen Tree)
- MF Zoning Landscape (Used for Parking Lot Perimeter Requirement)
- Accessway Perimeter Trees (Canopy Tree)
- Woodland Replacement Landscapes (Canopy & Evergreen Tree)
- Woodland Replacement Landscapes (Used as Detention Tree)

Adjacent Zoning: R-1

Adjacent Zoning: I-1

Adjacent Zoning: I-2

MF Residential Zoning Landscape Plantings  
69 Canopy / Evergreen Trees

Plant material shall not be planted within 4' of property line. Adjust locations in field to accommodate minimum 4' distance

Trees between Sidewalk & Curb  
10 Canopy Trees

Contractor shall avoid Overhead Utility Wires and shall ensure trees are installed a minimum of 20' from Overhead wire.

Existing Trees to remain. See Tree Survey. Contractor shall erect tree protection fencing 1' beyond tree's drip-line, and maintain fencing throughout construction period, typ.

Irrigated Hydro-Seed lawn areas, typ.

WIXOM ROAD

Wixom Road Landscape Plantings  
6 Canopy / Evergreen Trees  
10 Sub-Canopy Trees

Stonebrook Drive Landscape Plantings  
34 Sub-Canopy Trees

Accessway Perimeter Trees  
2 Canopy Trees

25'x25' clear vision triangle

25' Wetland Buffer, typ.

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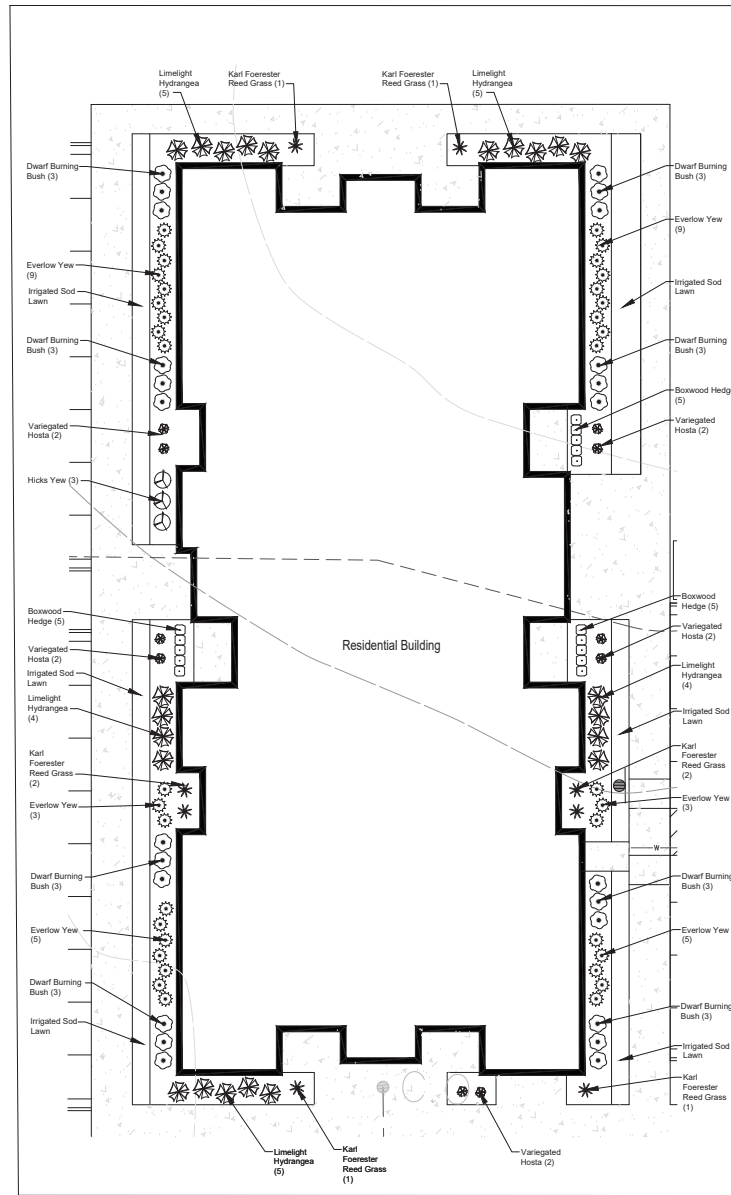
25' Wetland Buffer, typ.



FOUNDATION PLANTING PLAN :

1" = 10'

FOUNDATION PLAN LIST:



QTY.	DESCRIPTION	NOTES	UNIT PRICE	COST
23	Hydrangea paniculata 'Limelight'	Container	\$85	\$1,956
33	Taxus densiformis 'Everlow Yew, 30"	B&B	\$85	\$2,805
3	Taxus Holia 'Hicks Yew, 30"	B&B	\$85	\$255
18	Buxus 'Green Velvet'	Container	\$60	\$1,080
21	Euryomyia alata compactus 'Dwarf Burning Bush, 30"	B&B	\$85	\$1,785
8	Coleragrostis x acutiflora 'Karl Foerster Reed Grass, 2 gal.	Container	\$40	\$400
10	Hosta frances 'Variegated Hosta, 2 gal.	Container	\$40	\$400
			Total	\$8,600

NOTE: Foundation Plant List provides quantities for one building.  
Three Buildings total: (Plant List x 3) \$25,800

TRANSFORMER LOCATION PLANTING ALLOWANCE:  
Assumes 3 Transformer Locations: (19 plants per location)

30	Euryomyia alata compactus 'Dwarf Burning Bush, 30"	B&B	\$85	\$2,250
----	--	-----	------	---------

SEED MIX SCHEDULE:

### Detention Basin Mix

This mix contains at least (19) of the Flowers, (4) of the Grasses & Sodas.

Common Name	Scientific Name	#/acre
<b>Temporary Grasses</b>	<b>50%</b>	<b>20</b>
Seed Oats	Avena sativa	
Annual Rye	Lolium multiflorum	
<b>Native Grasses</b>	<b>30%</b>	<b>12</b>
Big Bluestem Grass	Andropogon gerardii	
Partridge Sedge	Carex ostricta	
Fox Sedge	Carex vulpinoidea	
Canada Wild Rye	Elymus canadensis	
Dark Green Bulrush	Sorpus atrovirens	
Indian Grass	Sorghastrum nutans	
Prairie Cord Grass	Sporina pectinata	
<b>Native Wildflowers</b>	<b>20%</b>	<b>8</b>
Calico Aster	Aster laterifolius	
New England Aster	Aster novae-angliae	
Pale Indian Plantain	Castilleja atriplicifolia	
Turtlehead	Chamaenerion glabra	
Joselyne Weed	Eupatorium maculatum	
Bonset	Eupatorium perfoliatum	
Ox Eye Sunflower	Helianthus helianthoides	
Queen Blackberry	Lactuca scariola	
Cardinal Flower	Lobelia cardinalis	
Great Blue Lobelia	Lobelia siphilitica	
Yellow Coneflower	Rudbeckia hirta	
Black-eyed Susan	Rudbeckia sp.	
Green-headed Coneflower	Rudbeckia lacinate	
Cupplant	Sisymbrium perfoliatum	
Sho Goldenrod	Solidago ohioensis	
Hoop's Goldenrod	Solidago rigida	
Blue Vervain	Verbena hastata	
Culver's Root	Veronicastrum virginicum	
Ironweed	Veronica gigantea	
<b>Total Pounds Per Acre</b>		<b>40 lbs</b>

### Short Native Flower Mix

This mix contains at least (2) Temporary, (8) Flowers & (4) Grasses.

Common Name	Scientific Name	#/acre
<b>Temporary Grasses</b>	<b>75%</b>	<b>30</b>
Seed Oats	Avena sativa	
Short growing Fescue	Festuca spp.	
Annual Rye	Lolium multiflorum	
<b>Native Grasses</b>	<b>20%</b>	<b>8</b>
Thickspike Wheat Grass	Agropyron dasystachyum	
Slender Wheat Grass	Agropyron trachycalum	
Sideoats Grama	Bouteloua curtipendula	
Lunggrass	Lolium cristatum	
Deerlongue	Panicum clandestinum	
Little Bluestem Grass	Schizachyrium scoparium	
Sand Dropseed	Sporobolus cryptandrus	
Prairie Dropseed	Sporobolus heterolepis	
<b>Native Wildflowers</b>	<b>5%</b>	<b>2</b>
Columbine	Acutilingia canadensis	
Wormwood	Artemisia campestris	
Butterfly Weed	Asclepias tuberosa	
Lanceleaf Coreopsis	Coreopsis lanceolata	
Roundhead Bushclover	Lespedeza capitata	
Rough Blazing Star	Liatris asper	
Wild Lupine	Lupinus perennis	
Bergamot (Geebalm)	Monarda fistulosa	
Black-eyed Susan	Rudbeckia hirta	
Stiff Goldenrod	Solidago rigida	
<b>Total Pounds Per Acre</b>		<b>40 lbs</b>

CLUSTER MAILBOX KIOSK:



MAILBOX CLUSTER - BLACK FINISH  
NOT TO SCALE  
See Sheet 3 for mailbox cluster locations. Surface mount. typ.

COMMON AREA PLANT LIST:

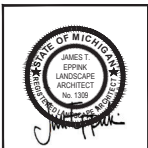
QTY.	DESCRIPTION	SYMBOL	NOTES	MI NATIVE	UNIT PRICE	COST
9	Pinus strobus White Pine	WP	8', B&B	YES	\$375	\$3,375
8	Picea glauca White Spruce	WS	8', B&B	YES	\$375	\$3,000
8	Picea canadensis Norway Spruce	NS	8', B&B	NO	\$375	\$3,000
26	Gleditsia triacanthos Honeylocust	GT	3" cal. B&B	YES	\$400	\$10,400
17	Quercus bicolor Swamp White Oak	SW	3" cal. B&B	YES	\$400	\$6,800
9	Tilia cordata Little Leaf Linden	LLL	3" cal. B&B	NO	\$400	\$3,600
17	Acer Freemanii Autumn Blaze Red Maple	AB	3" cal. B&B	YES	\$400	\$6,800
4	Acer rubrum Clump Red Maple	CRM	8' B&B	YES	\$400	\$1,600
4	Liriodendron tulipifera Tuliptree	TT	3" cal. B&B	YES	\$400	\$1,600
9	Quercus rubra Red Oak	RO	3" cal. B&B	YES	\$400	\$3,600
8	Carpinus rubra European Hornbeam	EH	3" cal. B&B	YES	\$400	\$3,200
3	Plantanus x acerifolia London Plane Tree	LPT	3" cal. B&B	NO	\$400	\$1,200
5	Gymnocladia dioica Kentucky Coffee Tree	KC	3" cal. B&B	YES	\$400	\$2,000
5	Ulmus americana American Elm	AE	3" cal. B&B	NO	\$400	\$2,000
11	Malus x moerlandii 'Profusion' Pink Profusion Crabapple	PP	2.5" cal. B&B	YES	\$375	\$6,750
10	Amelanchier arborea Downy Serviceberry	SB	2.5" cal. B&B	YES	\$375	\$3,750
3	Cercis canadensis Eastern Redbud	ERB	2.5" cal. B&B	YES	\$375	\$1,125
14	Betula nigra River Birch	RB	8', multi-stem B&B	NO	\$400	\$5,600
2	Magnolia illinoia Jane Magnolia	JM	2.5" cal. B&B	YES	\$375	\$750
13	Viburnum dentatum Arrowwood Viburnum, 4"		36", B&B	YES	\$100	\$1,300
23	Aronia arbutifolia Red Chokeberry		24-30", container	YES	\$50	\$1,150
23	Ilex verticillata Michigan Holly		24-30", container	YES	\$50	\$1,150
Note: 1 male plant shall be planted within each cluster to produce berries						
17	Cephaelis occidentalis Butternut		24-30", container	YES	\$50	\$850
50	Shredded Hardwood Mulch		Cu Yds		\$35	\$1,750
10,500	HydroSeed Lawn Areas		Sq Yds		\$3	\$31,500
300	Sod Lawn Areas		Sq Yds		\$6	\$1,800
					TOTAL	\$108,650.00

**DETENTION BASIN SEED MAINTENANCE:**  
Contractor shall provide proof of the seed mixes to be used prior to installation. Contractor shall email a copy of the receipt or photo of the seed mix package to rmeador@cityofnovi.org for review and approval prior to installation.

Contractor shall prepare seed mix areas and install seed mix per manufacturer's specification. Contractor shall include one additional application of seed to address all under-performing areas, no later than 8 weeks following the initial seed application.

**PHRAGMITES & JAPANESE KNOT WEED:**  
See Existing Conditions Plan for location of any identified Invasive Plant Species

**REQUESTED LANDSCAPE WAIVERS:**  
Wixom Road: Berm / Wall, Buffer & Street Trees adjacent to Public ROW  
REQUEST: Maintain existing natural trees and woodlot north of the emergency access drive in lieu of installing the required berm which would require the removal of the existing trees and woodlot.  
REQUEST: Maintain existing natural trees and vegetation north of the emergency access drive in lieu of installing the required landscaping and trees plantings.  
Calculations shown on Sheet LP-1 have been adjusted to account for this Waiver Request



**JEPINK PARTNERS, INC.**  
Urban Design Studio  
Urban Retail Design  
Landscape Architecture  
Traditional Town Planning  
4225 Riverchase Blvd  
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248.322.0412 • 48348  
248.322.0789

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**PROJECT:**  
**AVALON PARK APARTMENTS**  
Section 17  
Town 1 North  
Range 8 East  
City of Novi,  
Oakland County, Michigan

**Owner:**  
**WIXOM ROAD DEVELOPMENT, LLC**  
14555 Technology Drive  
Shelby Township, MI 48315  
586-219-2212

**Sheet:**  
**Landscape Planting Plan**

**Issues / Revisions**

NO.	DATE	DESCRIPTION
1	10-07-2022	REVISED LAYOUT
2	04-10-2023	Update per City Review

Checked By: JTE  
Date: March 10, 2023

Scale: AS NOTED  
CITY OF NOVI PROJECT NUMBER: JSP22-001

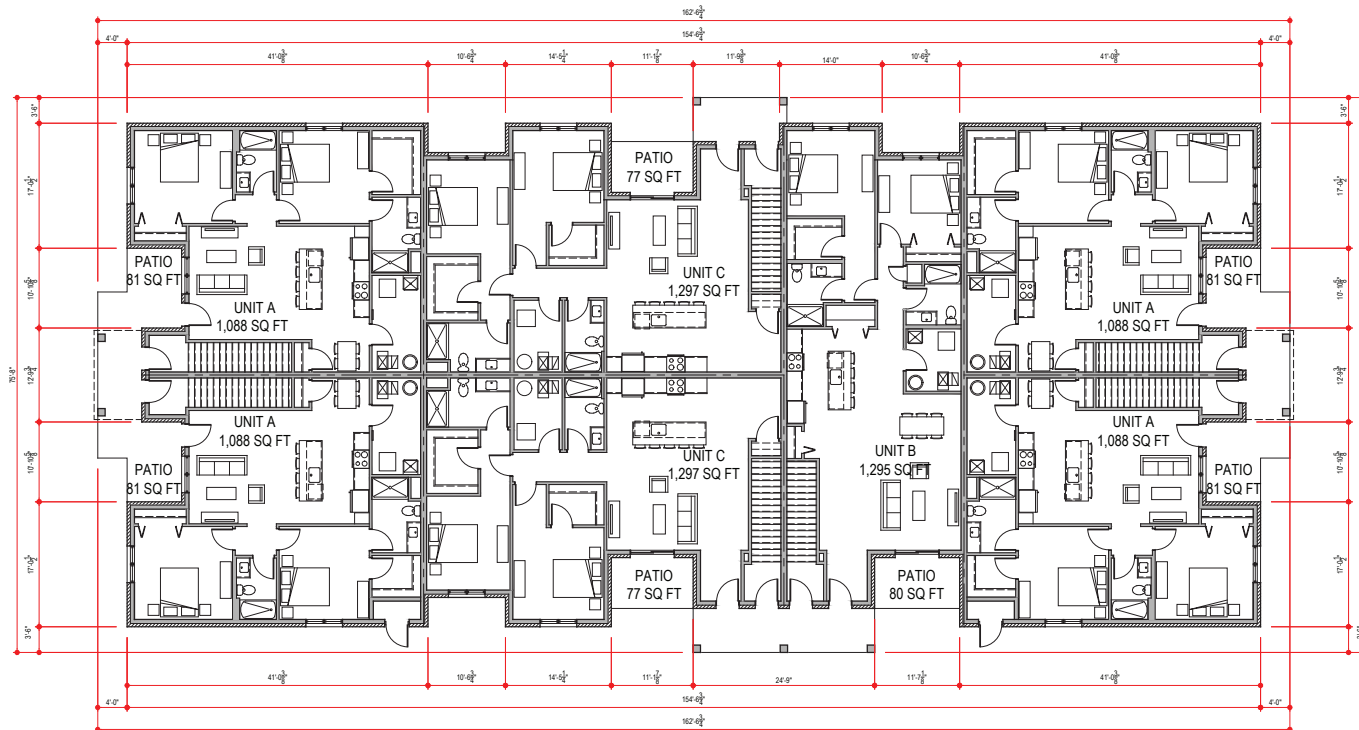
**LP-3**



14 - UNIT MATRIX

	A	B	C	D	E	F	TOTAL
1ST FLOOR	4	1	2	1	1	1	7
2ND FLOOR	4	1	2	1	1	1	7
TOTAL							14

UNIT A: 1,088 SQ FT    UNIT B: 1,295 SQ FT  
 UNIT C: 1,297 SQ FT    UNIT D: 1,197 SQ FT  
 UNIT E: 1,386 SQ FT    UNIT F: 1,302 SQ FT



Revised Per City	4.19.23
Pre-Planning	11.22.22
REVISION/ISSUE	DATE

1 14 Unit First Floor  
 1/8" = 1'-0"

Avalon Park PIN # 22-17-300-019 Novi, MI	14 Unit First Floor
<b>A101</b>	
022015	











4 Rear Elevation  
18" = 1'-0"



3 Left Elevation  
18" = 1'-0"



2 Right Elevation  
18" = 1'-0"



1 Front Elevation  
18" = 1'-0"

**ROOF DESIGN MATERIAL %**

<b>FRONT:</b>	ROOF AREA: 2184 SQ FT
	ARCHITECTURAL FEATURES: 667 SQ FT (30.4%)
	METAL ROOF: 87 SQ FT
	ASPHALT SHINGLES: 1579 SQ FT
<b>BACK:</b>	ROOF AREA: 2184 SQ FT
	ARCHITECTURAL FEATURES: 667 SQ FT (30.1%)
	METAL ROOF: 41 SQ FT
	ASPHALT SHINGLES: 1556 SQ FT
<b>RIGHT SIDE:</b>	ROOF AREA: 843 SQ FT
	ARCHITECTURAL FEATURES: 271 SQ FT (32.1%)
	METAL ROOF: 65 SQ FT
	ASPHALT SHINGLES: 587 SQ FT
<b>LEFT SIDE:</b>	ROOF AREA: 843 SQ FT
	ARCHITECTURAL FEATURES: 271 SQ FT (32.1%)
	METAL ROOF: 65 SQ FT
	ASPHALT SHINGLES: 587 SQ FT

**MATERIAL COVERAGE**

<b>FRONT:</b>	METAL ROOF: 87 SQ FT (1.9%)
	ASPHALT SHINGLES: 1579 SQ FT (34.0%)
	LIMESTONE: 215 SQ FT (4.6%)
	BRICK: 1633 SQ FT (35.3%)
	SIDING: 1114 SQ FT (24.1%)
<b>BACK:</b>	METAL ROOF: 41 SQ FT (0.9%)
	ASPHALT SHINGLES: 1556 SQ FT (32.8%)
	LIMESTONE: 233 SQ FT (4.6%)
	BRICK: 1711 SQ FT (36.1%)
	SIDING: 1293 SQ FT (25.4%)
<b>RIGHT SIDE:</b>	METAL ROOF: 65 SQ FT (0.8%)
	ASPHALT SHINGLES: 587 SQ FT (32.3%)
	LIMESTONE: 397 SQ FT (15.4%)
	BRICK: 512 SQ FT (28.3%)
	SIDING: 367 SQ FT (19.7%)
<b>LEFT SIDE:</b>	METAL ROOF: 65 SQ FT (0.8%)
	ASPHALT SHINGLES: 587 SQ FT (32.3%)
	LIMESTONE: 397 SQ FT (15.4%)
	BRICK: 512 SQ FT (28.3%)
	SIDING: 367 SQ FT (19.7%)

	BRK-1 BRICK VENEER MFR: SMOULDER SIZE: 8x16 COLOR: LIMESTONE		BRK-2 BRICK VENEER MFR: GLENBERRY SIZE: MODULAR COLOR: ABERDEEN		SDG-1 CEMENT BOARD SIDING SIZE: 4" x 8" x 1/4" COLOR: PAINTED SW 6249 STORM CLOUD		SDG-2 CEMENT BOARD SHAKES MFR: TBO COLOR: PAINTED SW 4150 UNIVERSAL KHAKI		MTL-1 STANDING SEEM METAL SIZE: 17" COLOR: MATTE BLACK		SHG-1 SHINGLES MFR: GERTAPANTEC COLOR: MORE BLACK
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\*MANUFACTURER AND COLORS MAY BE ADJUSTED AT TIME OF CONSTRUCTION BASED ON PRODUCT AVAILABILITY



Revised Per City	4.19.23
Pre-Planning	11.22.22
REVISION/ISSUE	DATE

Avalon Park  
PIN # 22-17-300-019  
Nov, MI

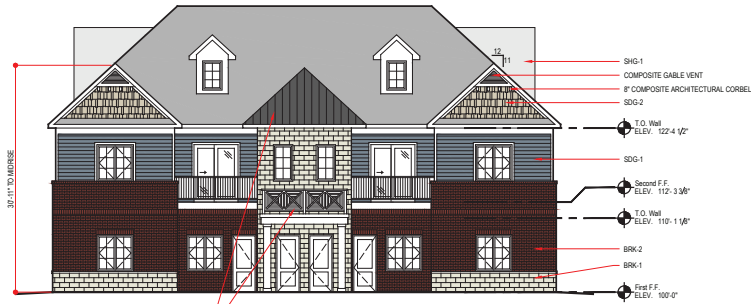
14 Unit Elevations

**A201**

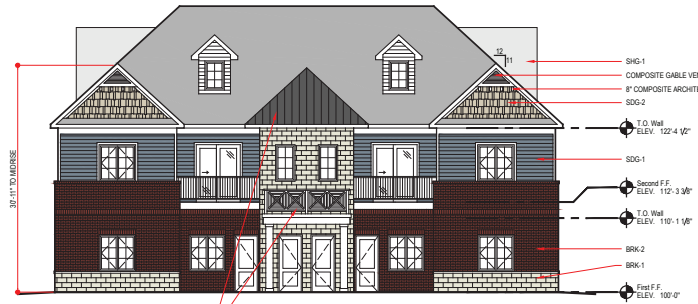
022015



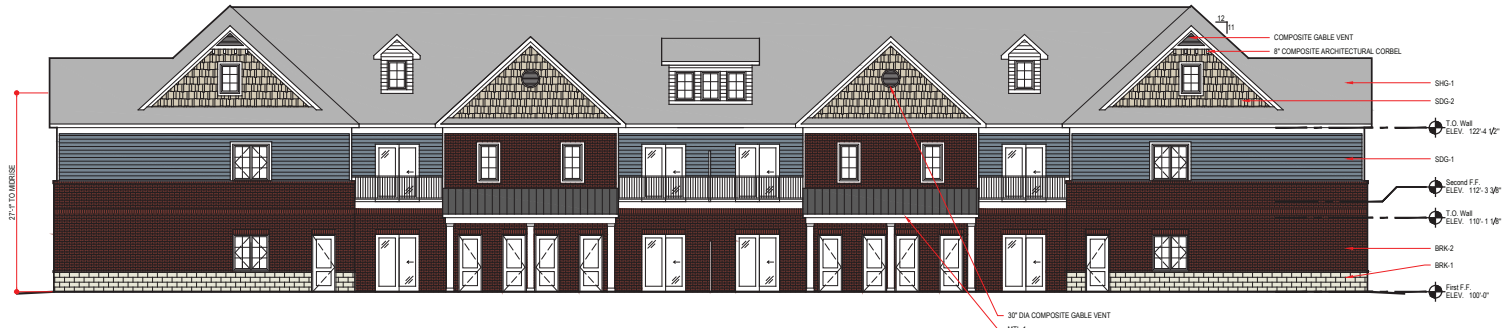
4 Rear Elevation  
18' x 1'-0"



3 Left Elevation  
18' x 1'-0"



2 Right Elevation  
18' x 1'-0"



1 Front Elevation  
18' x 1'-0"

	BRK-1 BRICK VENEER MFR: SHOUKEE SIZE: 8x16 COLOR: LIMESTONE		BRK-2 BRICK VENEER MFR: GUNSBERRY SIZE: MODULAR COLOR: ABERDEEN		SDG-1 CEMENT BOARD SIDING SIZE: 4\"/>
	SDG-2 SHIMES MFR: TRC COLOR: PAINTED SW 4150 UNIVERSAL RWAVE		MTL-1 STANDING SEEM METAL SIZE: 17\"/>		
	SHG-1 SHINGLES MFR: GERTANTEED COLOR: MORE BLACK				

\*MANUFACTURER AND COLORS MAY BE ADJUSTED AT TIME OF CONSTRUCTION BASED ON PRODUCT AVAILABILITY

**ROOF DESIGN MATERIAL %**

- FRONT:**  
 ROOF AREA: 2988 SQ FT  
 ARCHITECTURAL FEATURES: 753 SQ FT (25.2%)  
 METAL ROOF: 168 SQ FT  
 ASPHALT SHINGLES: 1915 SQ FT
- BACK:**  
 ROOF AREA: 2988 SQ FT  
 ARCHITECTURAL FEATURES: 801 SQ FT (26.8%)  
 METAL ROOF: 0 SQ FT  
 ASPHALT SHINGLES: 1870 SQ FT
- RIGHT SIDE:**  
 ROOF AREA: 843 SQ FT  
 ARCHITECTURAL FEATURES: 271 SQ FT (32.1%)  
 METAL ROOF: 65 SQ FT  
 ASPHALT SHINGLES: 198 SQ FT
- LEFT SIDE:**  
 ROOF AREA: 843 SQ FT  
 ARCHITECTURAL FEATURES: 271 SQ FT (32.1%)  
 METAL ROOF: 65 SQ FT  
 ASPHALT SHINGLES: 198 SQ FT

**MATERIAL COVERAGE**

- FRONT:**  
 METAL ROOF: 168 SQ FT (3.2%)  
 ASPHALT SHINGLES: 1915 SQ FT (26.3%)  
 LIMESTONE: 214 SQ FT (4.1%)  
 BRICK: 1870 SQ FT (24.3%)  
 SIDING: 1185 SQ FT (22.1%)
- BACK:**  
 METAL ROOF: 0 SQ FT (0%)  
 ASPHALT SHINGLES: 1870 SQ FT (33.5%)  
 LIMESTONE: 214 SQ FT (4.1%)  
 BRICK: 1819 SQ FT (25.8%)  
 SIDING: 1877 SQ FT (28.5%)
- RIGHT SIDE:**  
 METAL ROOF: 65 SQ FT (3.8%)  
 ASPHALT SHINGLES: 198 SQ FT (22.2%)  
 LIMESTONE: 214 SQ FT (15.9%)  
 BRICK: 510 SQ FT (28.3%)  
 SIDING: 357 SQ FT (19.8%)
- LEFT SIDE:**  
 METAL ROOF: 65 SQ FT (3.8%)  
 ASPHALT SHINGLES: 198 SQ FT (22.2%)  
 LIMESTONE: 214 SQ FT (15.9%)  
 BRICK: 510 SQ FT (28.3%)  
 SIDING: 357 SQ FT (19.8%)



Revised Per City	4.19.23
Pre-Planning	11.22.22
REVISION/ISSUE	DATE

Avalon Park  
PIN # 22-17-300-019  
Novi, MI

16 Unit Elevations

**A202**

022015

## CONCEPTUAL RENDERINGS

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# AVALON PARK APARTMENTS

Novi, MI

ARCHITECT:

CIVIL ENGINEER:

04/19/2023











*NOTE: Foundation landscaping shown for illustration purposes. See construction drawings for detailed information.*













**PSLR NARRATIVE**

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## WIXOM ROAD DEVELOPMENT LLC

14955 Technology Dr.  
Shelby Township, MI 48315  
586-944-8660

November 22, 2022

City of Novi  
Planning Department  
Attn: Barb McBeth  
45175 Ten Mile Road  
Novi, MI 48375

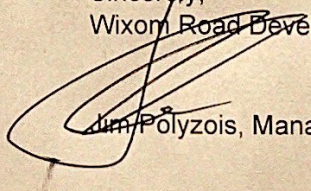
Re: Avalon Park Apartments

Dear Mrs. McBeth,

We are pleased to present to you a proposed multi family apartment community by Wixom Road Development, LLC. This development will consist of 46 units within 3 buildings on approximately 8.78 acres.

The anticipated cost of the proposed buildings and site improvements will be approximately \$6,000,000 and projected to be completed within 18 months after commencement. Many different trades and workers will be required to complete this project. It is anticipated that between 70 to 90 workers will be involved in the construction and 1 worker after completion to serve as the community manager.

Sincerely,  
Wixom Road Development, LLC



Jim Polyzois, Manager





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INFINITE SOLUTIONS.

June 1, 2023

Lindsay Bell, AICP, Senior Planner  
City of Novi  
45175 W. Ten Mile  
Novi, MI 48375

Re: Avalon Park – PSLR Overlay Deviation Request

Dear Ms. Bell:

Avalon Park is a 46-unit residential development featuring three two-story apartment buildings located on 8.78 acres on the east side of Wixom Road between West 11 Mile Road and Grand River Avenue. The site is currently vacant with both wetland and woodland present. A berm was built along the south side to screen from the previous driveway for an industrial use to the east that has since been replaced with a residential development. The northern portion of the site contains an existing shed and a pond within one of the wetlands.

While the current zoning and future land use designation is R1, the parcel has an existing PSLR overlay associated with it. This overlay allows for low-rise multiple-family residential as a special land use. Residential developments are located to the east (Stonebrook) and to the west (Island Lake).

With 2.43 acres of open space, the development contains a walking path that embraces a park like setting. The development will be serviced by public utilities and an entrance to Stonebrook Drive (private). There is an existing access easement for this parcel from Stonebrook Drive.

This proposed development offers the following community benefits:

- 2.43 acres of open space contiguous to surrounding area
- walking paths and park features
- lower density than allowable
- no new curb cuts on Wixom Road

As part of the approval process for the PSLR overlay development, deviations from the standards of the zoning ordinance may be authorized by the City Council with features deemed beneficial to the City for purposes of achieving the objective of the district. Below we have addressed each of the identified deviations.



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1. To allow development to front on approved private roadway, which does not conform to the City standards with respect to 60' ROW, as the road was previously approved for the Villas at Stonebrook development with planned access to the development parcel to reduce the number of curb cuts on Wixom Road (Sec. 3.21.2.A.i).

**The connection to the private roadway was previously planned for in order to reduce curb cuts along Wixom Road. A public ingress/egress exists over this private roadway and a separate access easement and agreement are being executed specific to the new proposed development.**

2. No secondary access street is being provided (per city of Novi zoning ordinance appendix C, section 4.04).

**Providing additional stub roads would require impacts to woodland trees and wetlands and there are no logical connection points. Due to the site's existing natural features, expansion of the proposed development and/or connection to adjacent properties is not feasible.**

3. Reduction in required parking distance from the buildings (15 feet required) from the south facade of building 1 down to 12.5 feet (Sec. 3.21.2.A.iii.c).

**The south side of building 1 is the only location where the separation distance deviates from the ordinance standard. Additional separation could only be achieved by shifting the building north which would increase wetland impacts north of Building 1. The 7' wide walk leaves a 5.5' space available for creation of the foundation planting bed along this side as shown on landscape plan LP-3. The minor reduction will have no noticeable impact on the development and allow for greater preservation of the site's natural features.**

4. A waiver for less than 200 square feet of open space per unit (Sec 3.21.2.A.v).

**Some private open space is provided for each unit via private patios/balconies; however, the available space is deficient from the ordinance criteria (generally ranging between 60-80 sf per unit with a few end units having slightly smaller patios due to the adjacent entryway access doors). Revising the layout to provide this private open space adjacent to each unit would require increased wetland impacts by expanding the developed area to the north. Additionally, achieving private open space is difficult in a 2-story apartment type development with limited space for private patios and balconies. To compensate, a significant portion of the property is being preserved as natural open space with an added walking trail through the woodlands and benches.**



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5. A waiver for the requirement of active recreation areas shall comprise at least 50% of the open space provided (Sec 3.21.2.A.v).

**Due to the extensive natural features and wetland mitigation areas onsite, meeting the 50% requirement for active open space is not feasible. Walking trails and benches have been provided where possible to maximize the use around the natural features areas.**

6. A waiver for greater than 10% of the total site area as active open space (Sec 3.21.2.A.v).

**Due to the extensive natural features and wetland mitigation areas onsite, meeting the 10% of total site area requirement for active open space is not feasible. Walking trails and benches have been provided where possible to maximize the use around the natural features areas.**

7. An exception for the light pole visible along Wixom Road and for exceeding the average to minimum illumination ratio (Sec. 5.7.3.K).

**The fixture that is visible along Wixom Road is necessary due to the location of the turn-around area immediately adjacent to the Wixom Road ROW. This fixture can have shielding added to limit the direct visibility from the ROW, but removal would leave this area with insufficient lighting.**

8. A waiver for the requirement of all buildings, parking lots and loading areas to be separated from section line road rights-of-way by a 50 ft. landscape buffer containing an undulating 3-5 ft. tall, landscaped berm for the area north of the emergency access drive (Sec. 3.21.2.A.iii and Sec. 5.5.3).

**The area north of the emergency access drive is proposed to remain in it's natural state to preserve the existing woodland trees and wetlands. Providing a berm in this location would be detrimental to these natural features. Additionally, there are no proposed improvements adjacent to this area that would require this screening.**

9. A waiver to allow the existing trees and vegetation to remain for the area north of the emergency access drive in lieu of the required frontage landscaping and tree plantings.

**The area north of the emergency access drive is proposed to remain in its natural state to preserve the existing woodland trees and wetlands.**





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10. A waiver of the requirement for ground floor pedestrian entrances 60' maximum spacing (Sec. 3.21.2.C.ii).

**The back side of the two 16 unit buildings are the only facades that do not provide for this entrance spacing criteria because there are no entrances on this side of the building. This is intentionally done as it faces a large screening berm with mature landscape and is not visible to the public. All other building facades meet the standard.**

11. A waiver of the façade material requirement for a minimum of 30% brick on the ends of the buildings (right and left sides) and to allow the use of a minor amount of standing seam metal material for façade enhancement (Sec 3.21.2.C.ii.d).

**The side elevations of the buildings have a vertical cast stone feature that extends above the entrance doors giving the building facades more architectural character as these are the prominent building facades as you enter the site. This feature reduces the brick percentage below 30% on these facades, but when combined with the cast stone provides 44% masonry. Additionally, the minor amount of standing seam metal material is used as an architectural enhancement to the facades.**

Sincerely,  
**ATWELL, LLC**

A handwritten signature in black ink, appearing to read "Jared M. Kime".

Jared M. Kime, PE  
Project Manager

## PLANNING REVIEW

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# PLAN REVIEW CENTER REPORT

May 10, 2023

## Planning Review

**Avalon Park Apartments**

JSP 22-01

### PETITIONER

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Wixom Road Development, LLC

### REVIEW TYPE

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Revised PSLR Concept Plan

### PROPERTY CHARACTERISTICS

<b>Section</b>	17	
<b>Site Location</b>	East side of Wixom Road, north of Eleven Mile Road; 22-17-300-019	
<b>Site School District</b>	Novi Community School District	
<b>Site Zoning</b>	R-1 One Family Residential with Planned Suburban Low-Rise Overlay (PSLR)	
<b>Adjoining Zoning</b>	North	I-1 Light Industrial & R-1: One-Family Residential with PSLR overlay
	East	I-2: General Industrial with PSLR overlay
	West	R-1: One-Family Residential
	South	I-2: General Industrial with PSLR overlay
<b>Current Site Use</b>	Vacant	
<b>Adjoining Uses</b>	North	Single family home, Retail shopping center (Novi Promenade)
	East	Two-family attached residential (Villas at Stonebrook)
	West	Island Lake residential subdivision
	South	Private road, Public park (Wildlife Woods Park)
<b>Site Size</b>	8.78 acres (Gross); 8.24 (Net)	
<b>Plan Date</b>	April 19, 2023	

### PROJECT SUMMARY

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The subject property is approximately 9 acres and undeveloped. It is zoned R-1, with an overlay of Planned Suburban Low Rise (PSLR). The applicant is proposing 46 housing units in 3 low-rise apartment buildings (2-stories). The concept plan indicates the main entrance to the development off of Stonebrook Drive, with a secondary emergency access provided on the west side connecting directly to Wixom Road. The applicant is proposing a trail for residents through the open space areas, and proposes wetland preservation and mitigation on-site. Low rise multiple family is considered a Special Land Use in the PSLR overlay.

### RECOMMENDATION

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Approval of the PSLR Concept Plan is recommended. All reviewers are now recommending approval or conditional approval.

### PSLR OVERLAY STANDARDS AND PROCEDURES

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The PSLR Overlay District requires the approval of a PSLR Overlay Development Agreement and Concept Plan by the City Council following a public hearing and recommendation from the Planning Commission.



In making its recommendation to the City Council, the Planning Commission shall consider the following factors. ***(Staff comments are provided in bold italics and bracketed.)***

- a. The PSLR Overlay Development Agreement and PSLR Overlay Concept Plan will result in a recognizable and substantial benefit to the ultimate users of the project and to the community. ***[The applicant proposes a walking trail through a 0.74 acre area of woodland to be preserved, which is short of the 10% of site area requirement. There is also a requirement for 200 square feet of private open space per unit that is not fully provided. There are two benches in separate locations as enhancements of the common open spaces shown on the site. Since so much of the property is wetland area to be preserved and wetland mitigation, it is difficult to achieve some of the “active” open space requirements.]***
- b. In relation to the underlying zoning or the potential uses contemplated in the City of Novi Master Plan, the proposed type and density of use(s) will not result in an unreasonable increase in the use of public services, facilities and utilities, and will not place an unreasonable burden upon the subject property, surrounding land, nearby property owners and occupants, or the natural environment. ***[The estimated number of daily vehicle trips is 350, which is less than the 750 trip threshold for a Traffic Study. Peak hour trips also do not reach the threshold of 100 trips (Estimated: 37 AM trips, 40 PM trips). The proposed use is expected to have minimal impacts on the use of public services, facilities, and utilities over what the underlying zoning would allow. The proposed concept plan impacts about 0.3 acres of existing 2.41 acres of wetlands and proposes removal of approximately 19% of the regulated woodland trees. The plan indicates appropriate mitigation measures on-site.]***
- c. In relation to the underlying zoning or the potential uses contemplated in the City of Novi Master Plan, the proposed development will not cause a negative impact upon surrounding properties. ***[The proposed buildings are buffered by landscaping and preserved natural features. The multi-family residential use is a reasonable transition from the two-family and one-family developments to the west, east and south and the commercial shopping center to the north.]***
- d. The proposed development will be consistent with the goals and objectives of the City of Novi Master Plan, and will be consistent with the requirements of this Article [Article 3.1.27]. ***[The proposed development could help provide for missing middle housing needs that are walkable to the commercial areas to the north, which is recommended in the City’s 2016 Master Plan for Land Use. The area was included in the PSLR overlay in the Master Plan and Zoning Ordinance, which permits multiple-family uses as a special land use. The proposed arrangement of buildings and site layout minimizes the impact on existing natural features.]***

The City Council, after review of the Planning Commission's recommendation, consideration of the input received at the public hearing, and review of other information relative to the PSLR Overlay Development Agreement Application and PSLR Overlay Concept Plan, may indicate its tentative approval of the PSLR Overlay Development Agreement Application and PSLR Overlay Concept Plan, and direct the City Administration and City Attorney to prepare, for review and approval by the City Council, a PSLR Overlay Development Agreement or deny the proposed PSLR Overlay Concept Plan.

If tentative approval is offered, following preparation of a proposed PSLR Overlay Development Agreement, the City Council shall make a final determination regarding the PSLR Overlay Concept Plan and Agreement.

After approval of the PSLR Overlay Concept Plan and Agreement, site plans shall be reviewed in accordance with the requirements of Section 6.1 and Section 3.21 of the Ordinance and for general compliance with the approved PSLR Overlay Development Agreement and PSLR Overlay Concept Plan.

### **SPECIAL LAND USE CONSIDERATIONS**

The site plan is proposing low rise multiple family residential in the PSLR district which requires a Special Land Use Permit. This must be approved by the Planning Commission in accordance with requirements

of Section 6.1.2.C for special land uses and subject to the public hearing requirements set forth and regulated in Section 6.2.

**Section 6.1.2.C of the Zoning Ordinance outlines specific factors the Planning Commission shall consider in the review of any Special Land Use:**

- i. Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service.
- ii. Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area.
- iii. Whether, relative to other feasible uses of the site, the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats.
- iv. Whether, relative to other feasible uses of the site, the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood.
- v. Whether, relative to other feasible uses of the site, the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.
- vi. Whether, relative to other feasible uses of the site, the proposed use will promote the use of land in a socially and economically desirable manner.
- vii. Whether, relative to other feasible uses of the site, the proposed use is
  - a. Listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and
  - b. Is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

**ORDINANCE DEVIATIONS**

Section 3.21.1.D permits deviations from the strict interpretation of the Zoning Ordinance within a PSLR Overlay agreement. These deviations can be granted by the City Council on the condition that *"there are specific, identified features or planning mechanisms deemed beneficial to the City by the City Council which are designed into the project for the purpose of achieving the objectives for the District."* **The applicant shall provide substitute safeguards for each item that does not meet the strict requirements of the Zoning Ordinance.**

The concept plan submitted with an application for a PSLR Overlay is not required to contain the same level of detail as a preliminary site plan, but the applicant has provided enough detail for the staff to identify the deviations from the Zoning Ordinance currently shown. The following are deviations from the Zoning Ordinance and other applicable ordinances shown on the concept plan:

1. Deviation from Sec. 3.21.2.A.i to allow development to front on an approved private driveway, which does not conform to the City standards with respect to required sixty foot right-of-way, as the road was previously approved for the Villas at Stonebrook development, and because the shared access reduces the number of curb cuts on Wixom Road;
2. Deviation from Sec. 3.21.2.A.iii.c. to allow parking spaces to be within 12 feet of a building in one location south of building 1 (15 feet minimum required);



3. Deviation from Sec. 3.21.2.A.v to allow a reduction in the minimum required private open space (9,200 square feet total required, 3,150 square feet provided), as constructing additional private open space would cause greater wetland and woodland impacts;
4. Deviation from Sec. 3.21.2.A.v to allow reduction of minimum percentage of active recreation areas (50% of open spaces required, approximately 30% provided), and less than 10% of the total site (9% proposed), as the development proposes connection to Wildlife Woods Park, which contains connections to the Providence and the ITC trail systems, and providing additional active recreation would cause greater wetland and woodland impacts;
5. Deviation from Sec. 3.21.2.C.ii. for lack of pedestrian entrances on rear side of two buildings
6. Deviation from Section 3.21.2.C.ii.d. to allow the use of a minor amount of standing seam metal material (2-4% proposed), as in the opinion of the City's Façade Consultant the material is used in a manner that enhances the facades, and the design is otherwise in conformance with the façade standards;
7. Deviation from Sec. 5.7.3.K for exceeding the 4:1 average to minimum illumination ratio (5.3:1 proposed);
8. Deviation from Sec. 5.5.3.C. for deficiency of parking lot canopy trees. **This is not supported by staff as it appears to be possible to provide the required trees.**
9. Deviation from Sec. 3.21.2.A.iii and Sec. 5.5.3 to allow absence of required landscaped berm along Wixom Road north of the emergency access drive due to resulting woodland impacts and there is no development proposed in that area. In addition, the berm south of the access drive is not long enough to provide undulation;
10. Deviation from Sec. 4.04, Article IV, Appendix C-Subdivision ordinance of City Code of Ordinances for absence of a stub street required at 1,300 foot intervals along the property boundary to provide connection to the adjacent property boundary, due to conflict with existing wetlands and woodlands;

## REVIEW COMMENTS

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This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance.

**Please see the attached chart for information pertaining to ordinance requirements.** Items in **bold** below must be addressed and incorporated as part of the revised PSLR Concept Plan submittal:

1. **Missing middle housing:** The proposed plan provides low-rise rental units, which can be considered one of the recommended housing types in our 2016 City of Novi Master Plan. It fills the gap between single family units and mid-rise apartments. In Chapter 4, Market Assessment, in our Master Plan, there is an example that illustrates how smaller units, clustered together, could potentially be added in well-chosen locations in the City. Walkability is a key to capturing this market segment. The concept plan includes a sidewalk connection to Stonebrook Drive, which gives residents access to the City's major trail system via Wildlife Woods Park and the ITC Trail. The Novi Promenade shopping center is also within walking distance, and the sidewalk connection will be completed by the City next year. Other characteristics include medium density that can be perceived as a lower density, smaller, well-designed units, and blended densities.

2. **Traffic Impacts:** As indicated in the previous Traffic Review letter, the proposed development is estimated to generate 37 AM peak hour trips, 40 PM peak-hour trips, and approximately 370 daily trips. These levels do not meet the City's threshold to require either a Traffic Impact Study or a Traffic Assessment, as described in the City's Site Plan and Development Manual. In addition, no new access drive is proposed to be added onto Wixom Road.
3. **Wixom Road Improvements:** The City has scheduled to make improvements to Wixom Road in the vicinity of the proposed project, which will lengthen the left turn lane for southbound traffic turning onto Stonebrook Drive. That project is scheduled to begin in 2024, and draft plans include construction of 8-foot sidewalks to fill the sidewalk gaps between Novi Middle School and Target. This scheduled project is anticipated to benefit Stonebrook Drive users and reduce the chance of southbound vehicles on Wixom turning left onto Stonebrook Drive impeding through traffic.
4. **Unit size:** Per the City's 2016 Master Plan, missing middle housing types are expected to be smaller units than or typically found in Novi, with small or zero setback lots. The current concept plan is proposing unit sizes of 1,100-1,350 square feet. **These are consistent with other smaller unit development projects proposed to meet RM-1 and RM-2 standards, and is smaller than the adjacent Villas at Stonebrook units (max. 1700).**
5. **Housing Style:** Conceptual elevations and floor plans provided indicate 2-story apartment buildings, with two 16-unit buildings and one 14-unit building. Each unit has its own exterior door and contains two bedrooms.
6. **Density:** Section 4.70 of the Zoning Ordinance states "In the PSLR district, low-rise multiple-family residential uses are permitted as a special land use up to a maximum of 6.5 dwelling units per net acre, excluding existing road rights-of-way." **The current concept plan proposes 5.6 units/acre if the ROW is excluded from the gross parcel size, which is less than what is allowed under PSLR zoning.**
7. **Connection to neighboring properties:** Full time access drives shall be connected only to non-section line roads. New roads should provide public access connections to neighboring properties at location(s) acceptable to the City and the neighboring property. **The proposed development has the main access drive off of Stonebrook Drive, a private road belonging to the Villas at Stonebrook development. There is an ingress-egress agreement to allow this access. Wixom Road is considered a Section line road. An emergency-access-only drive is provided to Wixom Road. The only neighboring property available to connect to is the property to the north, which also has the ability to develop under the PSLR standards. Providing a connection to that parcel would mean impacting regulated wetland and woodland areas. Therefore, staff does not recommend that connection.**
8. **Open Space:** The applicant has not met requirements for several conditions related to providing open space on the property, and is requesting deviations for these conditions. While nearly 30% of the site is proposed to remain open space, it is largely existing wetland areas to be preserved and therefore not suitable for the type of open space the PSLR Overlay requires to be provided. These requirements are:
  - a. *Each dwelling unit shall have a minimum of two-hundred (200) square feet of private open space adjacent to and accessible directly from the dwelling unit. This open space may include covered porches, patios, and balconies.*
  - b. *All residential developments shall provide common open space areas, enhanced with play structures, furniture, and landscaping as central to the project as possible.*
  - c. *Active recreation areas shall be provided in all residential developments, with at least fifty percent of the open space area provided to be designed for active recreation.*
  - d. *Active recreation area shall consist of a minimum of ten percent of the site area.*



Staff supports the deviations requested related to open space as it is in the interest of preserving wetland and woodlands. The applicant has worked to redesign the site to minimize impacts to these features compared to earlier concept plans. The result is nearly 30% of the overall site area will be open space, although it is mostly passive. In addition, the sidewalks proposed will provide linkage to the nearby Wildlife Woods park, which provides active recreation opportunities, and a direct connection to the City's ITC trail and Ascension Providence campus trail network.

9. **Plan Review Chart:** Please refer to Planning Review Chart for other comments that need to be included on the Site plan if the PSLR Concept is approved by City Council.

## SUMMARY OF OTHER REVIEWS

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- a. Engineering Review: Additional comments to be addressed with Preliminary Site Plan. Engineering recommended approval of previous submittal.
- b. Landscape Review: **Two deviations identified. Indicate if unsupported deviation will be corrected. Landscape recommends approval if the remaining unsupported deviation is corrected.**
- c. Wetland Review: An EGLE Wetland Permit and a City of Novi Wetland Non-Minor Use Permit are likely required, as well as a City of Novi Authorization to Encroach the 25-Foot Natural Features Setback. Wetland mitigation is proposed on-site to compensate for wetland impacts of 0.30 acre. Additional comments to be addressed prior to receiving Wetland approval of the Preliminary Site Plan. Wetlands recommended approval of previous submittal.
- d. Woodland Review: A Woodland Permit from the City of Novi would be required for 23 regulated woodland tree removals. Additional comments to be addressed prior to receiving Woodland approval of the Preliminary Site Plan. Woodlands recommended approval of previous submittal.
- Traffic Review: Additional comments to be addressed with Preliminary Site Plan. Traffic recommended approval of previous submittal.
- e. Facade Review: Façade recommends approval at this time, including a waiver to allow a minor amount of standing seam metal roof.
- f. Fire Review: Conformance with fire safety standards will be further reviewed with Site Plan submittal. Fire recommends approval of the PSLR in previous submittal.

## NEXT STEP: PLANNING COMMISSION MEETING

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This PSLR Concept Plan will be scheduled to go before the Planning Commission for public hearing and a recommendation to City Council on June 7, 2023 at 7:00 p.m. Please provide the following via email by **June 1st at noon:**

1. Site Plan submittal in PDF format (maximum of 10MB). **This has been received.**
2. A response letter addressing ALL the comments from ALL the review letters and a request for waivers/variances as you see fit, including justification for such waivers.
3. A color rendering of the Site Plan. **This has been received.**

## CITY COUNCIL

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Following the Planning Commission meeting, the PSLR Concept Plan will be scheduled for City Council consideration. If the City Council grants tentative approval at that time, the next steps would be to develop the PSLR Agreement. Following final approval of the PSLR Plan and Agreement, the applicant would then begin the site plan approval process.

## STREET AND PROJECT NAME

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This project will need Project Naming Committee approval. **Street names are required to be proposed, please contact Diana Shanahan (248-347-0483)** in the Community Development Department for additional information. The application can be found by clicking on this [link](#).

## CHAPTER 26.5

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Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0484 or [lbell@cityofnovi.org](mailto:lbell@cityofnovi.org)



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Lindsay Bell, AICP – Senior Planner



**PLANNING REVIEW CHART: PSLR Planned Suburban Low-Rise Overlay**

**Review Date:** May 10, 2023  
**Review Type:** PSLR Revised Concept Plan  
**Project Name:** **JSP22-01 Avalon Park Apartments**  
 Parcel 22-17-300-019  
**Prepared by:** Lindsay Bell, AICP, Senior Planner  
**Contact:** **E-mail:** lbell@cityofnovi.org; **Phone:** (248) 347-0484

Items in **Bold** need to be addressed by the applicant with PSLR Concept Plan. Underlined items need to be addressed prior to the approval of the Site Plan

Item	Required Code	Proposed	Meets Code	Comments
<b>Zoning and Use Requirements</b>				
<b>Master Plan</b> <i>(adopted July 27, 2017)</i>	Suburban Low-Rise	Suburban Low-Rise	Yes	
<b>Area Study</b>	The site does not fall under any special category	NA	Yes	
<b>Zoning</b> <i>(Effective January 8, 2015)</i>	R-1 One Family Residential with PSLR (Planned Suburban Low-Rise) overlay	R-1 with PSLR overlay	Yes	<b>PSLR Agreement and Concept Plan must be approved by the City Council after recommendation by Planning Commission.</b>
<b>Uses Permitted</b> <i>(Sec 3.1.27.B &amp; C)</i>	Sec 3.1.27.B Principal Uses Permitted. Sec 3.1.27.C Special Land Uses	46 dwelling units – low rise multiple family (2-story)	Yes	<b>Special Land Use approval required.</b>
<b>Next Steps</b>	<ol style="list-style-type: none"> <li>1. Planning Commission review, public hearing and recommendation to City Council</li> <li>2. City Council review and consideration of concept plan and PSLR Agreement</li> <li>3. Review and approval of site plans per section 6.1.</li> </ol>			
<b>Housing for the Elderly (Sec. 4.20)</b>				
<b>Low-Rise Multiple-Family Residential Uses In The PSLR District (Sec. 4.70)</b>				
<b>Low-rise multiple-family residential uses</b>	- In the PSLR district, low-rise multiple-family residential uses are permitted as a special land use up to a maximum of 6.5 dwelling units per net acre, excluding existing road rights-of way.	5.58 Dwelling units per acre; 46 Units on 8.24 net acres	Yes	
<b>3.21 PSLR Required Conditions</b>				
<b>Narrative</b> <i>(Sec. 3.32.3.A)</i>	Explain how the development exceeds the standards of this ordinance	Brief narrative provided	Yes?	



Item	Required Code	Proposed	Meets Code	Comments
<b>PSLR Overlay Concept Plan: Required Items</b> (Sec. 3.21.1.A)	i. Legal description and dimensions	Provided	Yes	
	ii. Existing zoning of site/adjacent properties	Provided	Yes	
	iii. Existing natural features such as wetlands and proposed impacts	Wetlands exist on site with an open body of water in the NE, 25-foot buffers shown	Yes	
	iv. Existing woodlands and proposed impacts	Tree survey provided	Yes	
	v. Existing and proposed rights-of-way and road layout	Existing 60 feet ROW along Wixom Road frontage is indicated. The current site plan indicates private roads within the development	Yes	<b>Appears ROW will be dedicated</b>
	vi. Bicycle/pedestrian plan	Sidewalks, walking trail shown	Yes	
	vii. Conceptual storm water management plan	Provided	Yes	<b>Please refer to Engineering comments for more details.</b>
	viii. Conceptual utility plan	Provided	Yes	
	ix. Building, Parking and Wetland Setback requirements	30 feet setback lines on all four sides indicated on the plans. 25-foot setbacks around 2 wetland areas.	Yes	
	x. Conceptual layout	Provided	Yes	
	xi. Conceptual open space/recreation plan	Information provided on sheet 8; walking path shown	Yes	
	xii. Conceptual streetscape landscape plan	Provided	Yes	<b>Refer to Landscape review for more details</b>
<b>PSLR Overlay Concept Plan: Optional Items</b> (Sec. 3.21.1.A)	xiii. Parking plan	Provided	Yes?	Refer to Traffic review letter for additional comments
	xiv. Detailed layout plan	Provided	Yes	
	xv. Residential density calculations and type of units	5.58 DUA proposed	Yes	
	xvi. Detailed open space/recreation		NA	
	xvii. Detailed streetscape landscape plan	Provided	Yes	<b>Refer to Landscape review for more details</b>
	xviii. Graphic description of each deviation	Written description provided in the	Yes?	

Item	Required Code	Proposed	Meets Code	Comments
	from the applicable ordinance requested	narrative		
	xix. Phasing plan	Phasing not indicated	NA	
<b>Community Impact Statement</b> (Sec. 3.21.1.B)	<ul style="list-style-type: none"> <li>- All non-residential projects over 30 acres for permitted use</li> <li>- All non-residential over 10 acres for special land use</li> <li>- Residential over 150 units</li> <li>- Mixed use, staff determines</li> <li>- Requirements within study (include: social impacts, environmental factors)</li> </ul>	Total project area is 8.78 Acres, units 46	NA	
<b>Traffic Impact Study</b> (Sec. 3.21.1.C)	Study as required by the City of Novi Site Plan and Development Manual	Trip generation does not meet requirements for study	NA	
<b>Proposed Ordinance Deviations</b> (Sec. 3.21.1.D)	List all proposed ordinance deviations with supporting narrative.	Some deviations listed on cover sheet.	Yes	See charts and letters for all deviations
<p>City Council may approve deviations from the Ordinance standards as part of a PSLR Overlay Development Agreement provided there are specific, identified features or planning mechanisms deemed beneficial to the City which are designed into the project for the purpose of achieving the objectives for the District. Safeguards shall be provided for each regulation where there is noncompliance on the PSLR Overlay Concept Plan. <b>The applicant has provided a detailed request for deviations with the required safeguards explained, and justification of how the objectives for the district are achieved.</b></p>				
<b>Required PSLR Overlay Use Standards/ Conditions for special land uses (Sec. 3.21.2)</b>				
<b>Site Standards (Sec. 3.21.2.A)</b>				
<b>Building Frontage</b> (Sec. 3.21.2.A.i)	Buildings shall front on a dedicated non-section line public street or an approved private drive	Site fronts on Section line public road and will have access via Stonebrook Drive to proposed private minor drives	Yes	
<b>Building Setbacks</b> (Sec. 3.21.2.A.ii) & (Sec 3.1.27.D)	Minimum front yard setback: 30 ft*** Maximum front yard setback: 75 ft.	59 ft. from Wixom Rd	Yes	
*** The maximum front and exterior side yard setback requirement when adjacent to roads and	Minimum rear yard setback: 30 ft	47.8 feet	Yes	
	Exterior side yard adjacent to roads and drives 30 ft***	39.5 feet	Yes	
	Exterior side yard adjacent to planned or	More than 50 feet from Wixom Road	Yes	

Item	Required Code	Proposed	Meets Code	Comments
drives (other than planned or existing section line road right-of-way) is 75 feet.	existing section line road ROW 50 ft			
	Interior side yard 30 ft	150 ft	Yes	
	Building to building 30 ft	90 ft	Yes	
	Building Corner to corner: 15 ft	No corner relationships present	NA	
<b>Landscape Buffer</b> (Sec. 3.21.2.A.iii) <b>and Berms</b> (Sec. 5.5.3)	All buildings, parking lots and loading areas shall be separated from section line road rights-of-way by a <b>50 ft. landscape buffer</b> containing an undulating 3-5 ft. tall landscaped berm.	landscape buffer provided with berm near building, waiver requested where no buildings and existing woodlands are present	<b>No</b>	<b><u>Deviation requested</u></b>
<b>Parking spaces for all uses in the district</b> (except for townhouse style multiple-family dwellings that provide private garages for each dwelling unit) (Sec. 3.21.2.A.iv)	Located only in the rear yard or interior side yard	Interior side and rear yard parking shown	Yes	
	Screened by 3-5 ft. undulating berm from adjacent streets per Section 5.5.3.	Berms proposed	Yes	
	All parking and access aisles shall be Min. 15 ft. from all buildings	12 feet in one location	<b>No</b>	<b><u>Deviation requested to allow parking to be located 12 ft from building in one location</u></b>
<b>Parking Setbacks</b> (Sec. 3.21.2.A.iv.d)  * except that parking spaces for townhouse developments shall be permitted in the front yard setback when the parking area is also a driveway access to a parking garage contained within the unit.	Front yard parking is not permitted*	None proposed	Yes	
	Exterior side yard adjacent to a section line road - 50 ft. min	50 ft	Yes	
	Exterior side yard adjacent to a local street – 30 ft. min	38 ft	Yes	
	Interior side yards adjacent to single family residential districts - 30 ft. min	148 ft	Yes	
	Interior side yards not adjacent to a single family residential district – 15 ft. min	37 ft	Yes	
<b>Open Space Recreation requirements for Multi-Family Residential</b>	Minimum of 200 square feet per dwelling unit of private opens space accessible to building (includes covered	Some private open space indicated – appears 3,150 square feet is proposed in balcony/patio areas	<b>No</b>	<b><u>Applicant requests deviation</u></b>



Item	Required Code	Proposed	Meets Code	Comments
<b>Developments</b> (Sec. 3.21.2.A.v)	porches, balconies and patios)			
	Common open space areas as central to project as possible	Most of the open space in the northern area of the site – existing wetlands and proposed mitigation areas	Yes	
	Active recreation areas shall be provided with at least 50 % of the open spaces dedicated to active recreation	Total open spaces: 2.42 acres (29% of site) Active open space: 0.74 acres (walking trail area)	No	<b><u>Deviation requested for less than 50% as active</u></b>
	Active recreation shall consist 10% of total site area. <b>(0.88 acre)</b>	Active open space 0.74	No	<b><u>Deviation requested for deficiency</u></b>
<b>Other Applicable Zoning Ordinances</b> (Sec. 3.21.2.A.vi, vii and ix)	Loading and Unloading per Section 5.4	Loading spaces are not required	NA	
	Off-street Parking per Section 5.2 and 5.3: 2 spaces per dwelling unit with 2 bedrooms	46 x 2 = 92 required 101 spaces provided	Yes	
	Landscaping per Section 5.5, All sites shall include streetscape amenities such as but not limited to benches, pedestrian plazas, etc.	2 benches shown on plans	Yes	
<b>Building Length</b> (Sec. 3.21.2.A.viii)	Maximum building length as described in Sec 3.21.3.A.vii shall not exceed <b>180 ft.</b>	Does not exceed	Yes	
	City Council may modify the minimum length up to a maximum of 360 ft. if: a) Building includes recreation space for min. 50 people b) Building is setback 1 ft. for every 3 ft. in excess of 180 ft. from all residential districts.	Not applicable	NA	
<b>Outdoor Lighting</b> (Sec. 3.21.2.A.x)	Maximum height of light fixtures: 20 ft.	20 ft	Yes	
	Cut-off angle of 90 degrees or less	Provided	Yes	
	No direct light source shall be visible at any property line abutting a section line road right-of-way at ground level.	Light fixture at western end of access aisle will be shielded – photometric shows 0.0 at property line	Yes	
	Maximum Illumination at	Max proposed 0.5 fc	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	property line: 0.5fc			
<b>Circulation Standards (Sec. 3.21.2.B)</b>				
<b>Full Time Access</b> (Sec. 3.21.2.B)	Full time access drives shall be connected only to non-section line roads	Full time access drives are connected to a proposed private drive	Yes	
<b>Emergency Access</b> (Sec. 3.21.2.B)	Emergency access with access gate may be connected to section line roads when no other practical location is available	Emergency access is proposed	Yes	
<b>Connection to Neighboring Properties</b> (Sec. 3.21.2.B.i)	New roads should provide public access connections to neighboring properties at location(s) acceptable to the City and the neighboring property	Connections to neighboring parcels are proposed via previous public access easement (Villas at Stonebrook)	Yes	
<b>New Roads</b> (Sec. 3.21.2.B.ii.a)	New roads shall be designed as pedestrian/bicycle focused corridors as identified in the Non-Motorized Master Plan	Drive aisles are not new streets		
<b>Non-Motorized Facilities</b> (Sec. 3.21.2.B.ii.b)	Facilities shall be connected to the existing pedestrian network	Sidewalks are proposed within the site and connected to Wixom Road and Stonebrook Dr	Yes	
<b>Proposed Non-Motorized Facilities</b> (Sec. 3.21.2.B.ii.c)	Where existing non-motorized facilities do not exist on adjacent neighboring properties, facilities shall be stubbed to the property line.	No sidewalk exists north of the property on Wixom Road – stub indicated	Yes	
<b>Building Design Standards (Sec. 3.21.2.C)</b>				
<b>Building Height</b> (Sec. 3.21.2.C.i)	35 ft. or 2 ½ stories	30 feet	Yes	
<b>Building Design</b> (Sec. 3.21.2.C.ii)	Buildings must be designed with a “single-family residential character”	Residential style shown	Yes	<b>See Façade Review for comments</b>
<b>Building Design</b> (Sec. 3.21.2.C.ii)	Front and rear elevations have ground floor pedestrian entrances spaces no more than 60 ft	Rear elevations do not have pedestrian entrances	<b>No</b>	<b><u>Deviation requested for rear elevation of 2 buildings</u></b>
<b>Maximum % of Lot Area Covered</b> (Sec. 3.1.27.D)	25%	8.84%	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>Note To District Standards (Sec 3.6.2)</b>				
<b>Off-Street Parking in Front Yard</b> (Sec 3.6.2.E)		No front yard parking proposed	NA	
<b>Parking setback screening</b> (Sec 3.6.2.P)	Required parking setback area shall be landscaped per sec 5.5.3.	Parking lots are screened by berm/buildings	Yes	
<b>Modification of parking setback requirements</b> (Sec 3.6.2.Q)	Refer to Sec 3.6.2 for more details	Modifications are not requested	NA	
<b>Parking, Loading and Dumpster Requirements</b>				
<b>Number of Parking Spaces</b>	Two for each dwelling unit	101 spaces	Yes	
<b>Multiple Family</b> (Sec. 5.2.12.A)	For 46 units, 92 spaces			
<b>Parking Space Dimensions and Maneuvering Lanes</b> (Sec. 5.3.2)	<u>90° parking layout:</u> 9' x 19' parking space dimensions and 24' wide drives	24' access aisle	Yes	
	9' x 17' if overhang on 7' wide interior sidewalk or landscaped area as long as detail indicates 4' curb	9' x 17' proposed and 9'x19'	Yes	
<b>Parking stall located adjacent to a parking lot entrance</b> (public or private) (Sec. 5.3.13)	- shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	Complies	Yes	
<b>End Islands</b> (Sec. 5.3.12)	- End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance			<b>See Traffic Review for detailed comments</b>



Item	Required Code	Proposed	Meets Code	Comments
<b>Barrier Free Spaces</b> <i>Barrier Free Code</i>	1 barrier free parking spaces (for total 26 to 50) & 1 van barrier free parking space	5 provided	Yes	
<b>Barrier Free Space Dimensions</b> <i>Barrier Free Code</i>	- 8' wide with an 8' wide access aisle for van accessible spaces - 8' wide with a 5' wide access aisle for regular accessible spaces	Provided – all van accessible	Yes	
<b>Barrier Free Signs</b> <i>Barrier Free Code</i>	One sign for each accessible parking space.	Provided	Yes	
<b>Minimum number of Bicycle Parking</b> <i>(Sec. 5.16.1)</i>	One (1) space for each five (5) dwelling units: <b>7 spaces required</b>	4 spaces at each building shown (12 total)	Yes	
<b>Bicycle Parking General requirements</b> <i>(Sec. 5.16)</i>	- No farther than 120 ft. from the entrance being served - When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations - Spaces to be paved and the bike rack shall be inverted "U" design - Shall be accessible via 6 ft. paved sidewalk			Will be confirmed in site plan submittals
<b>Bicycle Parking Lot layout</b> <i>(Sec 5.16.6)</i>	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double			Will be reviewed in Site Plan submittals
<b>Loading Spaces</b> <i>(Sec. 5.4.1)</i> Location of such facilities in a permitted side yard shall be subject to review and approval by the City	As needed	Not required	NA	

Item	Required Code	Proposed	Meets Code	Comments
<b>Dumpster</b> <i>(Sec 4.19.2.F)</i>	<ul style="list-style-type: none"> <li>- Located in rear yard or interior side yard in case of double frontage</li> <li>- Attached to the building or</li> <li>- No closer than 10 ft. from building if not attached</li> <li>- Not located in parking setback</li> <li>- If no setback, then it cannot be any closer than 10 ft, from property line.</li> <li>- Away from Barrier free Spaces</li> </ul>	Dumpster shown in rear yard	Yes	
<b>Dumpster Enclosure</b> <i>(Sec. 21-145.(c) City code of Ordinances)</i>	<ul style="list-style-type: none"> <li>- Screened from public view</li> <li>- A wall or fence 1 ft. higher than height of refuse bin</li> <li>- And no less than 5 ft. on three sides</li> <li>- Posts or bumpers to protect the screening</li> <li>- Hard surface pad.</li> <li>- Screening Materials: Masonry, wood or evergreen shrubbery</li> </ul>			Will be reviewed in Site Plan submittals
<b>Sidewalk Requirements</b>				
<b>ARTICLE XI. OFF-ROAD NON-MOTORIZED FACILITIES</b> <i>Sec. 11-256. Requirement. (c) &amp; Sub. Ord. Sec. 4.05,</i>	<ul style="list-style-type: none"> <li>- In the case of new streets and roadways to be constructed as part of the project, a sidewalk shall be provided on both sides of the proposed street or roadway.</li> <li>- Sidewalks along arterials and collectors shall be 6 feet or 8 feet wide as designated by the "Bicycle and Pedestrian Plan," but not along industrial service streets per Subdivision Ordinance</li> <li>- Whereas sidewalks along local streets and private roadways shall be five (5) feet wide.</li> </ul>	10' Pathway shown on Wixom Road ("by others")  5-7' sidewalks shown around buildings  Sidewalk connections to Wixom Rd and Stonebrook Drive added	Yes  Yes  Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>Pedestrian Connectivity</b>	<ul style="list-style-type: none"> <li>- Whether the traffic circulation features within the site and parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets</li> <li>- Building exits must be connected to sidewalk system or parking lot.</li> </ul>	Sidewalks around buildings and to adjacent sidewalks	Yes	
<b>Other Requirements</b>				
<b>Design and Construction Standards Manual</b>	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Sheet 2 - provided	Yes	
<b>General layout and dimension of proposed physical improvements</b>	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).	Mostly provided – additional detail may be needed for site plan review	Yes	Refer to all review letter for comments
<b>Economic Impact</b>	<ul style="list-style-type: none"> <li>- Total cost of the proposed building &amp; site improvements</li> <li>- Number of anticipated jobs created (during construction &amp; after building is occupied, if known)</li> </ul>	Investment of \$6M  70-90 trade and construction jobs	Yes	
<b>Legal Documents</b>	PSLR Development Agreement is required if approved.  Conservation Easements for wetlands/woodlands areas; ROW dedication with Final Site Plan review	Access Easement is provided for access to Pulte private road	No	<u>A PSLR agreement would be required if City Council approves the Concept Plan</u>



Item	Required Code	Proposed	Meets Code	Comments
<b>Development and Street Names</b>	Development and street names must be approved by the Street Naming Committee before Preliminary Site Plan approval	Committee will review		<b>The project requires a project and street naming application. Please contact Diana Shanahan at 248-347-0579</b>
<b>Development/ Business Sign</b>	<ul style="list-style-type: none"> <li>- Signage if proposed requires a permit.</li> <li>- Exterior Signage is not regulated by the Planning Division or Planning Commission.</li> </ul>	Indicated	Yes	

**NOTES:**

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4 and 5 of the zoning ordinance for further details.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

## ENGINEERING REVIEW

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# PLAN REVIEW CENTER REPORT

01/17/2023

## Engineering Review

Avalon Park Apartments  
JSP22-01

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### Applicant

Wixom Road Development LLC

### Review Type

PSLR Concept Site Plan

### Property Characteristics

- Site Location: East of Wixom Road and North of Stonebrook Drive
- Site Size: 8.78 acres
- Plan Date: 11/22/22
- Design Engineer: Atwell

### Project Summary

- Construction of 2 approximately 11,103 square-foot apartment building and 1 approximately 9,634 square foot apartment building with associated parking. Site access would be provided via private roadways (Stonebrook Drive).
- Water service would be provided by an 8-inch extension from the existing 16-inch water main along the east side of Wixom Road. A 2-inch domestic lead and a 4-inch fire lead would be provided to serve the buildings, along with 2 additional hydrants.
- Sanitary sewer service would be provided by an extension from the existing 8-inch sanitary sewer along the north side of Stonebrook Drive. A 6-inch lead would be provided to serve the building, along with a monitoring manhole.
- Storm water would be collected by a single storm sewer collection system and discharged to an on-site detention basin.

### Recommendation

**Approval of the Concept Site Plan is recommended, with items to be addressed at the Preliminary Site Plan submittal.**



**Comments:**

The Concept Site Plan does **NOT** meet the general requirements of Chapter 11 of the Code of Ordinances, the Storm Water Management Ordinance and/or the Engineering Design Manual. The following must be addressed prior to resubmittal:

1. The State of Michigan is currently reviewing the City of Novi's stormwater standards for compliance with the new County standards, and thus the City has not adopted the new standards. Projects that have not received approval from Planning Commission before the standards are adopted will be subjected to the change in requirements. At the time of this letter, revise the stormwater management plan to meet the current standards outlined in the Engineering design Manual.
2. Provide calculations verifying the post-development runoff rate directed to the proposed receiving drainage course does not exceed the pre-development runoff rate for the site.
3. Rather than a sediment forebay, a permanent water surface and storage volume are preferred. Refer to section 5.6.1 A. of the Engineering Design Manual for depth and volume requirements for wet detention basins.
4. Provide a 5-foot-wide stone bridge/access route allowing direct access to the standpipe from the bank of the basin during high-water conditions (i.e. stone 6-inches above high water elevation). Provide a detail and/or note as necessary.
5. As part of the Storm Drainage Facility Maintenance Easement Agreement, provide an access easement for maintenance over the storm water detention system and the pretreatment structure. Also, include an access easement to the detention area from the public road right-of-way.
6. Provide release rate calculations for the three design storm events (first flush, bank full, 100-year).
7. Due to maintenance concerns, each restricting orifice in the control structure shall be a minimum of 1 square-inch in size, even though this may result in a flow rate above that calculated.
8. The flow restriction shall be accomplished by methods other than a pipe restriction in an oversized pipe due to the potential for clogging and restrictor removal. A perforated standpipe, weir design, baffle wall, etc. should be utilized instead.
9. The primary outlet standpipe shall be designed with a secondary outer pipe with numerous holes. The stone filter would rest against this outer pipe and would help protect the outlet standpipe from clogging.
10. A runoff coefficient of 0.35 shall be used for all turf grass lawns (mowed lawns).
11. A 4-foot-wide safety shelf is required one foot below the permanent water surface elevation within the basin.
12. Show proposed easements for water main and sanitary sewer on the plans.

**Additional Comments** (to be addressed upon Preliminary Site Plan submittal):

**General**

13. Provide a minimum of two ties to established section or quarter section corners.
14. **Only at the time of the printed Stamping Set submittal**, provide the City's standard detail sheets for water main (5 sheets), sanitary sewer (3 sheets), storm sewer (2 sheets), paving (2 sheets) and Boardwalks/Pathways (1 sheet). The most updated details can be found on the City's website at this location: <https://cityofnovi.org/services/public-works/engineering-division/engineering-standards-and-construction-details>
15. A right-of-way permit will be required from the City of Novi.
16. Provide a note that compacted sand backfill (MDOT sand Class II) shall be provided for all utilities within the influence of paved areas and illustrate and label on the profiles.
17. Provide a construction materials table on the utility plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
18. Provide a utility crossing table indicating that at least 18-inch vertical clearance will be provided, or that additional bedding measures will be utilized at points of conflict where adequate clearance cannot be maintained.
19. Provide a note stating if dewatering is anticipated or encountered during construction, then a dewatering plan must be submitted to the Engineering Division for review.
20. Show proposed easements for water main, sanitary sewer, and storm sewer on the plans.
21. Indicate if there is an agreement with the property owner to the north for the existing driveway. If none currently exists, provide an easement to maintain the existing access or relocate the driveway.

**Water Main**

22. All water main easements shall be 20 feet wide. Show the proposed easement on the plan.
23. Provide water main modeling calculations demonstrating that the required water supply of 2,000/4,000 GPM will be available.
24. Per current EGLE requirement, provide a profile for all proposed water main 8-inch and larger.
25. All gate valves 6" or larger shall be placed in a well with the exception of a hydrant shut off valve. A valve shall be placed in a box for water main smaller than 6".
26. In the general notes and on the future profiles, add the following note: "Per the Ten States Standards Article 8.8.3, one full 20-foot pipe length of water main shall be used whenever storm sewer or sanitary sewer is crossed, and the pipe shall be centered on the crossing, in order to ensure 10-foot separation

between water main and sewers." Additionally, show the 20-foot pipe lengths on the profile.

### **Sanitary Sewer**

27. Provide a sanitary sewer monitoring manhole, unique to this site, within a dedicated access easement or within the road right-of-way. If not in the right-of-way, provide a 20-foot-wide access easement to the monitoring manhole from the right-of-way (rather than a public sanitary sewer easement).
28. All sanitary sewer easements shall be 20 feet wide. Show the proposed easement on the plan.
29. Provide a note on the Utility Plan stating the sanitary leads will be buried at least 5 feet deep where under the influence of pavement.

### **Storm Sewer**

30. Provide profiles for all storm sewer 12-inch and larger.
31. Label the 10-year HGL on the storm sewer profiles and ensure the HGL remains at least 1-foot below the rim of each structure.
32. Provide a schedule listing the casting type, rim elevation, diameter, and invert sizes/elevations for each proposed, adjusted, or modified storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.

### **Storm Water Management Plan**

33. Provide a soil boring in the vicinity of the storm water basin to determine soil conditions and to establish the high-water elevation of the groundwater table. Note the bottom of the detention facility must be a minimum of three (3) feet above the groundwater elevation.

### **Paving & Grading**

34. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed.
35. Provide a note on the plan stating that the emergency access gate is to be installed and closed prior to the issuance of the first building permit in the subdivision.
36. Provide at least 3-foot of buffer distance between the sidewalk and any fixed objects, including hydrants and irrigation backflow devices. Include a note on the plan where the 3-foot separation cannot be provided.
37. The sidewalk within the Wixom Road and Stonebrook Drive right-of-way shall continue through the drive approach. If like materials are used for each, the sidewalk shall be striped through the approach.
38. The end islands shall conform to the City standard island design, or variations of the standard design, while still conforming to the standards as outlined in Section 2506 of Appendix A of the Zoning ordinance.
39. Provide a line designation representing the effective 19-foot stall length for 18-foot perimeter stalls.



40. Curbing and walks adjacent to the end of 18-foot stalls shall be reduced to 4-inches high (rather than the standard 6-inch height to be provided adjacent to 19-foot stalls). Provide additional details as necessary.

**Flood Plain**

41. If applicable, show the limits of the 100-year flood plain and floodway per the current FIRM maps (2006).

**Soil Erosion and Sediment Control**

42. A SESC permit is required. A full review has not been completed at this time. The review checklist detailing all SESC requirements is attached to this letter. Please address the comments below and submit a SESC permit application under separate cover. The application can be found on the City's website at <http://cityofnovi.org/Reference/Forms-and-Permits.aspx>.

**Off-Site Easements**

43. Any off-site utility easements anticipated must be executed **prior to final approval of the plans**. If you have not already done so, drafts of the easements and a recent title search shall be submitted to the Community Development Department as soon as possible for review and shall be approved by the Engineering Division and the City Attorney prior to executing the easements.

**The following must be submitted with the Preliminary Site Plan submittal:**

44. A letter from either the applicant or the applicant's engineer must be submitted with the Preliminary Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Adam Chludzinski at (248)735-5643 with any questions.



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Adam Chludzinski,  
Project Engineer

cc: Lindsay Bell, Community Development  
Humna Anjum, Engineering  
Adam Yako, Engineering  
Ben Croy, City Engineer

## LANDSCAPE REVIEW

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# PLAN REVIEW CENTER REPORT

April 28, 2023  
**Avalon Park**  
Revised PSLR Concept Plan - Landscaping

## Review Type

Revised PSLR Concept Plan Landscape Review

## Job #

JSP21-0001

## Property Characteristics

- Site Location: Wixom Road
- Site Acreage: 8.78 ac
- Site Zoning: R-1
- Adjacent Zoning: North: I-1 & R-1, East: I-1 & I-2, South: I-2, West: R-1
- Plan Date: 4/19/2023

## Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised PSLR Preliminary Site Plan submittal and underlined items must be addressed on the Preliminary or Final Site Plans. Please follow the guidelines of the Zoning Ordinance Section 5.5 and the Landscape Design Manual. This review and the accompanying landscape chart are summaries and are not intended to substitute for any Ordinance.

## Recommendations:

This project is **recommended for approval if the unsupported deviation regarding the parking lot landscaping is addressed satisfactorily**. Please revise the landscaping to remove the unsupported waiver noted below. The remaining additions/corrections can be made on the Preliminary or Final Site Plans.

## **LANDSCAPE DEVIATIONS REQUIRED FOR PROPOSED LAYOUT:**

- No berm is proposed north of the emergency access drive along Wixom Road – *supported by staff*
- Deficiency in interior parking lot trees – *not supported by staff*

## Ordinance Considerations

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. Provided
2. **Please show the protective tree fence at the outer edge of the actual dripline, not the edge of the tree symbol which may not be wide enough to represent the actual dripline.**

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

A long continuous berm on the adjacent property fulfills this requirement for the east and south boundaries.

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. The required berm is provided between Wixom Road and the west building but not north of the T-turnaround. **A landscape deviation for the lack of berm there is requested.** *The*



- waiver is supported as building a berm would damage existing trees to be preserved.
2. The required landscaping is proposed along the southern frontage. As noted above, a deviation to not provide the required greenbelt landscaping in the preserved area north of the access drive is requested and is supported by staff.

Multi-family Residential Landscaping (Zoning Sec. 5.5.3.f.iii.)

1. Multi-family Unit Trees: 69 trees are required are provided.
2. Interior Roadway: No interior drives are provided so no interior roadway trees are required.
3. Building Foundation Landscaping:
  - a. Greater than 35% of the frontages facing public roads is shown as being landscaped.
  - b. A detailed foundation planting plan for Building 1 is provided. Please include detailed plans for the east-west buildings too and include all of the foundation plantings in the plant list and cost estimate.

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. All interior islands and parking lot corners must be at least 200sf in area and must have a canopy tree planted in them. **Please add trees where required.**
2. As noted before, multi-family unit trees can be used to meet the parking lot interior and perimeter tree requirements.

Plant List (LDM 4, 10)

1. 12 of 28 species (43%) used for non-woodland replacement plantings are native to Michigan. Please increase the use of native plant species to no less than 50%.
2. The tree diversity requirements for non-woodland replacement trees are met for all but Honeylocusts which has 25 non-woodland replacements shown. Please reduce the number of honeylocusts to no more than 21.
3. Please see the landscape chart for detailed discussions of various issues related to the proposed plantings that must be addressed.

Planting Notations and Details (LDM 10)

1. Provided
2. See the landscape chart for more detailed information.

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

1. Required trees and shrubs are provided.
2. Please see the landscape chart for a detailed discussion of fixes to be made to detention basin plantings.

Irrigation (LDM 10)

1. Please provide plans for providing sufficient water to all plantings for their establishment and long-term survival.
2. If an irrigation system will be used, plans for it must be provided in the Final Site Plans.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org).



## LANDSCAPE REVIEW SUMMARY CHART – Revised PSLR Concept Plan

**Review Date:** April 28, 2023  
**Project Name:** JSP22 – 0001: AVALON PARK TOWNHOMES  
**Plan Date:** April 19, 2023  
**Prepared by:** Rick Meader, Landscape Architect E-mail: [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org);  
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the PSLR Concept Site Plan can be recommended. Underlined items need to be addressed on the Preliminary or Final Site Plans.

### LANDSCAPE DEVIATIONS THAT ARE REQUIRED FOR PROPOSED LAYOUT:

- No berm or greenbelt landscaping is proposed north of the emergency access drive along Wixom Road – *supported by staff*
- Deficiency in interior parking lot trees, undersized islands – *not supported by staff*

Item	Required	Proposed	Meets Code	Comments
<b>Landscape Plan Requirements – Basic Information (LDM (2))</b>				
<b>Landscape Plan</b> <i>(Zoning Sec 5.5.2, LDM 10)</i>	<ul style="list-style-type: none"> <li>• New commercial or residential developments</li> <li>• Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less.</li> <li>• 1"-20' minimum with proper North. Variations from this scale can be approved by LA</li> </ul>	<ul style="list-style-type: none"> <li>• Overall Scale 1" = 30'</li> <li>• Foundation planting scale: 1"=10'</li> </ul>	Yes	
<b>Owner/Developer Contact Information</b> <i>(LDM 10)</i>	Name, address and telephone number of the owner and developer or association	Yes	Yes	
<b>Project Information</b> <i>(LDM 10)</i>	Name and Address	Location map on Sheet LP-2	Yes	
<b>Survey information</b> <i>(LDM 10)</i>	Legal description or boundary line survey	Survey and description on Sheet 2	Yes	
<b>Landscape Architect contact information</b> <i>(LDM 10)</i>	Name, Address and telephone number of RLA/PLA/LLA who created the plan	J. Eppink Partners	Yes	
<b>Sealed by LA.</b> <i>(LDM 10)</i>	Requires original signature	No		<u>Final stamping sets must be sealed by LA and have live LA signature</u>
<b>Miss Dig Note</b> <i>(800) 482-7171 (LDM 10)</i>	Show on all plan sheets	<ul style="list-style-type: none"> <li>• On Sheets LP-1, and LP-3</li> <li>• Not on Sheet LP-2</li> </ul>	<ul style="list-style-type: none"> <li>• Yes</li> <li>• No</li> </ul>	<u>Please add to Sheet LP-2</u>

Item	Required	Proposed	Meets Code	Comments
<b>EXISTING CONDITIONS</b>				
<p><b>Existing plant material</b>  <b>Existing woodlands or wetlands</b>  <i>(LDM 10.h)</i></p>	<ul style="list-style-type: none"> <li>• Show location type and size.</li> <li>• Label to be saved or removed.</li> <li>• Plan shall state if none exists.</li> </ul>	<ul style="list-style-type: none"> <li>• Tree Survey on Sheet 2</li> <li>• Tree Chart on Sheet 10</li> <li>• Removals are indicated on the chart and the Removals Plan</li> <li>• Replacement credits are shown on Chart.</li> <li>• Wetlands on site are delineated, mitigation is required and shown on Sheet 7.</li> </ul>	<ul style="list-style-type: none"> <li>• Yes</li> <li>• Yes</li> <li>• Yes</li> <li>• Yes</li> <li>• Yes</li> </ul>	<ol style="list-style-type: none"> <li>1. In a number of cases, the fence appears to be too close to the tree to be outside of the dripline. <b>Please show the tree fence at the actual tree dripline on the plans, not just at the outside of the tree symbol, which may or may not accurately represent the dripline. The note provided on Sheet LP-1 is not sufficient because the grading plan is based on the symbols, not the actual dripline.</b></li> <li>2. <b>See the Mannik &amp; Smith &amp; DRG letters for complete reviews of woodlands and wetlands</b></li> <li>3. <u>Please hide the tree to be removed at the northern corner of the parking lot west of Building #1.</u></li> </ol>
<p><b>Natural Features protection</b></p>				<ol style="list-style-type: none"> <li>1. Currently the landscape plan does not show any separation between the parking lot and wetland in some areas.</li> <li>2. <u>Please be sure that proper buffers and protection for adjacent ponds are provided on the landscape plan.</u></li> <li>3. <u>Please show the outline of a conservation easement that will protect the woodland replacement trees on Sheet LP-2.</u></li> </ol>

Item	Required	Proposed	Meets Code	Comments
<b>Soil type (LDM 10)</b>	As determined by Soils survey of Oakland county	Sheet 2	Yes	
<b>Zoning (LDM 10)</b>	Site: R-1 Proposed: PSLR North: I-1 & R-1, East: I-1 & I-2, South: I-2, West: R-1	Sheet LP-2	Yes	
<b>PROPOSED IMPROVEMENTS (LDM 10)</b>				
<b>Existing and proposed improvements</b>	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Yes – dimensions on Sheets 4 and 5	Yes	
<b>Existing and proposed utilities</b>	<ul style="list-style-type: none"> <li>Overhead and underground utilities, including hydrants</li> <li>Proposed light posts</li> </ul>	<ul style="list-style-type: none"> <li>Proposed utilities are shown on the Landscape Plan</li> <li>Light posts are also shown</li> <li>Notes regarding spacing are provided on Sheet LP-2</li> </ul>	Yes	<u>Please shift proposed light poles in parking lot islands over to provide more planting room for the required trees.</u>
<b>Proposed topography - 2' contour minimum</b>	Provide proposed contours at 2' interval	Sheet 5	Yes/No	<ol style="list-style-type: none"> <li>The plan currently shows wetland up to the edge of the parking lot in some areas when it will need to be filled there.</li> <li><u>Please show all proposed contours on the landscape plan.</u></li> <li><u>The proposed grading at the entry should be modified to fit the long sign wall.</u></li> </ol>
<b>Clear Zones</b>	25 ft. corner clearance required. Refer to Zoning Sec 5.5.9	Yes	Yes	
<b>LANDSCAPING REQUIREMENTS</b>				
<b>Berms and ROW Planting</b>				
<ul style="list-style-type: none"> <li>All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours</li> <li>Berm should be located on lot line except in conflict with utilities.</li> <li>Berms should be constructed with 6" of topsoil.</li> </ul>				
<b>Residential Adjacent to Non-residential (Sec 5.5.3.A) &amp; (LDM 1.a)</b>				
<b>Berm requirements (Zoning Sec 5.5.3.A)</b>	<u>Special land use adjacent to residential requires:</u>	A long continuous berm existing on the adjacent	Yes	



Item	Required	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> <li>4.5-6 foot tall landscaped berm with 6 foot wide crest.</li> <li>Opacity 80% winter, 90% summer.</li> </ul>	property fulfills this requirement for the east and south boundaries.		
<b>Planting requirements</b> (LDM 1.a.)	LDM Novi Street Tree List			
<b>Adjacent to Public Rights-of-Way (Sec 5.5.3.B) and (LDM 1.b) (RM-1)</b>				
<b>Greenbelt width</b>	<ul style="list-style-type: none"> <li>Adj to parking: 20 ft</li> <li>Not adj to pkg: 34 ft</li> </ul>	<ul style="list-style-type: none"> <li>Wixom Rd: 60 ft</li> <li>Stonebrook Dr: 43 ft</li> </ul>	Yes	
<b>Min. berm crest width</b>	4 ft	<ul style="list-style-type: none"> <li>Wixom Rd: 5 ft</li> <li>Stonebrook Dr: 3-10 ft – the existing berm is being preserved</li> </ul>	Yes	<ol style="list-style-type: none"> <li>No berm is provided north of the emergency access drive. <b>This requires a deviation.</b></li> <li>As adding the berm would require the removal of trees and there are no buildings or paving proposed in that area, the deviation would be supported by staff.</li> </ol>
<b>Min. berm height</b>	3 ft	<ul style="list-style-type: none"> <li>Wixom Rd: 4 ft</li> <li>Stonebrook Dr: 3 ft</li> </ul>	Yes	<b>See above</b>
3' wall	(4)(7)	Only a sign wall is proposed – no retaining walls		
<b>Canopy deciduous or large evergreen trees</b> (7)(10)(11)	<p><b>1 tree per 35 lf</b></p> <p><u>Wixom Road</u></p> <ul style="list-style-type: none"> <li>(195-20)lf/35 = 5 trees</li> </ul> <p><u>Stonebrook Drive</u></p> <ul style="list-style-type: none"> <li>683lf/35 = 19 trees</li> </ul> <p>Waiver to not plant greenbelt trees north of the emergency access lane is requested.</p>	<p><u>Wixom Road</u></p> <p>6 canopy trees south of the access lane</p> <p><u>Stonebrook Drive</u></p> <p>55 existing trees</p>	<ul style="list-style-type: none"> <li>Yes</li> <li>Yes</li> </ul>	<ol style="list-style-type: none"> <li><b>A deviation is requested to not add any trees north of the emergency access to preserve the existing vegetation.</b> This deviation is supported by staff.</li> <li>The calculations can be revised to deduct the 20' width of the emergency access lane and excess trees can be removed from the plan if desired.</li> </ol>
<b>Sub-canopy deciduous trees</b> Notes (5)(6)(10)(11)	<p><b>1 tree per 20 lf</b></p> <p><u>Wixom Road</u></p> <ul style="list-style-type: none"> <li>(195-20)lf /20 = 9 trees</li> </ul> <p><u>Stonebrook Drive</u></p>	<p><u>Wixom Road</u></p> <p>11 trees</p> <p><u>Stonebrook Drive</u></p> <p>34 trees</p>	<ul style="list-style-type: none"> <li>Yes</li> <li>Yes</li> </ul>	<b>See above discussion</b>

Item	Required	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> <li>• 683/20 = 34 trees</li> </ul>			
<b>Canopy deciduous trees in area between sidewalk and curb (10)</b>	<b>1 tree per 35 lf</b> <u>Wixom Road</u> <ul style="list-style-type: none"> <li>• (390-28)lf /35 = 10 trees</li> </ul> <u>Stonebrook Drive</u> Not necessary – the street is not on Avalon Park property	<u>Wixom Road</u> <ul style="list-style-type: none"> <li>• 10 trees</li> </ul> <u>Stonebrook Drive</u> Existing street trees are shown	<ul style="list-style-type: none"> <li>• Yes</li> <li>• Yes</li> </ul>	
<b>Multi-Family Residential (Sec 5.5.3.F.iii)</b>				
<b>Multi-family Unit Landscaping (Zoning Sec 5.5.3.F.iii.b)</b>	<ul style="list-style-type: none"> <li>• 3 deciduous canopy trees or large evergreen trees per dwelling unit on the first floor.</li> <li>• 23 units * 3 = 69 trees</li> <li>• Up to 25% of requirement can be subcanopy trees</li> </ul>	69 trees	Yes	If desired, multi-family unit trees may be used to meet the all of the parking lot perimeter and interior tree requirements. That is shown for the perimeter trees, but not the interior trees.
<b>Interior Street Landscaping (Zoning Sec 5.5.3.F.iii.b)</b>	<ul style="list-style-type: none"> <li>• 1 deciduous canopy tree along interior roads for every 35 lf (both sides), excluding driveways, interior roads adjacent to public rights-of-way and parking entry drives.</li> <li>• There are no interior drives on the site.</li> </ul>	NA	Yes	
<b>Foundation Landscaping (Zoning Sec 5.5.3.F.iii.b)</b>	35% of building façades facing road must be landscaped	<ul style="list-style-type: none"> <li>• A conceptual plan for one building is provided.</li> <li>• The required percentage of landscaping facing roads is provided.</li> </ul>	<ul style="list-style-type: none"> <li>• Yes</li> <li>• Yes</li> </ul>	1. <u>The light conditions for the north-south building shown are much different than for the east-west buildings.</u> 2. <u>Please show complete foundation plans for all three buildings or at least add one for the east-west buildings. They can be smaller scale than 1"=10'</u> 3. <u>Plantings for all three buildings need to be included in the plant lists and cost estimates.</u>
<b>Parking Area Landscape Requirements (Zoning Sec 5.5.3.C &amp; LDM 5)</b>				
<b>General requirements</b>	<ul style="list-style-type: none"> <li>• Clear sight distance</li> </ul>	No blocking	Yes	

Item	Required	Proposed	Meets Code	Comments
	within parking islands • No evergreen trees	plantings are proposed.		
<b>Name, type and number of ground cover</b>	As proposed on planting islands	Seed and sod are included in the plant list	TBD	<u>Please indicate what areas will be hydroseeded and which will be sod.</u>
<b>Parking lot Islands</b> <i>(Zoning Sec 5.5.3.c.ii, iii)</i>	<ul style="list-style-type: none"> <li>• A minimum of 200 SF to qualify</li> <li>• 200sf landscape space per tree planted in island.</li> <li>• 6" curbs</li> <li>• Islands minimum width 10' BOC to BOC</li> </ul>	3 Parking lot islands do not seem to be large enough (at least 200sf)	TBD	<b>If islands aren't large enough to meet requirements, please enlarge them.</b>
<b>Curbs and Parking stall reduction</b> <i>(Zoning Sec 5.5.3.c.ii)</i>	Parking stall can be reduced to 17' with 4" curb adjacent to a sidewalk of minimum 7 ft.	Parking spaces are 17' long	Yes	
<b>Contiguous space limit</b> <i>(Zoning Sec 5.5.3.c.ii.o))</i>	Maximum of 15 contiguous spaces	No bay is longer than 15 spaces	Yes	<ol style="list-style-type: none"> <li><b>1. The island north of Building 3 must have a canopy tree in it. It can be a multi-family unit tree.</b> You may want to move the island east one or more spaces to provide sufficient clearance between the tree and the water line.</li> <li><b>2. Canopy trees are also needed in every parking lot corner. Multifamily unit trees and perimeter trees can be used to meet those requirements, so the perimeter trees along the north edge of the parking lots can be spread out more.</b></li> </ol>
<b>Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district</b> <i>(Zoning Sec 5.5.3.C.iii)</i>				
<b>A = Total square footage of vehicular use areas x 7.5%</b>	<ul style="list-style-type: none"> <li>• <math>A = x \text{ SF} \times 7.5\% = A \text{ sf}</math></li> <li>• <math>14,950\text{sf} \times 7.5\% = 1121\text{sf}</math></li> </ul>			
<b>B = Total square footage of additional paved vehicular use areas over 50,000 SF</b>	<ul style="list-style-type: none"> <li>• <math>B = x \text{ SF} \times 1\% = B \text{ sf}</math></li> </ul>	NA		

Item	Required	Proposed	Meets Code	Comments
x 1 %				
<b>All Categories</b>				
C = A+B Total square footage of landscaped islands	<ul style="list-style-type: none"> <li>C = A + B</li> <li>C = 1121 + 0 = 1121sf</li> </ul>	1530sf is shown but not the corners or smaller islands	TBD	<ol style="list-style-type: none"> <li>Label every island and corner island with its square footage to confirm that the required area is provided.</li> <li>If an island bound by impervious surface does not have 200sf of greenspace, it must be widened to support the tree.</li> </ol>
D = C/200 Number of canopy trees required	<ul style="list-style-type: none"> <li>D = C/200</li> <li>D = 1121/200 = 6 trees</li> </ul> <p>An additional tree is needed in the parking lot island north of Building 3 even though the calculations only show 6 are needed</p>	6 trees	No	<ol style="list-style-type: none"> <li>Interior trees must be within all interior islands and parking lot corners.</li> <li>Please add the required trees in the new islands required for the long bays and in parking lot corners.</li> <li>Multi-family unit trees may also be used to meet the parking lot interior tree requirements.</li> </ol>
<b>Parking Lot Perimeter Trees</b> (Zoning Sec 5.5.3.c.ii)	<ul style="list-style-type: none"> <li>1 Canopy tree per 35 lf</li> <li>930/35 = 26 trees</li> </ul> <p>Trees must be within 15 feet of the parking lot edge to count as a perimeter tree.</p> <p>Greenbelt canopy trees within 15 feet of the parking lot edge may be double-counted as parking lot perimeter trees.</p>	26 trees	Yes	<b>Please move some of the perimeter trees along the north edge of the parking lots to the corners of the parking lot (there are 4 that need trees, 3 of which are on the southern edge of the parking lots.)</b>
<b>Accessway Perimeter Trees</b> (Zoning Sec 5.5.3.C.i.j.)	<ul style="list-style-type: none"> <li>1 Canopy tree per 35 lf</li> <li>30*2/35 = 2 trees</li> </ul>	2 – on the adjoining property	Yes/No	Please move the 2 <u>accessway perimeter trees onto the site property.</u>
<b>Parking land banked</b>	NA	None		
<b>Miscellaneous Landscaping Requirements</b>				



Item	Required	Proposed	Meets Code	Comments
<b>Plantings around Fire Hydrant</b> ( <i>Zoning Sec 5.5.3.c.ii,j, LDM Secs 2,7</i> )	<ul style="list-style-type: none"> <li>No plantings with matured height greater than 12' within 10 ft. of fire hydrants, manholes, catch basins or other utility structures.</li> <li>Trees should not be planted within 5 feet of underground lines.</li> </ul>	Sufficient spacing appears to have been given between trees and utility lines and structure.	Yes	
<b>Landscaped area (g)</b>	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Not indicated	TBD	
<b>Name, type and number of ground cover</b> (LDM 5)	As proposed on planting islands	Seed and sod are listed on the plant list	TBD	<u>Please indicate which areas will be sodded.</u>
<b>Snow deposit</b> (LDM 10)	Show leave snow deposit areas on plan in locations where landscaping won't be damaged	Numerous areas are proposed	Yes/TBD	<u>Please have a tree in all end islands – snow deposit areas can be adjusted.</u>
<b>Transformers/Utility boxes</b> (LDM 6)	<ul style="list-style-type: none"> <li>A minimum of 2 ft. separation between box and the plants</li> <li>Ground cover below 4" is allowed up to pad.</li> <li>No plant materials within 8 ft. from the doors</li> </ul>	No transformers are shown	TBD	<ol style="list-style-type: none"> <li><u>Please show transformers and other utility boxes when their locations are determined.</u></li> <li><u>Please add an allowance of 10 shrubs per box on the plant list and label as such</u></li> <li><u>Please remove the words "on three sides" from City of Landscape Note #14.</u></li> </ol>
<b>Detention/Retention Basin Planting requirements</b> (Sec. 5.5.3.e, LDM 3)	<ul style="list-style-type: none"> <li>Clusters of large native shrubs shall cover 70-75% of the basin rim area at 10 ft away from the permanent water line.</li> <li>Canopy trees must be located at 1 per 35lf of the pond rim 10 feet away from the permanent water level</li> <li>10" to 14" tall grass along sides of basin</li> <li>Refer to wetland for</li> </ul>	<ul style="list-style-type: none"> <li>Seed mixes are proposed for the detention pond</li> <li>Shrub coverage meets the requirement</li> <li>Canopy trees are proposed along the east, south and north sides of the pond</li> </ul>	<ul style="list-style-type: none"> <li>Yes</li> <li>Yes</li> <li>No</li> </ul>	<ol style="list-style-type: none"> <li><u>Please move the trees on the north side of the detention pond to the west side or add trees to the west side.</u></li> <li><u>Please show the permanent water level of the pond too – no seed is required where it will be water, but the native mix should also be planted in the 25</u></li> </ol>

Item	Required	Proposed	Meets Code	Comments
	basin mix • Include seed mix details on landscape plan			<u>foot buffer around the pond.</u> 3. <u>Please add the seed mix to the cost estimate.</u> 4. <u>Please add complete establishment and maintenance instructions for the native seed mixes (should be available from seed suppliers) – what is provided is not sufficient.</u> 5. <u>Please revise the note stating that the contractor must provide proof of the seed mixes to be used prior to installation to correct the spelling of the email address: rmeader@cityofnovi.org.</u>
<b>Phragmites and Japanese Knotweed Control (Zoning Sec 6.B)</b>	All populations of Phragmites and/or Japanese Knotweed shall be eliminated from the site	Phragmites populations are shown on Sheet 3	Yes	<u>Please add text to the treatment note stating that the treatments must be done by a licensed ANC applicator</u>
<b>Landscape Notes and Details– Utilize City of Novi Standard Notes</b>				
<b>Plant List (LDM 4,11) – Include all cost estimates</b>				
Quantities and sizes		Yes	Yes	
Root type		Yes	Yes	
Botanical and common names	<ul style="list-style-type: none"> <li>At least 50% of plant species used, not including seed mixes or woodland replacement trees, must be species native to Michigan.</li> <li>The non-woodland replacement tree diversity must meet the standards of the Landscape Design Manual section 4.</li> </ul>	<ul style="list-style-type: none"> <li>12 of 28 species used for non-replacement plantings (43%) are native to Michigan.</li> <li>Honeylocusts exceed the maximum number of trees per LDM Sec. 4. Only 25 15% of total non-replacement trees can be used</li> </ul>	<ul style="list-style-type: none"> <li>No</li> <li>No</li> </ul>	<ol style="list-style-type: none"> <li><b>Please separate the woodland replacement trees from the overall plant list and base the diversity on that total (137 trees).</b></li> <li><b>Woodland replacement canopy trees can be 2.5” caliper and evergreens can be 6 ft in height.</b></li> <li><b>Evergreen trees only</b></li> </ol>

Item	Required	Proposed	Meets Code	Comments
		(21).		<p><b>count as 0.67 credits per tree and only 10% or less of the replacement trees planted can be evergreen. Please add more credits to satisfy the requirement.</b></p> <p>4. <u>Norway spruce and European hornbeam are not on the woodland replacement chart (included with this review) so they can't be used as woodland replacements – please replace them with species from the chart.</u></p> <p>5. <u>Please use fewer honeylocusts.</u></p> <p>6. <u>Please increase the proportion of native species used to 50% or more.</u></p> <p>7. <u>Although they are not on the city's prohibited species list, please substitute a species such as chokeberry for burning bush, which does spread into adjoining woodlands in a somewhat invasive manner.</u></p> <p>8. <u>Please check the plant counts of PP, ERB and SB.</u></p> <p>9. <u>River birch is a canopy tree, not a subcanopy tree. Please use a smaller species as a subcanopy tree.</u></p> <p>10. <u>Please consider using the native hornbeam (<i>Carpinus caroliniana</i>) in the</u></p>

Item	Required	Proposed	Meets Code	Comments
				<u>open space with the path instead of European hornbeam.</u>
Type and amount of lawn		Seed and sod are indicated.	TBD	<u>Please clearly show what areas will be sod or seed.</u>
Cost estimate (LDM 10.h.(11))	For all new plantings, mulch and sod as listed on the plan	Yes	Yes	
<b>Planting Details/Info (LDM Part III) – Utilize City of Novi Standard Details</b>				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		Yes	Yes	
Shrub		Yes	Yes	
Multi-stem tree		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys	Wood stakes, fabric guys.	Yes	Yes	
<b>Cross-Section of Berms (LDM 1.a.(1))</b>				
Slope, height and width	<ul style="list-style-type: none"> <li>• Label contour lines</li> <li>• Maximum 33% slope</li> <li>• Constructed of loam</li> <li>• 6" top layer of topsoil</li> </ul>	No	No	<u>Provide detail on landscape plans for Wixom Road berm</u>
Type of Ground Cover		No	No	<u>Indicate on cross section</u>
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole, 10 feet from structures, hydrants	No	No	1. <u>Show all nearby utilities on detail</u> 2. <u>Space all trees appropriately from utility lines, poles and utility structures</u>
<b>Walls (LDM 10 &amp; Zoning Sec 5.5.3.vi)</b>				
<b>Material, height and type of construction footing</b>	Freestanding walls should have brick or stone exterior with masonry or concrete interior	No retaining walls are proposed – only the sign wall		
<b>Walls greater than 3 ½ ft. should be designed and sealed by an Engineer</b>				
<b>Notes (LDM 10) – Utilize City of Novi Standard Details</b>				
<b>Installation date (LDM 2.i. &amp; Zoning Sec 5.5.5.B)</b>	<ul style="list-style-type: none"> <li>• Provide intended date</li> <li>• Between Mar 15 – Nov 15</li> </ul>	Yes	Yes	
<b>Maintenance &amp; Statement of intent</b>	<ul style="list-style-type: none"> <li>• Include statement of intent to install and</li> </ul>	Yes	Yes	



Item	Required	Proposed	Meets Code	Comments
(LDM 2.m & Zoning Sec 5.5.6)	guarantee all materials for 2 years. • Include a minimum one cultivation in June, July and August for the 2-year warranty period.			
<b>Plant source</b> (LDM 2.n & LDM 3.a.(2))	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
<b>Establishment period</b> (Zoning Sec 5.5.6.B)	<b>2 yr. Guarantee</b>	Yes	Yes	
<b>Approval of substitutions.</b> (Zoning Sec 5.5.5.E)	City must approve any substitutions <u>in writing</u> prior to installation.	Yes	Yes	
<b>General Landscape Requirements (LDM)</b>				
<b>General Conditions</b> (LDM 11)	Plant materials shall not be planted within 4 ft. of property line	Yes	Yes	
<b>Irrigation</b> (LDM 10.I.)	A fully automatic irrigation system and a method of draining or an alternative means of providing water sufficient for the plants' establishment and long-term survival is required on the Final Site Plan	<ul style="list-style-type: none"> <li>• A note indicates that an irrigation system will be provided.</li> <li>• Notes regarding the requirements for the system have also been added</li> </ul>	Yes	1. <u>Please add irrigation plan or information as to how plants will be watered sufficiently for establishment and long-term survival.</u> 2. <u>If xeriscaping is used, please provide information about plantings included.</u>
<b>Other information</b> (LDM 10.n)	Required by Planning Commission	NA		
<b>Landscape tree credit</b> (LDM11.b.(d))	<ul style="list-style-type: none"> <li>• Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA.</li> <li>• Refer to Landscape tree Credit Chart in LDM</li> </ul>	No		
<b>Plant Sizes for ROW, Woodland replacement and others</b> (LDM 11.b)	<ul style="list-style-type: none"> <li>• Canopy Deciduous shall be 3" and sub-canopy deciduous shall be 2.5" caliper.</li> <li>• Refer to LDM section 11.b for more details</li> </ul>	On plant list		
<b>Plant size credit</b> (LDM11.b)	NA	None taken		
<b>Prohibited Plants</b>	Do not use any plants	None are proposed	Yes	

Item	Required	Proposed	Meets Code	Comments
<i>(LDM 11.b)</i>	on the Prohibited Species List			
<b>Recommended trees for planting under overhead utilities</b> <i>(LDM 3.e)</i>	Label the distance from the overhead utilities	<ul style="list-style-type: none"> <li>• An overhead line exists along Wixom Road</li> <li>• The spacing appears to be acceptable.</li> </ul>	TBD	The spacing appears to be acceptable.
<b>Collected or Transplanted trees</b> <i>(LDM 11.b.(2)(c))</i>		None		
<b>Nonliving Durable Material: Mulch</b> <i>(LDM 12)</i>	<ul style="list-style-type: none"> <li>• Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth</li> <li>• Specify natural color, finely shredded hardwood bark mulch.</li> </ul>	In details	Yes	

**WETLAND REVIEW**

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January 9, 2023

Ms. Lindsay Bell  
City Planner  
Department of Community Development  
City of Novi  
45175 W. Ten Mile Road  
Novi, Michigan 48375

RE: Avalon Park Apartments; JSP22-01  
Wetland Review of PSLR Concept Plan  
MSG Project No. N1030013

Dear Ms. Bell:

The Mannik & Smith Group, Inc. (MSG) reviewed the Avalon Park Apartments Planned Suburban Low-Rise (PSLR) Overlay Preliminary Plan prepared by Atwell LLC dated November 22, 2022 (PSLR Concept Plan). The project site is located east of Wixom Road and north of Eleven Mile Road in Section 17. The parcel number associated with the project site is 50-22-17-300-019 (Site). The PSLR Concept Plan depicts the construction of three multi-unit buildings, a detention basin, parking areas, and other improvements at the currently vacant Site.

#### **Published Data**

Upon review of published resources, the Site appears to contain or immediately borders:

- City-regulated wetlands, as identified on the City of Novi Wetlands interactive map website. Note that both wetland and property limits depicted on the City's map are considered approximations (Figure 1).
- Wetlands that are regulated by the Michigan Department of Environment, Great Lakes, and Energy (EGLE). See the Permits and Regulatory Status section below.
- Wetlands as identified on National Wetland Inventory (NWI) and Michigan Resource Inventory System (MIRIS) maps, as identified on the EGLE Wetlands Viewer interactive map website (Figure 2). NWI and MIRIS wetlands are identified through interpretation of topographic data and aerial photographs by the associated governmental bodies.
- Hydric (wetland) soil as mapped by the U.S. Department of Agriculture, Natural Resource Conservation Service, as identified on the EGLE Wetlands Viewer interactive map website (Figure 2).

#### **MSG Wetland Boundary Verification**

The PSLR Concept Plan depicts the locations of three wetlands at the Site, designated Wetlands A, B, and C. Wetland A is an open water, emergent, and scrub-shrub wetland. Wetland B is a forested wetland. Wetland C is an emergent and scrub-shrub wetland. Wetland disturbance areas as depicted in the PSLR Concept Plan are summarized in the following table, along with MSG's evaluation of the regulatory status of each.





Wetland ID	Onsite Area	Wetland Impact Area		Wetland Fill Volume	Wetland Setback Buffer Impact Area		City Regulated	EGLE Regulated	Mitigation Ratio	Mitigation Area
		Permanent	Temporary		Permanent	Temporary				
A	0.93 acre	None	None	None	TBD	TBD	Yes	Yes	1.5:1	NA
B	0.33 acre	0.12 acre	None	145 cubic yards	TBD	TBD	Yes	Yes	2:1	0.24 acre
C	1.15 acres	0.21 acre	0.06 acre	504 cubic yards	TBD	TBD	Yes	Yes	1.5:1	0.31 acre
<b>Total</b>	<b>2.41 acres</b>	<b>0.33 acre</b>	<b>0.06 acre</b>	<b>649 cubic yards</b>	<b>TBD</b>	<b>TBD</b>	<b>---</b>	<b>---</b>	<b>---</b>	<b>0.55 acre</b>

MSG visited the Site on March 1, 2021 during a previous stage of the project. The observed conditions at the Site generally consisted of vacant land dominated by herbaceous vegetation with areas of woodland or open water. The observed conditions were consistent with those depicted in the PSLR Concept Plan. Open water was present in the northeastern corner of the Site, corresponding to the area designated Wetland A. The western portion of the Site was dominated by woodland, which includes the area designated Wetland B. The east-central portion of the Site was dominated by emergent wetland vegetation, which corresponds to the area designated Wetland C. Inspection photographs were provided with MSG's letter *Wixom Rd Development PWT21-0002, Wetland Review for Wetland Permit Application* dated March 4, 2021. MSG concurs with the delineation of Wetlands A, B, and C as depicted on the PSLR Concept Plan.

### Permits and Regulatory Status

The City of Novi Code of Ordinances, Chapter 12, Article V defines an essential wetland as meeting one or more of the criteria listed in subsections 12-174(b)(1) through (10). It is MSG's opinion that Wetlands A, B, and C provide the functional characteristics of storm water storage capacity and/or wildlife habitat, and accordingly they meet the criteria for an essential wetland and each are considered City-regulated wetlands. Mitigation is required per Section 12-176 of the Novi Code of Ordinances when an activity results in 0.25 acre or greater of impairment or destruction of wetland areas that are determined to be essential wetland area, two acres in size or greater, or contiguous to a lake, pond, river, or stream. The total proposed impact to essential (i.e. City-regulated) wetlands is 0.33 acre so mitigation is required. **An appropriately sized area of wetland mitigation is depicted in the PSLR Concept Plan, but the mitigation area should compensate for the type(s) of wetlands it is replacing. Specifically, the on-Site mitigation area should include 0.24 acre of forested wetland and 0.31 acre of emergent wetland.**

In addition to wetlands, the City of Novi regulates wetland and watercourse buffers/setbacks. Article 24, Schedule of Regulations, of the Zoning Ordinance states: "There shall be maintained in all districts a wetland and watercourse setback, as provided herein, unless and to the extent, it is determined to be in the public interest not to maintain such a setback. The intent of this provision is to require a minimum setback from wetlands and watercourses". The established wetland and watercourse buffers/setback limit is 25 horizontal feet, regardless of grade change. **The wetland buffer areas must be depicted on project plans, and the associated areas of permanent and temporary wetland buffer impact must be quantified on project plans.**

**The proposed means of restoring temporary wetland and/or wetland buffer impact must also be specified on project plans.** Typically this requirement is met by providing the planned native wetland seed mix and/or plants to be used to revegetate areas of soil disturbance and depicting the areas to be revegetated. Examples of temporary impact include utility installation and placement of silt fence.

EGLE typically regulates wetlands within 500 feet of an inland lake, pond, stream, or river or isolated wetlands of 5-acres area or more. Therefore, EGLE jurisdiction may apply to Wetlands A, B, and/or C. Based on aerial images Wetland A appears to include a pond that is associated with a network of wetlands and streams extending off-Site to the northeast (Figure 3). In addition, both Wetlands B and C appear to be within 500 feet of this stream/wetland network. EGLE is the final authority of the location and regulatory status of wetlands in Michigan. MSG recommends

the client request a pre-application meeting with EGLE to determine the state jurisdictional status and mitigation requirements for each of the Site wetlands.

Based on available information, the following wetland-related items appear to be required for this project:

Item	Required / Not Required
Wetland Permit (specify Non-Minor or Minor)	Non-Minor Required (>300 cubic yards of fill proposed)
Wetland Mitigation	Required
Environmental Enhancement Plan	Not required
Wetland Buffer Authorization	Required
EGLE Wetland Permit	Likely required
Wetland Conservation Easement	Likely required

### Comments

The applicant is advised a City Wetland permit cannot be issued for EGLE-regulated wetlands until EGLE has issued a wetland use permit. Both City and EGLE requirements would apply to a mitigation plan, if applicable.

In March 2021, MSG observed some of the herbaceous plants to which wetland delineation ribbon was attached had succumbed to natural dieback. Consequently, some of the delineation markers were attached to broken plants that were lying on the ground. It is anticipated such markers were subsequently lost over the 2022 the growing season. Chapter 4, Section 2 of the City of Novi Site Plan and Development Manual states, "The boundary lines of any watercourses or wetlands on property should be clearly flagged or staked and such flagging or staking shall remain in place throughout the conduct of permit activity." MSG suggests more robust markers (e.g. pin flags, survey lath) be used when woody plants are not present for attaching delineation ribbon.

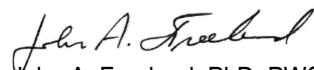
Please contact the undersigned if you have any questions regarding the matters addressed in this letter.

Sincerely,


**The Mannik & Smith Group, Inc.**



Keegan Mackin  
Environmental Scientist



John A. Freeland, PhD, PWS  
Senior Scientist



Douglas Repen, CDT  
Project Manager  
Certified Storm Water Management Operator

CC: Sarah Marchioni, City of Novi Project Coordinator  
Barbara McBeth, City of Novi Planner  
Christian Carroll, City of Novi Planner  
Ben Peacock, City of Novi Planner  
Diana Shanahan, City of Novi Planning Assistant  
Rick Meader, City of Novi Landscape Architect

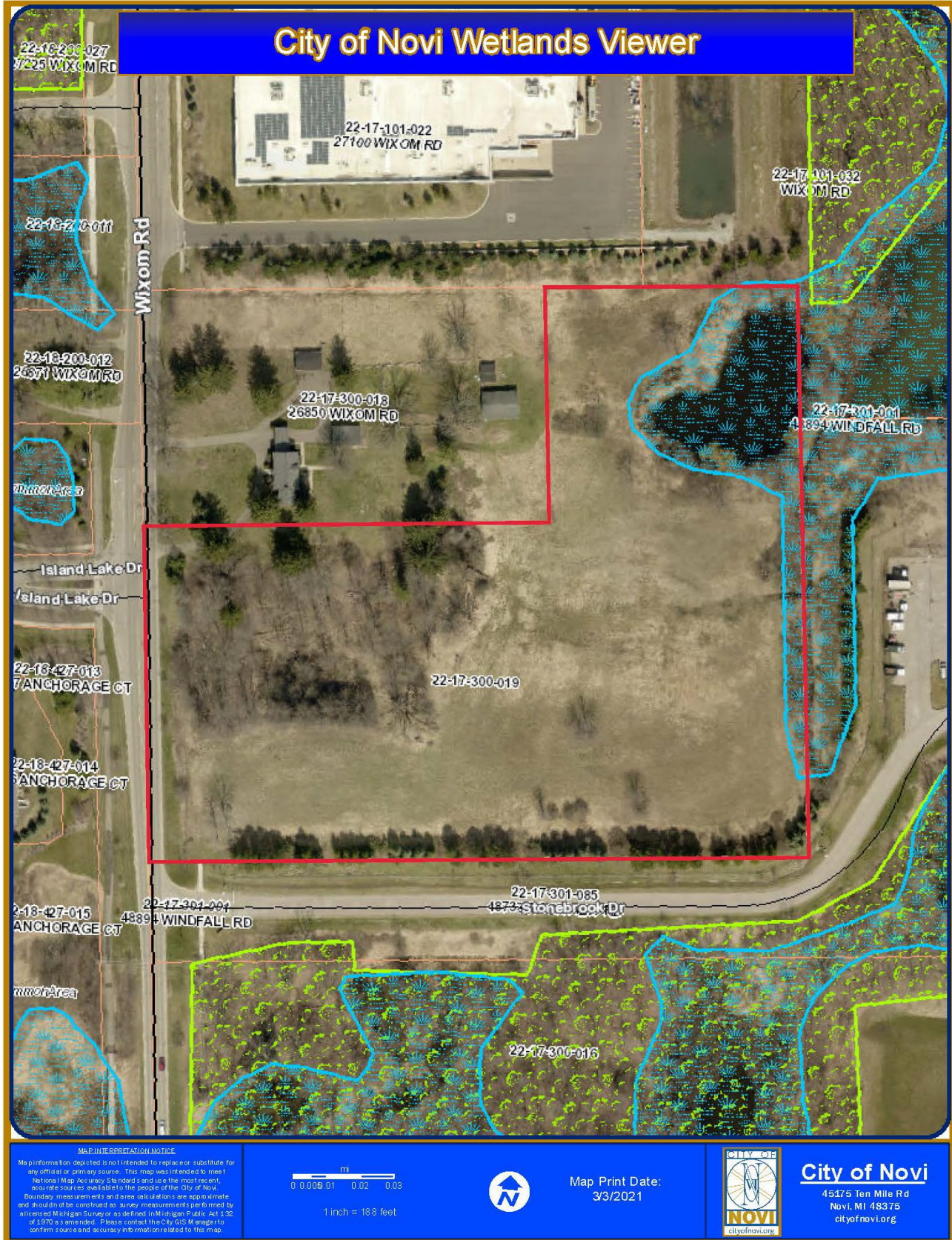
FIGURES





Figure 1

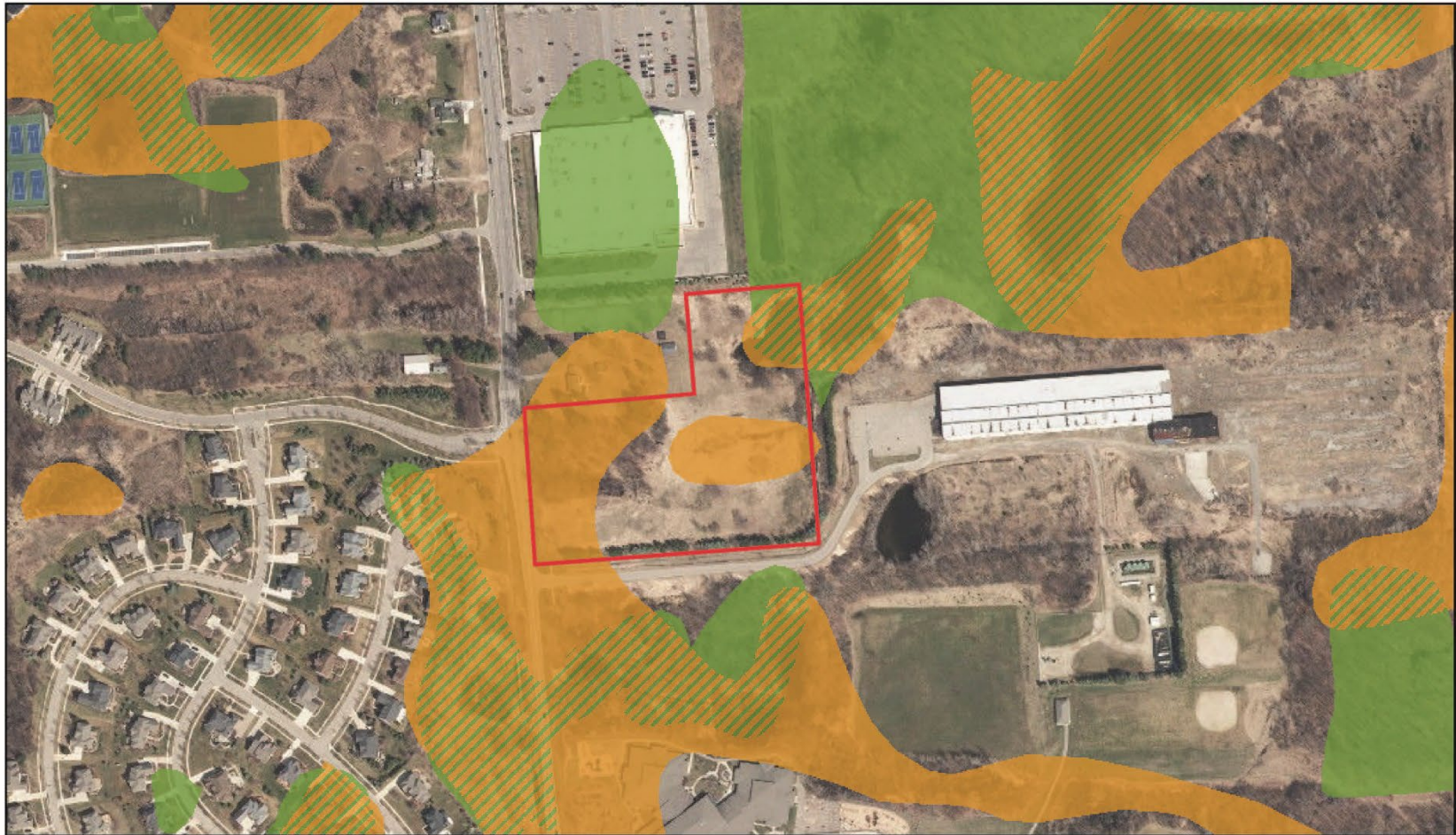
City of Novi Regulated Wetland & Woodland Map. Approximate Site boundary is shown in red. Regulated Wetland areas are shown in blue and Regulated Woodland areas are shown in green.








**Figure 2** | EGLE Wetlands Viewer Map. Approximate Site boundary is shown in red.

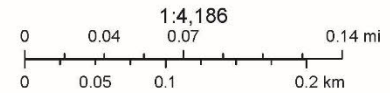
### Wetlands Map Viewer



March 3, 2021

Part 303 Final Wetlands Inventory

-  Wetlands as identified on NWI and MIRIS maps
-  Soil areas which include wetland soils
-  Wetlands as identified on NWI and MIRIS maps and soil areas which include wetland soils



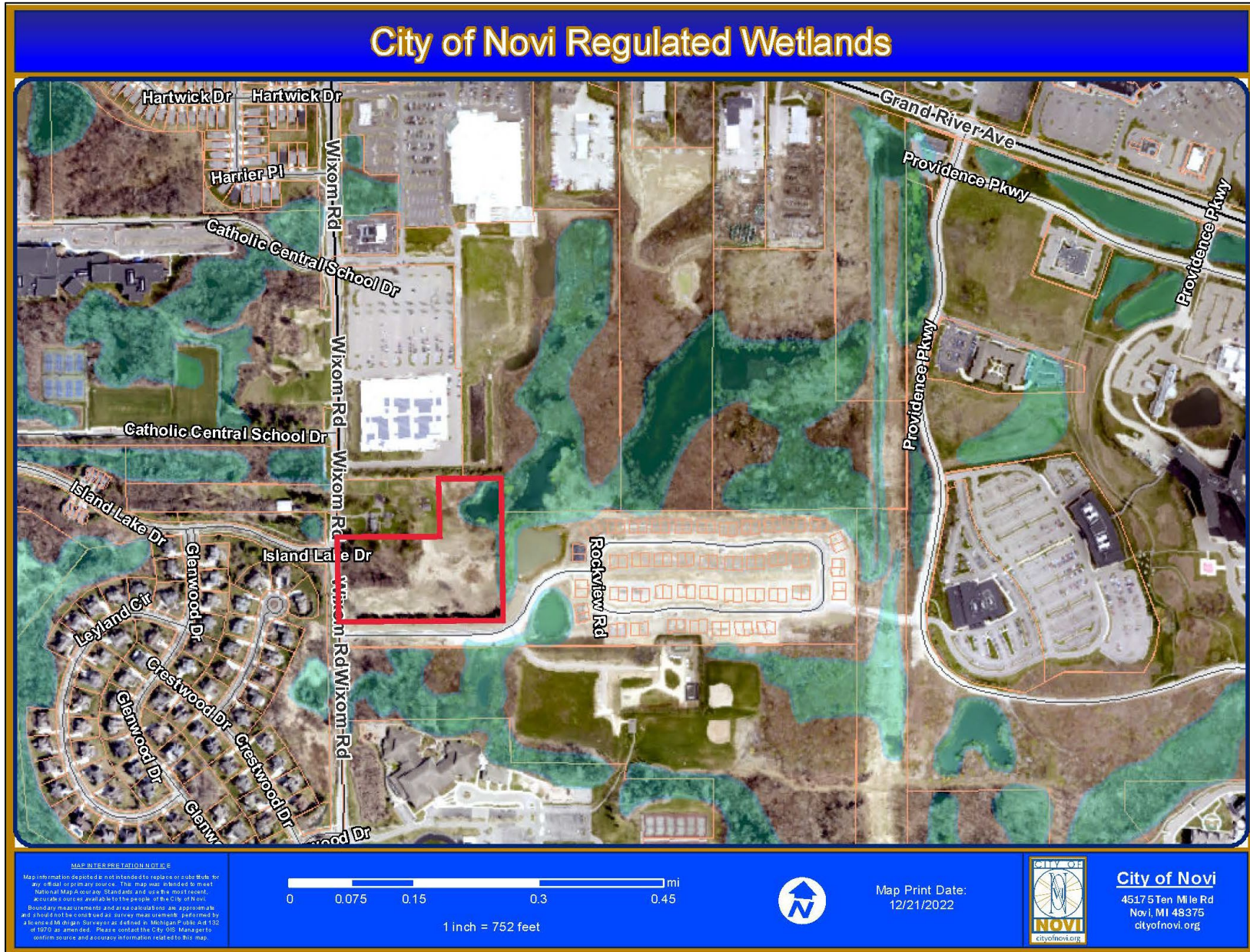
Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

Disclaimer: This map is not intended to be used to determine the specific



Figure 3

Site relative to off-Site wetlands and streams. Approximate Site boundary is shown in red. Regulated Wetland areas are shown in blue.



2365 Haggerty Road South, Canton, Michigan 48188  
Tel: 734.397.3100 Fax: 734.397.3131

**Avalon Park Apartments; JSP22-01**  
**Wetland Review of PSLR Concept Plan**  
MSG Project No. N1030013

**WOODLAND REVIEW**

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Corporate Headquarters  
 295 South Water Street, Suite 300  
 Kent, OH 44240  
 800-828-8312

Local Office  
 3381 Lapeer Rd. West  
 Auburn Hills, MI 48326

**To:** Lindsay Bell, City of Novi Senior City Planner  
 Community Development Department, City of Novi

**From:** Kerry Gray, Principal Consultant  
 Davey Resource Group

**CC:** Barb McBeth, City of Novi, City Planner  
 Christian Carroll, City of Novi Planner  
 Rick Meader, City of Novi Landscape Architect  
 Ben Peacock, City of Novi Planner  
 Diana Shanahan, City of Novi Planning Assistant  
 Douglas Repen, Mannik and Smith Group

**Date:** January 10, 2023

**RE:** Avalon Park Townhomes  
 Woodland Review #1 – JSP22-01

Davey Resource Group, Inc. (DRG) has conducted a review of the Planned Suburban Low-Rise (PSLR) Preliminary Plan submittal for the proposed **Avalon Park Apartments** (Parcel No. 22-17-300-019) on Wixom Road between 11 Mile Road and Grand River Ave. The plan set prepared by Atwell, LLC (revision date: 11/22/2022) proposes construction of a residential development with 46 apartment units within 3 buildings.

DRG reviewed the pre-submittal plan set for conformance with the City of Novi’s Woodland Protection Ordinance, Chapter 37. Based on the review of the pre-application site plan, Preliminary Site plan, the City of Novi Official Regulated Woodlands Map, aerial imagery, and a field visit – **DRG has determined that the proposed development site contains City-Regulated Woodlands.** While the City of Novi regulated woodland map does not show regulated woodlands on the site based on the information reviewed a regulated woodland exists in the northwest corner of the property within and adjacent to wetland B (Figure 1).

**Recommendation:** DRG **recommends approval** of the Avalon Park Apartments PSLR Preliminary Plan - see Woodland Review Comments for minor revisions needed.

The following Woodland Regulations apply to this site:

Woodland Regulation	Required
Woodland Permit (Chapter 37, Section 37-26)	YES
Tree Replacement (Chapter 37, Section 37-8) & Financial Guarantee (Chapter 26.5-5)	YES
Tree Protection (Fence) (Chapter 37, Section 37-9) & Financial Guarantee (Chapter 26.5-5)	YES
Woodland Conservation Easement (Chapter 37-30 (e))	YES



## Woodland Impacts

Davey Resource Group conducted a site visit on January 10, 2023, to review the regulated woodlands and other trees on the site (see site photos in this memo).

The site contains a mixture of City of Novi Regulated Woodland trees and non-regulated trees. Trees regulated by Chapter 37 include those that are 8-inches or greater DBH (diameter at breast height, 4.5-feet above existing grade) located within a regulated woodland and any tree 36-inches or greater DBH, irrespective of whether it is located in a regulated woodland.

The woodlands are considered moderate quality with a mix of bottomland and upland tree species including, American elm, black cherry, black willow, cottonwood, silver maple, swamp white oak, sugar maple and pignut hickory. Trees range in 8" -35" in diameter with most trees between 11" and 20" in diameter. The woodland is in a low area of the site. There are also a significant number of non-regulated trees on the site.

The plan proposes the removal of the following trees:

Regulated Woodland Tree Removals (Healthy)	23
Non-Regulated Tree Removals	25
<b>Total Tree Removals</b>	<b>48</b>

## Woodland Review Comments

1. **A Woodland Use Permit is required** to perform construction on any site containing regulated woodlands. The Woodland Use Permit for this project requires Planning Commission approval.

To determine woodland fence inspection fees - the applicant shall **provide the cost (labor and supplies) for installation (including the initial location staking) and removal of tree protection fencing**

2. **Tree Removals and Replacements.** The plan proposes the removal of 23 regulated woodland trees which requires 40 woodland replacement credits.

Tree Size (DBH)	Number of Trees	Ratio Replacement/ Removed Tree	Total Replacements Required
8-11"	11	1	11
>11-20"	9	2	18
>20-29"	1	3	3
>29+"	2	4	8
Multi-Stem	0	Add Stems/8	0
Woodland Replacement Trees	0	1	0
<b>Regulated Woodland Trees Removed</b>	<b>23</b>		
<b>Total Replacement Credits Required</b>			<b>40</b>

Please add the woodland replacement calculations to sheet LP-2.

3. **Woodland Replacements (Sheet 9 and Sheet LP-2).** The site is required to mitigate the removal of the

23 regulated woodland trees with 40 woodland replacement credits. Woodland replacement credits can be provided by:

- a. Planting the woodland tree replacement credits on-site.
- b. Payment to the City of Novi Tree Fund at a rate of \$400/woodland replacement credit.
- c. Combination of on-site tree planting and payment into the City of Novi Tree Fund (\$400/woodland replacement credit).

The Plan (Sheet LP-2) proposes the planting of **the 40 replacement credits on-site** by planting the following:

- 7 – 2.5” cal. B&B red oak (*Quercus rubra*)
- 7 – 2.5” cal. B&B shagbark hickory (*Carya ovata*)
- 7 – 2.5” cal. B&B black walnut (*Juglans nigra*)
- 7 – 2.5” cal. B&B Kentucky Coffeetree (*Gymnocladus dioica*)
- 7 – 2.5” cal. B&B American elm (*Ulmus americana*)
- 7 – 2.5” cal. B&B American basswood (*Tilia americana*)

**Revise plans to address the following:**

- Please provide the Dutch elm disease resistant cultivar that will be used for the American elm proposed to be planted.
- Due to their taproots – shagbark hickory (*Carya ovata*) and black walnut (*Juglans nigra*) can be difficult to find in the nursery industry and transplant. Please provide a list of potential supplies for these species and the methods that will be used to ensure successful planting and growth. Alternatively, select different native species to use as woodland replacements.

#### 4. Financial Guarantees

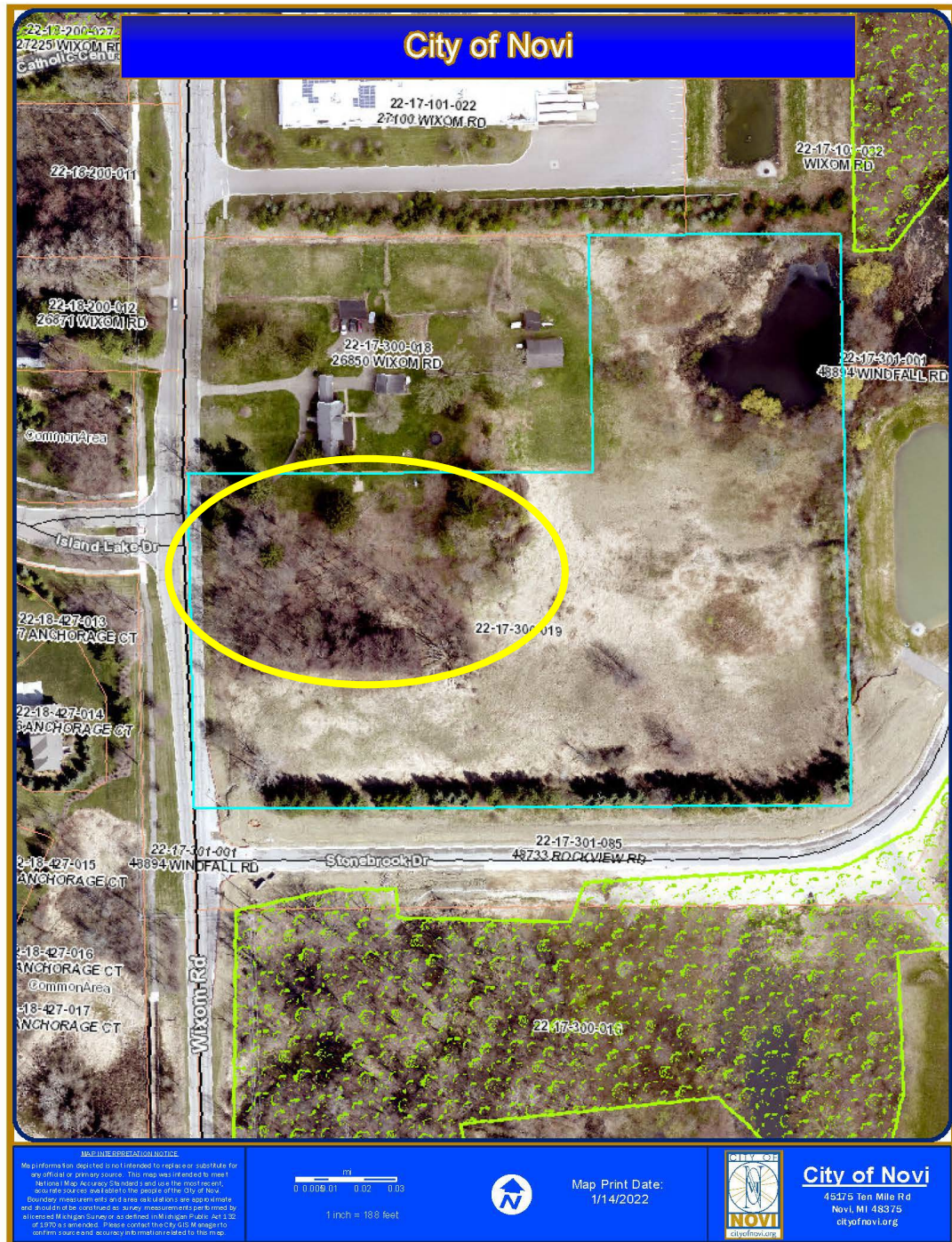
- a. **A woodland fence guarantee of \$6,000 (\$5,000 x 120%) is required** per Chapter 26.5-37. The financial guarantee shall be paid prior to issuance of the City of Novi Woodland Use Permit.
- b. **Woodland Replacement Financial Guarantee of \$16,000 (40 required woodland replacement credits x \$400 per woodland replacement credit)** is required as part of the Woodland Use Permit fees to ensure planting of the on-site Woodland Replacement tree credits.

Based on inspection of the installed on-site Woodland Replacement trees, the Woodland Replacement Financial Guarantee shall be returned to the Applicant. The Applicant is responsible for requesting this inspection. Following acceptance of the planted woodland replacement trees, a 2-year performance bond must be paid to ensure the continued health and survival of the replacement trees (comment 6).

- c. The applicant will be required to pay into the City of Novi Tree fund at a rate of \$400/credit for any Woodland Replacement tree credits that cannot be planted on site.
- d. **The applicant shall guarantee trees for two (2) growing seasons after installation and the City's acceptance**, per The City's Performance Guarantees Ordinance. **A two-year maintenance bond in the amount of \$4,000**, twenty-five (25) percent of the value of the trees but in no case less than one thousand dollars (\$1,000.00), shall be required to ensure the continued health of the trees following acceptance (Chapter 26.5, Section 26.5-37).

Based on a successful inspection 2 years after installation of the on-site Woodland Replacement trees, the Woodland Replacement Performance Guarantee shall be returned to the Applicant. The Applicant is responsible for requesting this inspection.

5. **Woodland Guarantee Inspection.** If the woodland replacements, street trees or landscaping guarantee period is scheduled to end during the period of time when inspections are not conducted (November 15th – April 15th) the Applicant is responsible for contacting the Bond Coordinator and Woodland/Landscape Inspector in late summer/early fall prior to the 2 year expiration to schedule an inspection. **The Applicant is responsible for walking the entire site to confirm that all of the material has survived and is healthy. If any material is missing, dead or dying, replacements should be made prior to requesting the inspection.** Once this occurs the Applicant should contact the Bond Coordinator to schedule the inspection (Angie Sosnowski at [asosnowski@cityofnovi.org](mailto:asosnowski@cityofnovi.org) / 248-347-0441) and complete the inspection request form. If additional inspections are needed, then additional inspection fees will be required to be paid by the applicant. Based upon a successful inspection for the 2 year warranty the Landscape/Woodland/Street trees financial guarantee will be returned to the Applicant
  
6. **Conservation Easement.** The Applicant may be required to provide preservation/conservation easements as directed by the City of Novi Community Development Department for any areas of woodland replacement trees. The applicant shall demonstrate that all proposed woodland replacement trees and existing regulated woodland trees to remain will be guaranteed to be preserved as planted with a conservation easement or landscape easement to be granted to the city. This language shall be submitted to the City Attorney for review. The executed easement must be returned to the City Attorney within 60 days of the issuance of the City of Novi Woodland permit. Any associated easement boundaries shall be indicated on the Plan.



**Figure 1. Avalon Park Townhomes Site  
 City of Novi Regulated Woodland Map**  
 Blue line = parcel boundary  
 Green hatched areas = City of Novi regulated woodland map  
 Yellow Circle = General area determined to be regulated woodland



Site Photos



Looking north across property towards woodland



Looking northeast across property



Inside woodland looking west



Inside woodland looking north

**TRAFFIC REVIEW**

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AECOM  
 27777 Franklin Road  
 Southfield  
 MI, 48034  
 USA  
 aecom.com

**Project name:**  
 JSP22-01 – Avalon Park Apartments PSLR  
 Traffic Review

**From:**  
 AECOM

**Date:**  
 January 12, 2023

**To:**  
 Barbara McBeth, AICP  
 City of Novi  
 45175 10 Mile Road  
 Novi, Michigan 48375

**CC:**  
 Lindsay Bell, Christian Carroll, Humna Anjum, Ben  
 Peacock

# Memo

**Subject:** JSP22-01 – Avalon Park Apartments PSLR Traffic Review

The PSLR site plan was reviewed to the level of detail provided and AECOM recommends **approval** for the applicant to move forward with site plan development as long as the comments below are addressed to the satisfaction of the City.

## GENERAL COMMENTS

1. The applicant, Wixom Road Development LLC, is proposing a 3 building, 46 unit apartment development.
2. The development is located on the east side of Wixom Road, between Grand River Avenue and 11 Mile Road, with the entrance located on Stonebrook Drive. Wixom Road is under the jurisdiction of the City of Novi. Stonebrook Drive is a private road.
3. The site is zoned R-1 (One Family Residential). The applicant is requesting a PSLR Overlay.
4. There are no traffic related deviations required at this time.

## TRAFFIC IMPACTS

1. AECOM performed an initial trip generation based on the ITE Trip Generation Manual, 11<sup>th</sup> Edition, as follows.

ITE Code: 220 – Multifamily Housing (Low-Rise)  
 Development-specific Quantity: 46 Dwelling Units  
 Zoning Change: None

Trip Generation Summary				
	Estimated Trips	Estimated Peak-Direction Trips	City of Novi Threshold	Above Threshold?
<b>AM Peak-Hour Trips</b>	37	28	100	No
<b>PM Peak-Hour Trips</b>	40	25	100	No
<b>Daily (One-Directional) Trips</b>	370	N/A	750	No

2. The City of Novi generally requires a traffic impact study/statement if the number of trips generated by the proposed development exceeds the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour, or if the project meets other specified criteria.

Trip Impact Study Recommendation	
Type of Study:	Justification
RTS	Overlay Proposed?

## TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City’s Code of Ordinances. Items marked with ZO are listed in the City’s Zoning Ordinance. Items marked with ADA are listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices.

The values in the ‘Compliance’ column read as ‘met’ for plan provision meeting the standard it refers to, ‘not met’ stands for provision not meeting the standard and ‘inconclusive’ indicates applicant to provide data or information for review and ‘NA’ stands for not applicable for subject Project. The ‘remarks’ column covers any comments reviewer has and/or ‘requested/required variance’ and ‘potential variance’. A potential variance indicates a variance that will be required if modifications are not made or further information provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
1	Driveway Radii   O <a href="#">Figure IX.3</a>	25'	Met	
2	Driveway Width   O <a href="#">Figure IX.3</a>	Not indicated	<b>Inconclusive</b>	
3	Driveway Taper   O <a href="#">Figure IX.11</a>			Private road not expected to have traffic volumes warranting a taper.
3a	Taper length	N/A	N/A	
3b	Tangent	N/A	N/A	
4	Emergency Access   O <a href="#">11-194.a.19</a>	2 access points	Met	
5	Driveway sight distance   O <a href="#">Figure VIII-E</a>	260'	Met	
6	Driveway spacing			
6a	Same-side   O <a href="#">11.216.d.1.d</a>	N/A	N/A	Not an arterial
6b	Opposite side   O <a href="#">11.216.d.1.e</a>	N/A	N/A	Not an arterial
7	External coordination (Road agency)	N/A	N/A	Private road
8	External Sidewalk   <a href="#">Master Plan &amp; EDM</a>	6'	Met	
9	Sidewalk Ramps   <a href="#">EDM 7.4 &amp; R-28-J</a>	Indicated at entrance	Met	
10	Any Other Comments:			

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
11	Loading zone   <a href="#">ZO 5.4</a>	N/A	N/A	



INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
12	Trash receptacle   <a href="#">ZO 5.4.4</a>	Indicated	Met	
13	Emergency Vehicle Access	Indicated	Met	
14	Maneuvering Lane   <a href="#">ZO 5.3.2</a>	24'	Met	
15	End islands   <a href="#">ZO 5.3.12</a>			
15a	Adjacent to a travel way	25' radius, not 3' shorter	<b>Not Met</b>	End islands should be 3' shorter than adjacent space.
15b	Internal to parking bays	N/A	N/A	
16	Parking spaces   <a href="#">ZO 5.2.12</a>			
17	Adjacent parking spaces   <a href="#">ZO 5.5.3.C.ii.i</a>	More than 15 spaces without an island	<b>Not Met</b>	Parking bays should be reconfigured such that there are no more than 15 spaces without an internal island.
18	Parking space length   <a href="#">ZO 5.3.2</a>	18'	<b>Inconclusive</b>	Spaces could be reduced to 17' with 4" curb and 2' clear overhang or increased to 19' with 6" curb. Detail indicates 6" curb at sidewalk, requiring a 19' space.
19	Parking space Width   <a href="#">ZO 5.3.2</a>	9'	Met	
20	Parking space front curb height   <a href="#">ZO 5.3.2</a>	6"	Met	Spaces at 6" curb must be 19' long.
21	Accessible parking – number   <a href="#">ADA</a>	5	Met	
22	Accessible parking – size   <a href="#">ADA</a>	Appears to be 9' with 9' aisles	Met	Dimensions for ADA specific spaces could be provided. ADA spaces are permitted to be 8' wide with 5' aisle for non-van accessible spaces and 8' aisle for van accessible.
23	Number of Van-accessible space   <a href="#">ADA</a>	None indicated, all are by assumed dimensions	Inconclusive	Indicate van accessible signage where appropriate.
24	Bicycle parking			
24a	Requirement   <a href="#">ZO 5.16.1</a>	12 Provided	Met	1 space for every 5 units required, for a total of 10.
24b	Location   <a href="#">ZO 5.16.1</a>	4 per building	Met	
24c	Clear path from Street   <a href="#">ZO 5.16.1</a>	7' if no overhang	Met	If 2' clear overhang is present on sidewalk, 1' wider will be required to meet the 6' standard.
24d	Height of rack   <a href="#">ZO 5.16.5.B</a>	N36'	Met	
24e	Other (Covered / Layout)   <a href="#">ZO 5.16.1</a>	Layout provided	Met	

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
25	Sidewalk – min 5' wide   <a href="#">Master Plan</a>	7'	Met	
26	Sidewalk ramps   <a href="#">EDM 7.4 &amp; R-28-J</a>	Indicated at ADA spaces	Met	
27	Sidewalk – distance back of curb   <a href="#">EDM 7.4</a>	N/A	-	
28	Cul-De-Sac   O <a href="#">Figure VIII-F</a>	N/A	-	-
29	EyeBrow   O <a href="#">Figure VIII-G</a>	N/A		
30	Turnaround   <a href="#">ZO 5.10</a>	20' wide, 25' stub, other undimensioned	<b>Inconclusive</b>	2 <sup>nd</sup> leg must be 30' as per requirements in 5.10 of the zoning ordinance.
31	Any Other Comments:			

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
32	Signing: Sizes   <a href="#">MMUTCD</a>	Included	Met	
33	Signing table: quantities and sizes	Included	<b>Partially Met</b>	Applicant should include all ADA signs in table. There are 7 R7-1 signs shown on the plan and 5 listed in the quantity table.
34	Signs 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post   <a href="#">MMUTCD</a>	Included	Met	
35	Signs greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post   <a href="#">MMUTCD</a>	Included	Met	
36	Sign bottom height of 7' from final grade   <a href="#">MMUTCD</a>	Included	Met	
37	Signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign   <a href="#">MMUTCD</a>	Included	Met	
38	FHWA Standard Alphabet series used for all sign language   <a href="#">MMUTCD</a>	Included	Met	
39	High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity   <a href="#">MMUTCD</a>	Included	Met	
40	Parking space striping notes	Not included	<b>Not Met</b>	
41	The international symbol for accessibility pavement markings   ADA	Not included	<b>Not Met</b>	
42	Crosswalk pavement marking detail	Included	Met	
43	Any Other Comments:	The orientation of the R7-1 signs along the aisles should be facing traffic, with back-to-back signs.		

Note: Hyperlinks to the standards and Ordinances are for reference purposes only, the applicant and City of Novi to ensure referring to the latest standards and Ordinances in its entirety.

Memo

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

**AECOM**



Patricia Thompson, PE  
Traffic Engineer



Paula K. Johnson, PE  
Senior Transportation Engineer



Saumil Shah, PMP  
Project Manager

## FAÇADE REVIEW

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May 5, 2023

City of Novi Planning Department  
 45175 W. 10 Mile Rd.  
 Novi, MI 48375-3024

**Façade Review Status:**  
**Façade Ordinance (Section 5.15) - Approved**  
**PSLR Ordinance (Section 3.21) - Approved**

Attn: Ms. Barb McBeth – Director of Community Development

Re: FACADE ORDINANCE REVIEW – Façade Ordinance, PSLR Concept  
**Avalon Park Apartments, JSP22-01**, Façade Region: 1, Zoning District: R-1

Dear Ms. McBeth:

This Façade Review is based on the revised drawings prepared by Spire Design Group, dated 4/19/23. The applicant has made revisions since the prior review that bring the design into full compliance with the Façade Ordinance (Section 5.15). The applicant has also added roof features (dormers) that meet the intent of the Planned Suburban Low-Rise (PSLR) Ordinance (Section 3.21) by reducing the percentage of Asphalt Shingles to 70% or less. One minor deviation remains; the PSLR Ordinance prohibits Stand Seam Metal roofs. In this case we believe that the relatively small percentage of Standing Seam roof are used in a manner that enhances the facades and are therefore acceptable.

The percentages of materials proposed are as shown in the table below. The maximum (and minimum) percentages of materials required by the Façade Ordinance Section 5.15 and the PSLR Ordinance are shown in the right-hand columns. Materials that are in non-compliance if any are highlighted in red.

14-Unit Building	Front	Rear	Right Side	Left Side	Façade Ordinance 5.15 Maximum (Minimum)	PSLR Ordinance 3.21 (Maximum)
Brick	33%	40%	30%	30%	100% (30%)	
Cast Stone (16"x 8" format)	4%	5%	15%	15%	50%	
Horizontal Siding (Cement Fiber)	15%	16%	12%	12%	50% (Note 10)	
Shake Siding (Roof Gables)	9%	10%	8%	8%	25%	
Standing Seam Metal Roof	2%	0%	4%	4%	25%	0%
Asphalt Shingles	34%	26%	28%	28%	50%	
Trim	3%	3%	3%	3%	15%	
Asphalt Shingles above gutter line	68%	68%	68%	68%		70%

16-Unit Building	Front	Rear	Right Side	Left Side	Façade Ordinance 5.15 Maximum (Minimum)	PSLR Ordinance 3.21 (Maximum)
Brick	34%	36%	30%	30%	100% (30%)	
Cast Stone (16"x 8" format)	4%	5%	15%	15%	50%	
Horizontal Siding (Cement Fiber)	13%	20%	12%	12%	50% (Note 10)	
Shake Siding (Roof Gables)	9%	10%	8%	8%	25%	
Standing Seam Metal Roof	3%	0%	4%	4%	25%	0%
Asphalt Shingles	34%	26%	28%	28%	50%	
Trim	3%	3%	3%	3%	15%	
Asphalt Shingles above gutter line	70%	69%	68%	68%		70%

Sincerely,  
 DRN & Associates, Architects PC



Douglas R. Necci, AIA

## FIRE REVIEW

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December 28, 2022

TO: Barbara McBeth - City Planner  
Lindsay Bell - Plan Review Center  
Christian Carroll - Plan Review Center  
Ben Peacock – Plan Review Center

RE: Avalon Park Apartments -Concept plan

PSP#22-0085

**CITY COUNCIL**

**Mayor**  
Bob Gatt

**Mayor Pro Tem**  
Dave Staudt

Laura Marie Casey

Hugh Crawford

Justin Fischer

Brian Smith

Ericka Thomas

**Interim City Manager**  
Victor Cardenas

**Director of Public Safety**  
**Chief of Police**  
Erick W. Zinser

**Fire Chief**  
Jeffery R. Johnson

**Assistant Chief of Police**  
Scott R. Baetens

**Assistant Fire Chief**  
John B. Martin

**Project Description:** New construction of 3 Residential apartment buildings, 3 story, (46 units) on 8.78 acres.

**Comments:**

- **All** fire hydrants **MUST** be installed and operational prior to any combustible material is brought on site. **IFC 2015 3312.1**
- For new buildings and existing buildings, you **MUST** comply with the International Fire Code **Section 510** for Emergency Radio Coverage. This shall be completed by the time the final inspection of the fire alarm and fire suppression permits.
- Proposed No Parking fire lane signage on north driveways are required on property (see sheet 1 & 7) with several additional signs added to area on south main entrance in-between Buildings 2 & 3.
- Proposed fire truck turning radii (sheet #7) is acceptable if the above note is followed and additional signage is posted. These areas will also need to be designated as Fire Lanes.
- Emergency Access Drive, from Wixom Rd, will need to have a "Drivable curb" from Wixom road leading into property.

**Recommendation:**

The Fire Dept. does NOT have any objections to the concept plan at this time – pending the above notes are followed.

Sincerely,

**Novi Public Safety Administration**  
45125 Ten Mile Road  
Novi, Michigan 48375  
248.348.7100  
248.347.0590 fax  
  
cityofnovi.org

Andrew Copeland – Acting Fire Marshal  
City of Novi Fire Department

cc: file



**APPLICANT RESPONSE LETTER**

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ONE COMPANY.  
INFINITE SOLUTIONS.

June 1, 2023

Lindsay Bell, AICP, Senior Planner  
City of Novi  
45175 W. Ten Mile  
Novi, MI 48375

**Re: Avalon Park – PSLR Pre-Application Review - JSP 22-01**

Dear Ms. Bell:

Please accept the revised PLSR Submittal for the proposed Avalon Park residential development. This package has been prepared to address the applicable City concerns as they pertain to the PLSR Concept stage, with comment responses provided below. Items identified to be addressed during site plan will be addressed at that time. Please note that this response is specific to the current review from Landscape, Façade, and Planning. For all other department responses to previous comments, please refer to the April 19<sup>th</sup>, 2023 response letter from Atwell.

**Planning Review Comments – Lindsay Bell, AICP – May 10, 2023**

**Deviation waivers have been requested for all outstanding items noted. Items referring to other department reviews will be addressed during site planning.**

**Other Requirements**

1. *Legal Documents: PLSR Development Agreement would be required if City Council approves the Concept Plan.*

**Acknowledged, the draft agreement will be provided upon Concept Plan approval.**

2. *Development and Street Names: The project requires a project and street naming application. Please contact Ben Peacock at 248-347-0579.*

**The project has been reviewed by the committee and they have suggested an alternative name for the project as the name “Avalon” is used in another location in the City. Upon approval of the new name the plans and documents will be updated accordingly.**

**Landscape Review Comments – Rick Meader, LA – April 28, 2023**

**General Notes**

1. All interior islands and parking lot corners must be at least 200sf in area and must have a canopy tree planted in them. Please add trees where required.

**This deviation was not intended and we believe the landscape plan can be modified accordingly to address this comment during site planning.**

**All other noted comments will be addressed during site planning.**

**Façade Ordinance Review – Douglas R. Necci, DRN & Associates, Architects PC – May 5, 2023**

**No outstanding comments. A deviation for use of standing seam metal materials as a façade enhancement is provided and supported by staff.**

Thank you for your assistance and cooperation with respect to this project. Please feel free to contact us with any questions or concerns at (248) 447-2072.

Sincerely,

**ATWELL, LLC**

A handwritten signature in black ink, appearing to read "Jared Kime".

Jared Kime, PE  
Project Manager



# MEMO

To: Lindsay Bell, AICP – City of Novi Senior Planner

From: Mark Schovers, AIA – Spire Design Group

Date: March 31, 2023

Subject: Avalon Park Apartments – Architect response letter

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This memo is to address the comments made by the different departments and how the issue was addressed.

Should you have any follow up questions I can be reached at [mark@spiredg.com](mailto:mark@spiredg.com) or 248.921.0794.

Planning Department:

Page 3: Ordinance Deviations

5. Light pole height exceeds 20' maximum.

- Photometric plan has been revised to show light poles are now at 20'.

Façade Review:

The facades have been modified based on your review comments. Please also note that we increase the finished ceiling height from 9' to 10'

- Brick has been increased on all elevations. The side elevations are still shy of the 30% brick requirement. However if the brick and cast stone is combined for a total of 44.1% of masonry. We will seek a section 9 waiver for cast stone being an equivalent material.
- We have left the standing seam as we feel it adds architectural interest and is used a accent to roofing materials.
- We have adjusted the architectural features of gables and dormers to reduce asphalt shingles to be less than 70% above the eave line.
- We have included our material percentages and proposed material specs on the elevation pages.
  - o We will have a physical material board at time of presentation to planning commission.





ONE COMPANY.  
INFINITE SOLUTIONS.

April 19, 2023

Lindsay Bell, AICP, Senior Planner  
City of Novi  
45175 W. Ten Mile  
Novi, MI 48375

**Re: Avalon Park – PSLR Pre-Application Review - JSP 22-01**

Dear Ms. Bell:

Please accept the revised PLSR Submittal for the proposed Avalon Park residential development. This package has been prepared to address the applicable City concerns, with comment responses provided below.

**Planning Review Comments – Lindsay Bell, AICP – January 13, 2023**

**Zoning and Use Requirements**

1. *Master Plan: Correct project narrative on sheet 1 – current zoning and FLU is not general industrial.*  
**Project narrative has been updated to reflect current zoning and FLU.**
2. *Zoning: PLSR Agreement and PLSR Agreement and Concept Plan must be approved by the City Council after recommendation by Planning Commission.*  
**Acknowledged**
3. *Uses Permitted: Special Land Use Permit required.*  
**Acknowledged**

**Low-Rise Multiple-Family Residential Uses in the PSLR District**

1. *Wetlands less than 2 acres in size may not need to be excluded from the net site area.*  
**Site area calculation has been updated and wetland areas under 2 acres are not excluded in the net site area.**

**3.21 PLSR Required Conditions**

1. *PSLR Overlay Concept Plan: Required Items*
  - iii. *Show 25-foot wetland boundaries and detail temporary/permanent impacts.*  
**25' Wetland boundaries are shown, temporary and Permanent impacts are shown and noted on the plans.**

- v. *Appears ROW will be dedicated*  
**Right of Way along Wixom Road will be dedicated.**

### **3.21.2.A Site Standards**

1. ***Building Setbacks:*** *Provide building and parking setback dimensions on sheet 3 to verify conformance.*  
**Dimensions have been added to the building and parking areas to show conformance.**
2. ***Parking spaces for all uses in the district:*** *Deviation requested to allow parking to be located 10-12 feet from buildings.*  
**Deviation is shown on cover sheet and applies only to the south end of Building 1. This deviation reduces the wetland impact on the north side of the building.**
3. ***Site Standards:*** *Provide 200 sf per unit as required or seek a deviation with justification.*  
**Deviation has been requested and added to the cover sheet.**
4. ***Open Space Recreation requirements for Multi-Family Residential:*** *Additional activity areas to be added or seek a deviation for less than 50% as active.*  
**Deviation request has been added to the cover sheet.**
5. ***Open Space Recreation requirements for Multi-Family Residential Developments:*** *Active Recreation shall consist 10% of total site area (0.88 ac): Provide additional or seek a deviation.*  
**Deviation has been requested and added to the cover sheet.**
6. ***Other Applicable Zoning Ordinances:*** *Provide streetscape/pedestrian amenities.*  
**The streetscape has been revised. Please refer to the landscape plans and responses for more detail.**
7. ***Outdoor Lighting:*** *Maximum height 20 ft - Reduce height or seek a deviation.*  
**Pole height is reduced to meet this standard.**
8. ***Outdoor Lighting:*** *Verify is light fixture is visible, move or seek deviation*  
**A deviation is requested and shielding can be provided to minimize the visibility of this fixture.**

### **3.21.2.B Circulation Standards**

1. ***Non-motorized Facilities:*** *May remove sidewalks on south side of Buildings 2 and 3 if no pedestrian entrances*  
**Sidewalks have been removed from the south side of the buildings.**

### **3.21.2.C Building Design Standards**

1. ***Building Height:*** *Verify building height – 35 ft maximum*  
**See the architectural building plans for the building height. The mid-rise height viewed from any side is less than 35 ft.**

2. **Building Design:** Ground floor pedestrian entrances spaced no more than 60 feet. Seek a deviation or provide doors.  
**Buildings have been revised to meet this criteria on all sides with residential entrances. We are seeking a deviation for the entrances spaced greater than 60' for the rear of buildings 2 and 3 where there are no entrances on the rear.**
3. **Maximum % of Lot Area Covered:** Provide a lot coverage calculation  
**Lot coverage calculation has been added to the site data table.**

#### **Parking, Loading and Dumpster Requirements**

1. **Parking Space Dimensions and Maneuvering Lanes:** Consider revising to 17' to meet general Standards  
**Parking spaces have been revised to 17' with 4" curb per standards.**
2. **Barrier Free Space Dimensions:** Provide Dimensions.  
**Dimensions have been added to the layout plans for Barrier free spaces**
3. **Bicycle Parking General requirements:** Will be reviewed in Site Plan submittals  
**Acknowledged. 2 hoops (4 spaces) are proposed at each building.**
4. **Bicycle Parking Lot layout:** Will be reviewed in Site Plan submittals.  
**Acknowledged.**
5. **Dumpster Enclosure:** Will be reviewed in Site Plan submittals.  
**Acknowledged.**

#### **Sidewalk Requirements**

1. **Off-Road Non-Motorized Facilities:** Provide connections to adjacent Sidewalks  
**Sidewalk connections to Wixom Road and Stonebrook Drive have been added.**

#### **Other Requirements**

1. **General Layout and dimension of proposed physical improvements:** Refer to all review letter for comments.  
**Acknowledged. Plans have been revised accordingly.**
2. **Legal Documents:** PSLR Development Agreement would be required if City Council approves the Concept Plan.  
**Acknowledged, the draft agreement will be provided upon Concept Plan approval.**
3. **Development and Street Names:** The project requires a project and street naming application. Please contact Ben Peacock at 248-347-0579.  
**Acknowledged. A project and street name request is included with the resubmittal package.**

## Engineering Review Comments – Adam Chludzinski – January 25, 2023

### General

1. *The State of Michigan is currently reviewing the City of Novi's stormwater standards for compliance with the new County standards, and thus the City has not adopted the new standards. Projects that have not received approval from Planning Commission before the standards are adopted will be subjected to the change in requirements. At the time of this letter, revise the stormwater management plan to meet the current standards outlined in the Engineering design Manual.*

**The prior City review letter dated 11/29/2021 stated that this project should refer to the new Oakland County Stormwater standards, therefore the plans were revised and submitted accordingly. If required to revise back to the prior City standards there will be additional impacts – including wetlands, buffers, etc. Below is a clip showing the prior conceptual basin size using the City method (this was for a larger development, but including for reference):**



2. *Provide calculations verifying the post-development runoff rate directed to the proposed receiving drainage course does not exceed the pre-development runoff rate for the site.*  
**Calculations for pre- and post-development runoff have been added to Sheet 6**
3. *Rather than a sediment forebay, a permanent water surface and storage volume are preferred. Refer to section 5.6.1 A. of the Engineering Design Manual for depth and volume requirements for wet detention basins.*  
**Pond has been revised to a permanent water surface and storage volume.**



4. *Provide a 5-foot-wide stone bridge/access route allowing direct access to the standpipe from the bank of the basin during high-water conditions (i.e. stone 6-inches above high water elevation). Provide a detail and/or note as necessary.*

**Access route has been added to the layout plan and details have been added to the detail sheets.**

5. *As part of the Storm Drainage Facility Maintenance Easement Agreement, provide an access easement for maintenance over the storm water detention system and the pretreatment structure. Also, include an access easement to the detention area from the public road right-of-way.*

**Access easement has been added to the plans.**

6. *Provide release rate calculations for the three design storm events (first flush, bank full, 100-year).*

**Release rate calculations are shown on sheet 6.**

7. *Due to maintenance concerns, each restricting orifice in the control structure shall be a minimum of 1 square-inch in size, even though this may result in a flow rate above that calculated.*

**Orifice restrictions have been calculated at 1 square inch holes and are outlined on the plans.**

8. *The flow restriction shall be accomplished by methods other than a pipe restriction in an oversized pipe due to the potential for clogging and restrictor removal. A perforated standpipe, weir design, baffle wall, etc. should be utilized instead.*

**Perforated standpipe and details for the outlet design have been added to the plan.**

9. *The primary outlet standpipe shall be designed with a secondary outer pipe with numerous holes. The stone filter would rest against this outer pipe and would help protect the outlet standpipe from clogging.*

**Please see Sheet 9 for the revised stormwater outlet design.**

10. *A runoff coefficient of 0.35 shall be used for all turf grass lawns (mowed lawns).*

**Runoff coefficient for turf grass has been revised.**

11. *A 4-foot-wide safety shelf is required one foot below the permanent water surface elevation within the basin.*

**Safety shelf has been added to the pond design.**

12. *Show proposed easements for water main and sanitary sewer on the plans.*

**Easements for water main and sanitary sewer have been added to the plans.**

13. *Provide a minimum of two ties to established section or quarter section corners.*

**Tie to the southern section corner has been added to the existing conditions plan.**

Additional Comments 13-44 (to be addressed upon Preliminary Site Plan submittal):

**Note that while the following comments are not required to be addressed until future PSP and FSP submittals, several have been addressed at this time.**

14. *Only at the time of the printed Stamping Set submittal, provide the City's standard detail sheets for water main (5 sheets), sanitary sewer (3 sheets), storm sewer (2 sheets), paving (2 sheets) and Boardwalks/Pathways (1 sheet). The most updated details can be found on the City's website at this location: <https://cityofnovi.org/services/public-works/engineering-division/engineering-standards-and-construction-details>.*

**Acknowledged.**

15. *A right-of-way permit will be required from the City of Novi.*

**Acknowledged.**

16. *Provide a note that compacted sand backfill (MDOT sand Class II) shall be provided for all utilities within the influence of paved areas and illustrate and label on the profiles.*

**Note has been added to the utility plan.**

17. *Provide a construction materials table on the utility plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.*

**Construction material quantities will be added in Final site plans.**

18. *Provide a utility crossing table indicating that at least 18-inch vertical clearance will be provided, or that additional bedding measures will be utilized at points of conflict where adequate clearance cannot be maintained.*

**Utility crossing tables will be added in Final site plans.**

19. *Provide a note stating if dewatering is anticipated or encountered during construction, then a dewatering plan must be submitted to the Engineering Division for review.*

**Acknowledged.**

20. *Show proposed easements for water main and sanitary sewer on the plans.*

**Easements for water main and sanitary sewer have been added to the plans.**

21. *Indicate if there is an agreement with the property owner to the north for the existing driveway. If none currently exists, provide an easement to maintain the existing access or relocate the driveway.*

**There is no existing agreement for the driveway encroachment. As this is a secondary access for the property, the existing driveway encroachment will be removed to the property line.**

**Water Main**

22. *All water main easements shall be 20 feet wide. Show the proposed easement on the plan*

**Water main easement has been updated and shown on the plan.**

23. Provide water main modeling calculations demonstrating that the required water supply of 2,000/4,000 GPM will be available.

**Water main modeling calculations will be provided during Final Site Plan.**

24. Per current EGLE requirement, provide a profile for all proposed water main 8-inch and larger

**Water main profiles will be provided during Final Site Plan.**

25. All gate valves 6" or larger shall be placed in a well with the exception of a hydrant shut off valve. A valve shall be placed in a box for water main smaller than 6".

**Acknowledged.**

26. In the general notes and on the future profiles, add the following note: "Per the Ten States Standards Article 8.8.3, one full 20-foot pipe length of water main shall be used whenever storm sewer or sanitary sewer is crossed, and the pipe shall be centered on the crossing, in order to ensure 10-foot separation between water main and sewers." Additionally, show the 20-foot pipe lengths. on the profile.

**Requested note will be added during Final Site Plan.**

#### **Sanitary Sewer**

27. Provide a sanitary sewer monitoring manhole, unique to this site, within a dedicated access easement or within the road right-of-way. If not in the right-of-way, provide a 20-foot-wide access easement to the monitoring manhole from the right-of-way (rather than a public sanitary sewer easement).

**Sanitary sewer monitoring manhole and 20' easement are shown on the plans**

28. All sanitary sewer easements shall be 20 feet wide. Show the proposed easement on the plan.

**Sanitary Sewer easement has been updated and shown on the plan.**

29. Provide a note on the Utility Plan stating the sanitary leads will be buried at least 5 feet deep where under the influence of pavement.

**Note has been added to the plans.**

#### **Storm Sewer**

30. Provide profiles for all storm sewer 12-inch and larger.

**Profiles will be added at Final Site Plan**

31. Label the 10-year HGL on the storm sewer profiles and ensure the HGL remains at least 1-foot below the rim of each structure.

**Profiles will be added at Final Site Plan**

32. Provide a schedule listing the casting type, rim elevation, diameter, and invert sizes/elevations for each proposed, adjusted, or modified storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.

**Storm Sewer schedules will be added at Final Site Plan**

### **Storm Water Management Plan**

33. Provide a soil boring in the vicinity of the storm water basin to determine soil conditions and to establish the high-water elevation of the groundwater table. Note the bottom of the detention facility must be a minimum of three (3) feet above the groundwater elevation.

**Soil Borings will be provided at Final Site Plan**

### **Paving and Grading**

34. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed.

**Construction quantities will be added at Final Site Plan.**

35. Provide a note on the plan stating that the emergency access gate is to be installed and closed prior to the issuance of the first building permit in the subdivision.

**Note added to the Layout Plan.**

36. Provide at least 3-foot of buffer distance between the sidewalk and any fixed objects, including hydrants and irrigation backflow devices. Include a note on the plan where the 3-foot separation cannot be provided.

**Acknowledged.**

37. The sidewalk within the Wixom Road and Stonebrook Drive right-of-way shall continue through the drive approach. If like materials are used for each, the sidewalk shall be striped through the approach.

**Acknowledged.**

38. The end islands shall conform to the City standard island design, or variations of the standard design, while still conforming to the standards as outlined in Section 2506 of Appendix A of the Zoning ordinance.

**The ordinance described refers to end islands surrounded by pavement in a commercial parking lot setting. None of the end islands on the project are surrounded by pavement. The end islands on this project do not match the type of end islands in the ordinance.**

39. Provide a line designation representing the effective 19-foot stall length for 18-foot perimeter stalls.

**Line has been added to the layout plans showing where the 2' overhang lies on the sidewalk stalls.**

40. Curbing and walks adjacent to the end of 18-foot stalls shall be reduced to 4-inches high (rather than the standard 6-inch height to be provided adjacent to 19-foot stalls). Provide additional details as necessary.

**Details have been updated to show a 4" curb for integral curb and sidewalk.**



### Flood Plain

41. If applicable, show the limits of the 100-year flood plain and floodway per the current FIRM maps (2006).

**The parcel does not fall near the 100-year floodplain or floodway.**

### Soil Erosion and Sediment Control

42. A SESC permit is required. A full review has not been completed at this time. The review checklist detailing all SESC requirements is attached to this letter. Please address the comments below and submit a SESC permit application under separate cover. The application can be found on the City's website at <http://cityofnovi.org/Reference/Forms-and-Permits.aspx>.

**Soil Erosion and Sediment Control will be submitted in Final Site Plan. Preliminary SESC measures are detailed on Sheet 5.**

### Off-Site Easements

43. Any off-site utility easements anticipated must be executed prior to final approval of the plans. If you have not already done so, drafts of the easements and a recent title search shall be submitted to the Community Development Department as soon as possible for review and shall be approved by the Engineering Division and the City Attorney prior to executing the easements.

**Acknowledged**

### The following must be submitted with the Preliminary Site Plan submittal:

44. A letter from either the applicant or the applicant's engineer must be submitted with the Preliminary Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.

**Acknowledged**

### Landscape Review Comments – Rick Meader, LA – December 21, 2022

#### General Notes

1. Please clean up the tree labeling (there are inconsistencies, some trees aren't labeled and others have labels that don't appear in the section plant lists).

**Landscape plans have been revised accordingly.**

2. Please clearly indicate on the drawing (not just on the plant lists adjacent) which tree is meeting which requirement – hatching or unique labeling could be used.

**Trees have been labeled to reflect requirements. Refer to sheet LP-2.**

3. Please add the city project number, JSP22-001, to the lower right corner of the cover sheet.

**Added to cover Sheet**

## Ordinance Considerations

### Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

2. Please show the protective tree fence at the outer edge of the actual dripline, not the edge of the tree symbol which may not be wide enough to represent the actual dripline. **Dripline has been modified and Notes have been added to Sheet 2 regarding tree protection fencing installation 1' beyond the tree dripline.**

### Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. The required berm is provided between Wixom Road and the west building but not north of the T-turnaround. This requires a landscape waiver. The waiver is supported as building a berm would damage existing trees to be preserved.

**Deviation request has been added to the cover sheet.**

2. The required landscaping is proposed along the entire frontage. If the applicant desires, and agrees to leave the existing vegetation undisturbed, a landscape waiver to not provide the required landscaping north of the emergency entrance would be supported by staff. The required landscaping south of the emergency access drive would need to be provided.  
**Waiver is requested for north area. Landscaping is provided south of access drive.**
3. If the applicant wishes to do that, the calculations should be revised and the correct landscaping for that frontage should be proposed.

**Landscape calculations have been revised to reflect the requested deviation as suggested.**

### Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. There is a deficiency in the required parking lot interior landscape area and trees provided. This would require a landscape waiver. It would not be supported by staff. Please provide all required interior landscape area and trees.

**Parking area has been revised to add interior landscape areas. Please refer to sheet LP-1 for calculations.**

2. There is also a deficiency in the number of parking lot perimeter and accessway perimeter trees provided. This would also require a landscape waiver. It would not be supported by staff. Please provide the required perimeter trees.

**Plantings have been revised. Please refer to sheet LP-1 for calculations.**

3. Three bays have more than 15 contiguous spaces without a landscaped island. This requires a landscape waiver. It would not be supported by staff. Please add islands with canopy trees to each of the long bays to break them up. These islands will help to address the deficiencies noted in #1.

**Parking area has been revised to add interior landscape areas.**

### Plant List (LDM 4, 10)

1. 16 of 27 species (59%) used for non-woodland replacement plantings are native to Michigan.

**Please refer to the revised landscape plans**

2. The tree diversity requirements for non-woodland replacement trees are met for all but Norway Spruces and Red Oaks. Please see the detailed discussion of this on the Landscape Chart and reduce the numbers of each of those species to meet the diversity requirement.

**Please refer to the revised landscape plans**

3. Please see the landscape chart for detailed discussions of various issues related to the proposed plantings that must be addressed.

**Please refer to the revised landscape plans**

#### **Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)**

1. More shrubs must be provided to provide the required 70% shrub coverage.

**Please refer to the revised landscape plans**

2. Woodland replacement trees can be used around the detention pond to meet the detention pond tree requirement.

**Please refer to the revised landscape plans**

3. Please show any populations of Phragmites australis or Japanese knotweed found on the site on the existing conditions plans. If any is found, please add plans for their complete removal to the landscape details.

**Please refer to sheets 2 and 3 for Phragmite locations and removals.**

#### **Irrigation (LDM 10)**

1. Please provide plans for providing sufficient water to all plantings for their establishment and long-term survival.

**Irrigation notes are provided on sheet LP-1**

2. If an irrigation system will be used, plans for it must be provided in the Final Site Plans.

**An irrigation plan will be provided with the Final Site Plans**

#### **Residential Adjacent to Non-residential (Sec 5.5.3.A) & (LDM 1.a):**

1. Berm requirements (Zoning Sec 5.5.3.A): An agreement with Vistas of Stonebrook may be required.

**Both the Stonebrook site and the proposed Avalon Park site are residential uses. Additionally, the sites are separated by an existing drainage course and landscaped detention pond providing a significant buffer between the different types of residential use.**

#### **Landscape Plan Requirements – Basic Information (LDM (2))**

1. Landscape Plan (Zoning Sec 5.5.2, LDM 10): Use scale of 1"=20' or 1"=10' for building foundation plantings.

**Response: See sheet LP-3 for foundation planting plan.**

2. Survey information (LDM 10): Please do not show anything but existing conditions on Sheet 2 and add a separate Demolition Plan showing the information currently shown on Sheet 2.

**Response: The demolition has been separated from existing conditions as requested.**

## Existing Conditions

1. Existing plant material Existing woodlands or wetlands.
  1. See note above regarding separating existing conditions from removals.  
**Response: The demolition has been separated from existing conditions as requested.**
  2. Please show all wetland buffers for preserved wetlands on the landscape plan.  
**Response: Wetland buffers are reflected on landscape plans and wetland mitigation plan.**
  3. Protect all trees near the areas of disturbance with tree fencing placed at the critical root zone (1' outside of the tree dripline.)  
**Response: Protection is shown on sheet LP-2**
  4. Please show the tree fence at the actual tree dripline on the plans, not just at the outside of the tree symbol, which may or may not accurately represent the dripline.  
**Response: The specific location is noted on the landscape plan. Actual installation location will be determined in the field.**
  5. See the Mannik & Smith & DRG letters for complete reviews of woodlands and wetlands  
**Response: Acknowledged**
2. Natural Features: Please be sure that proper buffers and protection for adjacent ponds are provided  
**Response: Buffers for existing wetlands are shown on the plans.**

## Proposed Improvements

1. Existing and proposed utilities: Please make lineweight of utility lines and structures a little heavier so they are seen more easily.  
**Response: Plans have been revised accordingly.**

## Adjacent to Public Rights-of-Way (Sec 5.5.3.B) and (LDM 1.b) (RM-1)

1. Greenbelt width:
  1. Please show the future Wixom Road ROW on the landscape plans and show the greenbelt width from that.  
**Response: The greenbelt is shown from the proposed ROW location.**
  2. Please show proposed street widening plans for Wixom Road.  
**Response: This project proposes no changes to Wixom Road.**
2. Min. berm crest width:
  1. No berm is provided north of the emergency access drive. This requires a waiver. As adding the berm would require the removal of trees and there are no buildings or paving proposed in that area, the waiver would be supported by staff.  
**Response: A waiver is requested for this deviation.**



3. Min. berm height **Response: See above**
4. Canopy deciduous or large evergreen trees (7)(10)(11)
  1. If desired, fewer canopy and evergreen trees can be proposed along Stonebrook Drive since the existing trees exceed the requirement.  
**Response: Plans have been revised accordingly.**
  2. A waiver to not add any trees north of the emergency access turnaround would be supported by staff if all the existing vegetation was preserved. This would reduce the frontage that required landscaping to 195 lf.  
**Response: A waiver is requested and calculations reflect the reduced frontage.**
  3. River birches should be counted as canopy trees.  
**Response: Plans have been revised.**
  4. Hawthorns should be counted as sub-canopy trees  
**Response: Plans have been revised.**
5. Sub-canopy deciduous trees Notes (5)(6)(10)(11)
  1. See above regarding possible waiver for the area north of the emergency turnaround.  
**Response: Acknowledged**
  2. See above regarding River birch and hawthorn designation.  
**Response: Acknowledged**
  3. Please provide at least the minimum number of subcanopy trees along the Stonebrook frontage.  
**Response: Plans have been revised to add additional trees.**

**Multi-Family Residential (Sec 5.5.3.F.iii)**

1. Multi-family Unit Landscaping (Zoning Sec 5.5.3.F.iii.b):
  1. If desired, multi-family unit trees may be used to meet the parking lot perimeter and interior tree requirements. If they are, please indicate that in the calculations (how many multi-family unit trees are being used to meet the requirement.).  
**Response: Landscape plans have been updated to reflect the calculation.**
  2. Please space the large trees along the north property line per the spacing requirements on Table 1.a.(1)(g) in the Landscape Design Manual. Currently they are located too close to each other.  
**Response: Spacing has been revised.**

3. Please clearly delineate which trees are multi-family unit trees – it isn't always clear on the plans which trees are MF trees versus greenbelt or some other requirement.

**Response: The landscape plan has been updated to identify which trees are used for which requirement.**

2. Foundation Landscaping (Zoning Sec 5.5.3.F.iii.b):

1. Actual planting plans for the foundation planting must be included in Final Site Plans that include all proposed plants.

**Response: A foundation planting plan is included on sheet LP-3.**

#### **Parking Area Landscape Requirements (Zoning Sec 5.5.3.C & LDM 5)**

1. Name, type and number of ground cover: Please indicate what groundcovers will be used in disturbed areas.

**Response: Refer to landscape plans and wetland mitigation plan for ground cover for restoration areas and seed mixes.**

2. Parking lot Islands (Zoning Sec 5.5.3.c.ii, iii): If islands aren't large enough to meet requirements, please enlarge them.

**Response: Parking lot islands have been revised.**

3. Curbs and Parking stall reduction (Zoning Sec 5.5.3.c.ii): Please adjust the parking space length and/or adjacent curb height.

**Response: Parking space length has been revised to 17-feet with a 4-inch curb height**

4. Contiguous space limit (Zoning Sec 5.5.3.c.ii.o))

1. A landscape waiver would be required for the proposed layout. It would not be supported by staff.

**Parking lot islands have been revised/add for compliance.**

2. Please add islands within the long bays, with a canopy tree in them, to make the bays comply with the ordinance. They must meet the size requirements noted above.

**Parking lot islands have been revised/add for compliance**

#### **All Categories**

1.  $C = A+B$  Total square footage of landscaped island: Label each island with its square footage to confirm that the required area is provided.

**Refer to revised landscape plans.**

2.  $D = C/200$  Number of canopy trees required:

1. Interior trees must be within interior islands or parking lot corners.

**Refer to revised landscape plans and calculations.**

2. Canopy trees must be used (not subcanopy).  
**Refer to revised landscape plans**
3. A landscape waiver would be required for the proposed deficiency in trees. It would not be supported by staff.  
**Plans have been revised to meet landscaping requirements.**
4. Please add the required trees in the new islands required for the long bays and in parking lot corners.  
**Refer to revised landscape plans**
5. Multi-family unit trees may be used to meet the parking lot interior tree requirement.  
**Refer to revised landscape plans**
6. Please clearly label trees as parking lot trees.  
**Refer to revised landscape plans**
3. Parking Lot Perimeter Trees (Zoning Sec 5.5.3.c.ii)
  1. Multi-family unit trees may be used to meet the parking lot interior tree requirement.  
**Refer to revised landscape plans**
  2. Please clearly label trees as parking lot trees.  
**Refer to revised landscape plans**
  3. Please provide all required trees.  
**Refer to revised landscape plans**
4. Accessway Perimeter Trees (Zoning Sec 5.5.3.C.i.j.)
  1. Please add calculations for the drive leading from Stonebrook Drive to the site (only on Avalon property).  
**Refer to revised landscape plans**
  2. Please add the trees required.  
**Refer to revised landscape plans**
  3. Greenbelt canopy trees within 15 feet of the drive can be double-counted as accessway perimeter trees.  
**Refer to revised landscape plans**

### **Miscellaneous Landscaping Requirements**

1. Name, type and number of ground cover (LDM 5): Please indicate groundcovers on landscape plan.  
**Response: Refer to revised landscape plans**

2. Snow deposit (LDM 10): Some may need to be adjusted to allow for planting of all required trees parking lot trees.

**Response: Refer to revised landscape plans**

3. Transformers/Utility boxes (LDM 6):

- 3.1. Please show transformers and other utility boxes when their locations are determined.

**Response : Transformers will be determined during site planning with DTE. A screening detail is included on the landscape plans.**

- 3.2. If box locations are not determined by final site plans, add a note to plan stating that all utility boxes are to be landscaped per the detail.

**Response: Noted.**

- 3.3. Please add an allowance of 10 shrubs per box on the plant list and label as such.

**Refer to revised landscape plans**

4. Detention/Retention Basin Planting requirements (Sec. 5.5.3.e, LDM 3):

- 4.1. Woodland replacement trees may be used to meet the tree requirement.

**Refer to revised landscape plans**

- 4.2. The shrubs shown do not get near the required percentage – masses of perennials may not be used in place of shrubs to get the required coverage.

**Refer to revised landscape plans**

- 4.3. Use 4-5' diameter symbols for shrub location.

**Refer to revised landscape plans**

- 4.4. Please move the trees to about the same distance from the permanent water level (10 feet away).

**Refer to revised landscape plans**

- 4.5. If the short native flower mix is to be used on the pond banks, please indicate that area.

**Refer to revised landscape plans**

- 4.6. Please add establishment and maintenance instructions for the native seed mixes (should be available from seed suppliers)

**Refer to revised landscape plans**

- 4.7. Please add a note stating that the contractor must provide proof of the seed mixes to be used prior to installation. Either a copy of the or photos of the seed bag(s) must be emailed to rmeader@cityofnovi.org. The seed shall not be applied until it is approved.

**Refer to revised landscape plans**

5. Phragmites and Japanese Knotweed Control (Zoning Sec 6.B)
  - 5.1. Please locate and show any populations of Phragmites and/or Japanese Knotweed on the site on the Existing Conditions sheet.  
**Phragmites have been added on the existing conditions plan.**
  - 5.2. If none is found, add a note stating that.  
**Notes added regarding Phragmites and Japanese Knotweed have been added.**
  - 5.3. If some is found, please add notes and plans for their complete removal on the Landscape Details sheet.  
**Notes have been added to the removal sheet.**

**Landscape Notes and Details– Utilize City of Novi Standard Notes**

1. Quantities and sizes: See table 11.b.(2)(a).i in the Landscape Design Manual for required sizes – many of the trees specified could be smaller.  
**Refer to revised landscape plans**
2. Botanical and common names:
  - 2.1. Please reduce the number of red oaks and Norway spruces to no more than 23 trees.  
**Refer to revised landscape plans**
  - 2.2. When foundation planting details are added, please work to maintain or exceed the 59% native usage.  
**Refer to revised landscape plans**
  - 2.3. While black walnut and shagbark hickory are desirable trees, they are very hard to obtain at a 2.5-3” caliper size. You may want to consider using swamp white oak or more of the other species listed instead of them. The diversity standard does not apply to woodland replacement trees.  
**Refer to revised landscape plans**
  - 2.4. The plant list does not reflect the actual number of some species found on the plans (eg redbud). Please correct that.  
**Refer to revised landscape plans**
3. Type and amount of lawn: Need for final site plan.  
**Refer to revised landscape plans**
4. Cost Estimate (LDM 10.h.(11)):
  - 4.1. Need for final site plan  
**A cost estimate will be provided at final site plan.**



- 4.2. Use \$375 as the unit cost for subcanopy trees, \$35/cyd for mulch, \$3/syd for seed and \$6/syd for sod.

**Noted.**

### **Planting Details/Info (LDM Part III) – Utilize City of Novi Standard Details**

1. Canopy Deciduous Tree: Please add a callout that mulch and root ball dirt must be pulled back 6” so root flare is exposed.

**Shown. See Sheet LP-1**

2. Evergreen Tree: See note above

**Shown. See Sheet LP-1**

3. Multi-Stem Tree: See note above

**Shown. See Sheet LP-1**

### **Cross-Section of Berms (LDM 1.a.(1))**

1. Slope, height and width: Provide detail on landscape plans if a berm is provided.

**See Civil Sheet 6 for proposed berm grading.**

2. Type of Ground Cover: Indicate on cross section

**See Landscape Planting Note #12 on Sheet LP-1**

3. Setbacks from Utilities:

- 3.1. Show all nearby utilities on detail

**Shown. See Sheet LP-2**

- 3.2. Space all trees appropriately from utility lines, poles and utility structures

**Every effort has been made to maximizing spacing of trees from existing and planned utilities, poles, and utility structures.**

### **General Landscape Requirements (LDM)**

1. General Conditions (LDM 11): Add note near property lines and adjust placement of plantings if necessary.

**See City of Novi Landscape Planting Note #6 on Sheet LP-1**

2. Irrigation (LDM 10.I.):

- 2.1. Please add irrigation plan or information as to how plants will be watered sufficiently for establishment and long- term survival.

**An automated Irrigation system shall be installed on all maintained lawn areas and within all planting beds within the property on a Design / Build basis at the time of construction. See**

**Landscape Planting Note #10 & Irrigation System Requirements on Sheet LP-1, and Irrigation notes on Sheet LP-2**

2.2. If xeriscaping is used, please provide information about plantings included.

**Not Applicable**

**Pre-Application Review for Wetlands – Mannik Smith Group – January 17, 2023**

1. *An appropriately sized area of wetland mitigation is depicted in the PSLR Concept Plan, but the mitigation area should compensate for the type(s) of wetlands it is replacing. Specifically, the on-Site mitigation area should include 0.24 acre of forested wetland and 0.31 acre of emergent wetland.*

**Type of restorations will be outlined in the design wetland mitigation plans to be prepared during the site plan and permitting process.**

2. *The wetland buffer areas must be depicted on project plans, and the associated areas of permanent and temporary wetland buffer impact must be quantified on project plans.*

**Wetland Buffers are shown on the plans. Buffer impacts have been added to the wetlands sheet.**

3. *The proposed means of restoring temporary wetland and/or wetland buffer impact must also be specified on project plans*

**Wetland Restoration notes have been added to the plans.**

4. *The applicant is advised a City Wetland permit cannot be issued for EGLE-regulated wetlands until EGLE has issued a wetland use permit. Both City and EGLE requirements would apply to a mitigation plan, if applicable.*

**Acknowledged – appropriate permit applications will be filed.**

**Woodland Review Comments – Davey Resource Group – January 17, 2023**

1. *A Woodland Use Permit is required to perform construction on any site containing regulated woodlands. The Woodland Use Permit for this project requires Planning Commission approval. To determine woodland fence inspection fees - the applicant shall provide the cost (labor and supplies) for installation (including the initial location staking) and removal of tree protection fencing.*

**A woodland use permit will be applied for during site plan.**

2. *Tree Removals and Replacements. The plan proposes the removal of 23 regulated woodland trees which requires 40 woodland replacement credits. Please add the woodland replacement calculations to sheet LP-2.*

**Tree replacement calculations for the trees impacted in the City-Regulated Woodlands are provided on Sheet 9. Replacement trees are reflected in the landscape plans.**

3. Woodland Replacements (Sheet 9 and Sheet LP-2). The site is required to mitigate the removal of the 23 regulated woodland trees with 40 woodland replacement credits. Revise plans to address the following:

- Please provide the Dutch elm disease resistant cultivar that will be used for the American elm proposed to be planted.

**Refer to revised landscape plans**

- Due to their taproots – shagbark hickory (*Carya ovata*) and black walnut (*Juglans nigra*) can be difficult to find in the nursery industry and transplant. Please provide a list of potential supplies for these species and the methods that will be used to ensure successful planting and growth. Alternatively, select different native species to use as woodland replacements.

**Refer to revised landscape plans**

4. Financial Guarantees

- a. A woodland fence guarantee of \$6,000 ( $\$5,000 \times 120\%$ ) is required per Chapter 26.5-37. The financial guarantee shall be paid prior to issuance of the City of Novi Woodland Use Permit.

**Acknowledged**

- b. Woodland Replacement Financial Guarantee of \$16,000 (40 required woodland replacement credits x \$400 per woodland replacement credit) is required as part of the Woodland Use Permit fees to ensure planting of the on-site Woodland Replacement tree credits. Based on inspection of the installed on-site Woodland Replacement trees, the Woodland Replacement Financial Guarantee shall be returned to the Applicant. The Applicant is responsible for requesting this inspection. Following acceptance of the planted woodland replacement trees, a 2-year performance bond must be paid to ensure the continued health and survival of the replacement trees (comment 6).

**Acknowledged**

- c. The applicant will be required to pay into the City of Novi Tree fund at a rate of \$400/credit for any Woodland Replacement tree credits that cannot be planted on site.

**Acknowledged**

- d. The applicant shall guarantee trees for two (2) growing seasons after installation and the City's acceptance, per The City's Performance Guarantees Ordinance. A two-year maintenance bond in the amount of \$4,000, twenty-five (25) percent of the value of the trees but in no case less than one thousand dollars (\$1,000.00), shall be required to ensure the continued health of the trees following acceptance (Chapter 26.5, Section 26.5-37). Based on a successful inspection 2 years after installation of the on-site Woodland Replacement trees, the Woodland Replacement Performance Guarantee shall be returned to the Applicant. The Applicant is responsible for requesting this inspection.

**Acknowledged**

5. Woodland Guarantee Inspection. If the woodland replacements, street trees or landscaping guarantee period is scheduled to end during the period of time when inspections are not conducted (November 15th – April 15th) the Applicant is responsible for contacting the Bond Coordinator and Woodland/Landscape Inspector in late summer/early fall prior to the 2 year expiration to schedule an inspection. The Applicant is responsible for walking the entire site to confirm that all of the material has survived and is healthy. If any material is missing, dead or dying, replacements should be made prior to requesting the inspection. Once this occurs the Applicant should contact the Bond Coordinator to schedule the inspection (Angie Sosnowski at [asosnowski@cityofnovi.org](mailto:asosnowski@cityofnovi.org) / 248-347-0441) and complete the inspection request form. If additional inspections are needed, then additional inspection fees will be required to be paid by the applicant. Based upon a successful inspection for the 2 year warranty the Landscape/Woodland/Street trees financial guarantee will be returned to the Applicant.

**Acknowledged**

6. Conservation Easement. The Applicant may be required to provide preservation/conservation easements as directed by the City of Novi Community Development Department for any areas of woodland replacement trees. The applicant shall demonstrate that all proposed woodland replacement trees and existing regulated woodland trees to remain will be guaranteed to be preserved as planted with a conservation easement or landscape easement to be granted to the city. This language shall be submitted to the City Attorney for review. The executed easement must be returned to the City Attorney within 60 days of the issuance of the City of Novi Woodland permit. Any associated easement boundaries shall be indicated on the Plan.

**Acknowledged**

#### **Traffic Review - AECOM – January 24, 2023**

15. *End islands should be 3' shorter than adjacent space.*

**Response: This comment has not been reflected in the plan revisions. Referring to the zoning ordinance, this site does not appear to have end 'islands' as depicted in the ordinance (i.e. landscaped area at the end of a dual-bank of parking spaces). All parking is single-bank and fronts onto sidewalks or curbs. Pulling the islands back 3' at each end would effectively widen**

**the drive aisles and reduce available landscape planting space without achieving a noticeable benefit for turning movements (which is the intent of the 3-foot end island reduction length).**

17. *Parking bays should be reconfigured such that there are no more than 15 spaces without an internal island.*

**Parking Bays have been revised to add internal islands**

18. *Spaces could be reduced to 17' with 4" curb and 2' clear overhang or increased to 19' with 6" curb. Detail indicates 6" curb at sidewalk, requiring a 19' space.*

**Spaces have been revised to 17' with 4" curb and 2' clear overhang.**

20. *Spaces at 6" curb must be 19' long*

**Spaces have been revised to 17' long with 4" curb**

22. *Dimensions for ADA specific spaces could be provided. ADA spaces are permitted to be 8' wide with 5' aisle for non-van accessible spaces and 8' aisle for van accessible.*

**Dimensions revised and added to the layout plan.**

30. *2nd leg must be 30' as per requirements in 5.10 of the zoning ordinance*

**Dimension added for turn-arounds.**

34. *Applicant should include all ADA signs in table. There are 7 R7-1 signs shown on the plan and 5 listed in the quantity table.*

**Revised quantity and added ADA signage quantities**

**Façade Ordinance Review – Douglas R. Necci, DRN & Associates, Architects PC – January 9, 2023**

**Refer to attached architectural response from Spire Design Group for additional detail.**

***Façade Ordinance (Section 5.15)*** – *The minimum percentage of Brick is not provided on the side facades. In this case the combined percentage of Brick and Cast Stone meets the 30% minimum and would qualify for a Section 9 Waiver. A Section 9 Waiver is recommended contingent on the use of Cast Stone or equivalent material. In the event that a material other than Cast Stone is used (for example, split faced CMU) the side facades would be in non-compliance.*

**Acknowledged – waiver request included on Cover Sheet. See architectural response memo.**

***Planned Suburban Low-Rise Ordinance (Section 3.21).*** *It is recommended that roof features such as dormers or gables be added to the front and rear facades in order to more closely comply with the 70% maximum.*

**See architectural response memo.**

***Additional Information Required*** - *The sample board required by Section 5.15.4.D was not provided at the time of this review. Colored renderings were provided. The proposed materials were not noted on the drawings. This review is therefore based on the materials that appear to be depicted on the renderings. The applicant should clearly identify all materials with notations*



*on the elevations corresponding to the sample board. It is also noted that there are some discrepancies between the elevations and the renderings. For example, shakes are shown in the gables on the renderings whereas horizontal siding is shown on the elevations. Also, the corbel cornice feature shown on the renderings are missing on the elevations. We believe these features significantly improve the facades and should be included.*

**See architectural response memo.**

**Fire Department Review – Andrew Copeland, Acting Fire Marshal – December 28, 2022**

1. *All fire hydrants MUST be installed and operational prior to any combustible material is brought on site. IFC 2015 3312.1*

**Acknowledged, a note has been added to Sheet 7.**

2. *For new buildings and existing buildings, you MUST comply with the International Fire Code Section 510 for Emergency Radio Coverage. This shall be completed by the time the final inspection of the fire alarm and fire suppression permits.*

**Acknowledged**

3. *Proposed No Parking fire lane signage on north driveways are required on property (see sheet 1 & 7) with several additional signs added to area on south main entrance in-between Buildings 2 & 3.*

**Additional no parking signs have been added as requested on the fire protection plan.**

4. *Proposed fire truck turning radii (sheet #7) is acceptable if the above note is followed and additional signage is posted. These areas will also need to be designated as Fire Lanes.*

**Acknowledged**

5. *Emergency Access Drive, from Wixom Rd, will need to have a “Drivable curb” from Wixom road leading into property.*

**A note has been added to Sheet 4 identifying the need for a drivable curb at Wixom Road.**

Thank you for your assistance and cooperation with respect to this project. Please feel free to contact us with any questions or concerns at (248) 447-2072.

Sincerely,

**ATWELL, LLC**



Jared Kime, PE  
Project Manager

**CORRESPONDENCE**

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## Shanahan, Diana

---

**From:** George Abraham <[REDACTED]>  
**Sent:** Thursday, June 1, 2023 9:11 AM  
**To:** Shanahan, Diana  
**Subject:** JSP22-01 AVALON PARK APARTMENTS - I object

Dear Zoning Board member,

I am writing to express my strong objection to the proposed apartment complex at [AVALON PARK APARTMENTS, LOCATED ON THE EAST SIDE OF WIXOM ROAD, NORTH OF ELEVEN MILE ROAD]. I believe that this development would be inconsistent with the intent, principle permitted uses, and special land uses that an R-1 zone permits.

As you know, the Villas at Stonebrook were granted an overlay to construct condominiums on land across from the proposed site. These condos are privately owned, and also in keeping with zoning for the surrounding area, they have private entrances and garages.

The proposed apartment complex, on the other hand, would be not in keeping with the integrity of the community. It would have no private entrances, no garages (let alone carports), and would not be privately owned by residents. This would create a significant increase in traffic and noise in the area, and would also decrease the value of homes in the surrounding neighborhood.

In addition, an apartment complex would be inconsistent with the intent, principle permitted uses, and special land uses that an R-1 zone permits. R-1 zones are intended for single-family homes, and an apartment complex would be a significant deviation from this intent.

I urge you to deny the application for the proposed apartment complex. This development would be harmful to the community and would not be in keeping with the zoning regulations.

Thank you for your time and consideration.

Sincerely,

George Abraham

49685 Leyland Cir,

Novi, MI 48374

--

Regards,

George  
[REDACTED]

Sent from my iPhone so please excuse typos



CITY OF NOVI

RESPONSE FORM

RECEIVED

MAY 22 2023

CITY OF NOVI  
COMMUNITY DEVELOPMENT

JSP22-01 AVALON PARK APARTMENTS, LOCATED ON THE EAST SIDE OF WIXOM ROAD, NORTH OF ELEVEN MILE ROAD (SECTION 17) FOR RECOMMENDATION TO THE CITY COUNCIL FOR CONCEPT PLAN APPROVAL UNDER THE PLANNED SUBURBAN LOW RISE OVERLAY DISTRICT.

You are invited to attend the public hearing on June 7, 2023 and voice your support or objection.

Participants may also choose to submit comments that can be read into the record if they are unable to attend. To submit a written reply, you may use this form to reply by mail, email, or fax. Returning this form by mail, email, or fax has as much validity as verbal comments. Signed comments will be added to the record of the meeting. Unsigned or anonymous comments **WILL NOT** be considered. Written comments must be received by 4:00 PM on the day of the meeting.

Return via email: [dshanahan@cityofnovi.org](mailto:dshanahan@cityofnovi.org)

Return via mail or fax: Community Development Department  
45175 W. Ten Mile, Novi, Michigan 48375  
248-347-0475 (Main) 248-735-5633 (Fax)

Information regarding the project will be available to view the Saturday before the meeting date at: <https://www.cityofnovi.org/Agendas-Minutes/Planning-Commission/2023.aspx>.

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I SUPPORT

I OBJECT

**TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

① Density: Greater than 92 parking spaces are proposed in 8.78 acre with a good portion of this land is state regulated woodland & wetlands ② Traffic & Safety - This site impacts the safety of all drivers and pedestrians, of greatest concern are children with multiple neighboring schools ③ Dumpster - rats/disease with proposed commercial dumpsters will be needed ④ Tax Revenues Renters Don't pay property tax like home owners ⑤ impact on property value ⑥ Lighting will impact all the nearby residents ⑦ private road stone block remains private road with the city park & Sunoco have a built in rights of usage  
SIGNATURE: *Amal Ayoub*  
PRINT NAME: Basim Ayoub, Amal Ayoub  
ADDRESS: 48648 Rockview Rd, Novi 48374

\*\*\*IN ACCORDANCE WITH MCL 125.3103, THE MANAGER OR OWNER OF A SINGLE STRUCTURE CONTAINING MORE THAN 4 DWELLING UNITS OR OTHER DISTINCT SPATIAL AREAS OWNED OR LEASED BY DIFFERENT PERSONS, IS HEREBY REQUESTED TO POST THE NOTICE AT A PRIMARY ENTRANCE TO THE STRUCTURE(S).\*\*\*



CITY OF NOVI  
RESPONSE FORM

**RECEIVED**  
**MAY 31 2023**  
**CITY OF NOVI**  
**COMMUNITY DEVELOPMENT**

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I SUPPORT

I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

I believe an apartment complex in that area is inconsistent with the Condo and single family zoning for that area. The high density apartment use will add too much traffic to a high traffic area. Apartment use would create additional transient population in the area. I recommend no.

SIGNATURE: David Barata

PRINT NAME: DAVID BARATA

ADDRESS: 25868 Shoreline DR, Novi MI

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## Shanahan, Diana

---

**From:** slbengie (null) [REDACTED]  
**Sent:** Wednesday, May 31, 2023 1:59 PM  
**To:** Shanahan, Diana  
**Subject:** Wixom Apartments

I have some serious concerns/issues with these apartments being built on Wixom Road- next to Deerfield Elementary. I live at 25178 Birchwoods Drive and I can barely pull out of my subdivision. The traffic is awful, and we cannot support anymore traffic on Wixom Road. The residents of Novi do not want this apartment complex. I encourage you to do a traffic check- try to drive down this road between the hours of 230 and 430.

Secondly, how are the school districts going to be able to handle the overflow of the kids?

My husband and I feel- this is in awful plan. Cramming apartments in to the small lot is not a good idea in any shape or form.

Sent from my iphone

iPhone.iTypos.iApologize  
Thank you,  
Sherry Bengie  
Mark Heikkila  
25178 Birchwoods Drive  
Novi, 48374  
[REDACTED]



**CITY OF NOVI**  
**RESPONSE FORM**

**RECEIVED**  
**MAY 30 2023**  
**CITY OF NOVI**  
**COMMUNITY DEVELOPMENT**

**JSP22-01 AVALON PARK APARTMENTS, LOCATED ON THE EAST SIDE OF WIXOM ROAD, NORTH OF ELEVEN MILE ROAD (SECTION 17) FOR RECOMMENDATION TO THE CITY COUNCIL FOR CONCEPT PLAN APPROVAL UNDER THE PLANNED SUBURBAN LOW RISE OVERLAY DISTRICT.**

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I SUPPORT       I OBJECT

**TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

~~I am opposed to the construction of the Avalon Park Apts east of Wixom Rd in Novi due to the negative impact it will have on an already overburdened road network and public safety. Rampant growth over the last decade has left Wixom Road severely congested at rush hour, requiring 2-3 changes of the Wixom/Grand River light to get through, and making it dangerous for residents exiting their developments into such congestion. The safety of children walking to two adjacent schools on Wixom is also at risk. I ask that the Novi Planning Commission recognize the impact on the safety and quality of life for residents of their legacy decisions, and not further contribute to these issues with a new apartment complex in this immediate area.~~

SIGNATURE: Gene Brandon  
PRINT NAME:   
ADDRESS: 25515 Hillsdale Drive, Novi, MI

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CITY OF NOVI

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MAY 30 2023

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I SUPPORT

I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

I do not want to have traffic and population density in the area to increase

SIGNATURE:

Abir Chatterjee

PRINT NAME:

ABIR CHATTERJEE

ADDRESS:

48207 ISABELLA WAY, NOVI, MI 48374

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**CITY OF NOVI**

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**MAY 22 2023**

**CITY OF NOVI  
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I SUPPORT

I OBJECT

**TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

*Stonebrook road is the entrance into Wildwood Park, the trail head of the ITC trail. It is also the only entrance into the Stonebrook Community of 84 residences. The almost continuous use of the pickleball courts with more being planned, means that the traffic using this entrance is heavy, and potentially dangerous upon entering and exiting. The road can't handle more safely.*

SIGNATURE: Linda A. Cousino

PRINT NAME: LINDA A. COUSINO

ADDRESS: 48048 WINDFALL RD.

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# CITY OF NOVI

## RESPONSE FORM

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I SUPPORT

I OBJECT

**TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

*We object for the reasons noted on the attached Petition form.*

SIGNATURE: *Janice M. Dabkowski* *Gary F. Dabkowski* 5/16/23  
PRINT NAME: Janice M. Dabkowski Gary F. Dabkowski  
ADDRESS: 48663 Rockview Rd, Novi, MI 48374

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## Petition to Prevent Avalon Park Apartment Development

We the undersigned, who are Novi, MI residents living in homes located near Wixom Rd. between 10 Mile and Grand River, strongly oppose the Avalon Park Apartment (APA) (Monopoly Investors, LLC) development being proposed on the east side of Wixom Rd., between 11 Mile Road and Grand River, for the following reasons:

### Density

46 apartments and greater than 92 parking spaces are being proposed in an 8.78-acre area with a good portion of this land being state-regulated woodlands and wetlands.

### Zoning

The property is zoned R1, with PSLR overlay. PSLR requires individual units to have garages. The proposed development (APA) does not include garages, or covered carports.

### Regulated Wetlands/Woodlands

There are currently five regulated wetlands that the developer plans on disturbing or removing. Additionally, they are proposing to remove 24 woodland-regulated mature trees, as well as 5 others in surrounding areas, and they are only proposing to replace the removed trees with 7 trees which are not in accordance with city zoning. Note, many of the large trees being proposed to be destroyed are maple trees which help redistribute soil water.

The destruction of wetlands and woodlands impacts indigenous birds and other wildlife populations which contradicts the current State of Michigan preservation of wetlands and other conservation-related policies.

### Retention Ponds

The location of the proposed retention pond is adjacent to the retention pond in Villas at Stonebrook which prevents any barrier from the existing development.

### Traffic and Safety

Due to the increasing amount of traffic on Wixom Rd., this site impacts the safety of all drivers and pedestrians. Of greatest concern are children with multiple neighboring schools (Deerfield Elementary, Novi Middle School, and Catholic Central High School). Safety is obviously a concern for the city regarding school children as the stretch on Wixom Rd. by Deerfield now has a reduced speed limit of 25 mph. Additionally, schoolchildren of all ages are attempting to cross the road in the middle of traffic without any crosswalk.

The existing homes and condominiums in the area represent a very stable population, whereas the introduction of an apartment complex signifies a more transient population which is not in keeping with the current developed community.

Additionally, introducing an apartment development adjacent to an existing City park, presents all sorts of opportunities for undesired and unsupervised disruption which not only the homeowners should be concerned with, but equally the school and the city regarding increased liability.

#### Private Road

As per multiple conversations with City planning and zoning representatives, Stonebrook Dr. remains a private road of which the City park and Sunoco have built-in rights of usage. Yet, the residents of Villas at Stonebrook are the ones responsible for paying for the upkeep and maintenance of the road. Adding another development with minimally hundreds of cars utilizing this private road, adds to the wear and tear of a road that these residents or developers would not be paying for. With the increased usage of the road, residents desiring to use the park may be prevented from doing so due to the need to close the road for repair.

#### Lighting

The proposed development indicates at least 20 large commercial lighting structures which will create luminance pollution impacting the quality of life for all nearby residents. There is no reasonable remedy to offset the impact of such commercial lighting.

#### Impact on Property Value

In keeping with the integrity of the current land use in the surrounding areas, the construction of an apartment complex is not fitting both aesthetically and with the current single-family residences located all along and nearby Wixom Rd.

#### Construction Noise/Debris

The surrounding residents will have to contend with multiple construction vehicles daily for months, again utilizing the private road as well as Wixom Rd. leading to erosion. The proposed development requires an emergency exit which is to be located on Wixom Rd. Therefore, why would the entrance to the development not come off Wixom Rd. rather than the private road that the residents of Villas at Stonebrook are paying for? Obviously, the City of Novi had some reservations with another main entrance to a community off Wixom Rd. Thereby, the developer is wishing to use a private road for which they are not paying.

#### Dumpster – rats/diseases

With such a proposed development comes commercial dumpsters. With commercial dumpsters comes vermin, strong odors of rotting garbage, unwanted critters, and potential diseases. Commercial dumpsters, especially so close to a major road, invite others to dump their unwanted trash, therefore creating a dumpster site.

#### Tax Revenue

Renters do not pay property taxes like homeowners do, therefore lessening their motivation to maintain the premises as required by home developments being regulated by HOAs. It would be advantageous for the City of Novi to receive tax revenue coming directly from homeowners rather than a rental development for maximizing their profit.



**CITY OF NOVI**  
**RESPONSE FORM**

**RECEIVED**

**MAY 31 2023**

**CITY OF NOVI  
COMMUNITY DEVELOPMENT**

**JSP22-01 AVALON PARK APARTMENTS, LOCATED ON THE EAST SIDE OF WIXOM ROAD, NORTH OF ELEVEN MILE ROAD (SECTION 17) FOR RECOMMENDATION TO THE CITY COUNCIL FOR CONCEPT PLAN APPROVAL UNDER THE PLANNED SUBURBAN LOW RISE OVERLAY DISTRICT.**

You are invited to attend the public hearing on June 7, 2023 and voice your support or objection.

Participants may also choose to submit comments that can be read into the record if they are unable to attend. To submit a written reply, you may use this form to reply by mail, email, or fax. Returning this form by mail, email, or fax has as much validity as verbal comments. Signed comments will be added to the record of the meeting. Unsigned or anonymous comments **WILL NOT** be considered. Written comments must be received by 4:00 PM on the day of the meeting.

Return via email: [dshanahan@cityofnovi.org](mailto:dshanahan@cityofnovi.org)

Return via mail or fax: Community Development Department  
45175 W. Ten Mile, Novi, Michigan 48375  
248-347-0475 (Main) 248-735-5633 (Fax)

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I SUPPORT       I OBJECT

**TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

WHEN HAS IT BECOME ACCEPTABLE TO REMOVE  
AND OR DISRUPT NATURAL WETLANDS. WE HAVE  
ALREADY HAD MULTIPLE ACCIDENTS AT THE  
ENTRANCE AND NOW MORE VEHICLES. SAFETY  
FOR ALL SCHOOL KIDS? WHO IS RESPONSIBLE  
FOR ROAD WITH ALL CONSTRUCTION TRAFFIC.  
NEVER WOULD HAVE BOUGHT HERE IF I HAD KNOWN

SIGNATURE: [Signature]  
PRINT NAME: DOUG DEHUFF ANNOY DEHUFF  
ADDRESS: 4072 ROCKVIEW RD NOVI

\*\*\*IN ACCORDANCE WITH MCL 125.3103, THE MANAGER OR OWNER OF A SINGLE STRUCTURE CONTAINING MORE THAN 4 DWELLING UNITS OR OTHER DISTINCT SPATIAL AREAS OWNED OR LEASED BY DIFFERENT PERSONS, IS HEREBY REQUESTED TO POST THE NOTICE AT A PRIMARY ENTRANCE TO THE STRUCTURE(S).\*\*\*



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I SUPPORT

I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

SEE ATTACHED  
LETTER

SIGNATURE: Albert A. DiFalco

PRINT NAME: ALBERT A. DIFALCO

ADDRESS: 48719 ROCKVIEW RD NOVI 48374

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Community Development Department  
45175 W Ten Mile Rd.  
Novi, MI 48375  
6/1/2023

As a new resident of Novi, I would first like to state how absolutely thrilled my wife Margaret (Peggie) and I are to have purchased a home in this community. We realized that taxes are high in Novi, but the services the city provides are well worth the added expense. Novi has exceptional schools, excellent senior services, a very stable and well-trained police, fire and EMS, and a host of other outstanding amenities. We expect this in return for the high tax base we pay.

One other major expectation that we have is total professionalism in city management. We expect that any zoning approval or denial will be based on facts and guided by law as well as the adage "What is the right thing to do?" Common sense and rational thought must enter the equation.

Allow me to get to the purpose of the letter, the Avalon Park Apartment Proposal. There are several reasons that this proposal simply does not make sense:



- The exit road from proposed apartment is totally insufficient. This road was built by Pulte to accommodate the Villas at Stonebrook and is being maintained by the Villas at Stonebrook HOA. It is not designed to handle another 100 vehicles. My question: “What will the owners of Avalon Park Apartments contribute to improve and maintain Stonebrook Rd?”
- Traffic control at the intersection of Wixom Rd and Stonebrook is being taxed to the maximum. There is no dedicated left turn lane southbound from Wixom Rd to Stonebrook Rd, and, due to a hill north of Stonebrook Rd on Wixom Rd, vision is obstructed when turning left when exiting Stonebrook Rd. What are the plans to make this intersection safe? What type of traffic control device is planned?
- Has the environmental impact of constructing these apartments been addressed? Apparently, the Villas at Stonebrook HOA has spent a considerable amount of time and effort studying this issue. There is older foliage and nesting for wildlife in the area that will be removed, damaged, or destroyed.
- The ownership of the Avalon Park Apartments has not been fully disclosed. This information should be a matter of public record to the City of Novi and interested residents.

- I have seen an overlay of the proposed apartments. These buildings will be an eyesore.
- There are 3 highly populated school in walking distance of the proposed apartments. Has the commission considered the impact of the additional traffic in the area on school, pedestrian, and bus traffic?

Looking at these points, I can see no justification for approving this project. My hope is that you use common sense and rational thought to see the impropriety of this project for this area and reject the proposal.

Thank you for your time

A handwritten signature in black ink, appearing to read "Albert A DiFalco". The signature is fluid and cursive, with the first name "Albert" being the most prominent.

Albert A DiFalco



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I SUPPORT

I OBJECT

*Page 1*

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

*See attached*

SIGNATURE: *Peggie Di Falco*  
PRINT NAME: *PEGGIE DI FALCO*  
ADDRESS: *48749 ROCKVIEW RD, NOVI 48374*

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**From:** margaret DiFalco  
**Sent:** Wednesday, May 31, 2023 10:48 AM  
**To:** dshanahan@cityofnovi.org  
**Subject:** FW: Objections to Avalon Apartment Complex

Page 2

My husband and I own and live in the Villas at Stonebrook. I am writing to express our deep concern and objection to the building of the Avalon Apartments next to our complex. There are many objections to this project but here are our **main objections**:

**Questionable Ownership** – Members of our Homeowner Association have researched the ownership of the property and it is unclear what company owns this property. Does the City of Novi want an apartment building built and owned by an entity that is unknown and the ownership changes frequently. Does the City want to spend time tracking down taxes and addressing complaints of an unknown company? How will the City of Novi be able to assess the performance record of this company and the builder and other vendors used.

**Apartment Residents Do Not Contribute To Taxes** – My husband and I willingly pay our taxes (some of the highest in the area) to the City of Novi and as a result have great schools and services, etc. provided. How will apartment residents contribute to taxes in our community? --But will still avail themselves of the great services provided.

**Traffic and Pedestrian Safety – Wixom Road is Not Prepared For Additional Traffic** – Wixom Road is one lane each way at our entrance with a narrow left hand turn lane (to turn into our complex). The addition of 90 plus cars will create a daily traffic congestion with resulting concerns for everyone's safety. Coming South from Target on Wixom Rd, you approach the left hand turn lane from a hill – with a short distance and limited sight line to the left hand turn lane. In addition, **Children will need to cross the street at this same place to the west side of Wixom in order to walk to the elementary and middle school down the street.**

**The Proposed Area is Zoned For R-1 and an apartment complex is not allowed in R-1 zoning.**

**The Apartment Complex is scheduled for Protected Wetlands** – The building of this complex will strip the area of protected wetlands that contains both trees, plant life, and wild life.

**The Villas of Stonebrook Own and Maintain Stonebrook Road** – The scheduled apartment complex will have its main entrance on Stonebrook Road – which was built, and is owned and maintained by our homeowners association.

**We encourage you to walk this area to understand our objections regarding Ownership, Revenue, Traffic and Pedestrian Safety, Zoning, Protected Wetland, and Stonebrook Road Ownership. We strongly encourage you to vote NO on any proposals to move this project forward.**

Thank you for reading my email.

Peggie DiFalco

owner - 48749 Rockwood Rd.  
Novi 48374  
Villas at Stonebrook

## Shanahan, Diana

---

**From:** Boulard, Charles  
**Sent:** Thursday, June 1, 2023 2:02 PM  
**To:** Jim F; Shanahan, Diana  
**Subject:** RE: Proposed developments on Wixom Road ( Parcel 50-22-17-101-032)

Good afternoon Mr. Freers,  
Thank you for your comments.  
I am copying Ms. Diana Shanahan with the City Planning team on this response so that she can provide your concerns and feedback to the Planning Commission.  
Regards

Charles Boulard | Community Development Director Community Development | City of Novi | 45175 Ten Mile Rd | Novi, MI 48375  
t: +1 248.347.0423 | c: 248.361.5807 | cityofnovi.org

-----Original Message-----

From: Jim F <[REDACTED]>  
Sent: Thursday, June 1, 2023 12:33 PM  
To: Boulard, Charles <cboulard@cityofnovi.org>  
Subject: Proposed developments on Wixom Road ( Parcel 50-22-17-101-032)

Good day to you all,  
First of all thank you for your public service commitments and thank you for reading my concerns on the developments on Wixom Road between Target and the Middle School.

I was alerted to a meeting on June 7th I believe about a 46 unit development, and then I see in the Novi News a meeting on June 21 ( parcel ref in subject )and this is 157-unit development.

I would like you to consider that traffic congestion is a major concern on Beck Road, to my knowledge there has yet to be an approved plan to try and mitigate this situation. What troubles me most is that the roadway infrastructure to support these developments does not rise up until they are built, the developer is gone and us residents are stuck now to pay for whatever is figured out to be the solution, I mean just monitor Beck Road and see what has happened with development after development is put up. I have to say there is no way I can support either project.

Plus it requires the removal of green space, trees , wetlands, displacing wildlife, etc. Can't we just slow down the development, prep the roads and probably sewers, too if we really need more high density housing, which we do not. We need to place a higher value on our green spaces, it affects climate issues for sure and quality of life in Novi. Please consider these issues and refuse the developer making millions and then waltzing off to count his money while we are stuck with the consequences. I do not support these Zoning or Amending a consent judgement...No More High Density Hosuing, No More paving our green spaces, no more "moving wetlands", please !!!

Jim Freers  
25622 Gina Ct

Sent from my iPad Sent from my iPad





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I SUPPORT

I OBJECT <sup>WE</sup>

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

(1) WE BELIEVE THAT OUR PROPERTY VALUE WILL DECLINE; (2) THE NUMBER OF APARTMENTS + PARKED CARS IS CONCERNING, ALSO DUMPSTERS & LIGHTING WILL POSE A PROBLEM; (3) WE BELIEVE THE TRAFFIC & SAFETY OF OUR PRIVATE ROAD WILL BE COMPROMISED; (4) THE PROPOSAL AS PRESENTED DOES NOT FIT THE UPSCALE COMMUNITY OF NOVI.  
THANK YOU.

SIGNATURE: Robert G. Gbridge Maria C. Gbridge  
PRINT NAME: ROBERT GABRIDGE MARIA C. GABRIDGE  
ADDRESS: 48738 ROCKVIEW RD., NOVI, MI 48374

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[ ] I SUPPORT

[X] I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

- 1 This land is NOT zoned for apartments it should have single family homes with garages or condos
2 An apartment complex would cause major light pollution, sound pollution and massive traffic congestion. Wixom Rd is already badly congested resulting in accidents as people turn.
3 Stonebridge Drive is a PRIVATE Rd maintained by Villas at Stonebrook no one else should be using it.
4 You would be destroying PROTECTED woodlands and wetlands. We have many animals and birds living there including a land tortoise and sandhill crane both of which are protected species
5 Safety for pedestrians and drivers will be horribly impacted 3 schools are in the area and students already walk along the grass verge in front of Stonebrook Rd. Schools: Deerfield, Novi Middle School & Catherine Central

SIGNATURE: Catherine M. Bee

PRINT NAME: Catherine M. Bee

ADDRESS: 48747 Windfall Rd Novi MI 48375

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I SUPPORT       I OBJECT

**TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

- construction would disturb regulated wetlands and remove trees.
- proposed apartments are inconsistent with the surrounding area which is single family dwellings. Also the zoning requires units with garages which the proposed apartments don't provide.
- apartment complex would increase traffic, impacting safety for students at 3 nearby schools and residents using Wildlife Woods park.
- proposed access to apartments is through Stonebrook Dr., a private road maintained by Villas of Stonebrook.

SIGNATURE: William A. Gee

PRINT NAME: William A. Gee

ADDRESS: 48747 Windfall Rd, Novi, MI 48374

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I SUPPORT

I OBJECT

**TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

**PLEASE SEE NEXT PAGE**

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SIGNATURE: SHAOQING GONG

PRINT NAME: SHAOQING GONG

ADDRESS: 26033 Island Lake Dr, Novi, MI, 48374

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**I OBJECT**

**REASONS:**

**#1.**  
**This proposed site of development for an apartment complex (Avalon Apartments) is zoned R-1. The intent of an R-1 zone is to provide for an environment of predominantly low-density, one-family detached dwellings.**

**#2.**  
**Protected Wetlands and Woodlands At Risk**

**#3. Increased population densities also mean increased traffic generation. Because of this, apartments should be located on major streets and should not be placed where they funnel large amounts of traffic through single-family neighborhoods.**

**My Address: 26033 Island Lake Dr, Novi, MI, 48374**





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I SUPPORT       I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

*This Avalon Park Apts. does not fit  
in this community. It will bring much  
more road traffic and chaos to this area.  
I am concerned about the over use of the  
Wetland Park and if that area will need  
security guards. All & All this is not a  
place for that type of Apts.*

SIGNATURE: *Cynthia Haley*  
PRINT NAME: *Cynthia Haley*  
ADDRESS: *48778 Windfall*

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Plans are available for viewing during the City's regular business hours, Monday thru Friday, from 8:00 AM to 5:00 PM, at the Community Development Department, or by contacting [bmcbeth@cityofnovi.org](mailto:bmcbeth@cityofnovi.org).

I SUPPORT       I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

Please see THE ATTACHED RESPONSE FORM COMMENTS  
AND ATTACHMENTS

SIGNATURE: X Martin Hannigan 6-1-2023

PRINT NAME: MARTIN HANNIGAN

ADDRESS: 48744 WINDFALL ROAD, NOVI MI 48374

\*\*\*IN ACCORDANCE WITH MCL 125.3103, THE MANAGER OR OWNER OF A SINGLE STRUCTURE CONTAINING MORE THAN 4 DWELLING UNITS OR OTHER DISTINCT SPATIAL AREAS OWNED OR LEASED BY DIFFERENT PERSONS, IS HEREBY REQUESTED TO POST THE NOTICE AT A PRIMARY ENTRANCE TO THE STRUCTURE(S).\*\*\*

JSP 22-01 Avalon Park Apts Response Form Comments

Submitted by Martin Hannigan 48744 Windfall Road, Novi MI 48374

I object to the rezoning of parcel ID 50-22-17-300-019 from its current zoning of R-1 One Family Residential for the following reasons.

1. The concept plan shows the entrance to the Apts to be on Stonebrook Drive. ( see picture)

However, there is no easement shown on the northside of Stonebrook that would allow ingress and egress for public use. Please refer to the Survey Plan (attached) which shows that on the north side only a 10 foot easement granted to Michigan Bell for phone lines and on the Easement Plan #3 (see attached) that there are two Open Space Preservation easements that run the full length of the north side of Stonebrook Drive that parallels the Apt Property. These easements are only separated by the 10 foot easement given to Michigan Bell

These Open Space Preservation/Conservation easements are given in perpetuity to protect the trees, wetlands, berms, 15 to 20 year old trees, animals etc. all which yield significant Public Benefit.

Please note the confusion on easements , that come from an est. 30 foot easement that runs from west to east only right down the middle of Stonebrook Drive for ingress and egress and for public utilities that service the Villas at Stonebrook and for the public access easement on the south side of Stonebrook drive that allows access to the WildLife Woods Park

The Apts cannot have access to Stonebrook Drive on the north side or remove the trees etc. along the north property line of Stonebrook Drive.

2. The density of 46 Apt units and 92 Concrete Parking Spaces will decrease the property value of the condos in the Villas at Stonebrook and the Island Lake subdivisions

The pictures of the Apts entrance show the access road to have no berms or the older trees plus it gives the public views of the Apts and all the cars that will be parked there. The current pictures only show 5 to 6 cars parked but we know that there will be 30 cars parked around each building and a total of 90+ parked cars for all to see. ( see picture) it will look like the Target and Sam's Club Parking lots as you view them from Stonebrook Dr.

If you assume two cars for each apt then where do you think visitors, repair trucks will park?

Also, its what we don't see in these pictures that scare me. No where are they showing the green and black GF trash cans for trash and recyclables that we all use, that will be a total for the 46 units of 92, where are they going? We will see them everywhere as the Apts do not have any garages to store them or what is worse the Apts will put in two large dumpsters per building for total of 6 on the property that is already to small to handle the 42 Apts. The Tenants will bring trash everywhere when the dumpsters are full as Renters do not pick up after themselves like private owners do

Also, Let's not forget Snow removal in the winter, with no garage or driveway to park all these cars in/on they will get plowed in and create a mess possible causing the renters to park their cars on Stonebrook Drive.

The project is just too dense and zoning should be left at R-1 One Family Residential

3. The Apt project should not be located in an area that supports privately owned Condos and Homes in a park like setting with trees and landscaping lining the properties. These properties each have a market value of \$550 to \$600,000 for the condos and over \$700,000 for the homes in Island Lake and they may lose an Est 20% to 25% of the market value if the Avalon Park Apartments are approved. For me that will mean a market value drop of between \$120,000 to \$150,000, guess what I'm 81 years old and will not live long enough to recover this loss in value!

Take a ride down Wixom Road from 10 mile to Stonebrook and turn onto Stonebrook and look at the beautiful trees and park like setting leading all the way into Wildlife Woods Park ( See pictures)

Apt projects possibly belong up on Napier Road or Grand River (Napier Road already has two Gravel pits and a mobile home park) . An Apt project will enhance and increase those property values instead of allowing them on Wixom Road at Stonebrook and decreasing our property values.

Also its my understanding that a another Apt development called Station Flats, consisting of one four story building with 160 units is on the drawing board and coming soon. It will be located on a parcel of property that can support the additional traffic. its to be located on the east side of Wixom Road somewhere behind Target and Sam's Club Buildings.

We do not need two Apt developments built on the east side Wixom Road between 11 mile and Grand River

4. The thing about Avalon Park is that we cannot control the Apt developer whose sole purpose is to maximize their cash flow, possibly by attracting renters who use Section 8 Housing vouchers or other low income tenants, group home units, monthly or short term rentals. All of which does nothing to support our community of privately owned condos and homes.

In addition, most developers, once an income project is completed, will sell it to other brokers who then package similar projects together and sell everything off to investors who may reside in other states or other countries. And they then hire a management company to run it, which does nothing for our Novi community

5. How can the condo owners, in the Villas at Stonebrook, be made to pay for the costs to maintain Stonebrook Drive, if the City gives the developers the right to add 92 additional cars to use the road twice a day. The construction traffic alone will destroy the brand new asphalt top coat that Pulte is installing the first week in June. Our 2023 HOA budget does not contain the funds to

repair or replace the damage that will be caused by the construction trucks using Stonebrook Dr and all the condo owners will now be faced with a large assessment this year to cover this cost.

And in the future , our monthly dues will have to be increased just to pay for the higher maintenance cost of the road created by the increased traffic flow

6. Not only is the proposed site in an R-1 Zone but protected wetlands and woodlands exist in the area.
7. Due to the density of the project and the parcel's location both Traffic flow and Safety issues arise both for cars and pedestrians

Thank you for taking the time to read my Response Form and please do not change the zoning

Marty Hannigan  
48744 Windfall Road  
Novi Michigan 48374





Photograph from IBHC.com

There has not been a recent traffic study conducted. The current volume of traffic on the single lane road has already become unpalatable.

To view why traffic surveys are imperative to the safety of residents, click the link below.

[READ MORE DETAILS](#)



Pictured above is an example of what the apartment complex would look like. Due to the location of the apartment entrance on Stonebrook Drive, the Villas will be tasked with the added responsibility of maintaining the roads and dealing with an increase in traffic, which will be a direct result of the extra vehicles being funneled through. The other area, connecting from the apartments to Wixom road, is going to be considered an Emergency Exit. The absence of turn lanes for entering or exiting in either direction, regardless of the entrance location, will significantly contribute to traffic congestion on Wixom Road. This issue is exacerbated by the fact that this particular area only has one lane in each direction and no turn lanes.

*Entrance onto Stonebrook*











# AVALON PARK APARTMENTS

Novi, MI

ARCHITECT:

11/25/2022

CIVIL ENGINEER:

*Access Ramp to  
Storage Room  
Barium and 20 yr old  
Trails removed*

**SDG**

SPIRE DESIGN GROUP

 **ATWELL**





*NOTE: Foundation landscaping shown for illustration purposes. See construction drawings for detailed information.*

CAR PARKING

**Avalon Park Apartments – Perspective**

11/25/2022



Avalon Park Apartments – Perspective

11/25/2022





The Villas  
AT STONEBROOK  
WILDLIFE WOODS PARK

STONEBROOK AT WILSON PARK





Wixom Rd  
Stonebrook Dr





NORTH BORDER  
of Green Brook  
Looking EAST from  
Lukem





North Border



NORTH BARRAGE  
LOOKING WEST FROM  
ROAD TO WINDMILL PARK







- + [Catholic Central North Campus](#)
- + [The Bond \(Flint Street & Grand River Avenue\)](#)
- + [Oak Pointe Church Addition \(North of 10 Mile Road and west of Wixom Road\)](#)
- + [Armenian Cultural Center and Church \(North of 12 Mile Road and east of Meadowbrook Road\)](#)
- + [Sakura Novi \(North side of Grand River, east of Town Center Drive\)](#)
- + [Taft Knolls III \(South of 11 Mile Road, east of Taft Road\)](#)
- + [Novi-Ten PRO](#)
- + [Beck North, Unit 59, aka Beck North Units 4 & 52 \(North side of West Road, west of Hudson Drive\)](#)
- + [Novi Professional Village Buildings IV & V](#)
- + [Novi Concrete Plant](#)
- + [Maple Medical Office](#)
- + [29580 Hudson Drive](#)
- + [Morgan Place](#)
- + [City Center Office Plaza](#)
- + [The Townes at Main Street](#)
- + [Covington Estates, aka Parc Vista](#)
- + [Luxor Estates](#)
- + [Station Flats](#)

## Station Flats

**Cross Roads:** East side of Wixom Road, between Grand River Avenue and Eleven Mile Road

**Project Submitted:** April 2022

**Occupants:** 4-story apartment building with 160 units (7 live/work units, 24 studios, 69 one-bedroom, 58 two-bedroom, and 2 three-bedroom)

**Next Steps:** Preliminary Site Plan, Consent Judgement Concept Plan, & Planning Commission



[InvestNovi](#)



[Job Opportunities](#)



[Parks & Rec Registration](#)



[Request Assistance](#)

[Betts](#)

Not only is the proposed site in an R-1 Zone, **protected wetlands and woodlands exist in the area** as well. These wetlands and woodlands are an essential part of the ecosystem and play a vital role in maintaining water quality, controlling floods, and supporting a diverse range of wildlife. Construction activities and the introduction of new infrastructure in such a sensitive area could result in severe damage to the wetlands and have long-term negative effects on the environment. Given the importance of these wetlands, any proposal to build in the area should be deemed unacceptable and inappropriate. The focus should be on protecting these wetlands and preserving them for future generations to enjoy.

**“When an area receives a zoning classification from city planners, only the specific types of structures approved by the city can be built in that area. In a neighborhood environment, R-1 Zoning helps ensure that the area remains relatively low regarding density and help boosts its appeal for new families with children. If, for example, a property developer attempted to build an apartment complex in an R-1 Zone, their efforts would be thwarted by zoning regulators. Once an area receives a zoning classification, it requires a series of legislative approvals and administrative action to change it. “**

## Shanahan, Diana

---

**From:** Lisa M. Hewitt <[REDACTED]>  
**Sent:** Wednesday, May 31, 2023 2:38 PM  
**To:** Shanahan, Diana  
**Subject:** Avalon Park Apartments - letter for the record

Dear City Council Members:

My family moved to Novi from California nearly two years ago. We chose this beautiful, vibrant community because we wanted to break free of the overpopulation of Los Angeles where everyone was on top of each other. Congested roads there meant it took 25 minutes to go four miles. The schools were terrible as classrooms were so over crowded that students spilled into portable trailers and they couldn't afford teachers for all of the subjects so parents had to volunteer to teach art, for instance.

We have been thrilled with our decision to move to Novi. This amazing community is the complete opposite of Los Angeles. We have space, less density (thus less crime) and a great school system.

However, we're extremely concerned about the potential of approving a new apartment complex on Wixom Road. The density of the units--46 in that small area--will take away from the beautiful green space and contribute to the congestion in the area.

The schools, a major draw for the area, are going to go downhill if we keep adding residences. Deerfield is already starting to burst at the seams. They won't be able to accommodate more children and families without a decrease in quality.

Additionally, Wixom road is growing more congested by the day. When school lets out it's a madhouse with cars trying to park all over for pick up. (That's a separate issue!).

We chose this area for the urban living (yay, Target) with the suburban feel - lots of land and greenery. One of our favorite aspects of Novi is how the city has sustained green space in the midst of development. Now, to hear some of the precious, beautiful parts of nature might be bulldozed in favor of yet more apartments is deeply disturbing. These precious wetlands are what help separate Novi from other cities in Michigan and across the United States. Let's not take away our identity.

Please, let's keep the charm and beauty of our city intact and not allow more building and development in the area. We don't need more people or more traffic. Let's not turn Novi into Los Angeles.

Warm Regards,  
Lisa Hewitt  
Island Lake Subdivision





**CITY OF NOVI**

**RESPONSE FORM**

**RECEIVED**

**JUN 01 2023**

**CITY OF NOVI  
COMMUNITY DEVELOPMENT**

**JSP22-01 AVALON PARK APARTMENTS, LOCATED ON THE EAST SIDE OF WIXOM ROAD, NORTH OF ELEVEN MILE ROAD (SECTION 17) FOR RECOMMENDATION TO THE CITY COUNCIL FOR CONCEPT PLAN APPROVAL UNDER THE PLANNED SUBURBAN LOW RISE OVERLAY DISTRICT.**

You are invited to attend the public hearing on June 7, 2023 and voice your support or objection.

Participants may also choose to submit comments that can be read into the record if they are unable to attend. To submit a written reply, you may use this form to reply by mail, email, or fax. Returning this form by mail, email, or fax has as much validity as verbal comments. Signed comments will be added to the record of the meeting. Unsigned or anonymous comments **WILL NOT** be considered. Written comments must be received by 4:00 PM on the day of the meeting.

Return via email: [dshanahan@cityofnovi.org](mailto:dshanahan@cityofnovi.org)

Return via mail or fax: Community Development Department  
45175 W. Ten Mile, Novi, Michigan 48375  
248-347-0475 (Main) 248-735-5633 (Fax)

Information regarding the project will be available to view the Saturday before the meeting date at: <https://www.cityofnovi.org/Agendas-Minutes/Planning-Commission/2023.aspx>.

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I SUPPORT

I OBJECT

**TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

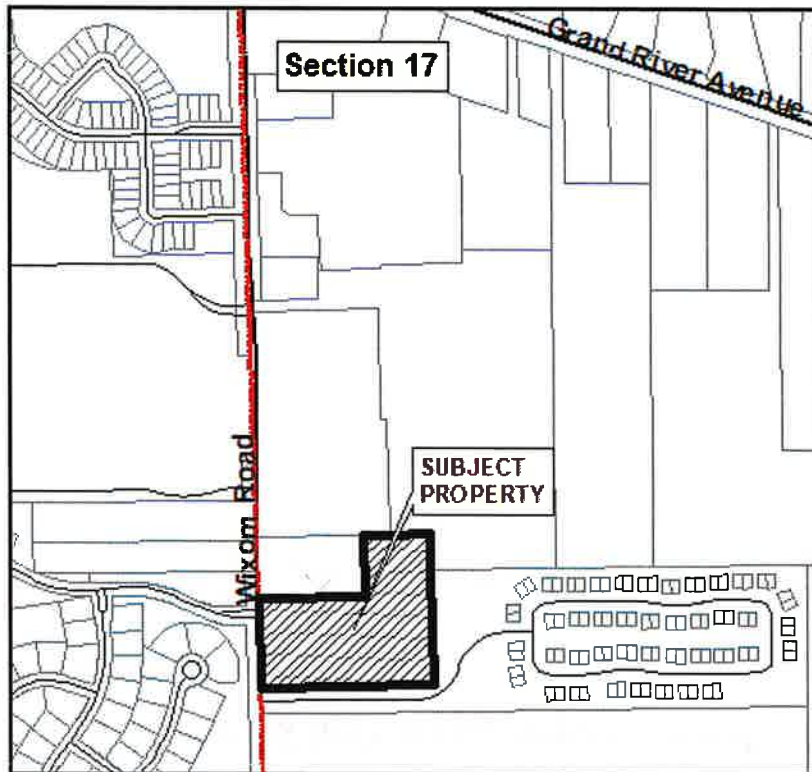
- increase traffic - which is very heavy now with 3 schools, SAMS, TARGET
  - 3 schools nearby - safety, more students in schools, ↑ BUS traffic
  - Would not have bought my home in the villas @ Stonebrook if Pulte shared this info
  - Destroying woodlands/wetlands. At one time Novi wanted to preserve the land and was known as "tree city." Can nearby fire station/EMS handle additional buildings and people safely? Potential increase in crime.
  - increased signage and lighting pollution added to a quiet and serene area and private isn't good.
- SIGNATURE: Mary Hogle  
 PRINT NAME: MARY HOGLE  
 ADDRESS: 48812 Rockview Rd. NOVI MI 48375

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- I Feel the proposed development does not fit into this area of the community. The road is a private road and many residents (homeowner from VES) like to walk. with trash and dumpsters nearby who knows what rats and diseases could occur over-

CITY OF NOVI  
PUBLIC HEARING NOTICE

NOTICE IS HEREBY GIVEN that the Planning Commission for the City of Novi will hold a public hearing on Wednesday, June 7, 2023 at 7:00 P.M. in the Novi Civic Center, 45175 W. Ten Mile Road, Novi, MI to consider **JSP22-01 AVALON PARK APARTMENTS, LOCATED ON THE EAST SIDE OF WIXOM ROAD, NORTH OF ELEVEN MILE ROAD (SECTION 17) FOR RECOMMENDATION TO THE CITY COUNCIL FOR CONCEPT PLAN APPROVAL UNDER THE PLANNED SUBURBAN LOW RISE OVERLAY DISTRICT.** The applicant is proposing 46 apartment units arranged in three low-rise buildings on an 8.78 acre parcel. The subject property is currently zoned R-1, One Family Residential with the Planned Suburban Low-Rise Overlay. Plans are available for review at the Community Development Department in the Novi Civic Center.



Subject Property Parcel ID: 50-22-17-300-019

All interested people are invited to attend. Verbal comments may be heard at the hearing and any written comments must be received by the Planning Department, 45175 W. Ten Mile Road, Novi, MI 48375 by 4:00 P.M., Wednesday, June 7, 2023.

Published May 18, 2023  
Novi Planning Commission  
Michael Lynch, Secretary

AT ONE TIME I FELT THE City of Novi was behind the residents. Living here over 25yrs something about this city has changed. Why would the city even consider destroying this area of the community, woodlands and wetlands



CITY OF NOVI  
RESPONSE FORM

RECEIVED

JUN 02 2023

CITY OF NOVI  
COMMUNITY DEVELOPMENT

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45175 W. Ten Mile, Novi, Michigan 48375  
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I SUPPORT

I OBJECT

**TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

This project does not fit the rest of the community. The subject property is zoned R-1. Even using the PSLR Overlay, the proposed apartment will not result in a recognizable and substantial benefit to the community. In fact, with the higher density proposed, this project will result in an unreasonable burden upon the subject property, the surrounding land, nearby property owners and the natural environment. This is not a project that should be supported by anyone. This project would destroy Regulated Wetlands/Woodland - There are currently 5 regulated wetlands that the developer plans on disturbing or removing. Additionally this project would allow the removal of 24 woodland-regulated mature trees, as well as 5 others in the surrounding area, and the Developer is only proposing to replace trees with 7 trees which are not in accordance with City zoning. Note: many of the large trees being proposed to be destroyed are maple trees which help redistribute soil water. Why would the City consider something like this? This goes against the City's previously firm position on tree preservation.

SIGNATURE: \_\_\_\_\_

PRINT NAME: XIANGHU JIA

ADDRESS: 48713 WINDFALL RD, NOVI, MI 48240

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**CITY OF NOVI**  
**RESPONSE FORM**

**RECEIVED**  
**MAY 31 2023**  
**CITY OF NOVI**  
**COMMUNITY DEVELOPMENT**

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I SUPPORT       I OBJECT

**TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

*We bought and paid premium for our condo site mainly due to its tranquil setting. Our condo's back faces one of the ponds. Only sightings include ducks, geese, turkeys, deer. The proposed apartments would be almost in our back yard, destroying wetlands and woodlands with it. When school is in session, the morning traffic is bad. It takes a long time to turn on the Wixom Rd. With more people using Stonebrook Dr. the traffic congestion will get even worse.*

SIGNATURE: *J. Wei*

PRINT NAME: Wei Jin

ADDRESS: 48888 Windfall Rd, Novi, MI 48374

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CITY OF NOVI  
RESPONSE FORM

RECEIVED

MAY 31 2023

CITY OF NOVI  
COMMUNITY DEVELOPMENT

THIS NOTICE OF INTENT TO REVOKE IS BEING POSTED FOR THE PUBLIC INFORMATION OF ALL PERSONS WHO MAY BE AFFECTED BY THE CITY'S CONSIDERATION OF AN APPLICATION FOR A ZONING VARIANCE. YOU WILL BE NOTIFIED BY MAIL OF THE CITY'S CONSIDERATION OF THE APPLICATION APPROXIMATELY 30 DAYS BEFORE THE PUBLIC HEARING.

Project Name: [Blank]  
Project Address: [Blank]  
Project Description: [Blank]  
WILL YOU SUPPORT OR OBJECT TO THE ABOVE REQUEST?

Project Name: [Blank]  
Project Address: [Blank]  
Project Description: [Blank]  
City of Novi, Community Development  
4510 W. Ten Mile Road, 48162-3000  
248.347.6400 (Main) 248.735.9633 (Fax)

Information regarding this project will be available to view the details regarding the project at the following address:  
[Blank]  
[Blank]  
Information regarding this project will be available during the City's regular business hours, Monday through Friday, at the Community Development Department, or by contacting [Blank].

I SUPPORT       I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

- > Great Development
- > Good tax base
- > I live in Island Lake / Vinyard
- right across

SIGNATURE: [Signature]  
PRINT NAME: NEVUS KAJA  
ADDRESS: 26553, ANCHORAGE CT

NOTICE: IN ACCORDANCE WITH MCL 125.3103, THE MANAGER OR OWNER OF A SINGLE STRUCTURE CONTAINING MORE THAN 4 DWELLING UNITS OR OTHER BUILDING UNITS HAS OBTAINED OR LEASED BY DIFFERENT PERSONS IS HEREBY REQUESTED TO POST THE NOTICE AT A WORKING ADDRESS TO THE PUBLIC.

313-587-1268



**CITY OF NOVI**  
**RESPONSE FORM**

**RECEIVED**  
**JUN 01 2023**  
**CITY OF NOVI**  
**COMMUNITY DEVELOPMENT**

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I SUPPORT       I OBJECT

**TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

The proposal will burden Wixom road with significant traffic congestion & safety risk. Wixom road is a 2 lane and is already congested during rush hours, with commercial properties like Sams club & Target right in the vicinity

The proposal also puts wetlands & woodlands at risk.

**SIGNATURE:** Vineeth Kallur

**PRINT NAME:** Vineeth Kallur

**ADDRESS:** 50745 Calvert Isle Drive, Novi MI 48374

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CITY OF NOVI

RESPONSE FORM

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I SUPPORT

I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

The congestion on Wixom Road under current conditions make it difficult and sometimes dangerous entering or exiting Stonybrook Drive. Unless there is a plan to widen Wixom Rd or install a traffic light at Stonybrook I believe the additional traffic will negatively impact the current residents of the area.

SIGNATURE: Alice Karoub

PRINT NAME: ALICE KAROUB

ADDRESS: 48838 ROCKVIEW

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CITY OF NOVI  
RESPONSE FORM

**RECEIVED**  
**MAY 31 2023**  
**CITY OF NOVI**  
**COMMUNITY DEVELOPMENT**

JSP22-01 AVALON PARK APARTMENTS LOCATED ON THE EAST SIDE OF WIXOM ROAD NORTH OF ELEVEN MILE ROAD (SECTION 17) FOR RECOMMENDATION TO THE CITY COUNCIL FOR CONCEPT PLAN APPROVAL UNDER THE PLANNED SUBURBAN LOW RISE OVERLAY DISTRICT.

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Return via email: [dshanahqn@cityofnovi.org](mailto:dshanahqn@cityofnovi.org)  
Community Development Department  
45175 W. Ten Mile, Novi, Michigan  
48375  
248-347-0475 (Main) 248-735-5633 (Fax)

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I SUPPORT                       I OBJECT  
TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

Hello, **I very strongly** object this since I believe this will over crowd Novi and put strains on public schools as well as increase housing taxes. Also, I moved to Island Lake community for nature and good public schools/community. Apartments will bring down my property value and I am not happy about influx of people moving in just to use good school district.

SIGNATURE: J. Kashat  
PRINT NAME: Jashmita Kashat  
ADDRESS: 24790 Neavine Drive. Novi. MI 48374

•••IN ACCORDANCE WITH MCL 125.3103, THE MANAGER OR OWNER OF A SINGLE STRUCTURE CONTAINING MORE THAN 4 DWELLING UNITS OR OTHER DISTINCT SPATIAL AREAS OWNED OR LEASED BY DIFFERENT PERSONS, IS HEREBY REQUESTED TO POST THE NOTICE AT A PRIMARY ENTRANCE TO THE STRUCTURE(S).•••





**CITY OF NOVI**  
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I SUPPORT       I OBJECT

**TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

- More traffic on Wixom Road which is already deteriorating.
- More light pollution
- Wear and tear on the private road.  
Will the apartment owners help pay for repairs?
- Does not blend with surrounding communities.

SIGNATURE: Martha Keyse

PRINT NAME: MARTHA KEYSE

ADDRESS: 48640 WINDFALL ROAD, NOVI 48374

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**CITY OF NOVI**

**RESPONSE FORM**

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MAY 19 2023

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I SUPPORT

I OBJECT

**TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

\* ADDITIONAL TRAFFIC - ALREADY DIFFICULT TO GET ON WIXOM RD.  
\* MORE FOOT TRAFFIC - PEOPLE TAKING WALKS INTO MY NEIGHBORHOOD. WE LIKE OUR SMALL COMMUNITY AND PRIVACY - DONT WANT ADDITIONAL PEOPLE DISRUPTING OUR PEACE

SIGNATURE:

PRINT NAME:

ADDRESS:

*Young Kil*  
Young Kil  
48853 WINDFALL Rd Novi, MI 48374

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JUN 02 2023

CITY OF NOVI  
COMMUNITY DEVELOPMENT



CITY OF NOVI  
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I SUPPORT

I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

- I object to proposed zoning changes
- \* Traffic and road safety concerns are a major concern.
- > Sig. loss of property value
- Loss of wetland/wildlife/trees/

SIGNATURE: Ralph Kentry

PRINT NAME: Ralph Kentry

ADDRESS: 48750 Woodwell Rd. Novi MI 48374

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COMMUNITY DEVELOPMENT**

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I SUPPORT

I OBJECT

**TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

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SIGNATURE: *Gerald Hoss* *Barbara R Hoss*  
PRINT NAME: Gerald H. Hoss Barbara R Hoss  
ADDRESS: 48841 Rockview Road NOVI MI 48374

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May 19, 2023

To: Novi Community Development Department  
45175 W. 10 Mile Road  
Novi, MI 48375

Subject: JSP 22-01 Avalon Park Apartments Development

The purpose of this communication is to oppose the Avalon Park Apartments development which is proposed to be built on the east side of Wixom Road, North of Eleven Mile within the physical boundaries of Wildlife Woods Park and the Villas of Stonebrook condominium complex.

We have been residents of Novi since June, 1998 when we moved into the Chase Farms Development. We have thoroughly enjoyed our years in Novi, raising two children in a wonderful city that has an excellent city government, outstanding schools and recreational facilities just to mention a few.

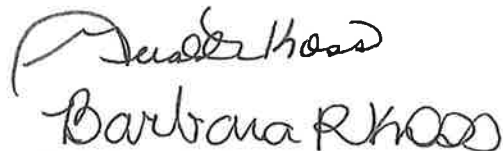
Approximately 2 ½ years ago we made a decision to downsize our residence after our children completed their education and moved out of state. Due to our complete satisfaction with Novi our decision was made to remain in the city.

During our time searching for locations, we became aware of the Villas of Stonebrook condominium complex. It was a perfect fit – small community, built within the Wildlife Woods Park complex, providing green space and a relaxing environment.

The recent potential of the Avalon Park Apartments being built in this area takes away a major reason for our selection of this location. It will increase traffic significantly (exiting onto Wixom Road is already a challenge today with the residents that live within our complex and individuals who utilize the amenities of Wildlife Woods Park. It will remove beautiful vegetation and trees along with impacting the wetlands where the wildlife live. Additionally, it reverses the communication from the builder (Pulte) that no development would take place on the remaining land. Had we known that the potential for further development would be possible our decision would have changed.

We appreciate the opportunity to voice our concerns and sincerely request that the city turn down the proposal for the development of the building of the Avalon Park Apartments.

Thank you for the opportunity to provide our feedback. We look forward to participating in the public hearing on June 7, 2023.



Gerald and Barbara Koss  
48841 Rockview Road  
Novi, MI 48374

Janice Krupic  
48870 Windfall Rd.  
Novi, MI 48374  
248.921.7250

RECEIVED  
JUN 02 2023  
CITY OF NOVI  
COMMUNITY DEVELOPMENT

June 2, 2023

Dear Novi City Council Member and Planning Commission,

My name is Janice Krupic, a Novi resident at 48870 Windfall Rd, Novi, Michigan. I, along with thousands of other Novi residents, **strongly oppose** the high-density Avalon Park Apartments being proposed off Wixom Road, adjacent to Deerfield Elementary School and across from Island Lake. You have likely heard from many of these residents via e-mail, signed petitions, City of Novi Response Forms, and you will hear in person from many residents on June 7<sup>th</sup>, expressing their opposition to this proposed project. Whether these concerned voting Novi residents live in neighboring subdivisions such as Island Lake, Oberlin, Berkshire Pointe, Birchwoods, Villas at Stonebrook or other Novi developments or have children at Deerfield Elementary, Novi Middle School or Catholic Central, our shared concerns regarding this proposed development are numerous.

At the forefront of such concerns, is constructing a high-density multi-family rental development, with shared entryways and cement parking spaces, being sandwiched in an already high-traffic corridor. The entire stretch of Wixom Road, between 10 Mile and Grand River, consists of low-density, single-family homes with attached garages, single home entry access and a high ratio of home ownership. The Developer's proposal calls for high-density residential units without attached garages and access from an already high traffic private access road. Further, the Developer is asking the City for **ten variances**, designed to force fit this proposed development into this community, which is inconsistent with the City's development goals.

On May 25, 2023, several of the HOA Presidents in the surrounding neighborhoods had the opportunity to meet with the Developer's representatives. The Developer's representatives initially considered developing the proposed land for four single-family homes with garages on the property, which most of the current Novi citizens currently expressing opposition would fully support. However, the Developer quickly changed its development plans by realizing it could make a much greater profit by stretching the city zoning ordinances, asking for an extensive amount of variances, and utilizing the private road for access, which is privately owned, maintained and paid for by **the residents of Villas at Stonebrook**. Further, the Developer's representatives indicated that they tried purchasing the property next to the proposed development in question but were unsuccessful. As such, it is particularly concerning that the longer-term vision of this Developer is not only to put 46 residential units initially, but rather to double or even triple in size in the future, which further exacerbates the concerns at hand.

When we asked the Developer's representatives about traffic concerns and a traffic study, they quickly dismissed this concern by indicating that a traffic study was not required and/or necessary under the City of Novi's ordinances. This was personally shocking and completely irresponsible given the already high level of traffic in this area of Wixom Road. As a main traffic route of new housing developments in South Lyon, the increased volume of traffic on Wixom Road between Grand River and 10 Mile has increased concerns for the **safety of our school-aged children** crossing from Catholic Central, Deerfield Elementary and Novi Middle School. If the traffic was not of concern, then why are there multiple crossing guards, including Novi Police officers stepping in as crossing guards? Personally, I try to avoid Wixom Road in this area during the beginning and end of the school day, as there is so much congestion with many parked cars lining the streets of Island Lake, blocking entry/exit points to my subdivision. The primary reason I avoid these times is because I do not want to be present when a tragic accident occurs impacting one of our **school children**. Hopefully, the City of Novi does not wait for this to occur by allowing such a high-density development to be approved.

In addition to this proposed development desiring access to Stonebrook, also sharing access to this private road is Wildwood Park, the Novi Public Park with pickleball courts, baseball fields, and picnic pavilions. Although, in theory, the park is a nice asset for the community, it is also not without **safety concerns**. I have witnessed motorcycles entering from the Deerfield side, parking on the sidewalk next to the pavilion, cars parking on the grass in between the planted trees, and several of my neighbors have picked up beer cans and bottles on the park property. When a public park, with the findings noted above, next to an elementary school and then consider a high-density, multi-family apartment complex, there are plenty of opportunities for safety-concerning events to occur. Simply, this is just not the right proposed development for this particular parcel of property. While I appreciate that development for the parcel will occur, the nature of the development should be consistent with the neighboring parcels.

Although residents share many other concerns such as the removal of mature trees, woodlands, and wetlands, which city ordinances maintain to protect and preserve with the wildlife and the quiet and serene lifestyle R1 zoning was designed for, the issues cited above should be more than ample to **shut down this project as proposed altogether** with consideration for a development (single family homes, or duplex style of the connecting property) that is more suited for the proposed area. I appreciate your time and attention to this matter.

Respectfully,

*Janice Krupic*

Janice Krupic  
48870 Windfall Rd.  
Novi, MI 48374





CITY OF NOVI

RESPONSE FORM

RECEIVED

MAY 22 2023

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I SUPPORT

I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

1. Concern for damage to woodlands. 2. No garages. 3. Removal of adult trees. 4. Traffic & safety concerns. 4. We (our association) are responsible for the road which is, as I understand it, a private road. Adding another development with hundreds of cars will produce wear & tear that those cars are not paying for. 5. The impact on my property value is a huge issue.

SIGNATURE: William F. Leach

PRINT NAME: William F. Leach

ADDRESS: 48689 Rockview Rd., Novi, 48374

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I SUPPORT

I OBJECT

**TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

- No reason to increase traffic flow to the Stonebrook sub!
- Destroy the wild files & wetlands on site
- make traffic problem on Wixom road even worse
- The original overlay of the property is to better quality of life to the neighborhood, Apartment is certainly not!

SIGNATURE: *Kathy Qin Li*

PRINT NAME: Kathy Qin Li

ADDRESS: 48864 Windfall Rd. Novi. 48374

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I strongly object!

I SUPPORT

I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

- ① Rental properties will cause significant safety concerns!
- ② Traffic issues
- ③ Additional safety concerns for the school
- ④ Our house valuation damage-

SIGNATURE: Lashan Li

PRINT NAME: Laihang Li

ADDRESS: 25840 Oberlin Blvd, Novi, MI, 48374

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I SUPPORT

I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

\* THIS PROPERTY WILL BE ONLY APARTMENT PROPERTY IN THIS AREA. WILL LOOKS GOOD.  
\* THE SUBJECT PROPERTY IS TOO CLOSE TO Stonebreak Rd. IT DESTROYING THE APPEARANCE OF THE ROAD  
\* IN A SMALL AND LIMITED LAND AREA, DEVELOPER TRY TO SQUEEZE TOO MANY UNITS.

SIGNATURE: Sigong Scott LI

PRINT NAME: SIGONG SCOTT LI

ADDRESS: 48715 ROCKVIEW RD, NOVI, MI 48374

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**CITY OF NOVI**  
**RESPONSE FORM**

**RECEIVED**

**MAY 31 2023**

**CITY OF NOVI  
COMMUNITY DEVELOPMENT**

JSP22-01 AVALON PARK APARTMENTS, LOCATED ON THE EAST SIDE OF WIXOM ROAD, NORTH OF ELEVEN MILE ROAD (SECTION 17) FOR RECOMMENDATION TO THE CITY COUNCIL FOR CONCEPT PLAN APPROVAL UNDER THE PLANNED SUBURBAN LOW RISE OVERLAY DISTRICT.

You are invited to attend the public hearing on June 7, 2023 and voice your support or objection.

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Return via email: [dshanahan@cityofnovi.org](mailto:dshanahan@cityofnovi.org)

Return via mail or fax: Community Development Department  
45175 W. Ten Mile, Novi, Michigan 48375  
248-347-0475 (Main) 248-735-5633 (Fax)

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I SUPPORT       I OBJECT

**TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

PLEASE SEE NEXT PAGE

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SIGNATURE: XINTONG LI  
PRINT NAME: XINTONG LI  
ADDRESS: 26033 Island Lake Dr, Novi, MI, 48374

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## **I OBJECT**

### **REASONS:**

**#1.**

**This proposed site of development for an apartment complex (Avalon Apartments) is zoned R-1. The intent of an R-1 zone is to provide for an environment of predominantly low-density, one-family detached dwellings.**

**#2.**

**Protected Wetlands and Woodlands At Risk**

**#3. Increased population densities also mean increased traffic generation. Because of this, apartments should be located on major streets and should not be placed where they funnel large amounts of traffic through single-family neighborhoods.**

**My Address: 26033 Island Lake Dr, Novi, MI, 48374**



**CITY OF NOVI**

**RESPONSE FORM**

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**CITY OF NOVI**  
**COMMUNITY DEVELOPMENT**

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I SUPPORT       I OBJECT

**TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

*We object for the reasons noted on the attached petition form.*

SIGNATURE: *Karen Lionas*      *Steven H. Lionas*  
PRINT NAME: KAREN LIONAS      Steven H. Lionas  
ADDRESS: 48669 Rockview Rd. Novi, MI 48374

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## Petition to Prevent Avalon Park Apartment Development

We the undersigned, who are Novi, MI residents living in homes located near Wixom Rd. between 10 Mile and Grand River, strongly oppose the Avalon Park Apartment (APA) (Monopoly Investors, LLC) development being proposed on the east side of Wixom Rd., between 11 Mile Road and Grand River, for the following reasons:

### Density

46 apartments and greater than 92 parking spaces are being proposed in an 8.78-acre area with a good portion of this land being state-regulated woodlands and wetlands.

### Zoning

The property is zoned R1, with PSLR overlay. PSLR requires individual units to have garages. The proposed development (APA) does not include garages, or covered carports.

### Regulated Wetlands/Woodlands

There are currently five regulated wetlands that the developer plans on disturbing or removing. Additionally, they are proposing to remove 24 woodland-regulated mature trees, as well as 5 others in surrounding areas, and they are only proposing to replace the removed trees with 7 trees which are not in accordance with city zoning. Note, many of the large trees being proposed to be destroyed are maple trees which help redistribute soil water -

The destruction of wetlands and woodlands impacts indigenous birds and other wildlife populations which contradicts the current State of Michigan preservation of wetlands and other conservation-related policies.

### Retention Ponds

The location of the proposed retention pond is adjacent to the retention pond in Villas at Stonebrook which prevents any barrier from the existing development.

### Traffic and Safety

Due to the increasing amount of traffic on Wixom Rd., this site impacts the safety of all drivers and pedestrians. Of greatest concern are children with multiple neighboring schools (Deerfield Elementary, Novi Middle School, and Catholic Central High School). Safety is obviously a concern for the city regarding school children as the stretch on Wixom Rd. by Deerfield now has a reduced speed limit of 25 mph. Additionally, schoolchildren of all ages are attempting to cross the road in the middle of traffic without any crosswalk.

The existing homes and condominiums in the area represent a very stable population, whereas the introduction of an apartment complex signifies a more transient population which is not in keeping with the current developed community.

Additionally, introducing an apartment development adjacent to an existing City park, presents all sorts of opportunities for undesired and unsupervised disruption which not only the homeowners should be concerned with, but equally the school and the city regarding increased liability.

#### Private Road

As per multiple conversations with City planning and zoning representatives, Stonebrook Dr. remains a private road of which the City park and Sunoco have built-in rights of usage. Yet, the residents of Villas at Stonebrook are the ones responsible for paying for the upkeep and maintenance of the road. Adding another development with minimally hundreds of cars utilizing this private road, adds to the wear and tear of a road that these residents or developers would not be paying for. With the increased usage of the road, residents desiring to use the park may be prevented from doing so due to the need to close the road for repair.

#### Lighting

The proposed development indicates at least 20 large commercial lighting structures which will create luminance pollution impacting the quality of life for all nearby residents. There is no reasonable remedy to offset the impact of such commercial lighting.

#### Impact on Property Value

In keeping with the integrity of the current land use in the surrounding areas, the construction of an apartment complex is not fitting both aesthetically and with the current single-family residences located all along and nearby Wixom Rd.

#### Construction Noise/Debris

The surrounding residents will have to contend with multiple construction vehicles daily for months, again utilizing the private road as well as Wixom Rd. leading to erosion. The proposed development requires an emergency exit which is to be located on Wixom Rd. Therefore, why would the entrance to the development not come off Wixom Rd. rather than the private road that the residents of Villas at Stonebrook are paying for? Obviously, the City of Novi had some reservations with another main entrance to a community off Wixom Rd. Thereby, the developer is wishing to use a private road for which they are not paying.

#### Dumpster – rats/diseases

With such a proposed development comes commercial dumpsters. With commercial dumpsters comes vermin, strong odors of rotting garbage, unwanted critters, and potential diseases. Commercial dumpsters, especially so close to a major road, invite others to dump their unwanted trash, therefore creating a dumpster site.

#### Tax Revenue

Renters do not pay property taxes like homeowners do, therefore lessening their motivation to maintain the premises as required by home developments being regulated by HOAs. It would be advantageous for the City of Novi to receive tax revenue coming directly from homeowners rather than a rental development for maximizing their profit.





**CITY OF NOVI**

**RESPONSE FORM**

**RECEIVED**  
**MAY 23 2023**  
**CITY OF NOVI**  
**COMMUNITY DEVELOPMENT**

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I SUPPORT

I OBJECT

**TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

- Deviations.** This project went from 2 to 10 at least. If 10 are needed, then this project does NOT belong in Novi.
- Safety.** Elementary, Middle, and Catholic Central schools all less than ½ mile away. And we are mainly seniors here.
- Traffic.** Way too much traffic in this area already and no traffic lights here. Major congestion. New study required.
- Environment.** This will destroy 5 regulated wetlands, eliminate retention ponds, and remove 24 mature trees.
- Lighting.** Significant light pollution will result from this project and violates lighting pollution ordinance.
- Garbage.** Dumpster garbage plan would invite rodents and pests, their diseases, odors, noise and poor appearance.
- Community cohesiveness & density.** This does NOT fit this community, natural environment, or the R-1 zoning.

SIGNATURE: Logan D. Mays  
 PRINT NAME: LOGAN D. MAYS  
 ADDRESS: 48614 WINDFALL RD., NOVI, MI 48374

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**Logan D. Mays**  
**48614 Windfall Road**  
**Novi, MI**  
**48374-6303**



CITY OF NOVI  
RESPONSE FORM

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JUN 02 2023

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I SUPPORT

I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

My wife and I object due to the possibility of increased traffic in a school area. The infrastructure is not adequate for such a project.

SIGNATURE:

PRINT NAME:

Scott McEvire

ADDRESS:

50801 Chesapeake Drive  
Novi, MI 48374

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I SUPPORT

I OBJECT

**TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

Zoned R-1, the City should maintain its first thought of the community in Novi, not the afterthought of an overlay that is not in line with the established community – homes with private entrances & garages. It is inappropriate to change the zoning to include apartments (a business) in this privately-owned unit community. The City of Novi's website mentions "quality of life...is the way of life...so much to be proud of" The proposed plan is not in line with the character of the nearby area and will cause issues – more traffic in an unsafe area with a hill on Wixom, school issues, reduced woodlands, wildlife, wetlands, greenspace and retention ponds (possible impact to drainage Villas at Stonebrook (VaS) retention system), & light pollution. It adds traffic of up to 101 cars – **several times a day plus** delivery and service vehicles. The open space and greenspace that Novi is known for will be lost. It asks for too many variances to allow for this congested project. Novi City should be in control of its growth. The goal should be for the quality of life for those already living here not a quick buck for developers. Have a plan and stick to it – don't be influenced by developers. Additionally, as a resident of VaS, this project would be putting additional burden on the 84 homeowners to pay for the increase the degradation of their road for the financial gain of a business – an unfair burden.

SIGNATURE: Patricia McLaughlin

PRINT NAME: Patricia McLaughlin

ADDRESS: 48667 Windfall Rd., Novi, MI 48374

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I SUPPORT       I OBJECT

**TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

Two years ago, my wife and I moved back to Michigan. We settled in Novi because it had a lot to offer like open space, lots of green areas, wildlife, and a well-planned city. The City of Novi's website mentions "quality of life...is the way of life...so much is to be proud of" – a reason to choose Novi. Now, it seems that the City is willing to throw these beliefs out the window and rezone the area to add apartments, which will reduce the wetlands, wildlife, open spaces, and add more traffic to an already dangerous area on Wixom between 11 Mile and Catholic Central. The City is not doing a traffic study of the area and if they did, they would find congestion on Beck, Grand River, 10 Mile and Wixom. Adding an apartment complex will make traffic even heavier. The traffic problem on Wixom between Grand River and 10 Mile is heavy because of the schools on 11 Mile and Wixom, Catholic Central, Wildlife Park, Sam's Club and its gas station, and Target on Wixom. Adding an apartment complex will make traffic even heavier. To bend to allow any variances for the congested project to be passed – is shame on the City of Novi for caving in to reduce the quality of life for those who have already made this their home.

SIGNATURE: Truman A McLaughlin  
PRINT NAME: Truman A McLaughlin  
ADDRESS: 48667 Windfall Rd Novi 48374

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I SUPPORT

I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

See attached

SIGNATURE: [Handwritten Signature]

PRINT NAME: Donna M. Melonio

ADDRESS: 48835 Rockview Rd Novi 48374

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May 17, 2023

48835 Rockview Road  
Novi, MI 48374

Community Development Department  
45175 W. Ten Mile Road  
Novi, MI 48375

To Whom it May Concern:

RE: JSP22-01 Avalon Park Apartments Development

As a resident of Villas of Stonebrook, Lot #42, with the above address, I was one of the very first residents to secure occupancy, and I have watched this community grow. I am strongly against the proposed development "as is" for the following reasons:

1. The proposed 42 units are well above the desired density for this lot and would need re-zoning.
2. The proposed 42 units, with expectations of two (2) vehicles per unit for 84 vehicles minimally on a daily basis will make ingress/egress (especially left turns) onto Stonebrook Road even more treacherous and create more and dangerous back-ups on Wixom Road, especially for left turns.
3. The proposed additional wear and tear on the private road owned and maintained by Villas of Stonebrook homeowners will result in additional costs to maintain over the years, with no costs being recovered from Avalon residents.
4. Pulte may have deeded the 60' easement for future usage, but buried that deal in paperwork, and none of the current Villa residents were informed of this clause at the time of their purchase of a lot in Villas.
5. The proposed development requires the removal of many mature trees, against the city of Novi Tree ordinance. Any new trees planted would be decorative and immature for many years.
6. The proposed development may have adverse effects on the existing ponds/protected wetlands currently located on/adjacent to the property. The turtle population is currently thriving!
7. The Wildlife Park was created to protect the wildlife in the area. The proposed development would adversely affect the habitat of existing wildlife that I see on daily walks with my dog; from deer, turkeys, geese, snapping turtles (large and small) and other turtles, sandhill cranes, herons, birds of all kinds.
8. The proposed lighting plan for the parking areas will create a "Target parking lot" effect and will adversely affect nightsky; Villas does not even have streetlights in accordance with Novi policy, except at the entrance and mailboxes.

It is for the above stated reasons that I object to the proposed development. I may be contacted at [REDACTED] or [REDACTED] for further comments.

Respectfully



Donna M Melonio



**CITY OF NOVI**  
**RESPONSE FORM**

**RECEIVED**

**MAY 24 2023**

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COMMUNITY DEVELOPMENT**

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I SUPPORT

I OBJECT

**TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

To much traffic coming into Stonebrook driveway.

SIGNATURE: Saundra Monson

PRINT NAME: Saundra Monson

ADDRESS: 48821 Windfall Rd. Novi, Mi. 48374

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## Shanahan, Diana

---

**From:** Andrew Morrison <[REDACTED]>  
**Sent:** Tuesday, May 30, 2023 4:15 PM  
**To:** Shanahan, Diana  
**Subject:** Fwd: Proposed High-DensityAvalon Apartment Complex

My objection to the proposed development is described below. The original email address was in error.

Andrew J. Morrison, Ph.D.

[REDACTED]  
25855 Shoreline Drive, Novi, Mi. 48374

Begin forwarded message:

**From:** Andrew Morrison <ajmumich@gmail.com>  
**Date:** May 30, 2023 at 3:37:40 PM EDT  
**To:** dshanahan@cityofnovi.or  
**Subject:** Proposed High-DensityAvalon Apartment Complex

I object to this proposed development. The Wixom road area of Novi is heavily developed already with single family homes and condos. With the addition of the Pulte development north of Catholic Central and the condo development north of the Deerfield school, the area has been saturated with additional housing in the last few years. Wixom road is already heavily traveled, and has dense traffic during morning and afternoon school hours from both the Deerfield and Catholic Central traffic.

An apartment complex in this area is completely out of character with the other housing. It would only add to an already difficult traffic situation. I hope the city officials come to their senses and reject this development.

Sincerely,

Andrew J. Morrison, Ph.D.

[REDACTED]  
20 year resident and home owner of Island Lake at 25855 Shoreline Drive, Novi, Mi 48374



**Shanahan, Diana**

---

**From:** Sridhar Navalpakam <[REDACTED]>  
**Sent:** Friday, June 2, 2023 12:56 PM  
**To:** Shanahan, Diana  
**Subject:** Objections to Avalon Park Apartment Proposed Project

Community Development Department  
4517 W Ten Mile, Novi, MI 48375

Dear City Officials:

We hereby express our **Objections** to Avalon Park Apartment Proposed Project, for the following reasons:

1. This Project does not fit the rest of the community. The subject property is zoned in R-1. even during the PSLR overlay, the proposed apartment will not result in a recognizable and substantial benefit to the community. In fact with the higher density proposed, this project will result in an unreasonable burden upon the subject property, the surrounding land, nearby property owners and the natural environment. This is not a project to be supported by anyone.
2. This project would destroy Regulated Wetlands/ woodlands the developer plans on disturbing or removing. This also includes removal of 24 woodland regulated mature trees and any amount of planned replacement by developer may not meet city zoning requirements. In fact this goes against City's firm position on tree preservation.

In the ultimate analysis this project and any of its kind does NOT fit the community for reasons mentioned above which are just indicators.

Regards  
Sridhar Navalpakam  
Geetha sridhar  
48741 Windfall Rd  
Novi, MI 48374  
[REDACTED]

## Shanahan, Diana

---

**From:** Ann Nelke <[REDACTED]>  
**Sent:** Thursday, June 1, 2023 6:22 PM  
**To:** Shanahan, Diana  
**Subject:** Avalon Apartments

I am writing to express my strong opposition to the proposed development of apartments on Wixom Road.

This site is zoned R-1 meaning single family, privately owned homes.

An overlay was granted to Pulte to build condominiums called Villas at Stonebrook. These are in keeping with the zoning in that, while duplexes, each unit is privately owned and has its own driveway, garage and entrance.

The proposed apartments would not, obviously, be privately owned, nor would they have private entrances, garages or even carports. (One of the ten variances to zoning that developers want.) Furthermore, the density of these buildings are not in keeping with the existing construction/layouts of residences in this area.

The traffic on Wixom Road has quadrupled or more since the last traffic study was conducted. The road is already overloaded with vehicles daily (all times of day), and an increase of 90+ cars per day trying to enter Wixom Road would lead to a greater risk for potential traffic accidents as well as wear and tear on the road. There is no "intersection" possible at this entrance, hence no traffic light, sidewalks or feasible crosswalks.

As for further safety concerns, I have witnessed school children from Deerfield, Novi Middle School as well as Catholic Central cross "illegally" (and thus very scary) between crosswalks and even where no sidewalks exist to which to go.

Furthermore, Novi police are now acting as crossing guards and parents have been emailed to encourage them to drop their children off at school due to lack of crossing guards.

Deerfield Elementary is at its capacity in terms of classroom sizes. It isn't fair to parents who own homes or condos to incur an increase in the volume of students.

The lighting nature of an apartment complex would add luminescent pollution to Wixom Road and the surrounding streets.

Mature trees, which arborists have deemed in Good condition (not fair or dead), are vital to the sequestration of carbon pollution, and the development wants to remove 28 (or more), with again a variance so as either not to have to replace them or to do so with very immature trees which do not mitigate the carbon load.

Novi prides itself on being a city of trees (one of the reasons I chose to live here 15 years ago), and it also has an ordinance for the preservation of wetlands and woodlands. The proposed site is a brown field. The existing 4 EGLE regulated wetlands will naturally clean the area over time (if left alone) as will the mature "Good" classified trees.

Both wetlands and woodlands also reduce soil erosion and flood risk and are proposed to be eradicated in severe measures.

The Master Plan of Novi calls for balanced and checked development and also puts the wishes of its taxpaying citizens in the forefront when it comes to making decisions. It is my sincere hope that this holds true and the quality of life both now and for future generations is what really matters over the wishes of outside developers.

Ann Nelke  
48646 Windfall Road  
Novi, MI 48374

Sent from my iPhone

## Shanahan, Diana

---

**From:** [REDACTED]  
**Sent:** Tuesday, May 30, 2023 10:00 AM  
**To:** Shanahan, Diana  
**Subject:** Wixom apartments proposal

There is a reason for a master plan. Please don't deviate from it!!  
Pam oikarinen  
Sent from my iPhone



CITY OF NOVI  
RESPONSE FORM

**RECEIVED**  
**MAY 31 2023**  
**CITY OF NOVI**  
**COMMUNITY DEVELOPMENT**

JSP22-01 AVALON PARK APARTMENTS, LOCATED ON THE EAST SIDE OF WIXOM ROAD, NORTH OF ELEVEN MILE ROAD (SECTION 17) FOR RECOMMENDATION TO THE CITY COUNCIL FOR CONCEPT PLAN APPROVAL UNDER THE PLANNED SUBURBAN LOW RISE OVERLAY DISTRICT.

You are invited to attend the public hearing on June 7, 2023 and voice your support or objection.

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Return via email: [dshanahan@cityofnovi.org](mailto:dshanahan@cityofnovi.org)  
Return via mail or fax: Community Development Department  
45175 W. Ten Mile, Novi, Michigan 48375  
248-347-0475 (Main) 248-735-5633 (Fax)


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I SUPPORT       I OBJECT

**TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

We have been residents of Island Lake of Novi since 2005 and over the years we have noticed an increase in traffic on Wixom Rd. We have also noticed an increase in dense apartment construction. This proposed apartment complex would be not in keeping with the integrity of the community, with no private entrances, no garages (let alone carports), and not privately owned by residents. Furthermore, an apartment complex would be inconsistent with the intent, principle permitted uses, and special land uses that an R-1 zone permits. AS A CONCERNED NOVI RESIDENT WE STRONGLY OBJECT to the

SIGNATURE:  5/29/2023 above request!!!!  
PRINT NAME: Ketul "Kevin" Parikh  
ADDRESS: 50339 Drakes Bay Dr., Novi, MI 48374

\*\*\*IN ACCORDANCE WITH MCL 125.3103, THE MANAGER OR OWNER OF A SINGLE STRUCTURE CONTAINING MORE THAN 4 DWELLING UNITS OR OTHER DISTINCT SPATIAL AREAS OWNED OR LEASED BY DIFFERENT PERSONS, IS HEREBY REQUESTED TO POST THE NOTICE AT A PRIMARY ENTRANCE TO THE STRUCTURE(S).\*\*\*





**CITY OF NOVI**

**RESPONSE FORM**

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**MAY 22 2023**  
**CITY OF NOVI**  
**COMMUNITY DEVELOPMENT**

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I SUPPORT

I OBJECT ✓

**TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

- Density - 46 apartment + 90+ Parking space in small area that too good portion are in state regulated woodlands and wet lands brings Traffic and safety issue is to neighboring schools on wixom rd. Elementary (Deerfield), Novi middle school and catholic central High children will be affected.

- current developed community is very stable. Transient population is not consistent with current community. Commercial Dumpster is potential for diseases for the community!

SIGNATURE: Shanmugavadivambal Perumalswami  
PRINT NAME: Shanmugavadivambal Perumalswami  
ADDRESS: 48788 Rockview Rd, Novi, MI 48374

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CITY OF NOVI

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MAY 19 2023

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Return via email: dshanahan@cityofnovi.org

Return via mail or fax: Community Development Department, 45175 W. Ten Mile, Novi, Michigan 48375, 248-347-0475 (Main) 248-735-5633 (Fax)

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[ ] I SUPPORT

[X] I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

- 1. Turning left into condo complex is very dangerous because there is no turning lane. Apartments would make it more dangerous on Wixom rd.
2. Was told by Pulte before purchasing the home would always be there & property next door could only be single family home.
3. Light pollution from apartment

SIGNATURE: Remo Recchia

PRINT NAME: REMO RECCHIA

ADDRESS: 48643 WINDFALL NOVI 48374

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4. Was told by pulte road is private for condo owners





CITY OF NOVI

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RESPONSE FORM

MAY 26 2023

CITY OF NOVI  
COMMUNITY DEVELOPMENT

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I SUPPORT

I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

1. Increased density in a neighborhood that is already congested
2. Increased traffic on Wixom Rd - potential for more traffic incidents
3. Safety concerns for crossings near Deerfield Elementary
4. Overpopulating of Novi Schools such as Deerfield + Novi Middle
5. Will Novi school zones be reevaluated due to over population
6. Public park complaints of trash being left behind + noise will only get worse.

SIGNATURE: Purvi Shah

PRINT NAME: Purvi Shah

ADDRESS: 24712 Acorn Trail, Novi MI

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CITY OF NOVI  
RESPONSE FORM

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CITY OF NOVI  
COMMUNITY DEVELOPMENT

15822-01 AVALON PARK APARTMENTS, LOCATED ON THE EAST SIDE OF WIXOM ROAD, NORTH OF ELEVEN MILE ROAD (SECTION 17) FOR RECOMMENDATION TO THE CITY COUNCIL FOR CONCEPT PLAN APPROVAL UNDER THE PLANNED SUBURBAN LOW RISE OVERLAY DISTRICT.

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Return via email: [cdhanson@cityofnovi.org](mailto:cdhanson@cityofnovi.org)

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I SUPPORT

I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

This community is clean and peaceful. There are very few neighborhoods in this area like this. The proposed project disturbs the nature and beauty for what? There will be more traffic and trash which brings rats. Build more single family condos that fit into the current landscape

SIGNATURE: Janet Sharpe  
PRINT NAME: Janet Sharpe  
ADDRESS: 48767 Rockview Rd. Novi, MI 48374

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## Shanahan, Diana

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**From:** Angela Shires <[REDACTED]>  
**Sent:** Thursday, June 1, 2023 12:37 PM  
**To:** Shanahan, Diana  
**Subject:** NO NO NO Avalon Park Apartments

I kindly request that you vote no on the proposed high density Avalon Park Apartments. I also request that you vote no on the station flats apartments.

Both these developments seem to be detrimental to the area of Wixom and grand river.

The schools are at capacity. Traffic and congestion is awful. We are killing and destroying all our wetlands and nature areas.

Please stop and think about the well-being of the Novi community.

I am a member of the Island Lake Of Novi subdivision, most are in agreement that this would be a devastating development to our area.

Angie Shires  
50601 Billenca Dr Novi  
[REDACTED]  
[REDACTED]

Sent from my iPhone



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**RESPONSE FORM**

**MAY 26 2023**

**CITY OF NOVI  
COMMUNITY DEVELOPMENT**

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I SUPPORT

I OBJECT

**TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

1. Density : site not fit for apartment complex.  
2. Traffic concern: Wixom Road is the main outflow of traffic from one high school, 2 middle/primary schools, plus several Residential Subs. not able to handle more.

SIGNATURE:

PRINT NAME:

Jianuo John Shu

ADDRESS:

48864 Windfall Rd, Novi, 48374

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CITY OF NOVI  
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COMMUNITY DEVELOPMENT

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I SUPPORT       I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

*Too much traffic congestion now! There are two schools in the immediate area with children and adults crossing Wixom Road - it will only be more dangerous.*

SIGNATURE: Joan E. Smith

PRINT NAME: JOAN E. SMITH

ADDRESS: 25535 SHORELINE DRIVE, NOVI, MI 48374

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Return via email: [bjhanson@cityofnovi.org](mailto:bjhanson@cityofnovi.org)

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I SUPPORT

I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

- 1) it would disrupt and potentially destroy an area of protected wetlands and wood lands.
- 2) it would increase daily traffic on a road that is not equipped to handle such a significant increase, which is made worse by the fact that it is in walking distance of 3 schools.

SIGNATURE: Julie Song

PRINT NAME: Julie Song

ADDRESS: 50694 Chesapeake Dr. Novi 48374

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I SUPPORT

I OBJECT

**TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

- Increasing traffic on Wixom Rd which puts students of Deerfield & Novi Middle School in danger
- Destroying wet lands
- Destroying scenery of Rockview Rd.
- Damaging property value of Villas at Stonebrook.

SIGNATURE: Ryoichi Suenobu

PRINT NAME: Ryoichi Suenobu

ADDRESS: 48706 Rockview Rd, Novi 48374

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Return via mail or fax: Community Development Department  
45175 W. Ten Mile, Novi, Michigan 48375  
248-347-0475 (Main) 248-735-5633 (Fax)

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I SUPPORT

I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

I Object to this because it would cut down trees and more carbon would spread in the area. And plus our private roads would be crowded and plus it is our roads.

SIGNATURE: Ashwin & Vasanthan

PRINT NAME: Ashwin Vasanthakumar & VASANTHA KUMAR SOMASUNDARAM

ADDRESS: 48732 Rockview rd, Novi mi, 4824

\*\*\*IN ACCORDANCE WITH MCL 125.3103, THE MANAGER OR OWNER OF A SINGLE STRUCTURE CONTAINING MORE THAN 4 DWELLING UNITS OR OTHER DISTINCT SPATIAL AREAS OWNED OR LEASED BY DIFFERENT PERSONS, IS HEREBY REQUESTED TO POST THE NOTICE AT A PRIMARY ENTRANCE TO THE STRUCTURE(S).\*\*\*





**CITY OF NOVI**  
**RESPONSE FORM**

**RECEIVED**

**MAY 31 2023**

**CITY OF NOVI  
COMMUNITY DEVELOPMENT**

**JSP22-01 AVALON PARK APARTMENTS, LOCATED ON THE EAST SIDE OF WIXOM ROAD, NORTH OF ELEVEN MILE ROAD (SECTION 17) FOR RECOMMENDATION TO THE CITY COUNCIL FOR CONCEPT PLAN APPROVAL UNDER THE PLANNED SUBURBAN LOW RISE OVERLAY DISTRICT.**

You are invited to attend the public hearing on June 7, 2023 and voice your support or objection.

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I SUPPORT

I OBJECT

**TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

- 1.) Traffic is already a issue both in and out of Villas of Stonebrook. Station Rd cannot handle more
- 2.) The more tred wet lands would not be developed when purchasing here.
3. Not zones for apartments
- 4) Safety issue for children crossing at schools.

SIGNATURE: Holly Volf

PRINT NAME: Holly VOLF

ADDRESS: 48646 Windfall Rd. Novi 48374

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5. This development at Stonebrook pays roughly one million a year in taxes shouldn't we have a say in the surroundings?



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I SUPPORT       I OBJECT

**TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

1. Safety concerns to increased traffic on Wixom Rd. with only one access.
2. As a resident, resent sharing the access road with non-residents.
3. Great concern of the decrease in my property value.
4. The disappearance of existing wetlands, ponds & woodlands.

SIGNATURE: Elana Vrettas      Arthur T. Vrettas  
PRINT NAME: ELANA VRETTAS, ARTHUR T. VRETTAS  
ADDRESS: 48572 WINDFALL RD.  
NOVI 48374

*we would not have purchased our condo. Terrible location for apartments!*

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I SUPPORT

I OBJECT

**TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

\_\_\_\_\_  
Add too much traffic near 3 schools and it's not safe for kids to walk.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

SIGNATURE: Jenny Zhang  
PRINT NAME: Jenny Zhang  
ADDRESS: 25543 Hillsdale Dr, Novi, MI 48374

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