



# COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road  
Novi, MI 48375  
(248) 347-0415 Phone  
(248) 735-5600 Facsimile  
[www.cityofnovi.org](http://www.cityofnovi.org)

## ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals

ZONING BOARD APPEALS DATE: April 9, 2019

REGARDING: 2293 and 2295 Austin Drive, Parcels # 50-22-10-231-019 and 50-22-10-231-008 (PZ19-0014)

BY: Larry Butler, Deputy Director Community Development

### I. GENERAL INFORMATION:

**Applicant**

Robertson Brothers Homes

**Variance Type**

Dimensional

**Property Characteristics**

Zoning District: Single Family Residential  
Location: West of Old Novi Road and South of Thirteen Mile Road  
Parcel #: 50-22-10-231-019 and 50-22-10-231-008

**Request**

The applicant is requesting variances from Zoning Ordinance Section 3.1.5.D. for 2293 Austin Drive to allow 21 foot rear yard setback, 35 feet allowed and to allow a 6,550 square feet minimum lot area, 10,000 square feet allowed. The applicant is requesting variances from Zoning Ordinance Section 3.1.5.D. for 2295 Austin Drive to allow 29% lot coverage, 25% allowed, and to allow a minimum lot area of 6,951 square feet, 10,000 square feet allowed. These properties are zoned Single Family Residential (R-4).

### II. STAFF COMMENTS:

### III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we **grant** the variance in Case No. **PZ19-0014**, sought by \_\_\_\_\_, for \_\_\_\_\_ because Petitioner has shown practical difficulty requiring \_\_\_\_\_.
  - (a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because \_\_\_\_\_.
  - (b) The property is unique because \_\_\_\_\_.

- (c) Petitioner did not create the condition because \_\_\_\_\_  
\_\_\_\_\_.
- (d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because \_\_\_\_\_  
\_\_\_\_\_.
- (e) The relief is consistent with the spirit and intent of the ordinance because \_\_\_\_\_  
\_\_\_\_\_.
- (f) The variance granted is subject to:
  - 1. \_\_\_\_\_.
  - 2. \_\_\_\_\_.
  - 3. \_\_\_\_\_.
  - 4. \_\_\_\_\_.

2. I move that we **deny** the variance in Case No. **PZ19-0014**, sought by \_\_\_\_\_,  
for \_\_\_\_\_ because Petitioner has not shown  
practical difficulty requiring \_\_\_\_\_.

- (a) The circumstances and features of the property including \_\_\_\_\_ are not unique because they exist generally throughout the City.
- (b) The circumstances and features of the property relating to the variance request are self-created because \_\_\_\_\_  
\_\_\_\_\_.
- (c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioner's statements that \_\_\_\_\_.
- (d) The variance would result in interference with the adjacent and surrounding properties by \_\_\_\_\_.
- (e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to \_\_\_\_\_  
\_\_\_\_\_.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Larry Butler  
Deputy Director Community Development  
City of Novi



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 Novi, MI 48375  
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# ZONING BOARD OF APPEALS APPLICATION

**APPLICATION MUST BE FILLED OUT COMPLETELY**

Application Fee: \$200.00  
 Meeting Date: April 9, 2019  
 ZBA Case #: PZ 19-0014

| I. PROPERTY INFORMATION (Address of subject ZBA Case)  |  |   |             |
|--|--|---|-------------|
| PROJECT NAME / SUBDIVISION<br>Lakeview   |  |   |             |
| ADDRESS<br>2293 and 2295 Austin Drive  |  | LOT/SIUTE/SPACE #   |             |
| SIDWELL #<br>50-22-10 - 231 - 019 and 009  |  | May be obtain from Assessing Department (248) 347-0485  |             |
| CROSS ROADS OF PROPERTY<br>13 Mile Road and Old Novi Road  |  |   |             |
| IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION?<br><input type="checkbox"/> YES <input checked="" type="checkbox"/> NO  |  | REQUEST IS FOR:<br><input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE  |             |
| DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO   |  |   |             |
| II. APPLICANT INFORMATION  |  |   |             |
| A. APPLICANT   |  | EMAIL ADDRESS   |             |
|  |  | toughrin@robertsonhomes.com   |             |
| NAME<br>Tim Loughrin   |  | CELL PHONE NO.<br>248-752-7402  |             |
| ORGANIZATION/COMPANY<br>Robertson Brothers Homes   |  | TELEPHONE NO.<br>248-282-1428   |             |
| ADDRESS<br>6905 Telegraph Road, Suite 200  |  | CITY<br>Bloomfield Hills  | STATE<br>MI |
|  |  | ZIP CODE<br>48301   |             |
| B. PROPERTY OWNER <input type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER  |  |   |             |
| Identify the person or organization that owns the subject property:  |  | EMAIL ADDRESS   |             |
|  |  | markwrobbins@hotmail.com  |             |
| NAME<br>Mark Robbins   |  | CELL PHONE NO.<br>248-739-1629  |             |
| ORGANIZATION/COMPANY<br>Homeowner  |  | TELEPHONE NO.<br>248-739-1629   |             |
| ADDRESS<br>2295 Austin Road  |  | CITY<br>Novi  | STATE<br>MI |
|  |  | ZIP CODE<br>48377   |             |
| III. ZONING INFORMATION  |  |   |             |
| A. ZONING DISTRICT   |  |   |             |
| <input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input checked="" type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH<br><input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____  |  |   |             |
| B. VARIANCE REQUESTED  |  |   |             |
| INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:   |  |   |             |
| 1. Section <u>See Attachment</u> Variance requested <u>See Attachment</u>  |  |   |             |
| 2. Section _____ Variance requested _____  |  |   |             |
| 3. Section _____ Variance requested _____  |  |   |             |
| 4. Section _____ Variance requested _____  |  |   |             |
| IV. FEES AND DRAWINGS  |  |   |             |
| A. FEES  |  |   |             |
| <input checked="" type="checkbox"/> Single Family Residential (Existing) \$200 <input type="checkbox"/> (With Violation) \$250 <input type="checkbox"/> Single Family Residential (New) \$250<br><input type="checkbox"/> Multiple/Commercial/Industrial \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> Signs \$300 <input type="checkbox"/> (With Violation) \$400<br><input type="checkbox"/> House Moves \$300 <input type="checkbox"/> Special Meetings (At discretion of Board) \$600 |  |   |             |
| B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF   |  |   |             |
| <ul style="list-style-type: none"> <li>Dimensioned Drawings and Plans</li> <li>Site/Plot Plan</li> <li>Existing or proposed buildings or addition on the property</li> <li>Number &amp; location of all on-site parking, if applicable</li> </ul>  |  | <ul style="list-style-type: none"> <li>Existing &amp; proposed distance to adjacent property lines</li> <li>Location of existing &amp; proposed signs, if applicable</li> <li>Floor plans &amp; elevations</li> <li>Any other information relevant to the Variance application</li> </ul> |             |



# ZONING BOARD OF APPEALS APPLICATION

## V. VARIANCE

### A. VARIANCE (S) REQUESTED

DIMENSIONAL    USE    SIGN

There is a five (5) hold period before work/action can be taken on variance approvals

### B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign ten (10) days** before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

### C. ORDINANCE

#### City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration of a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

### D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING    ADDITION TO EXISTING HOME/BUILDING    SIGNAGE  
 ACCESSORY BUILDING    USE    OTHER \_\_\_\_\_

## VI. APPLICANT & PROPERTY SIGNATURES

### A. APPLICANT

Applicant Signature

Date 3/4/19

### B. PROPERTY OWNER

**If the applicant is not the owner, the property owner must read and sign below:**

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

Property Owner Signature

Date 3-2-2019

## VII. FOR OFFICIAL USE ONLY

### DECISION ON APPEAL:

GRANTED    DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

\_\_\_\_\_  
Chairperson, Zoning Board of Appeals   Date



March 1, 2019

City of Novi  
Planning Department  
45175 Ten Mile Road  
Novi, MI 48375

Re: ZBA Variance Application  
Lakeview Development  
2293 and 2295 Austin Drive Properties

Robertson Brothers Homes is the developer of the Lakeview single family residential community, soon to be constructed on both sides of Old Novi Road south of 13 Mile Road. The development consists of several parcels of land under contract with three separate owners, totaling 3.15 acres. The community will be located on mostly vacant properties recently zoned to a PRO with an underlying zoning district of RM-2 (High Density Residential). The project received preliminary PRO approval from the City Council on December 3, 2018 and final PRO approval on February 11<sup>th</sup>, 2019.

As part of the project plan, two existing homes along Austin Drive, 2293 and 2295 Austin Drive, were planned to have their lots slightly reconfigured. One of the homes, 2295 Austin Drive, currently is a double frontage lot, and 2293 currently has vehicular access to the garage from Old Novi Road, not along Austin. A swimming pool will be removed from 2295 Austin and a detached garage on Old Novi Road previously used for 2293 Austin will be removed as part of the Lakeview development plan. Although the Planning Commission and the City Council approved the Lakeview development plan which reconfigures these two lots, because these two homes are not included in the PRO rezoning they must be granted variances for their non-conformance within the R-4 zoning districts. This requests seeks to grant the variances necessary to finalize the Lakeview plan.

Most of the variances requested will not further the existing non-conformance of the lots whatsoever. The reason for this is that most of the homes in this area of Novi were existing at the time of the current zoning regulations, and therefore have many non-conforming dimensions. The lot frontage of 40' for both lots exists, as is typical in the Shawood Walled Lake Heights subdivision which was platted in 1927, whereas 80' is required in the R-4 district. The side setbacks for the homes are existing non-conforming dimensions, and again this is very typical of the homes in the immediate



area. As a significant point, the home at 2293 Austin is set back very far from Austin Road (96.3'), and is actually set far back behind the homes that it sides to. Therefore, the impact from home to home is negligible, despite the fact that the side setbacks are less than the R-4 standards. Again, these are all existing conditions and the buildings have existed much longer than the applicable zoning standards have been in place.

The reconfiguration of the lots for the Lakeview project require a variance to the rear setback requirement in one of the homes (2293 Austin), the lot coverage maximum in the other home (2295 Austin), and a variance to the lot area and lot coverage for both homes. Again, these are not atypical of the existing surrounding homes. These variances will not be noticeable to the public whatsoever as these existing homes will remain in the same configuration as visible from the street.

The following are justifications to the Standards for Dimensional Variances.

**Standard #1. Circumstances or Physical Conditions.**

*Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity.*

The homes are existing and the lots in the Shawood Walled Lake Heights subdivision were platted in 1927 as 40' in width, prior to the effective date of the current Zoning Ordinance. Most of the homes in the surrounding area have setbacks and lot areas similar or less than the two lots included as part of this variance request. The two lots are deeper than many in the subdivision.

Most of the surrounding homes have similar setback and lot coverage conditions, as the homes in the Shawood Walled Lake Heights subdivision were constructed in the 1930s and 1940s as second homes. The requested variances will not affect any existing homeowners in any way, as there will be no visual impact since the homes are existing.

**Standard #2. Not Self-Created.**

*Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).*

The homes were legally constructed prior to the implementation of the existing Zoning Ordinance standards, and therefore were not self-created. No visual impacts of the requested variances will be seen from existing homeowners or members of the public.





**Standard #3. Strict Compliance.**

*Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.*

The homes are existing, and no further expansion is part of the request. The required setbacks, lot area, and lot coverage requirements of the current R-4 zoning district are simply not applicable to any of the homes within the Shawood Walled Lake Heights subdivision. The reduction of a rear setback and lot coverage are not inconsistent with other homes within the immediate vicinity and will not be noticeable to the public or existing homeowners in any way.

**Standard #4. Minimum Variance Necessary.**

*Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.*

The requested variances are the minimum necessary in order to keep the existing homes in their current configurations. The request is simply to accommodate a development plan that has been approved by both the Planning Commission and City Council of Novi.

**Standard #5. Adverse Impact on Surrounding Area.**

*Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.*

There will be no adverse impact on surrounding homeowners as the homes will not be located any closer than they are already situated. Property values will in fact increase due to the accommodation to allow for the soon to be developed Lakeview development, which has already been approved by the City Council. This development will bring new housing to an area that has a lack of any new development and is expected to bring much higher prices per square foot, and our experience shows that there will be a noticeable increase in the value of surrounding properties accordingly.

The following is a table showing the requested variances from the R-4 Zoning District standards.



**Schedule of Regulations and Modifications**

|  | <b>R4</b> | <b>2293 Austin Road</b> | <b>2295 Austin Road</b> | <b>Deviations</b>                            |
|--|-----------|-------------------------|-------------------------|--|
| <b>Min. Lot Area</b>                   | 10,000 sf | 6,549.15 sf             | 6950.25 sf              | 2293: 3,450.85 sf<br>2295: 3,049.75 sf       |
| <b>Lot Frontage</b>                    | 80'       | 40'                     | 40'                     | 2293: 40'<br>2295: 40'                       |
| <b>Min. Building Setbacks</b>          |           |                         |                         |  |
| Front Setback                          | 30'       | 96.3'                   | 54.4'                   | 2293: In Conformance<br>2295: In Conformance |
| Side Min. Principal                    | 10'       | 2.85'                   | 3.85'                   | 2293: 7.15'<br>2295: 6.15'                   |
| Side Total Principal                   | 25'       | 8.35'                   | 14.95'                  | 2293: 16.65'<br>2295: 10.05'                 |
| Rear Setback Principal                 | 35'       | 21.2'                   | 45.1'                   | 2293: 13.8'<br>2295: In Conformance          |
| Rear/Side Garage Setback               | 5'        | N/A                     | 22.5'                   | 2293: N/A<br>2295: In Conformance            |
| <b>Maximum Dwelling Unit Density</b>   | 3.3 du/ac | 6.65 du/ac              | 6.27 du/ac              | 2293: 3.35 du/ac<br>2295: 2.97 du/ac         |
| <b>Maximum Lot Coverage Percentage</b> | 25%       | 8.4%                    | 29%                     | 2293: In Conformance<br>2295: 4%             |





Our original intent had been to include the deviations for these two lots within the PRO rezoning for the Lakeview development. However, it was determined by the City that the ZBA was the appropriate route, as the PRO rezoning did not include the entire portion of these two lots through to Austin Road. It is important to note, however, that the City Council fully supported the reconfiguration as presented to the City as part of the plan. In fact, as part of the approved Lakeview PRO rezoning, the following is a condition of approval:

*City Council does not object to the Zoning Board of Appeals granting variances for the two lots fronting on Austin Drive that will be altered dimensionally when portions of the lots are combined and split to create new lots in the proposed development.*

In closing, while the R-4 Zoning District regulates the development of the area, it simply is not an appropriate zoning district in that most of the existing homes in the subdivision do not meet the R-4 dimensional requirements. The requested variances will not create any adverse impacts to surrounding property owners and will not be noticeable from existing homeowners or from public view. Additionally, the City Council had supported the dimensional deviations for these two lots when approving the Lakeview plan.

Please let me know if any additional information is required at this time.

Thank you.

Respectfully,

A handwritten signature in blue ink, appearing to read 'Tim Loughrin', is written over a light blue horizontal line.

**Tim Loughrin | Manager of Land Acquisition**

Robertson Brothers Homes

6905 Telegraph Rd, Suite 200, Bloomfield Hills, MI 48301

Direct Dial: 248.282.1428 | Mobile: 248.752.7402

[tloughrin@robertsonhomes.com](mailto:tloughrin@robertsonhomes.com)

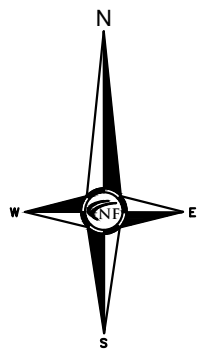


**Schedule of Regulations and Modifications**

|  | <b>R4</b> | <b>2293 Austin Road</b> | <b>2295 Austin Road</b> | <b>Deviations</b>                            |
|--|-----------|-------------------------|-------------------------|--|
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| <b>Lot Frontage</b>                    | 80'       | 40'                     | 40'                     | 2293: 40'<br>2295: 40'                       |
| <b>Min. Building Setbacks</b>          |           |                         |                         |  |
| Front Setback                          | 30'       | 96.3'                   | 54.4'                   | 2293: In Conformance<br>2295: In Conformance |
| Side Min. Principal                    | 10'       | 2.85'                   | 3.85'                   | 2293: 7.15'<br>2295: 6.15'                   |
| Side Total Principal                   | 25'       | 8.35'                   | 14.95'                  | 2293: 16.65'<br>2295: 10.05'                 |
| Rear Setback Principal                 | 35'       | 21.2'                   | 45.1'                   | 2293: 13.8'<br>2295: In Conformance          |
| Rear/Side Garage Setback               | 5'        | N/A                     | 22.5'                   | 2293: N/A<br>2295: In Conformance            |
| <b>Maximum Dwelling Unit Density</b>   | 3.3 du/ac | 6.65 du/ac              | 6.27 du/ac              | 2293: 3.35 du/ac<br>2295: 2.97 du/ac         |
| <b>Maximum Lot Coverage Percentage</b> | 25%       | 8.4%                    | 29%                     | 2293: In Conformance<br>2295: 4%             |

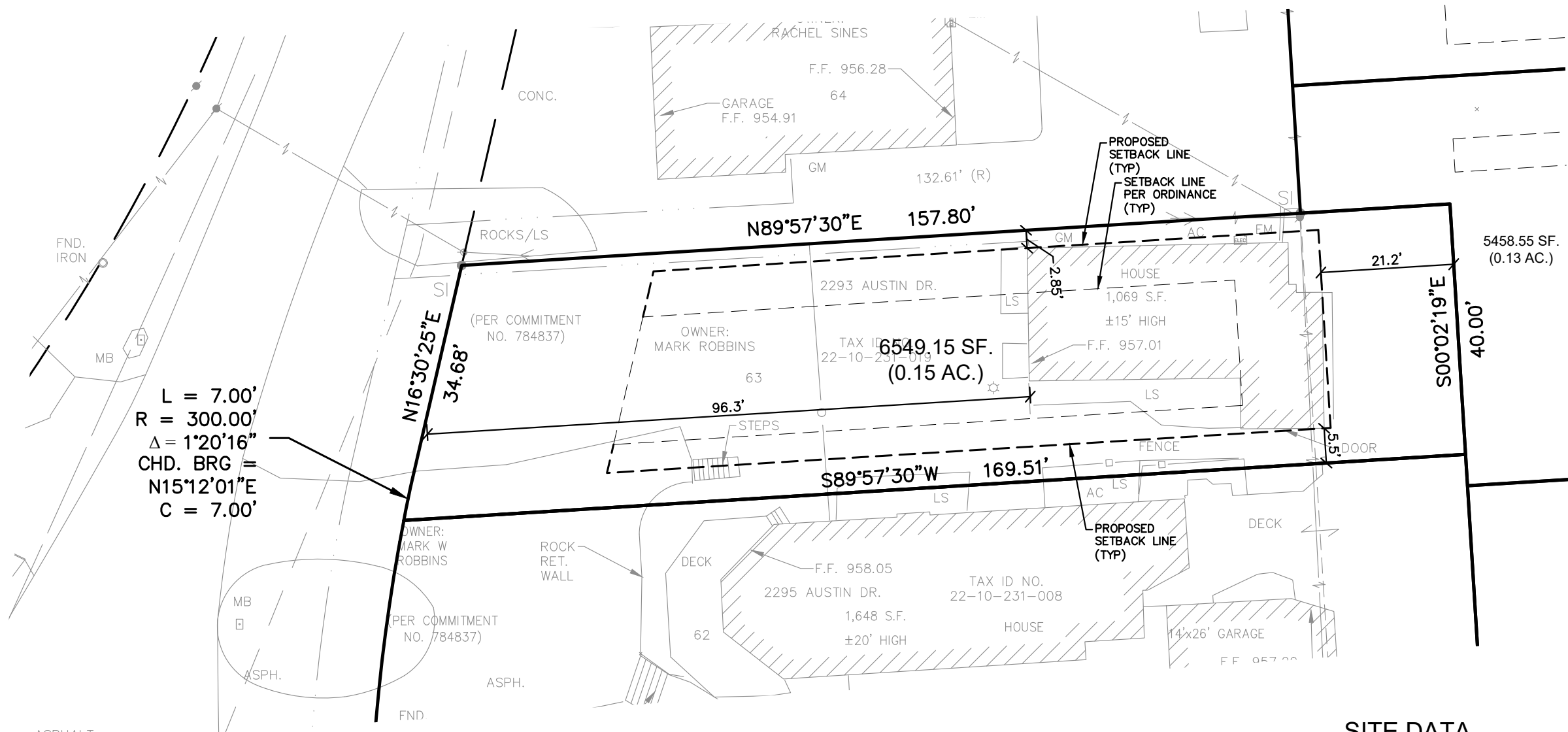
# 2293 and 2295 Austin Road Variance Requests





# 2293 Austin

## Dimensional Plot Plan



L = 7.00'  
 R = 300.00'  
 $\Delta = 1^{\circ}20'16''$   
 CHD. BRG =  
 N15°12'01"E  
 C = 7.00'

### LEGAL DESCRIPTION - 2293 AUSTIN DRIVE

LAND SITUATED IN THE COUNTY OF OAKLAND, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:

ALL OF LOT 63 AND PART OF LOTS 33 AND 34, OF SHAWOOD WALLED LAKE HEIGHTS SUBDIVISION, PART OF THE NORTHEAST 1/4 OF SECTION 10, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 46 OF PLATS, PAGE 48, OAKLAND COUNTY RECORDS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 63, ALSO BEING A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF AUSTIN DRIVE (WIDTH VARIES); THENCE N.89°57'30"E. 157.80 FEET; THENCE S.00°02'19"E. 40.00 FEET; THENCE S.89°57'30"W. 169.51 FEET TO THE SOUTHWEST CORNER OF SAID LOT 63, ALSO BEING A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF SAID AUSTIN DRIVE; THENCE THE FOLLOWING TWO (2) COURSES ALONG SAID EASTERLY RIGHT-OF-WAY LINE: 1) 7.00 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 300.00 FEET, DELTA OF 1°20'16", CHORD BEARING OF N.15°12'01"E. 7.00 FEET AND 2) N.16°30'25"E. 34.68 FEET TO THE POINT OF BEGINNING.

CONTAINING: 6,549.15 SQ. FT. OR 0.15 ACRES  
 TAX ID NUMBERS: 22-10-231-019 AND PART OF 22-10-231-020  
 ADDRESS: 2293 AUSTIN DRIVE, NOVI, MICHIGAN 48377

### SITE DATA

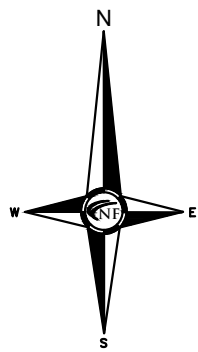
|                             |                              |                     |
|-----------------------------|------------------------------|---------------------|
| <b>SITE AREA</b>            |                              |                     |
| GROSS/NET:                  | 6,549.15 SFT. OR 0.15 ACRES  |                     |
| <b>ZONING</b>               |                              |                     |
| EXISTING:                   | R-4 (ONE FAMILY RESIDENTIAL) |                     |
| <b>LOT SIZE</b>             |                              |                     |
| MINIMUM 10,000 SFT.         | PROVIDED 6,549.15 SFT.       |                     |
| MINIMUM WIDTH 80 FT.        | PROVIDED 40.0'               |                     |
| <b>LOT COVERAGE</b>         |                              |                     |
| MAXIMUM 25% ALLOWED         | PROVIDED 8.4%                |                     |
| MIN. FLOOR AREA 1,000 SFT.  | PROVIDED 1,085.80 SFT.       |                     |
| <b>SITE AREA</b>            |                              |                     |
| BUILDING FOOTPRINT          | 1,085.80 SFT.                | 100.0%              |
| PARKING & DRIVES            | 425.70 SFT.                  | 8.4%                |
| OPEN SPACE                  | 5,438.75 SFT.                | 58.5%               |
|                             |                              | 33.1%               |
| <b>SETBACK REQUIREMENTS</b> |                              |                     |
| FRONT:                      | REQUIRED 30.0'               | PROVIDED 96.3'(W.)  |
| SIDE:                       | REQUIRED 10.0', 15.0'        | 2.85'(N.), 5.5'(S.) |
| REAR:                       | REQUIRED 35.0'               | 21.2'(E.)           |

|        |          |       |         |        |
|--------|----------|-------|---------|--------|
| SCALE  | DATE     | DRAWN | JOB NO. | SHEET  |
| 1"=20' | 02-22-19 | RJJ   | J955    | 1 of 1 |



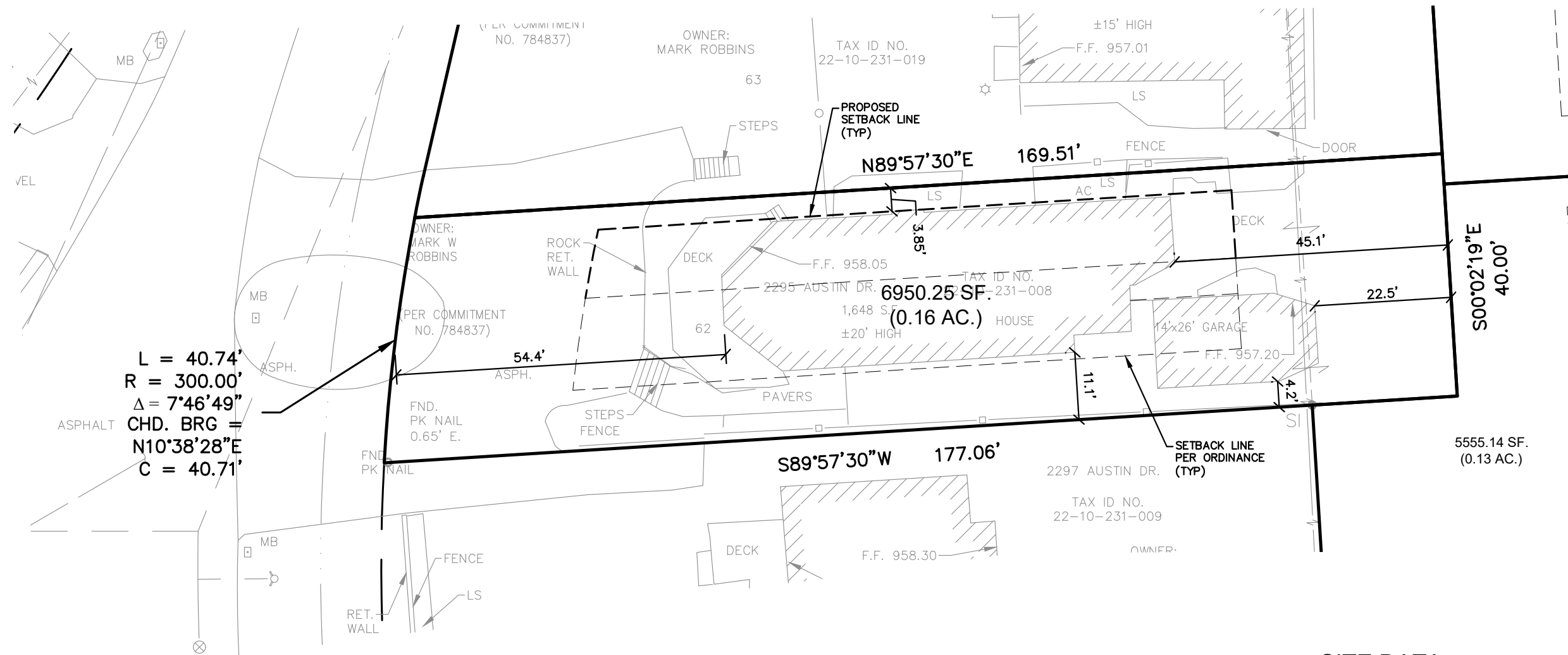
**NF ENGINEERS**  
 NOWAK & FRAUS ENGINEERS  
 46777 WOODWARD AVE.  
 PONTIAC, MI 48342-5032  
 TEL. (248) 332-7931  
 FAX. (248) 332-8257





# 2295 Austin

## Dimensional Plot Plan



$L = 40.74'$   
 $R = 300.00'$   
 $\Delta = 7^\circ 46' 49''$   
 $CHD. BRG = N10^\circ 38' 28'' E$   
 $C = 40.71'$

### LEGAL DESCRIPTION - 2295 AUSTIN DR.

LAND SITUATED IN THE COUNTY OF OAKLAND, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:

ALL OF LOT 62 AND PART OF LOTS 35 AND 36, OF SHAWOOD WALLED LAKE HEIGHTS SUBDIVISION, PART OF THE NORTHEAST 1/4 OF SECTION 10, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 46 OF PLATS, PAGE 48, OAKLAND COUNTY RECORDS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 62, ALSO BEING A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF AUSTIN DRIVE (WIDTH VARIES); THENCE N.89°57'30"E. 169.51 FEET; THENCE S.00°02'19"E. 40.00 FEET; THENCE S.89°57'30"W. 177.06 FEET TO THE SOUTHWEST CORNER OF SAID LOT 62, ALSO BEING A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF SAID AUSTIN DRIVE; THENCE 40.74 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 300.00 FEET, DELTA OF 7°46'49", CHORD BEARING OF N.10°38'28"E. 40.71 FEET TO THE POINT OF BEGINNING.

CONTAINING: 6,950.25 SQ. FT. OR 0.16 ACRES

TAX ID NUMBERS: 22-10-231-008 AND PART OF 22-10-231-020

ADDRESS: 2295 AUSTIN DRIVE, NOVI, MICHIGAN 48377

### SITE DATA

|                             |                              |                      |
|-----------------------------|------------------------------|----------------------|
| <b>SITE AREA</b>            |                              |                      |
| GROSS/NET:                  | 6,950.25 SFT. OR 0.16 ACRES  |                      |
| <b>ZONING</b>               |                              |                      |
| EXISTING:                   | R-4 (ONE FAMILY RESIDENTIAL) |                      |
| <b>LOT SIZE</b>             |                              |                      |
| MINIMUM 10,000 SFT.         | PROVIDED 6,950.25 SFT.       |                      |
| MINIMUM WIDTH 80 FT.        | PROVIDED 40.0'               |                      |
| <b>LOT COVERAGE</b>         |                              |                      |
| MAXIMUM 25% ALLOWED         | PROVIDED 29.0%               |                      |
| MIN. FLOOR AREA 1,000 SFT.  | PROVIDED 2,018.15 SFT.       |                      |
| <b>SITE AREA</b>            |                              |                      |
| BUILDING FOOTPRINT          | 2,018.15 SFT.                | 29.0%                |
| PARKING & DRIVES            | 1,604.16 SFT.                | 23.1%                |
| OPEN SPACE                  | 3,327.94 SFT.                | 47.9%                |
| <b>SETBACK REQUIREMENTS</b> |                              |                      |
| FRONT:                      | REQUIRED 30.0'               | PROVIDED 54.4'(W.)   |
| SIDE:                       | 10.0', 15.0'                 | 3.85'(N.), 11.1'(S.) |
| REAR:                       | 35.0'                        | 45.1'(E.)            |

|        |          |       |         |        |
|--------|----------|-------|---------|--------|
| SCALE  | DATE     | DRAWN | JOB NO. | SHEET  |
| 1"=10' | 02-22-19 | RJJ   | J955    | 1 of 1 |

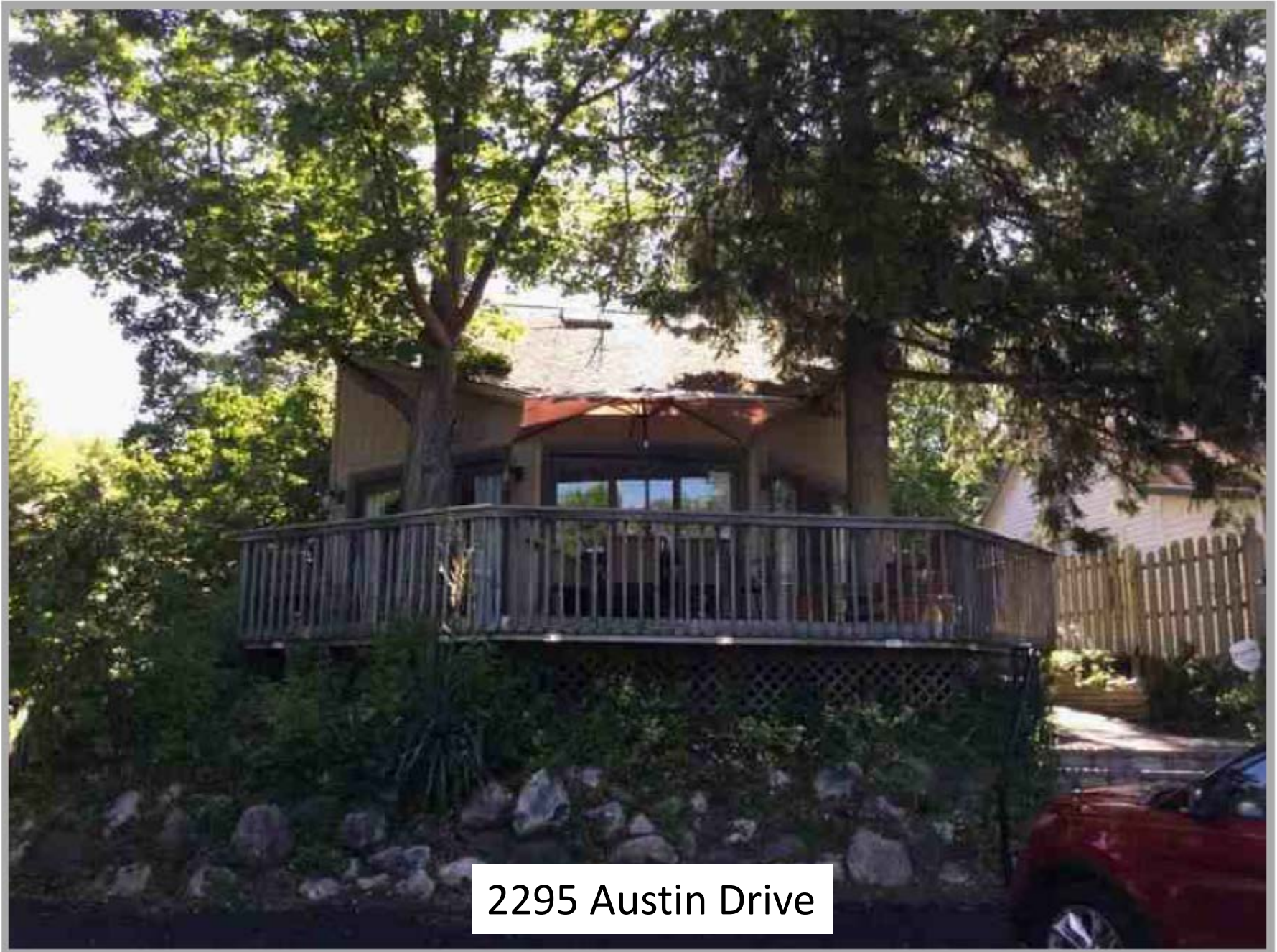


**ENGINEERS**  
 NOWAK & FRAUS ENGINEERS  
 46777 WOODWARD AVE.  
 PONTIAC, MI 48342-5032  
 TEL. (248) 332-7931  
 FAX. (248) 332-8257



2293 Austin Drive





2295 Austin Drive



TO: CITY OF NOVI  
ZONING BOARD OF APPEALS  
45175 TEN MILE ROAD  
NOVI, MI 48375

Please note my comments to:

**2293 and 2295 Austin Drive, Parcels # 50-22-10-231-019 and 50-22-10-231-008 (PZ19-0014)**

Please note my: (Approval) (Objection) to the requested variance.

Comments:

We object to the Rear SET BACK - we need AS MUCH  
DISTANCE BETWEEN my House and A 3 story House Looking IN my  
House - we are concerned about HARD LIGHTS in our BED ROOM,  
SNOW REMOVAL ONTO our backyard - WATER RUNOFF PLEASE  
STAY WITH THE ZONING ORDINANCE OF 35 FEET.

**(PLEASE PRINT CLEARLY)**

Name: Michael Davis

Address: 2345 Austin Dr.

Date: 4-1-2019

Zoning Board of Appeals meetings are broadcast live on Bright House channel 13-1 and AT&T U-verse channel 99. They are also streamed live on the City's website at [cityofnovi.org](http://cityofnovi.org).