



COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals **ZONING BOARD APPEALS DATE:** July 12, 2016

REGARDING: 25500 MEADOWBROOK RD, Parcel # 50-22-24-100-001

BY: Larry Butler, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant

Premier MRI/CT

Variance Type

Use Variance

Property Characteristics

Zoning District: I-1 (Light Industrial)
Location: south of 11 Mile Road and west of Meadowbrook Road
Parcel #: 50-22-24-100-001

Request

The applicant is requesting a use variance from the City of Novi Zoning Ordinance Section 3.1.18 to allow placement of a mobile MRI trailer onsite for two days and two nights a week to support a medical facility. The property is zoned I-1.

II. STAFF COMMENTS:

Proposed Changes

The applicant is requesting approval to park a mobile MRI trailer on site for 2 days and 2 nights a week.

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we **grant** the variance in Case No. **PZ16-0026**, sought by _____, for _____ because Petitioner has shown practical difficulty requiring _____.

 - (a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because _____.
 - (b) The property is unique because _____.

(c) Petitioner did not create the condition because _____
_____.

(d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because _____
_____.

(e) The relief is consistent with the spirit and intent of the ordinance because _____
_____.

(f) The variance granted is subject to:

1. _____.
2. _____.
3. _____.
4. _____.

2. I move that we **deny** the variance in Case No. **PZ16-0026**, sought by _____
for _____ because Petitioner has not shown practical difficulty requiring _____.

(a) The circumstances and features of the property including _____ are not unique because they exist generally throughout the City.

(b) The circumstances and features of the property relating to the variance request are self-created because _____
_____.

(c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioner's statements that _____.

(d) The variance would result in interference with the adjacent and surrounding properties by _____.

(e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to _____
_____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Larry Butler
Deputy Director Community Development
City of Novi



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 Novi, MI 48375
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ZONING BOARD OF APPEALS APPLICATION

APPLICATION MUST BE FILLED OUT COMPLETELY

Application Fee: _____

Meeting Date: _____

ZBA Case #: PZ _____

I. PROPERTY INFORMATION (Address of subject ZBA Case)			
PROJECT NAME / SUBDIVISION Meadowbrook Medical Center			
ADDRESS 25500 Meadowbrook Road		LOT/SIUTE/SPACE #	
SIDWELL # 50-22- <u>24</u> - <u>100</u> - <u>001</u>		May be obtain from Assessing Department (248) 347-0485	
CROSS ROADS OF PROPERTY Meadowbrook and Eleven Mile			
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		REQUEST IS FOR: <input type="checkbox"/> RESIDENTIAL <input checked="" type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE	
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
II. APPLICANT INFORMATION			
A. APPLICANT		EMAIL ADDRESS gwood@mhsi.us	CELL PHONE NO. (248) 854-5311
NAME Gary Wood		TELEPHONE NO. (248) 784-3698	
ORGANIZATION/COMPANY Premier MRI/CT		FAX NO.	
ADDRESS 29275 Northwestern Highway, Suite 175	CITY Southfield	STATE MI	ZIP CODE 48034
B. PROPERTY OWNER <input type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER			
Identify the person or organization that owns the subject property:		EMAIL ADDRESS marcus@rsmdevelopment.com	CELL PHONE NO. (248)645-2600
NAME Scott Marcus		TELEPHONE NO. (248) 645-2600	
ORGANIZATION/COMPANY Meadowbrook Medical Building LLC		FAX NO. (248) 644-2801	
ADDRESS P.O. Box 2079	CITY Birmingham	STATE MI	ZIP CODE 48012
III. ZONING INFORMATION			
A. ZONING DISTRICT			
<input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input checked="" type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____			
B. VARIANCE REQUESTED			
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:			
1. Section <u>3.1.18.C</u> Variance requested <u>Mobile MRI trailer on site for 2 days & 2 nights per week</u>			
2. Section _____ Variance requested _____			
3. Section _____ Variance requested _____			
4. Section _____ Variance requested _____			
IV. FEES AND DRAWINGS			
A. FEES			
<input type="checkbox"/> Single Family Residential (Existing) \$200 <input type="checkbox"/> (With Violation) \$250 <input type="checkbox"/> Single Family Residential (New) \$250 <input checked="" type="checkbox"/> Multiple/Commercial/Industrial \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> Signs \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> House Moves \$300 <input type="checkbox"/> Special Meetings (At discretion of Board) \$600			
B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF			
<ul style="list-style-type: none"> • Dimensioned Drawings and Plans • Site/Plot Plan • Existing or proposed buildings or addition on the property • Number & location of all on-site parking, if applicable • Existing & proposed distance to adjacent property lines • Location of existing & proposed signs, if applicable • Floor plans & elevations • Any other information relevant to the Variance application 			



ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

DIMENSIONAL USE SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING ADDITION TO EXISTING HOME/BUILDING SIGNAGE

ACCESSORY BUILDING USE OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

Applicant Signature

May 24, 2016
Date

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

Property Owner Signature

5-26-16
Date

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

GRANTED

DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

Chairperson, Zoning Board of Appeals

Date



Community Development Department

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

REVIEW STANDARDS USE VARIANCE

For Use Variances: A use variance may be granted by the Zoning Board of Appeals only in cases where the applicant demonstrates in the official record of the public hearing that undue hardship exists by showing all of the following:

In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards.

Standard #1. Cannot Be Reasonably Used.

Explain how the land, building or structure cannot be reasonably used for any of the uses permitted by right or by special land use permit in the zoning district in which it is located.

Although the Medical Office Building located on the property is a permitted use, the tenant would not be able to offer their full range of diagnostic services without the addition of the mobile MRI unit. The physicians associated with the Premier MRI/CT practice would be limited by the lack of the MRI if the variance is not approved.

Standard #2. Circumstances or Physical Conditions.

Explain how the need for the requested variance is due to unique circumstances or physical conditions of the property involved, such as narrowness, shallowness, shape, water, topography, or similar physical conditions and is not due to the applicant's personal or economic hardship.

The unique circumstance in this case is a medical office practice which centers around diagnostic imaging, offering MRI, MRA, CT, and X-ray imaging in locations convenient to their patient population.

Standard #3. Character of the Neighborhood.

Explain how the proposed use will not alter the essential character of the neighborhood.

As the property is located in an I-1 Light Industrial zone, Medical Office is a permitted use which supports the existing character of the neighborhood. The proposed MRI portal, approximately 11' x 20', is designed to match the existing office building, using the same brick façade materials and patterns, as well as the same standing seam metal canopy roof profile and materials. When the MRI unit is not on location, the portal will appear as a small extension of the existing building. When the MRI Unit is on location (two days per week) it will appear that a semi-trailer is parked next to the building.

Standard #4. Not Self-Created.

Explain how the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

No actions have been taken by the current or previous property owner to create the need for this variance. It is noted that the previous property owner anticipated that a mobile diagnostic unit would eventually be installed, and constructed a concrete pad on the north side of the building for that use. However, it's been determined that the currently proposed location on the west side of the building would allow for a more compact and less obtrusive design for the portal.

City of Novi Zoning Ordinance Section 7.10.5

The City of Novi Zoning Ordinance does not currently address the use of mobile diagnostic units in conjunction with medical office facilities, therefore we are requesting a variance based on the following information.

For Use Variances: A use variance may be granted by the ZBA only in cases where the applicant demonstrates in the official record of the public hearing that undue hardship exists by showing all of the following:

1. The property cannot be reasonably used for any of the uses permitted by right or by special land use permit in the zoning district in which it is located.
Response: Although the Medical Office Building located on the property is a permitted use, the tenant would not be able to offer their full range of diagnostic services without the addition of the mobile MRI unit. The physicians associated with the Premier MRI/CT practice would be limited by the lack of the MRI if the variance is not approved.
2. The need for the requested variance is due to unique circumstances or physical conditions of the property involved, such as narrowness, shallowness, shape, water, topography, or similar physical conditions and is not due to the applicant's personal or economic hardship.
Response: The unique circumstance in this case is a medical office practice which centers around diagnostic imaging, offering MRI, MRA, CT, and X-ray imaging in locations convenient to their patient population.
3. The proposed use will not alter the essential character of the neighborhood.
Response: As the property is located in an I-1 Light Industrial zone, Medical Office is a permitted use which supports the existing character of the neighborhood. The proposed MRI portal, approximately 11' x 20', is designed to match the existing office building, using the same brick façade materials and patterns, as well as the same standing seam metal canopy roof profile and materials. When the MRI unit is not on location, the portal will appear as a small extension of the existing building. When the MRI Unit is on location (two days per week) it will appear that a semi-trailer is parked next to the building.
4. The need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).
Response: No actions have been taken by the current or previous property owner to create the need for this variance. It is noted that the previous property owner anticipated that a mobile diagnostic unit would eventually be installed, and constructed a concrete pad on the north side of the building for that use. However, it's been determined that the currently proposed location on the west side of the building would allow for a more compact and less obtrusive design for the portal.

Other helpful information: Photographs or maps that show how other properties in the area enjoy the same type of property rights related to the Variance.

We understand that in 2013, a similar variance was granted for the use of a mobile MRI unit two days per week at Holly Hill Medical Center 39595 Ten Mile Road. In addition, the unit that we are proposing to relocate to the Meadowbrook Medical Center received a similar variance and is currently in use two days per week at the Keystone Medical Center, 46325 West Twelve Mile Road.

Photo of the MRI Unit at its current location

This photo shows the existing signage on the face of the unit. No additional exterior signs will be included.



Photo of the west entrance, Meadowbrook Medical Center (subject property)



The proposed MRI portal will match the existing brick façade and metal canopy roof shown above.



Premier MRI/CT

Mobile MRI Relocation

Meadowbrook Medical Center

25500 Meadowbrook Road, Novi, MI 48375



A3C Collaborative Architecture
Architect -- Project Number: 16018
115 1/2 East Liberty St.
Ann Arbor, MI 48104
734.663.1910

CONSULTANT
LOGO

Ruby + Associates
Structural Engineers
30300 Telegraph Road
Bingham Farms, MI 48025
248.865.8855



PEA - Professional Engineering Associates
Civil Engineering
2900 East Grand River Ave.
Howell, MI 48843
517.546.8583



PBA - Peter Basso Associates, Inc.
Mechanical/ Electrical Engineering
5145 Livernois Rd. Suite 100
Troy, MI 48098
248.879.5666

SYMBOLS LEGEND NO SCALE REF'D FROM: NA 14

PLAN LETTER/ DETAIL NUMBER
DRAWING/ DETAIL NUMBER AND DIRECTION
SHEET NUMBER WHERE DRAWN

ELEVATION LETTERS AND DIRECTION
DRAWING/ DETAIL NUMBER
SHEET NUMBER WHERE DRAWN

ELEVATION LETTER
ELEVATION TITLE
DRAWING/ DETAIL NUMBER
SHEET NUMBER WHERE REFERENCED FROM (TS DESIGNATES REFERENCE FROM THIS SHEET)
DRAWING SCALE
DRAWING TITLE

VICINITY MAP NO SCALE REF'D FROM: NA 10

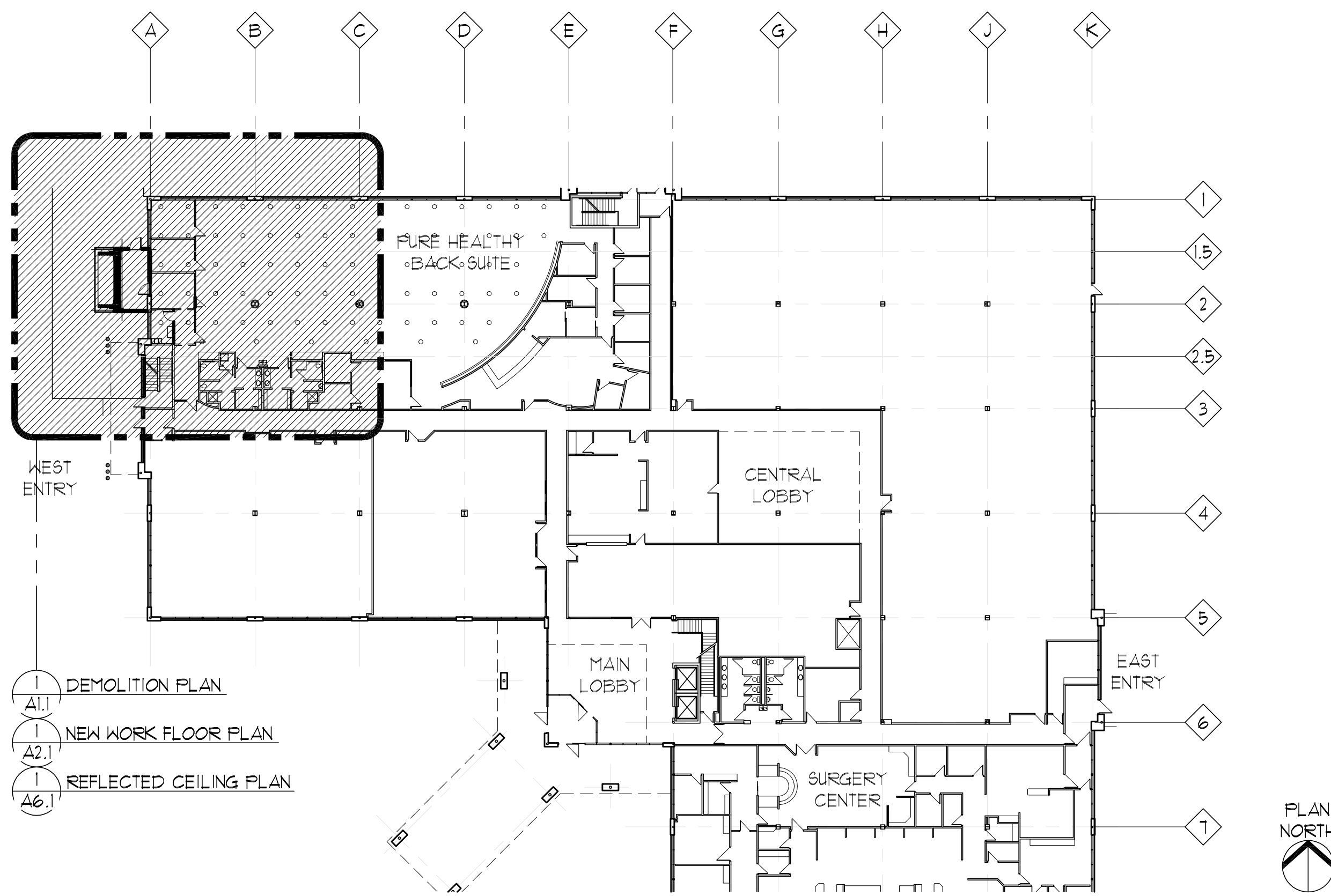
CODE SUMMARY NO SCALE REF'D FROM: TS 2

APPLICABLE CODE:	MICHIGAN BLDG CODE, 2012	SECTION
ZONING CLASS:	CITY OF NOVI - I-1	ZONING
SITE AREA:	TOTAL ACRES = 12.59	--
PROJECT DESCRIPTION:	ONE ROOM ADDITION	--
BLDG USE:	MEDICAL OFFICE	--
USE GROUPS:	B	302
MIXD. USE SEPARATION:	N.A.	508
CONSTRUCTION TYPE:	II-B	602
FIRE RESISTIVE CONSTRUCTION	STRUCTURAL FRAME:	0 HR T 601
	EXT BEARING WALLS:	0 HR T 601
	INT BEARING WALLS:	0 HR T 601
(NOT LESS THAN FIRE RESISTANCE OF WALL ASSEMBLY REQUIRED)	EXT NON-BRG WALLS:	0 HR T 601
	INTR NON-BRG WALLS:	0 HR T 601
	FLOOR CONSTRUCTION:	0 HR T 601
	ROOF CONSTRUCTION:	0 HR T 601
	EXIT ACCESS CORRIDORS:	0 HR 101.1
AUTOMATIC SPRINKLER SYSTEM:	--	903.2
PORTABLE FIRE EXTINGUISHERS:	--	906
FIRE ALARM AND DETECTION SYSTEM:	--	907.2
OCCUPANT LOAD	MRI PORTAL (B)	2 1004

DRAWING INDEX KEY: ISSUED FOR: 06.01.16 Prelim Site Plan Review

ISSUED FOR REFERENCE ONLY ○
ISSUED FOR REVIEW ●
ISSUED FOR BID/PERMIT ●

SHT. #	SHEET NAME	ISSUED FOR
GENERAL		
G.01	KEY PLAN, DWG INDEX, & PROJ. DIRECTORY	●
CIVIL		
C1.1	TOPOGRAPHIC SURVEY	●
C2.1	OVERALL SITE PLAN	●
C3.1	SITE PLAN	●
C4.1	GRADING PLAN	●
STRUCTURAL		
ARCHITECTURAL		
A1.1	DEMOLITION PLAN & NOTES	●
A2.1	NEW WORK FLOOR PLAN & NOTES	●
A3.1	SECTIONS & ELEVATIONS	●
PLUMBING		
MECHANICAL		
ELECTRICAL		



- 1 A1.1 DEMOLITION PLAN
- 1 A2.1 NEW WORK FLOOR PLAN
- 1 A6.1 REFLECTED CEILING PLAN

KEY PLAN: MEADOWBROOK MEDICAL CENTER NO SCALE REF'D FROM: TS 3

NOT FOR CONSTRUCTION

PROJECT NUMBER 16018

ISSUE

Prelim Site Plan Review 06.01.16

DRN: LBS CHK'D: BKW

Premier MRI/CT
Meadowbrook Medical Center
Mobile MRI Relocation

KEY PLAN, DRAWING INDEX, & PROJECT DIRECTORY

A3C Collaborative Architecture

115 1/2 East Liberty St.
Ann Arbor, MI 48104
734.663.1910 T
866.732.2168 F
www.a3c.com

COLLABORATIVE ARCHITECTURE

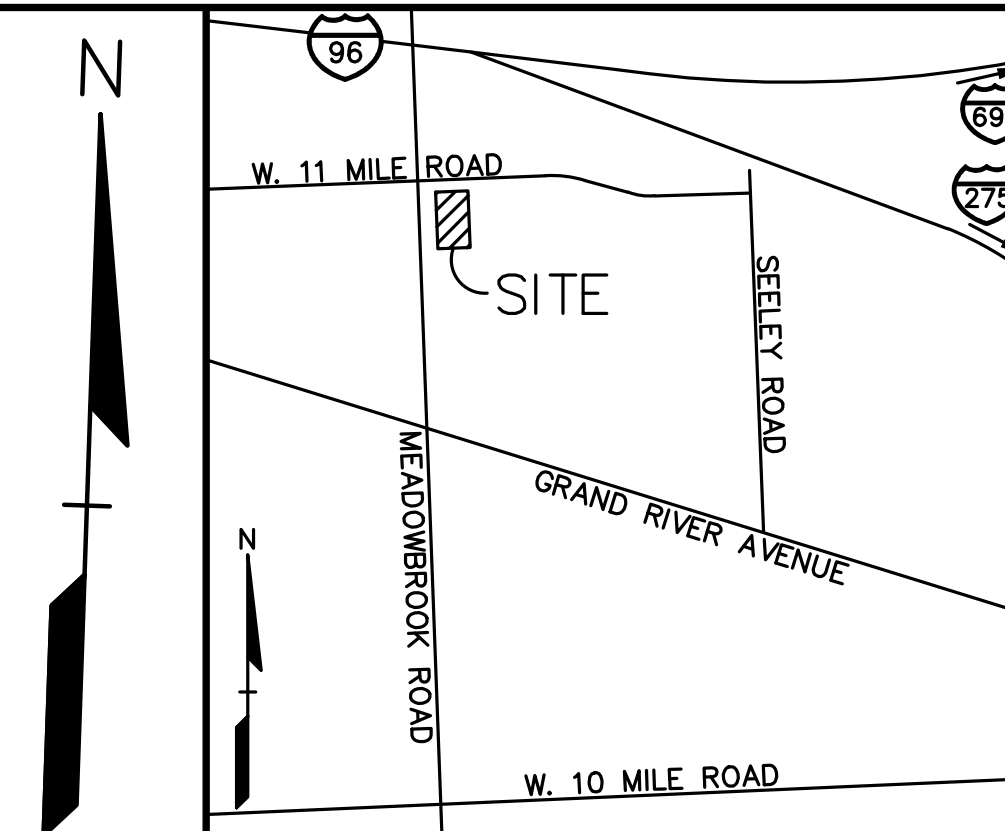
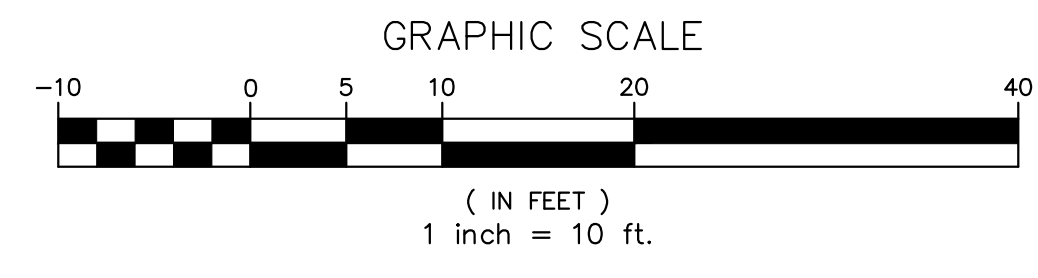
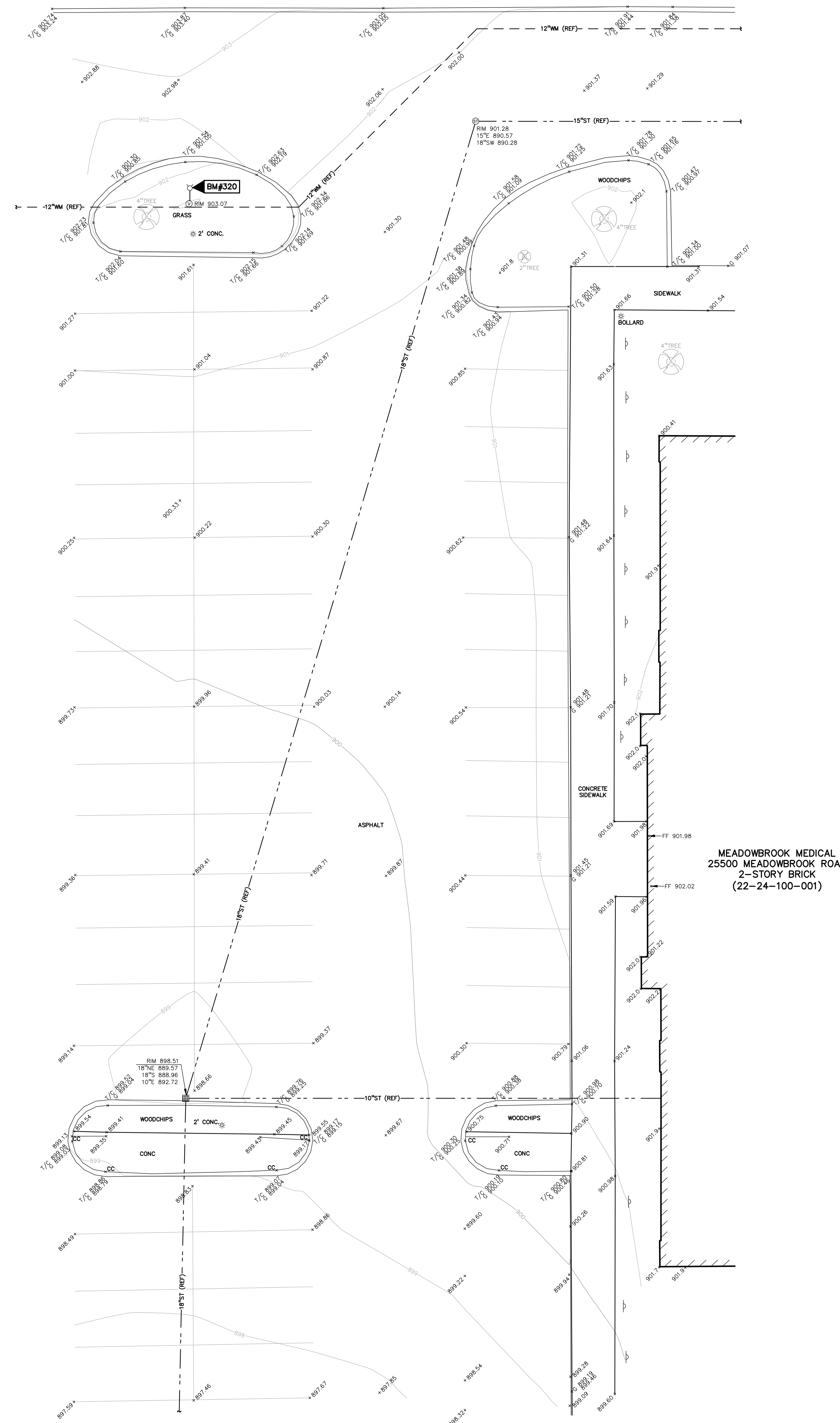
SHEET **G.01**

E:\16018 Premier Mobile MRI Relocation\Sheets\16018-G.01 Key Plan, Drawing Index, Directory & Notes.dwg, 05.31.16 03:53 PM

BENCHMARKS
 (CITY OF NOVI DATUM PER REF ATWELL HICKS, INC. ALTA/ASCM LAND TITLE AND TOPOGRAPHIC SURVEY, JOB 100911.30, DATED 2-24-04)
 REF BM#12
 NORTH RIM OF MONUMENT BOX AT CENTERLINE OF 11 MILE RD & MEADOWBROOK RD, ALSO KNOWN AS THE NORTHWEST CORNER OF SECTION 24, T.1N., R.8E.
 ELEV. - 889.82
 BM #320
 ARROW ON A HYDRANT LOCATED IN AN ISLAND 85'± NORTHWEST OF THE NORTHWEST BUILDING CORNER AND 7'± NORTH OF LIGHT POLE.
 ELEV. - 905.31

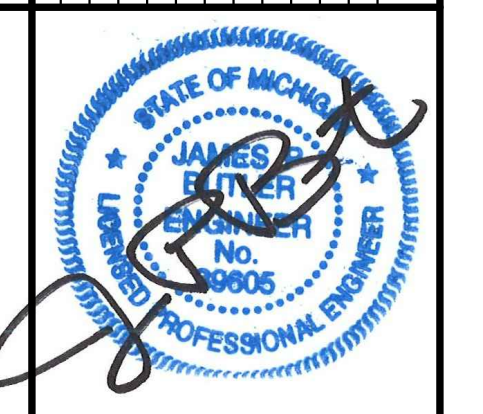
FLOODPLAIN NOTE:
 BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X', AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C0827, DATED SEPTEMBER 28, 2006.

WETLAND NOTE:
 THERE ARE NO REGULATED WETLANDS LOCATED ON-SITE.



- LEGEND**
- | | | |
|------------------|------------------|---------------------|
| ● IRON FOUND | ⊗ BRASS PLUG SET | ⊕ SEC. CORNER FOUND |
| ⊗ IRON SET | ⊗ MONUMENT FOUND | ⊕ RECORDED |
| ⊗ NAIL FOUND | ⊗ MONUMENT SET | ⊕ MEASURED |
| ⊗ NAIL & CAP SET | | ⊕ CALCULATED |
- EXISTING**
- OH-ELEC-W-V- C ELEC. PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE
 - UG-CATV- C UNDERGROUND CABLE TV, CATV PEDESTAL
 - UG-PHONE- C TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
 - UG-ELEC- C ELEC. U.G. CABLE, MANHOLE, METER & HANDHOLE
 - GAS- C GAS MAIN, VALVE & GAS LINE MARKER
 - WATER- C WATERMAIN, HYD. GATE VALVE, TAPPING SLEEVE & VALVE
 - SEWER- C SANITARY SEWER, CLEANOUT & MANHOLE
 - STORM- C STORM SEWER, CLEANOUT & MANHOLE
 - COMB- C COMBINED SEWER & MANHOLE
 - SQUARE- C SQUARE, ROAD & RESERVE CATCH BASIN
 - POST- C POST INDICATOR VALVE
 - WATER- C WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF
 - MBOX- C MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
 - UNIDENT- C UNIDENTIFIED STRUCTURE
 - SPOT- C SPOT ELEVATION
 - CONTOUR- C CONTOUR LINE
 - FENCE- C FENCE
 - RAIL- C GUARD RAIL
 - STREET- C STREET LIGHT
 - SIGN- C SIGN
 - CONC- C CONCRETE
 - ASPH- C ASPHALT
 - GRAVEL- C GRAVEL SHOULDER

No.	BY	DATE	DESCRIPTION



CAUTION!!
 THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUDED BY RESPONSIBILITY FOR DETERMINING THE EXACT UTILITIES LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.
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 1-800-482-7171 www.missdig.net



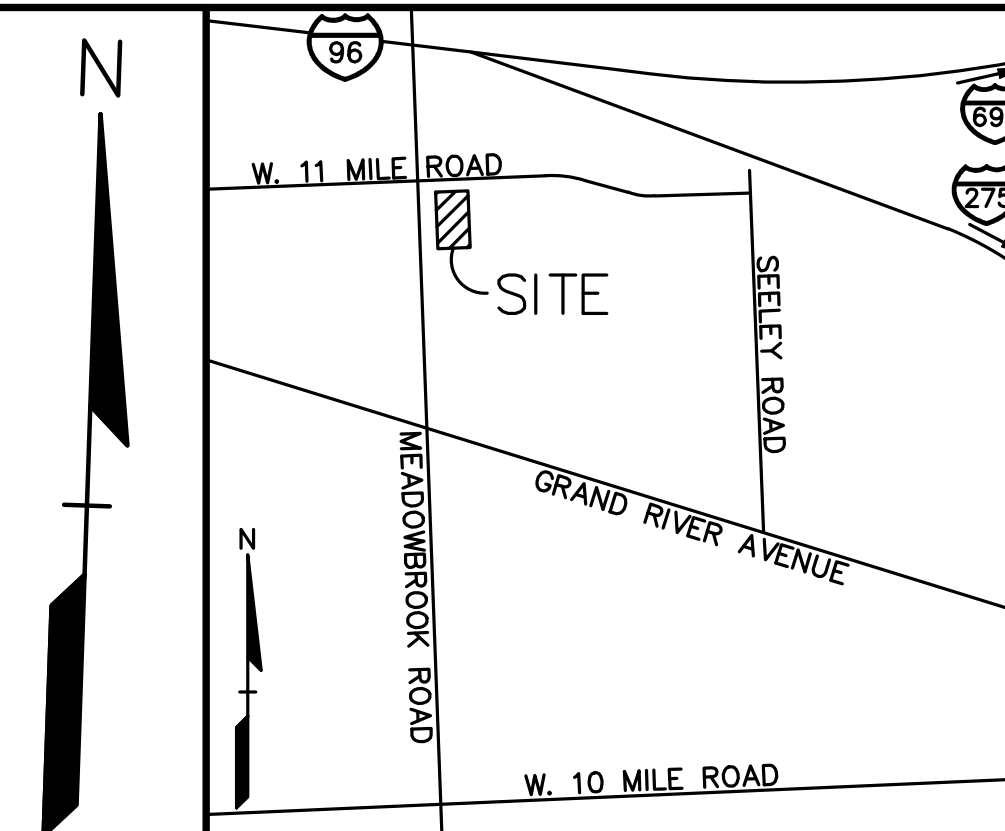
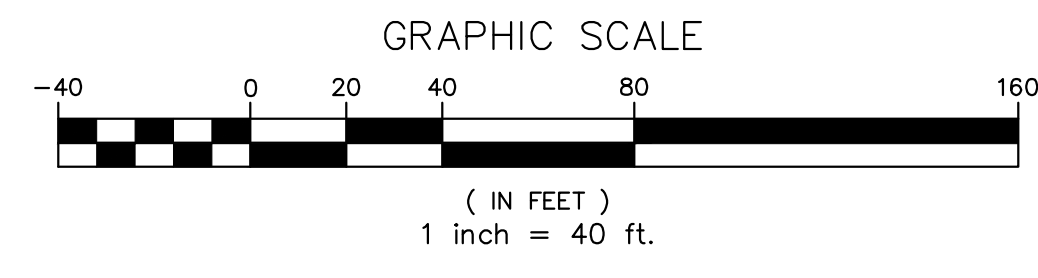
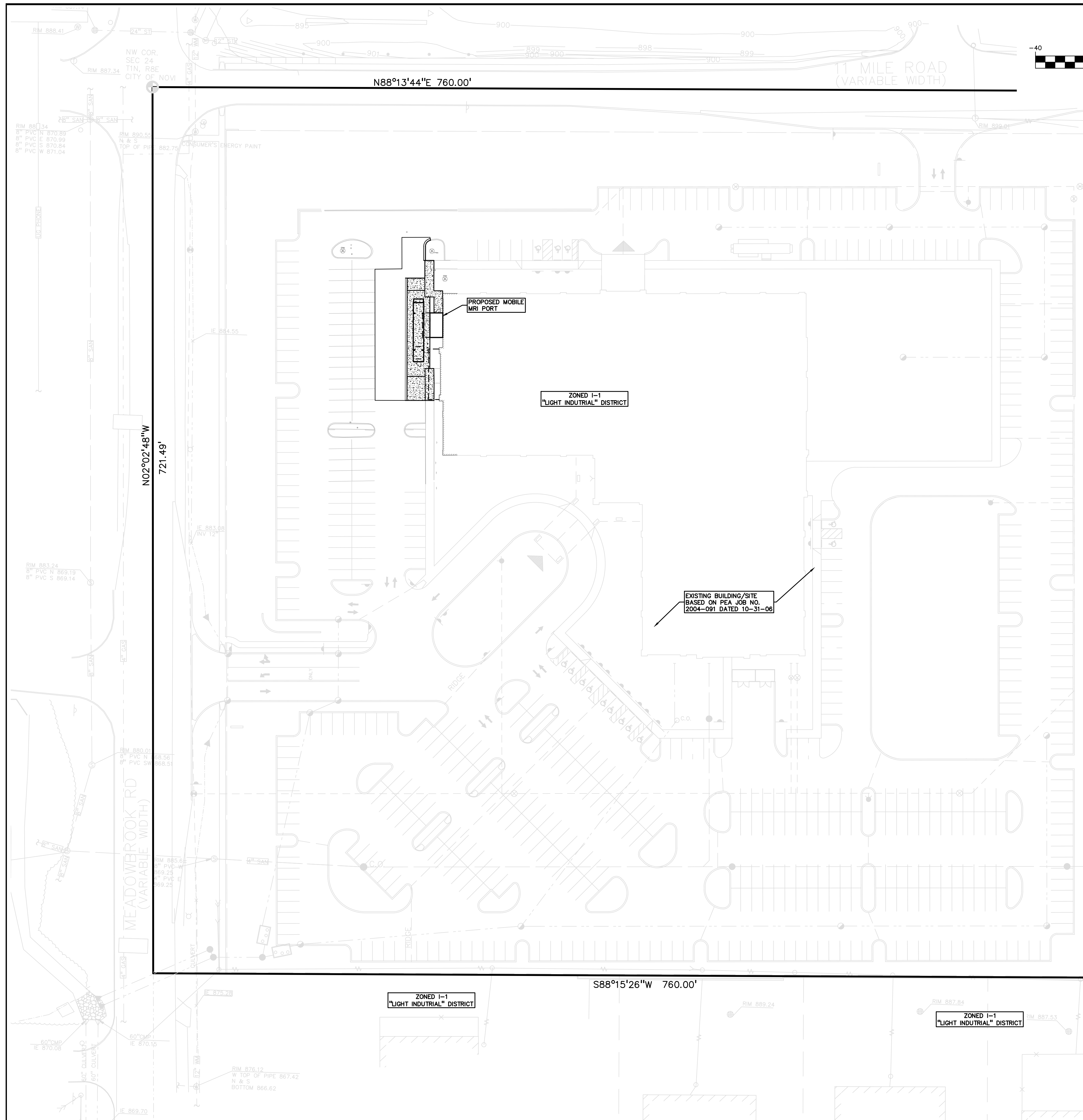
PEA, Inc.
 2430 Rochester Ct. Ste 100
 Troy, MI 48063-1872
 t: 248.689.9090
 f: 248.689.1044
 www.peainc.com

A3C COLLABORATIVE ARCHITECTURE		TOPOGRAPHIC SURVEY	
15 1/2 EAST LIBERTY ANN ARBOR, MICHIGAN 48104		MMC MRI	
PART OF THE NORTHWEST 1/4 OF SECTION 24, T.1N., R.8E CITY OF NOVI, OAKLAND COUNTY, MICHIGAN		DES. KK DN. CMP. SUR. JW P.M. JPB	
ORIGINAL ISSUE DATE: JUNE 1, 2016		PEA JOB NO. 2016-118	
SCALE: 1" = 10'		DRAWING NUMBER: C-1.1	

NOT FOR CONSTRUCTION

NOTE:
 SEE SHEET C-2.1 FOR PARCEL BOUNDARIES

XREF: S:\PROJECTS\2016\2016118\DWG\16118-TOPOBASE.DWG
 XREF: S:\PROJECTS\2016\2016118\DWG\CONSTRUCTION-V-845E-16118.DWG
 XREF: S:\PROJECTS\2016\2016118\DWG\CONSTRUCTION-V-181X-16118.DWG



LEGEND

● IRON FOUND	⊗ BRASS PLUG SET	⊕ SEC. CORNER FOUND
⊗ NAIL FOUND	⊗ MONUMENT SET	⊕ RECORDED
⊗ NAIL & CAP SET		⊕ MEASURED
		⊕ CALCULATED

—OH—ELEC—V—O—	ELEC. PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE	—A—A—	ASPH.	ASPH.	ASPH.
—UG—CATV—	UNDERGROUND CABLE TV, CATV PEDESTAL	—S—S—	CONC.	CONC.	CONC.
—UG—PHONE—	TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE	—G—G—	GRAVEL	GRAVEL	GRAVEL
—UG—ELEC—	ELECTRIC U.G. CABLE, MANHOLE, METER & MANHOLE	—S—S—	GRAVEL SHOULDER	GRAVEL SHOULDER	GRAVEL SHOULDER
—G—G—	GAS MAIN, VALVE & GAS LINE MARKER				
—W—W—	WATERMAIN, HYD. GATE VALVE, TAPPING SLEEVE & VALVE				
—S—S—	SANITARY SEWER, CLEANOUT & MANHOLE				
—S—S—	STORM SEWER, CLEANOUT & MANHOLE				
—S—S—	COMBINED SEWER & MANHOLE				
—S—S—	SQUARE, ROUND & BOWNE CATCH BASIN				
—S—S—	POST INDICATOR VALVE				
—S—S—	WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF				
—S—S—	MALBOX, TRANSFORMER, IRRIGATION CONTROL VALVE				
—S—S—	UNIDENTIFIED STRUCTURE				
—S—S—	SPOT ELEVATION				
—S—S—	CONTOUR LINE				
—S—S—	FINKE				
—S—S—	GUARD RAIL				
—S—S—	STREET LIGHT				
—S—S—	SIGN				
—S—S—	CONCRETE				
—S—S—	ASPHALT				
—S—S—	GRAVEL				
—S—S—	GRAVEL SHOULDER				

ZONED I-1
"LIGHT INDUSTRIAL" DISTRICT

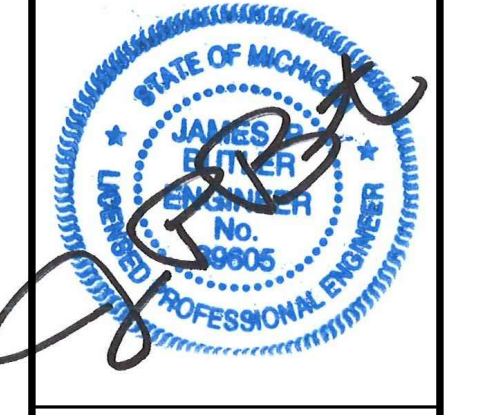
ZONED I-1
"LIGHT INDUSTRIAL" DISTRICT

LEGAL DESCRIPTION

LEGAL DESCRIPTION (PER ATWELL HICKS, INC. ALTA/ASCM LAND TITLE AND TOPOGRAPHIC SURVEY, JOB 100911.30, DATED 2-24-04)
 LAND IN THE CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS:
 PART OF THE NORTHWEST 1/4 OF SECTION 24, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS:
 BEGINNING AT THE NORTHWEST SECTION CORNER, THENCE ALONG SECTION LINE SOUTH 00 DEGREES 17 MINUTES 40 SECONDS EAST 721.49 FEET; THENCE SOUTH 89 DEGREES 59 MINUTES 00 SECONDS EAST 760.00 FEET; THENCE NORTH 00 DEGREES 17 MINUTES 40 SECONDS WEST 721.49 FEET TO SECTION LINE; THENCE ALONG SECTION LINE NORTH 89 DEGREES 59 MINUTES 00 SECONDS WEST 760.00 FEET TO THE POINT OF BEGINNING.
 ALSO DESCRIBED AS:
 BEGINNING AT THE NORTHWEST CORNER OF SECTION 24, T1N, R8E, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN; THENCE N88°13'44"E (RECORDED AS N88°58'00"W) 760.00 FEET ALONG THE NORTH LINE OF SAID SECTION 24 AND THE CENTERLINE OF 11 MILE ROAD (66.00 FEET WIDE); THENCE S02°02'48"E 721.86 FEET (RECORDED AS S00°17'40"E 721.49 FEET); THENCE S88°15'26"W (RECORDED AS N89°59'00"W) 760.00 FEET ALONG THE NORTH LINE OF VINCENTI INDUSTRIAL PARK, AS RECORDED IN LIBER 157 OF PLATS, PAGE 31, OAKLAND COUNTY RECORDS; THENCE N00°17'40"E 721.49 FEET ALONG THE WEST LINE OF SAID SECTION 24 AND THE CENTERLINE OF MEADOWBROOK ROAD (66.00 FEET WIDE) TO THE PLACE OF BEGINNING, BEING A PART OF THE NORTHWEST 1/4 OF SAID SECTION 25, CONTAINING 12.59 ACRES OF LAND, MORE OR LESS, BEING SUBJECT TO THE RIGHTS OF THE PUBLIC OVER THE NORTHERLY 33.00 FEET AND THE WESTERLY 33.00 FEET THEREOF, AS OCCUPIED BY 11 MILE ROAD AND MEADOWBROOK ROAD RESPECTFULLY, AND SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.

CONSTRUCTION SITE ACCESS NOTE:
 CONTRACTOR SHALL USE DRIVE APPROACH OFF OF MEADOWBROOK ROAD TO ACCESS THE SITE.

NO.	BY	CHK.	DESCRIPTION	DATE



CAUTION!!
 THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXERCISING RESPONSIBILITY FOR VERIFYING THE EXACT UTILITIES LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.
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 CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY THAT THIS REQUIREMENT SHALL BE MADE BY ANY CONTRACTORS AND NOT BE LIMITED TO NORMAL WORKING HOURS AND CONSTRUCTION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY AND HOLD DESIGN PROFESSIONAL WORKERS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

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A3C COLLABORATIVE ARCHITECTURE
 15 1/2 EAST LIBERTY
 ANN ARBOR, MICHIGAN 48104

OVERALL SITE PLAN
MMC MRI
 PART OF THE NORTHWEST 1/4 OF SECTION 24, T1N, R8E
 CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

DES.	KK	DN.	CMP	SUR.	JW	P.M.	JPB
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ORIGINAL ISSUE DATE:
 JUNE 1, 2016

PEA JOB NO. 2016-118

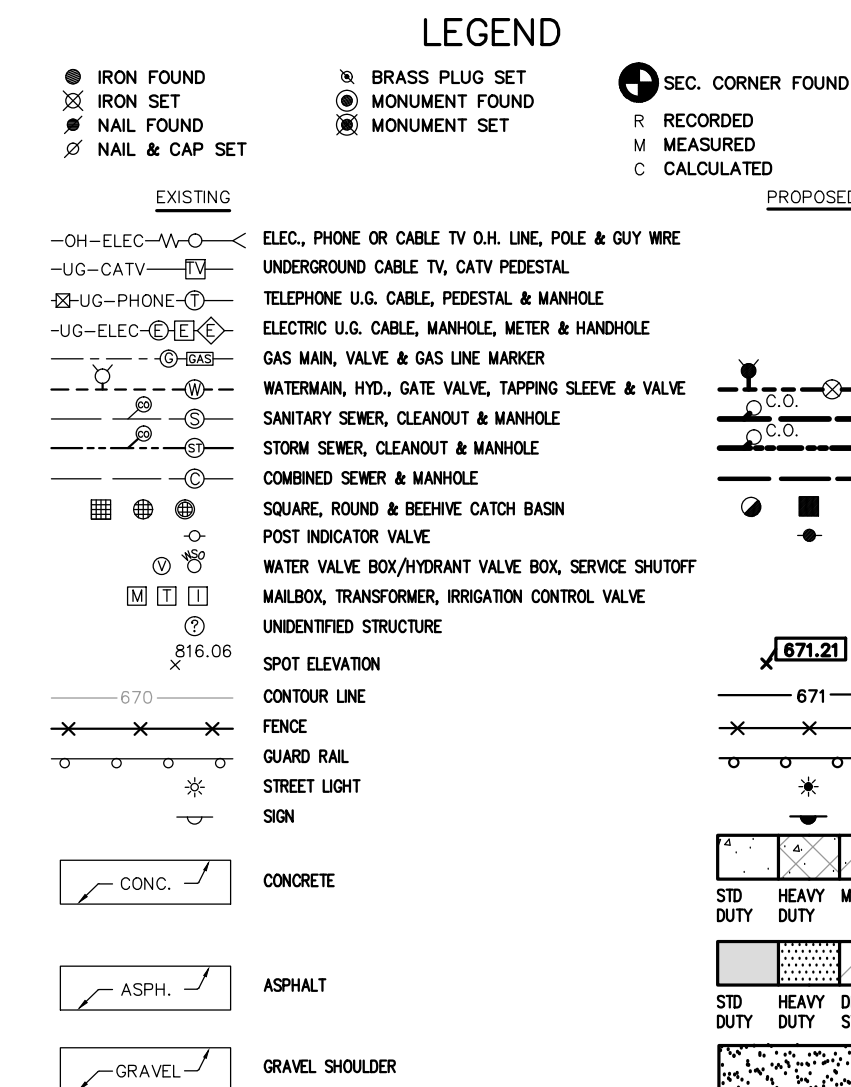
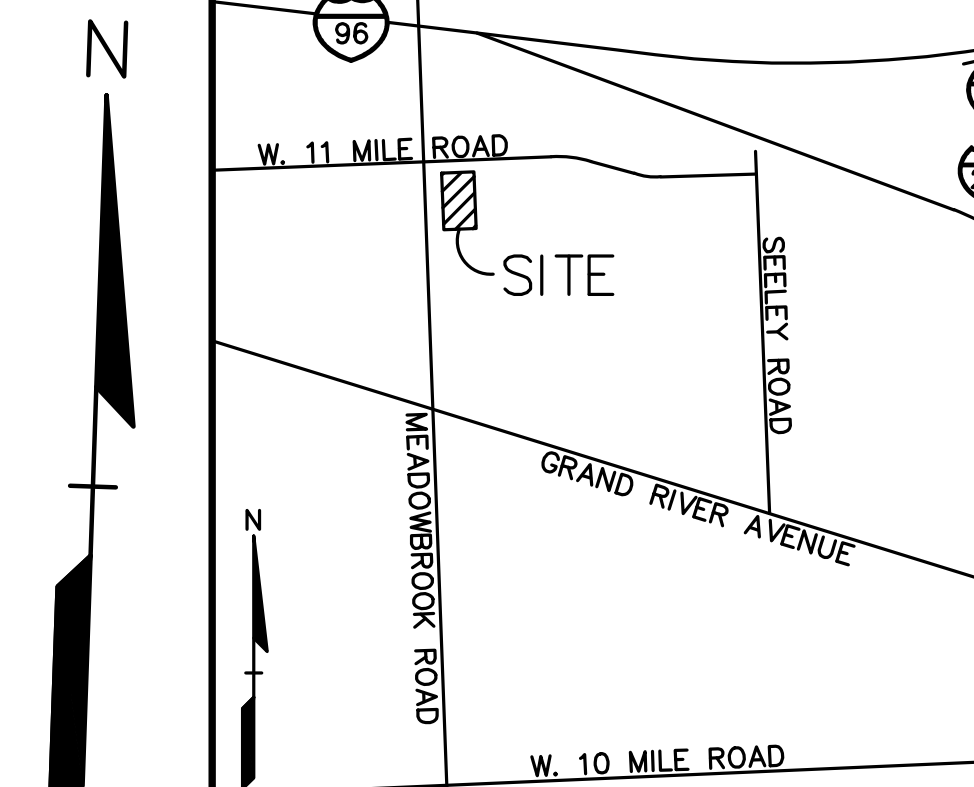
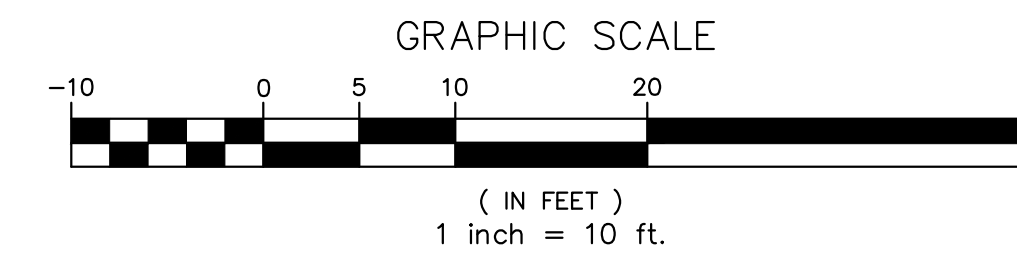
SCALE: 1" = 40'

DRAWING NUMBER:
C-2.1

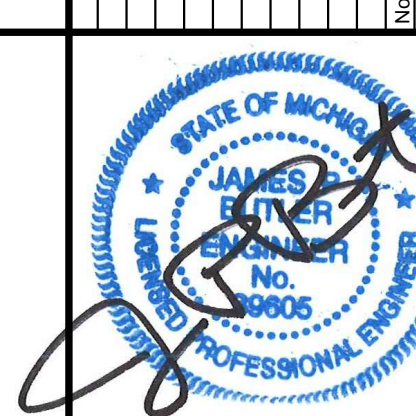
BENCHMARKS
 (CITY OF NOVI DATUM PER REF ATWELL HICKS, INC. ALTA/ASCM LAND TITLE AND TOPOGRAPHIC SURVEY, JOB 100911.30, DATED 2-24-04)
 REF BM#12
 NORTH RIM OF MONUMENT BOX AT CENTERLINE OF 11 MILE RD & MEADOWBROOK RD, ALSO KNOWN AS THE NORTHWEST CORNER OF SECTION 24, T.1N., R.8E.
 ELEV. - 889.82
 BM #320
 ARROW ON A HYDRANT LOCATED IN AN ISLAND 85'± NORTHWEST OF THE NORTHWEST BUILDING CORNER AND 7'± NORTH OF LIGHT POLE.
 ELEV. - 905.31

FLOODPLAIN NOTE:
 BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X', AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C0627, DATED SEPTEMBER 28, 2006.

WETLAND NOTE:
 THERE ARE NO REGULATED WETLANDS LOCATED ON-SITE.



- GENERAL NOTES:**
 THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
 - REFER TO THIS SHEET FOR ON-SITE PAVING DETAILS.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF NOVI CURRENT STANDARDS AND REGULATIONS.
 - THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
 - ANY WORK WITHIN THE STREET OR HIGHWAY RIGHT-OF-WAYS SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST THE TOP OF ALL EXISTING AND PROPOSED STRUCTURES (MANHOLES, CATCH BASINS, INLETS, GATE WELLS ETC.) WITHIN GRADED AND/OR PAVED AREAS TO FINAL GRADE SHOWN ON THE PLANS. ALL SUCH ADJUSTMENTS SHALL BE INCIDENTAL TO THE JOB AND WILL NOT BE PAID FOR SEPARATELY.
- SIGN NOTE:**
 1. REFER TO ARCH. PLANS FOR LOCATIONS OF ALL SIGNAGE AND ALL SIGN STRUCTURES.



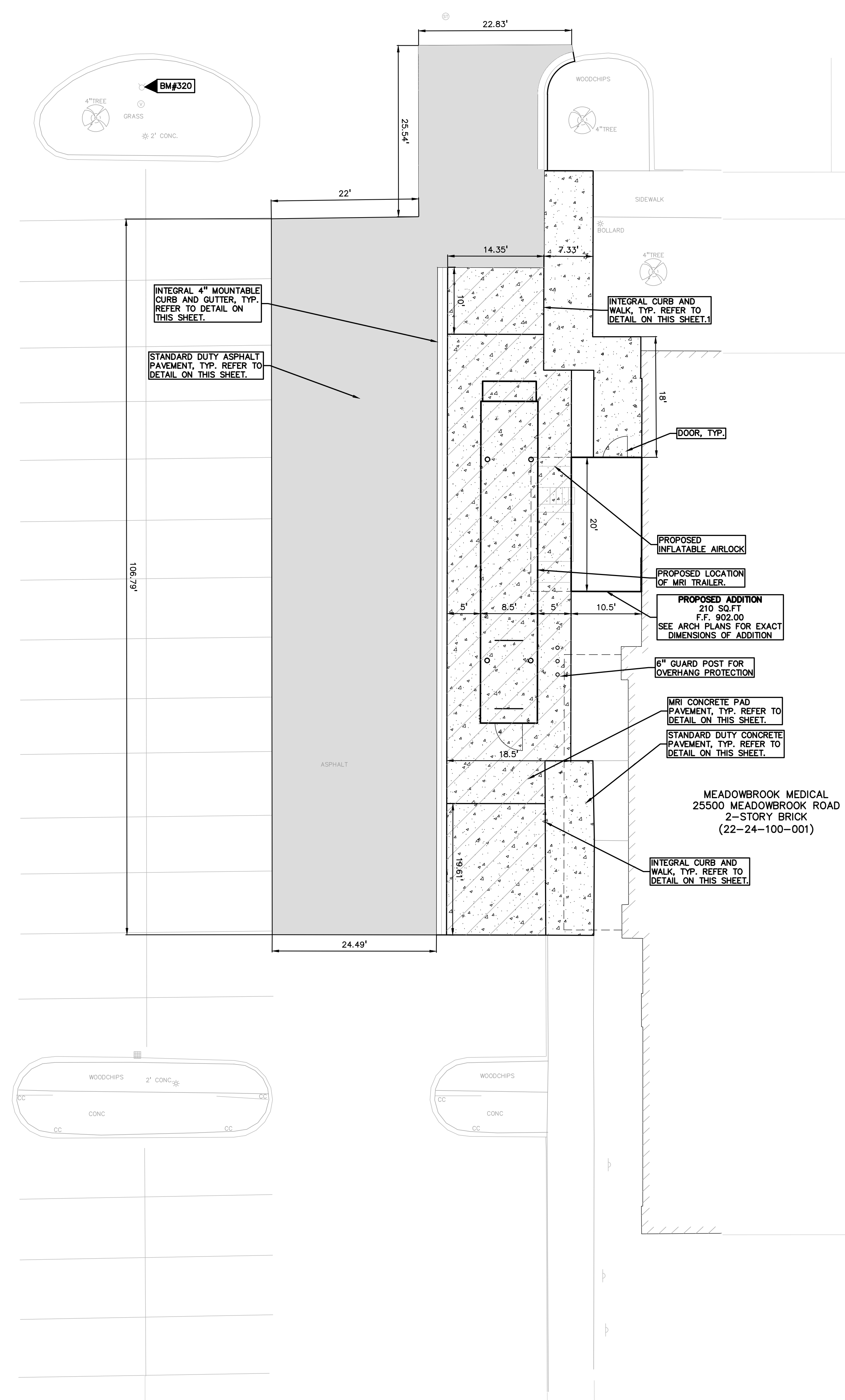
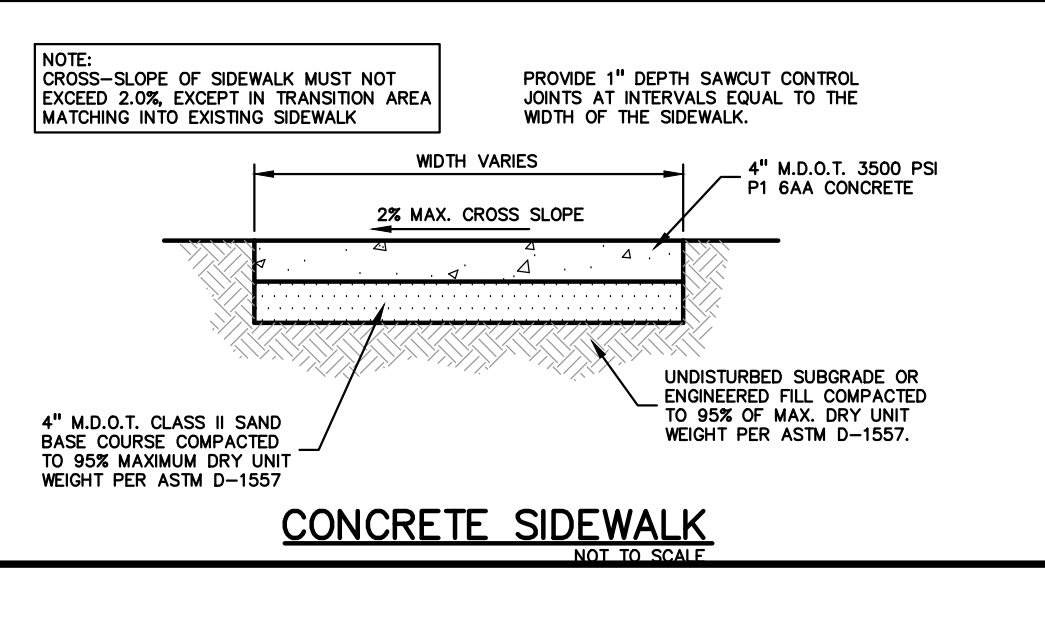
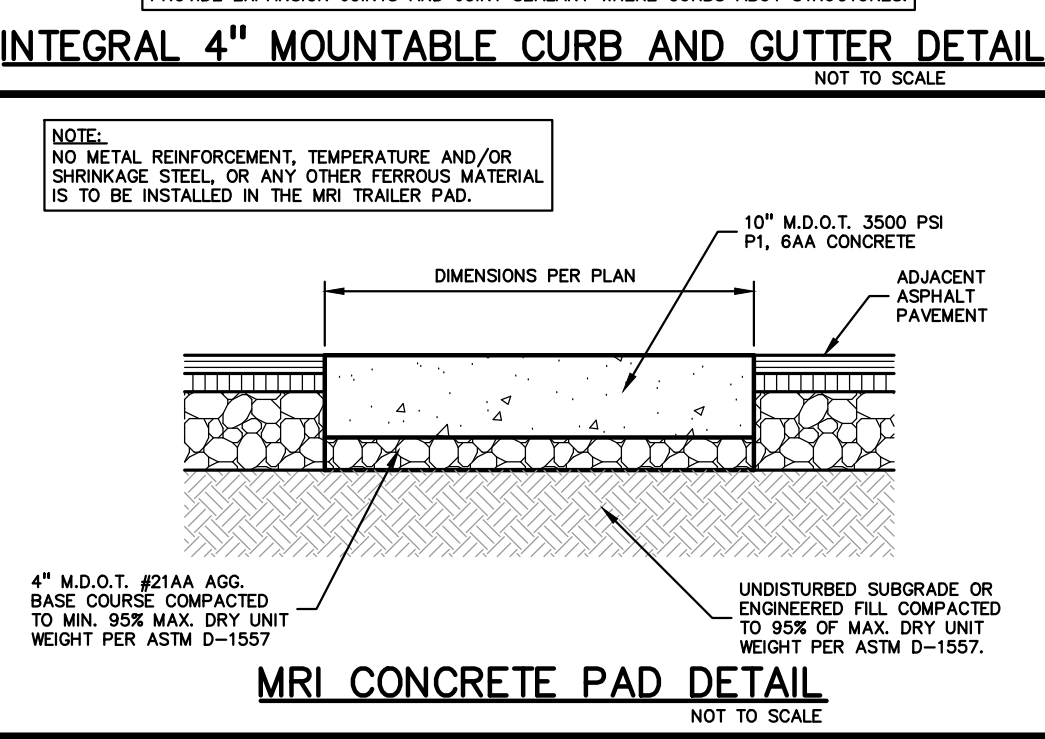
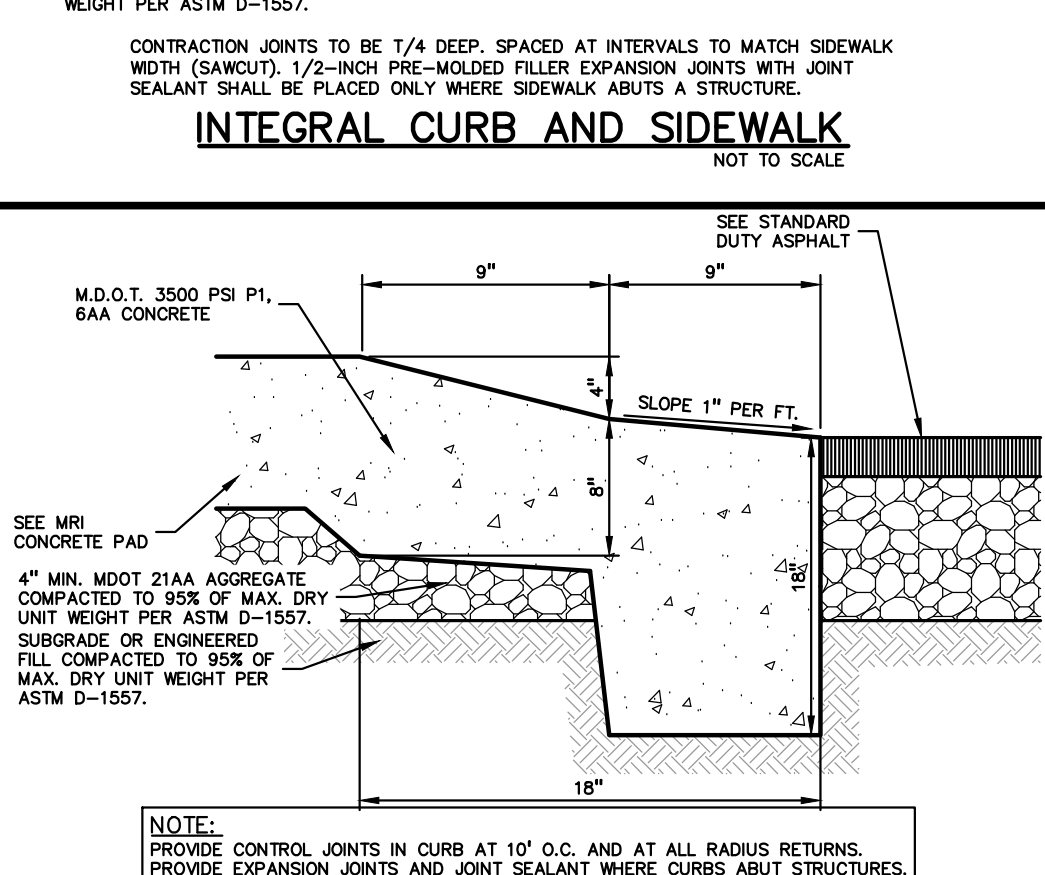
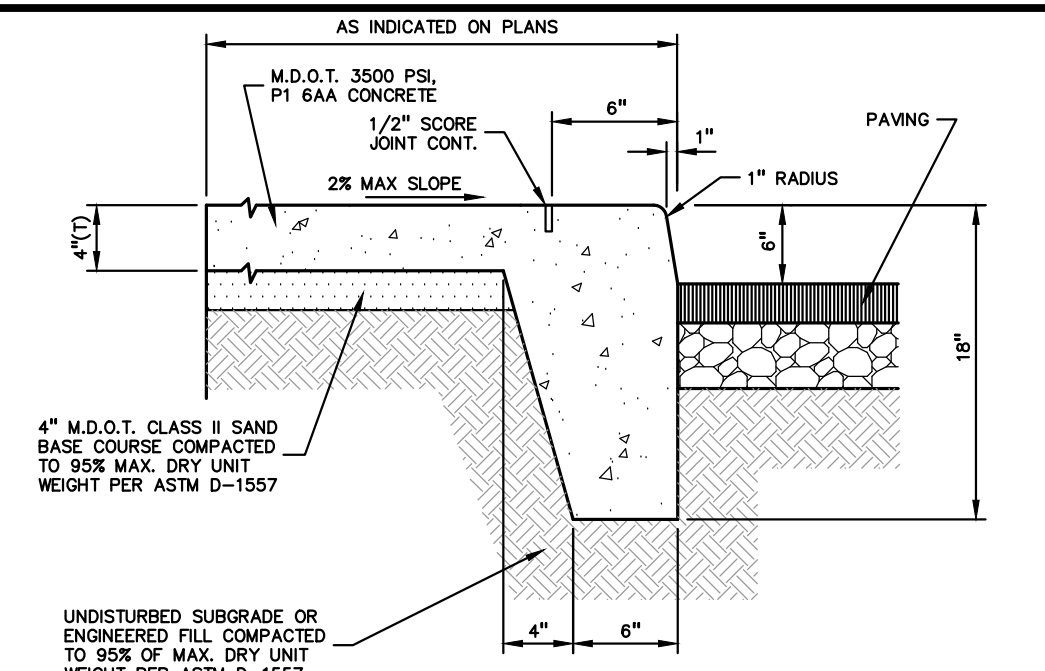
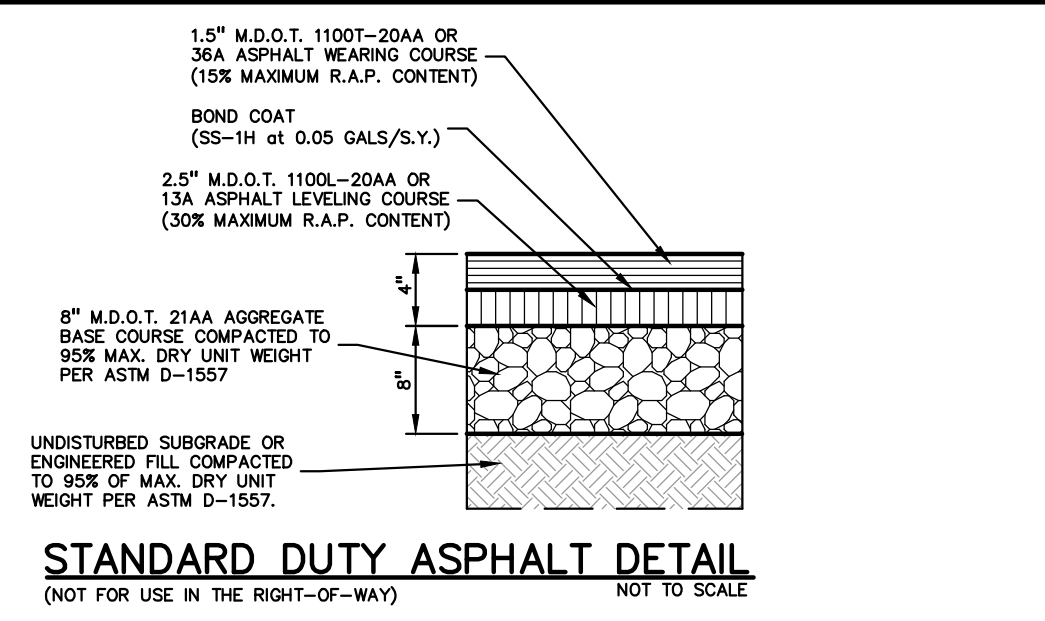
CAUTION!
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A3C COLLABORATIVE ARCHITECTURE		15 1/2 EAST LIBERTY ANN ARBOR, MICHIGAN 48104 SITE PLAN MMC MRI PART OF THE NORTHWEST 1/4 OF SECTION 24, T.1N., R.8E CITY OF NOVI, OAKLAND COUNTY, MICHIGAN	DES.	JK	DN.	CMP	SUR.	JW	P.M.	JPB
DATE			DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE
REVISIONS										
NO.										
BY										
CHK										
DESCRIPTION										



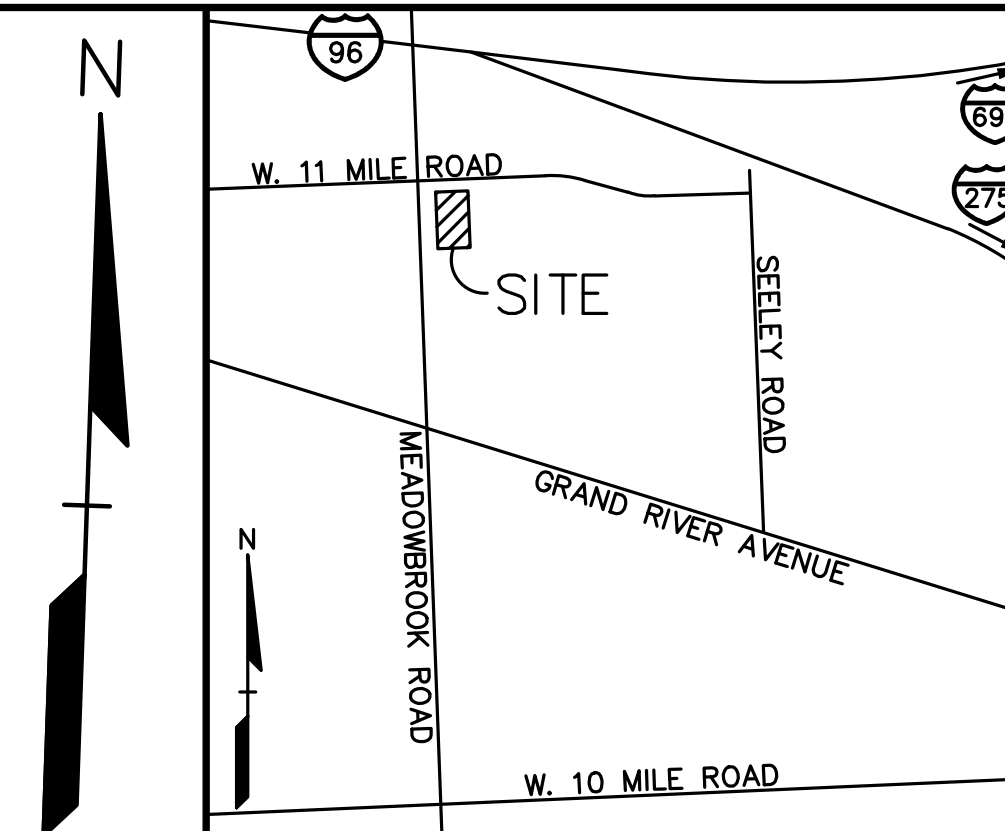
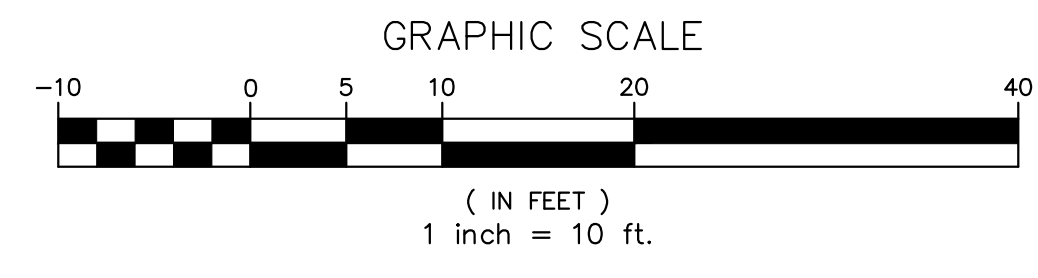
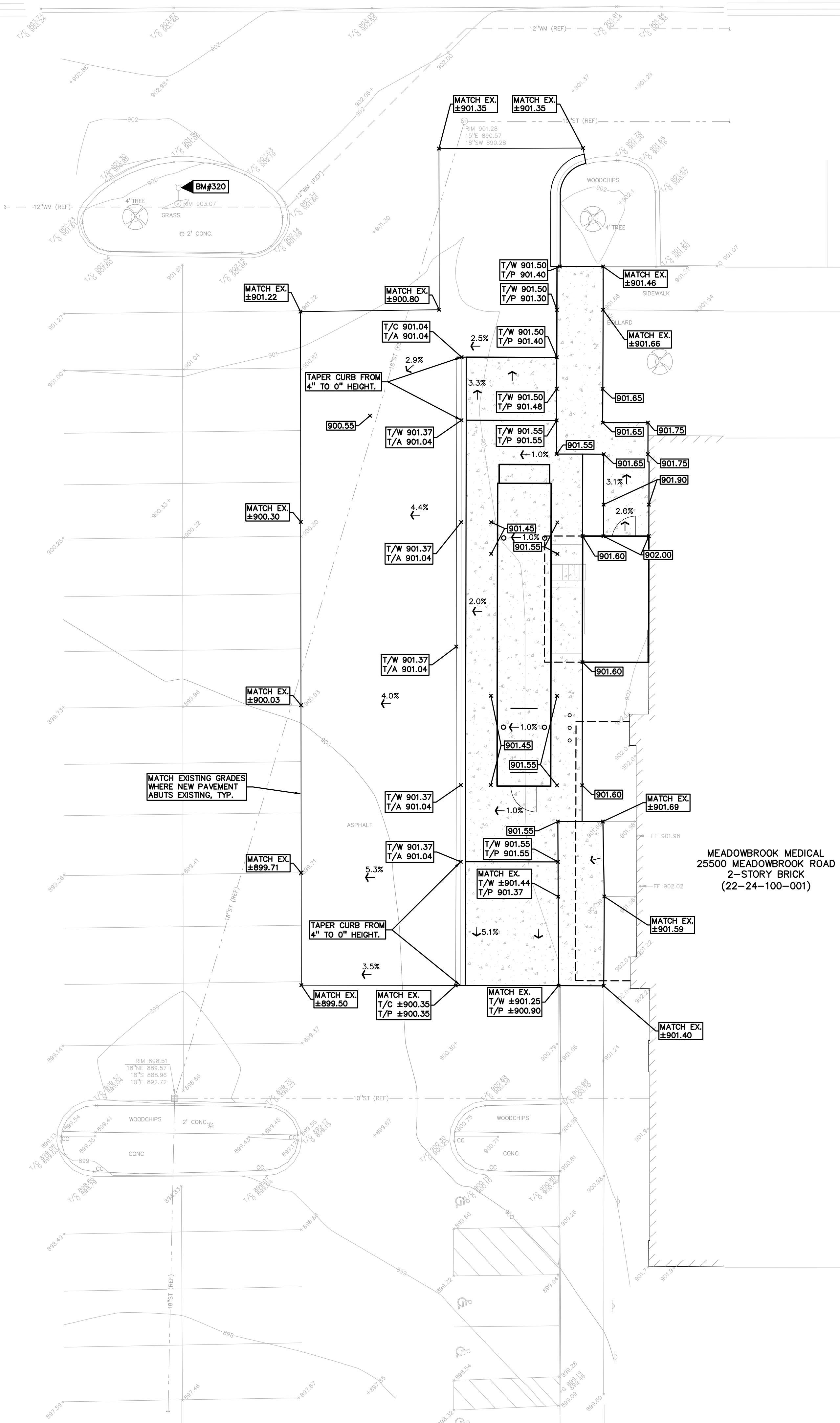
NOT FOR CONSTRUCTION

C-3.1

BENCHMARKS
 (CITY OF NOVI DATUM PER REF ATWELL HICKS, INC. ALTA/ASCM LAND TITLE AND TOPOGRAPHIC SURVEY, JOB 100911.30, DATED 2-24-04)
 REF BM#12
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FLOODPLAIN NOTE:
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WETLAND NOTE:
 THERE ARE NO REGULATED WETLANDS LOCATED ON-SITE.



LEGEND

● IRON FOUND	⊗ BRASS PLUG SET	⊙ SEC. CORNER FOUND
⊗ NAIL FOUND	⊗ MONUMENT FOUND	⊙ RECORDED
⊗ NAIL & CAP SET	⊗ MONUMENT SET	⊙ MEASURED
		⊙ CALCULATED

—OH-ELEC—V—O—	ELEC. PHONE OR CABLE TV G.H. LINE, POLE & GUY WIRE
—UG-CATV—	UNDERGROUND CABLE TV, CATV PEDESTAL
—UG-PHONE—	TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
—UG-ELEC—	ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE
—GAS—	GAS MAIN, VALVE & GAS LINE MARKER
—WATER—	WATERMAIN, HYD. GATE VALVE, TAPPING SLEEVE & VALVE
—SEWER—	SANITARY SEWER, CLEANOUT & MANHOLE
—STORM—	STORM SEWER, CLEANOUT & MANHOLE
—COMBID—	COMBINED SEWER & MANHOLE
—S&B—	SQUARE, ROUND & RESERVE CATCH BASIN
—PIV—	POST INDICATOR VALVE
—WV—	WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF
—M/T—	MALBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
—UNID—	UNIDENTIFIED STRUCTURE
—SPT—	SPOT ELEVATION
—CON—	CONTOUR LINE
—FIN—	FINISH
—GR—	GUARD RAIL
—SL—	STREET LIGHT
—S—	SIGN
—CONC—	CONCRETE
—ASPH—	ASPHALT
—GRAVEL—	GRAVEL SHOULDER

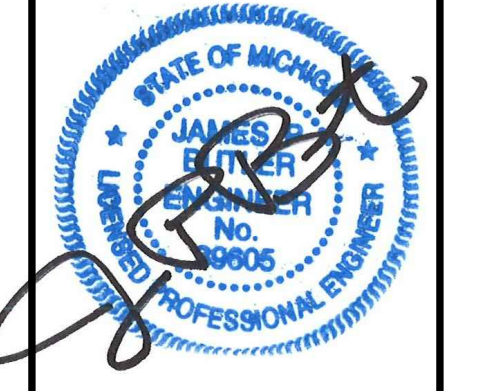
SYMBOLS: GRADING
 PROPOSED SPOT GRADE ELEVATION. ALL GRADES INDICATED ARE TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
 PROPOSED CONTOUR LINE

EARTHWORK BALANCING NOTE:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO THE FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF CUT AND FILL QUANTITIES AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL MATERIAL AT NO ADDITIONAL COST TO THE OWNER.

- GENERAL GRADING AND EARTHWORK NOTES:**
 THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT
- CONTRACTOR TO FIELD VERIFY ALL EXISTING TREES AND BRUSH AND REMOVE ALL THAT ARE NECESSARY TO GRADE SITE.
 - ALL GRADES ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
 - THE STAGING OF CONSTRUCTION ACTIVITIES SHALL OCCUR ONLY WITHIN THE SITE BOUNDARIES. ANY CONSTRUCTION ACTIVITIES OUTSIDE OF THE SITE BOUNDARIES SHALL BE AT THE SOLE RESPONSIBILITY AND RISK OF THE CONTRACTOR.
 - ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL MEET THE REQUIREMENTS OF THE CITY OF NOVI AND OAKLAND COUNTY. AN EROSION CONTROL PERMIT MUST BE SECURED FROM THE CITY PRIOR TO CONSTRUCTION.
 - ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED OR SODDED IN ACCORDANCE WITH THE LANDSCAPE PLANS. PROVIDE A MINIMUM OF 3" OF TOPSOIL IN THESE AREAS UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR SHALL NOTE EXISTING UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE SITE. BACKFILL FOR EXISTING UTILITY TRENCHES SHALL BE EXAMINED CRITICALLY. ANY TRENCHES FOUND TO HAVE SOFT, UNSTABLE OR UNSUITABLE BACKFILL MATERIAL, IN THE OPINION OF THE GEOTECHNICAL ENGINEER, THAT ARE TO BE WITHIN THE ZONE OF INFLUENCE OF PROPOSED BUILDINGS OR PAVEMENT SHALL BE COMPLETELY EXCAVATED AND BACKFILLED WITH SUITABLE MATERIAL.

SOIL TYPES:
 ACCORDING TO THE "SOIL SURVEY OF OAKLAND COUNTY, MICHIGAN", THE FOLLOWING SOIL TYPES ARE PRESENT:
 SOIL TYPE (PER OAKLAND COUNTY SOIL SURVEY) TYPE 10C -MARLETTE SANDY LOAM, 6 TO 12 PERCENT SLOPES, AND 34B-KIBBIE FINE SAND LOAM, 0 TO 4 PERCENT SLOPES.

NO.	BY	CHK	DESCRIPTION	DATE



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CONTRACTOR/CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONDITIONS DURING THE COURSE OF CONSTRUCTION AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS SHALL BE THE CONTRACTOR'S SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS. INCLUDING SAFETY OF ALL PERSONS AND PROPERTY THAT THIS AGREEMENT SHALL BE MADE TO APPLY. CONTRACTORS ARE NOT BE LIMITED TO NORMAL WORKING HOURS AND CONSTRUCTION CONTINUES THROUGHOUT THE YEAR.

INDEMNIFY AND HOLD DESIGN PROFESSIONAL WORKERS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

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A3C COLLABORATIVE ARCHITECTURE
 15 1/2 EAST LIBERTY
 ANN ARBOR, MICHIGAN 48104

GRADING PLAN
MMC MRI
 PART OF THE NORTHWEST 1/4 OF SECTION 24, T.1N., R.8E
 CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

DES.	KK	DN.	CMP	SUR.	JW	P.M.	JPB
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ORIGINAL ISSUE DATE:
 JUNE 1, 2016

PEA JOB NO. 2016-118

SCALE: 1" = 10'

DRAWING NUMBER:
C-4.1

GENERAL FLOOR PLAN NOTES:

- A. GENERAL FLOOR PLAN / PARTITION NOTES AND PARTITION TYPES APPLY TO ALL FLOOR PLANS AND ENLARGED FLOOR PLANS INCLUDED WITHIN THIS DOCUMENT SET.
- B. SEE SHEET AX.XX FOR PARTITION TYPES LEGEND.
- C. ALL NEW PARTITIONS SHALL BE PARTITION TYPE M61, UNO.
- D. COORDINATE THE PHASING AND SEQUENCING OF NEW CONSTRUCTION WITH MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS AND WITH CONSTRUCTION PHASING SEQUENCE AS INCLUDED WITHIN GENERAL DEMOLITION NOTES LOCATED ELSEWHERE.
- E. ALL INTERIOR PARTITION DIMENSIONS ARE TO FINISH FACE, UNO.
- F. MAINTAIN INTEGRITY OF ALL NEW OR EXISTING FIRE RATED PARTITIONS.
- G. WHERE EXISTING SUBSTRATES ARE LOCATED WITHIN NEW FINISHED AREAS OR PATCHING OF EXISTING SUBSTRATES WITHIN EXISTING ROOMS IS REQUIRED DUE TO WALL INFILL OR DEVICE REMOVAL, NEW FINISHES SHALL EXTEND TO NEAREST NATURAL BREAK OR TERMINATION FOR A CLEAN, UNBLEMISHED APPEARANCE AT THE END OF CONSTRUCTION. REFER TO ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATIONS OF INCIDENTAL ADDITIONAL FINISH WORK ASSOCIATED WITH RESTORATION OF EXISTING FINISHES WHERE ALTERED BY ARCHITECTURAL, MECHANICAL AND ELECTRICAL WORK.
- H. THE CONTRACTOR SHALL FURNISH AND INSTALL WALL REINFORCING FOR INSTALLATION OF ALL WALL MOUNTED EQUIPMENT, CASEWORK, HARDWARE, TOILET ACCESSORIES, HANDRAILS, ETC.
- I. PROVIDE ACOUSTICAL GASKETS AT FLOOR TRACKS OF ALL NEW PARTITIONS. ACOUSTICALLY ATTENUATE ALL BOXES, REGISTERS, AND OTHER PENETRATIONS, ETC. LOCATED WITHIN OR THROUGH NEW PARTITIONS TO MAINTAIN WALL SOUND RATINGS.
- J. SEE SHEET A2.21 FOR DOOR SCHEDULE AND RELATED DETAILS.
- K. SEE SHEET A2.41 FOR INTERIOR FINISH SCHEDULE AND KEY.
- L. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO BEGINNING WORK OR SUPPLYING MATERIALS OR COMPONENTS. LAYOUT ALL WALLS PRIOR TO COMMENCEMENT OF FRAMING AND NOTIFY ARCHITECT FOR DISPOSITION OF MAJOR DIMENSIONAL CONFLICTS.

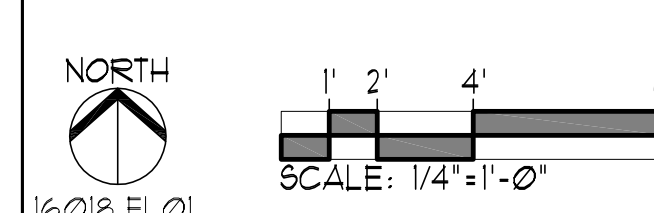
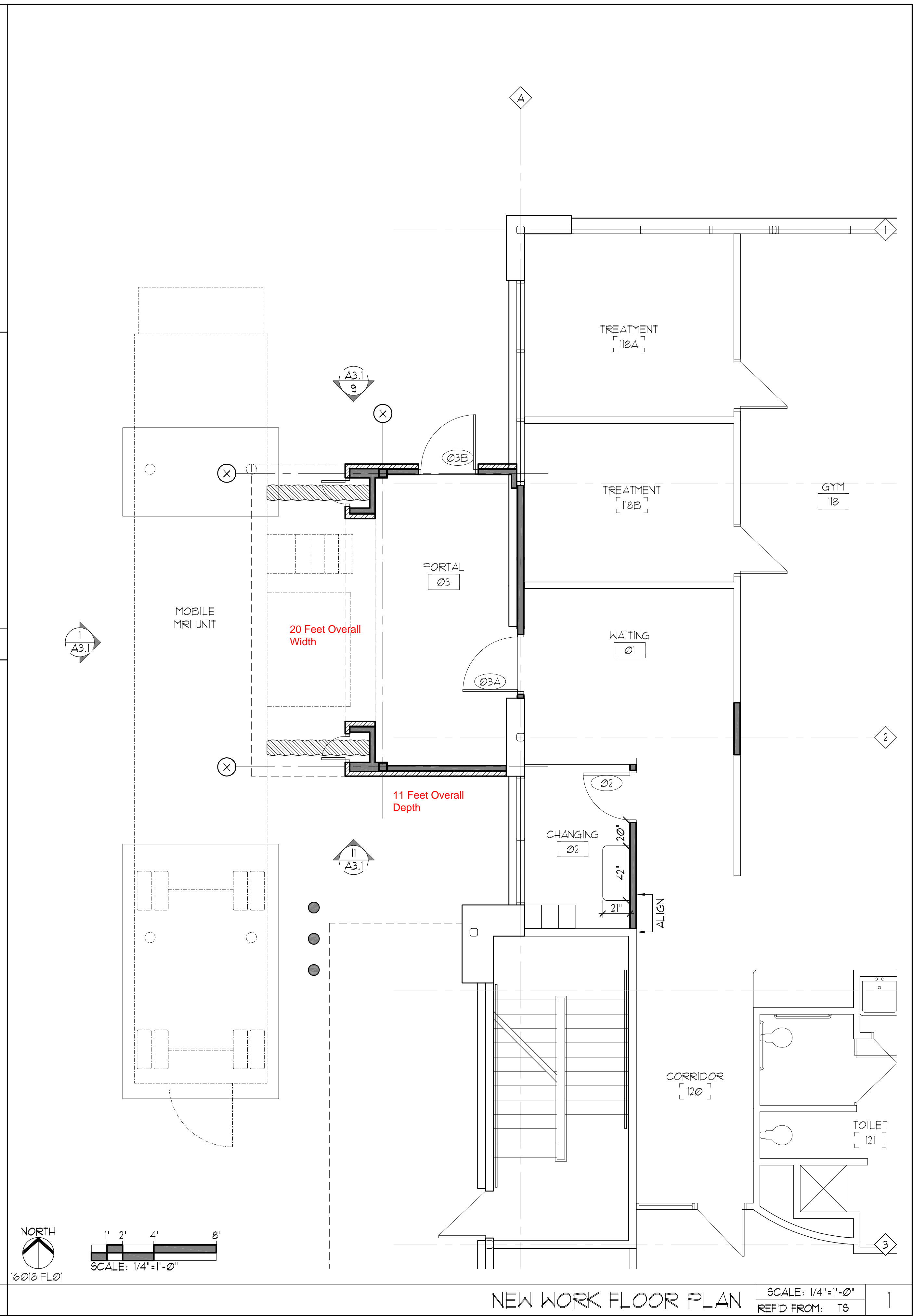
16018 FL01	NO SCALE	4
GENERAL NOTES	REF'D FROM: T5	

	EXISTING WALL	NAME [NO.]	EXISTING ROOM TAG		CORNER GUARD
	NEW STUD WALL				END CAP
	NEW BRICK VENEER	NAME [NO.]	ROOM TAG		EQUIPMENT BY OWNER/TENANT, SHOWN FOR REFERENCE N.I.C.
	EXISTING DOOR		EXISTING COLUMN TAG		
	NEW DOOR		NEW COLUMN TAG		
	KEYED NOTE		PARTITION TAG		

16018 FL01	SCALE: 1/8"=1'-0"	11
FLOOR PLAN LEGEND	REF'D FROM: T5	

NEW WORK PLAN KEYED NOTES:

16018 FL01	NO SCALE	3
KEYED NOTES	REF'D FROM: T5	



16018 FL01	SCALE: 1/4"=1'-0"	1
NEW WORK FLOOR PLAN	REF'D FROM: T5	

NOT FOR CONSTRUCTION

PROJECT NUMBER	16018
ISSUE	
Prelim Site Plan Review	06.01.16
DRN: LBS	CHK'D: BKW

Premier MRI/CT
 Meadowbrook Medical Center
 Mobile MRI Relocation

NEW WORK FLOOR PLAN & NOTES

115 1/2 East Liberty St.
Ann Arbor, MI 48104

734.663.1910 T
866.732.2168 F

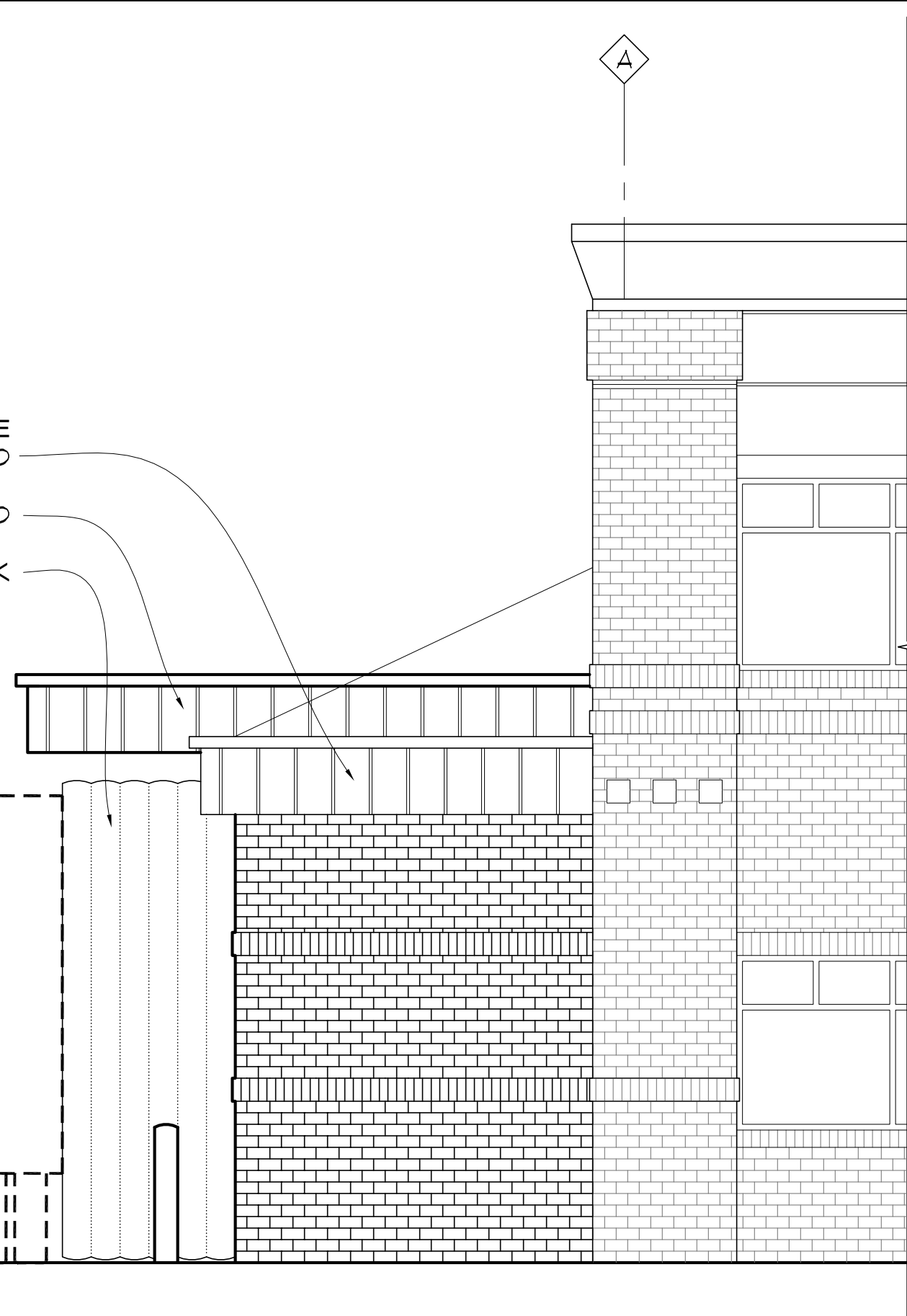
www.a3c.com

COLLABORATIVE ARCHITECTURE

SHEET	A2.1
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E:\16018 Premier Mobile MRI Relocation\Sheets\16018-A3.1 SECTIONS & ELEVATIONS.dwg,05.31.16 03:54 PM

EXISTING WEST BUILDING ENTRANCE
CANOPY IN FOREGROUND
NEW PORTAL CANOPY BEYOND
INFLATABLE AIRLOCK



16018 EE01

SOUTH ELEVATION

SCALE: 1/4"=1'-0"
REF'D FROM: T5

11

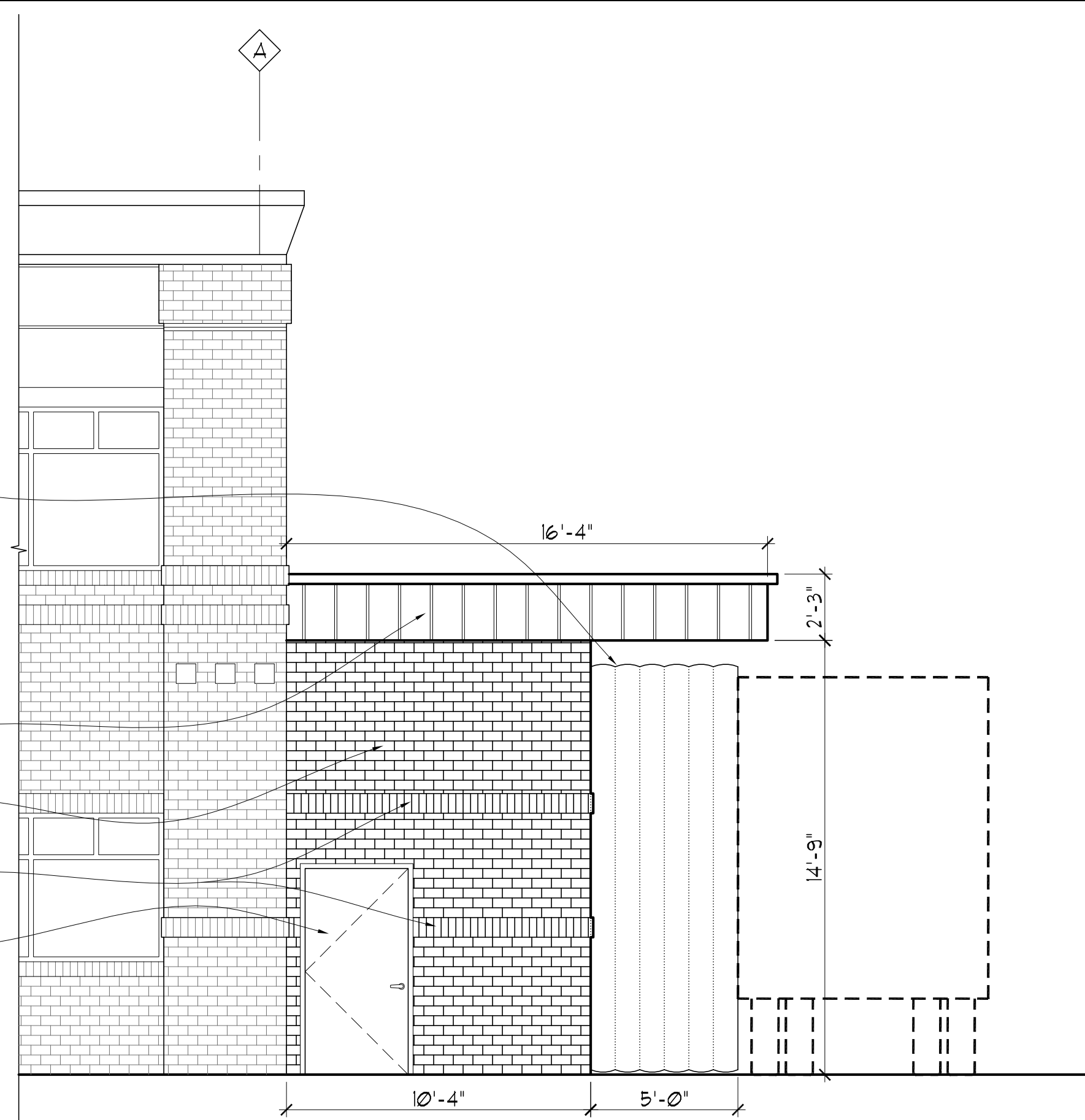
INFLATABLE AIRLOCK

STANDING SEAM METAL CANOPY
FASCIA TO MATCH EXISTING

NEW UTILITY BRICK

NEW SOLDIER COURSING

PAINTED METAL DOOR & FRAME,
EMERGENCY EXIT ONLY



16018 EE01

NORTH ELEVATION

SCALE: 1/4"=1'-0"
REF'D FROM: T5

9

**NOT FOR
CONSTRUCTION**

PROJECT NUMBER 16018

ISSUE	

Prelim Site Plan Review 06.01.16
DRN: LBS CHK'D: BKW

Premier MRI/CT
Meadowbrook Medical Center
Mobile MRI Relocation

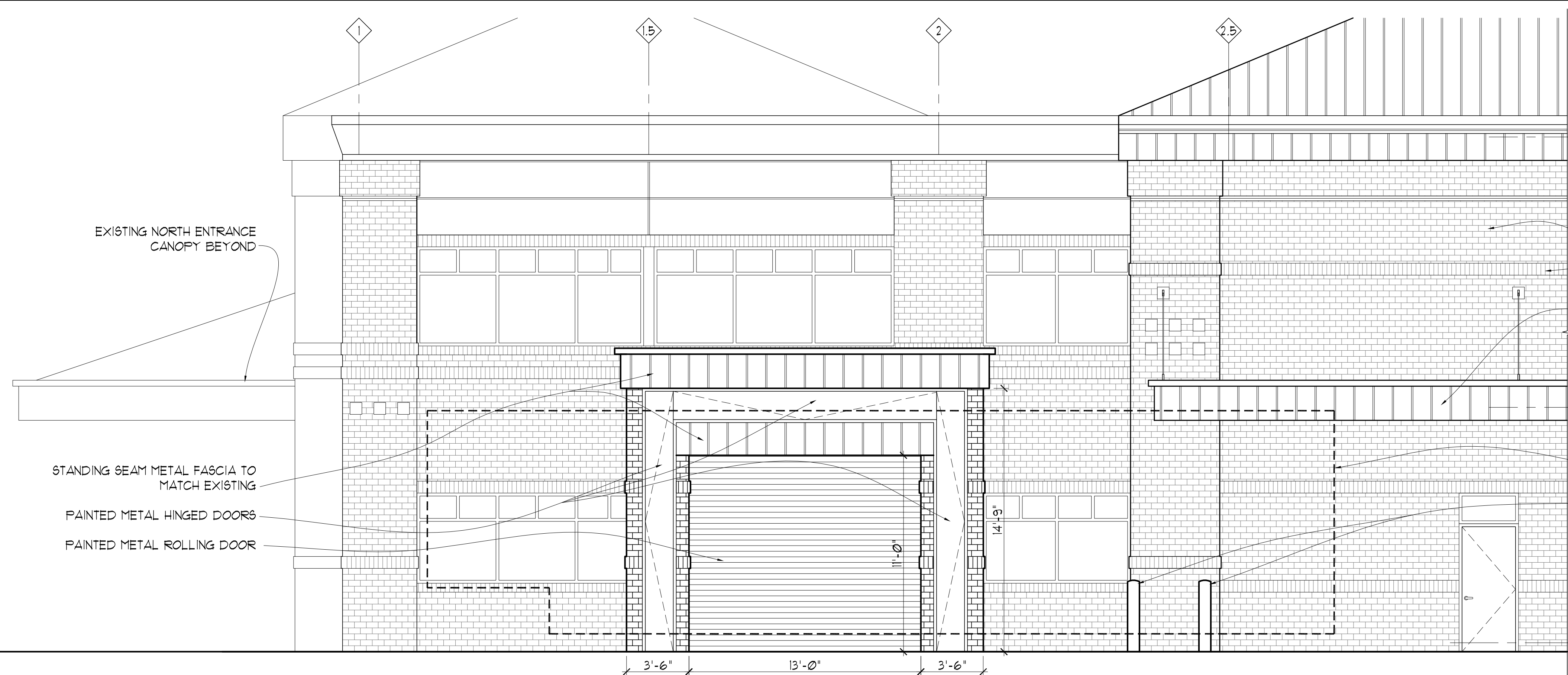
SECTIONS & ELEVATIONS

A3C
COLLABORATIVE ARCHITECTURE

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SHEET **A3.1**

EXISTING NORTH ENTRANCE
CANOPY BEYOND



16018 EE01

WEST ELEVATION

SCALE: 1/4"=1'-0"
REF'D FROM: T5

1

T.O. METAL DECK
28'-4"

EXISTING UTILITY BRICK, RUNNING BOND

EXISTING SOLDIER COURSING

EXISTING WEST ENTRANCE CANOPY

2ND FLOOR
13'-8"

OUTLINE OF MRI UNIT ON LOCATION

NEW CONCRETE FILLED STEEL PIPE BOLLARDS

1ST FLR/ GROUND PLANE
0'-0"

