

ICHIBAN FACADE JF25-13

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Consideration at the request of Crown Realty & Management for approval of a Section 9 Façade Waiver. The existing building is located on a portion of the 5.86-acre parcel at 42050 Grand River Avenue (Section 23). The applicant requests approval for the application of asphalt shingles on a mansard roof.

Required Action

Approval or denial of the Section 9 Façade Waiver.

REVIEW	RESULT	DATE	COMMENTS
Façade	Contingent Approval Recommended	6/3/2026	<ul style="list-style-type: none">Section 9 Waiver for the application of asphalt shingles on a mansard roof (0% permitted).

MOTION SHEET:

Approval – Section 9 Façade Waiver

In the matter of Ichiban Facade JF25-13, motion to **approve** the Section 9 Façade Waiver based on and subject to the following:

- Provision of adequate screening of all rooftop units (RTUs) to effectively screen the RTUs from all vantage points and comply with roof top screening requirements of Section 4.19.2.E of the Zoning Ordinance, as the proposed material in the packet has been determined to be inadequate for screening.
- All elevations of the building are painted with the approved paint colors.
- (additional conditions here, if any).

This motion is made because the plan is otherwise in compliance with Article 3, Article 4 and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

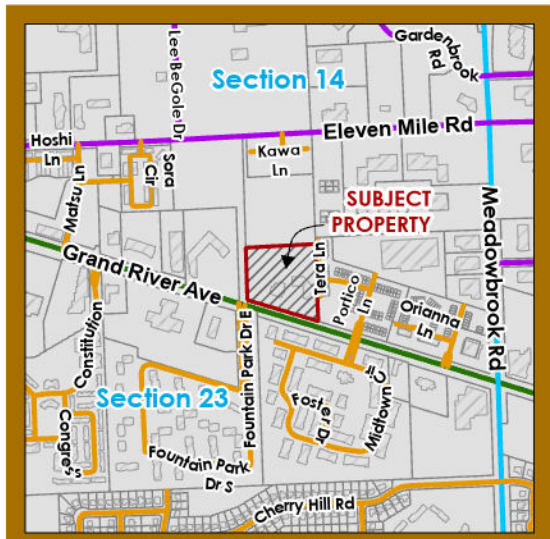
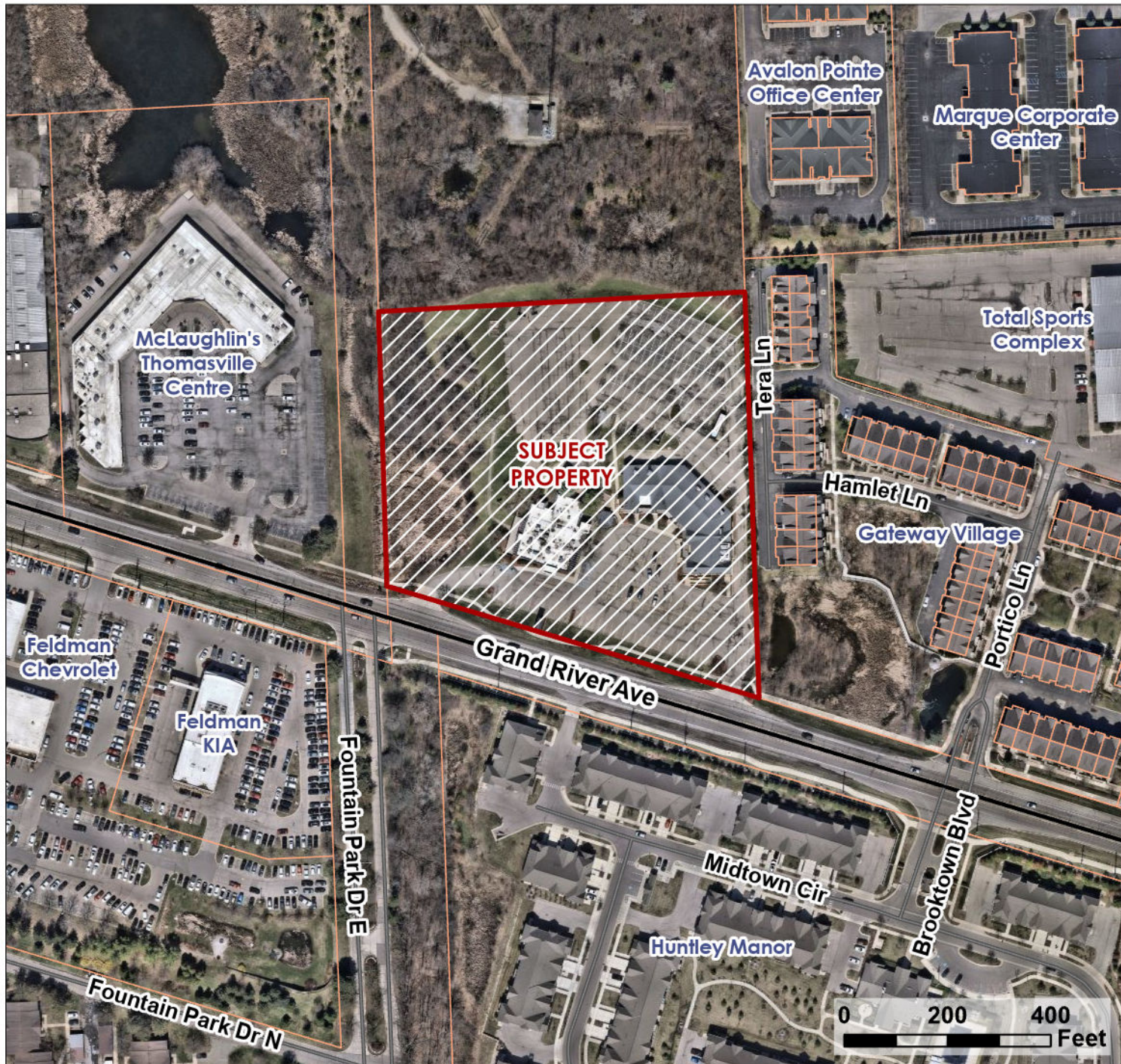
– OR –

Denial – Section 9 Façade Waiver

In the matter of Ichiban Facade JF25-13, motion to **deny** the Section 9 Façade Waiver ... (because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

MAP
Location

ICHIBAN LOCATION MAP



LEGEND

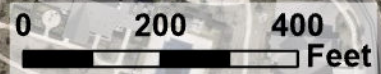
-  Subject Property
- Thoroughfare Classification
 -  Arterial
 -  Minor Arterial
 -  Non-Residential Collector
 -  Local Road



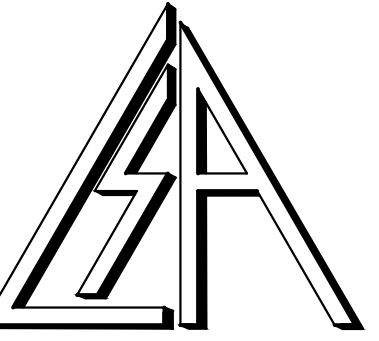
Map Author: Diana Shanahan
Project: 42050 Grand River

Date: 06/01/26
Version #: 1

City of Novi
Community Development Department
City Hall / Civic Center
45175 Ten Mile Road, Novi, MI 48375
cityofnovi.org



BUILDING ELEVATIONS AND FLOOR PLANS



LSA, Inc.

4743 PARKSIDE CT.
ANN ARBOR, MI 48105

734.417.0260 (PHONE)
734.212.2130 (FAX)

ZY.LIU@LSA-MI.COM

NOVI ICHIBAN

(FORMERLY: WASABI)
(ADD ROOF SCREEN)
42050 GRAND RIVER
NOVI, MI 48375

NOT FOR
CONSTRUCTION



05/05/2026

SHEET TITLE
BUILDING
ELEVATIONS

PROJECT NO: 2507016

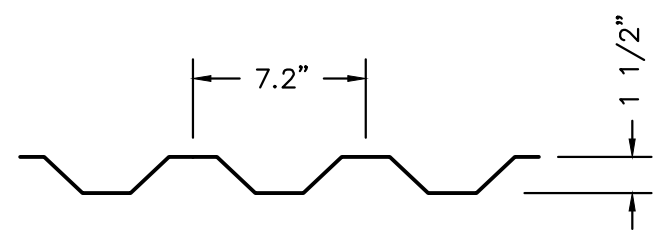
DRAWN J.S.
CHECKED Z.L.
APPROVED _____

DATE ISSUED FOR _____

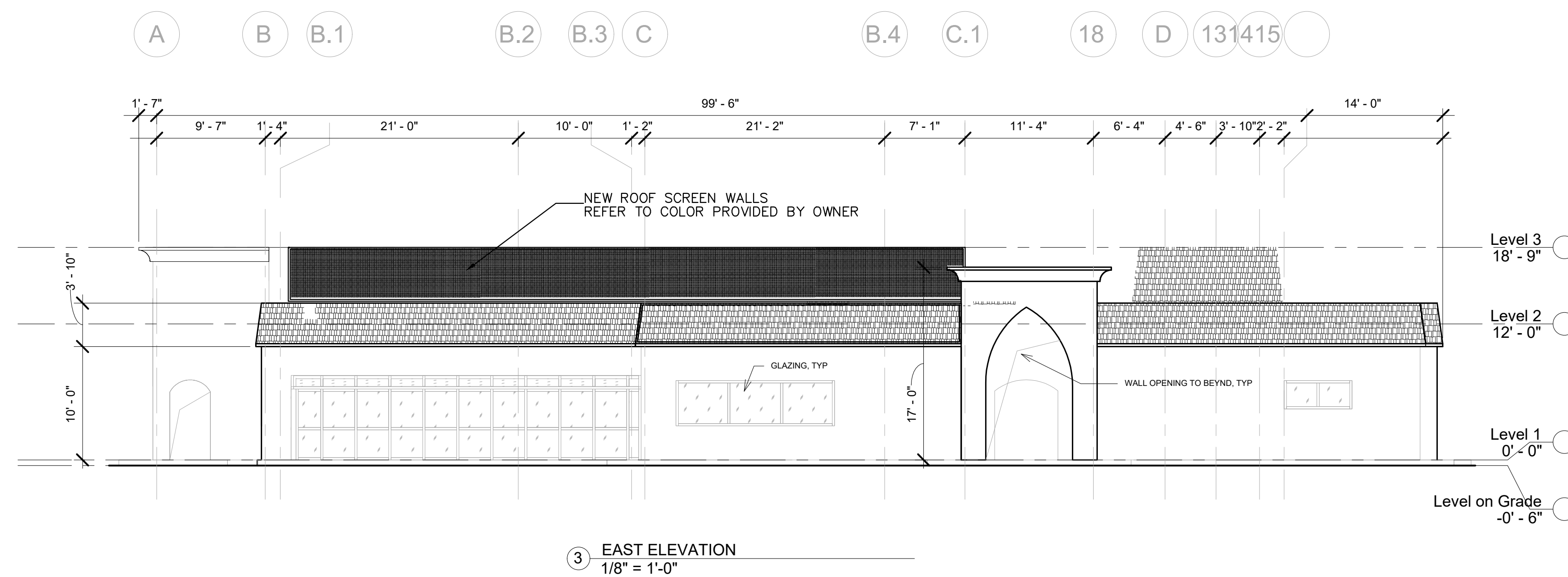
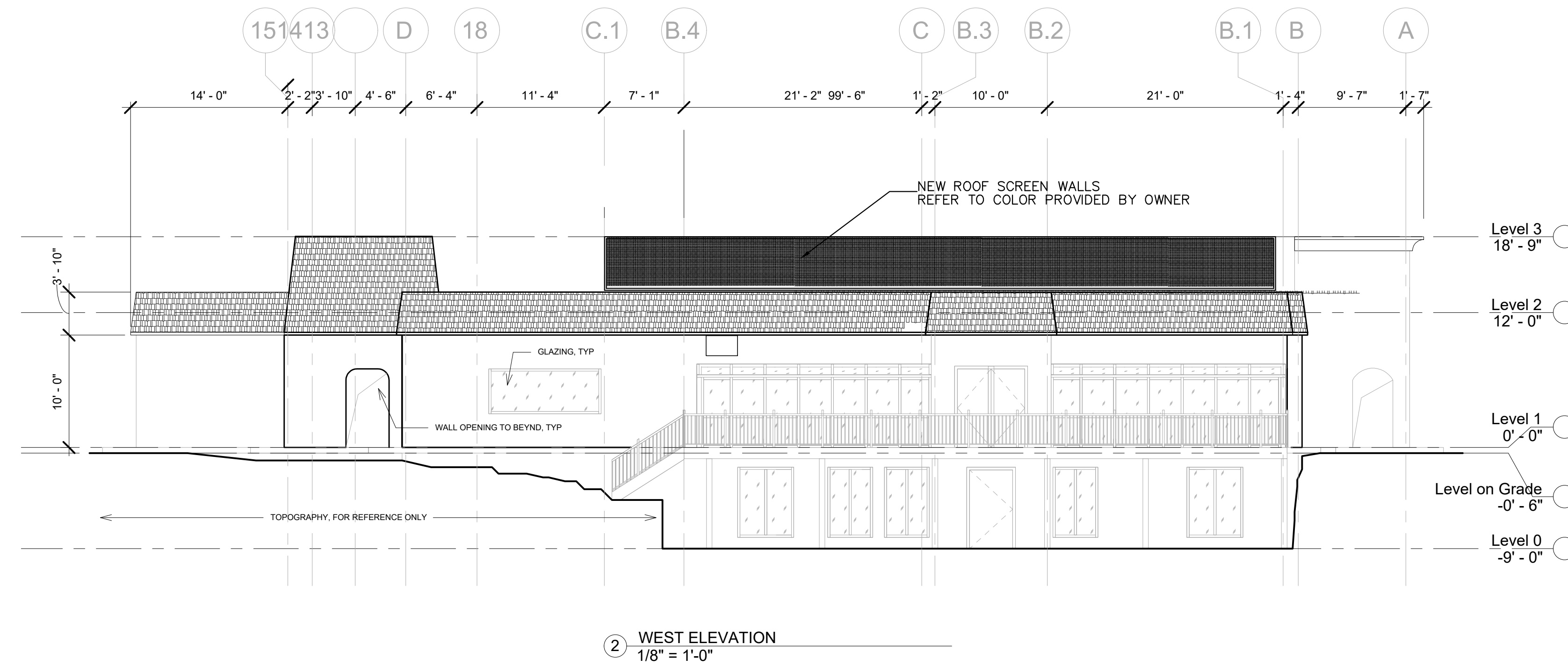
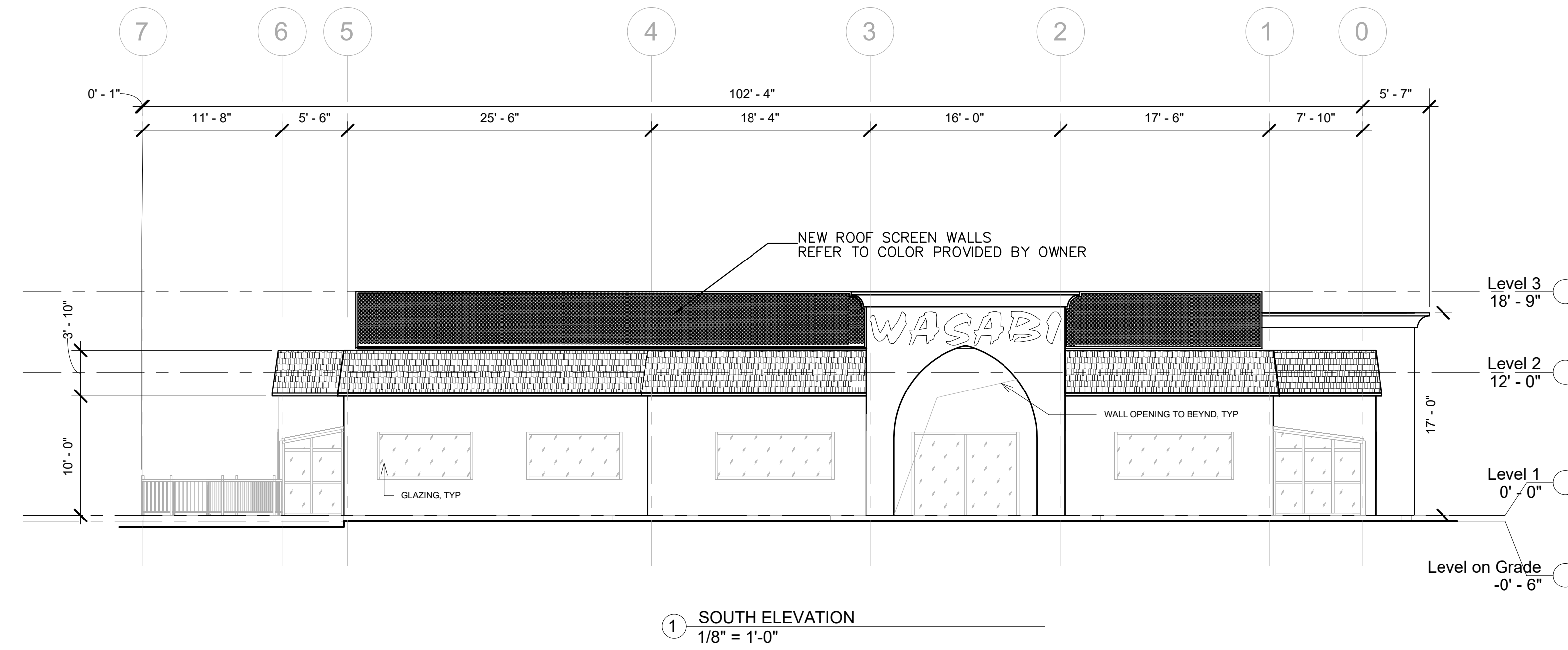
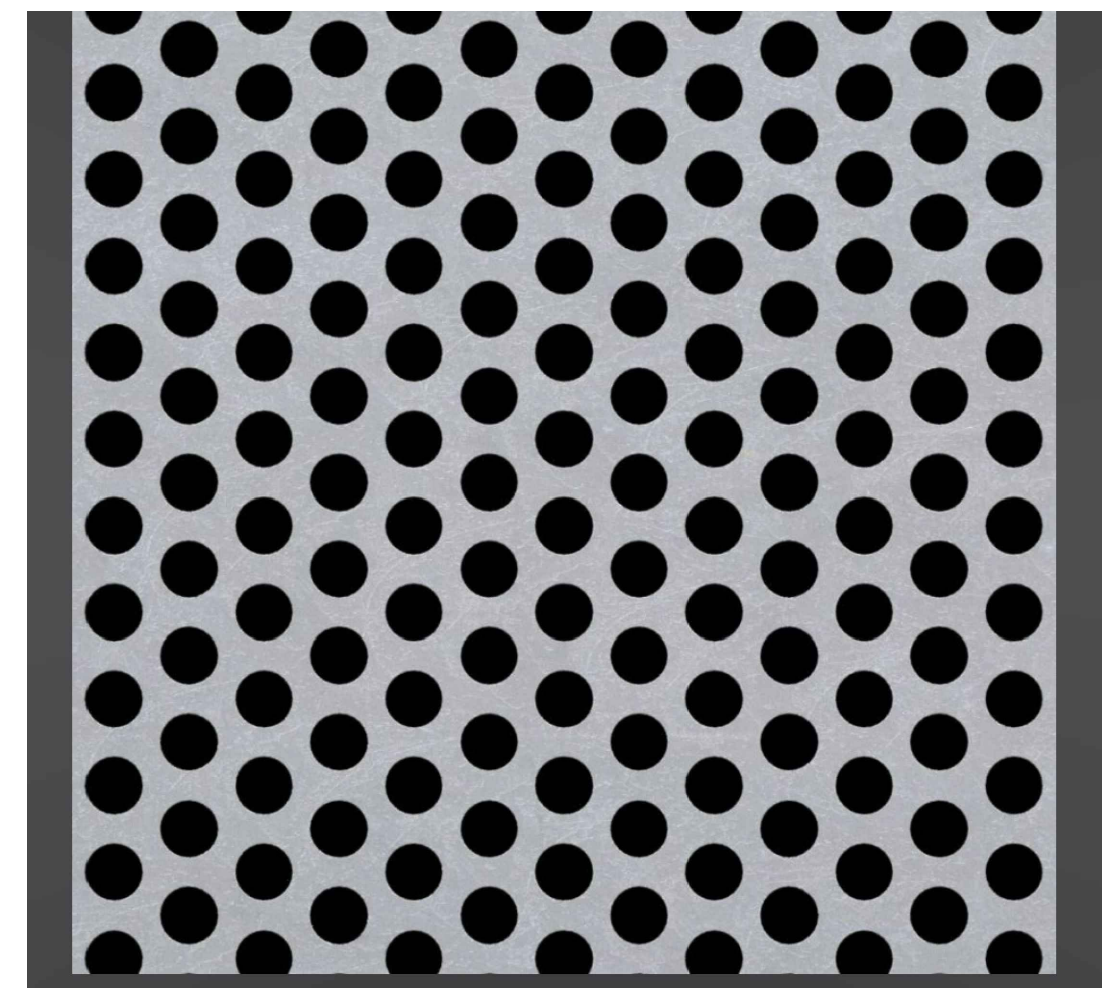
04/27/2026 REVIEW
SHEET

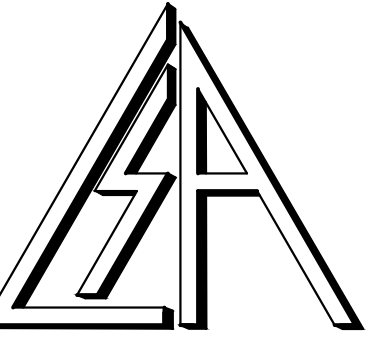
A.1

SCREEN WALL PANELS:
MATERIAL: ALUMINUM
SHEET THICKNESS: 0.04 INCH
PERFORATED HOLE SIZE: 3/8" DIA.
PERFORATED HOLE SPACING: 9/16" (STAGGERED)
PERFORATED OPEN AREA: 40%
PANEL COLOR: MANSARD BROWN
PANEL DEPTH: 1 1/2"



PROPOSED SCREEN PANEL SECTION





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CONSTRUCTION



05/05/2026

SHEET TITLE
ROOF POST
PLAN

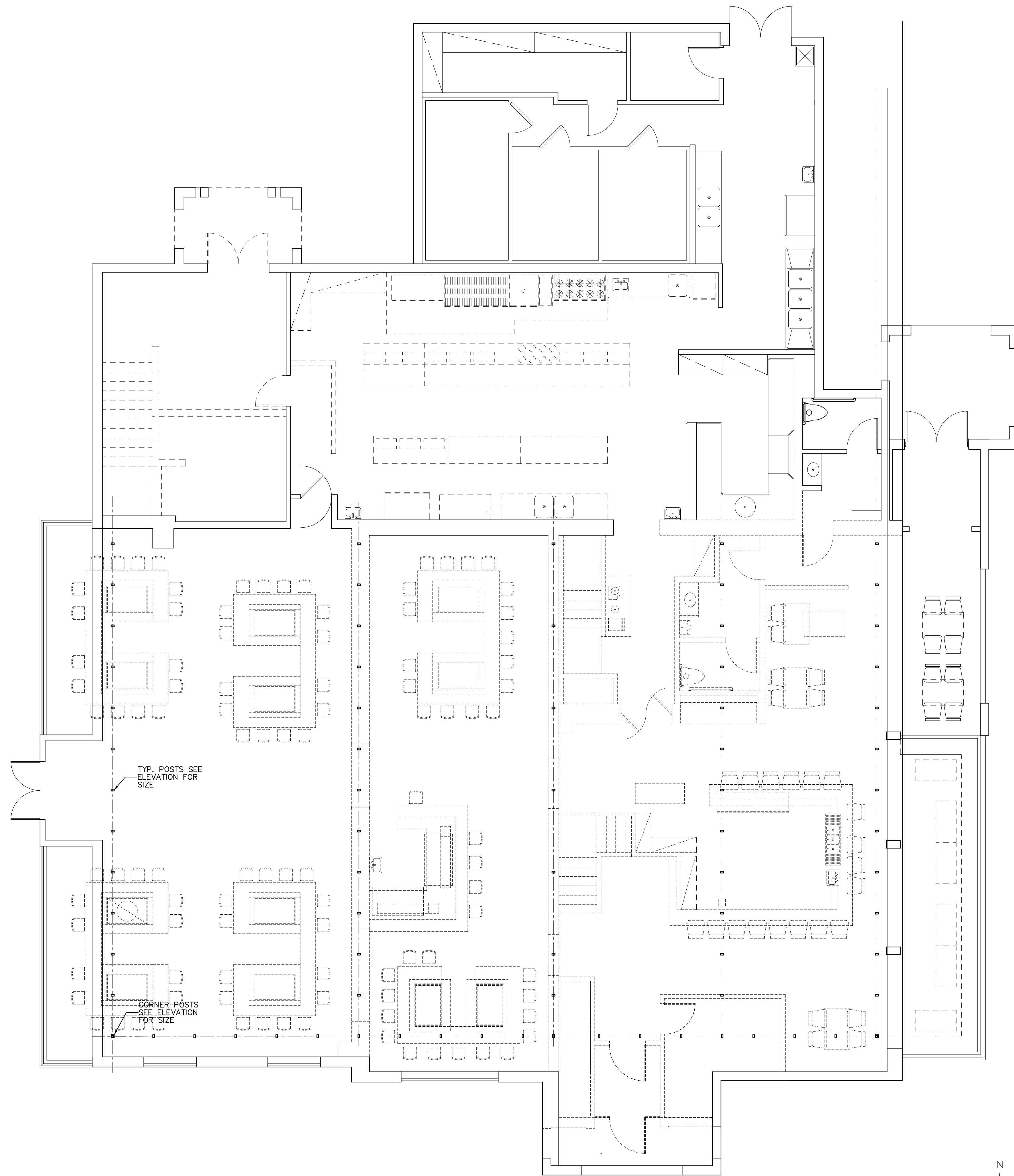
PROJECT NO: 2507016

DRAWN J.S.
CHECKED Z.L.
APPROVED

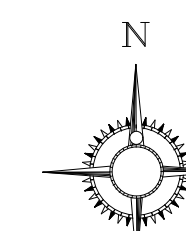
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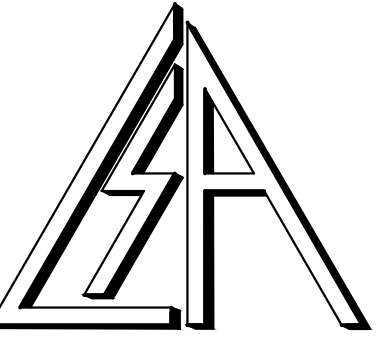
04/27/2026 REVIEW
SHEET

A:2



ROOF POST PLAN
SCALE: 3/16" = 1'-0"





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05/05/2026

SHEET TITLE

SCREEN
WALL
FRAMING
ELEVATIONS

PROJECT NO: 2507016

DRAWN J.S.

CHECKED Z.L.

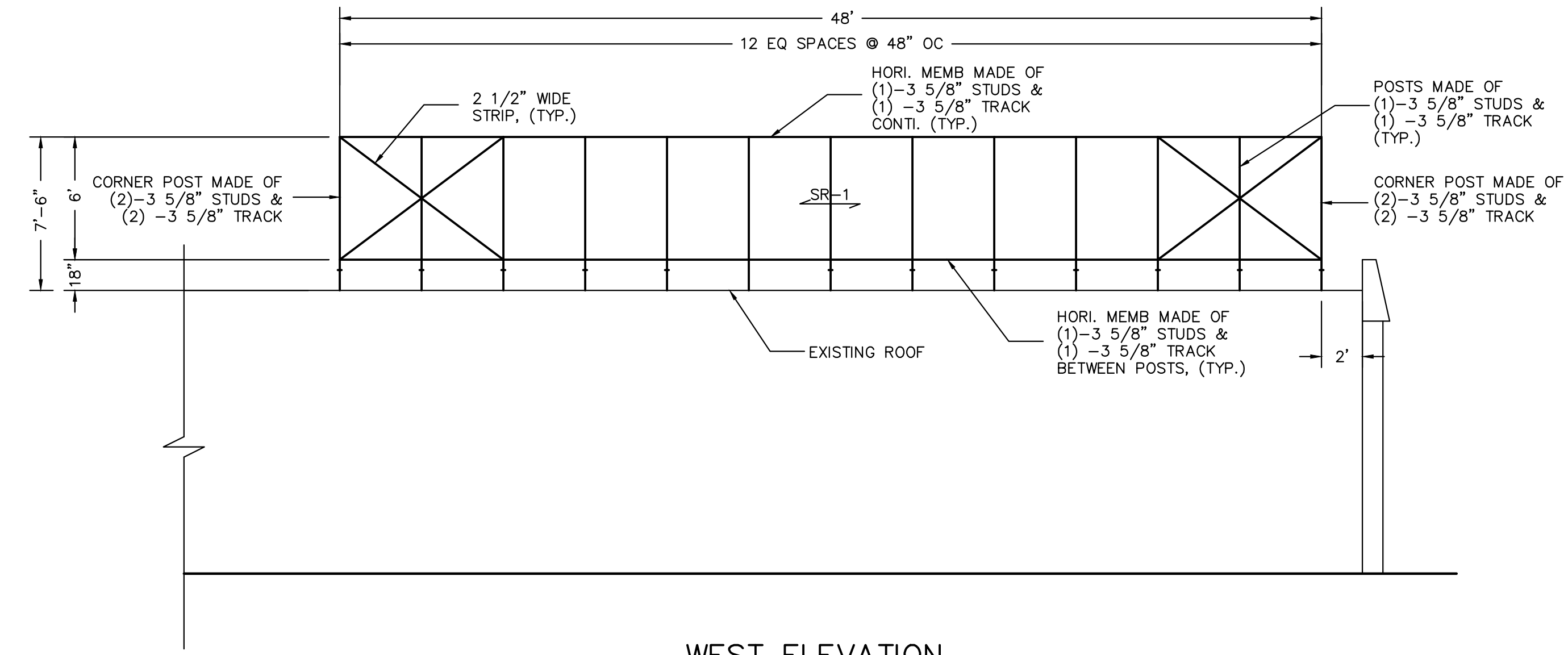
APPROVED

DATE ISSUED FOR

04/27/2026 REVIEW

SHEET

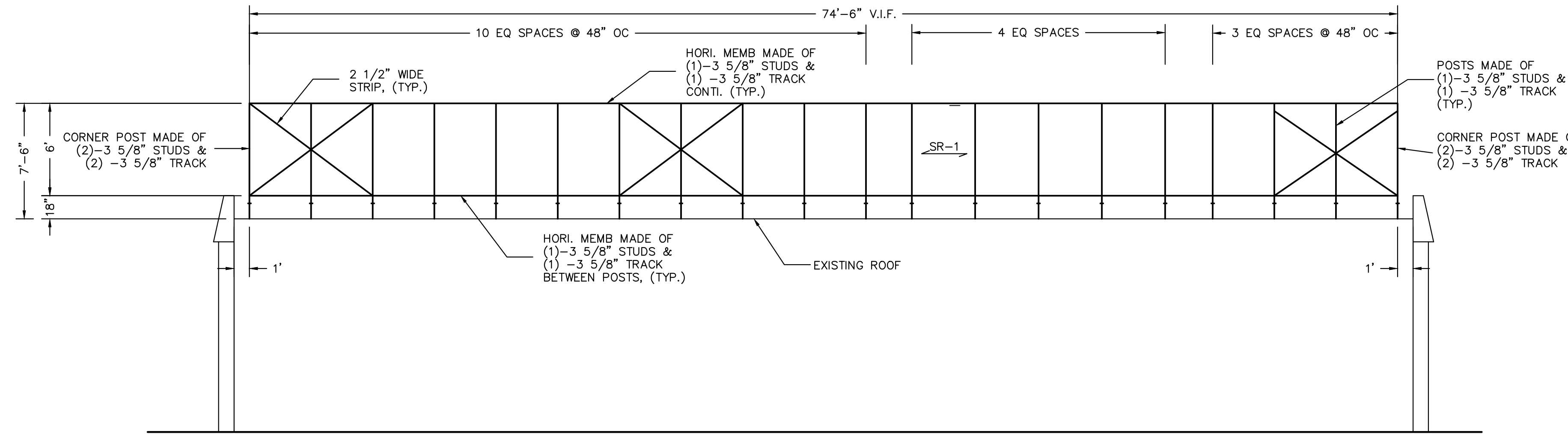
A.4



WEST ELEVATION
SCALE: 3/16"=1'-0"

SR-1
SCREEN WALL PANELS, SPAN
HORIZONTALLY

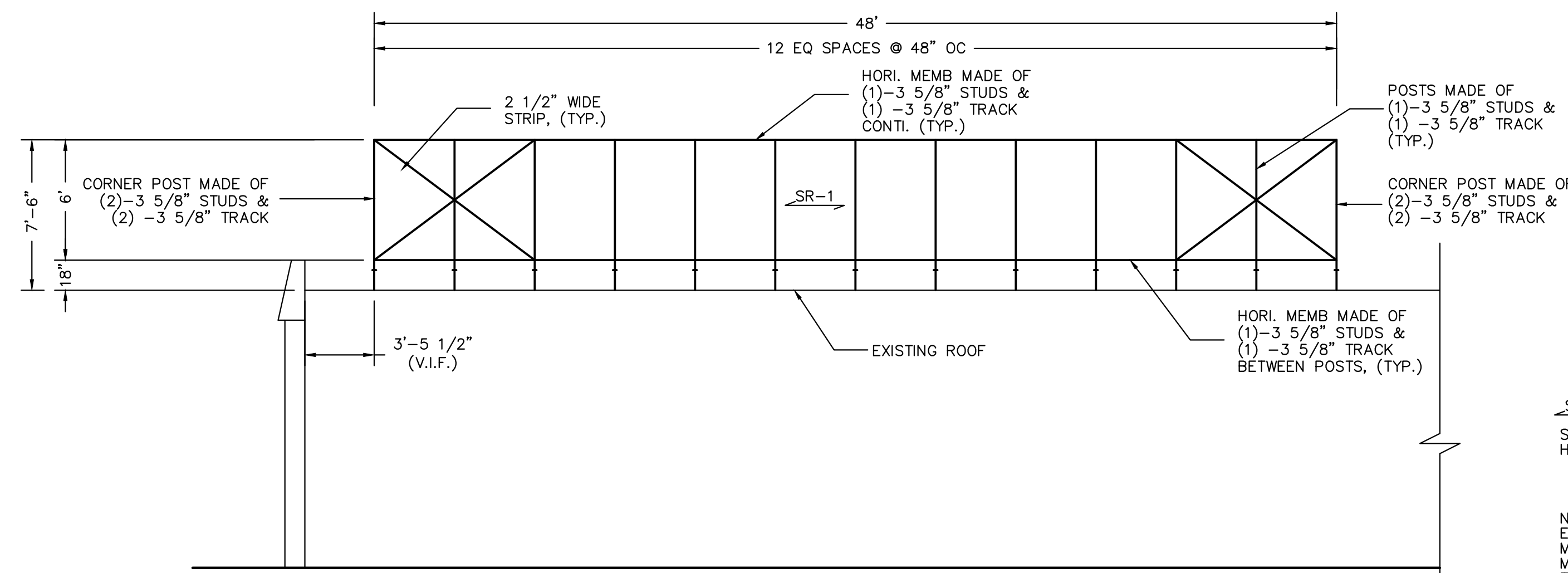
NOTE:
EQUIVALENT TUBULAR MEMBERS
MAY BE USED IN LIEU OF MEMBERS
MADE OF METAL STUDS
TYP.



SOUTH ELEVATION
SCALE: 3/16"=1'-0"

SR-1
SCREEN WALL PANELS, SPAN
HORIZONTALLY

NOTE:
EQUIVALENT TUBULAR MEMBERS
MAY BE USED IN LIEU OF MEMBERS
MADE OF METAL STUDS
TYP.



EAST ELEVATION
SCALE: 3/16"=1'-0"

SR-1
SCREEN WALL PANELS, SPAN
HORIZONTALLY

NOTE:
EQUIVALENT TUBULAR MEMBERS
MAY BE USED IN LIEU OF MEMBERS
MADE OF METAL STUDS
TYP.

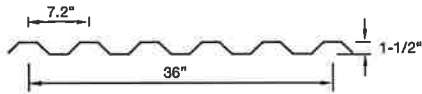
7.2 PANEL

MATERIALS

.032 aluminum	24 gauge steel
.040 aluminum	22 gauge steel
.050 aluminum	Galvalume Plus

SPECS

36" Wide 1-1/2" High



PRODUCT FEATURES

- ▶ 35-year non-prorated finish warranty
- ▶ Matching screws and rivets
- ▶ Closure strips available
- ▶ Precut short lengths (5'-0" minimum)
(3'-0" on the M-42)
- ▶ Panel lengths up to 30' on steel and
22' on aluminum

MATERIAL

- ▶ 24 gauge steel
- ▶ 22 gauge steel
- ▶ .032 aluminum
- ▶ .040 aluminum
- ▶ .050 aluminum
- ▶ Galvalume Plus available

FLORIDA BUILDING PRODUCT APPROVALS

Please refer to pac-clad.com or your local factory for specific product approval numbers for exposed fastener panels.



Petersen offers perforation of select PAC-CLAD aluminum wall panels and flat sheet. Perforated metal can provide a contrasting look with any non-perforated metal to create visual interest on any project. Architects can specify perforated metal to diffuse light, air or sound, or simply for architectural flair. Typical applications include equipment screens, partitions, sign panels,

parking decks, guards, interior acoustical applications and enclosures of any kind.

Perforation is available in a nearly endless combination of hole sizes, spacing and open space percentages to complement virtually any architectural design or need. Perforation options will vary by panel profile and metal thickness; consult factory for details.

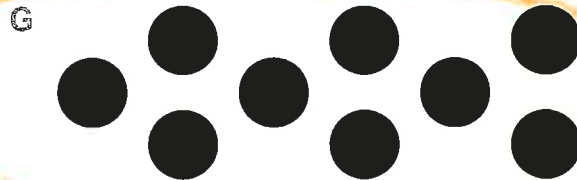
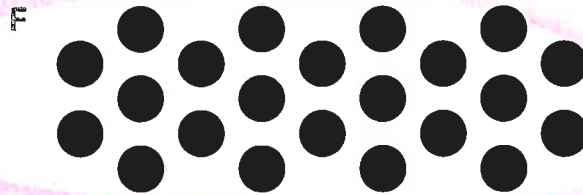
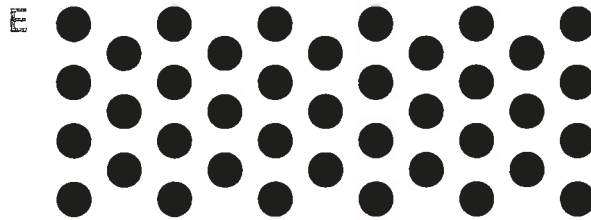
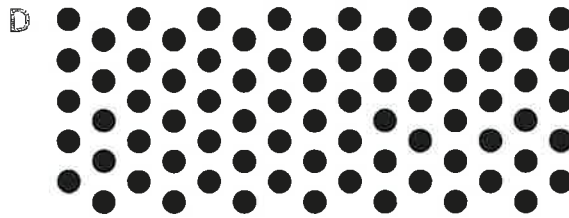
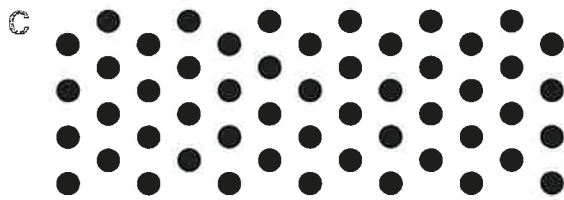
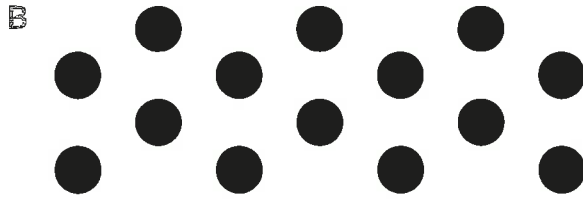
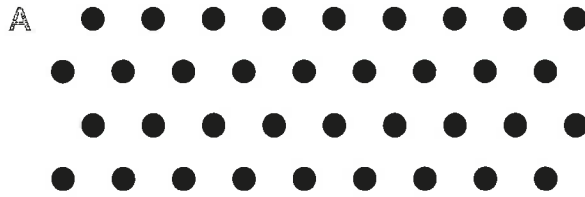
For availability details match the letters next to each image on the center insert with the letters in the chart below.

	PATTERN SPECS				AVAILABLE ROLL-FORMED PANELS							SHEET
	DIAMETER	CENTERS (staggered)	OPEN AREA	FLUSH/ REVEAL	HWP	HIGHLINE	BOX RIB	CORRUGATED	7.2 PANEL	R-36	M-36	
a	1/8" Round	0.324"	13.5%	**	✓	✓	✓	✓	✓	✓	✓	✓
b	1/4" Round	1/2"	23%	**	✓	✓	✓	✓	✓	✓	✓	✓
c	1/8" Round	1/4"	23%	**	✓	✓	✓	✓	✓	✓	✓	✓
d	1/8" Round	7/32"	30%	**	✓	✓	✓	✓	✓	✓	✓	✓
e	3/16" Round	5/16"	33%	**	✓	✓	✓	✓	✓	✓	✓	✓
f	1/4" Round	3/8"	40%	**	✓	✓	✓	✓	✓	✓	✓	✓
g	3/8" Round	9/16"	40%	**	✓	✓	✓	✓	✓	✓	✓	✓

✓ Available in .032, .040 and .050 roll-formed products | ** Available in .032 and .040 roll-formed products

Consult local factory for additional pattern options not shown on the above chart.

Notes: □ Extra charges are applied for perforation □ Steel will not be perforated □ Limitations might apply for certain perforation specs; check with Petersen facility for details and options.



1/4 round
3/8 stagger 40%
SAMPLE

3/8 round
9/16 stagger 40%

Proposed Panel



Attention: City of Novi Community Development Department
Subject: Narrative Regarding Revisions to Building Facade

On November 20, 2025, an exterior painting project was completed at 42050 Grand River Ave., Novi, MI 48375. The building's existing exterior colors, left by the previous tenant, Wasabi Restaurant, consisted primarily of a Wasabi-green color scheme that had become visually unappealing over time. In addition, the existing paint had begun peeling and showing signs of significant wear.

To improve the appearance of the building and better align with the surrounding properties along Grand River Avenue, a new brown-toned color palette was selected. This color scheme was chosen because it complements many of the neighboring buildings in the immediate area.

The painting work was performed by Major League Painting, a commercial painting contractor with experience completing similar projects on multiple commercial buildings and who comes highly recommended with a strong portfolio and references.

For the project, a premium exterior product from Sherwin-Williams was used to ensure durability and long-term performance against Michigan's weather conditions. Specifically, Emerald Rain Refresh Exterior Acrylic Latex was applied.

Enclosed please find the product information for the paint used, along with the specific color selections:

- Caraibe – SW 9090
- French Roast – SW 6069

Please let us know if any additional information or documentation is required. Thank you for your time and consideration.



FAÇADE REVIEW



June 3, 2026

City of Novi Planning Department
45175 W. 10 Mile Rd.
Novi, MI 48375-3024

Façade Review Status:

Section 9 Waiver recommended for the use of Asphalt Shingles contingent on adequate RTU screening.

Re: FACADE ORDINANCE
Ichiban Restaurant, JSP25-13,
Façade Region: 1, Zoning District: B-3

Dear Mrs. Bell, Director of Planning

The following Façade Review is based on the drawings by LSA Inc., dated 4/27/26. The existing Asphalt Shingles were installed without prior approval and are inconsistent with the Façade Ordinance. A Section 9 Waiver would be required for the use of Asphalt Shingles. The applicant is proposing the installation of RTU screening in lieu of removal of the Asphalt Shingles.

An in-situ test was performed on 6/3/26. The sample panel used in the test had 1/4” diameter perforations at 3/8” on center (40% open area). The alternate panel proposed (due to availability) has 3/8” perforations spaced 9/16”. This panel has the same 40% open area. Based on the in-situ we believe that neither panel will provide adequate screening. It is recommended that panels with less open area be tested. For example, 3/32” perforations at 3/16” or 1/8” diameter at ¼” on center, both of which have 23% open area. The in-situ test should be repeated for this option. Alternately, solid panels could be used which would negate the need for in-situ testing.

Recommendation – Given the extremely unsightly nature of the RTU’s we believe that screening the RTU’s will improve the overall appearance of the façades more so than replacing the Asphalt Shingles with a compliant material. A Section 9 Waiver for the use of Asphalt Shingles is therefore recommended, contingent upon adequate screening of the RTU’s.

The current paint color on the south façade has been approved. However, the original color remains on some portions of the building. The approved color must be on all façades.

It should be noted that this review is for façade Ordinance compliance only. A building permit will be required prior to beginning work.

Sincerely,
DRN & Architects PC

Douglas R. Necci, AIA

Original, Approx 2007



Current



APPLICANT RESPONSE LETTER



Crown Realty & Management

6044 Rochester Road, Troy, MI 48085
(248) 816-8500
crownrealtymanagement@gmail.com

05/05/2026

City of Novi
Community Development Department
45175 Ten Mile Road
Novi, MI 48375

Subject: Narrative/Letter – Ichiban Roof Façade Modification for 42050 Grand River Ave., Novi, MI 48375

Dear Planning Staff,

On behalf of A&B Far Investments LLC, we are submitting the attached façade modification plans for review and approval by the City of Novi. This letter outlines the scope of the proposed revisions, rationale, and compliance with applicable design standards.

Project Information

- Project Name: Novi Ichiban Façade Modification
- Site Address: 42050 Grand River Ave., Novi, MI 48375
- Parcel Number: 50-22-23-226-023
- Zoning District: B-3

Summary of Proposed Façade Revisions

The proposed modifications are intended to update the aesthetic of the building and improve water drainage, while maintaining harmony with adjacent properties, street monument sign in front of the restaurant and the overall character of the district. In addition, we are proposing the installation of an aluminum perforated screen wall along three sides of the parapet to reduce visibility of rooftop equipment from the public right-of-way and improve the overall aesthetics of the building.

Key faced revisions include:

- **Material Upgrade:** The proposed architectural Polymer Modified Impact-Resistant Shingles are a premium, dimensional product that offers enhanced texture and aesthetic appeal. They are extremely durable, fire-resistant, wind-resistant, and require minimal maintenance than traditional asphalt shingles.

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(Tel) 248-816-8500



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crownrealtymanagement@gmail.com

- **Screen Wall System Benefit:** The proposed perforated metal panel system (1.5" rib height) provides improved structural performance, airflow, and durability. The Kynar 500 finish ensures long-term color retention, corrosion resistance, and weather protection.
- **Architectural Integrity:** The overall design and proportions of the building will remain consistent. The proposed shingles are color-matched to the building's existing palette, and the perforated screen panels will be finished in colors that are harmonious with the building's façade materials. These improvements will enhance the overall aesthetics while also providing acoustic and ventilation benefits.

Code and Design Compliance

The proposed design modifications conform to the City of Novi Façade Ordinance, including but not limited to:

- Material percentage requirements (Less than 20% of allowed 25% coverage)
- Consistent architectural treatment on all visible elevations
- Preservation of existing architectural rhythm and scale

Conclusion

We believe this roof replacement and screen wall installation are essential not only for functional building performance but also for long-term aesthetic value and safety. These revisions allows for a visually appropriate, high-quality solution while preserving the architectural character of the structure.

We respectfully request your review and approval of the enclosed façade modification plans. Please do not hesitate to contact us with any questions or to request additional information.

Thank you for your consideration.

Supporting Documents

- . Façade Elevation Drawings showing existing and proposed roof design (Previously submitted)
- . Façade percentage calculations (Previously submitted)

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- . Shingle material color samples - Max Def Pewter Polymer Modified Impact-Resistant Shingles (Previously submitted)

- . Elevation drawings and renderings showing screen wall design

- . Screen wall material specifications and paint color samples - Mega rib / 7.2 panel; 36" coverage X 7.2" repeating pattern X 1 1/2" depth; perforated panel 0.04" Mansard Brown Color Clad aluminum; Profile G - 3/8" on 9/16" Stg; 40% O/A (Material sample showing profile F - 1/4" on 3/8" Stg; 40% O/A - **for reference only**)

- . Site photos showing previous roof conditions.

- . Exterior painting façade review form and paint samples – Caraibe (SW 9090) and French Roast (SW 6069)

Sincerely,

Grant Chen

Grant Chen
Property Manager
Crown Realty & Management



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Elevation drawings showing existing, proposed roof design, and Façade percentage calculations

<p>EXISTING ELEVATION FOR SIGNAL BUILDING AREA 277 SF 2020 ELEVATION PROPOSED WITH 1.5% ROOF 2020 ELEVATION PROPOSED WITH 1.5% ROOF</p>	<p>EXISTING CONDITION PHOTO - 2020 ELEVATION</p>
<p>EXISTING ELEVATION FOR SIGNAL BUILDING AREA 277 SF 2020 ELEVATION PROPOSED WITH 1.5% ROOF 2020 ELEVATION PROPOSED WITH 1.5% ROOF</p>	<p>EXISTING CONDITION PHOTO - 2020 ELEVATION</p>
<p>EXISTING ELEVATION FOR SIGNAL BUILDING AREA 277 SF 2020 ELEVATION PROPOSED WITH 1.5% ROOF 2020 ELEVATION PROPOSED WITH 1.5% ROOF</p>	<p>EXISTING CONDITION PHOTO - 2020 ELEVATION</p>

GENERAL NOTES

1. ALL DIMENSIONS ARE FIELD UNLESS OTHERWISE NOTED.

NO.	DESCRIPTION	DATE
1	FOR CONSTRUCTION	12/15/2020
2	FOR REVIEW	12/15/2020
3	FOR REVIEW	12/15/2020

PROJECT OWNER:
 AAB FAR INVESTMENTS, LLC

PROJECT ADDRESS:
 42050 GRAND RIVER AVE
 NOVI, MI 48375

PROJECT NAME:
 NOVA ICHIBAN SECTION 9 FAÇADE WAIVER

8044 ROCHESTER ROAD, TROY, MI 48085
 PHONE: 248-816-8500

ARCHITECT:
 MAJID WEH
 ARCHITECT
 13207 HWY 10
 TROY, MI 48068

GENERAL ELEVATIONS
 SHEET NO. 001
 DESIGNED BY: MAJID WEH
 CHECKED BY: SEAN WEH
 DRAWN BY: SEAN WEH
 DATE: 12/15/2020

AE001
 12/15/2020



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Screen Wall Design Renderings



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(Tel) 248-816-8500



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Screen Wall Paint Color Chip – Mansard Brown



6044 Rochester Road, Troy, MI 48085
(Tel) 248-816-8500



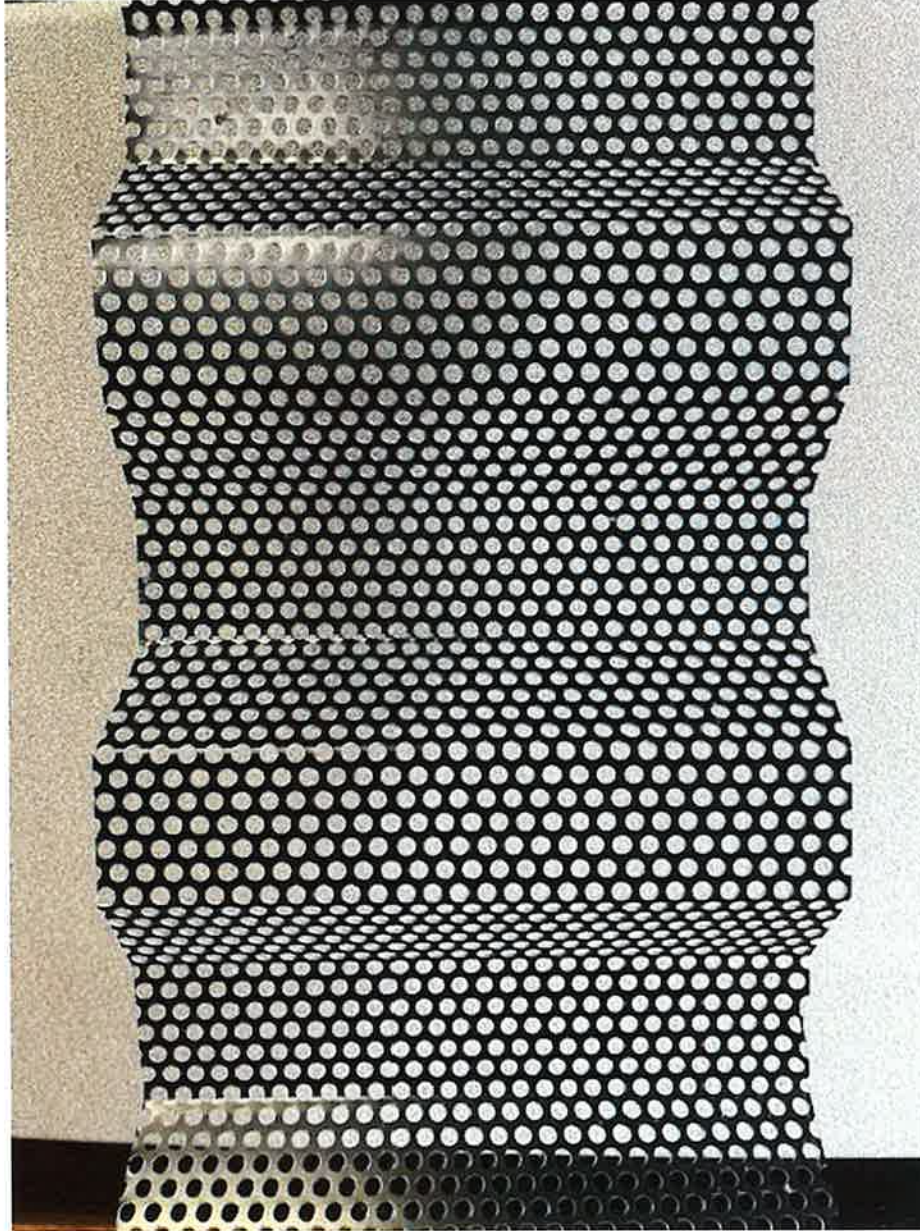
Crown Realty & Management

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Screen Wall Panel Material Sample – Profile F - For Reference Only



Proposed Panel: Mega rib / 7.2 panel; 36" coverage X 7.2" repeating pattern X 1 1/2" depth; perforated panel 0.04" Mansard Brown Color Clad aluminum; Profile G - 3/8" on 9/16" Stg; 40% O/A



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Birdseye View of Novi Village Center



Monument sign in front of Ichiban Restaurant



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Deteriorating Cedar Shake Roofing Condition



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Roof leak inside the building

