



# COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road  
Novi, MI 48375  
(248) 347-0415 Phone  
(248) 735-5600 Facsimile  
[www.cityofnovi.org](http://www.cityofnovi.org)

## ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals

ZONING BOARD APPEALS DATE: March 9, 2021

REGARDING: 24847 Dinsler Drive, Parcel # 50-22-20-301-023 (PZ21-0010)

BY: Larry Butler, Deputy Director Community Development

### I. GENERAL INFORMATION:

#### Applicant

Kensington Family Homes

#### Variance Type

Dimensional Variance

#### Property Characteristics

Zoning District:	Residential Acreage
Location:	East of Wixom Road and North of Ten Mile Road
Parcel #:	50-22-20-301-023

#### Request

The applicant is requesting variances from the Novi Zoning Ordinance Section 3.1.1 for a proposed aggregate side yard setback of 45 feet (50 feet required, variance of 5 feet). This variance will accommodate the building of a new home. This property is zoned Residential Acreage (RA).

### II. STAFF COMMENTS:

### III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we grant the variance in Case No. **PZ21-0010**, sought by \_\_\_\_\_, for \_\_\_\_\_ because Petitioner has shown practical difficulty requiring \_\_\_\_\_.

  - (a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because \_\_\_\_\_.
  - (b) The property is unique because \_\_\_\_\_.
  - (c) Petitioner did not create the condition because \_\_\_\_\_.

(d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because\_\_\_\_\_.

(e) The relief if consistent with the spirit and intent of the ordinance because \_\_\_\_\_.

(f) The variance granted is subject to:

1. \_\_\_\_\_.
2. \_\_\_\_\_.
3. \_\_\_\_\_.
4. \_\_\_\_\_.

2. I move that we **deny** the variance in Case No. **PZ21-0010**, sought by \_\_\_\_\_, for \_\_\_\_\_ because Petitioner has not shown practical difficulty requiring \_\_\_\_\_.

(a) The circumstances and features of the property including \_\_\_\_\_ are not unique because they exist generally throughout the City.

(b) The circumstances and features of the property relating to the variance request are self-created because \_\_\_\_\_.

(c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that \_\_\_\_\_.

(d) The variance would result in interference with the adjacent and surrounding properties by \_\_\_\_\_.

(e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to \_\_\_\_\_.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Larry Butler  
Deputy Director Community Development  
City of Novi



45175 Ten Mile Road  
 Novi, MI 48375  
 (248) 347-0415 Phone  
 (248) 735-5600 Facsimile  
 www.cityofnovi.org

# ZONING BOARD OF APPEALS APPLICATION

APPLICATION MUST BE FILLED OUT COMPLETELY

Application Fee: \$250.00  
 Meeting Date: 3/9/21  
 ZBA Case #: PZ 21-0010

<b>I. PROPERTY INFORMATION (Address of subject ZBA Case)</b>			
PROJECT NAME / SUBDIVISION Vacant Land South of Delmont Drive on the West side of Dinsler Drive			
ADDRESS <u>24847 Dinsler</u>		LOT/SUITE/SPACE #	
SIDWELL # 50-22-03-01-023	May be obtain from Assessing Department (248) 347-0485		
CROSS ROADS OF PROPERTY Vacant Land South of Delmont Drive on the West side of Dinsler Drive			
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		REQUEST IS FOR: <input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE	
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
<b>II. APPLICANT INFORMATION</b>			
<b>A. APPLICANT</b>		EMAIL ADDRESS Julie@KensingtonFamilyHomes.com	CELL PHONE NO. (734) 645-0231
NAME Julie Longo		TELEPHONE NO.	
ORGANIZATION/COMPANY Kensington Family Homes		FAX NO.	
ADDRESS 28317 Beck Road, E17	CITY Wixom,	STATE MI	ZIP CODE 48393
<b>B. PROPERTY OWNER</b> <input type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER			
Identify the person or organization that owns the subject property:		EMAIL ADDRESS	CELL PHONE NO. 734-645-0231
NAME HB66, LLC		TELEPHONE NO.	
ORGANIZATION/COMPANY HB66, LLC		FAX NO.	
ADDRESS 28317 Beck Rd, E17	CITY Wixom	STATE MI	ZIP CODE 48393
<b>III. ZONING INFORMATION</b>			
<b>A. ZONING DISTRICT</b>			
<input checked="" type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____			
<b>B. VARIANCE REQUESTED</b>			
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:			
1. Section	3.1.1	Variance requested	Minimum side yard setback from 20 to 15
2. Section	3.1.1	Variance requested	(Combined side yard setback from 50 to 45)
3. Section		Variance requested	
4. Section		Variance requested	
<b>IV. FEES AND DRAWINGS</b>			
<b>A. FEES</b>			
<input type="checkbox"/> Single Family Residential (Existing) \$200 <input type="checkbox"/> (With Violation) \$250 <input checked="" type="checkbox"/> Single Family Residential (New) \$250 <input type="checkbox"/> Multiple/Commercial/Industrial \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> Signs \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> House Moves \$300 <input type="checkbox"/> Special Meetings (At discretion of Board) \$600			
<b>B. DRAWINGS 1-COPY &amp; 1 DIGITAL COPY SUBMITTED AS A PDF</b>			
<ul style="list-style-type: none"> <li>Dimensioned Drawings and Plans</li> <li>Site/Plot Plan</li> <li>Existing or proposed buildings or addition on the property</li> <li>Number &amp; location of all on-site parking, if applicable</li> <li>Existing &amp; proposed distance to adjacent property lines</li> <li>Location of existing &amp; proposed signs, if applicable</li> <li>Floor plans &amp; elevations</li> <li>Any other information relevant to the Variance application</li> </ul>			



# ZONING BOARD OF APPEALS APPLICATION

## V. VARIANCE

### A. VARIANCE (S) REQUESTED

DIMENSIONAL     USE     SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

### B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign ten-(10) days** before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

### C. ORDINANCE

#### City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

### D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING     ADDITION TO EXISTING HOME/BUILDING     SIGNAGE

ACCESSORY BUILDING     USE     OTHER \_\_\_\_\_

## VI. APPLICANT & PROPERTY SIGNATURES

### A. APPLICANT


  
\_\_\_\_\_  
Applicant Signature

2/18/2021  
\_\_\_\_\_  
Date

### B. PROPERTY OWNER

**If the applicant is not the owner, the property owner must read and sign below:**

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

  
\_\_\_\_\_  
Property Owner Signature

2/18/2021  
\_\_\_\_\_  
Date

## VII. FOR OFFICIAL USE ONLY

### DECISION ON APPEAL:

GRANTED

DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

\_\_\_\_\_  
Chairperson, Zoning Board of Appeals

\_\_\_\_\_  
Date

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

## Standard #1. Circumstances or Physical Conditions.

Explain the **circumstances or physical conditions** that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

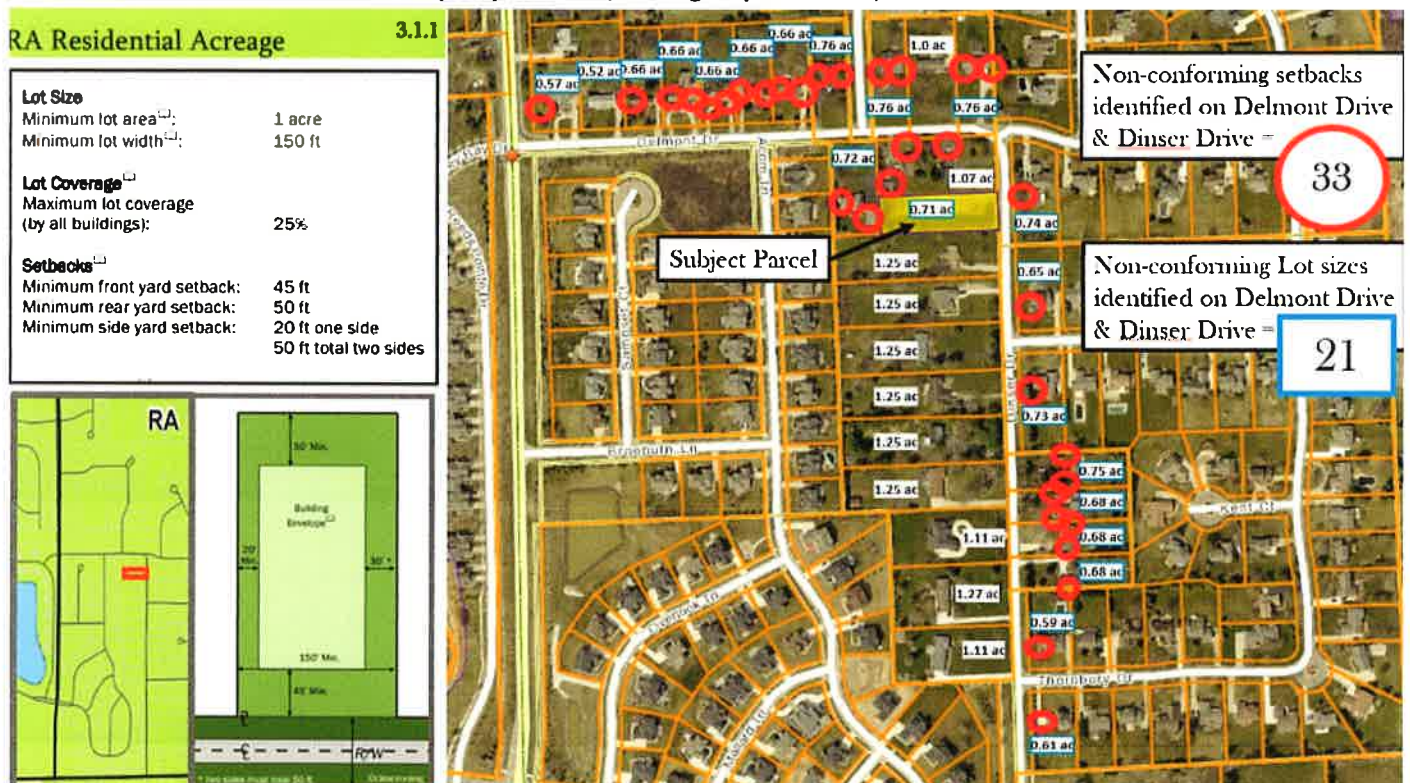
- a. **Shape of Lot.** Exceptional narrowness, shallowness or **shape of a specific property** in existence on the effective date of the Zoning Ordinance or amendment. **Applicable, described below:**

*The need for a variance is due to **unique shape and circumstances peculiar to this property**. These conditions create an unnecessary hardship that requires relief. The existing lot size does not conform to the RA district minimum size required (1 Acre.) It measures 0.71 acres, like most of the existing lots on Delmont Drive and Dinser Drive. If the lot sizes on this block complied with the RA requirements, this variance, and the all other existing non-conformities on the street, would not be required. The **size of the property is unusual** in that it is smaller than the standard RA lot size and it is surrounded by properties with similar circumstances that have similar non-conformities. It is reasonable to request this minor side setback reduction (5', one side) which is to-scale with the existing lot size and similar to surrounding properties. **All other setback standards of the R-A district can be met.***

*There are at least 21 other lots on these two drives that do not comply with the RA minimum lot size, and at least 33 instances of smaller setbacks than those required by RA standards. It would be impractical to allow the irregular configuration of the property to detrimentally impact the applicant. It would not serve the purpose of the minimum side yard setback requirement, which is to create consistency with similar adjacent lots.*

*The **City of Novi Ordinance Section 3104** allows the **Zoning board of Appeals** to permit **modification of the "minimum side yard setback"** requirement prescribed in the Zoning Ordinance because the property configuration clearly demonstrates that **the shape & circumstances of the property is unique and not generally applicable to other properties in the RA district**. The legal requirement has been met.*

**Exhibit 1: Property location, zoning requirements, unusual circumstances**



- b. **Environmental Conditions.** Exceptional topographic or environmental conditions **Not Applicable, Not required**
- c. **Abutting Property.** The adjacent property would prohibit literal enforcement. **Not Applicable/Not Required.**

## **Standard #2. Not Self-Created.**

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is **not self-created**).

*The applicant's problem is **not self-created**. The problem is an **unnecessary hardship** on the property owner requiring relief. The applicant did not have a hand in creating the multiple lots on Delmont Drive and Dinser Drive that are non-conforming in both size and setbacks. The intent of the ordinance was to create **similar lot sizes within the district to ensure compatibility**. The applicant is seeking similar treatment to the precedent that have been set on these two streets. The applicant had no hand in creating this the situation. The **City of Novi Ordinance Section 3104** allows the **Zoning board of Appeals** to permit **modification of the "minimum side yard setback" requirement** prescribed in the Zoning Ordinance because the practical difficulty was not self-created, and the legal standard has been met. (see Exhibit 1)*

## **Standard #3. Strict Compliance.**

Explain how the Dimensional Variance in **strict compliance** with regulations governing area, setback, frontage, height, bulk, density, or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose or will render conformity with those regulations unnecessarily burdensome.

*The property cannot be reasonably used for the purposes permitted which creates an **unnecessary hardship**. Without ZBA approval to modify the "minimum side setback," the property owner will be **unreasonably prevented from using the property for the intended purpose, which is to provide similar homes on similar lot configurations**. **Strict compliance with the 20' side setback requirement would reduce the property to an unusually narrow house, or prevent a side entry garage, which would be out of character for the area. This would be contrary to the intent of the ordinance**. The intent of the Zoning requirements could not be achieved without the variance. The **City of Novi Ordinance Section 3104** allows the **Zoning board of Appeals** to permit **modification of the "minimum side yard setback" requirement** prescribed in the Zoning Ordinance because strict compliance with the 20' minimum side yard setback will unreasonably prevent use of the property in the intended manner, like the vast majority of surrounding properties enjoy. The legal standard has been met.*

## **Standard #4. Minimum Variance Necessary.**

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

*The variance requested is the minimum variance necessary. The existing lot width (100') is 50' short of the RA standard. The reduction in combined side yard setbacks is 10% of the requirement (5' variance/50' combined) and is **significantly smaller than the EXISTING lot width non-conformity (50/150 =33%)**. **No other variances to the RA lot requirements are being requested, making this the minimum necessary to do substantial justice to the applicant**. The resulting lot setbacks will be to scale with the lot size and significantly larger than most of the non-conforming lots in existence on these streets. The **City of Novi Ordinance Section 3104** allows the **Zoning board of Appeals** to permit **modification of the "minimum side yard setback" requirement** prescribed in the Zoning Ordinance because the requested variance is the minimum variance necessary and the legal standard has been met.*

## Standard #5. Adverse Impact on Surrounding Area.

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

The variance **will not alter the character of the area**. The residential lots on Delmont and Dinser are also smaller than the RA district requires and contain significantly more and significantly greater setback variances than that being requested by the applicant. Approving the variance will allow a **similar home** to be built on the parcel, providing substantial justice to the petitioner and surrounding property owners. The City of Novi Ordinance Section 3104 allows the Zoning board of Appeals to permit **modification of the "minimum side yard setback" requirement** prescribed in the Zoning Ordinance because the variance will not cause an adverse impact on surrounding parcels, and the legal standard has been met. (see Exhibit 2 below)

**Petitioner has met all requirements set forth in the ordinance to grant the variance.**

**All the Elements of Practical Difficulty exist.**

**We respectfully request your support.**

### Exhibit 4: Proposed site configuration





## Community Development Department

45175 Ten Mile Road  
Novi, MI 48375  
(248) 347-0415 Phone  
(248) 735-5600 Facsimile  
[www.cityofnovi.org](http://www.cityofnovi.org)

## ZONING BOARD OF APPEALS VARIANCE APPLICATION CHECKLIST

The following items are required for a complete Variance application. Incomplete applications will be returned.

**Signed Application Form**

Complete the Zoning Board of Appeals application form. Application must be signed by the applicant and the property owner (if different).

**Response to Variance Review Standards – Dimensional, Use, or Sign**

Select the applicable Review Standards for the requested Variance and complete in full. Use additional paper if needed. If you don't know which Review Standards to complete, call the Community Development Department at 248.347.0415 for guidance.

**Dimensioned Site Plan (1 copy & 1 digital copy submitted as a PDF)**

- Existing or proposed buildings or additions on the property.
- Number and location of all on-site parking spaces.
- Existing and proposed distances to adjacent property lines.
- Location of existing and proposed signs, if applicable.
- Any other information relevant to the Variance application.

**Dimensioned Drawings and Plans (1 copy & 1 digital copy submitted as a PDF)**

- Floor plans and elevations with all proposed buildings and additions.
- All existing and proposed signs on the property (photographs may be used).
- For use variances, include floor plan showing the existing and proposed layout and functions of each area.
- For multi-family residential structures or projects, a summary showing the existing and proposed number of dwelling units by type (efficiency, one-bedroom, two-bedroom, etc.)

**Other Helpful Information – Optional (1 copy & 1 digital copy submitted as a PDF)**

- Photographs of the lot or structure that shows the special conditions or circumstances described in the application.
- Photographs or maps that show how other properties in the area enjoy the same type of property rights related to the Variance.
- Letters of support from the neighbors who would be most affected by your request.

**Fee** (make check payable to the City of Novi)

Single Family Residential (Existing) \$200 (With Violation) \$250  
Single Family Residential (New) \$250  
Multiple/Commercial/Industrial \$300 (With Violation) \$400  
Signs \$300 (With Violation) \$400  
House Moves \$300  
Special Meetings (At discretion of Board) \$600

### Additional Information

In the course of reviewing the application, the Planning Department staff may request additional information from the applicant.





**Community Development Department**

45175 Ten Mile Road  
Novi, MI 48375  
(248) 347-0415 Phone  
(248) 735-5600 Facsimile  
[www.cityofnovi.org](http://www.cityofnovi.org)

**REVIEW STANDARDS  
DIMENSIONAL VARIANCE**

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

**Standard #1. Circumstances or Physical Conditions.**

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.

Not Applicable     Applicable    If applicable, describe below:

See attached

*and/or*

- b. Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.

Not Applicable     Applicable    If applicable, describe below:

*and/or*

- c. Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.

Not Applicable     Applicable    If applicable, describe below:

## **Standard #2. Not Self-Created.**

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

See attached

## **Standard #3. Strict Compliance.**

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

See attached

## **Standard #4. Minimum Variance Necessary.**

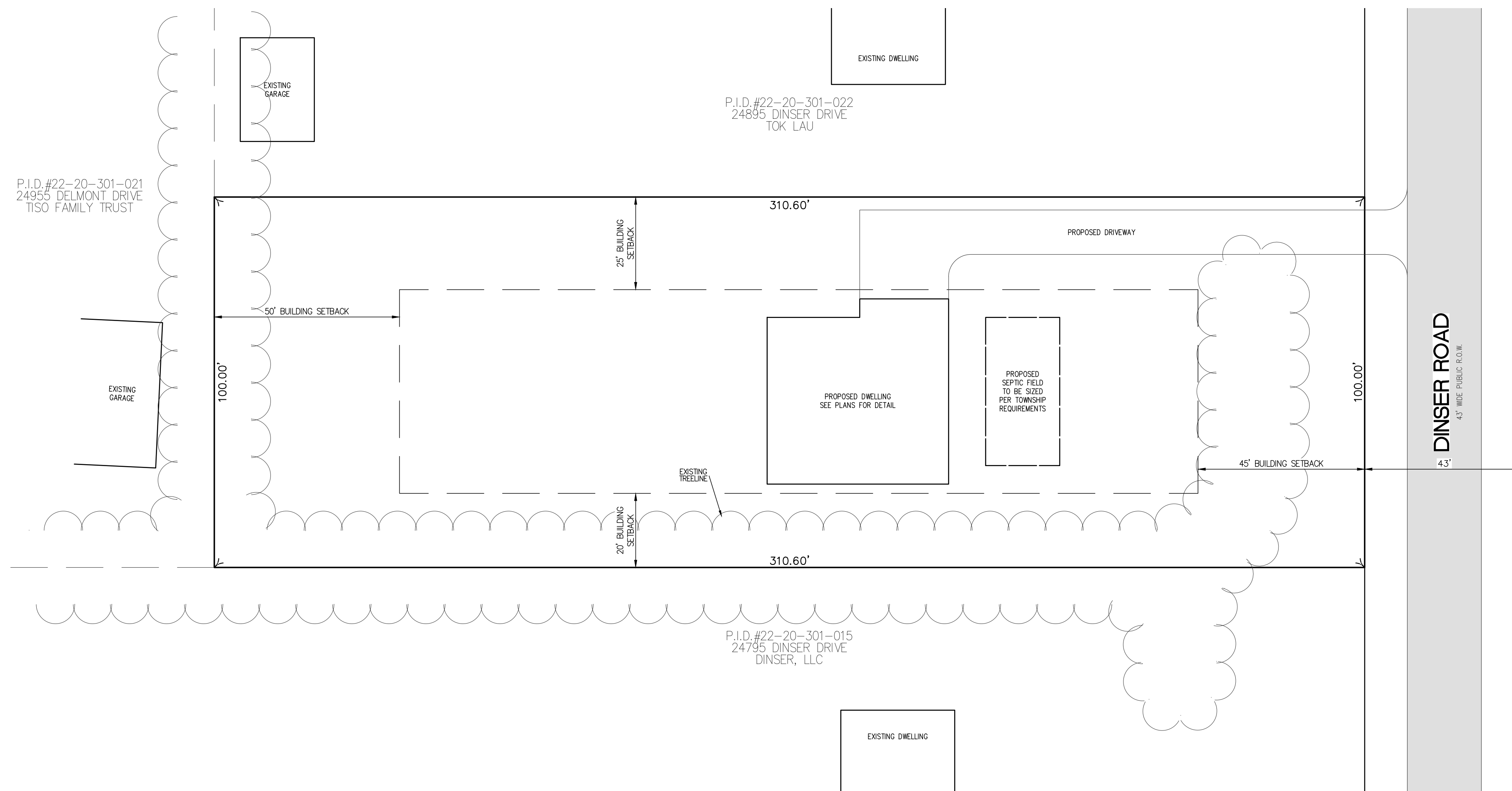
Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

See attached

## **Standard #5. Adverse Impact on Surrounding Area.**

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

See attached

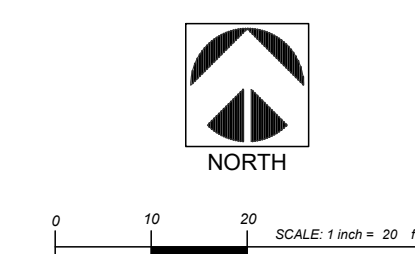


**EXISTING LEGAL DESCRIPTION AS PROVIDED**

T1N-R8E, SECTION 20, PART OF THE SW 1/4 BEGINNING AT A POINT DISTANT N89°50'00"E 1092.00 FEET & SOUTH 150.00 FEET FROM THE W 1/4 CORNER, THENCE N89°50'00"E 310.60 FEET, THENCE SOUTH 100.00 FEET, THENCE S89°50'00"W 310.60 FEET, THENCE NORTH 100.00 FEET TO THE POINT OF BEGINNING. CONTAINS 0.71 ACRES.

**BUILDER INFORMATION**

KENSINGTON FAMILY HOMES  
 28317 BECK ROAD - E17  
 WYOM, MI 48393  
 (248) 965-0123



PAPER SIZE: 24x36

PROPOSED PARCEL LAYOUT  
 24847 DINSER DRIVE

PART OF THE SW 1/4 SECTION 20  
 TOWN 1 NORTH - RANGE 8 EAST  
 CITY OF NOVI  
 OAKLAND COUNTY, MICHIGAN

Date: 02-05-2021  
 Project No.: 210204

**The UMLOR Group**  
 49287 WEST ROAD, WYOM, MI 48393  
 PH: (248) 773-7656, FAX: (866) 690-4307

# THE HAMPTON

1640 F.F./1473 S.F.= 3046 TOTAL CONSTRUCTION S.F.

1.0	COVER SHEET		5.1.1	FRONT ELEVATIONS/ROOF	OPTIONS INCLUDE ELECTRICAL AND BRACING	OPT 11.7	OPT 3 CAR SIDE W/6' EXT.		
1.1	NOTES		5.2.1	RGHT.SIDE/REAR ELEV.		OPT 11.8	OPT 3 CAR SIDE W/4' EXT.		
			5.3.1	LEFT SIDE ELEVATION		OPT 9.1.1	OPT 9' ELEVATION	OPT 11.9	OPT 3 CAR SIDE W/2' EXT.
2.0.1	FOUNDATION NOTES							OPT 11.10	OPT STD. W/6' EXT & 3 CAR
2.1.1	FOUNDATION PLAN		6.1.1	BUILDING SECTIONS		OPT 10.1.1	OPT GARDEN VIEW PLAN	OPT 11.11	OPT STD.W/4' EXT & 3 CAR
2.2.1-E	FND. ELECTRICAL PLAN		6.2.1	STAIR SECTION		OPT 10.1.2	OPT GARDEN VIEW ELEV.	OPT 11.12	OPT STD. W/2' EXT & 3 CAR
2.3.1-M	FND. MECHANICAL PLAN							OPT 11.13	OPT STD. W/6' EXT & 4' BUMP
			D.	STANDARD PLAN DETAILS		OPT 10.2.1	OPT DAYLIGHT PLAN	OPT 11.14	OPT STD. W/4' EXT & 4' BUMP
3.1.1	1ST FLOOR PLAN		F.	FOUNDATION DETAILS		OPT 10.2.2	OPT DAYLIGHT ELEVATIONS	OPT 11.15	OPT STD. W/2' EXT & 4' BUMP
3.2.1-E	1ST ELECTRICAL PLAN		S.	STRUCTURAL OPT. DETAILS				OPT 11.16	OPT 4' EXTENSION
3.3.1-M	1ST MECHANICAL PLAN				OPT 10.3.1	OPT WALK-OUT PLAN	OPT 11.17	OPT 2' EXTENSION	
3.4.1-B	1ST BRACING PLAN				OPT 10.3.2	OPT WALK-OUT ELEVATIONS	OPT 11.18	OPT SIDE ENTRY W/4' EXT	
3.4.2-B	1ST BRACING CALCS						OPT 11.19	OPT SIDE ENTRY W/2' EXT	
3.4.3-B	BRACING OPTIONS				OPT 11.1	OPT 4' SIDE BUMP GARAGE			
4.1.1	2ND FLOOR PLAN				OPT 11.2	OPT 6' EXTENSION	OPT 12.1.1	OPT FIRST FLOOR OPTIONS	
4.2.1-E	2ND ELECTRICAL PLAN				OPT 11.3	OPT SIDE ENTRY GARAGE	OPT 12.2.1	OPT SECOND FLOOR OPTS.	
4.3.1-M	2ND MECHANICAL PLAN				OPT 11.4	OPT SIDE ENTRY W/6' EXT.			
4.4.1-B	2ND BRACING PLAN				OPT 11.5	OPT 3 CAR FRONT ENTRY	OPT 13.1	OPT EAT IN KITCHEN	
4.4.2-B	2ND BRACING CALCS				OPT 11.6	OPT 3 CAR SIDE ENTRY	OPT 14.1	OPT RAISED LOFT	

\*\*OPTIONS\*\*

DATE	ISSUED FOR	BY	DATE	MISCELLANEOUS SHEET	BY
1/24/09	FINAL REVIEW	KHZ			
3/6/09	FINAL	KHZ			
11/4/09	FINAL REVIEW	KHZ			
11/1/09	"GO LIVE"	KHZ			
PLAN NAME: <b>THE HAMPTON</b>					
JOB NUMBER 4958-518					
<b>MI</b>					
SHEET NO. 1.0					

SHEET SCALE: (UNLESS NOTED OTHERWISE) 1/8" = 1'-0" ON 11X17 PAPER, 1/4" = 1'-0" ON 24X36 PAPER WHEN PRINTED AT 200%



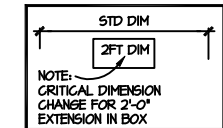
# FOUNDATION NOTES:

NOTE:  
ALL DAYLIGHT & WALKOUT  
WINDOW AND DOORWALL  
HEADERS ARE (2)2X12 WITH  
3 JACK STUDS EACH END.  
IF 6'-0" DOORWALL IS  
PURCHASED IN A 2 STORY  
HOME, HEADER SHALL BE  
(3)2X12 WITH 3 JACK STUDS  
EACH END.

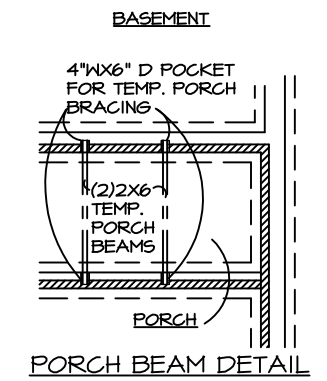
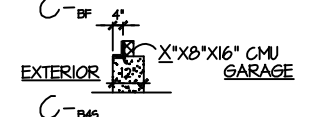
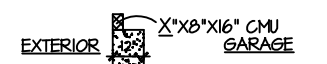
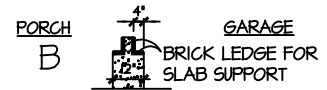
COORDINATE GRADE  
DROP WITH PLOT PLAN  
FOR STEPS IN WALL.

EGRESS WINDOW DELETED  
WITH DAYLIGHT OR  
WALK-OUT.

8'-10" POURED WALL  
STANDARD WITH DAYLIGHT  
& WALK-OUT.



FOUNDATION TRENCH &  
BLOCK CLARIFICATION  $\Delta^* = 4" W/2X4$   
 $6" W/2X6$



## FOUNDATION PLAN NOTES

- CONTROL JOINTS TO CONSIST OF "ZIP STRIP" OR TOOLED JOINTS WITH MINIMUM DEPTH OF 1/4 OF SLAB THICKNESS. PROVIDE AT MAX 30' INTERVALS, UNLESS SHOWN OTHERWISE.
- ALL ANGLED WALLS AND FOOTINGS ARE 45 DEGREES UNLESS OTHERWISE NOTED.
- SLOPE CONCRETE SLAB TO FLOOR DRAINS WITHIN 5'-0" OF DRAIN AND WITHIN ROOM TO BE DRAINED.
- ALL CONCENTRATED LOADS FROM BEAMS OR GIRDER TRUSSES TO TRANSFER TO FOUNDATION VIA POSTS, BEAMS AND/OR SOLID BLOCKING.
- FIELD LOCATE SANITARY SUMP(S) TO BE WITHIN 10'-0" OF DRAINS (AS REQUIRED).
- PROVIDE BEARING PLATES AT TOP AND BOTTOM OF ALL STEEL COLUMNS.
- COLUMN BEARING PLATES BEARING ON FOUNDATION WALLS TO BE ANCHORED.
- PROVIDE STEEL ANCHOR BOLTS AT 6'-0" o.c. MAX. AND 12" MAX. FROM EACH END OF MIDSILL; MIN. 2 BOLTS PER PLATE TO BE EMBEDDED MIN 1" INTO FOUNDATION WALL, 12" INTO CONCRETE BLOCK. STRAPS MAY BE SUBSTITUTED FOR BOLTS AT SAME LOCATIONS, BUT SPACED NOT GREATER THAN MANUFACTURERS TESTED SPACING.
- PROVIDE MIN. 3" CONCRETE COVER AT BELOW SLAB UTILITY LOCATIONS. WHEN CONCRETE ENCASEMENT OF UTILITY LINES IS REQUIRED, INCREASE SLAB THICKNESS AT THE UTILITY. UTILITIES SHALL BE PLACED SUFFICIENTLY BELOW SLAB TO MAINTAIN PROPER COVERAGE.
- BLEEDER LINES SHALL BE INSALLED 20'-0" ON CENTER.
- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON SHEET I.1 AND I.2 AND DETAILS.
- FOUNDATION DESIGN IS BASED ON A MINIMUM SOIL BEARING CAPACITY OF 2500 PSF. CAPACITY SHALL BE FIELD VERIFIED BY A SOILS TESTING ENGINEER. IN CASE OF LOWER VALUES, FOOTING WIDTHS SHALL BE INCREASED TO COMPLY WITH MRC TABLE R408.1.

**W** = WATER MANIFOLD

BEAM SIZES FOR REFERENCE FOR POCKET:

- WBX10 = 4" X 7-7/8"
- WBX15 = 4" X 8-1/4"
- WBX18 = 5-1/4" X 8-1/8"
- WBX21 = 5-1/4" X 8-1/4"

- 7'-10" POURED WALL HEIGHT STANDARD
- 8'-10" POURED WALL HEIGHT OPTIONAL
- 8'-10" IS STANDARD W/ DAY-LIGHT & WALK-OUT OPTIONS

GROUNDING ELECTRODE SYSTEM NOTE:  
PER 2015 MRC SECTION E3608, AT LEAST ONE OF THE FOUR FOLLOWING ELECTRODES MUST BE PROVIDED. IF ANY OF THESE FOUR ARE PRESENT, THEY SHALL BE BONDED TOGETHER TO FORM A GROUNDING ELECTRODE.

- E3608.1.1 METAL UNDERGROUND WATER PIPE. (IF PLASTIC WATER SERVICE PIPE IS USED, METHOD #2, 3, or 4 MUST BE PROVIDED)
- E3608.1.2 CONCRETE ENCASED ELECTRODE. (#4 RE-BARS OR LARGER IN THE FOOTING, OR MIN 4 AWG COPPER)
- E3608.1.3 GROUND RINGS
- E3608.1.4 ROD AND PIPE ELECTRODES. (MIN. 8 FEET LONG)

RE-BAR INSTALLATION NOTE:  
BEND BARS AT ALL FOOTING CORNERS AND EXTEND MINIMUM 10 TIMES DIAMETER (9" FOR #4, 12" FOR #5)

MINIMUM HORIZONTAL REINFORCEMENT FOR BASEMENT WALLS  
(MRC TABLE R404.1.2(1))  
-STD 7'-10" POUR: #4 BAR 12" FROM TOP & AT MID HEIGHT OF WALL  
-OPT 8'-10" POUR: #4 BAR 12" FROM TOP & AT 3RD POINTS OF WALL HEIGHT

DATE	ISSUED FOR	BY	DATE	MISCELLANEOUS SHEET	
				BY	DATE
1/24/18	FINAL REVIEW	KHZ			
3/16/18	FINAL	KHZ			
11/4/18	FINAL REVIEW	KHZ			
11/11/18	'50 LIVE'	KHZ			

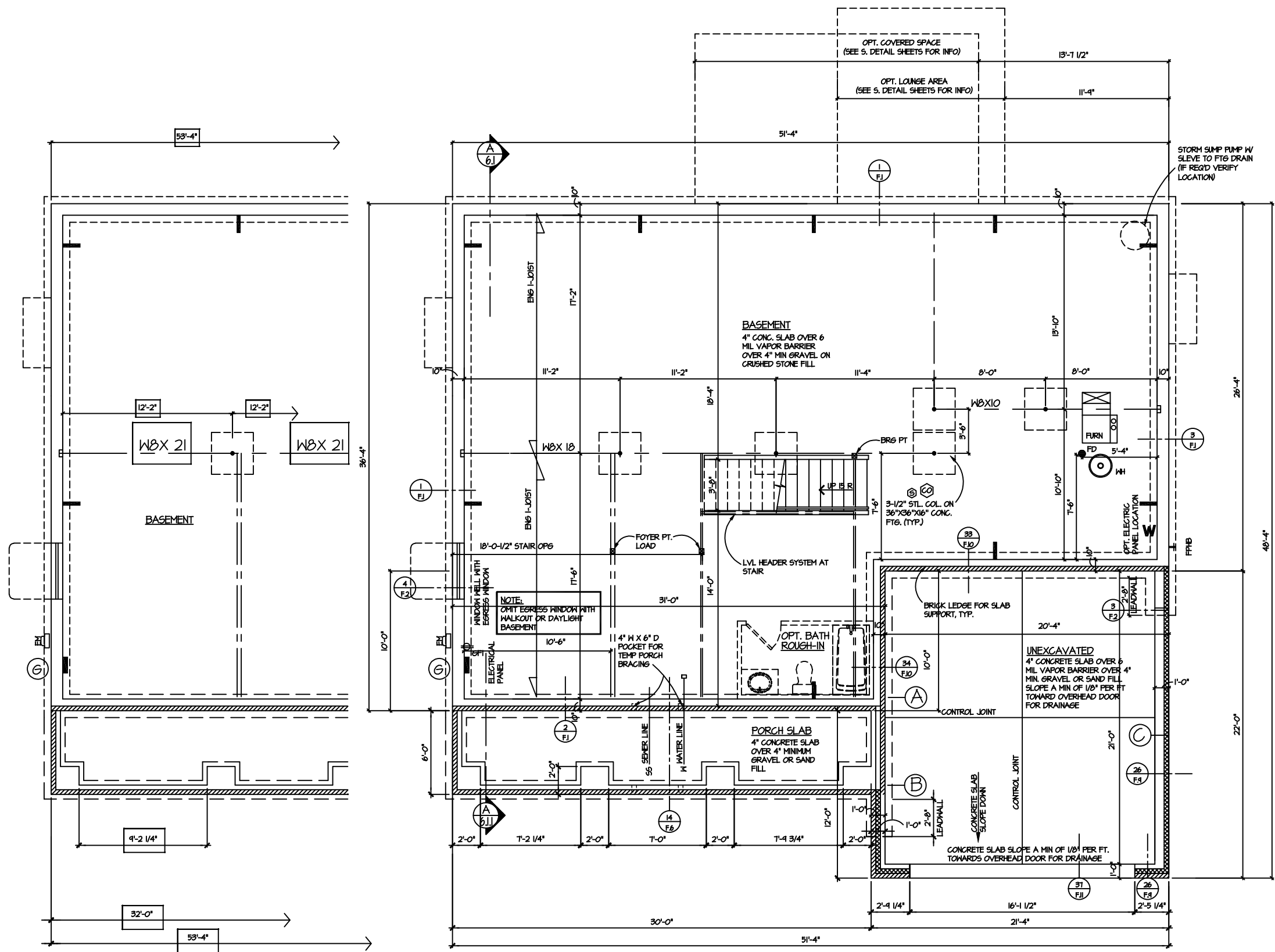
PLAN NAME:  
**THE HAMPTON**

JOB NUMBER  
4958-518

**MI**

SHEET NO.  
2.0.1

BF

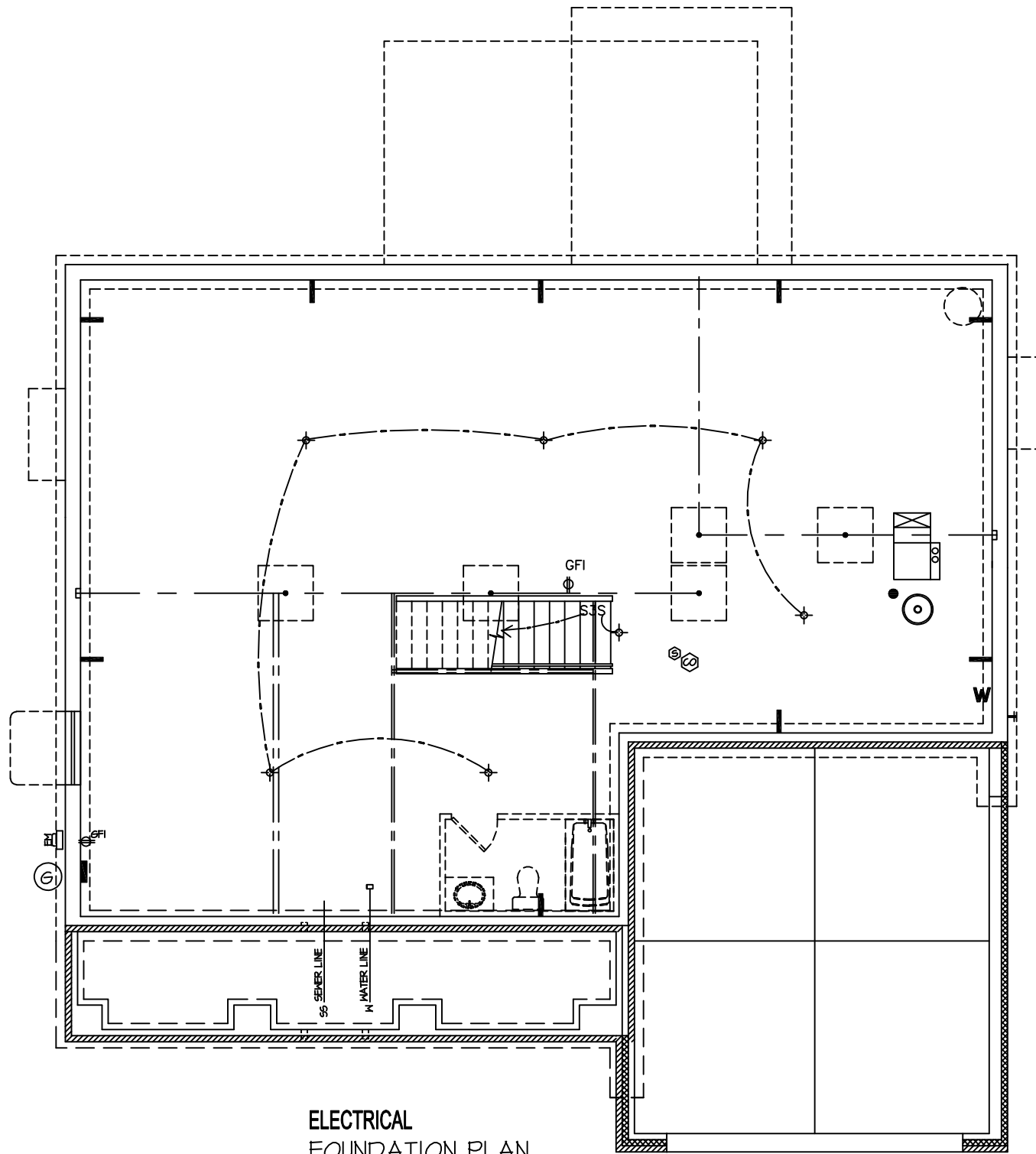


2' EXTENSION  
 FOUNDATION PLAN  
 SCALE: 1/8" = 1'-0"

BF  
 FOUNDATION PLAN  
 SCALE: 1/8" = 1'-0"

DATE	ISSUED FOR	BY	DATE	MISCELLANEOUS SHEET
1/24/08	FINAL REVIEW	KHZ		
3/6/08	FINAL	KHZ		
11/4/08	FINAL REVIEW	KHZ		
11/11/08	"GO LIVE"	KHZ		
PLAN NAME:		THE HAMPTON		
JOB NUMBER		4958-518		
SHEET NO.		MI		
		2.1.1		

SHEET SCALE: (UNLESS NOTED OTHERWISE) 1/8" = 1'-0" ON 11X17 PAPER, 1/4" = 1'-0" ON 24X36 PAPER WHEN PRINTED AT 200%



**ELECTRICAL FOUNDATION PLAN**  
SCALE: 1/8" = 1'-0"

RESIDENTIAL ELECTRICAL SYMBOL LEGEND	
<b>LIGHT FIXTURES</b>	
●	RECESSED CAN LIGHT
●	RECESSED CAN - DIRECTIONAL
⊕	CEILING MOUNTED FIXTURE
⊕	WALL MOUNTED FIXTURE
⊕	FULL CHAIN FIXTURE
⊕	WALL SCONCE
<b>OUTLETS</b>	
⊕	DUPLEX RECEPTACLE
⊕	GROUND FAULT INTERRUPTING CIRCUIT
⊕	WEATHERPROOF RECEPTACLE
⊕	HALF SWITCHED RECEPTACLE
⊕	RANGE/DRYER 220V OUTLET
⊕	DIRECT WIRE CONNECTION
⊕	TELEPHONE OUTLET
⊕	CATV (TELEVISION) OUTLET
⊕	THERMOSTAT
⊕	UNDER-COUNTER OR CONCEALED OUTLETS
⊕	GENERATOR PREP OUTLET
<b>SWITCHES</b>	
S	SINGLE POLE SWITCH
S3	THREE-WAY SWITCH
S4	FOUR-WAY SWITCH
SD	DIMMER SWITCH
<b>MISC FIXTURES</b>	
⊕	EXHAUST FAN
⊕	EXHAUST FANLIGHT
⊕	EXHAUST FANLIGHT/HEAT
⊕	SMOKE DETECTOR
⊕	CARBON MONOXIDE DETECTOR
⊕	ELECTRICAL PANEL
⊕	DISPOSAL
⊕	DOORBELL CHIMES
⊕	DOORBELL
⊕	OPTIONAL CEILING FANLIGHT

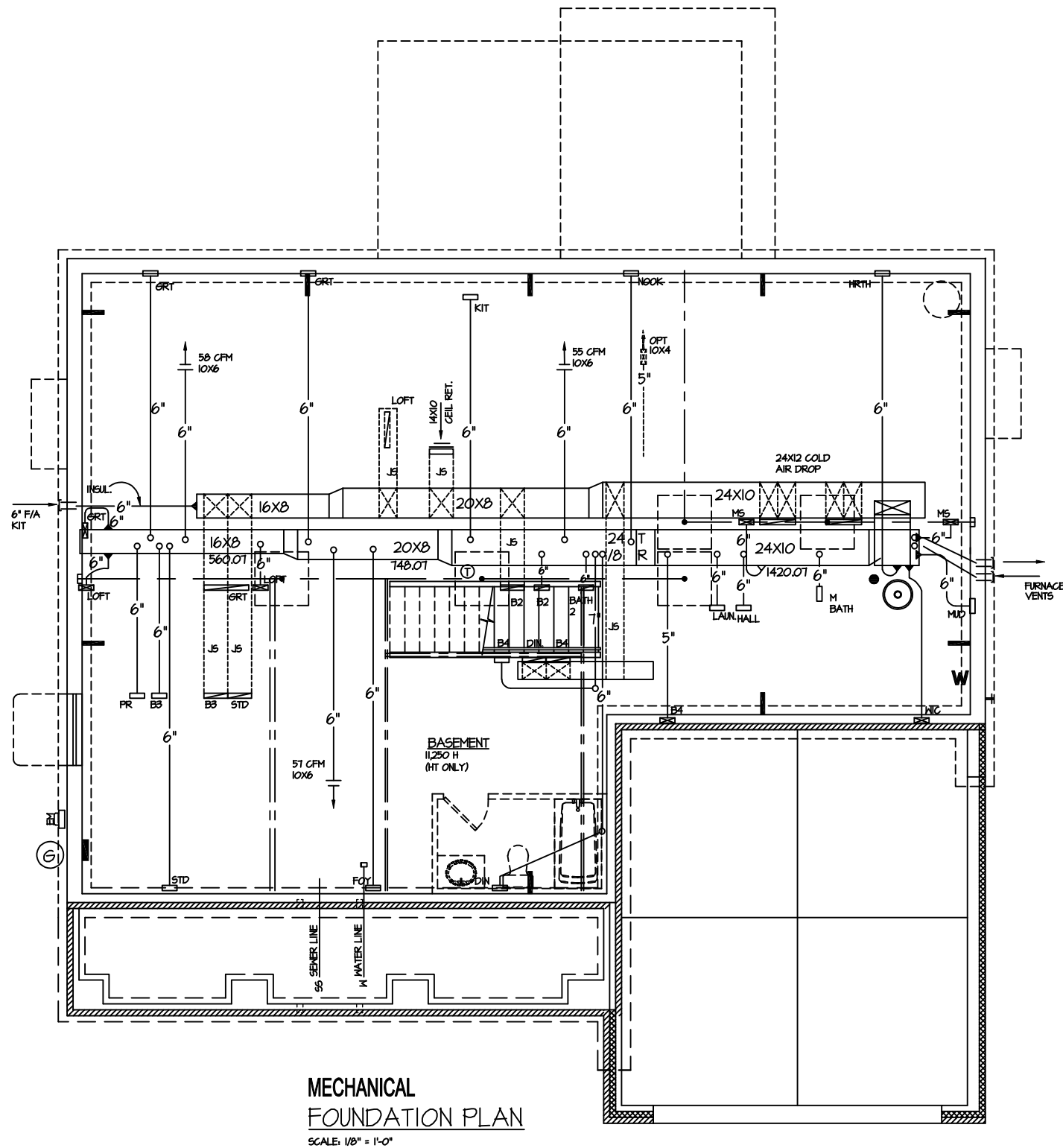
**ELECTRICAL PLAN NOTES:**

- ALL ELECTRICAL WORK SHALL COMPLY WITH THE LATEST EDITION OF N.E.C. LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS, INCLUDING THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA)
- ALL ELECTRICAL SYSTEMS AND EQUIPMENT SHALL CONFORM TO ALL NATIONAL, STATE, AND LOCAL BUILDING CODES.
- COORDINATE ALL NEW UNDERGROUND ELECTRICAL WORK WITH NEW AND EXISTING UTILITIES BEFORE INSTALLATION.
- ALL ELECTRICAL MATERIALS SHALL BE NEW AND BEAR THE "UL" LABEL OR LISTING.
- FUSES SHALL BE "UL" LISTED, DUAL-ELEMENT, REJECTION TYPE.
- ALL DUPLEX RECEPTACLES SHALL BE SPECIFICATION GRADE 125 VOLT, 15 AMP, GROUNDED TYPE.
- SWITCHES SHALL BE 15 AMP, 120/277 VOLT, SPECIFICATION GRADE SINGLE, DOUBLE, ETC., AS INDICATED.
- LIGHTING AND RECEPTACLE BRANCH CIRCUIT BREAKERS SHALL BE RATED FOR SWITCHING DUTY.
- FLUSH MOUNT ALL EQUIPMENT AND CONCEAL ALL CONDUIT OR WIRING IN WALLS AND CEILING SPACES IN FINISHED AREAS.
- ALL CABINETS, MOTOR FRAMES, STARTERS, CONDUIT OR WIRING IN WALLS AND CEILING SPACES IN FINISHED AREAS.
- TEST CIRCUITS AS SOON AS CONDUCTORS ARE INSTALLED AND MAKE FINAL OPERATING TEST WHEN WORK IS COMPLETE.
- THE ELECTRICAL CONTRACTOR SHALL VERIFY EXACT LOCATIONS AND PROVIDE ROUGH-INS FOR ALL EQUIPMENT FURNISHED BY OTHERS.
- THE ELECTRICAL CONTRACTOR SHALL COORDINATE LOCATIONS OF HIS EQUIPMENT AND WORK WITH OTHER BUILDING TRADES TO AVOID INTERFERENCE BETWEEN HIS WORK AND THE WORK OF OTHER BUILDING TRADES.
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO PROVIDE GFCI AND/OR WEATHER PROOF RECEPTACLES WHERE REQUIRED BY THE LATEST MICHIGAN RESIDENTIAL CODE AND FIRE CODE.
- ALL SMOKE DETECTORS TO BE LOCALLY CERTIFIED, 110 V WITH BATTERY BACKUP, WIRED IN SERIES, INTERCONNECTED TO ALL OTHERS, IN THE IMMEDIATE VICINITY OF ALL BEDROOM DOORS. MIN 1 SMOKE DETECTOR PER FLOOR. MIN 1 SMOKE DETECTOR PER SLEEPING ROOM PER LATEST MICHIGAN RESIDENTIAL CODE, NEC, & NFPA AS REFERENCED.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT (I.E. FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.
- ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
- INSTALL DOORBELL TRANSFORMERS WITHIN THE DOORBELL CHIME BOX
- ALL DUPLEX RECEPTACLES (INTERIOR AND EXTERIOR) TO BE TAMPER RESISTANT (PER 2015 MRC E 4002.14)
- PROVIDE SINGLE STATION CARBON MONOXIDE DETECTOR OUTSIDE OF BEDROOMS PER 2015 MRC SECT R315 AND MIN 1 PER FLOOR INCLUDING BASEMENT

PLAN NAME:		JOB NUMBER	
THE HAMPTON		4958-518	
SHEET NO.		MI	
2.2.1-E			

SHEET SCALE: (UNLESS NOTED OTHERWISE) 1/8" = 1'-0" ON 11X17 PAPER, 1/4" = 1'-0" ON 24X36 PAPER WHEN PRINTED AT 200%





**MECHANICAL FOUNDATION PLAN**  
SCALE: 1/8" = 1'-0"

- MECHANICAL NOTES:**
- 1) LOAD CALCULATIONS BASED ON ACCA MANUAL 'J'.
  - 2) SYSTEM DESIGN BASED ON ACCA MANUAL 'D'.
  - 3) ALL DUCTWORK TO BE FABRICATED AND INSTALLED PER SMACNA DUCT CONSTRUCTION STANDARDS FOR METAL AND FLEXIBLE DUCTS.
  - 4) ALL DUCTWORK TO BE SEALED IN COMPLIANCE WITH APPLICABLE SECTION OF THE CURRENT MICHIGAN RESIDENTIAL CODE.
  - 5) THERMOSTATS TO BE PROGRAMMABLE IN COMPLIANCE WITH APPLICABLE SECTION OF CURRENT MICHIGAN UNIFORM ENERGY CODE.
  - 6) OUTDOOR AIR INTAKES AND EXHAUSTS TO HAVE AUTOMATIC OR GRAVITY DAMPERS.
  - 7) ALL DUCTWORK LOCATED IN UNCONDITIONED AREAS TO HAVE A MINIMUM R-8 INSULATION.
  - 8) ALL DUCTWORK LOCATED WITHIN THE BUILDING ENVELOPE ASSEMBLY TO HAVE A MINIMUM R-8 INSULATION.
  - 9) SUPPLY BRANCH RUNS TO HAVE VOLUME DAMPERS.
  - 10) MAIN SUPPLY DUCT 90 DEGREE ELBOWS TO HAVE TURNING VANES AND RADIUS (UNO).
  - 11) PROVIDE CANVAS CONNECTORS ON MAIN SUPPLY AND RETURN DUCTS AT FURNACE.
  - 12) FLEXIBLE DUCT BRANCH RUNS ARE TO BE KEPT SHORT, STRAIGHT AND UNRESTRICTED BY CRUSHING OR CRIMPING.
  - 13) AIR VOLUMES SHOWN ARE COOLING CFMS (UNO).
  - 14) USE EXTENDED PLENUM TYPE FITTINGS (EP) ONLY.
  - 15) BATH AND DRYER VENTS TO BE DUCTED TO OUTSIDE.
  - 16) DIFFUSERS AND GRILLES BY HART AND COOLEY OR APPROVED EQUAL.
  - 17) CONDENSER SEER RATINGS TO BE A MINIMUM OF 13.
  - 18) REFRIGERANT PIPING SUCTION LINE TO BE INSULATED TO A MIN. R-4 WITH A SURFACE PERMEANCE NOT TO EXCEED .05 PERM.
  - 19) DUCTWORK SEALING TO COMPLY WITH R-408.2.2 AND R-1601.4.1
  - 20) DUCT LEAKAGE TESTING FOR DUCTS OUTSIDE THE THERMAL ENVELOPE TO COMPLY WITH CHAPTER II.
  - 21) FAN EFFICIENCY FOR MECH VENTILATION SYSTEMS TO COMPLY WITH TABLE N-1035.1.2 OR BE ENERGY STAR RATED.
  - 22) DRYER EXHAUST DUCT LENGTHS TO COMPLY WITH TABLE M-1502.4.5.1
  - 23) OTHER EXHAUST DUCTS TO COMPLY WITH TABLE 1506.2
  - 24) CONDENSATE DRAINS TO COMPLY WITH M-1411.3.3
  - 25) CONDENSATE PUMPS TO COMPLY WITH M-1411.4

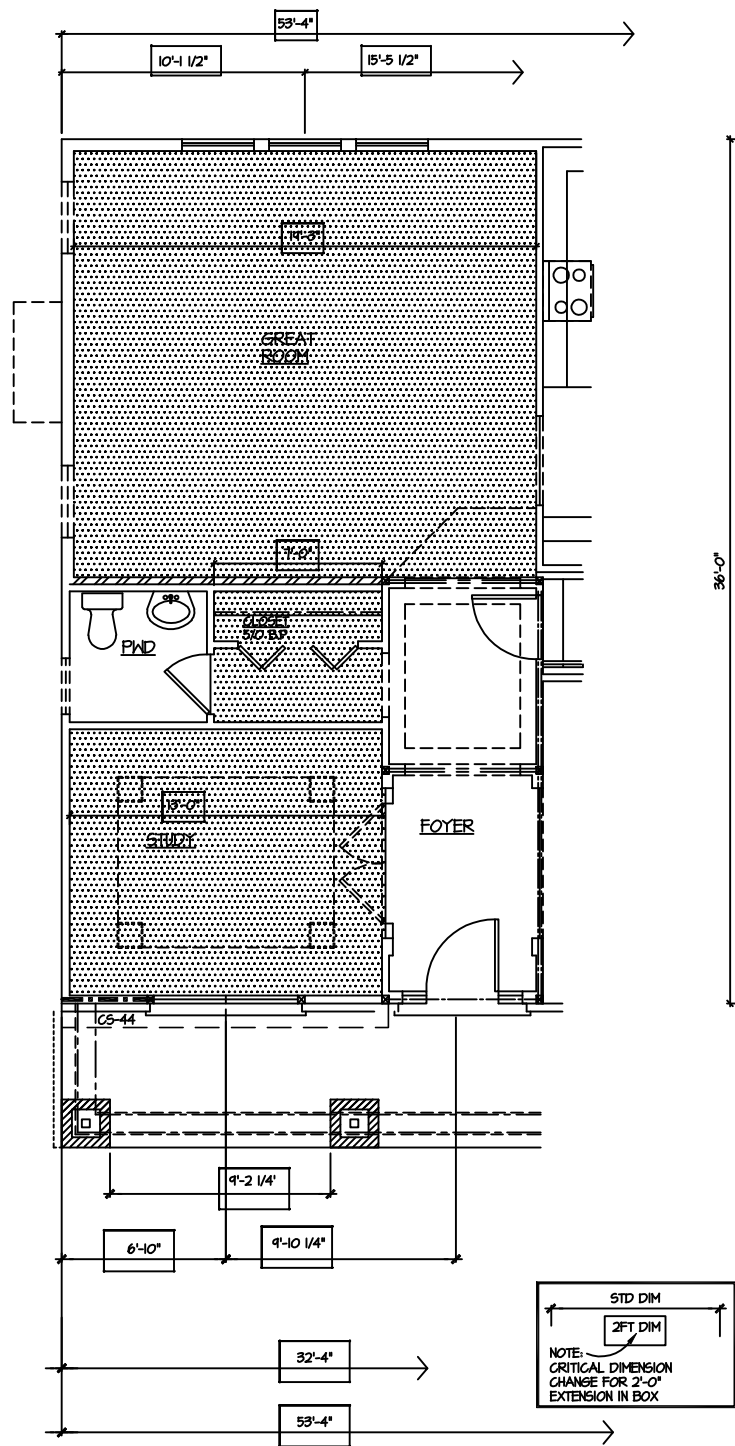
**WHOLE HOUSE MECHANICAL VENTILATION:**  
(MRC SEC M1507.3.3 AND N1035.5)  
PROVIDE ELECTRONICALLY COMMUTATED MOTOR (ECM)

**HVAC SPECIFICATIONS**

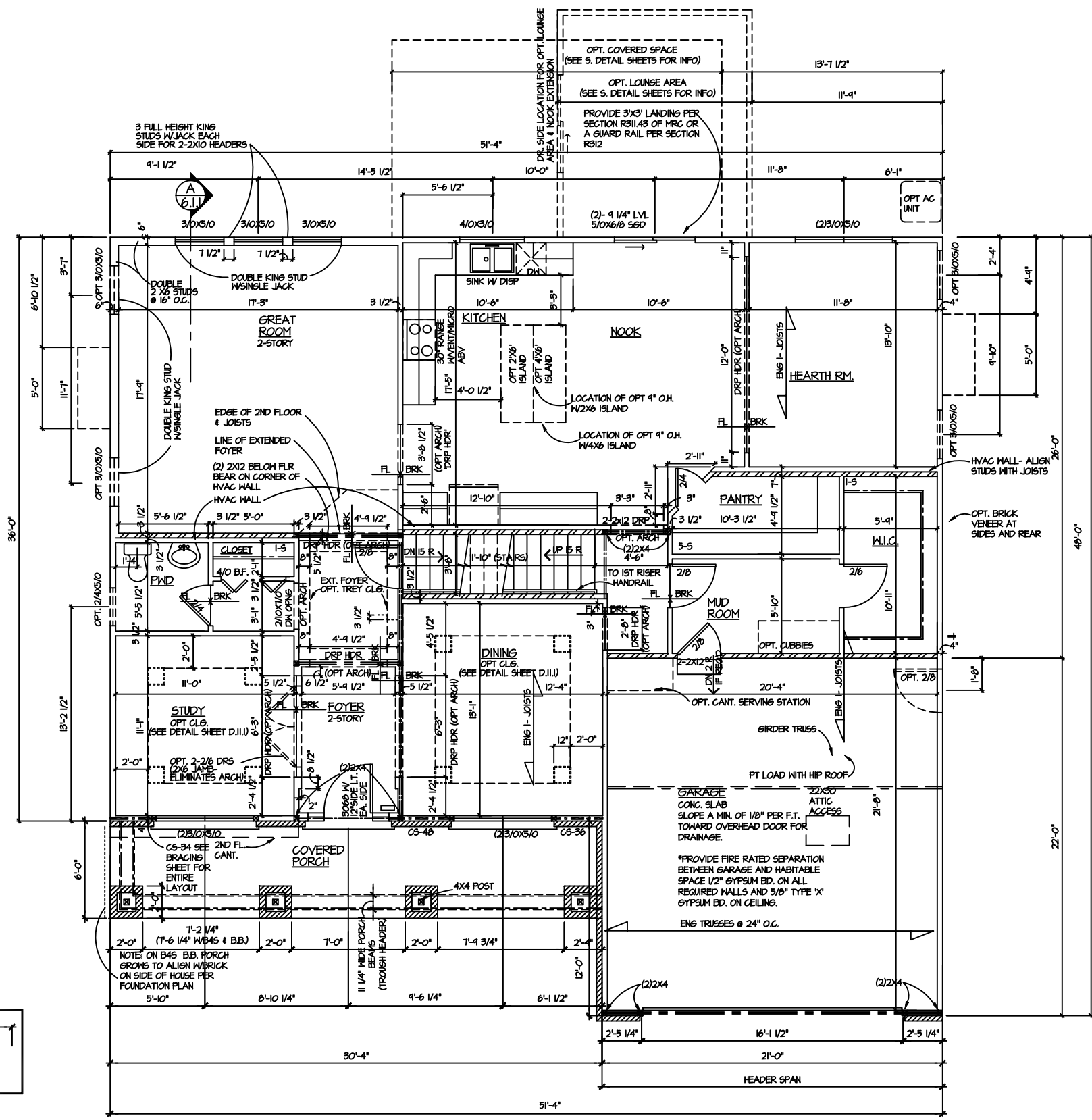
ZONE NO. \_\_\_\_\_  
 TOTAL HEAT LOSS: 83,092 BTUH  
 TOTAL HEAT GAIN: 42,490 BTUH  
 FURNACE: MAKE = LENNOX OR EQUAL  
 MODEL NO. ML 193 UH 110 60C  
 INPUT HEATING: 110,000 BTUH  
 OUTPUT HEATING: 103,000 BTUH  
 BLOWER MOTOR HP = 1  
 COIL & CONDENSER 5 TON CAPACITY 60 MBH  
 AIR VOLUME CAPACITY (CLG): 2,000 CFM

DATE	ISSUED FOR	BY	DATE	MISCELLANEOUS SHEET
1/24/18	FINAL REVIEW	KHZ		
3/6/18	FINAL	KHZ		
11/4/18	FINAL REVIEW	KHZ		
11/1/18	"50 LIVE"	KHZ		
PLAN NAME: <b>THE HAMPTON</b>				
JOB NUMBER: 4958-518				
<b>MI</b>				
SHEET NO. 2.3.1-M				

SHEET SCALE: (UNLESS NOTED OTHERWISE) 1/8" = 1'-0" ON 11X17 PAPER, 1/4" = 1'-0" ON 24X36 PAPER WHEN PRINTED AT 200%



**2' EXTENSION  
FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**FLOOR PLAN NOTES**

1. ALL UNDIMENSIONED INTERIOR PARTITIONS (TT) ARE 3/12" ROUGH. EXTERIOR PARTITIONS ARE 4" DIMENSIONED TO SHEATHING UNLESS OTHERWISE NOTED.
2. ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS OTHERWISE NOTED.
3. ALL CONCENTRATED LOADS SHALL BE TRANSFERRED TO FOUNDATION VIA BEAMS, POSTS AND/OR SOLID BLOCKING.
4. (2) 2x10 HEADERS MIN AT ALL BEARING WALL OPENINGS UNLESS OTHERWISE NOTED.
5. POSTS AT HEADERS IN 2x6 WALLS SHALL BE (2)2x6 MIN. POSTS AT HEADERS IN 2x4 WALLS SHALL BE (2) 2x4 MIN.
6. ALL TRUSSES TO BEAR ON EXTERIOR WALLS AND/OR GIRDER TRUSSES UNLESS OTHERWISE NOTED.
7. TRUSS MANUFACTURER TO SIZE MEMBERS, FASTENERS, HANGERS AND SET SPACING FOR ALL TRUSSES.
8. WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR EGRESS OPENING OF 5.7 SQ. FT. WITH MIN. CLEAR DIMENSION OF 24" IN HEIGHT AND 20" IN WIDTH. SILL HEIGHT NOT GREATER THAN 44" ABOVE FLOOR. PER CURRENT MICHIGAN RESIDENTIAL CODE SECTION R310, WHERE THE WINDOW OPENING IS MORE THAN 12" ABOVE GRADE, OR SURFACE BELOW, THE LOWEST PART OF CLEAR OPENING SHALL BE MIN. 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IT IS IN. PER MRC SECTION R613.
9. HAND FRAME ALL EXTERIOR WALLS (ABOVE 8'-1 1/8") TO UNDERSIDE OF ROOF SHEATHING - PROVIDE FIRESTOPPING EVERY 8'-1 1/8" VERTICALLY IN WALLS > 8'-1 1/8"
10. ALL STAIR HANDRAILS TO BE MIN. 34" - MAX. 36" ABOVE NOSING AND TERMINATE IN A NEHEL POST OR SAFETY TERMINALS, WITH DIAMETER OF 1-1/4" TO 2" DIAMETER.
11. ALL HANDRAILS TO BE MIN 36" ABOVE FLOOR SURFACE OR TREAD NOSING INCLUDING RAILS AT OPEN SIDES OF STAIRS, ADJUSTED TO ACCOMMODATE HAND RAIL.
12. BALLUSTERS IN GUARD RAILS ALONG FLOOR OPENING TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS BETWEEN BALLUSTERS.
13. BALLUSTERS IN GUARD RAILS AT OPEN SIDES OF STAIRS TO BE SPACED SUCH THAT A 4-3/8" SPHERE CANNOT PASS BETWEEN BALLUSTERS.
14. MIN. CLEAR HEAD HEIGHT AT STAIRS SHALL BE 6'-8", MEASURED VERTICALLY FROM SLOPED PLANE ADJOINING TREAD NOSING, OR FROM FLOOR SURFACE OF LANDING.
15. ALL ELECTRICAL AND MECHANICAL EQUIPMENT ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS; CONTRACTOR TO VERIFY.
16. ALL NON LOAD BEARING DROPPED HEADERS SHALL BE 12" TALL WITH 8'-1 1/8" AND 4'-1 1/8" CEILINGS. WHEN TRAY CEILING OPT IS PRESENT, MAINTAIN 6'-8" FROM DECK IN TRAY CEILING ROOMS ONLY.
17. FOR ADDITIONAL NOTES SEE SHEET 12.
18. SPACE STUDS 16" O.C. ALL INTERIOR NON-BEARING PARTITIONS.
19. ALL ATTIC ACCESS TO BE INSULATED + GASKETED MIN. 22x30
20. ALL COAT + BEDROOM CLOSETS = 12" DEEP 1 ROD/1 SHELF  
ALL LINEN + PANTRY CLOSETS = 15" DEEP (5) SHELVES

FIRST FLOOR 8'-0" STD CLG.  
WINDOW HEAD HEIGHT 7'-0 1/8"  
AFF TYP. SEE FLOOR PLAN FOR EXCEPTIONS DUE TO HEADER SIZE.

FIRST FLOOR 9'-0" OPT. CLG.  
WINDOW HEAD HEIGHT 8'-0 1/8"  
AFF TYP. SEE FLOOR PLAN FOR EXCEPTIONS.

SECOND FLOOR 8'-0" STD CLG.  
WINDOW HEAD HEIGHT 7'-0 1/8"  
AFF TYP. SEE FLOOR PLAN FOR EXCEPTIONS DUE TO HEADER SIZE. (IF APPLICABLE)

DATE	ISSUED FOR	BY	DATE	MISCELLANEOUS SHEET	BY
1/24/09	FINAL REVIEW	KHZ			
3/6/09	FINAL	KHZ			
11/4/09	FINAL REVIEW	KHZ			
11/11/09	"50 LIVE"	KHZ			
12/23/09	PCR 2-1-20	KHZ			
2/25/10	PCR 3-1-20	KHZ			
3/11/10	PCR 4-1-20	KHZ			

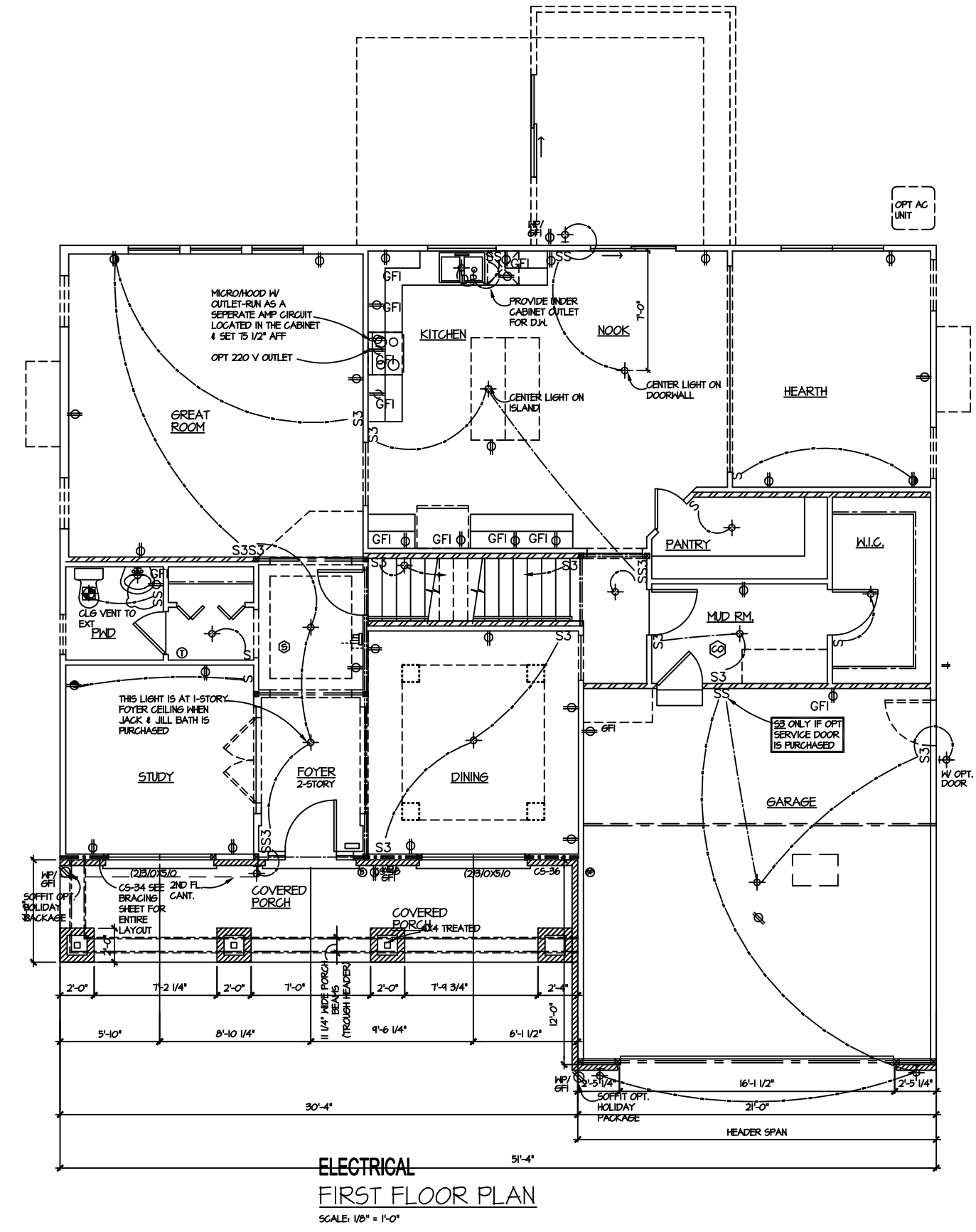
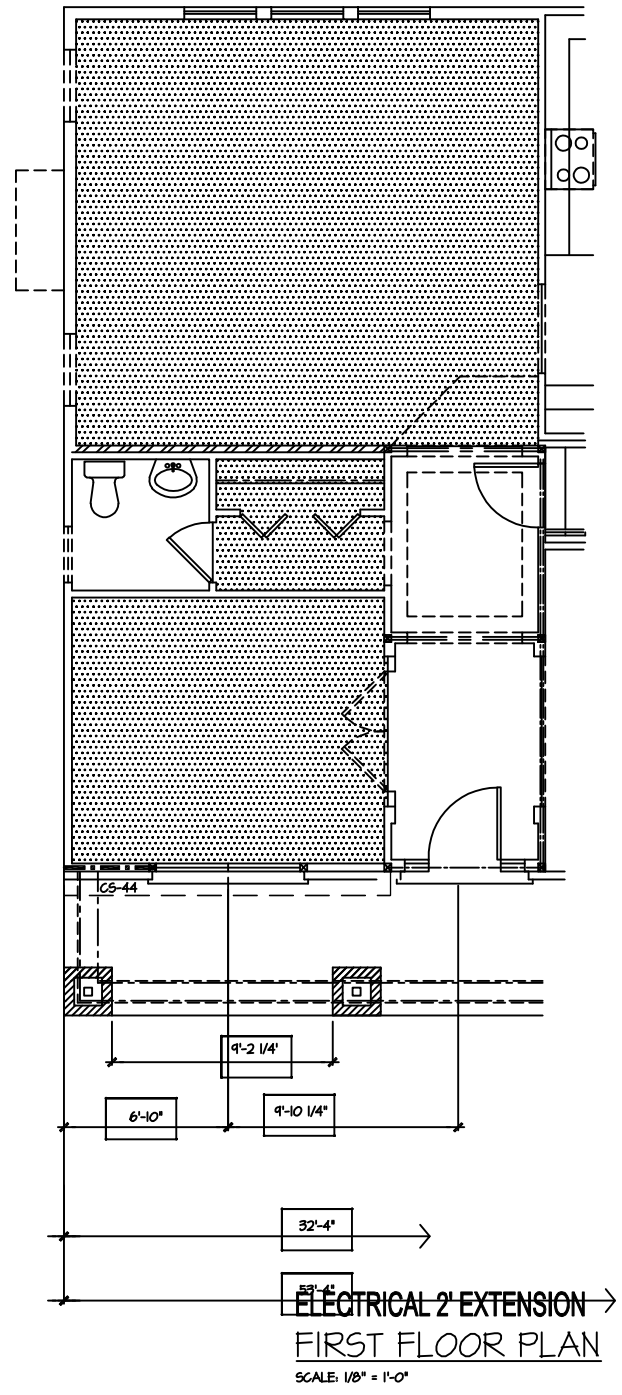
PLAN NAME: **THE HAMPTON**

JOB NUMBER: 4958-518

MI

SHEET NO. 3.1.1

SHEET SCALE: (UNLESS NOTED OTHERWISE) 1/8" = 1'-0" ON 11X17 PAPER, 1/4" = 1'-0" ON 24X36 PAPER WHEN PRINTED AT 200%



RESIDENTIAL ELECTRICAL SYMBOL LEGEND	
LIGHT FIXTURES	
●	RECESSED CAN LIGHT
⊙	RECESSED CAN - DIRECTIONAL
⊕	CEILING MOUNTED FIXTURE
⊕	HALL MOUNTED FIXTURE
⊕	PULL CHAIN FIXTURE
⊕	HALL SCONCE
OUTLETS	
⊕	DUPLEX RECEPTACLE
⊕GFI	GROUND FAULT INTERRUPTING CIRCUIT
⊕WF	WEATHERPROOF RECEPTACLE
⊕	HALF SWITCHED RECEPTACLE
⊕	RANGE/DRYER 220V OUTLET
⊕	DIRECT WIRE CONNECTION
⊕	TELEPHONE OUTLET
⊕	CATV (TELEVISION) OUTLET
⊕	THERMOSTAT
⊕	UNDER-COUNTER OR CONCEALED OUTLETS
⊕	GENERATOR PREP OUTLET
SWITCHES	
S	SINGLE POLE SWITCH
S3	THREE-WAY SWITCH
S4	FOUR-WAY SWITCH
SD	DIMMER SWITCH
MISC. FIXTURES	
⊕	EXHAUST FAN
⊕	EXHAUST FANLIGHT
⊕	EXHAUST FANLIGHT/HEAT
⊕	SMOKE DETECTOR
⊕	CARBON MONOXIDE DETECTOR
⊕	ELECTRICAL PANEL
⊕	DISPOSAL
⊕	DOORBELL CHIMES
⊕	DOORBELL
⊕	OPTIONAL CEILING FANLIGHT

**ELECTRICAL PLAN NOTES:**

1. ALL ELECTRICAL WORK SHALL COMPLY WITH THE LATEST EDITION OF N.E.C., LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS, INCLUDING THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA)
2. ALL ELECTRICAL SYSTEMS AND EQUIPMENT SHALL CONFORM TO ALL NATIONAL, STATE, AND LOCAL BUILDING CODES.
3. COORDINATE ALL NEW UNDERGROUND ELECTRICAL WORK WITH NEW AND EXISTING UTILITIES BEFORE INSTALLATION.
4. ALL ELECTRICAL MATERIALS SHALL BE NEW AND BEAR THE "UL" LABEL OR LISTING.
5. FUSES SHALL BE "UL" LISTED, DUAL-ELEMENT, REJECTION TYPE.
6. ALL DUPLEX RECEPTACLES SHALL BE SPECIFICATION GRADE 125 VOLT, 15 AMP, GROUNDED TYPE.
7. SWITCHES SHALL BE 15 AMP, 120/277 VOLT, SPECIFICATION GRADE SINGLE, DOUBLE, ETC., AS INDICATED.
8. LIGHTING AND RECEPTACLE BRANCH CIRCUIT BREAKERS SHALL BE RATED FOR SWITCHING DUTY.
9. FLUSH MOUNT ALL EQUIPMENT AND CONCEAL ALL CONDUIT OR WIRING IN WALLS AND CEILING SPACES IN FINISHED AREAS.
10. ALL CABINETS, MOTOR FRAMES, STARTERS, CONDUIT OR WIRING IN WALLS AND CEILING SPACES IN FINISHED AREAS.
11. TEST CIRCUITS AS SOON AS CONDUCTORS ARE INSTALLED AND MAKE FINAL OPERATING TEST WHEN WORK IS COMPLETE.
12. THE ELECTRICAL CONTRACTOR SHALL VERIFY EXACT LOCATIONS AND PROVIDE ROUGH-INS FOR ALL EQUIPMENT FURNISHED BY OTHERS.
13. THE ELECTRICAL CONTRACTOR SHALL COORDINATE LOCATIONS OF HIS EQUIPMENT AND WORK WITH OTHER BUILDING TRADES TO AVOID INTERFERENCE BETWEEN HIS WORK AND THE WORK OF OTHER BUILDING TRADES.
14. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO PROVIDE GFCI AND/OR WEATHER PROOF RECEPTACLES WHERE REQUIRED BY THE LATEST MICHIGAN RESIDENTIAL CODE AND FIRE CODE.
15. ALL SMOKE DETECTORS TO BE LOCALLY CERTIFIED, 110 V WITH BATTERY BACKUP, WIRED IN SERIES, INTERCONNECTED TO ALL OTHERS, IN THE IMMEDIATE VICINITY OF ALL BEDROOM DOORS. MIN 1 SMOKE DETECTOR PER FLOOR. MIN 1 SMOKE DETECTOR PER SLEEPING ROOM PER LATEST MICHIGAN RESIDENTIAL CODE, NEC, & NFPA AS REFERENCED.
16. ALL ELECTRICAL AND MECHANICAL EQUIPMENT (I.E. FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.
17. ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
18. INSTALL DOORBELL TRANSFORMERS WITHIN THE DOORBELL CHIME BOX
19. ALL DUPLEX RECEPTACLES (INTERIOR AND EXTERIOR) TO BE TAMPER RESISTANT (PER 2015 MRC E 4002.14)
20. PROVIDE SINGLE STATION CARBON MONOXIDE DETECTOR OUTSIDE OF BEDROOMS PER 2015 MRC SECT R315 AND MIN 1 PER FLOOR INCLUDING BASEMENT

DATE	ISSUED FOR	BY	MISCELLANEOUS SHEET	
			DATE	BY
1/24/18	FINAL REVIEW	RKZ		
3/6/18	FINAL	RKZ		
11/4/18	FINAL REVIEW	RKZ		
11/1/18	FINAL REVIEW	RKZ		
	"GO LIVE"			

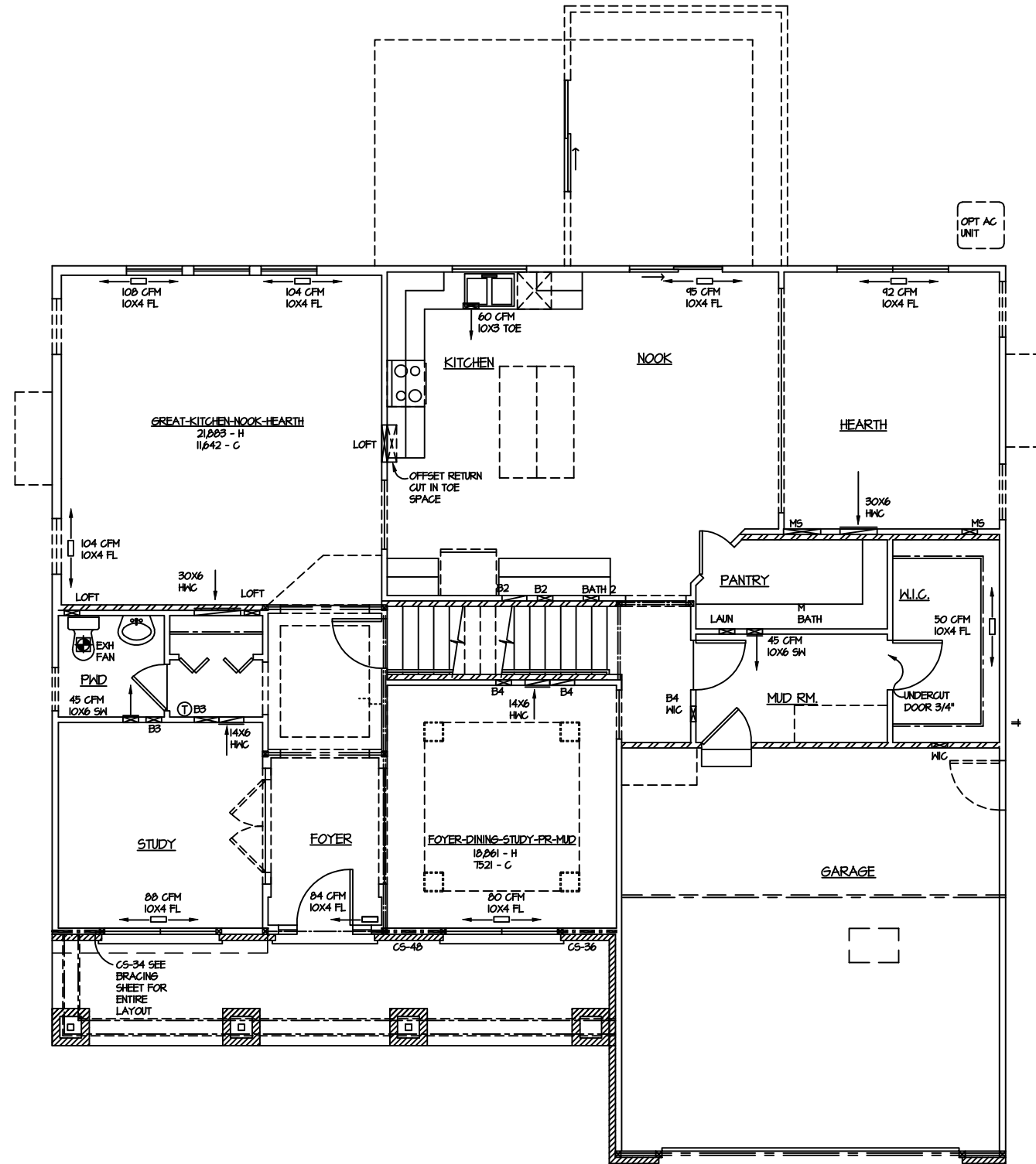
PLAN NAME: **THE HAMPTON**

JOB NUMBER: 4458-518

MI

SHEET NO. 3.2.1-E

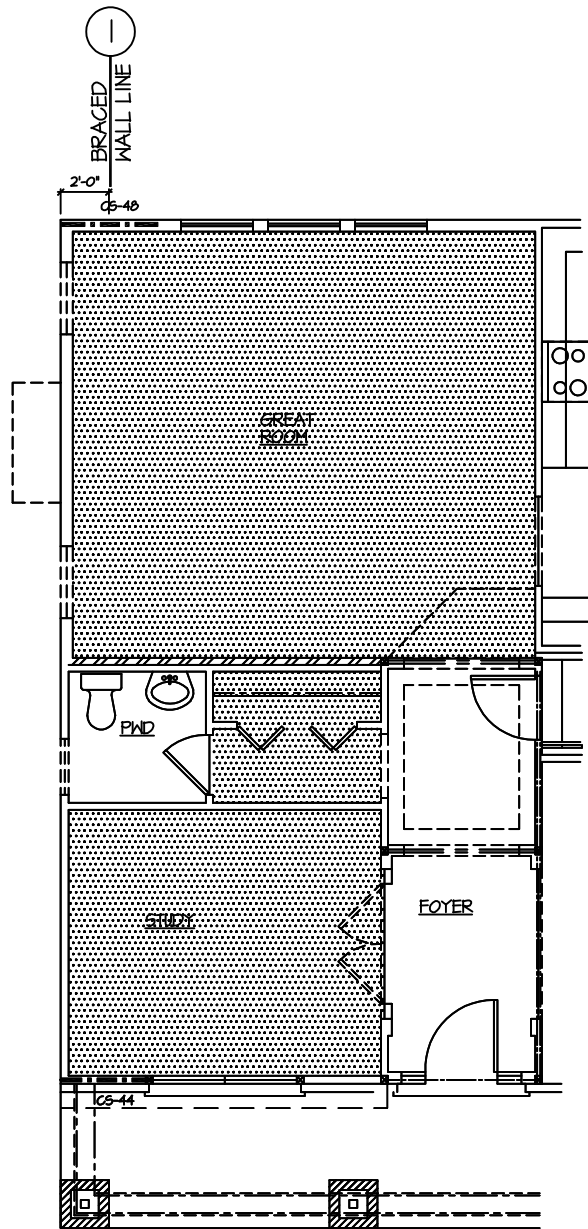
SHEET SCALE: (UNLESS NOTED OTHERWISE) 1/8" = 1'-0" ON 11X17 PAPER, 1/4" = 1'-0" ON 24X36 PAPER WHEN PRINTED AT 200%



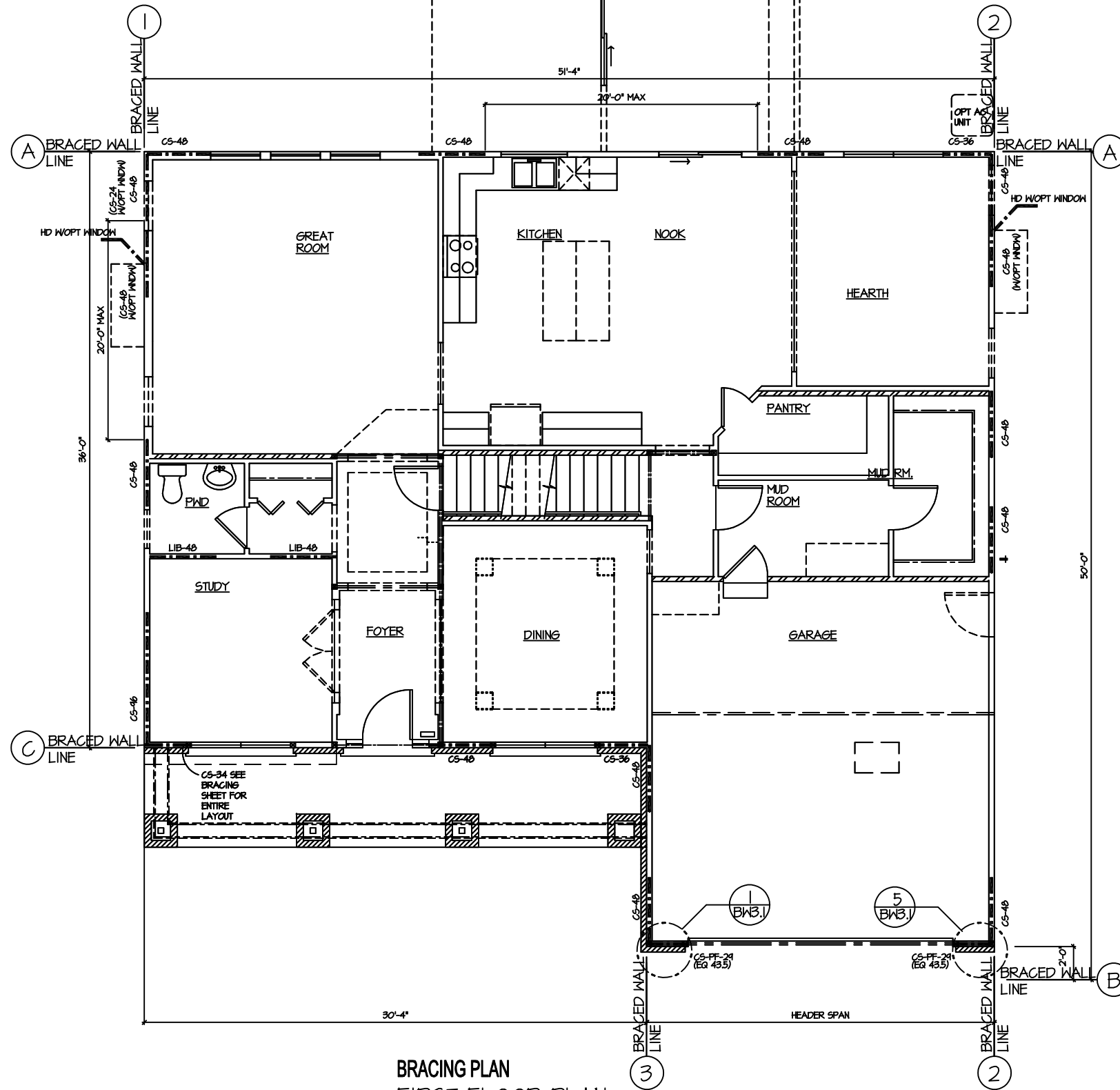
**MECHANICAL**  
**FIRST FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

PLAN NAME:		THE HAMPTON	
JOB NUMBER:		4458-518	
SHEET NO.:		3.3.1-M	
DATE	ISSUED FOR	BY	MISCELLANEOUS SHEET
1/24/18	FINAL REVIEW	KHZ	
3/6/18	FINAL	KHZ	
11/4/18	FINAL REVIEW	KHZ	
11/1/18	ISO LIVE	KHZ	

SHEET SCALE: (UNLESS NOTED OTHERWISE) 1/8" = 1'-0" ON 11X17 PAPER, 1/4" = 1'-0" ON 24X36 PAPER WHEN PRINTED AT 200%



**BRACING PLAN**  
2'-0" EXT.  
SCALE: 1/8" = 1'-0"



**BRACING PLAN**  
FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

**BRACED WALL PANELS**  
(SHOWN THUS.)  
WOOD STRUCTURAL PANEL (OSB)  
(UNLESS NOTED OTHERWISE) IN WIDTH INDICATED.  
EXAMPLE: CS-46=96 INCHES LONG

**WALL BRACING CONNECTION CRITERIA:**  
- ALL WALLS ARE CONTINUOUS SHEATHING (METHOD 'CS' UNLESS NOTED OTHERWISE)  
**CONTINUOUS SHEATHING METHODS:**  
- CS: "CONTINUOUS SHEATHED WOOD STRUCTURAL PANEL"  
= 6d COMMON NAILS AT 6" SPACING ALONG PANEL EDGES, AND 12" SPACING AT INTERMEDIATE SUPPORTS.  
= 16GA X 1-3/4" STAPLES AT 3" SPACING ALONG PANEL EDGES AND 6" SPACING AT INTERMEDIATE SUPPORT.  
- CS-6: "WOOD STRUCTURAL PANEL ADJACENT TO GARAGE OPENINGS" (SUPPORTING ROOF LOAD ONLY).  
= SAME CONNECTION CRITERIA AS 'CS' PER MRC TABLE R602.10.4.1.  
- CS-PF: "CONTINUOUS PORTAL FRAME"  
SEE DETAILS ON BW-3.1  
**INTERMITTENT BRACING METHODS:**  
- WEP: "WOOD STRUCTURAL PANEL" (MIN 3/8" THICK)  
FOR EXTERIOR OR INTERIOR APPLICATIONS  
= 6d COMMON NAILS AT 6" SPACING ALONG PANEL EDGES, AND 12" SPACING AT INTERMEDIATE SUPPORTS.  
- GB: "GYPSUM BOARD" (MIN 1/2" THICK)  
= NAILS OR SCREENS AT 1" SPACING AT PANEL EDGES, INCLUDING TOP AND BOTTOM PLATES, AND AT 1" IN FIELD OF PANEL (BOTH SIDES OF STUDS UNLESS NOTED AS ONE SIDE ONLY).  
- PFG: "PORTAL FRAME AT GARAGE DOOR OPENINGS"  
SEE DETAILS.  
- LIB-LET-IN-BRACING"  
METAL STRIP FASTENED PER MANUFACTURER SPECS  
HD= SIMPSON STRAP TIE FOR MIN. 800 POUND 'HOLD-DOWN' ON FIRST STUD OF BRACED WALL PANEL - SEE SECTION ON BW 3.2

DATE	ISSUED FOR	BY	DATE	MISCELLANEOUS SHEET
1/24/18	FINAL REVIEW	KHZ		
3/6/18	FINAL	KHZ		
11/4/18	FINAL REVIEW	KHZ		
11/1/18	"GO LIVE"	KHZ		

PLAN NAME:  
**THE HAMPTON**

JOB NUMBER  
4958-518  
**MI**  
SHEET NO.  
3.4.1-B

SHEET SCALE: (UNLESS NOTED OTHERWISE) 1/8" = 1'-0" ON 11X17 PAPER, 1/4" = 1'-0" ON 24X36 PAPER WHEN PRINTED AT 200%

# FIRST FLOOR:

WALL BRACING DATA: FIRST FLOOR									
LINE	METHOD	SPACING (IN FEET)	# LINE MULTIPLIER 2=1.0 3=1.3 4=1.45	WALL HT. MULTIPLIER 8'-0".0 9'-0".95 10'-1.0 12'-1.1	ROOF EAVE TO RIDGE MULTIPLIER	INTERPOLATED REQUIRED BRACING LENGTH TABLE R602.10.1.2 (IN FEET)	CALCULATED REQUIRED BRACING LENGTH (IN FEET)	BRACING LENGTH PROVIDED (IN FEET)	PASSED
A	CS	50'(B)	1.0	.95	.985	14.0	13.10	15'-0"	YES
B	CS	50'(A)	1.0	1.0	.86	7.5	6.45	7'-3"	YES
C	CS	36'(A)	1.0**	.95	.985	10.5	9.83	9'-10"	YES
1	CS	51'-4"(2)	1.0	.95	.985	14.40	13.47	16'-0"	YES
2	CS	51'-4"(1)	1.0	1.0	.985	14.40	14.18	16'-0"	YES
3	CS	30'-4"(1)	1.0**	.95	.86	9.08	7.42	8'-0"	YES

\*ROOF EAVE TO RIDGE HEIGHT=9'-6" HOUSE, 7'-8" GARAGE \*\*LINE MULTIPLIER = 1.0 PER MRC TABLE R602.10.3(2), FOOTNOTE C

# SECOND FLOOR:

WALL BRACING DATA: SECOND FLOOR									
LINE	METHOD	SPACING (IN FEET)	# LINE MULTIPLIER 2=1.0 3=1.3 4=1.45	WALL HT. MULTIPLIER 8'-0".0 9'-0".95 10'-1.0 12'-1.1	ROOF EAVE TO RIDGE MULTIPLIER	INTERPOLATED REQUIRED BRACING LENGTH TABLE R602.10.1.2 (IN FEET)	CALCULATED REQUIRED BRACING LENGTH (IN FEET)	BRACING LENGTH PROVIDED (IN FEET)	PASSED
A	CS	32'(B)	1.0	.9	.97	5.2	4.54	11'-10"	YES
B	CS	32'(A)	1.0	.9	.97	5.2	4.54	14'-4"	YES
1	CS	51'-4"(2)	1.0	.9	.97	7.7	6.72	12'-0"	YES
2	CS	51'-4"(1)	1.0	.9	.97	7.7	6.72	12'-0"	YES

\*ROOF EAVE TO RIDGE HEIGHT=9'-6" \*\*LINE MULTIPLIER = 1.0 PER MRC TABLE R602.10.3(2), FOOTNOTE C

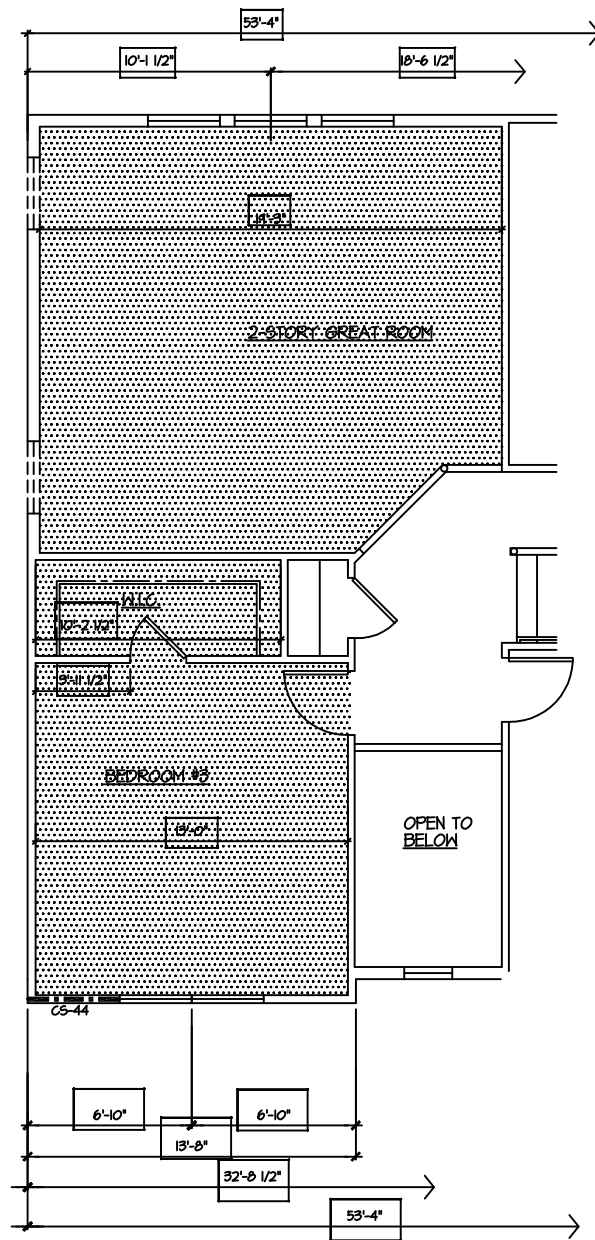
PLAN NAME:		THE HAMPTON	
JOB NUMBER:		4958-518	
SHEET NO.:		3.4.2-B	
ISSUED FOR	DATE	BY	MISCELLANEOUS SHEET
FINAL REVIEW	1/24/08	RKZ	
FINAL	3/6/08	RKZ	
FINAL REVIEW	11/4/08	RKZ	
"GO LIVE"	11/1/08	RKZ	

# OPTIONS:

WALL BRACING DATA:										
DESCRIPTION	LINE	METHOD	SPACING (IN FEET)	# LINE MULTIP	WALL HT. MULTIPLIER	ROOF EAVE TO RIDGE MULTIPLIER	INTERPOLATED REQUIRED BRACING LENGTH (FEET) TABLE R602.10.1.2	CALCULATED REQUIRED BRACING LENGTH (IN FEET)	BRACING LENGTH PROVIDED (IN FEET)	PASSED
				2=1.0 3=1.3	4=1.45 5=1.60	8'=0.90 9'=0.95	10'=1.0 12'=1.1			
2-SEG	B	CS	50'-0" (A)	1.0	1.0	.86	7.5	6.45	8'-0"	YES
3-FEG 3-FEG W4' EXT W2' EXT	1	CS	57'-8" (4)	1.0	.95	.985	16.30	15.25	16'-0"	YES
	4	CS	57'-8" (4)	1.0	1.0	.70	8.65	6.05	8'-0"	YES
	2	CS	51'-4" (I)	1.0**	.95	.985	14.40	13.47	14'-8"	YES
	D	CS	30'-0" (I)	1.0**	1.0	.70	4.5	3.15	8'-0"	YES
	B	CS	48'-0" (A)	1.0	1.0	.86	7.2	6.19	9'-3"	YES
3-FEG W6' EXT	1	CS	57'-8" (4)	1.0	.95	.985	16.30	15.25	16'-0"	YES
	4	CS	57'-8" (4)	1.0	1.0	.70	8.65	6.05	8'-0"	YES
	2	CS	51'-4" (I)	1.0**	.95	.985	14.40	13.47	14'-8"	YES
	D	CS	30'-0" (I)	1.0**	1.0	.70	4.5	3.15	8'-0"	YES
	B	CS	50'-0" (A)	1.0	1.0	.86	7.5	6.45	9'-3"	YES
3-SEG 3-SEG W6' EXT W4' EXT W2' EXT	B	CS	50'-0" (A)	1.0	1.0	.86	7.5	6.45	8'-0"	YES
	2	CS	51'-4" (I)	1.0	1.0	.985	14.40	14.18	16'-10"	YES
2-SEG W2' EXT W4' EXT W6' EXT	B	CS	50'-0" (A)	1.0	1.0	.86	7.5	6.45	8'-0"	YES
	2	CS	51'-4" (I)	1.0	1.0	.985	14.40	14.18	20'-0"	YES
2-FEG W2' EXT W4' EXT W6' EXT	2	CS	51'-4" (I)	1.0	1.0	.985	14.40	14.18	20'-0"	YES
4' STORAGE BUMP 2-FEG W2' EXT & 4'BUMP	B	CS	48'-0" (A)	1.0	1.0	.86	7.2	6.19	11'-3"	YES
	2	CS	50'-0" (I)	1.0	1.0	.985	14.0	13.79	15'-10"	YES
2-FEG W4' EXT & 4'BUMP										
2-FEG W6' EXT & 4'BUMP	B	CS	50'-0" (A)	1.0	1.0	.86	7.5	6.45	11'-3"	YES
	2	CS	50'-0" (I)	1.0	1.0	.985	14.0	13.79	15'-10"	YES

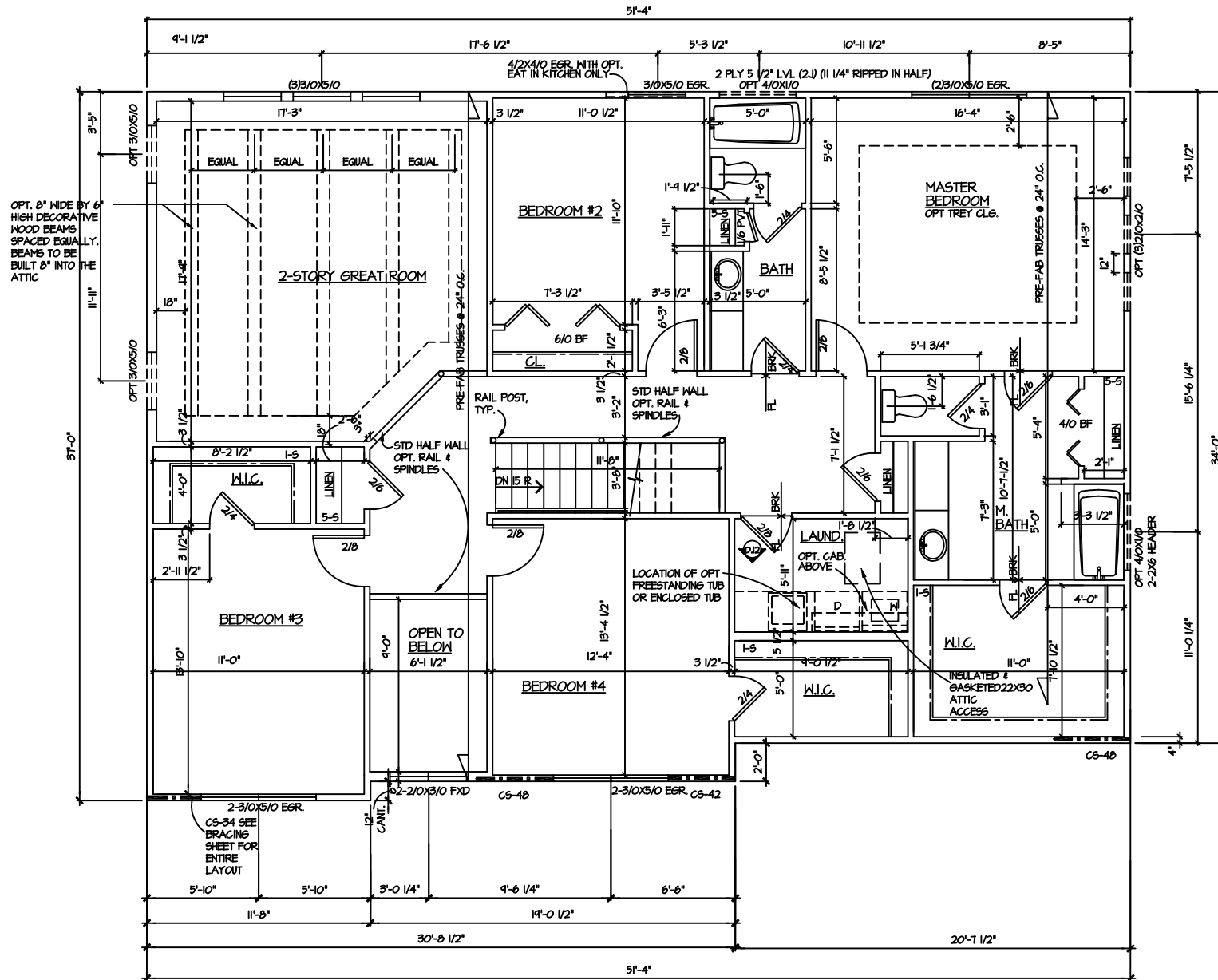
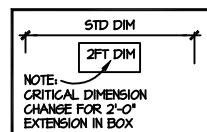
PLAN NAME:		THE HAMPTON	
JOB NUMBER:		4958-518	
SHEET NO.:		3.4.3-B	
DATE	ISSUED FOR	BY	MISCELLANEOUS SHEET
1/24/08	FINAL REVIEW	RHZ	
3/6/08	FINAL	RHZ	
11/4/08	FINAL REVIEW	RHZ	
11/1/08	"GO LIVE"	RHZ	

SHEET SCALE: (UNLESS NOTED OTHERWISE) 1/8" = 1'-0" ON 11X17 PAPER, 1/4" = 1'-0" ON 24X36 PAPER WHEN PRINTED AT 200%



**2' EXTENSION  
SECOND FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**SECOND FLOOR PLAN**

SCALE: 1/8" = 1'-0"

**FLOOR PLAN NOTES**

1. ALL UNDIMENSIONED INTERIOR PARTITIONS (TT) ARE 3-1/2" ROUGH. EXTERIOR PARTITIONS ARE 4" DIMENSIONED TO SHEATHING UNLESS OTHERWISE NOTED.
2. ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS OTHERWISE NOTED.
3. ALL CONCENTRATED LOADS SHALL BE TRANSFERRED TO FOUNDATION VIA BEAMS, POSTS AND/OR SOLID BLOCKING.
4. (2) 2x4 HEADERS MIN AT ALL BEARING MALL OPENINGS UNLESS OTHERWISE NOTED.
5. POSTS AT HEADERS IN 2x6 WALLS SHALL BE (2)2x6 MIN. POSTS AT HEADERS IN 2x4 WALLS SHALL BE (2) 2x4 MIN.
6. ALL TRUSSES TO BEAR ON EXTERIOR WALLS AND/OR GIRDER TRUSSES UNLESS OTHERWISE NOTED.
7. TRUSS MANUFACTURER TO SIZE MEMBERS, FASTENERS, HANGERS AND SET SPACING FOR ALL TRUSSES.
8. WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR EGRESS OPENING OF 5.7 SQ. FT. WITH MIN. CLEAR DIMENSION OF 24" IN HEIGHT AND 20" IN WIDTH SILL HEIGHT NOT GREATER THAN 44" ABOVE FLOOR. PER CURRENT MICHIGAN RESIDENTIAL CODE SECTION R301, WHERE THE WINDOW OPENING IS MORE THAN 12" ABOVE GRADE, OR SURFACE BELOW, THE LOWEST PART OF CLEAR OPENING SHALL BE MIN. 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IT IS IN. PER MRC SECTION R615.
9. HAND FRAME ALL EXTERIOR WALLS (ABOVE 8'-1 1/8") TO UNDERSIDE OF ROOF SHEATHING - PROVIDE FIRESTOPPING EVERY 8'-1 1/8" VERTICALLY IN WALLS > 8'-1 1/8"
10. ALL STAIR HANDRAILS TO BE MIN. 34" - MAX. 38" ABOVE NOSING AND TERMINATE IN A NEHEL POST OR SAFETY TERMINALS, WITH DIAMETER OF 1-1/4" TO 2" DIAMETER.
11. ALL GUARDRAILS TO BE MIN 36" ABOVE FLOOR SURFACE OR TREAD NOSING INCLUDING RAILS AT OPEN SIDES OF STAIRS, ADJUSTED TO ACCOMMODATE HAND RAIL.
12. BALLUSTERS IN GUARD RAILS ALONG FLOOR OPENING TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS BETWEEN BALLUSTERS.
13. BALLUSTERS IN GUARD RAILS AT OPEN SIDES OF STAIRS TO BE SPACED SUCH THAT A 4-3/8" SPHERE CANNOT PASS BETWEEN BALLUSTERS.
14. MIN. CLEAR HEAD HEIGHT AT STAIRS SHALL BE 6'-8", MEASURED VERTICALLY FROM SLOPED PLANE ADJOINING TREAD NOSING, OR FROM FLOOR SURFACE OF LANDING.
15. ALL ELECTRICAL AND MECHANICAL EQUIPMENT ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS; CONTRACTOR TO VERIFY.
16. ALL NON LOAD BEARING DROPPED HEADERS SHALL BE 12" TALL WITH 8' 1-1/8" AND 4' 1-1/8" CEILINGS. WHEN TRAY CEILING OPT IS PRESENT MAINTAIN 6'-8" FROM DECK IN TRAY CEILING ROOMS ONLY.
17. FOR ADDITIONAL NOTES SEE SHEET I.2.
18. SPACE STUDS 16" O.C. ALL INTERIOR NON-BEARING PARTITIONS.
19. ALL ATTIC ACCESS TO BE INSULATED & GASKETED MIN. 22x30
20. ALL COAT & BEDROOM CLOSETS = 12" DEEP 1 ROD/1 SHELF  
ALL LINEN & PANTRY CLOSETS = 15" DEEP (5) SHELVES

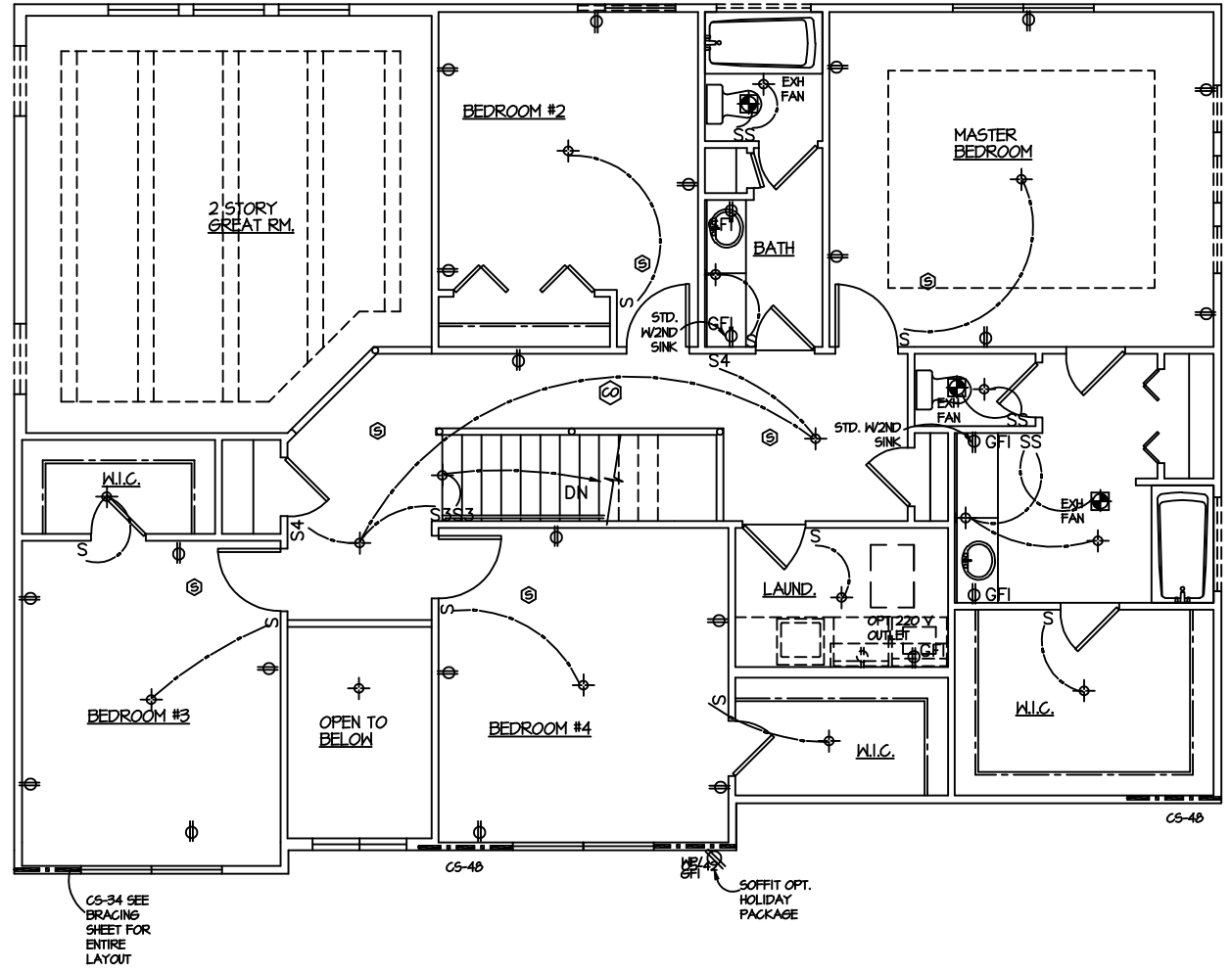
FIRST FLOOR 8'-0" STD CLG.  
WINDOW HEAD HEIGHT 7'-0 7/8"  
AFF TYP. SEE FLOOR PLAN FOR EXCEPTIONS DUE TO HEADER SIZE.

FIRST FLOOR 9'-0" OPT. CLG.  
WINDOW HEAD HEIGHT 8'-0 7/8"  
AFF TYP. SEE FLOOR PLAN FOR EXCEPTIONS.

SECOND FLOOR 8'-0" STD CLG.  
WINDOW HEAD HEIGHT 7'-0 7/8"  
AFF TYP. SEE FLOOR PLAN FOR EXCEPTIONS DUE TO HEADER SIZE. (IF APPLICABLE)

PLAN NAME:		THE HAMPTON	
DATE	ISSUED FOR	BY	DATE
1/24/18	FINAL REVIEW	KHZ	
3/6/18	FINAL	KHZ	
11/4/18	FINAL REVIEW	KHZ	
11/1/18	"GO LIVE"	KHZ	
JOB NUMBER		4958-518	
SHEET NO.		4.1.1	

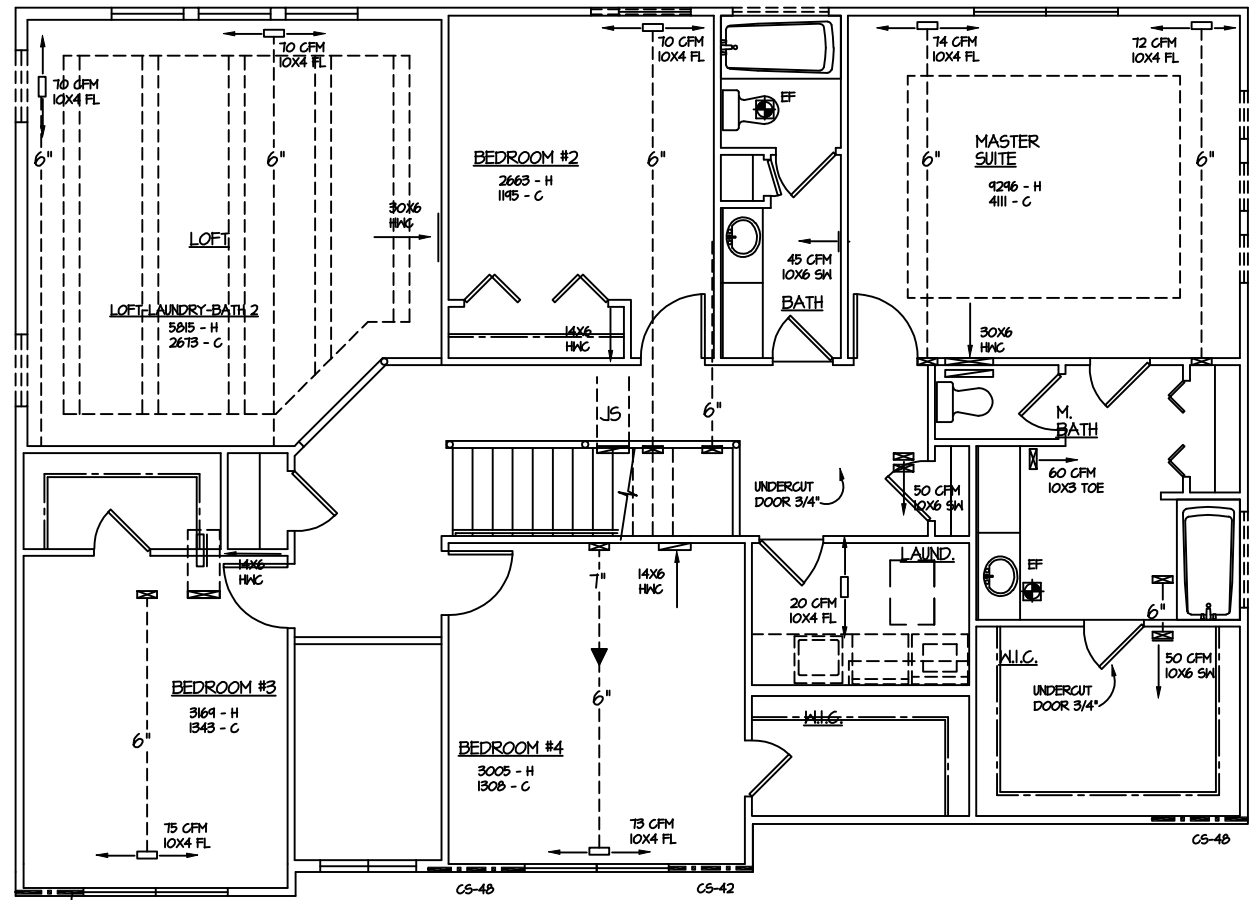




**ELECTRICAL**  
**SECOND FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

PLAN NAME:		THE HAMPTON	
JOB NUMBER		4958-518	
SHEET NO.		MI 4.2.1-E	
ISSUED FOR	DATE	BY	MISCELLANEOUS SHEET
FINAL REVIEW		RKZ	
FINAL		RKZ	
FINAL REVIEW		RKZ	
"GO LIVE"		RKZ	

SHEET SCALE: (UNLESS NOTED OTHERWISE) 1/8" = 1'-0" ON 11X17 PAPER, 1/4" = 1'-0" ON 24X36 PAPER WHEN PRINTED AT 200%

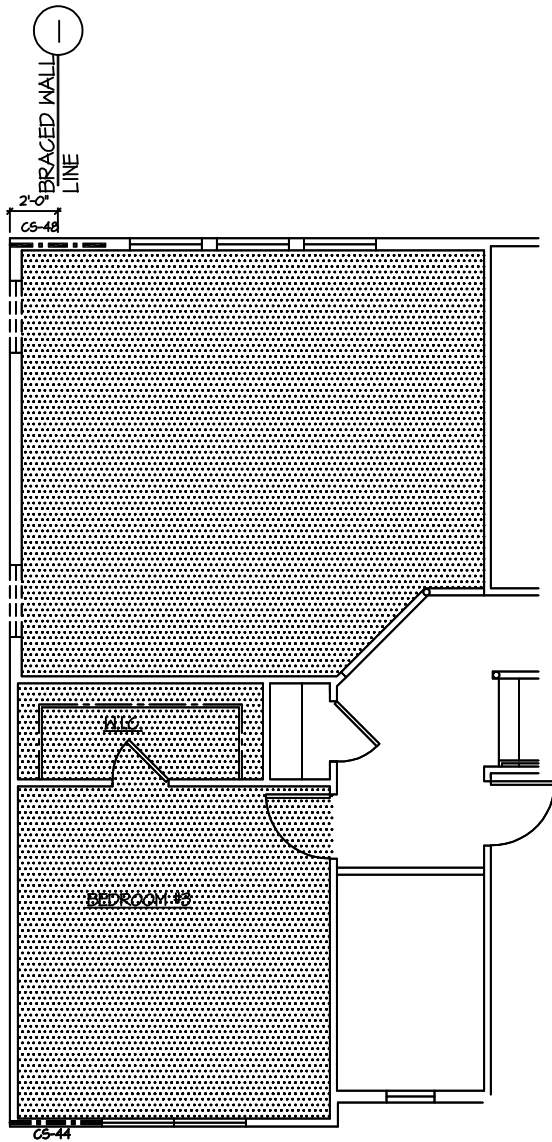


CS-34 SEE BRACING SHEET FOR ENTIRE LAYOUT

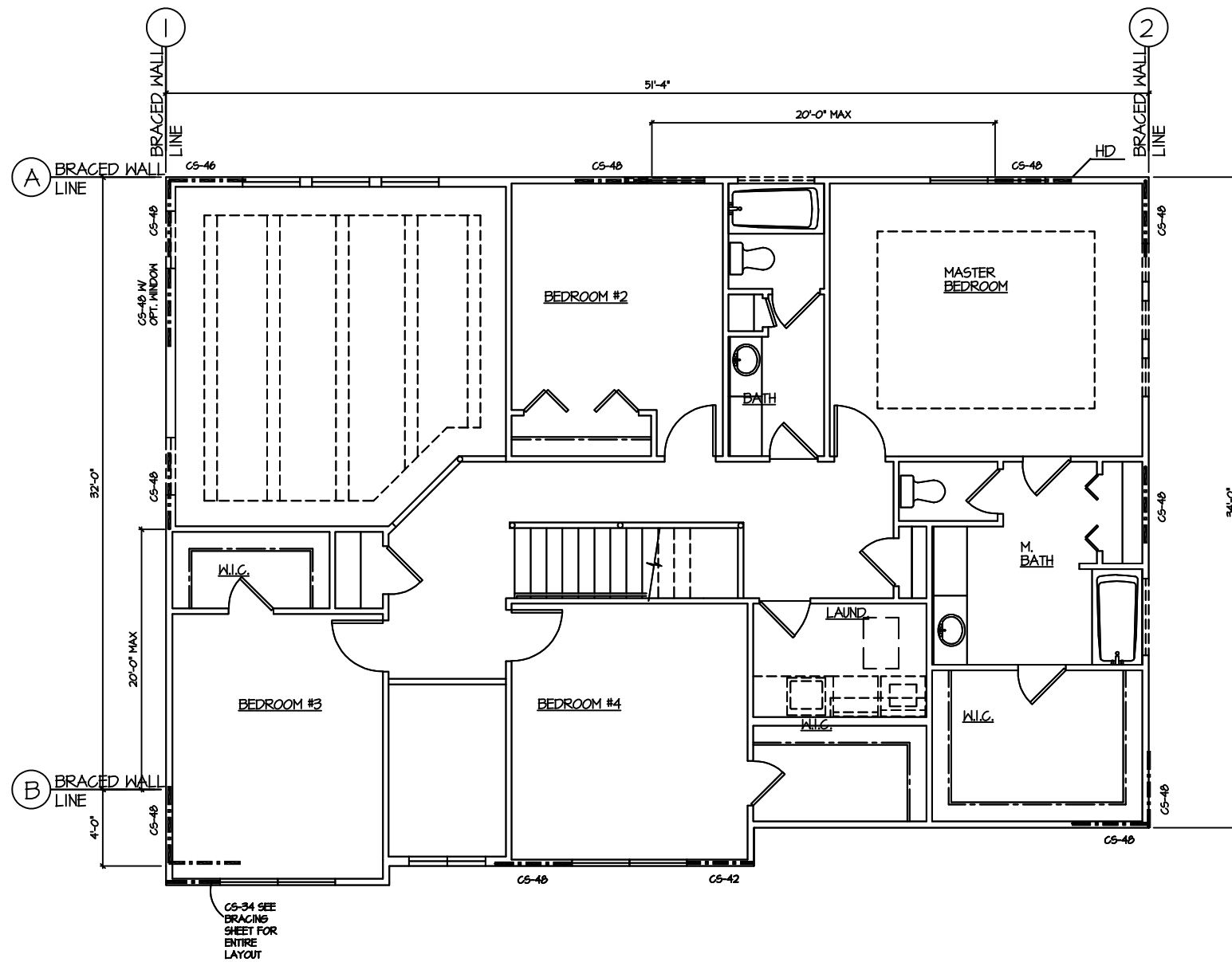
**MECHANICAL**  
**SECOND FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

PLAN NAME:		THE HAMPTON		JOB NUMBER		4958-518		SHEET NO.		4.3.1-M	
DATE	ISSUED FOR	BY	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE
1/24/18	FINAL REVIEW	RKZ									
3/6/18	FINAL	RKZ									
11/4/18	FINAL REVIEW	RKZ									
11/1/18	"GO LIVE"	RKZ									

SHEET SCALE: (UNLESS NOTED OTHERWISE) 1/8" = 1'-0" ON 11X17 PAPER, 1/4" = 1'-0" ON 24X36 PAPER WHEN PRINTED AT 200%



**BRACING PLAN**  
2'-0" EXT.  
 SCALE: 1/8" = 1'-0"



**BRACING PLAN**  
SECOND FLOOR PLAN  
 SCALE: 1/8" = 1'-0"

**BRACED WALL PANELS**  
 (SHOWN THUS)   
 WOOD STRUCTURAL PANEL (OSB)  
 (UNLESS NOTED OTHERWISE) IN WIDTH  
 INDICATED.  
 EXAMPLE: CS-46=46 INCHES LONG

**WALL BRACING CONNECTION CRITERIA:**

- ALL WALLS ARE CONTINUOUS SHEATHING (METHOD 'CS' UNLESS NOTED OTHERWISE)
- CONTINUOUS SHEATHING METHODS:**
  - CS: "CONTINUOUS SHEATHED WOOD STRUCTURAL PANEL"
    - = 6d COMMON NAILS AT 6" SPACING ALONG PANEL EDGES, AND 12" SPACING AT INTERMEDIATE SUPPORTS.
    - = 16GA X 1-3/4" STAPLES AT 3" SPACING ALONG PANEL EDGES AND 6" SPACING AT INTERMEDIATE SUPPORTS.
  - CS-G: "WOOD STRUCTURAL PANEL ADJACENT TO GARAGE OPENINGS" (SUPPORTING ROOF LOAD ONLY)
    - = SAME CONNECTION CRITERIA AS 'CS' PER MRC TABLE R602.10.4.1.
  - CS-PF: "CONTINUOUS PORTAL FRAME"
    - SEE DETAILS ON BW-3.1
- INTERMITTENT BRACING METHODS:**
  - WEP: "WOOD STRUCTURAL PANEL" (MIN 3/8" THICK)
    - FOR EXTERIOR OR INTERIOR APPLICATIONS
    - = 6d COMMON NAILS AT 6" SPACING ALONG PANEL EDGES, AND 12" SPACING AT INTERMEDIATE SUPPORTS.
  - GB: "GYPSUM BOARD" (MIN 1/2" THICK)
    - = NAILS OR SCREWS AT 1" SPACING AT PANEL EDGES, INCLUDING TOP AND BOTTOM PLATES, AND AT 1" IN FIELD OF PANEL (BOTH SIDES OF STUDS UNLESS NOTED AS ONE SIDE ONLY).
  - PFG: "PORTAL FRAME AT GARAGE DOOR OPENINGS"
    - SEE DETAILS.
  - LIBLET-IN-BRACINGS
    - METAL STRAP FASTENED PER MANUFACTURER SPECS

HD = SIMPSON STRAP TIE FOR MIN. 800 POUND HOLD-DOWN ON FIRST STUD OF BRACED WALL PANEL - SEE SECTION ON BW 3.2

PLAN NAME:		THE HAMPTON		JOB NUMBER		4458-518		SHEET NO.		4.4.1-B	
DATE	ISSUED FOR	BY	DATE	MISCELLANEOUS SHEET	BY	DATE	MISCELLANEOUS SHEET	BY	DATE	MISCELLANEOUS SHEET	BY
1/24/18	FINAL REVIEW	KSZ									
3/6/18	FINAL	KSZ									
11/1/17	FINAL REVIEW	KSZ									
11/1/17	'60 LIVE'	KSZ									

SHEET SCALE: (UNLESS NOTED OTHERWISE) 1/8" = 1'-0" ON 11X17 PAPER, 1/4" = 1'-0" ON 24X36 PAPER WHEN PRINTED AT 200%

# FIRST FLOOR:

WALL BRACING DATA: FIRST FLOOR									
LINE	METHOD	SPACING (IN FEET)	# LINE MULTIPLIER 2=1.0 3=1.3 4=1.45	WALL HT. MULTIPLIER 8=0.90 9=0.95 10=1.0 12=1.1	ROOF EAVE TO RIDGE MULTIPLIER	INTERPOLATED REQUIRED BRACING LENGTH TABLE R602.10.1.2 (IN FEET)	CALCULATED REQUIRED BRACING LENGTH (IN FEET)	BRACING LENGTH PROVIDED (IN FEET)	PASSED
A	CS	50'(B)	1.0	.95	.985	14.0	13.10	15'-0"	YES
B	CS	50'(A)	1.0	1.0	.86	7.5	6.45	7'-3"	YES
C	CS	36'(A)	1.0**	.95	.985	10.5	9.83	9'-10"	YES
1	CS	51'-4"(2)	1.0	.95	.985	14.40	13.47	16'-0"	YES
2	CS	51'-4"(1)	1.0	1.0	.985	14.40	14.18	16'-0"	YES
3	CS	30'-4"(1)	1.0**	.95	.86	9.08	7.42	8'-0"	YES

\*ROOF EAVE TO RIDGE HEIGHT=9'-6" HOUSE, 7'-8" GARAGE \*\*LINE MULTIPLIER = 1.0 PER MRC TABLE R602.10.3(2), FOOTNOTE C

# SECOND FLOOR:

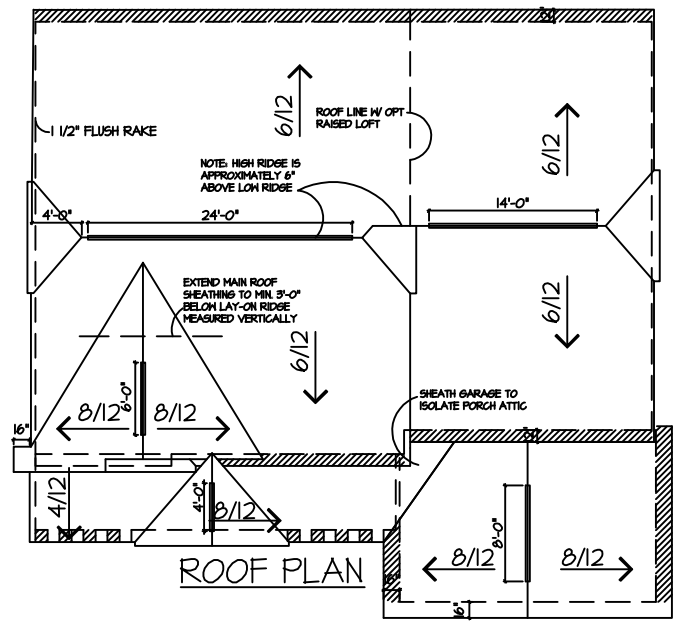
WALL BRACING DATA: SECOND FLOOR									
LINE	METHOD	SPACING (IN FEET)	# LINE MULTIPLIER 2=1.0 3=1.3 4=1.45	WALL HT. MULTIPLIER 8=0.90 9=0.95 10=1.0 12=1.1	ROOF EAVE TO RIDGE MULTIPLIER	INTERPOLATED REQUIRED BRACING LENGTH TABLE R602.10.1.2 (IN FEET)	CALCULATED REQUIRED BRACING LENGTH (IN FEET)	BRACING LENGTH PROVIDED (IN FEET)	PASSED
A	CS	32'(B)	1.0	.9	.97	5.2	4.54	11'-10"	YES
B	CS	32'(A)	1.0	.9	.97	5.2	4.54	14'-4"	YES
1	CS	51'-4"(2)	1.0	.9	.97	7.7	6.72	12'-0"	YES
2	CS	51'-4"(1)	1.0	.9	.97	7.7	6.72	12'-0"	YES

\*ROOF EAVE TO RIDGE HEIGHT=9'-6" \*\*LINE MULTIPLIER = 1.0 PER MRC TABLE R602.10.3(2), FOOTNOTE C

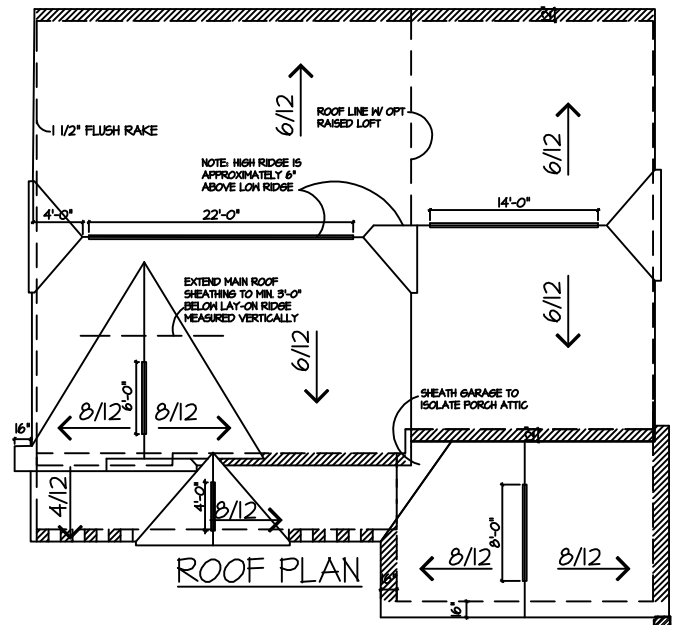
PLAN NAME:		THE HAMPTON	
JOB NUMBER		4958-518	
SHEET NO.		4.4.2-B	
ISSUED FOR	DATE	BY	MISCELLANEOUS SHEET
FINAL REVIEW	1/24/08	RKZ	
FINAL	3/6/08	RKZ	
FINAL REVIEW	11/4/08	RKZ	
"GO LIVE"	11/1/08	RKZ	

SHEET SCALE: (UNLESS NOTED OTHERWISE) 1/8" = 1'-0" ON 11X17 PAPER, 1/4" = 1'-0" ON 24X36 PAPER WHEN PRINTED AT 200%

OPT 2' EXTENSION ROOF PLAN



STANDARD ROOF PLAN



**2' EXT.**

MAIN ROOF RIDGE VENT CALCULATION:  
 MAIN ROOF AREA = 1891 SQ FT  
 MIN VENT AREA = 1891 SF/300 = 6.30 SF X 144 = 908 SQ. IN  
 HIGH EXHAUST PROVIDED: 44 LIN FTX II 51/FT = 484 SI (49% OF TOTAL)  
 LOW INTAKE VENT PROVIDED: 81 LIN FT. X 6.20 51/FT = 502 SI (51% OF TOTAL)  
 TOTAL VENTILATING AREA PROVIDED = 986 SI  
 \*\*\*MEETS CODE \*\*\*

**ROOF PLANS NOT TO SCALE**

DESIGN BASED ON:  
 11.0 SI NFA RIDGE VENT  
 6.2 SI NFA SOFFIT VENT

**STD.**

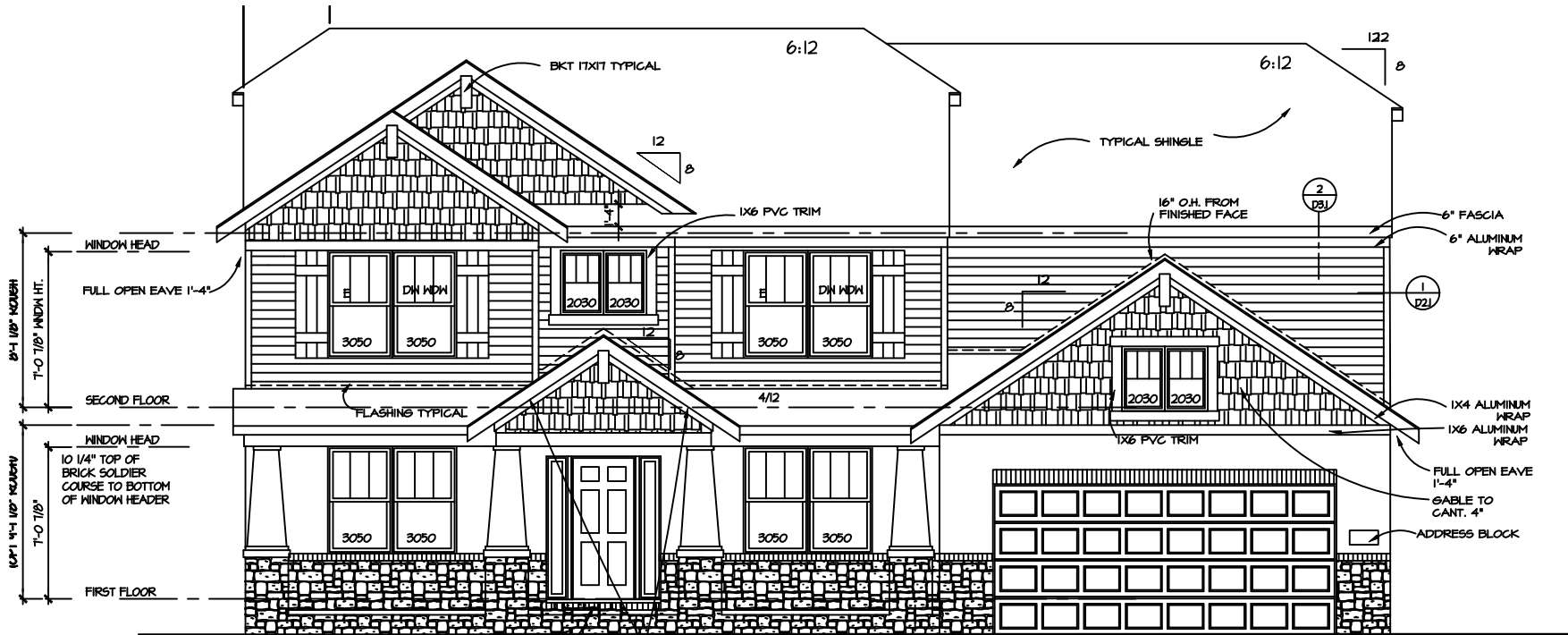
MAIN ROOF RIDGE VENT CALCULATION:  
 MAIN ROOF AREA = 1817 SQ FT  
 MIN VENT AREA = 1817 SF/300 = 6.05 SF X 144 = 872 SQ. IN  
 HIGH EXHAUST PROVIDED: 42 LIN FTX II 51/FT = 462SI (49% OF TOTAL)  
 LOW INTAKE VENT PROVIDED: 71 LIN FT. X 6.20 51/FT = 440 SI (51% OF TOTAL)  
 TOTAL VENTILATING AREA PROVIDED = 952 SI

**ATTIC VENT LEGEND**

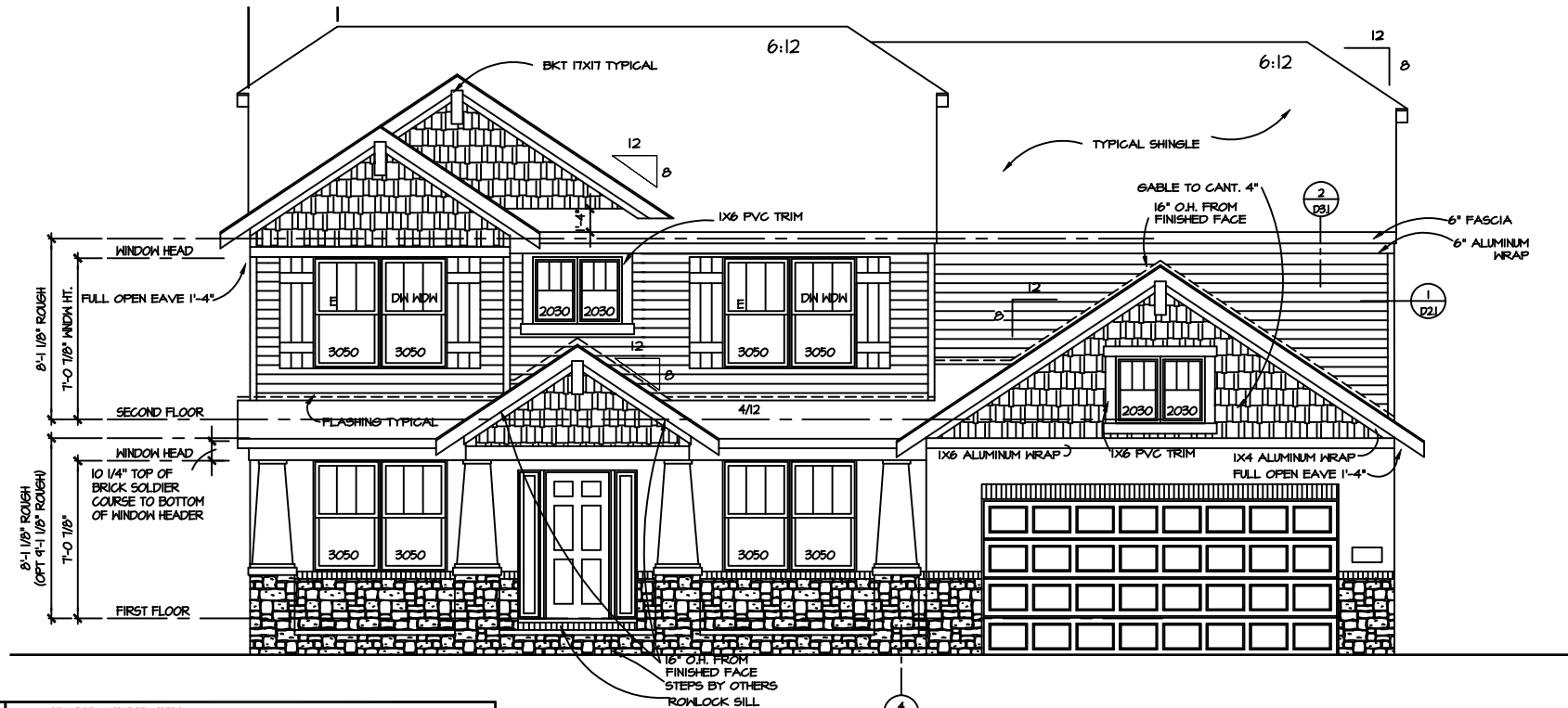
VENT TYPE & NET FREE AREA (N.F.A.)

	VINYL SOFFIT VENT	= 6.20 OR 10.0 SQUARE INCH (AS NOTED ON PLAN) OF N.F.A. PER LINEAL FOOT AT SIDING, 4.25 OR 6.81 SQ IN AT BRICK
	RIDGE VENT (LOMANGO, VAL-U-RIDGE VENT)	= 11 OR 15 SQUARE INCH OF N.F.A. PER LINEAL FEET AS NOTED ON PLAN
	DECK-AIR VENT (DA)	= 4.0 SQUARE INCH PER LINEAL FOOT
	ROOF CAN (LOMANGO 750)	= 50 SQUARE INCH EACH
	ROOF CAN (LOMANGO 85)	= 144 SQUARE INCH EACH

**CODE REQUIREMENT:**  
 MRC SEC R306.2 SPECIFIES REQUIRED ROOF VENTILATION AS FOLLOWS:  
 -THE TOTAL NET FREE VENTILATING AREA SHALL BE 1/300 OF VENTED SPACE, PROVIDED THAT NOT LESS THAN 40%, AND NOT MORE THAN 60% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.  
 -WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR, NOT LESS THAN A 1" SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AND AT THE LOCATION OF THE VENT.



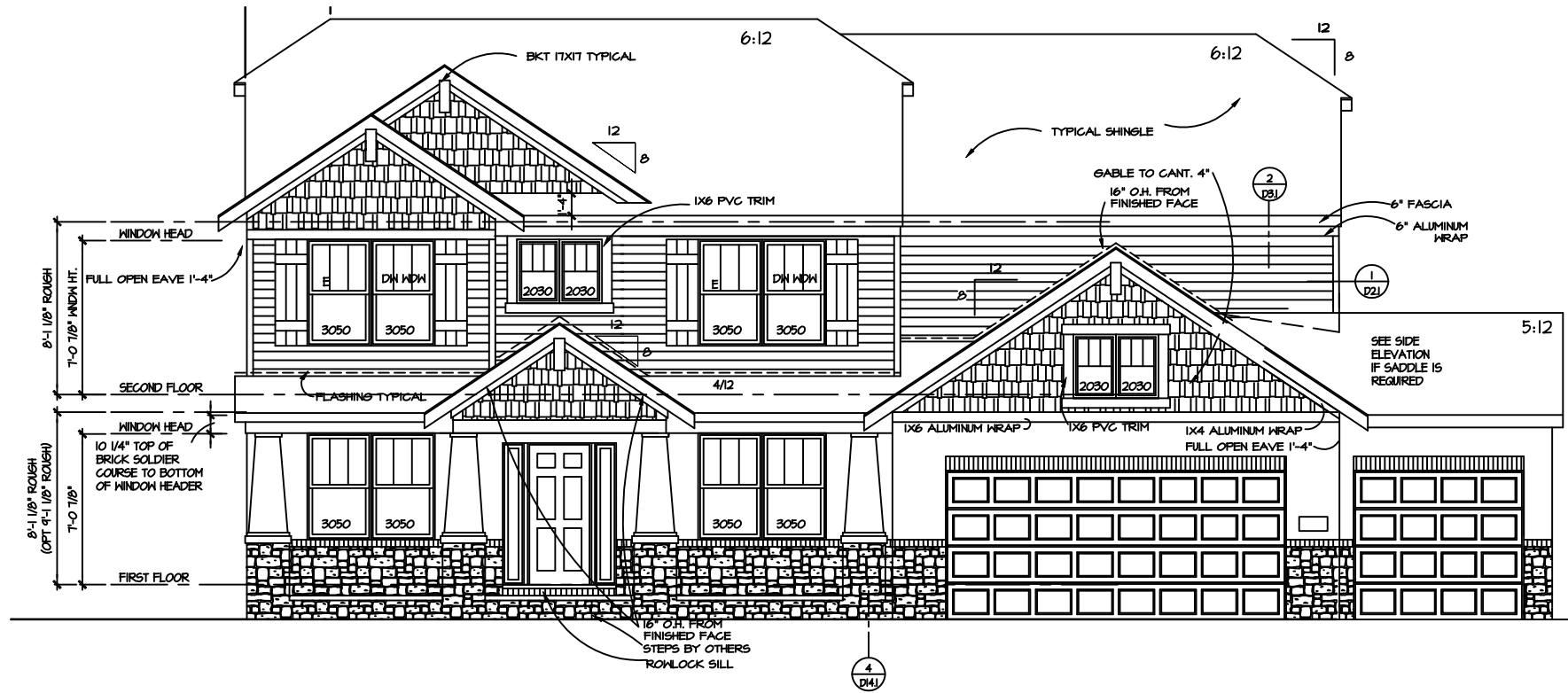
OPT 2' EXTENSION FRONT ELEVATION  
 SCALE: 1/8" = 1'-0"



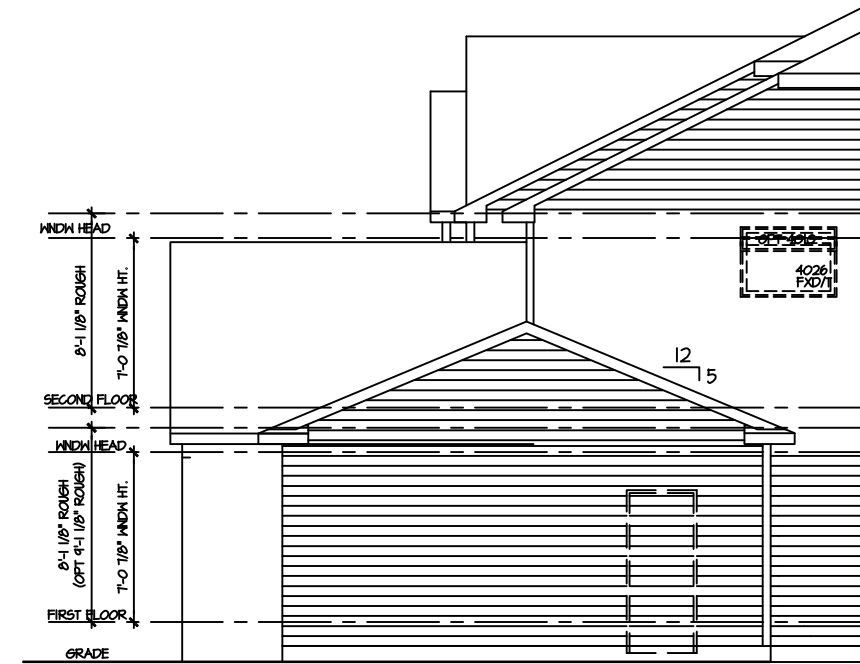
F FRONT ELEVATION  
 SCALE: 1/8" = 1'-0"

DATE	ISSUED FOR	BY	DATE	MISCELLANEOUS SHEET	BY
1/24/08	FINAL REVIEW	RKZ			
3/6/08	FINAL	RKZ			
11/4/08	FINAL REVIEW	RKZ			
11/1/08	"GO LIVE"	RKZ			
PLAN NAME:		THE HAMPTON			
JOB NUMBER		4958-518			
SHEET NO.		MI			
		5.1.1			

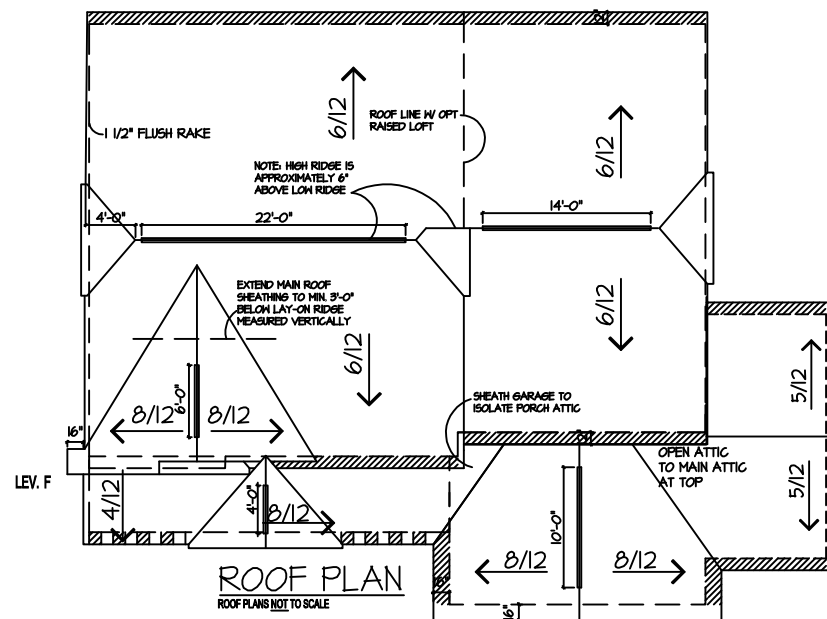
SHEET SCALE: (UNLESS NOTED OTHERWISE) 1/8" = 1'-0" ON 11X17 PAPER, 1/4" = 1'-0" ON 24X36 PAPER WHEN PRINTED AT 200%



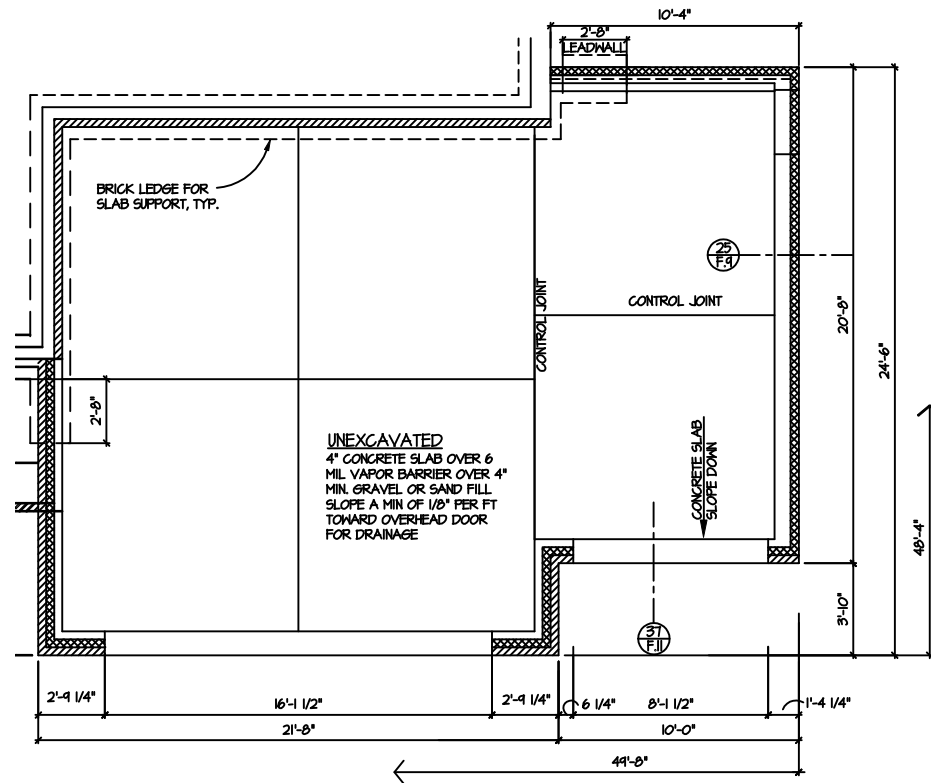
**F**  
**FRONT ELEVATION**  
 SCALE: 1/8" = 1'-0"



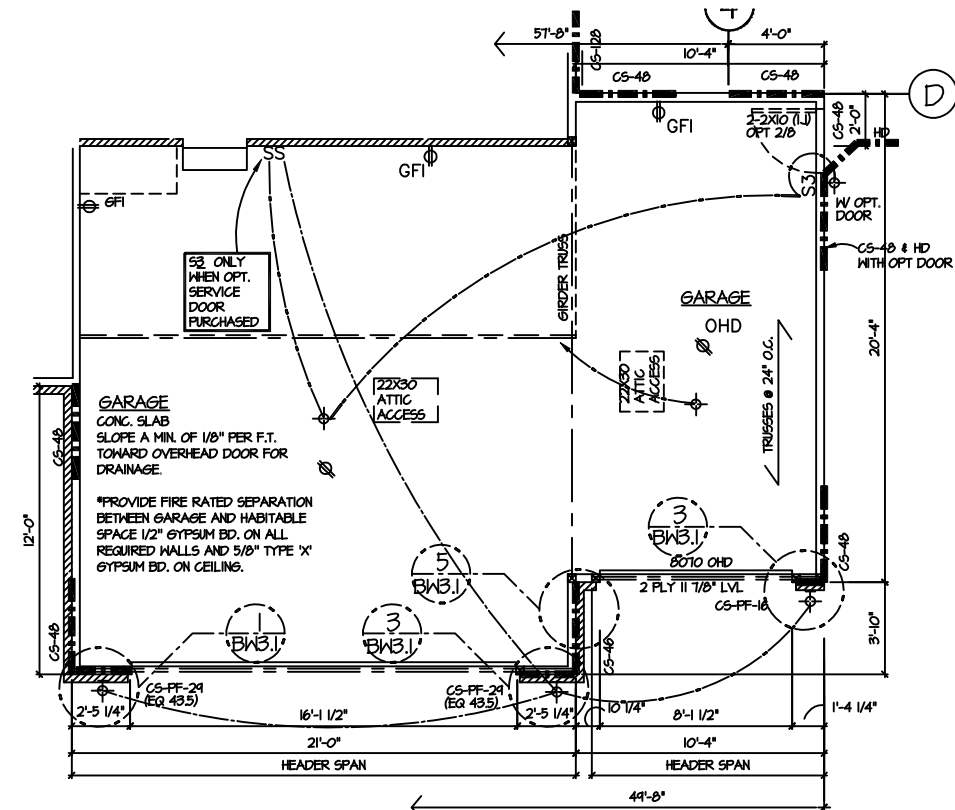
**RIGHT ELEVATION**  
 SCALE: 1/8" = 1'-0"



**ROOF PLAN**  
 ROOF PLANS NOT TO SCALE



**3 CAR FRONT ENTRY**  
**FOUNDATION PLAN**  
 SCALE: 1/8" = 1'-0"

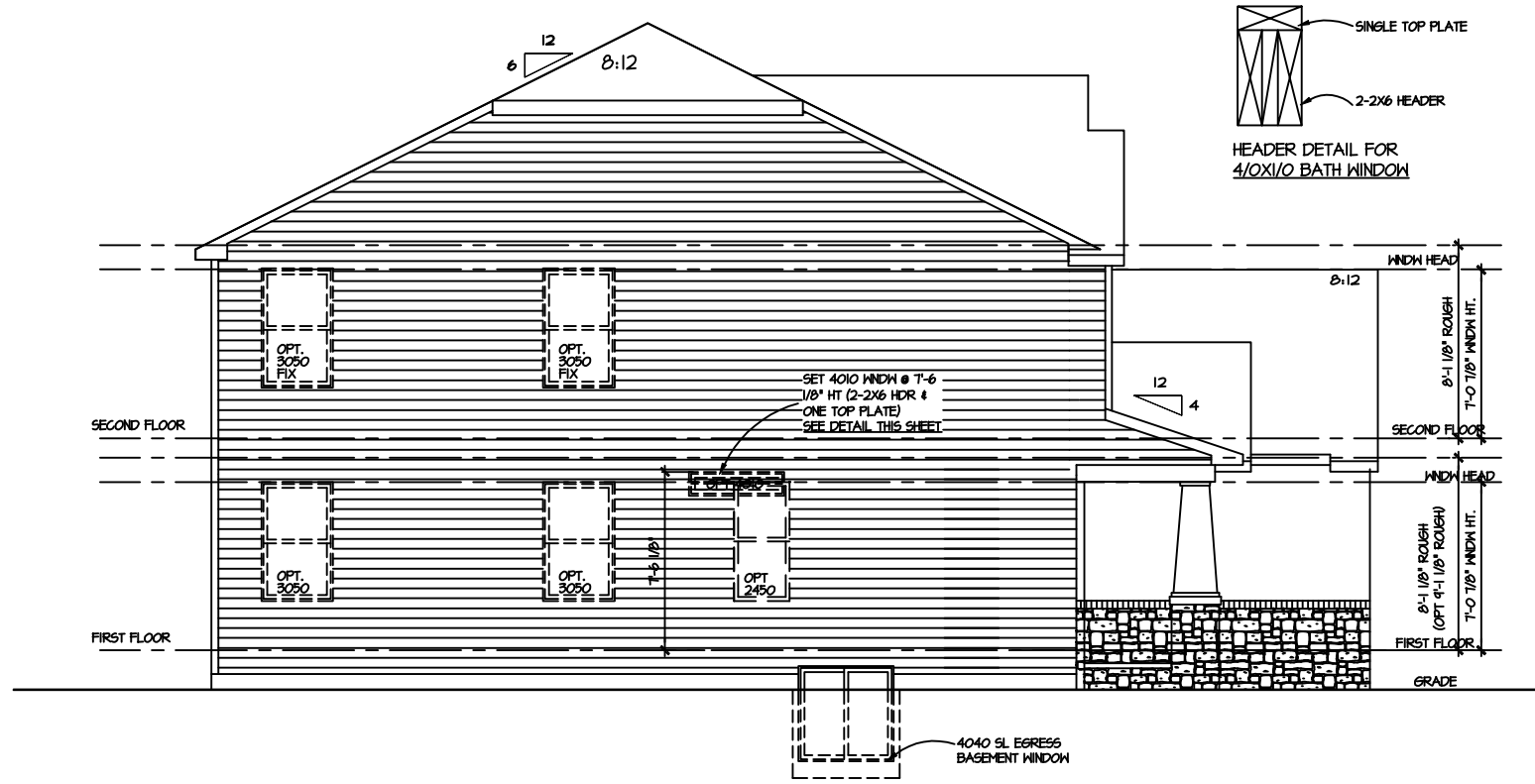


**3 CAR FRONT ENTRY**  
**FLOOR & ELECTRICAL PLAN**  
 SCALE: 1/8" = 1'-0"

PLAN NAME:		THE HAMPTON	
DATE	ISSUED FOR	BY	DATE
1/24/18	FINAL REVIEW	RHZ	
3/6/18	FINAL	RHZ	
11/4/18	FINAL REVIEW	RHZ	
11/1/18	'50 LIVE'	RHZ	
JOB NUMBER		4958-518	
SHEET NO.		OPT11.5	

SHEET SCALE: (UNLESS NOTED OTHERWISE) 1/8" = 1'-0" ON 11X17 PAPER, 1/4" = 1'-0" ON 24X36 PAPER WHEN PRINTED AT 200%

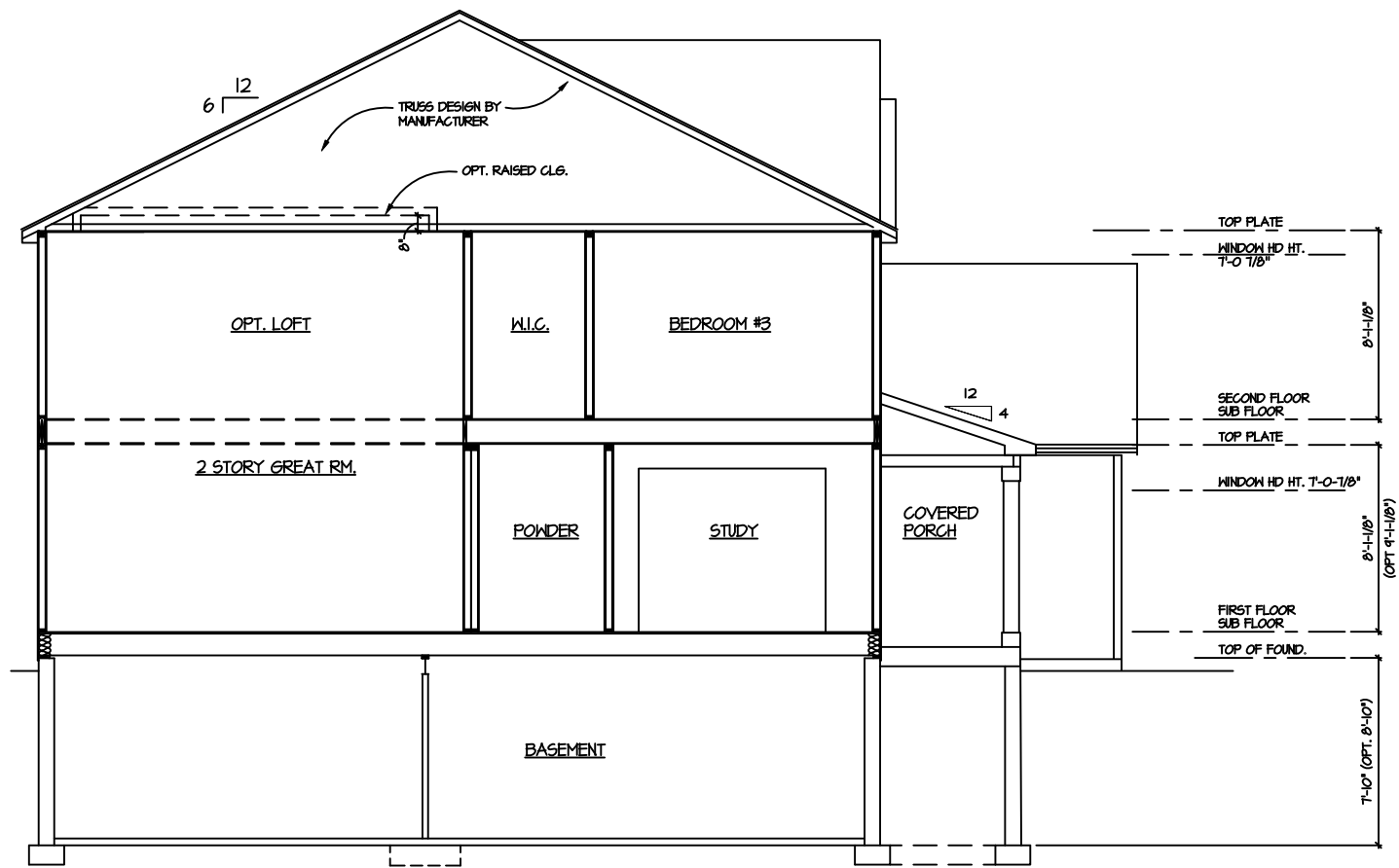




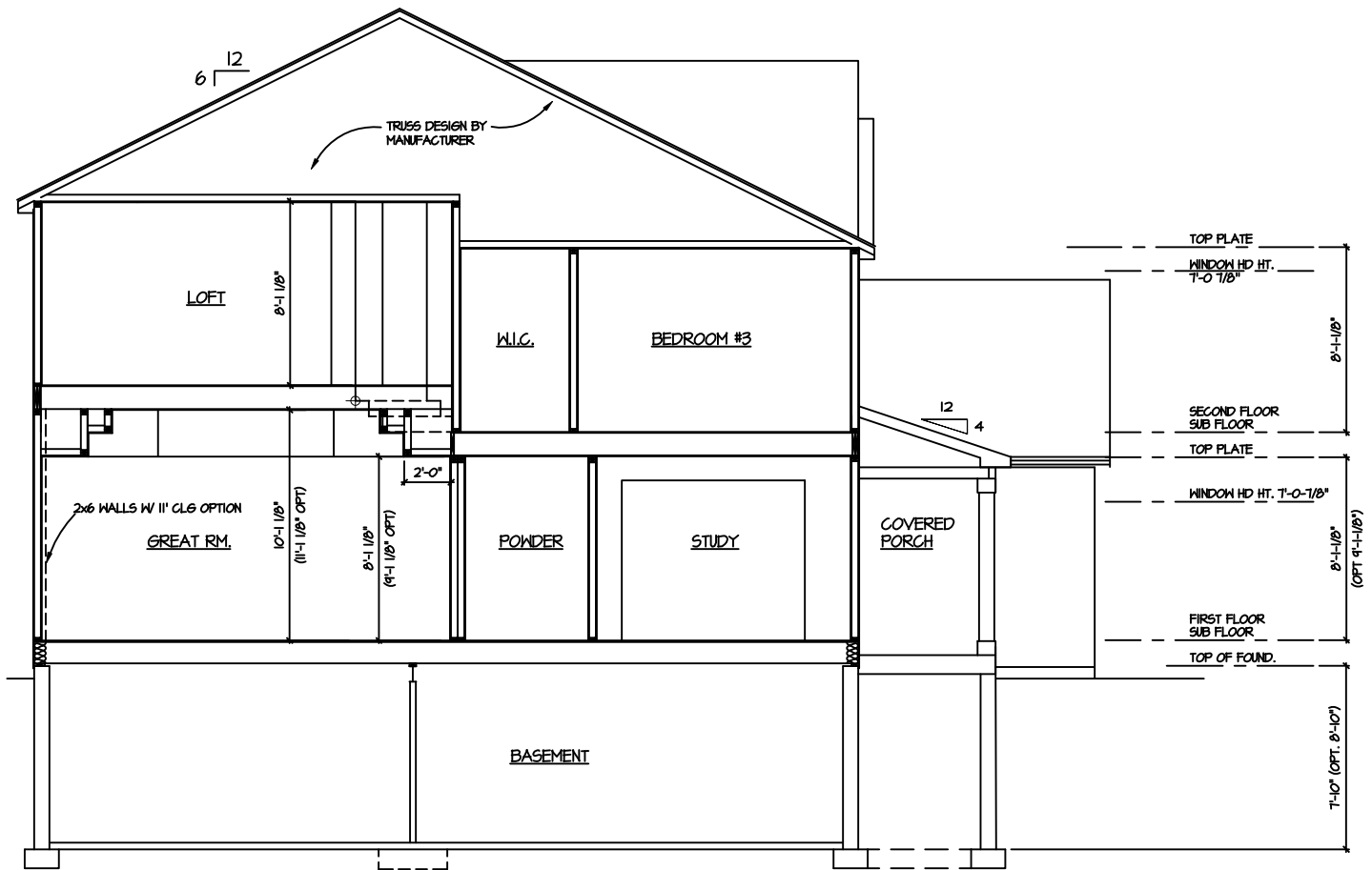
PLAN NAME:		THE HAMPTON			
JOB NUMBER		4958-518			
SHEET NO.		MI			
5.3.1					
DATE	ISSUED FOR	BY	DATE	MISCELLANEOUS SHEET	BY
1/24/10	FINAL REVIEW	KHZ			
3/6/11	FINAL	KHZ			
11/4/11	FINAL REVIEW	KHZ			
11/11/11	"GO LIVE"	KHZ			

SHEET SCALE: (UNLESS NOTED OTHERWISE) 1/8" = 1'-0" ON 11X17 PAPER, 1/4" = 1'-0" ON 24X36 PAPER WHEN PRINTED AT 200%





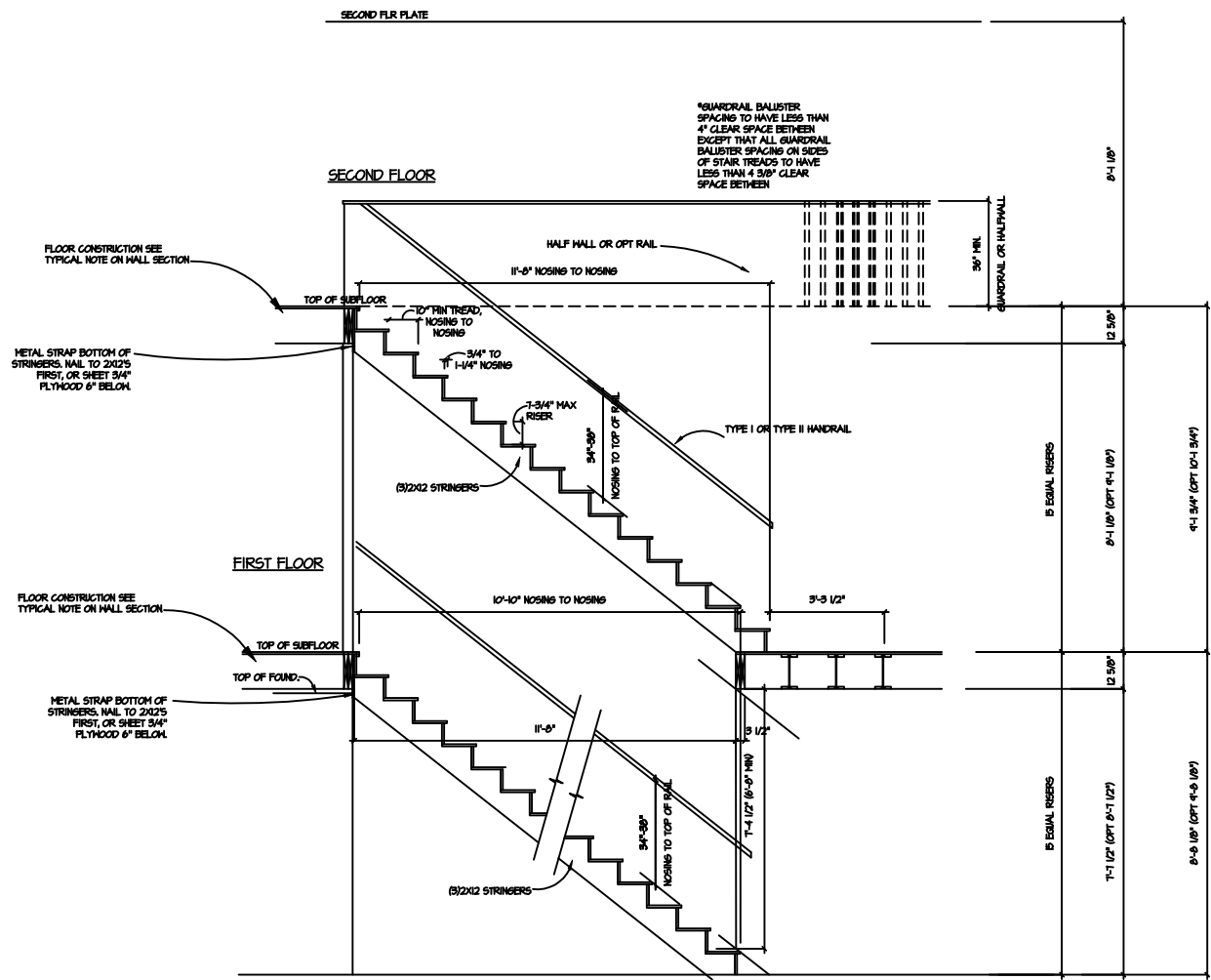
BUILDING SECTION  
SCALE: 1/8" = 1'-0"



RAISED LOFT  
BUILDING SECTION  
SCALE: 1/8" = 1'-0"

PLAN NAME: <b>THE HAMPTON</b>	ISSUED FOR	DATE	BY	MISCELLANEOUS SHEET
	FINAL REVIEW		KRZ	
	FINAL		KRZ	
	FINAL REVIEW "GO LIVE"		KRZ	
JOB NUMBER 4958-518				
<b>MI</b>				
SHEET NO. 6.1.1				

SHEET SCALE: (UNLESS NOTED OTHERWISE) 1/8" = 1'-0" ON 11X17 PAPER, 1/4" = 1'-0" ON 24X36 PAPER WHEN PRINTED AT 200%



**STAIR SECTION**

SCALE: 1/4" = 1'-0"  
 \*VERIFY FINISH FLOOR MATERIAL FOR RISER HEIGHT.

DATE	ISSUED FOR	BY	DATE	MISCELLANEOUS SHEET	BY
1/24/08	FINAL REVIEW	KHZ			
3/6/08	FINAL	KHZ			
11/4/08	FINAL REVIEW	KHZ			
11/10/08	"GO LIVE"	KHZ			

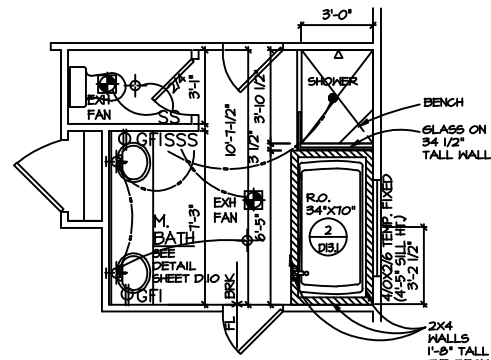
PLAN NAME:  
**THE HAMPTON**

JOB NUMBER  
 4958-518

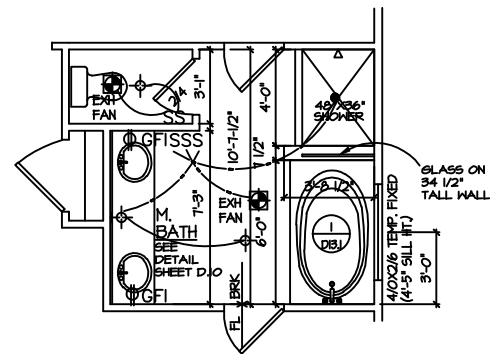
**MI**

SHEET NO.  
 6.2.1

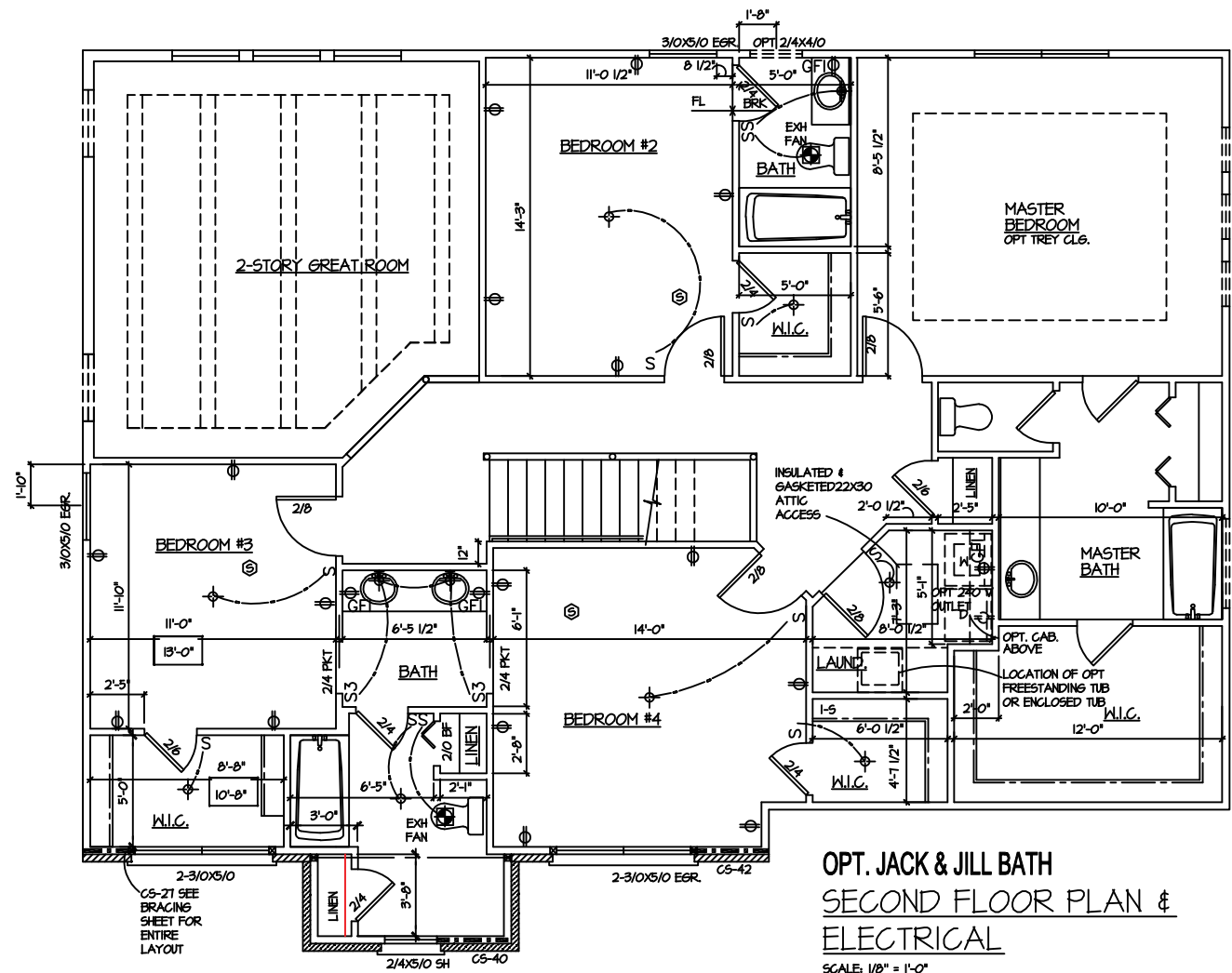
SHEET SCALE: (UNLESS NOTED OTHERWISE) 1/8" = 1'-0" ON 11X17 PAPER, 1/4" = 1'-0" ON 24X36 PAPER WHEN PRINTED AT 200%



**OPTIONAL LUXURY MASTER BATH**  
**SECOND FLOOR PLAN &**  
**ELECTRICAL**  
 SCALE: 1/8" = 1'-0"



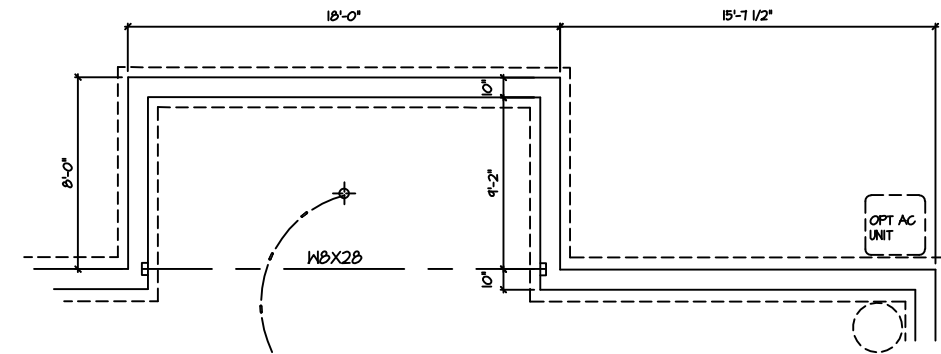
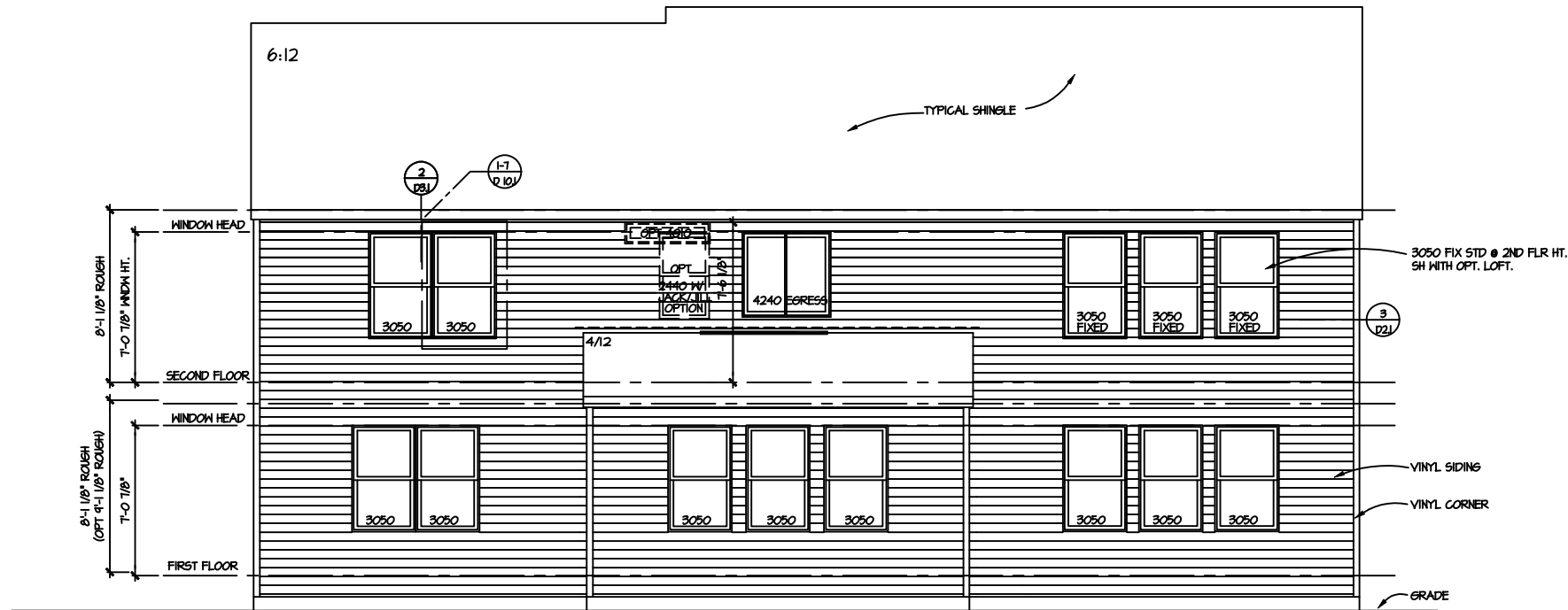
**OPTIONAL DELUXE MASTER BATH**  
**SECOND FLOOR PLAN &**  
**ELECTRICAL**  
 SCALE: 1/8" = 1'-0"



**OPT. JACK & JILL BATH**  
**SECOND FLOOR PLAN &**  
**ELECTRICAL**  
 SCALE: 1/8" = 1'-0"

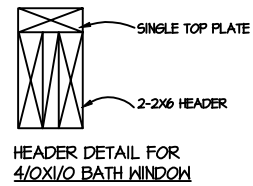
PLAN NAME:		THE HAMPTON	
JOB NUMBER:		4458-518	
SHEET NO.:		OPT 12.2.1	
DATE	ISSUED FOR	BY	MISCELLANEOUS SHEET
1/24/18	FINAL REVIEW	RKZ	
3/6/18	FINAL	RKZ	
11/4/18	FINAL REVIEW	RKZ	
12/23/18	'50 LIVE'	RKZ	
2/25/20	FOR 2-1-20	RKZ	
3/17/20	FOR 3-1-20	RKZ	
	FOR 4-1-20	RKZ	

SHEET SCALE: (UNLESS NOTED OTHERWISE) 1/8" = 1'-0" ON 11X17 PAPER, 1/4" = 1'-0" ON 24X36 PAPER WHEN PRINTED AT 200%

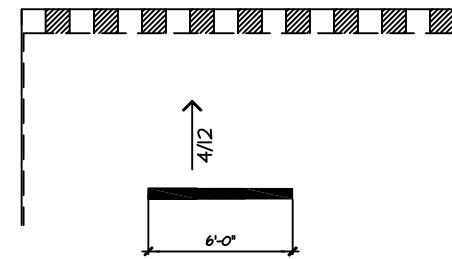


**OPT. EAT IN KITCHEN & NOOK  
BF FOUNDATION PLAN**  
SCALE: 1/8" = 1'-0"

**OPT. EAT IN KITCHEN & NOOK  
REAR ELEVATION**  
SCALE: 1/8" = 1'-0"

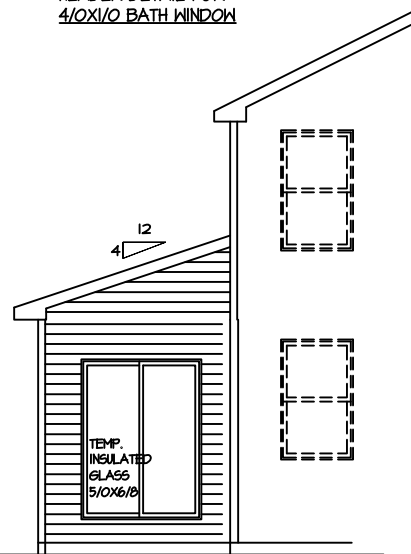


HEADER DETAIL FOR  
4'0"X1'0" BATH WINDOW



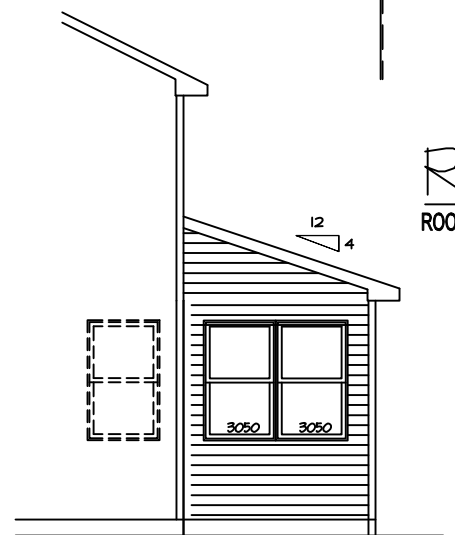
**ROOF PLAN**

ROOF PLANS NOT TO SCALE



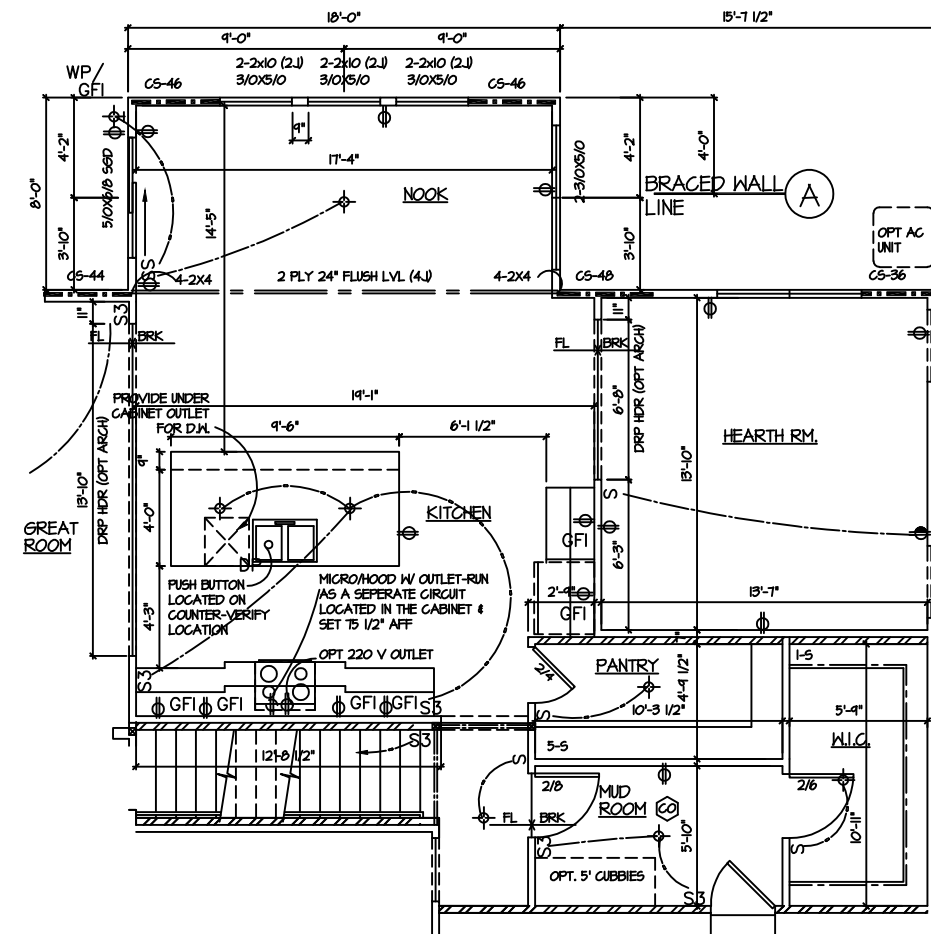
**OPT. EAT IN KITCHEN & NOOK  
SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



**OPT. EAT IN KITCHEN & NOOK  
SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



**OPT. EAT IN KITCHEN & NOOK  
FLOOR & ELECTRICAL PLAN**

SCALE: 1/8" = 1'-0"

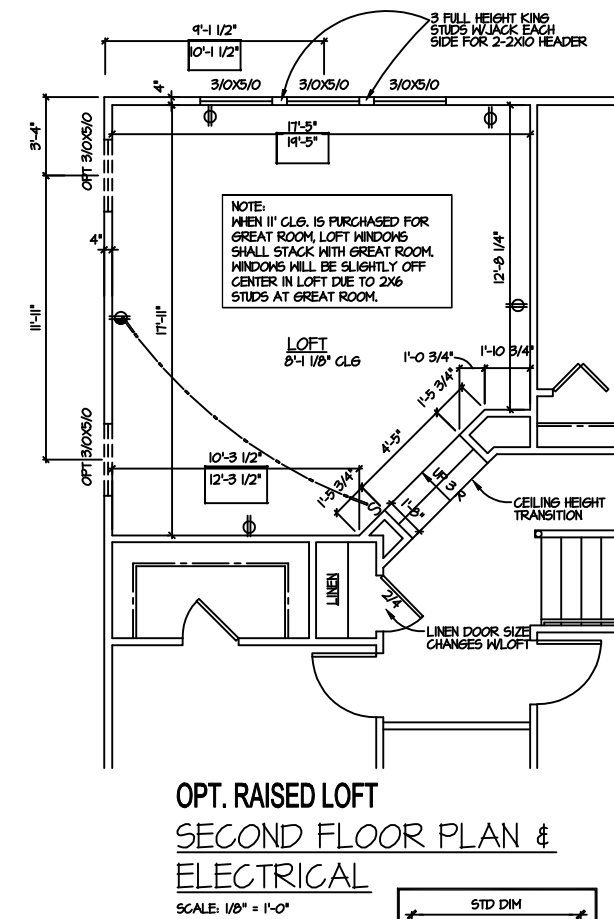
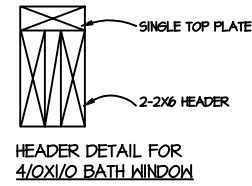
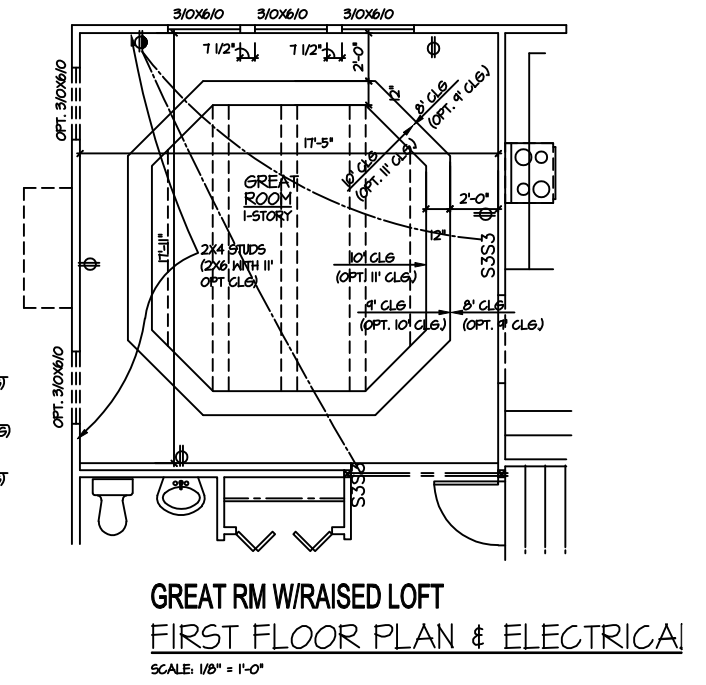
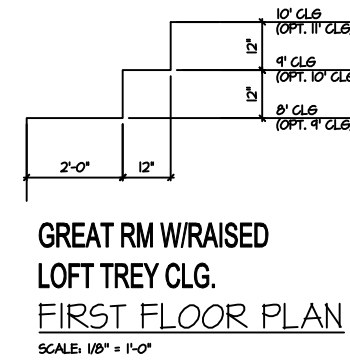
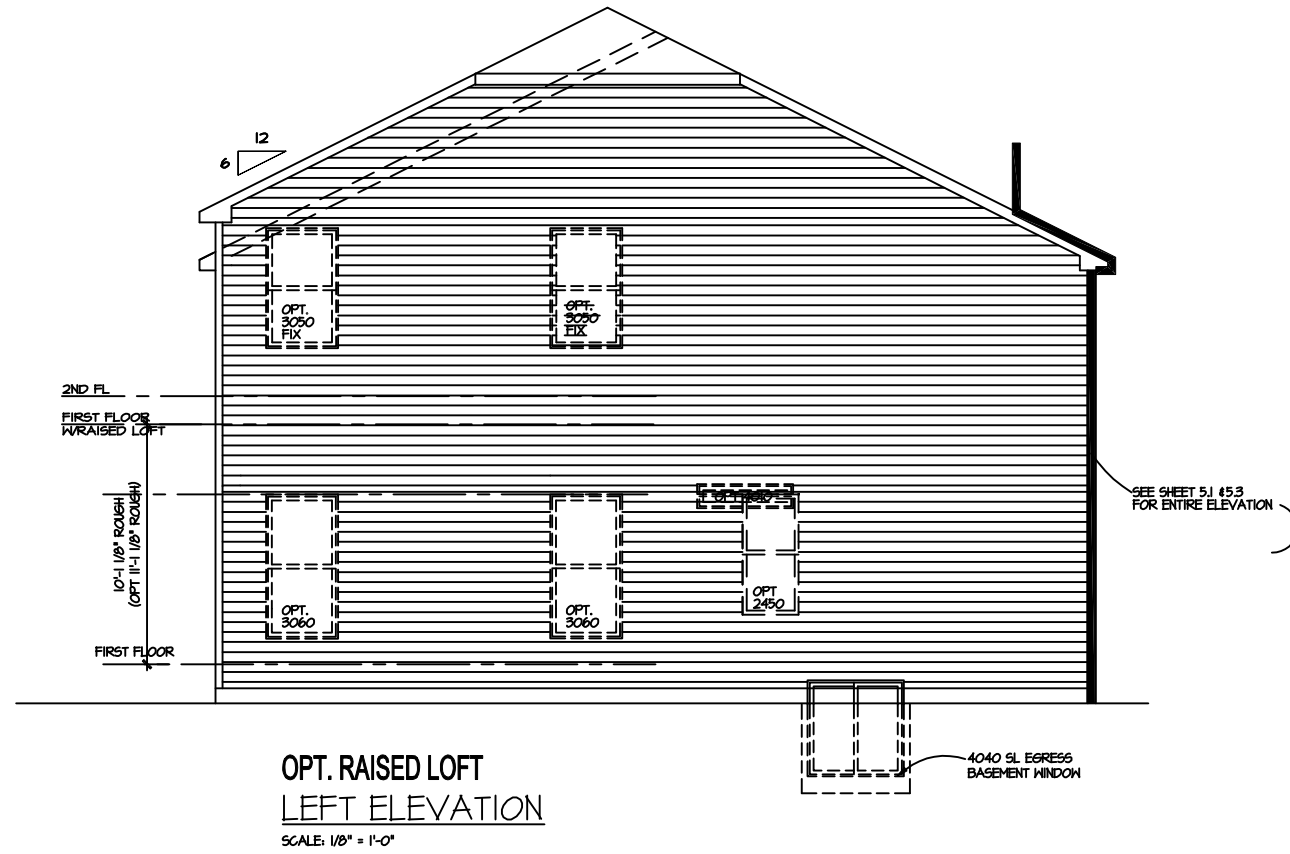
DATE		ISSUED FOR		BY		DATE		MISCELLANEOUS SHEET		BY	
1/24/20	FINAL REVIEW	1/24/20	FINAL REVIEW	KHZ	KHZ	1/24/20	FINAL REVIEW				
3/16/20	FINAL	3/16/20	FINAL	KHZ	KHZ	3/16/20	FINAL REVIEW				
11/11/19	"50 LIVE"	11/11/19	"50 LIVE"	KHZ	KHZ	11/11/19	PCR 2-1-20				
12/23/19	PCR 2-1-20	12/23/19	PCR 2-1-20	KHZ	KHZ	12/23/19	PCR 3-1-20				
2/25/20	PCR 3-1-20	2/25/20	PCR 3-1-20	KHZ	KHZ	2/25/20	PCR 4-1-20				
3/11/20	PCR 4-1-20	3/11/20	PCR 4-1-20	KHZ	KHZ	3/11/20	PCR 4-1-20				

PLAN NAME:  
**THE  
HAMPTON**

JOB NUMBER  
4958-518

**MI**

SHEET NO.  
OPT 13.1.1



PLAN NAME:		THE HAMPTON	
DATE	ISSUED FOR	BY	DATE
1/24/08	FINAL REVIEW	KHZ	
3/6/08	FINAL	KHZ	
11/4/08	FINAL REVIEW	KHZ	
11/11/08	"GO LIVE"	KHZ	
JOB NUMBER		4958-518	
SHEET NO.		MI	
		OPT 14.1.1	

SHEET SCALE: (UNLESS NOTED OTHERWISE) 1/8" = 1'-0" ON 11X17 PAPER, 1/4" = 1'-0" ON 24X36 PAPER WHEN PRINTED AT 200%