



## SLI MEDICAL JSP 18-74

### SLI MEDICAL OFFICE BUILDING JSP 18-74

Consideration at the request of SLI Medical Preliminary Site Plan and Storm Water Management Plan approval. The subject property is zoned B-3 and is located on the north side of Grand River Avenue and east of Novi Road in Section 23. The applicant is proposing to remodel and occupy the existing 45,200 square feet building for medical and general office use along with warehouse space housing medical equipment. The applicant is proposing to build additional parking and related landscape improvements to accommodate the change of use.

### Required Action

Approval or denial for Preliminary Site Plan and Storm Water Management Plan

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	06-03-19	<ul style="list-style-type: none"> <li>• The site plan should provide a minimum of 75 parking spaces at the time of final site plan.</li> <li>• Zoning Board of Appeals approval for reduction of parking spaces (122 required, 75 proposed)</li> <li>• Additional items to be addressed with Final Site Plan</li> </ul>
Engineering	Approval recommended	06-04-19	<ul style="list-style-type: none"> <li>• Additional items to be addressed with Final Site Plan</li> </ul>
Landscaping	Approval <b>NOT</b> recommended	05-22-19	<ul style="list-style-type: none"> <li>• Lack of street trees</li> <li>• Insufficient parking lot perimeter trees</li> <li>• Insufficient greenbelt landscaping</li> <li>• Insufficient berm between parking and Grand River</li> <li>• Alternate location for required foundation landscaping</li> <li>• Additional items to be addressed with Final Site Plan</li> </ul>
Traffic	Approval recommended	05-21-19	<ul style="list-style-type: none"> <li>• Waiver to allow Parking study in lieu of a Traffic Impact Study</li> <li>• Additional items to be addressed with Final Site Plan</li> </ul>
Parking Study	Approval recommended	01-23-19	<ul style="list-style-type: none"> <li>• Number of trips lower than the City threshold based on type of medical services that the applicant provides</li> </ul>
Façade	Approval recommended	04-22-19	<ul style="list-style-type: none"> <li>• Conforms to the Façade Ordinance</li> </ul>
Fire	Approval recommended	04-08-19	<ul style="list-style-type: none"> <li>• Additional items to be addressed with Final Site Plan</li> </ul>

## Motion sheet

### Approval – Preliminary Site Plan

In the matter of request of SLI Medical for JSP 18-74 SLI Medical Office Building, motion to approve the Preliminary Site Plan based on and subject to the following:

1. The applicant shall revise the layout to provide a minimum of 75 parking spaces including the minimum required barrier free spaces at the time of final site plan;
2. The applicant shall provide a truck circulation diagram as noted in the Traffic review letter at the time of final site plan;
3. Traffic waiver to allow Parking study in lieu of performing a Traffic Impact study because the change in number of trips from existing use is not significant, which is hereby granted;
4. The applicant shall provide a revised landscape plan, subject to approval of the City's Landscape Architect, that complies with the following landscape waivers, at the time of final site plan approval:
  - a. Landscape waiver from Sec. 5.5.3.B.ii for lack of street trees along Grand River Avenue frontage due to conflicts with existing utilities in right-of-way, which is hereby granted;
  - b. Landscape waiver from Sec. 5.5.3.C.iv for not meeting the minimum required parking lot perimeter trees due to a lack of room between the parking and the west property line, provided that the applicant work with the City's landscape architect to maximize number of trees along other areas of the parking lot, which is hereby granted;
  - c. Landscape waiver from Sec. 5.5.3.B.ii for reduction in required greenbelt width along Grand River Avenue due to existing conditions which were previously approved, which is hereby granted;
  - d. Landscape waiver from Sec. 5.5.3.B.ii for lack of berm along Grand River Avenue, due to existing grading which is not changing, which is hereby granted;
  - e. Landscape waiver from Sec 5.5.3.D. for proposing less than 75% of the building foundation with landscaping, and locating some foundation area away from the building along the existing berm facing Grand River Avenue, which is hereby granted;
5. Zoning Board of Appeals variance from Section 5.2.12. for reduction of minimum required parking for the proposed use (122 spaces required, 75 spaces proposed);
6. The findings of compliance with Ordinance standards in the staff and consultant review letters and the remaining items listed in those letters being addressed on the Final Site Plan; and
7. *(Additional conditions here if any).*

*(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**-AND-**

### Approval – Stormwater Management Plan

In the matter of request of SLI Medical for JSP 18-74 SLI Medical Office Building, motion to approve the Stormwater Management Plan based on and subject to the following:

1. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
2. *(Additional conditions here if any).*

(This motion is made *because it otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.*)

**- OR -**

**Denial – Preliminary Site Plan**

In the matter of request of SLI Medical for JSP 18-74 SLI Medical Office Building, motion to deny the Preliminary Site Plan ... *(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**-AND-**

In the matter of request of SLI Medical for JSP 18-74 SLI Medical Office Building, motion to deny the Stormwater Management Plan ... *(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.*

**MAPS**

Location

Zoning

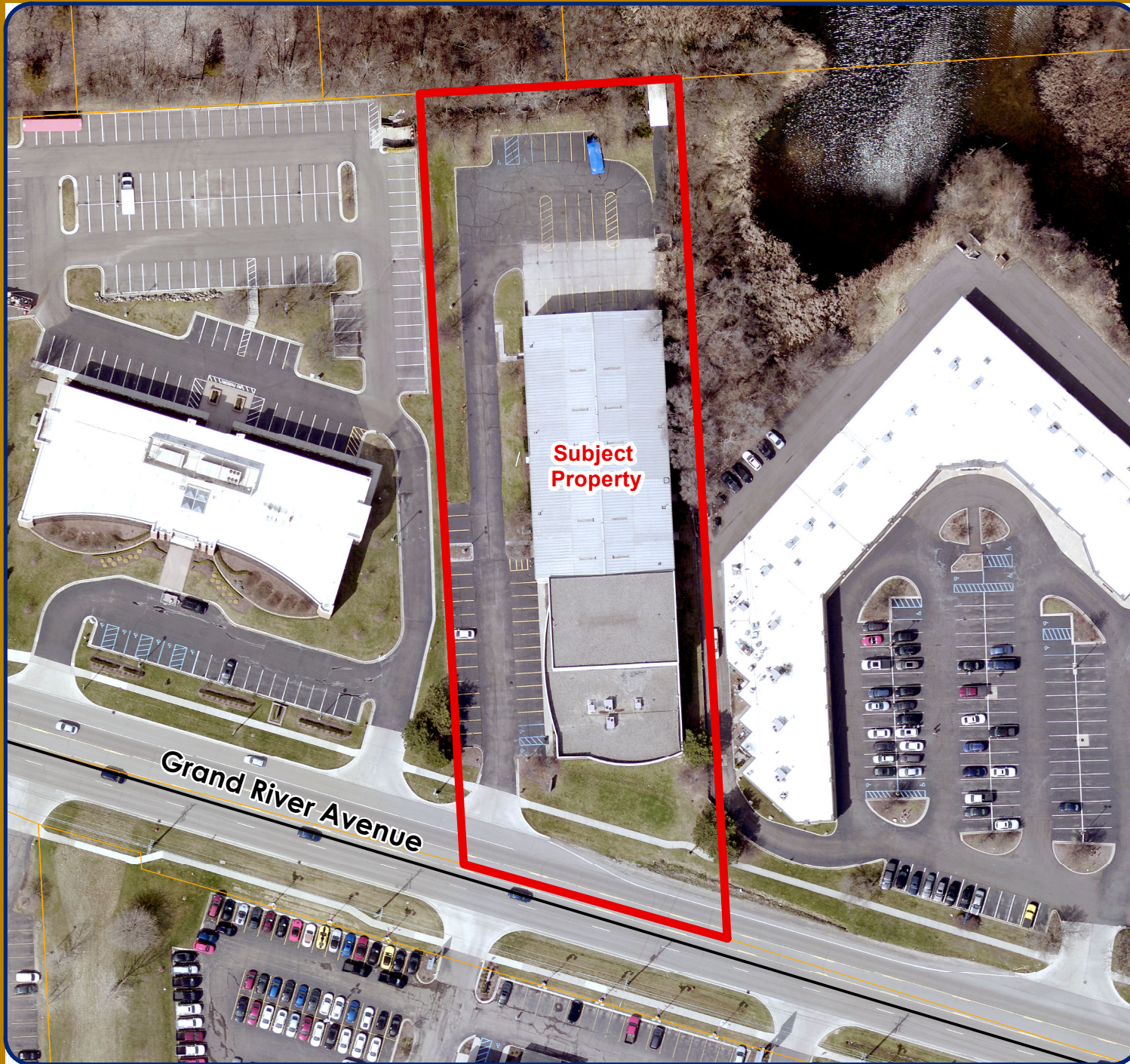
Future Landuse

Natural Features



# JSP 18-74 SLI MEDICAL OFFICE BUILDING

Location



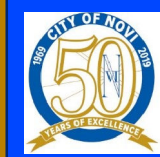
**Subject Property**

**Grand River Avenue**



### LEGEND

 Sections



## City of Novi

Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
[cityofnovi.org](http://cityofnovi.org)

Map Author: Sri Komaragiri  
Date: 06/07/19  
JSP 18-74 SLI Medical Office Building  
Version #: 1



1 inch = 98 feet



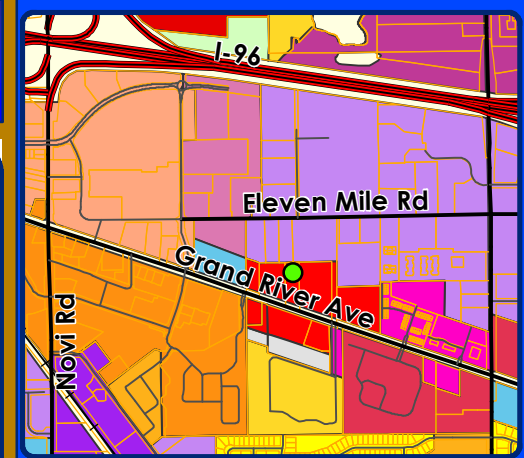
### MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.



# JSP 18-74 SLI MEDICAL OFFICE BUILDING

## Zoning

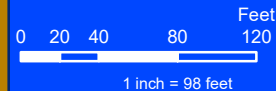


**LEGEND**

- R-A: Residential Acreage
- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- RM-2: High-Density Multiple Family
- B-3: General Business District
- GE: Gateway East District
- I-1: Light Industrial District
- I-2: General Industrial District
- NCC: Non-Center Commercial District
- OS-1: Office Service District
- OSC: Office Service Commercial
- OST: Office Service Technology
- RC: Regional Center District
- P-1: Vehicular Parking District
- TC: Town Center District
- TC-1: Town Center -1 District

**City of Novi**  
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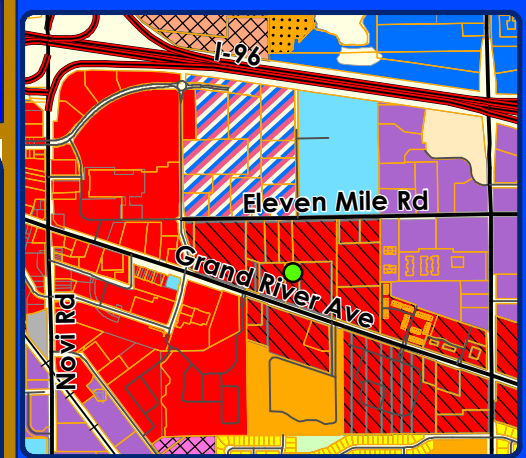
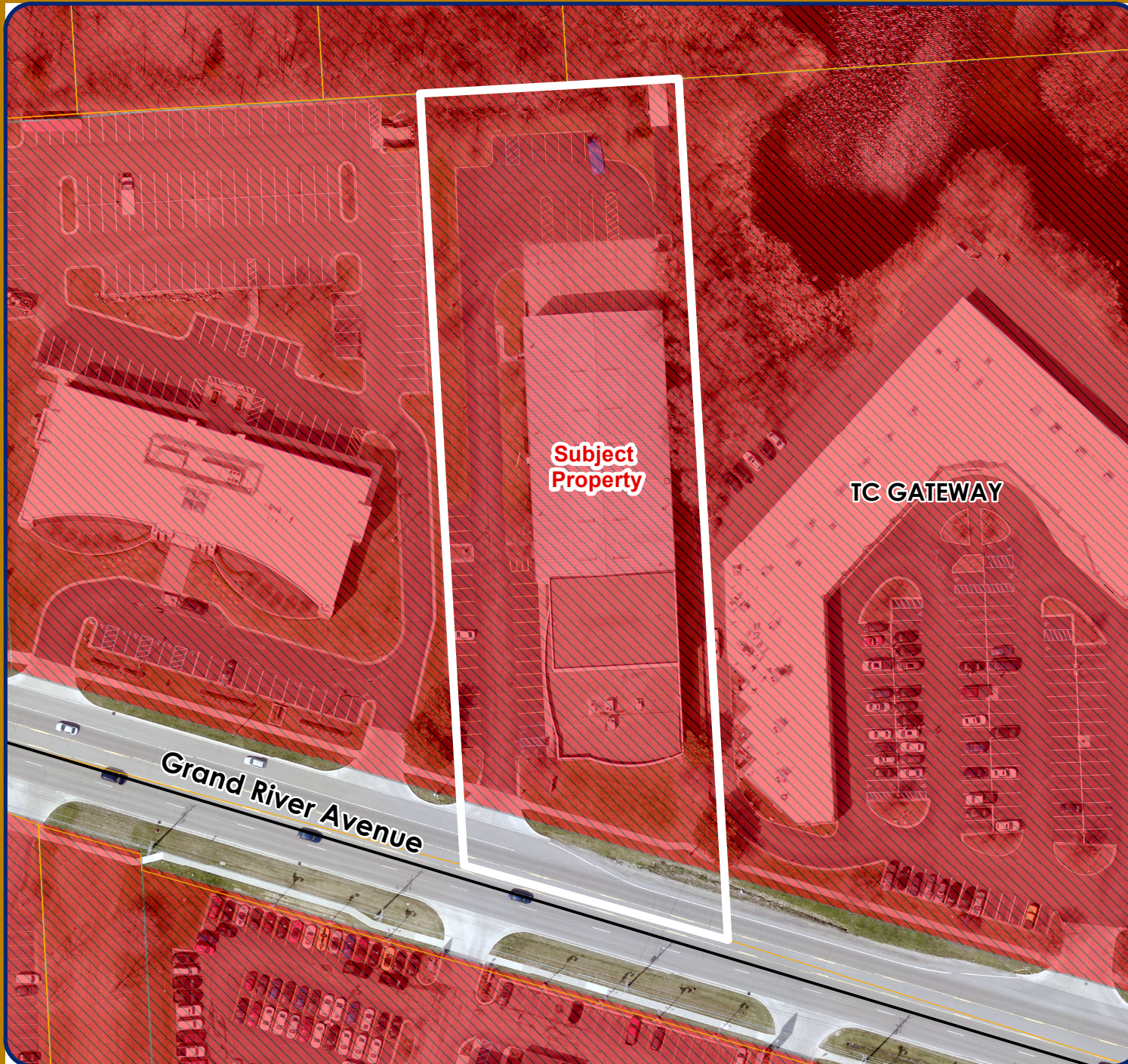
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# JSP 18-74 SLI MEDICAL OFFICE BUILDING

Future Land Use



**LEGEND**

FUTURE LAND USE


- Single Family
- Multiple Family
- PD1
- Office RD Tech
- Office Commercial
- Industrial RD Tech
- Heavy Industrial
- Regional Commercial
- TC Commercial
- TC Gateway
- Educational Facility
- Public
- Private Park
- Cemety



**City of Novi**  
Dept. of Community Development  
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0 20 40 80 120 Feet  
1 inch = 98 feet



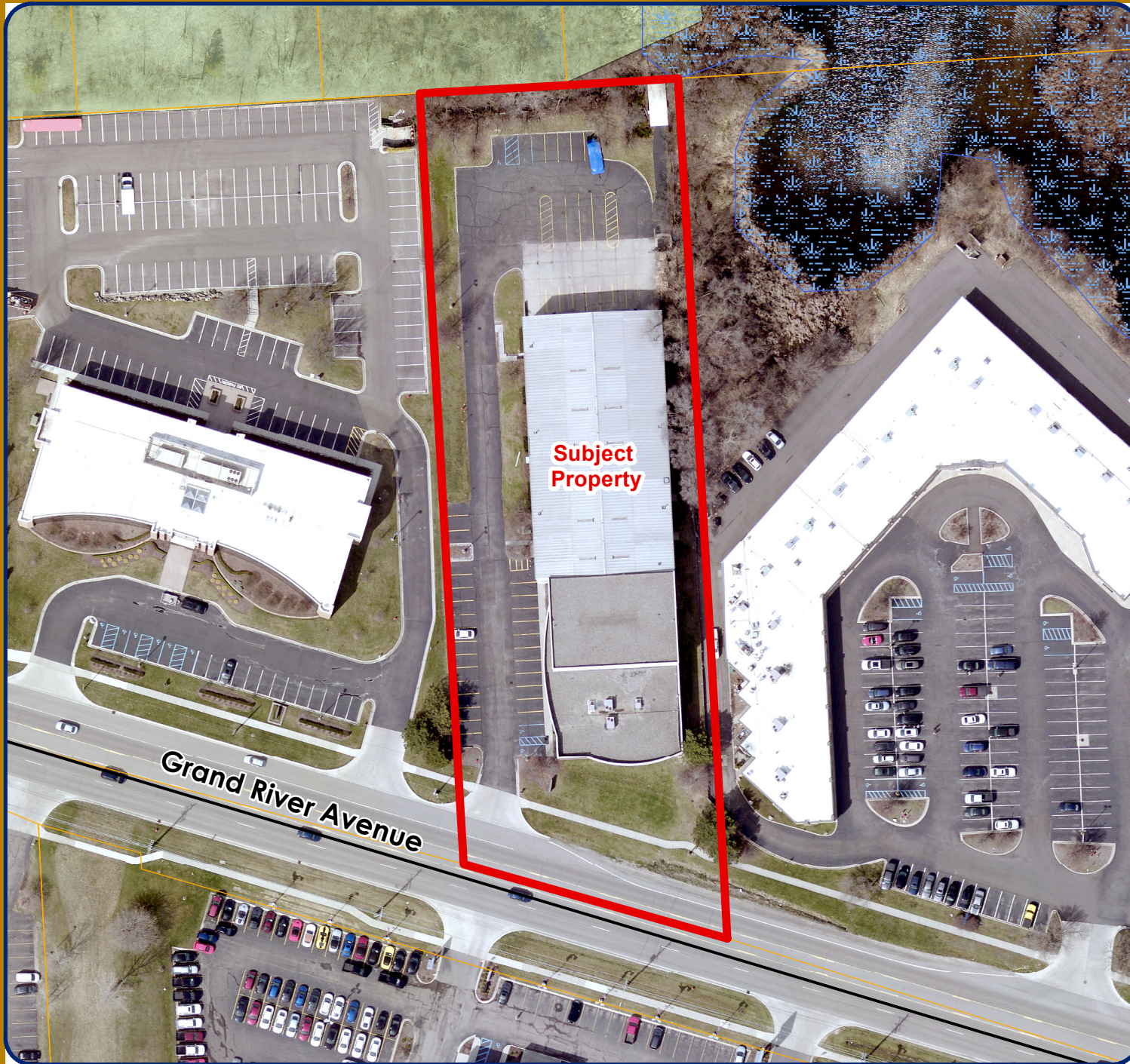
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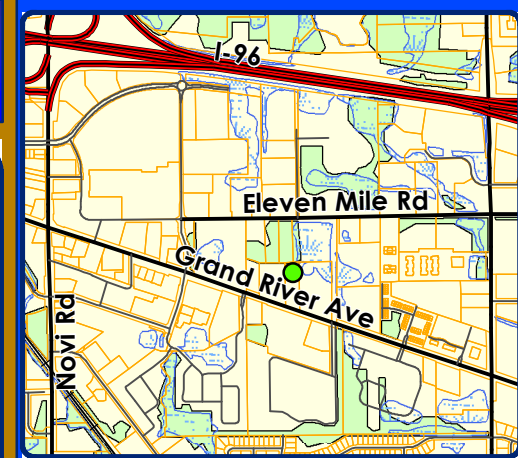
# JSP 18-74 SLI MEDICAL OFFICE BUILDING

## Natural Features



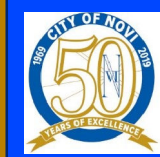
**Subject Property**

**Grand River Avenue**



### LEGEND

-  WETLANDS
-  WOODLANDS



## City of Novi

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1 inch = 98 feet



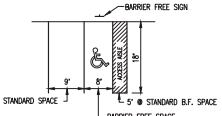
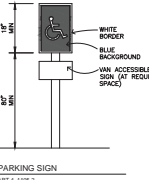
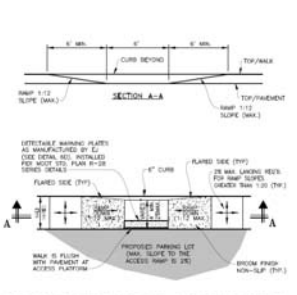
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**SITE PLAN**

(Full size drawings available for viewing at the Community Development Department)





SIGN QUANTITIES TABLE		
TYPE	QUANTITY	DIMENSIONS
HANDICAP SIGN	6	12" X 24"
DISCHARGE SIGN	2	12" X 24"

**NOTES:**  
SIGNING SHALL BE PLACED 2 FEET FROM CURB OR SIDEWALK EDGE.  
ALL SIGNS SHALL BE 7 FEET FROM THE FINAL GRADE.  
ALL PAVEMENT MARKINGS SHALL BE 4" THICK AND YELLOW STRIPES TO MATCH EXISTING MARKINGS.  
PAVEMENT ON NORTH SIDE OF SITE TO BE EXTENDED 2 FEET FOR ADEQUATE DRIVE AISLE SPACING. DRAINAGE SWALE WILL NOT BE AFFECTED.  
SEE CITY OF NOVI DETAIL SHEETS FOR ALL PAVEMENT DETAILS.

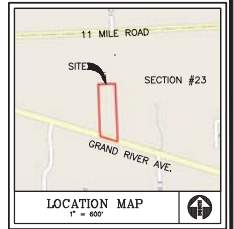
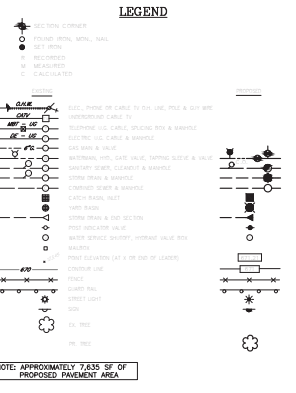
**BICYCLE PARKING:** ONE SPACE PER 20 EMPLOYEES ON THE MAXIMUM SHIFT, MINIMUM 2 SPACES.  
46 TOTAL EMPLOYEES  
46/20=2.3 SPACES NEEDED, 2 SPACES REQUIRED  
USE INVERTED "L" DESIGN FOR BIKE RACK  
LOADING ZONE= 10 SF PER FRONT OF BUILDING  
LOADING ZONE=84'X10'=840 SF REQUIRED

**PARCEL DESCRIPTION**  
A PART OF THE NE 1/4 OF SECTION 23, T1N, R8E, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION 23, THENCE N89°45'39"E 284.67 FEET ALONG THE NORTH LINE OF SAID SECTION 23, AN DTH CENTERLINE OF ELEVEN MILE ROAD; THENCE S01°27'28"E 527.03 FEET TO THE POINT OF BEGINNING; THENCE N89°45'39"E 67.68 FEET; THENCE S09°45'39"E 585.77 FEET TO THE CENTERLINE OF GRAND RIVER AVENUE; THENCE W71°40'17"W 156.36 FEET ALONG THE CENTERLINE OF GRAND RIVER AVENUE; THENCE N09°45'39"W 523.36 FEET; THENCE N89°45'39"E 107.02 FEET TO THE POINT OF BEGINNING, CONTAINING 2.23 ACRES OF LAND, MORE OR LESS.

**NOTE:** THERE ARE NO WETLANDS LOCATED ON SITE PER THE NATIONAL WETLANDS INVENTORY MAPS.  
**NOTE:** NO FLOODPLAIN IS LOCATED ON SITE.  
**NOTE:** NO REGULATED WETLANDS ON SITE.

**PARKING REQUIREMENTS:**  
1 SPACE PER 167 S.F. FLOOR AREA OFFICE  
12,810 S.F. / 167 S.F. = 77 SPACES  
1 SPACE PER 222 S.F. FLOOR AREA OFFICE  
9,350 S.F. / 222 S.F. = 42 SPACES  
1 SPACE PER EMPLOYEE = 3 SPACES  
**REQUIRED PARKING:** 122 SPACES INCLUDING 3 ADA SPACES  
**EXISTING PARKING:** 37 SPACES INCLUDING 4 ADA SPACES  
**PROPOSED PARKING:** 37 SPACES INCLUDING 2 ADA SPACES  
**TOTAL ON-SITE PARKING:** 74 SPACES INCLUDING 6 ADA SPACES

**NOTE:** A MINIMUM 64 PARKING SPACES ARE REQUIRED BASED ON A PARKING LOT STUDY. SEE PARKING NEEDS ASSESSMENT BY RICH & ASSOCIATES PARKING CONSULTANTS DATED 12/12/18

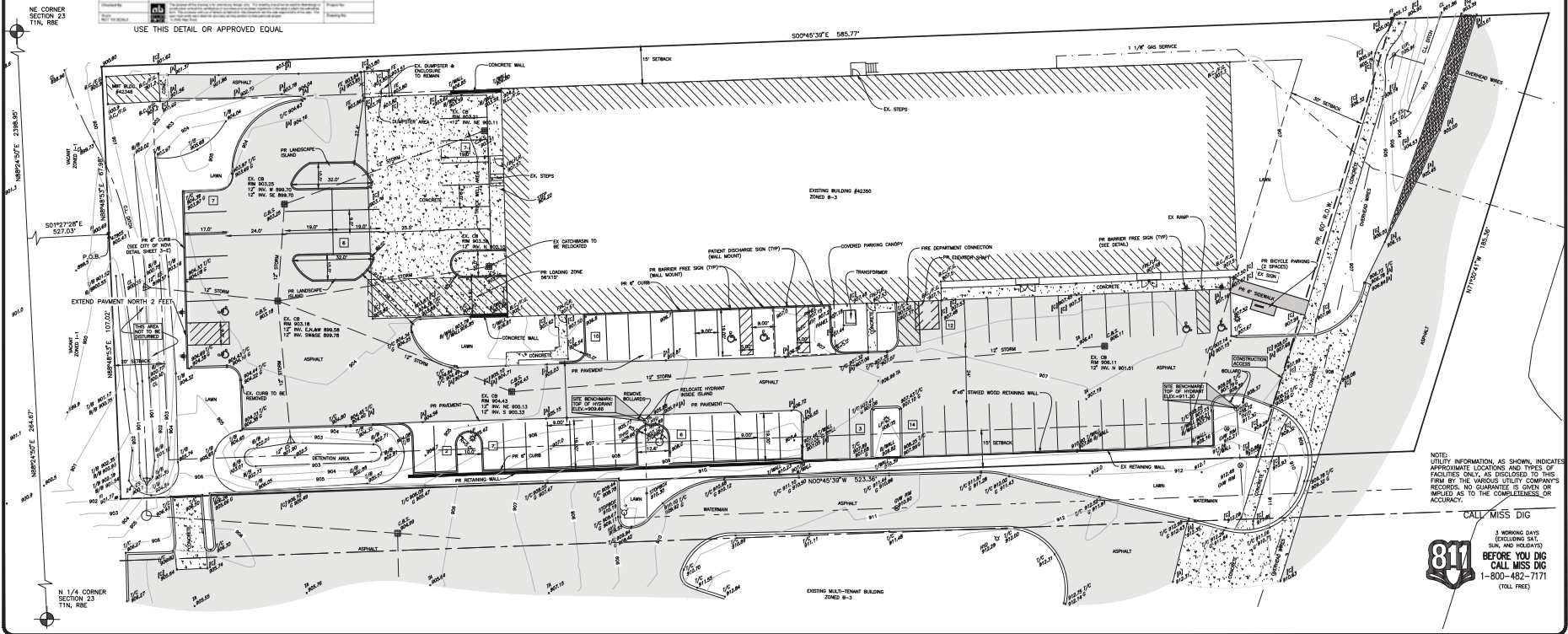
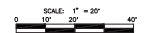


**SITE BENCHMARKS (NAVD83):**  
1. TOP OF HYDRANT ON WEST SIDE OF SITE ENTRANCE  
ELEV: 911.30  
2. TOP OF HYDRANT ON WEST SIDE OF PARKING LOT APPROX. 250' NORTH OF GRAND RIVER SITE ENTRANCE  
ELEV: 909.66

**NOTE:** NO WETLANDS ARE SHOWN ON THE PROPERTY PER THE NATIONAL WETLAND INVENTORY MAPS AND THE CITY WETLAND MAPS.

**SITE DATA:**  
ADDRESS: 42350 GRAND RIVER AVENUE  
PID: 22-23-226-001  
ZONED: B-3, GENERAL BUSINESS  
AREA: 2.23 ACRES

**NOTE:** TITLE WORK HAS NOT BEEN PROVIDED. FENN & ASSOCIATES, INC. IS RELEASED OF ANY AND ALL LIABILITY RELATED TO ANY EXAMINATIONS OR ENCUMBRANCES AFFECTING THE PROPERTY.



**Fenn & Associates, Inc.**  
Land Surveying and Civil Engineering  
14933 Commerce Drive, Southfield, Michigan, 48034  
Phone: 588-254-9577 Fax: 588-254-9020  
www.fennandassociates.com

**PRELIMINARY SITE PLAN**  
**SLI MEDICAL**  
PART OF THE NE 1/4 OF SECTION 23, T1N, R8E, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

**DISTRIBUTION**

PRELIMINARY	
APPROVAL	
CONSTRUCTION	
AS BUILT	

**REVISIONS**

DATE	REVISIONS
2/27/19	PER CLIENT
5/8/19	PER CITY



**CLIENT**  
ARIS BERRIS  
1072 EQUINE STRAIN DRIVE  
SOUTH LYON, MI 48075  
248-308-2846

**PROJECT NAME**  
SLI MEDICAL

**PROJECT NUMBER**  
C18-033.02

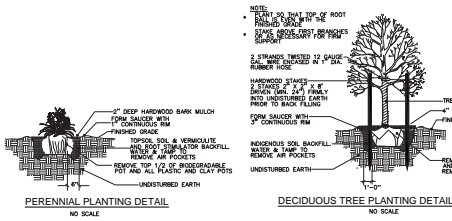
**SHEET NAME**  
PRELIMINARY SITE PLAN

**DRAWING SCALE:** 1" = 20'  
**DATE:** 09/25/18  
**PROJECT MANAGER:** JSR, P.E.  
**DESIGNED BY:** JUS, P.E.  
**DRAWN BY:** JUS, P.E.  
**FIELD BY:** BK, VA.  
**CHECKED BY:** TWIGBUSH, PE

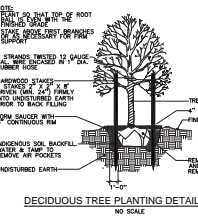
**SHEET NUMBER**  
1 OF 2



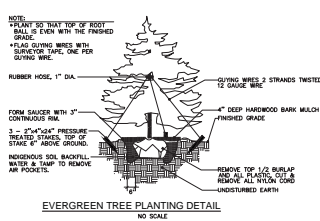




PERENNIAL PLANTING DETAIL  
NO SCALE



DECIDUOUS TREE PLANTING DETAIL  
NO SCALE



EVERGREEN TREE PLANTING DETAIL  
NO SCALE

**PLANT NOTES:**

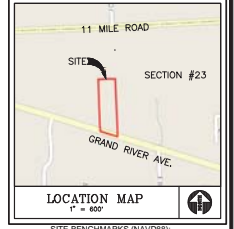
- PLANT MATERIALS SHALL BE SOUND, HEALTHY, VIGOROUS, FREE FROM PLANT DISEASES AND INSECTS OR THEIR EGGS, AND SHALL HAVE NORMAL, HEALTHY ROOT SYSTEMS. CALIPER MEASUREMENTS SHALL BE TAKEN 2\"/>
- PLANTING POCKETS SHALL BE DUG SO THAT THE POCKET DIAMETER IS A MINIMUM OF 24\"/>
- PLANTING POCKETS SHALL BE NO DEEPER THAN THE HEIGHT OF THE ROOT BALL. SAUCER SHALL BE MADE ON THE EDGES OF PLANTING POCKET.
- TREES SHALL BE GUYED WITH TWO STRANDS TWISTED OF 13 GAUGE GALVANIZED WIRE. PROTECT THE TREE TRUNK WITH HOSE OR OTHER ACCEPTABLE MEANS. GUY TO TWO HARDWOOD 2\"/>
- MULCH SHALL BE GROUND OR SHREDDED HARDWOOD BARK, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING FOR PLANTING BEDS AND INDIVIDUAL TREE PLANTINGS.
- TREES SHALL BE MULCHED WITH MIN. 4\"/>
- SHRUBS SHALL BE MULCHED IN BEDS ACCORDING TO THE DETAIL. ON THIS SHEET, MULCH SHALL BE MIN. 4\"/>
- PLANTS SHALL BE QUARANTINED FOR ONE COMPLETE GROWING SEASON (12 MONTHS). DEAD MATERIALS SHALL BE REPLACED AS NEEDED PRIOR TO THE EXPIRATION OF THE GUARANTEE PERIOD, IN ACCORDANCE WITH THE LOCAL ORDINANCE REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE IN WRITING A LIST OF RECOMMENDED MAINTENANCE PROCEDURES FOR THE FIRST GROWING SEASON.
- REMOVE TOP 1/2 OF BURLAP ON ROOT BALL OR ALL IF WRAPPED IN PLASTIC COVERING AND/OR ALL NYLON CORD.
- PLANT MATERIALS SHALL BE USED IN COMPLIANCE WITH THE PROVISIONS OF THE LOCAL ORDINANCE AND SHALL BE NURSERY GROWN, FREE OF PESTS AND DISEASES, HARDY IN THIS COUNTY, IN CONFORMANCE WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN, AND SHALL HAVE PASSED INSPECTIONS REQUIRED UNDER STATE REGULATIONS. IN ADDITION, PLANT MATERIALS SHALL CONFORM TO THE STANDARDS OF COUNTY COOPERATIVE EXTENSION SERVICE. A COPY OF WHICH SHALL BE KEPT ON FILE WITH THE PLANNING OFFICIAL.
- SOO SHALL BE CERTIFIED TURF GRASS SOO COMPLYING WITH A S.P.A. SPECIFICATIONS FOR MACHINE-CUT THICKNESS, SIZE, STRENGTH, MOISTURE CONTENT, AND MOVED HEIGHT, AND FREE OF WEEDS AND UNDESIRABLE NATIVE GRASSES. PROVIDE VISIBLE SOO OF UNIFORM DENSITY, COLOR, AND TEXTURE. SOO SHALL BE STRONGLY ROOTED AND CAPABLE OF VIGOROUS GROWTH AND DEVELOPMENT WHEN PLANTED. CUT SOO SHALL NOT BE PERMITTED TO DRY OUT AND SHALL BE LAD WITH 24 HOURS OF WHEN CUT. FERTILIZE AND WATER THE SOO AS REQUIRED DURING THE FIRST GROWING SEASON TO MAINTAIN A DENSE AND VIGOROUS GROWING SOO.
- PLANTING BED SOO. FOR ANNUALS SHALL BE SCREENED TOPSOIL. TO DETER WEED GROWTH DURING THE ESTABLISHMENT OF ANNUALS, APPLY A PRE-EMERGENT PRESEED OR EQUAL AFTER PLANTING ANNUALS, 2-3 TIMES PER GROWING SEASON, AT A RATE AS PER RECOMMENDATION OF PRODUCT MANUFACTURER.
- TREES OF 2\"/>

NOTE: DETAILED LANDSCAPE PLAN TO BE PROVIDED BY LANDSCAPE ARCHITECT PRIOR TO FINAL SITE PLAN APPROVAL

NOTE: EXISTING TREES IMPACTED BY IMPROVEMENTS TO BE REPLACED OR TRANSPLANTED.

TREES TO BE REMOVED=7  
TREES TO BE PLANTED=10

**LEGEND**

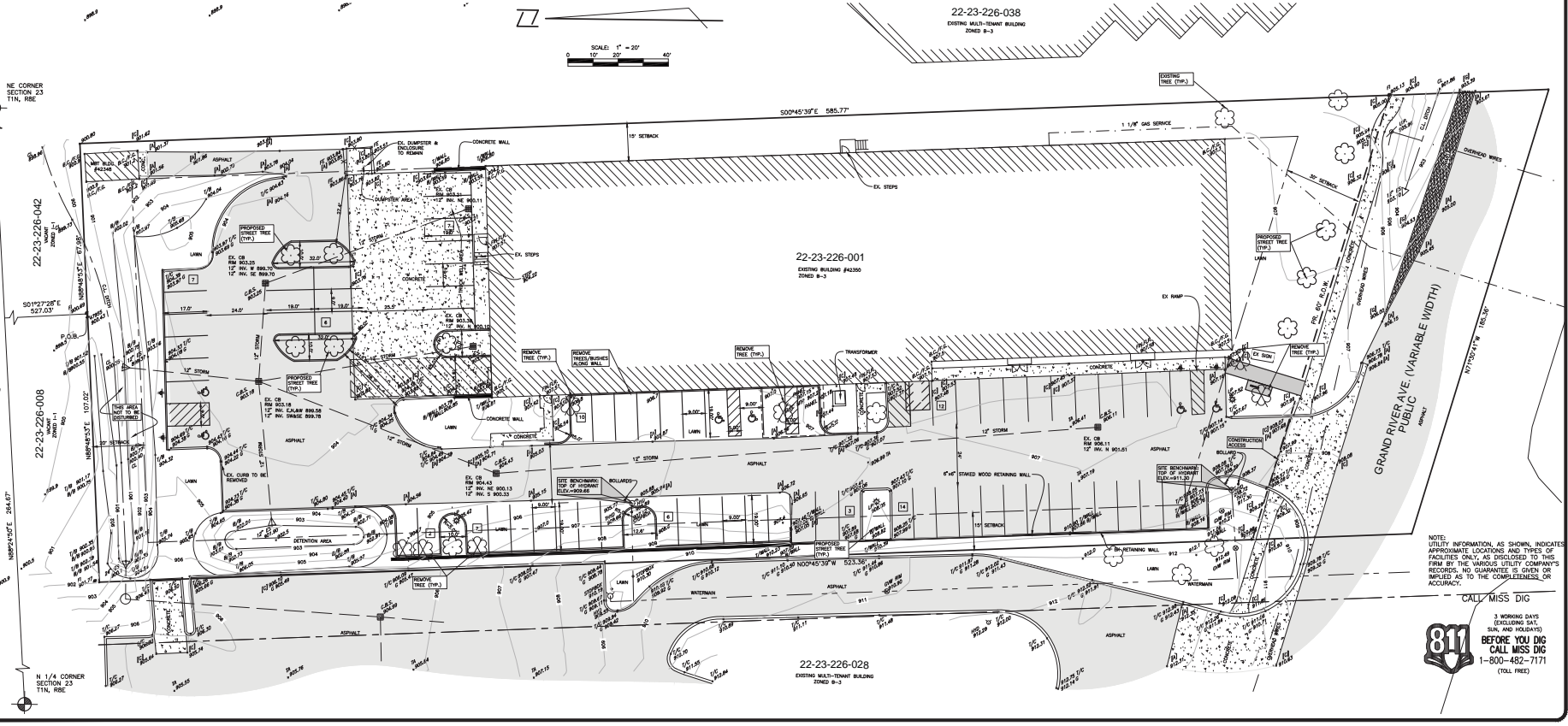


LOCATION MAP  
1" = 600'

SITE BENCHMARKS (NAVD83):  
1. TOP OF HYDRANT ON WEST SIDE OF SITE ENTRANCE  
ELEV: 911.30  
2. TOP OF HYDRANT ON WEST SIDE OF PARKING LOT APPROX. 250' NORTH OF GRAND RIVER SITE ENTRANCE  
ELEV: 909.66

**PARCEL DESCRIPTION**

A PART OF THE NE 1/4 OF SECTION 23, 11N, 88E, CITY OF NOV, OAKLAND COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION 23; THENCE N89°54'57.2\"/>



**Fenn & Associates, Inc.**  
Land Surveying and Civil Engineering  
14933 Coopers Creek Drive, Southfield, Michigan, 48034  
Phone: 588-254-9527 Fax: 588-254-9020  
www.fennandassociates.com

PRELIMINARY LANDSCAPE PLAN  
**SLI MEDICAL**  
PART OF THE NE 1/4 OF SECTION 23, 11N, 88E,  
CITY OF NOV, OAKLAND COUNTY, MICHIGAN

DISTRIBUTION	
PRELIMINARY	
APPROVAL	
CONSTRUCTION	
AS BUILT	
REVISIONS	
DATE	REVISIONS
2/27/19	PER CLIENT
5/8/19	PER CITY

CLIENT  
ARIS BERRIS  
1072 EQUESTRIAN DRIVE  
SOUTH LYON, MI 480175  
248-308-2846

PROJECT NAME  
**SLI MEDICAL**

PROJECT NUMBER  
C18-033.02

SHEET NAME  
**PRELIMINARY LANDSCAPE PLAN**

DRAWING SCALE: 1" = 20'  
DATE: 09/25/18  
PROJECT MANAGER: JSR, P.E.  
DESIGNED BY: JUS, P.E.  
DRAWN BY: JUS, P.E.  
FIELD BY: BK, VA  
CHECKED BY: TWIGLER, PE

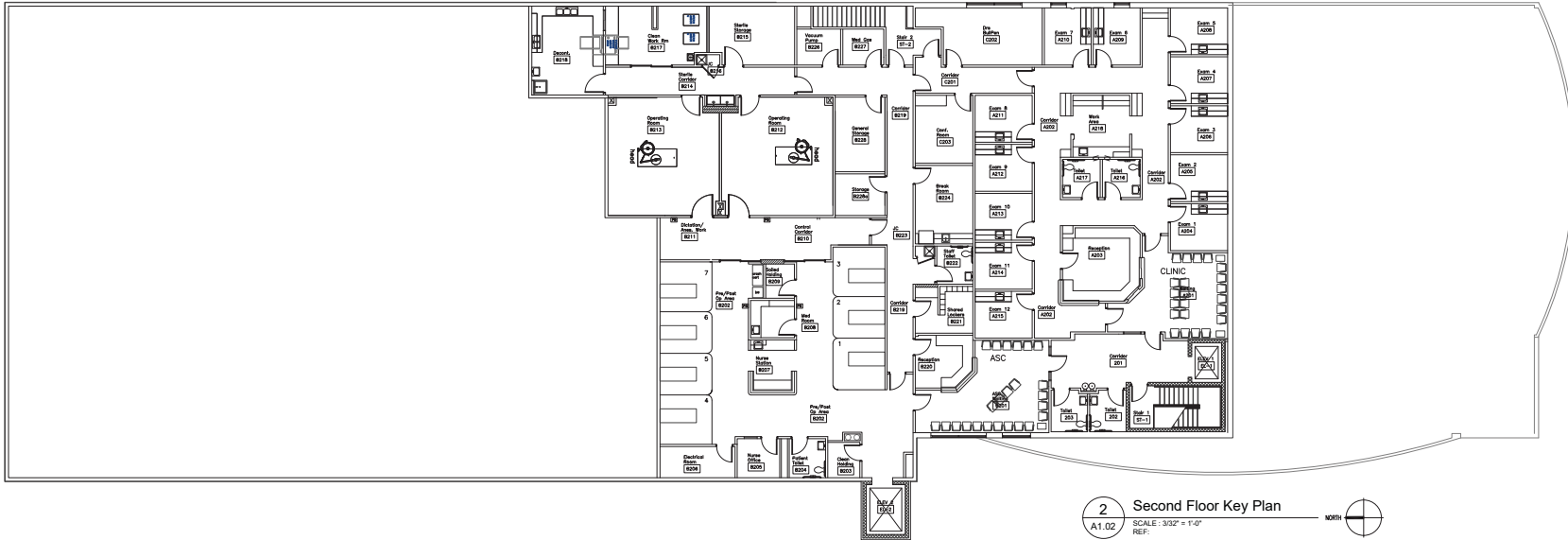
SHEET NUMBER  
1 OF 1





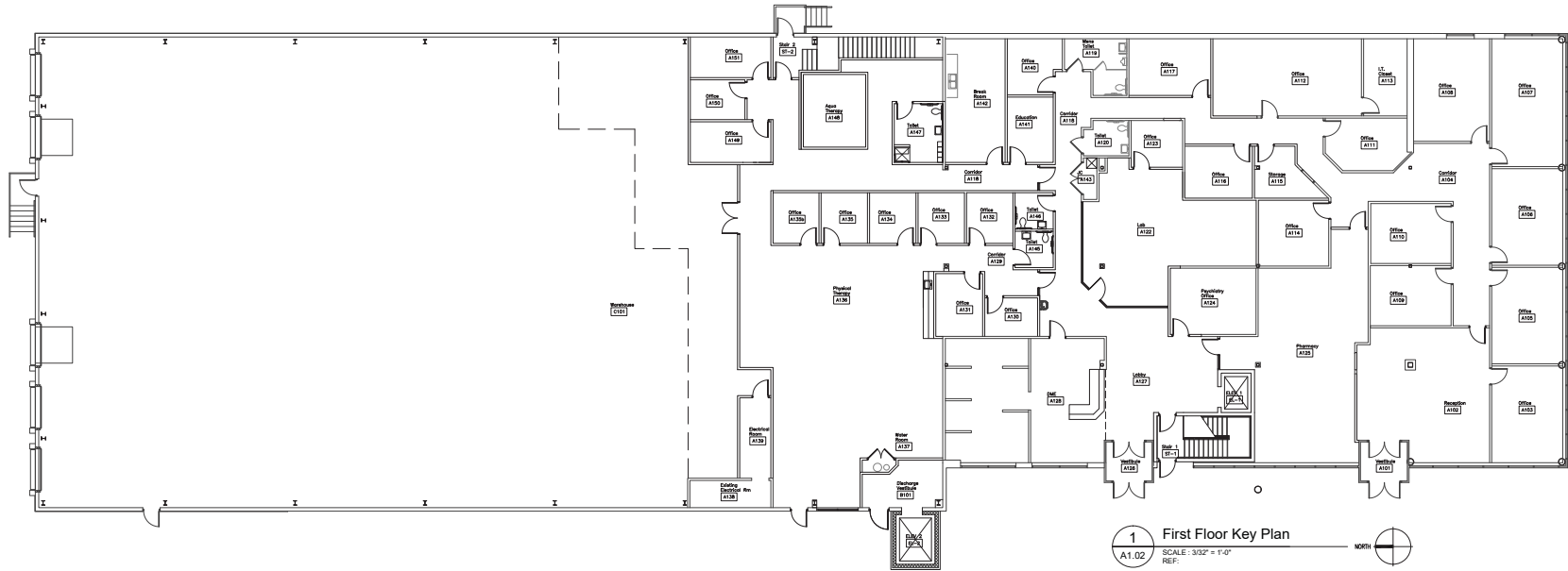
**BUILDING ELEVATIONS**

1 2 3 4 5 6 7 8 9 10 12 14 16



**2** Second Floor Key Plan  
 A1.02 SCALE: 3/32" = 1'-0"  
 REF:

1 2 3 4 5 6 7 8 9 10 12 14 16



**1** First Floor Key Plan  
 A1.02 SCALE: 3/32" = 1'-0"  
 REF:

B  
C  
D  
E  
F

**Statement of Intent/Consent**  
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\*\*\* DO NOT SCALE DRAWINGS \*\*\*

CONSTRUCTION MANAGER:

CONSULTANT:

PROJECT NAME:

DRAWN BY: rs  
 CHECKED BY: jfr  
 APPROVED BY: jfr

REVISIONS:

DATE: May 08, 2019

PROJECT NO.: 2018.050

DRAWING NAME: Key Plan

SHEET NO.:

**A1.02**





**7 Existing Aerial - S.E. Corner**  
 SCALE: NTS  
 REF:



**6 Existing Photo - S.W. Elevation**  
 SCALE: NTS  
 REF:



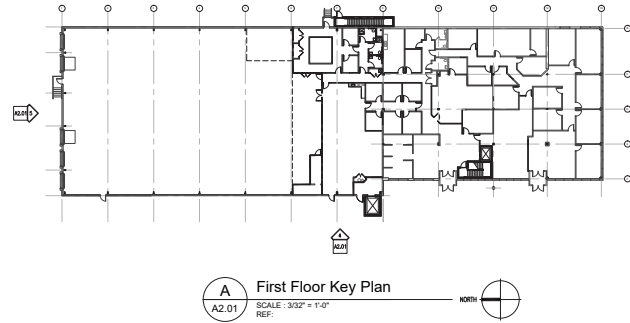
**5 Existing Photo - North Elevation**  
 SCALE: NTS  
 REF:



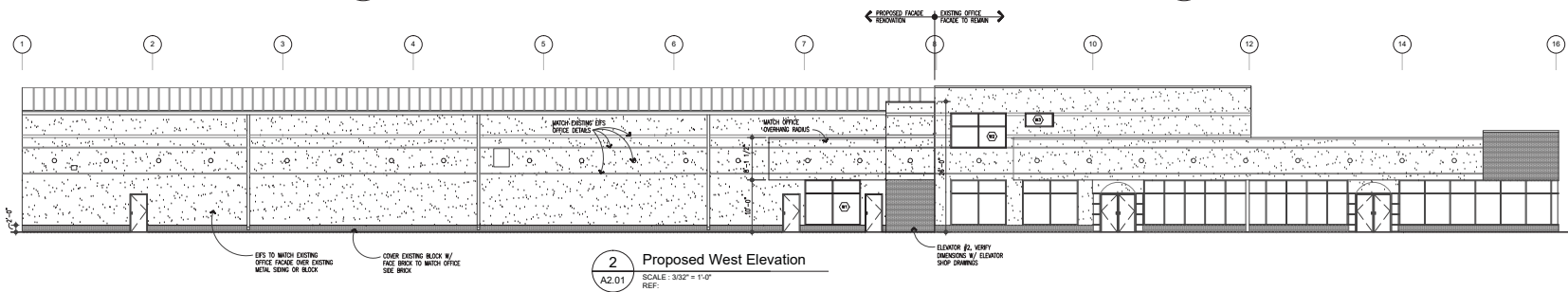
**4 Existing Photo - West Elevation**  
 SCALE: NTS  
 REF:



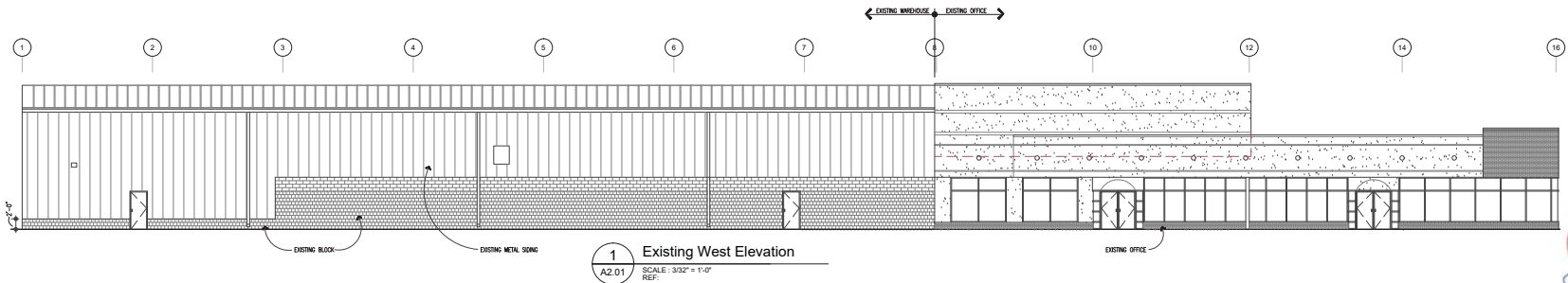
**3 Existing Photo - South Elevation**  
 SCALE: NTS  
 REF:



**A First Floor Key Plan**  
 SCALE: 3/32" = 1'-0"  
 REF:



**2 Proposed West Elevation**  
 SCALE: 3/32" = 1'-0"  
 REF:



**1 Existing West Elevation**  
 SCALE: 3/32" = 1'-0"  
 REF:



## PLANNING REVIEW



# PLAN REVIEW CENTER REPORT

June 03, 2019

**Planning Review**  
**SLI MEDICAL OFFICE**

JSP 18-74

**PETITIONER**

SLI Medical

**REVIEW TYPE**

Preliminary Site Plan (1<sup>st</sup> Revision)

**PROPERTY CHARACTERISTICS**

Section	23	
Site Location	West of Meadowbrook Road, Northside of Grand River Avenue 42350 Grand River Ave	
Site School District	Novi Community School District	
Site Zoning	B-3 General Business	
Adjoining Zoning	North	I-1 Light Industrial
	East	B-3 General Business
	West	B-3 General Business
	South	B-3 General Business
Current Site Use	Medical Office	
Adjoining Uses	North	Vacant
	East	Thomasville Shopping center
	West	General Office
	South	Pine Ridge Shopping Center
Site Size	2.22 Acres	
Plan Date	May 08, 2019	

**PROJECT SUMMARY**

The subject property has an existing building proposed to be remodeled and occupied with 12,810 square feet of medical office space, 9,390 square feet of general office space, along with a large warehouse space of approximately 23,000 square feet housing medical equipment. Cort Furniture, a furniture rental office, showroom and warehouse previously occupied the building. The applicant is proposing to build additional parking and related landscape improvements as required to accommodate the change of use.

**RECOMMENDATION**

Approval of the **Preliminary Site Plan is recommended** contingent on the applicant provided satisfactory responses to comments prior to Planning Commission meeting.

**ORDINANCE REQUIREMENTS**

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. **Please see the attached chart for information pertaining to ordinance requirements.** Items in **bold** below must be addressed and incorporated as part of the Final Site Plan submittal:

1. **Previous Site Plan approval conditions:** Planning Commission has approved land bank parking as part of site plan approval for site plan number SP 94-12A Cort Furniture on August 03, 1994. At

that time a waiver for reduction of side yard parking setback was granted for the west side (10 feet required, 5 feet) on a condition that additional green space is provided on an alternate location on the site. Additional parking shown on the west on the current plans is in compliance with the parking setbacks approved in 1994.

The approval was based on the following motion:

*To grant revised Preliminary Site Plan approval to Cort Furniture Rental, Inc., SP94-12A, per the consultants letters and with the condition that Ms. Lemke, the City's Landscape Architect, shall determine the amount and type of site landscaping needed to compensate for the waiver of greenspace.*

**Based on the above motion, the proposed site plan should comply with the amount of green space and type of landscaping proposed on the final approved site plan. A copy of the land bank plan and the approved landscape plans are attached to the reviews for reference. Please refer to Landscape review for more details.**

2. **Barrier Free Parking Spaces:** A minimum of four parking spaces are required based on ADA guidelines. The plan shows about eight spaces. One of the areas in the building is labeled as 'Physical Therapy' on the floor plan. The applicant should indicate if additional handicap spaces would be warranted based on the use and try to accommodate those spaces at this time. **Building indicates that a minimum of 20% of regular parking required for physical therapy use should be barrier free. This would affect the minimum parking available on the site. If it is determined that additional parking will be required as part of the Building Plan review, please note that a revised plan will required along with any related approval. Please clarify in the response letter.**
3. **Bike Parking:** Bike parking is required for the proposed use. Please provide the minimum required bike parking. Refer to plan review chart for more details.
4. **Truck Maneuvering Diagrams:** Please provide truck maneuvering paths to indicate how a dumpster truck and loading trucks would access the dumpster and the loading dock respectively and exit the site.
5. **Lighting Plan:** Please clarify if any additional site lighting or building lighting is proposed. If yes, a lighting and photometric plan as noted in the Plan review chart is required at the time of final site plan.
6. **Planning Commission Waivers:**
  - a. **Traffic Study:** A full Traffic Impact Study is required as the trips generated from this use exceed the threshold. However, the City's area-wide study, which was recently completed, includes the impacts of the existing development. A parking study was provided that provided information about trip generation. For reasons above, staff supports a waiver to allow the Parking study in lieu of full impact traffic study for the proposed use.
  - b. **Landscape waivers:** It appears that the multiple landscape waivers may be required. They are unidentified at this time due to lack of landscape plan. Please refer to landscape review for more details. **Landscape is currently not recommending approval due to numerous deficiencies. Please refer to landscape review for more details.**
7. **Zoning Board of Appeals Variance:**
  - a. **Reduction of minimum required parking spaces:** Based on Section 5.12 of the Zoning Ordinance, for the proposed use and square footages indicated for those uses, a minimum of 122 parking spaces are required on site. There are approximately 53 spaces existing on the property. The applicant has provided a Parking Needs Assessment that determined that a minimum of 64 parking spaces are required based on the information provided for the

proposed use as physician's offices, the number of employees working in the building, and the assumed values for patient loads, arrival patterns and average lengths of stay. The City's Traffic Engineering consultant reviewed the Parking Needs Assessment and agrees with the findings. Traffic reviews states that

1. Parking needed was estimated to be increased to 64 spaces, with 74 provided.
2. Parking at the adjacent building utilizes less than 40% of its parking on a regular basis, so shared use could be feasible if needed in the future. However projected parking amounts will not require it at this time.
3. In summary, parking proposed should be sufficient to see to the needs of the SLI Medical Office without issues, having a surplus of 10 spaces available even in the high-volume/long-visit scenario.

The site plan indicates a total of 74 parking spaces on site, once the proposed improvements are made. The reduction in the minimum required parking (from 122 to 75, a total of 47 spaces) would require approval of a variance from Zoning Board of Appeals, which could be justified based on the information in the submittal, and the applicant's parking assessment prepared by Rich and Associates, and as reviewed by the City's Traffic Engineering Consultant. Please note, the study is based on the current proposed mix of uses only. Parking needs should be reassessed if a change of use happens.

This request is scheduled for consideration by Zoning Board of Appeals at their June 11 meeting. **The ZBA variance request is for 75 minimum parking. The current revised plan indicates 74 spaces. The applicant should provide a revised site plan in PDF format that indicates 75 spaces prior to Planning Commission meeting.**

- b. Building Setbacks: The plan review for first submittal for Preliminary Site plan requested a clarification whether the stairs indicated in the eastern side yard are proposed or existing.
8. **Plan Review Chart:** Planning review chart provides additional comments and requests clarification for certain items. **Please address each of the comment in 'BOLD' in the review chart in the response letter.**

## OTHER REVIEWS

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- a. Engineering Review: Engineering recommends approval of the Preliminary Site Plan with additional information to be provided with the Final Site Plan.
- b. Landscape Review: Landscape is currently not recommending approval of the Preliminary Site Plan due to lack of landscape plan and not meeting the minimum requirements for green space from previously approved plan.
- c. Traffic Review: Traffic recommends approval of the Preliminary Site Plan with additional information to be provided with the Final Site Plan
- d. Facade Review: Façade recommends approval. No revisions from last review.
- e. Fire Review: Fire is currently recommending approval.

## NEXT STEP: PLANNING COMMISSION

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Landscape review is currently not recommending approval due to numerous deficiencies noted in the review letter. The plan is not prepared by a Professional Landscape Architect. The Site Plan is not ready for consideration by Planning Commission. However, the applicant agreed to authorize a professional landscape architect to address all the comments in the response letter and provide a revised landscape plan prior to Planning Commission meeting. Staff has agreed to provide expedited responses accordingly. **Please provide the following no later than 10 am on June 7, 2019 or sooner to be placed on Planning Commission meeting on June 12, 2019.**

1. A copy of the site plan(dated 05-08-19) as submitted in PDF format
2. Revised Site plan indicating 75 parking spaces

3. Site Plan Revision form: For revised landscape plan review
4. Revised Landscape Plan addressing landscape review comments
5. A detailed response letter addressing all comments from all reviews
6. A letter with a list of requested Planning Commission waivers as noted in the Plan Review letter and landscape review letter.

### **FINAL SITE PLAN SUBMITTAL**

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After receiving Planning Commission's and Zoning Board of Appeals approval of the Preliminary Site Plan, please follow the Final Site Plan Checklist and submit for approval:

1. Six copies of Final Site Plan sets addressing all comments from Preliminary review,
2. Response letter addressing ALL the comments from ALL the review letters and **refer to sheet numbers where the change is reflected.**
3. Final Site Plan Application
4. Final Site Plan Checklist
5. Engineering Cost Estimate
6. Landscape Cost Estimate
7. Other Agency Checklist
8. Non-Domestic User Survey (Non-residential developments)
9. Legal Documents as required
10. Drafts of any legal documents (note that off-site easements need to be executed and any on-site easements need to be submitted in draft form before stamping sets will be stamped)

### **ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER**

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After receiving Final Site Plan approval, please submit the following for Electronic stamping set approval:

1. Plans addressing the comments in all of the staff and consultant review letters in PDF format.
2. Response letter addressing all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

### **STAMPING SET APPROVAL**

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Stamping sets are still required for this project. After having received all of the review letters from City staff the applicant should make the appropriate changes on the plans and submit **10 size 24" x 36" copies with original signature and original seals,** to the Community Development Department for final Stamping Set approval.

### **SIGNAGE**

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Exterior Signage is not regulated by the Planning Division or Planning Commission. Sign permit applications that relate to construction of a new building or an addition to an existing building may be submitted, reviewed, and approved as part of a site plan application. Proposed signs shall be shown on the preliminary site plan. Alternatively, an applicant may choose to submit a sign application to the Building Official for administrative review. Following preliminary site plan approval, any application to amend a sign permit or for a new or additional sign shall be submitted to the Building Official. Please contact the Ordinance Division 248.735.5678 for information regarding sign permits.

### **STREET AND PROJECT NAME**

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**Street and Project name have been approved by the Committee.**

### **PRE-CONSTRUCTION MEETING**

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**A Pre-Construction meeting is required for this project.** Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued. **No work on the site may be commenced before a pre-construction meeting is held.** There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.



## CHAPTER 26.5

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Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or [skomaragiri@cityofnovi.org](mailto:skomaragiri@cityofnovi.org).



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Sri Ravali Komaragiri – Planner



## PLANNING REVIEW CHART

### B-3 Community Business District

**Review Date:** June 3, 2019  
**Review Type:** Preliminary Site Plan  
**Project Name:** **JSP 18-74 SLI MEDICAL OFFICE**  
**Plan Date:** May 08, 2019  
**Prepared by:** Sri Ravali Komaragiri  
**Contact:** **E-mail:** skomaragiri@cityofnovi.org **Phone:** 248.735.5607

Items in **Bold** need to be addressed by the applicant with Final Site Plan  
 Items in **Bold and Underlined** do not comply with the Zoning Ordinance at this time

Item	Required Code	Proposed	Meets Code	Comments
<b>Zoning and Use Requirements</b>				
<b>Master Plan</b> <i>(adopted July 26, 2017)</i>	TC Gateway	Medical office building	Yes	
<b>Area Study</b>	The site falls under Grand River Corridor	No changes to site frontage	NA	
<b>Zoning</b> <i>(Effective Dec. 25, 2013)</i>	B-3: General Business District	B-3: General Business District	Yes	
<b>Uses Permitted</b> <i>(Sec 3.1.12.B &amp; C)</i> <i>(Sec 3.1.21.B &amp; C)</i>	Sec 3.1.12.B Principal Uses Permitted. Sec 3.1.12C Special Land Uses	Medical office building	Yes	
<b>Phasing</b>		Phasing is not proposed with the current proposed concept plan	NA	
<b>B-3 Business District Required Conditions (Sec. 3.10)</b>				
<b>Uses enclosed within buildings</b> <b>(Sec. 3.10.1.B)</b>	All business, servicing or processing, except for off-street parking, loading/unloading shall be conducted within completely enclosed buildings	Unable to determine	No	<b>Add a note to the site plan</b>
<b>Height, bulk, density and area limitations (Sec 3.1.12)</b>				
<b>Frontage on a Public Street.</b> <i>(Sec. 5.12)</i>	Frontage on a Public Street is required	Frontage on Grand River Avenue	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>Minimum Zoning Lot Size and Lot width</b> (Sec 3.6.2.D)	2 acres  Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space.	2.22 Acres	Yes	
<b>Maximum % of Lot Area Covered</b> (By All Buildings)	(Sec 3.6.2.D)	No change from existing	NA	
<b>Building Height</b> (Sec. 3.1.23.D)	30 ft or 2 stories, whichever is less	No change from existing	NA	
<b>Building Setbacks</b> (Sec 3.1.12.D)				
Front (Grand River Avenue)	30 ft.	30 ft.	30 ft.	<b>Building plans indicate a proposed Stairwell in the eastern side yard.</b>  <b>Site plan labels it as existing. Floorplans indicate it as proposed. Please clarify.</b>  <u><b>A ZBA variance may be required if stairwell is proposed within building setbacks.</b></u>
Rear (north)	20 ft.	20 ft.	20 ft.	
Side (east)	15 ft.	15 ft.	15 ft.	
Side (west)	15 ft.	15 ft.	15 ft.	
<b>Parking Setback</b> (Sec 3.1.12.D)				
Front (Grand River Avenue)	20 ft.	No change from existing	NA	<b>Please dimension the setbacks.</b>  <b>Underage of minimum setback along western property line is consistent with the setbacks approved as part of site plan approval from 1994.</b>
Rear (north)	10 ft.	No change from existing	NA	
Side (east)	10 ft.	No change from existing	NA	
Side (west)	10 ft.	Approximately 5 feet	Yes?	

Item	Required Code	Proposed	Meets Code	Comments
				Refer to Plan Review letter for more details.
<b>Note To District Standards (Sec 3.6.2)</b>				
<b>Exterior Side Yard Abutting a Street</b> (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to the front yard setback requirement of the district in which located.	Not applicable	NA	
<b>Minimum Lot Area</b> (Sec. 3.6.2.D)	The minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space requirements	Proposed	Yes	
<b>Off-Street Parking in Front Yard</b> (Sec 3.6.2.E)	Off-street parking shall be permitted in the front yard, except that said parking shall observe the minimum off-street parking setback requirements in Sec. 3.1 and 5.5.3	Existing	NA	
<b>Wetland/ Watercourse Setback</b> (Sec 3.6.2.M)	Refer to Sec 3.6.2 for more details.	No wetlands on site; A drain exists along the northern property boundary. Wetland buffers exist. No impacts proposed	NA	
<b>Parking setback screening</b> (Sec 3.6.2.P)	Required parking setback area shall be landscaped per sec 5.5.3.	Landscape plan is provided; Screening is deficient	No	<b>See landscape letter for additional details</b>
<b>Modification of parking setback requirements</b> (Sec 3.6.2.Q)	Refer to Sec 3.6.2 for more details	Not required	NA	
<b>Parking setback for properties abutting residential</b> (Sec 3.6.2.L)	Wherever property directly abuts or is adjacent to residentially zoned property, the minimum parking yard setback shall be twenty (20) feet	Not adjacent to residential districts	NA	
<b>Loading Zone</b>	Off-street loading space shall	It appears that the	Yes?	<b>Refer to Traffic</b>

Item	Required Code	Proposed	Meets Code	Comments
	be provided as set forth and regulated in Section 5.4	loading areas are proposed in the rear yard		review for more comments.
<b>Parking, Loading, and Dumpster Requirements</b>				
<b>Medical Office</b> (5.2.12.C.a)	Parking Study: Minimum parking required for Medical Office: 12,810 SF = 77 spaces General Office: 9,390 SF = 42 spaces  Minimum parking required: 64	Total Proposed: 74	Yes	<p><b><u>The applicant should seek a variance from Zoning Board of Appeals for this item. Please refer to Plan review letter for more details.</u></b></p> <p>The plan should provide a minimum of 75 spaces as noted in the ZBA application</p>
<b>Parking Space Dimensions and Maneuvering Lanes</b> (Sec. 5.3.2)	<ul style="list-style-type: none"> <li>- 90° Parking: 9 ft. x 19 ft.</li> <li>- 24 ft. two way drives</li> <li>- 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping</li> </ul>	<ul style="list-style-type: none"> <li>- 90° Parking: 9 ft. x 19 ft.</li> <li>9 ft. x 17 ft. parking spaces along landscape area</li> </ul>	Yes	
<b>Parking stall located adjacent to a parking lot entrance</b> (public or private) (Sec. 5.3.13)	Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	NA	NA	
<b>End Islands</b> (Sec. 5.3.12)	<ul style="list-style-type: none"> <li>- End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles.</li> <li>- The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance</li> </ul>	Complies with the requirements	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>Barrier Free Spaces</b> <i>Barrier Free Code (2012 Michigan Building Code)</i>	- For 51 to 75 spaces 3 handicap spaces are required including 1van accessible -	2 van accessible 6 car accessible spaces provided	Yes	<b>Two van accessible spaces to the north do not provide a safe and convenient access to building.</b>
<b>Barrier Free Space Dimensions</b> <i>Barrier Free Code (2012 Michigan Building Code)</i>	- 8' wide with an 8' wide access aisle for van accessible spaces - 5' wide with a 5' wide access aisle for regular accessible spaces	8 ft. wide spaces with 8 ft. wide access aisle proposed.	Yes	<b>Are additional barrier free spaces required than the minimum required for the type of medical use located in the building? Refer to Plan Review letter for more detail</b>
<b>Barrier Free Signs</b> <i>Barrier Free Code</i>	One sign for each accessible parking space.	Sign not indicated	No	Please propose a sign as needed and provide additional details
<b>Minimum number of Bicycle Parking</b> <i>(Sec. 5.16.1)</i>	One (1) space for each twenty (20) employees on the maximum shift, minimum two (2) spaces	Two spaces proposed	Yes	
<b>Bicycle Parking General requirements</b> <i>(Sec. 5.16)</i>	- No farther than 120 ft. from the entrance being served - When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations - Spaces to be paved and the bike rack shall be inverted "U" design - Shall be accessible via 6 ft. paved sidewalk	Not farther than 120 ft.	Yes?	
<b>Bicycle Parking Lot layout</b> <i>(Sec 5.16.6)</i>	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double	Not provided	No	<b>Provide a bike pad detail as noted in the Zoning Ordinance</b>
<b>Loading Spaces</b> <i>(Sec. 5.4.2)</i>	- Loading, unloading space shall be provided in the rear yard at a ratio of 10 sq. ft. for each front foot of building	Loading space is located in rear yard and appears to be in compliance	Yes?	<b>Refer to Traffic review for more details. Please indicate the largest truck that would</b>

Item	Required Code	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> <li>- Except in the case of a double frontage lot, loading-unloading, as well as trash receptacles may be located in an interior side yard beyond the minimum side yard setback requirement of the district; location subject to approval by the City.</li> </ul>			<p><b>access the site.</b></p>
<p><b>Dumpster</b> (Sec. 4.19.2.F)</p>	<ul style="list-style-type: none"> <li>- Located in rear yard or interior side yard in case of double frontage</li> <li>- Attached to the building OR</li> <li>- No closer than 10 ft. from building if not attached</li> <li>- Not located in parking setback</li> <li>- If no setback, then it cannot be any closer than 10 ft, from property line.</li> <li>- Away from Barrier free Spaces</li> </ul>	<p>Dumpster is existing</p>	<p>Yes</p>	<p>Label the dumpster on the plans.</p>
<p><b>Dumpster Enclosure</b> (Sec. 21-145. (c))</p>	<ul style="list-style-type: none"> <li>- Screened from public view</li> <li>- A wall or fence 1 ft. higher than height of refuse bin</li> <li>- And no less than 5 ft. on three sides</li> <li>- Posts or bumpers to protect the screening</li> <li>- Hard surface pad.</li> <li>- Screening Materials: Masonry, wood or evergreen shrubbery</li> </ul>	<p>Dumpster is existing</p>	<p>Yes</p>	
<b>Lighting and Other Equipment Requirements</b>				
<p><b>Exterior lighting</b> (Sec. 5.7)</p>	<p>Photometric plan and exterior lighting details needed at time of Final Site Plan submittal</p>	<p>A lighting plan is provided if additional lighting is proposed</p>	<p>Yes</p>	<p><b>Submit a lighting plan at the time of final site plan</b></p>
<p><b>Roof top equipment and wall mounted utility equipment</b> (Sec. 4.19.2.E.ii)</p>	<ul style="list-style-type: none"> <li>- All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building</li> </ul>	<p>No changes to existing</p>	<p>NA</p>	<p><b>Confirm that no additional rooftop equipment is proposed</b></p>

Item	Required Code	Proposed	Meets Code	Comments
<b>Roof top appurtenances screening</b>	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road, or adjacent property	No changes to existing	NA	
<b>Sidewalk Requirements</b>				
<b>Sidewalks</b> (Sec. 7.4.2 of the Engineering Design Manual)	- 6 foot sidewalk required along Novi Road	Sidewalk is existing	Yes	
<b>Pedestrian Connectivity</b>	Whether the traffic circulation features within the site and location of automobile parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets	A sidewalk connection to Public walk along Grand River Avenue is proposed	Yes	
<b>Building Code and Other Design Standard Requirements</b>				
<b>Building Code</b>	Building exits must be connected to sidewalk system or parking lot.	Will be reviewed at the time of Building permit review	Yes	
<b>Design and Construction Standards Manual</b>	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	<b>Yes</b>	
<b>General layout and dimension of proposed physical improvements</b>	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in sq. ft.), location of proposed parking and parking layout, streets and drives, and indicate sq. ft. of pavement area (indicate public or private).	Mostly provided;	No	<b>Refer to all review letters for more comments</b>
<b>Economic Impact</b>	- Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied)	Not provided at this time	No	<b>Required prior to Planning Commission meeting</b>



Item	Required Code	Proposed	Meets Code	Comments
<b>Other Permits and Approvals</b>				
<b>Development/ Business Sign</b>	Signage if proposed requires a permit.	Not provided at this time	NA	<u>For sign permit information contact Maureen Underhill at 248-347-0438.</u>
<b>Development and Street Names</b>	Development and street names must be approved by the Street Naming Committee before Preliminary Site Plan approval	Not applicable	NA	<u>For approval of project and street naming contact Hannah Smith at 248-735-0579</u>
<b>Property Split</b>	The proposed property split must be submitted to the Assessing Department for approval.	Not applicable	NA	<u>Remove the property line in the drawings. Properties should be combined prior to final site plan approval.</u>
<b>Other Legal Requirements</b>				
<b>Conservation easements</b>	Conservation easements may be required for woodland impacts	Not applicable	NA	<u>The following documents will be required during Site Plan review process prior to final site plan approval</u>
<b>Lighting and Photometric Plan (Sec. 5.7)</b>				
<b>Intent (Sec. 5.7.1)</b>	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky	A lighting plan is provided if additional lighting is proposed	Yes	<b>Submit a lighting plan at the time of final site plan</b>
<b>Lighting Plan (Sec. 5.7.A.1)</b>	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures			
<b>Building Lighting (Sec. 5.7.2.A.iii)</b>	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.			

Item	Required Code	Proposed	Meets Code	Comments
<b>Lighting Plan</b> (Sec.5.7.A.2)	Specifications for all proposed & existing lighting fixtures			
	Photometric data			
	Fixture height			
	Mounting & design			
	Glare control devices			
	Type & color rendition of lamps			
	Hours of operation			
<b>Maximum Height of the Poles</b> (Sec. 5.7.3.A)	Height not to exceed maximum height of zoning district (or 25 ft. where adjacent to residential districts or uses)			
<b>Lighting Notes</b> (Sec. 5.7.3.B)	<ul style="list-style-type: none"> <li>▪ Electrical service to light fixtures shall be placed underground</li> <li>▪ Flashing light shall not be permitted</li> <li>▪ Only necessary lighting for security purposes &amp; limited operations shall be permitted after a site's hours of operation</li> </ul>			
<b>Security Lighting</b> (Sec. 5.7.3.H)	<ul style="list-style-type: none"> <li>- All fixtures shall be located, shielded, and aimed at the areas to be secured.</li> <li>- Fixtures mounted on the building and designed to illuminate the facade are preferred.</li> </ul>	Lighting for security purposes shall be directed only onto the area to be secured.		
<b>Avg/Min Ration</b> (Sec.5.7.3.E)	Average to minimum light level of the surface being lit to the lowest light of the surface being lit not to exceed 4:1			
<b>Required Conditions</b> (Sec. 5.7.3.F)	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps			
<b>Min. Illumination</b> (Sec. 5.7.3.k)	Parking areas: 0.2 min			
	Loading areas: 0.4 min			

Item	Required Code	Proposed	Meets Code	Comments
	Walkways: 0.2 min			
	Building entrances, frequent use: 1.0 min			
	Building entrances, infrequent use: 0.2 min			
<b>Max. Illumination adjacent to Non-Residential</b> (Sec. 5.7.3.K)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle			
<b>Max. Illumination adjacent to Residential</b> (Sec. 5.7.3.L)	<ul style="list-style-type: none"> <li>▪ Cut off angles of fixtures must be 90° adjacent to residential districts</li> <li>▪ Max illumination at the property line shall not exceed 0.5 foot candle</li> </ul>			

**NOTES:**

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4, and 5 of the zoning ordinance for further details.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Division with future submittals.

## ENGINEERING REVIEW



# PLAN REVIEW CENTER REPORT

June 4, 2019

## Engineering Review

SLI Medical Office Building  
JSP18-0074

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### Applicant

Supply Line International, LLC

### Review Type

Revised Preliminary Site Plan

### Property Characteristics

- Site Location: North of Grand River Avenue, East of Town Center Drive
- Site Size: 2.23 Acres
- Plan Date: 02/27/2019
- Design Engineer: Fenn & Associates, Inc.

### Project Summary

- Construction of approximately 40 additional parking spaces with associated paving.
- No changes are proposed to the water main network.
- No changes are proposed to the sanitary sewer network.
- Storm water will continue to be collected by a single storm sewer collection system and conveyed off-site. One catch basin will be relocated.

### Recommendation

**Approval of the Revised Preliminary Site Plan and Revised Preliminary Storm Water Management Plan is recommended.**

**Comments:**

The Revised Preliminary Site Plan meets the general requirements of the design and construction standards as set forth in Chapter 11 of the City of Novi Codified Ordinance, the Storm Water Management Ordinance and the Engineering Design Manual with the following items that must be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the Final Site Plan submittal):

**Additional Comments** (to be addressed upon Final Site Plan submittal):

**General**

1. A sheet index shall be provided on a cover sheet.
2. Clearly distinguish between proposed improvements and existing features of the site.
3. Revise the plan set to reference at least one **city established benchmark**. An interactive map of the City's established survey benchmarks can be found under the 'Map Gallery' tab on [www.cityofnovi.org](http://www.cityofnovi.org).
4. Provide a note on the plans stating that all work shall conform to the current City of Novi standards and specifications.
5. Provide a note along with the Sign Quantities table stating all traffic signage will comply with the current MMUTCD standards.
6. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement type being proposed.
7. Provide a note stating if dewatering is anticipated or encountered during construction a dewatering plan must be submitted to the Engineering Department for review.
8. Generally, all proposed trees shall remain outside utility easements. Where proposed trees are required within a utility easement, the trees shall maintain a minimum 5-foot horizontal separation distance from any existing or proposed utility. All utilities shall be shown on the landscape plan, or other appropriate sheet, to confirm the separation distance.
9. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal. They can be found on the City website ([www.cityofnovi.org/DesignManual](http://www.cityofnovi.org/DesignManual)).

**Utilities**

10. Indicate where the catch basin near the west side of the building will be relocated on a separate utility plan.

**Storm Water Management Plan**

11. Provide a sheet or sheets titled "Storm Water Management Plan" (SWMP) that complies with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual (refer to the runoff coefficients, 1V:4H allowable basin slopes, etc.).

12. Indicate the amount of pavement that is **existing** and the amount of paving that is **proposed**.

### **Paving & Grading**

13. Indicate if any retaining walls will be added or modified. If so, a plan view and cross-section shall be included showing the relationship between the wall foundation and the utility. Permits for the construction of each retaining wall exceeding 48 inches in height (measured from bottom of the footing to top of the wall) must be obtained from the Community Development Department.
14. Provide top of curb/walk and pavement/gutter grades to indicate height of curb adjacent to parking stalls or drive areas.
15. Curbing and walks adjacent to the end of 17-foot stalls shall be reduced to 4-inches high, rather than the standard 6-inch height to be provided adjacent to 19-foot stalls. Provide additional details as appropriate.
16. The end islands shall conform to the City standard island design, or variations of the standard design, while still conforming to the standards given in Section 2506 of Appendix A of the Zoning ordinance (i.e. 2' minor radius, 15' major radius, minimum 8' wide, 3' shorter than adjacent 19' stall).

### **Soil Erosion and Sediment Control**

17. SESC permit is required. A full review has not been completed at this time. An informal review will be completed with the Final Site Plan if SESC plans are included in the submittal.

### **Off-Site Easements**

18. Any off-site easements must be executed **prior to final approval of the plans**. If you have not done so already, drafts of the easements and a recent title search shall be submitted as soon as possible to the Community Development Department for review, and shall be approved by the Engineering Division and the City Attorney prior to executing the easements.

### **The following must be submitted at the time of Final Site Plan submittal:**

19. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
20. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and shall not include any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading,

- and the storm water basin (basin construction, control structure, pretreatment structure and restoration).
21. Draft copies of any off-site easements, a recent title search, and legal escrow funds must be submitted to the Community Development Department for review and approved by the Engineering Division and the City Attorney prior to getting executed.

**The following must be submitted at the time of Stamping Set submittal:**

22. If not already in place, a draft copy of a Storm Drainage Facility Maintenance Easement Agreement (SDFMEA), as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
23. Executed copies of any required off-site utility easements must be submitted to the Community Development Department.

**The following must be addressed prior to construction:**

24. A pre-construction meeting shall be required prior to the commencement of any site work. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
25. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application fee).
26. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
27. Construction Inspection Fees will be determined once the construction cost estimate is submitted and must be paid prior to the pre-construction meeting.
28. If applicable, a storm water performance guarantee equal to 1.2 times the amount required to complete the storm water facilities (as specified in the Storm Water Management Ordinance) must be posted with Community Development.
29. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted with Community Development.
30. Permits for the construction of each retaining wall exceeding 48 inches in height (measured from bottom of the footing to top of the wall) must be obtained from the Community Development Department (248-347-0415).



**Engineering Review of Revised Preliminary Site Plan**

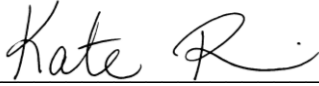
SLI Medical Office Building  
JSP18-0074

06/04/2019

Page 5 of 5

To the extent this review letter addresses items and requirements that require the approval of/or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Kate Richardson at (248) 347-0586 with any questions.



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Kate Richardson, EIT  
Plan Review Engineer

cc: Sri Komaragiri, Community Development  
George Melistas, Engineering  
Darcy Rechtien, PE, Engineering

## LANDSCAPE REVIEW



# PLAN REVIEW CENTER REPORT

May 22, 2019

## Revised Preliminary Site Plan - Landscaping

SLI Medical Building

Review Type

Revised Preliminary Landscape Review

Job #

JSP18-0074

Property Characteristics

- Site Location: 42350 Grand River Avenue
- Site Acreage: 2.23 acres
- Site Zoning: B-3
- Adjacent Zoning: East, South, West: B-3; North: I-1
- Plan Date: 5/8/2019

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Preliminary Site Plan submittal and underlined items must be part of the Final Site Plans. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Chart are summaries and are not intended to substitute for any Ordinance.

Recommendation

This project is **still not recommended for approval**. **The landscape plan is deficient in information provided, as well as landscaping provided per the current ordinance**. A number of landscape waivers are required, some of which are supported, but others which aren't.

**A Professional Landscape Architect needs to create the entire Landscape Plan, not sign off at the end. The plans should follow the current Landscape Ordinance and Landscape Design Manual and include all calculations. They can be found at these locations on the Community Development website.**

REVISED LANDSCAPE ORDINANCE:

<http://cityofnovi.org/Reference/Code-of-Ordinances-and-City-Charter/18-283LandscapeStandards.aspx>

REVISED LANDSCAPE DESIGN MANUAL:

<http://cityofnovi.org/Government/City-Services/Community-Development/Information-Requirements-Sheets,-Checklists,-Manua/LandscapeDesignManual.aspx>

**Alternatively, the applicant could restore the plantings from the original plan, which is provided, and make additions/revisions as necessary for the parking lot additions, to compensate for the foundation landscaping lost with the addition of the new parking along the building, and to replace plant species such as ashes and privets which are now prohibited species. The comments below refer to the current ordinance.**

The applicant needs to state which approach they will be following in their response letter and on the landscape plan. In any case, a landscape architect must create the landscape plan.

**LANDSCAPE WAIVERS WHICH MAY BE REQUIRED BASED ON THE CURRENT ORDINANCE:**

1. Lack of street trees – *supported by staff*
2. Insufficient parking lot interior landscape area and trees – *not supported by staff*
3. Insufficient parking lot perimeter trees – *not supported by staff*
4. Insufficient greenbelt width at certain locations – *supported by staff as an existing condition*
5. Insufficient greenbelt landscaping – *not supported by staff*
6. Insufficient berm between parking and Grand River – *supported by staff as an existing condition*
7. Insufficient foundation landscaping – *not supported by staff*

**Ordinance Considerations**

Existing Soils (Preliminary Site Plan checklist #10, #17)

Provided

Existing and proposed overhead and underground utilities, including hydrants.(LDM 2.e.(4))

1. Provided.
2. Overhead power lines cross the right-of-way on an angle.
3. A drainage swale is located within the right-of-way.
4. Existing storm and gas service lines, and light posts, are provided.
5. **Please show any other utility lines, such as water and sanitary leads, and the proposed new location of the catch basin, so tree-utility conflicts can be avoided.**

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. Existing tree symbols are shown, and trees to be removed are designated as such with an X.
2. **Please provide a tree chart showing the trees' identity, size (dbh) and whether the tree will remain or be removed.**
3. If any tree is found to be regulated, replacement calculations are required. Based on a site visit, it doesn't appear that any of the trees within the limits of disturbance are regulated (36" dbh if not in a regulated woodland, 8" dbh if within a regulated woodland) but the tree chart will confirm that.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

Property is not adjacent to Residential.

Right-of-Way Landscape Screening (Zoning Sec. 5.5.3.B)

1. Please show the Road Commission for Oakland County clear vision zone at the Grand River Entry.
2. **Please provide calculations as outlined in the Landscape Chart and provide the required canopy/large evergreen and canopy trees.**
3. If the new rules will be followed, please provide all of the required trees.
4. Little of the original greenbelt landscaping remains. **If the original landscape will be restored, please provide all of the plantings per that plan that were in the greenbelt. Species substitutions may be made (and in some cases need to be).**
5. As there is not sufficient room in the right-of-way for the required street trees, a landscape waiver for those trees may be requested. *It would be supported by staff.*

Parking Lot Interior (Zoning Sec 5.5.3.C)

1. **Please provide calculations as outlined in the Landscape Chart and provide the required trees and landscape area.**
2. **Please show the areas in SF of each interior island.**

3. Interior islands must have 200sf per tree planted in them.
4. All interior islands and endcap islands must have deciduous canopy trees planted in them.

Parking Lot Perimeter (Zoning Sec 5.5.3.C)

1. The proposed plan shows all interior landscape areas and existing trees being removed, with no replacements provided.
2. As the original plan did not include perimeter plantings, no new perimeter trees are required now if the original plan is being restored.
3. **In any case, calculations for the perimeter trees must be provided, and a landscape waiver is required for any deficiency in trees provided.** *The waiver would be supported by staff if perimeter trees are placed where there is room for them, given that the outer perimeter is not increasing.*

Building Foundation Landscape (Zoning Sec 5.5.3.D.)

1. **Please provide calculations for the required building foundation landscaping as outlined in the Landscape Chart.**
2. **At a minimum, the removed foundation landscape area needs to be replaced elsewhere on the site, preferably at the building foundation, and also preferably within the greenbelt.**
3. **A landscape waiver will be required for any shortage from the area originally provided.** *If compensating area is provided, the waiver will be supported by staff.*

Loading Zone screening (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)

The loading zones are behind the building, completely screened from Grand River by the building and the buildings east and west of the site.

Plant List (LDM 2.h. and t., 4)

1. **Please revise the plant list to show all current plantings (including replacements for the ashes, privets and other prohibited species).**
2. **If possible, please use species native to Michigan for at least 50% of the species used on the site.** Existing plantings do not need to be replaced to make that percentage, but please use as many natives as possible when substituting species.
3. **Please follow the tree diversity guidelines in LDM 4.**

Planting Notations and Details (LDM)

1. **Please include all notes and details required, and to the standards of the city requirements.**
2. **If desired, a Standard Notes and Details sheet is available, or individual details and notes. If you would like them, please ask me.**
3. **See the Landscape Chart for more information.**

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 1.d.(3))

**Please either restore the trees originally proposed along the west side of the basin or add large native shrubs (3 species) along the 70-75% of the pond's high water line.**

Irrigation (LDM 1.a.(1)(e) and 2.s)

**Please provide sufficient water for the establishment and long-term survival of all new plantings, including the front berm plantings.**

Snow Deposit (LDM.2.q.)

Please provide areas for snow deposits that won't harm the landscaping.

Corner Clearance (Zoning Sec 5.9)

**Please show the Road Commission for Oakland County clear vision zone at Grand River, and remove any proposed trees or shrubs taller than 30" from that zone.**

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org).



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Rick Meader – Landscape Architect

## LANDSCAPE REVIEW SUMMARY CHART – REVISED PRELIMINARY SITE PLAN

**Review Date:** May 22, 2019  
**Project Name:** SLI Medical  
**Plan Date:** May 8, 2019  
**Prepared by:** Rick Meader, Landscape Architect E-mail: [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org);  
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan. Underlined items need to be addressed for Final Site Plan.

**A Professional Landscape Architect needs to create the entire Landscape Plan, not sign off at the end. The plans should follow the current Landscape Ordinance and Landscape Design Manual and include all calculations. They can be found at these locations on the Community Development website.**

### REVISED LANDSCAPE ORDINANCE:

<http://cityofnovi.org/Reference/Code-of-Ordinances-and-City-Charter/18-283LandscapeStandards.aspx>

### REVISED LANDSCAPE DESIGN MANUAL:

<http://cityofnovi.org/Government/City-Services/Community-Development/Information-Requirements-Sheets,-Checklists,-Manua/LandscapeDesignManual.aspx>

**Alternatively, the applicant could restore the plantings from the original plan, which is provided, and make additions/revisions as necessary for the parking lot additions, to compensate for the foundation landscaping lost with the addition of the new parking along the building, and to replace plant species such as ashes and privets which are now prohibited species. The comments below refer to the current ordinance.**

**The applicant needs to state which approach they will be following in their response letter and on the landscape plan. In any case, a landscape architect must create the landscape plan.**

### **LANDSCAPE WAIVERS WHICH MAY BE REQUIRED BASED ON THE CURRENT ORDINANCE:**

1. Lack of street trees – *supported by staff*
2. Insufficient parking lot interior landscape area and trees – *not supported by staff*
3. Insufficient parking lot perimeter trees – *not supported by staff*
4. Insufficient greenbelt width at certain locations – *supported by staff as an existing condition*
5. Insufficient greenbelt landscaping – *not supported by staff*
6. Insufficient berm between parking and Grand River – *supported by staff as an existing condition*
7. Insufficient foundation landscaping – *not supported by staff*

Item	Required	Proposed	Meets Code	Comments
<b>Landscape Plan Requirements (LDM (2))</b>				
<b>Landscape Plan</b> <i>(Zoning Sec 5.5.2, LDM 2.e.)</i>	<ul style="list-style-type: none"> <li>▪ New commercial or residential developments</li> <li>▪ Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less.</li> <li>▪ 1"=20' minimum with proper North.</li> </ul>	Scale: 1"=20'	Yes	

Item	Required	Proposed	Meets Code	Comments
	Variations from this scale can be approved by LA <ul style="list-style-type: none"> <li>▪ Consistent with plans throughout set</li> </ul>			
<b>Project Information</b> <i>(LDM 2.d.)</i>	Name and Address	<ul style="list-style-type: none"> <li>• Project name is on landscape plan.</li> <li>• Address and business name on ALTA/NSPS Land Title Survey</li> </ul>	No	<b>Please include project name and address on the landscape plan.</b>
<b>Owner/Developer Contact Information</b> <i>(LDM 2.a.)</i>	Name, address and telephone number of the owner and developer or association	Address and business name on Sheet 1.	Yes	<b>Please include on landscape plan.</b>
<b>Landscape Architect contact information</b> <i>(LDM 2.b.)</i>	Name, Address and telephone number of RLA	A note indicates that the final site plan will be completed by a landscape architect.	No	<b>A landscape architect needs to create the landscape plan, which should include all necessary calculations.</b>
<b>Sealed by LA.</b> <i>(LDM 2.g.)</i>	Requires original signature	No	No	<u>See above</u>
<b>Miss Dig Note</b> (800) 482-7171 <i>(LDM.3.a.(8))</i>	Show on all plan sheets	Yes	Yes	
<b>Zoning</b> <i>(LDM 2.f.)</i>	Include all adjacent zoning	Site: B-3 East, West: B-3 North: I-1 South: B-3	Yes	
<b>Survey information</b> <i>(LDM 2.c.)</i>	<ul style="list-style-type: none"> <li>▪ Legal description or boundary line survey</li> <li>▪ Existing topography</li> </ul>	<ul style="list-style-type: none"> <li>▪ Legal Description on Sheet 1 and 2</li> <li>▪ Existing conditions on Sheet 2</li> </ul>	Yes	
<b>Existing plant material</b> <b>Existing woodlands or wetlands</b> <i>(LDM 2.e.(2))</i>	<ul style="list-style-type: none"> <li>▪ Show location type and size. Label to be saved or removed.</li> <li>▪ Plan shall state if none exists.</li> </ul>	<ul style="list-style-type: none"> <li>▪ Trees to be removed are shown on the Landscape Plan</li> <li>▪ No identification of their size or species is provided.</li> </ul>	No	<ol style="list-style-type: none"> <li>1. Please show all existing plants on Existing Conditions sheet and indicate which will be removed on that sheet.</li> <li>2. Please add a chart showing with all trees' species and size (dbh), and an indication on the chart which trees will be removed.</li> <li>3. If any trees to be</li> </ol>



Item	Required	Proposed	Meets Code	Comments
				removed are 36" or larger, they will need to be replaced. 4. See the ECT letter for a detailed woodland review.
Soil types (LDM.2.r.)	<ul style="list-style-type: none"> <li>▪ As determined by Soils survey of Oakland county</li> <li>▪ Show types, boundaries</li> </ul>	Sheet 2	Yes	
Existing and proposed improvements (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Yes	Yes	
Existing and proposed utilities (LDM 2.e.(4))	<ul style="list-style-type: none"> <li>• Overhead and underground utilities, including hydrants</li> <li>• Proposed light posts</li> </ul>	<ul style="list-style-type: none"> <li>• Existing storm and gas lines are provided.</li> <li>• Overhead lines are indicated.</li> </ul>	TBD	<ol style="list-style-type: none"> <li>1. Please clearly show all utility lines and structures on landscape plan, including proposed locations of relocated storm lines and structures.</li> <li>2. Please include existing and proposed lighting on landscape plan.</li> <li>3. Please adjust utilities and light posts as required to allow all required trees to be planted.</li> </ol>
Proposed grading. 2' contour minimum (LDM 2.e.(1))	Provide proposed contours at 2' interval	<ul style="list-style-type: none"> <li>• Existing spot elevations are provided</li> <li>• No spots for new asphalt are provided</li> <li>• Only 1 contour line in greenbelt is provided. It seemed on a site visit that the berm was more pronounced than is indicated.</li> </ul>	No	Please show all contours of existing berm to remain in the greenbelt
Snow deposit (LDM.2.q.)	Show snow deposit areas on plan	None	No	Please add notes indicating snow deposit areas on landscape plan that won't hurt

Item	Required	Proposed	Meets Code	Comments
				proposed or existing landscaping.
<b>LANDSCAPING REQUIREMENTS</b>				
<b>Berms, Walls and ROW Planting Requirements</b>				
<b>Berms</b>				
<ul style="list-style-type: none"> <li>▪ All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours</li> <li>▪ Berm should be located on lot line except in conflict with utilities.</li> <li>▪ Berms should be constructed of loam with 6" top layer of top soil.</li> </ul>				
<b>Residential Adjacent to Non-residential (Sec 5.5.3.A) &amp; (LDM 1.a)</b>				
<b>Berm requirements</b> <i>(Zoning Sec 5.5.A)</i>	No berm is required as it is not adjacent to residential	No berm is required or proposed at sides or back of property.	Yes	
<b>Planting requirements</b> <i>(LDM 1.a.)</i>	LDM Novi Street Tree List	NA		
<b>Walls (LDM 2.k &amp; Zoning Sec 5.5.3.vi)</b>				
<b>Material, height and type of construction footing</b>	Freestanding walls should have brick or stone exterior with masonry or concrete interior	<ul style="list-style-type: none"> <li>▪ A short existing wooden wall exists along the western parking bay.</li> <li>▪ No new walls are proposed.</li> </ul>	NA	
<b>Walls greater than 3 ½ ft. should be designed and sealed by an Engineer</b>		None		
<b>ROW Landscape Screening Requirements (Sec 5.5.3.B. ii) and (LDM 1.b)</b>				
<b>Greenbelt width</b> <i>(2)(3) (5)</i>	<ul style="list-style-type: none"> <li>▪ Adjacent to pkg: 20 feet</li> <li>▪ Not adjacent to pkg: 25 feet</li> </ul>	Minimum 18 feet	No	<ol style="list-style-type: none"> <li>1. A landscape waiver is required for areas with less than the required greenbelt width.</li> <li>2. As the existing condition is not changing, it will be supported by staff.</li> </ol>
<b>Berm requirements (Zoning Sec 5.5.3.A.(5))</b>				
<b>Min. berm crest width</b>	<ul style="list-style-type: none"> <li>▪ Adjacent to parking: 3 feet</li> <li>▪ Not adjacent to parking: Not required</li> </ul>	<ul style="list-style-type: none"> <li>▪ A slight berm is provided west of the drive.</li> <li>▪ No berm is provided east of the drive.</li> <li>▪ A berm is provided between the building and the</li> </ul>	TBD	<ol style="list-style-type: none"> <li>1. Please show all contours in the greenbelt east of the driveway.</li> <li>2. A landscape waiver will be required for all insufficient berms.</li> <li>3. As the parking lot is not changing near Grand River, the</li> </ol>

Item	Required	Proposed	Meets Code	Comments
		sidewalk.		waiver would be supported by staff, but alternate screening, such as a hedge, or a brick wall, shall be provided to block the parking spaces from view of Grand River.
Minimum berm height (9)	<ul style="list-style-type: none"> <li>Adjacent to parking: 3 feet</li> <li>Not adjacent to parking: Not required</li> </ul>	None	No	See above
3' wall	<ul style="list-style-type: none"> <li>(4)(7)</li> </ul>	None	No	See above
<b>Canopy deciduous or large evergreen trees</b> Notes (1) (10)	<ul style="list-style-type: none"> <li>Adjacent to pkg: 1 tree per 35lf frontage (net of access drives)</li> <li>40lf/35 = 1 tree</li> <li>Not adjacent to pkg: 1 tree per 60 lf frontage (net of access drives)</li> <li>112/60 = 2 trees</li> <li>Total: 3 trees</li> </ul>	<ul style="list-style-type: none"> <li>No calculations are provided.</li> <li>4 trees are indicated in the greenbelt as street trees.</li> </ul>	Yes	<ol style="list-style-type: none"> <li>Please provide calculations on landscape plan.</li> <li>Please indicate tree species on final site plans</li> <li>The trees indicated should not be shown as street trees.</li> </ol>
<b>Sub-canopy deciduous trees</b> Notes (2)(10)	<ul style="list-style-type: none"> <li>Adjacent to pkg: 1 tree per 20lf frontage (net of access drives)</li> <li>40lf/20 = 2 trees</li> <li>Not adjacent to pkg: 1 tree per 40 lf frontage (net of access drives)</li> <li>112/40 = 3 trees</li> <li>Total: 5 trees</li> </ul>	<ul style="list-style-type: none"> <li>No calculations are provided.</li> <li>No subcanopy trees are proposed.</li> </ul>	No	<ol style="list-style-type: none"> <li>Please provide calculations on landscape plan.</li> <li>Please provide required trees.</li> <li>A landscape waiver would be required or any deficiency. <i>It would not be supported by staff.</i></li> </ol>
<b>Canopy deciduous trees in area between sidewalk and curb</b> <i>(Novi Street Tree List)</i>	<ul style="list-style-type: none"> <li>1 tree per 35lf frontage (net of sight vision zones)</li> <li>(185-60)/35 = 4 trees</li> </ul>	<ul style="list-style-type: none"> <li>No calculations are provided.</li> <li>No street trees are proposed.</li> </ul>	No	<ol style="list-style-type: none"> <li>Please provide calculations.</li> <li>As there is insufficient room for any street trees, due to the overhead line and the drainage swale, a landscape waiver may be requested for all street trees. <i>It would be supported by staff.</i></li> </ol>
<b>Cross-Section of Berms (LDM 2.j)</b>				
Slope, height and	<ul style="list-style-type: none"> <li>Label contour lines</li> </ul>	An existing berm is		If any new berms are

Item	Required	Proposed	Meets Code	Comments
width	<ul style="list-style-type: none"> <li>▪ Maximum 33%</li> <li>▪ Constructed of loam</li> <li>▪ 6" top layer of topsoil</li> </ul>	proposed to remain		proposed, please include typical cross section details for each berm provided to landscape plans.
Type of Ground Cover		None	No	
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	An overhead line is shown traversing the right-of-way.	Yes	
<b>Parking Area Landscape Requirements LDM 1.c. &amp; Calculations (LDM 2.o.)</b>				
<b>General requirements (LDM 1.c)</b>	<ul style="list-style-type: none"> <li>▪ Clear sight distance within parking islands</li> <li>▪ No evergreen trees</li> </ul>	No landscaping is proposed.	TBD	
<b>Name, type and number of ground cover (LDM 1.c.(5))</b>	As proposed on planting islands	No	No	<b>Please indicate groundcovers to be used in islands (seed, sod, mulch, etc.)</b>
<b>General (Zoning Sec 5.5.3.C.ii)</b>				
<b>Parking lot Islands (a, b. i)</b>	<ul style="list-style-type: none"> <li>▪ A minimum of 200 SF to qualify</li> <li>▪ Minimum 200 SF per tree planted in island</li> <li>▪ 6" curbs</li> <li>▪ Islands minimum width 10' BOC to BOC</li> </ul>	Islands are shown, and appear to provide sufficient area for the parking lot, but no areal quantities in SF are provided.	TBD	<ol style="list-style-type: none"> <li>1. Please label the sf of all landscape islands on landscape plan.</li> <li>2. To count toward the required area, an island must have at least 200sf landscape area per tree planted in it, and be 10 feet wide.</li> </ol>
<b>Curbs and Parking stall reduction (c)</b>	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	Spaces are 19 feet long	Yes	<b>Spaces could be shortened to 17' if spaces have 2' of overhang area available.</b>
<b>Contiguous space limit (i)</b>	<ul style="list-style-type: none"> <li>• Maximum of 15 contiguous spaces</li> <li>• All endcap islands should also be at least 200sf with 1 tree planted in it.</li> </ul>	Maximum bay for parking areas is 14 spaces long.	Yes	<ol style="list-style-type: none"> <li>1. Please add deciduous canopy trees to islands that break up bays.</li> <li>2. Please add deciduous canopy trees to the endcap islands that don't currently have trees.</li> <li>3. Deciduous canopy trees must have a minimum mature height of 30 feet and a minimum mature</li> </ol>

Item	Required	Proposed	Meets Code	Comments
				canopy width of 20 feet.
<b>Plantings around Fire Hydrant (d)</b>	<ul style="list-style-type: none"> <li>No plantings with mature height greater than 12' within 10 ft. of fire hydrants of utility structures (manholes, catch basins)</li> <li>Trees should be at least 5 feet from underground utility lines.</li> </ul>	No trees exist or are proposed near the hydrant or other utility structures shown.	Yes	If necessary, islands should be widened to provide proper spacing between hydrants or other utility structures.
<b>Landscaped area (g)</b>	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Only lawn exists, and no other groundcover is proposed.	TBD	Please indicate landscaping and/or ground covers for all disturbed areas on site
<b>Clear Zones (LDM 2.3.(5))</b>	Road Commission for Oakland county clear vision zone at Grand River is required.	No	No	<ol style="list-style-type: none"> <li>Please show RCOG corner clearance zones for Grand River entry point.</li> <li>Keep all trees and shrubs taller than 30" out of zones.</li> </ol>
<b>Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, C, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)</b>				
A = Total square footage of vehicular use area up to 50,000 sf x 7.5%	$A = x \text{ SF} \times 7.5\% = A \text{ sf}$	No calculations provided	No	Please provide calculations on the landscape plan using the current ordinance.
B = Total square footage of additional paved vehicular use areas over 50,000 SF) x 1 %	$C = x \text{ SF} \times 1\% = B \text{ sf}$	No calculations provided	No	Please provide calculations on the landscape plan using the current ordinance.
<b>Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)</b>				
A = Total square footage of vehicular use area up to 50,000 sf x 5%	$A = x \text{ SF} \times 5\% = A \text{ sf}$	NA		
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5 %	$B = (x \text{ SF} - 50000) \times 0.5\% = B \text{ SF}$	NA		
<b>All Categories</b>				
C = A+B Total square footage of landscaped islands required	$A + B = C \text{ SF}$	None	No	<ol style="list-style-type: none"> <li>Add calculations for all impacted parking areas</li> <li>Please show area (SF) of all islands to</li> </ol>

Item	Required	Proposed	Meets Code	Comments
				count toward requirement 3. Please provide all island area required. 4. Islands must have a canopy tree planted in it to count toward the landscape area requirement. 5. A landscape waiver is required for any deficiencies in area provided.
D = D/200 Number of canopy trees required	<ul style="list-style-type: none"> <li>• D/200 = xx Trees</li> <li>• All interior islands and endcap islands must have a deciduous canopy tree planted in it. It is possible that more trees will be required than the calculations indicate, depending on the layout of the parking areas.</li> </ul>	7 trees	No (some endcap and interior islands do not have trees in them)	1. Add calculations for all proposed parking areas 2. Add trees to meet requirement 3. A waiver would be required for all trees not provided. 4. If waivers are requested, please list them on landscape plan, along with impact (SF, trees not provided) and justification for request. 5. Islands must have at least 200sf of landscape area per canopy tree planted in them.
<b>Parking Lot Perimeter Trees</b> (Sec 5.5.3.C.iv)	1 Canopy tree per 35 lf	None	No	1. Please show the perimeter line used as the basis of calculations on landscape plans. 2. Add calculations for perimeter of all proposed parking areas and access drives. 3. Please provide required trees within 15 feet of the curb. 4. Perimeter trees within the greenbelt can also be double-counted as

Item	Required	Proposed	Meets Code	Comments
				deciduous canopy greenbelt trees 5. A landscape waiver is required for any deficiencies.
Parking land banked	NA	No		
<b>Other Landscaping</b>				
<b>Other Screening</b>				
Screening of outdoor storage, loading/unloading (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)		The loading area is behind the building, shielded from Grand River by the building and the neighboring buildings	Yes	
Transformers/Utility boxes (LDM 1.e from 1 through 5)	<ul style="list-style-type: none"> <li>▪ A minimum of 2ft. separation between box and the plants</li> <li>▪ Ground cover below 4" is allowed up to pad.</li> <li>▪ No plant materials within 8 ft. from the doors</li> </ul>	<ul style="list-style-type: none"> <li>▪ According to the original plan, a transformer is located on the east side of the building.</li> <li>▪ A transformer on the west side of the building is screened with shrubs, but the landscaping is in poor condition.</li> </ul>	TBD	Please improve the appearance of the existing screening or replace with new screening shrubs.
<b>Building Foundation Landscape Requirements (Sec 5.5.3.D)</b>				
Interior site landscaping SF	<ul style="list-style-type: none"> <li>▪ Equal to entire perimeter of the building (less paved access areas) x 8 with a minimum width of 4 ft.</li> <li>▪ (295+19+120+150+83) If x 8ft = 5336 SF</li> </ul>	<ul style="list-style-type: none"> <li>▪ Foundation landscaping is provided along the west building frontage</li> <li>▪ Approximately 100lf of the existing foundation landscaping is being removed with the addition of parking spaces.</li> </ul>	No	<ol style="list-style-type: none"> <li>1. Please provide calculations for total building perimeter.</li> <li>2. Please provide required foundation landscaping with labels showing SF of foundation areas provided.</li> <li>3. A landscape waiver is required for deficiencies in area provided. <i>It would not be supported by staff.</i></li> <li>4. At a minimum, the removed foundation landscaping needs to be provided elsewhere on the</li> </ol>

Item	Required	Proposed	Meets Code	Comments
<p><i>Zoning Sec 5.5.3.D.ii.</i>  <i>All items from (b) to (e)</i></p>	<p>If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space</p>	<p>None of the building fronting Grand River has landscaping.</p>	<p>No</p>	<p>site, preferably at the base of the building.</p> <ol style="list-style-type: none"> <li>1. A landscape waiver is required for the deficiency.</li> <li>2. If the original landscaping is restored, a landscape waiver would still be required, as the foundation landscaping is located away from the building, but it would be supported by staff as it would appear to be along the front of the building as viewed from Grand River.</li> <li>3. Expanding the original berm plantings to compensate for the removed foundation plantings on the west side of the building is recommended as a way to make up the lost landscaping, and improve the appearance of the building from Grand River.</li> </ol>
<p><b>Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv)</b></p>				
<p><b>Planting requirements</b>  <i>(Sec. 5.5.3.E.iv)</i></p>	<ul style="list-style-type: none"> <li>▪ Clusters of large native shrubs shall cover 70-75% of the basin rim area</li> <li>▪ 10" to 14" tall grass along sides of basin</li> <li>▪ Refer to wetland for basin mix</li> </ul>	<p>None proposed</p>	<p>No</p>	<p><b>Please add the required shrubs around the pond perimeter.</b></p>
<p><b>Phragmites Control</b>  <i>(Sec 5.5.6.C)</i></p>	<ul style="list-style-type: none"> <li>▪ Any and all populations of <i>Phragmites australis</i> on site shall be included on tree survey.</li> <li>▪ Treat populations per MDEQ guidelines and</li> </ul>	<p>None indicated</p>	<p>TBD</p>	<ol style="list-style-type: none"> <li>1. Please survey the site for any populations of <i>Phragmites australis</i> and submit plans for its complete removal.</li> <li>2. If none is found,</li> </ol>



Item	Required	Proposed	Meets Code	Comments
	requirements to eradicate the weed from the site.			please indicate that on the survey.
<b>LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS</b>				
<b>Landscape Notes – Utilize City of Novi Standard Notes</b>				
<b>Installation date</b> <i>(LDM 2.l. &amp; Zoning Sec 5.5.5.B)</i>	<ul style="list-style-type: none"> <li>Provide intended dates</li> <li>Should be between March 15 and November 15.</li> </ul>	No	No	Please include planting dates on the Landscape Plan.
<b>Maintenance &amp; Statement of intent</b> <i>(LDM 2.m &amp; Zoning Sec 5.5.6)</i>	<ul style="list-style-type: none"> <li>Include statement of intent to install and guarantee all materials for 2 years.</li> <li>Include a minimum one cultivation in June, July and August for the 2-year warranty period.</li> </ul>	<ul style="list-style-type: none"> <li>No</li> <li>Some of the notes provided are contrary to City requirements or are unnecessary, based on the proposed landscaping.</li> </ul>	No	<ol style="list-style-type: none"> <li>Please provide all required notes in set.</li> <li>Standard City of Novi notes and details are available upon request.</li> </ol>
<b>Plant source</b> <i>(LDM 2.n &amp; LDM 3.a.(2))</i>	Shall be northern nursery grown, No.1 grade.	No	No	Please provide note on the Landscape Plan.
<b>Irrigation plan</b> <i>(LDM 2.s.)</i>	<ul style="list-style-type: none"> <li>A fully automatic irrigation system and a method of draining is required with Final Site Plan</li> <li>Alternate methods of providing required water for establishment and long-term survival, such as hose bibbs near plantings, tree gators and xeriscaping are also acceptable, but information about the proposed methods must be provided.</li> </ul>	No	No	<u>Need for final site plan</u>
<b>Other information</b> <i>(LDM 2.u)</i>	Required by Planning Commission	NA		
<b>Establishment period</b> <i>(Zoning Sec 5.5.6.B)</i>	<b>2 yr. Guarantee</b>	No	No	Please provide note on Landscape Plan.
<b>Approval of substitutions.</b> <i>(Zoning Sec 5.5.5.E)</i>	City must approve any substitutions <u>in writing</u> prior to installation.	No	No	Please provide note on Landscape Plan.
<b>Plant List (LDM 2.h., 4) – Include all cost estimates</b>				
Quantities and sizes	Refer to LDM suggested plant list	No	No	Include on Landscape Plan

Item	Required	Proposed	Meets Code	Comments
Root type		No	No	<b>Include on Landscape Plan</b>
Botanical and common names		No – original landscape plan has a plant list but none is provided on this landscape plan.	No	<ol style="list-style-type: none"> <li>1. Include on Landscape Plan</li> <li>2. Generally, at least 50% of the species used must be native to Michigan. As much as possible, please substitute species native to Michigan on the plan to get to 50%.</li> <li>3. Tree diversity must meet the requirements of LDM Section 4.</li> <li>4. Please don't use any plants on the Prohibited Species list (Landscape Design Manual Table 7C), such as ashes or privets.</li> </ol>
Type and amount of lawn		No new lawn is proposed.		
Cost estimate (LDM 2.t)	For all new plantings, mulch and sod as listed on the plan	No	No	<u>Please add on Final Site Plans – include all proposed plantings. Also include mulch cost at \$35/sy in the estimate.</u>
<b>Planting Details/Info (LDM 2.i) – Utilize City of Novi Standard Details</b>				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	No	<ol style="list-style-type: none"> <li>1. Please include all required details on Landscape Plan (the included details do not meet city standards).</li> <li>2. Standard City of Novi notes and details are available upon request.</li> </ol>
Evergreen Tree		Yes	No	See above
Multi-stem Tree		No	No	Not necessary
Shrub		No	No	Please provide.
Perennial/ Ground Cover		No	No	Please add if applicable
Tree stakes and guys.		No	No	Guys should be fabric

Item	Required	Proposed	Meets Code	Comments
(Wood stakes, fabric guys)				<b>straps, not wire and hose sections.</b>
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	No	No	1. Please include detail showing fence one foot outside of dripline. 2. Show tree protection fence lines for all trees to be saved on demolition plan.
<b>Other Plant Material Requirements (LDM 3)</b>				
<b>General Conditions (LDM 3.a)</b>	Plant materials shall not be planted within 4 ft. of property line	No	No	<b>Please add note on plan view near property line.</b>
<b>Plant Materials &amp; Existing Plant Material (LDM 3.b)</b>	Clearly show trees to be removed and trees to be saved.	<ul style="list-style-type: none"> <li>▪ Existing tree symbols shown</li> <li>▪ Trees to be removed are marked with an X</li> </ul>	No	<b>Please add ID and size for all existing trees on site.</b>
<b>Landscape tree credit (LDM3.b.(d))</b>	<ul style="list-style-type: none"> <li>▪ Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA.</li> <li>▪ Refer to Landscape tree Credit Chart in LDM</li> </ul>	No		
<b>Plant Sizes for ROW, Woodland replacement and others (LDM 3.c)</b>	Refer to Landscape Design Manual for requirements	No	No	<b>Include on Plant list</b>
<b>Plant size credit (LDM3.c.(2))</b>	NA	No	No	
<b>Prohibited Plants (LDM 3.d)</b>	No plants on City Invasive Species List	Original plan had privet and ashes, both of which are not allowed now.	TBD	<b>Please do not use any species on the current Prohibited Species list in the current Landscape Design Manual.</b>
<b>Recommended trees for planting under overhead utilities (LDM 3.e)</b>	Label the distance from the overhead utilities	No trees are proposed under the existing overhead wires along Grand River.	Yes	
<b>Collected or Transplanted trees (LDM 3.f)</b>		None		
<b>Nonliving Durable Material: Mulch (LDM 4)</b>	<ul style="list-style-type: none"> <li>▪ Trees shall be mulched to 3" depth and shrubs, groundcovers to 2"</li> </ul>	No	No	<b>Please revise the notes per these guidelines.</b>

Item	Required	Proposed	Meets Code	Comments
	depth <ul style="list-style-type: none"> <li>▪ Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate.</li> <li>▪ Refer to section for additional information</li> </ul>			

**NOTES:**

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

TRAFFIC REVIEW



AECOM  
 27777 Franklin Road  
 Southfield  
 MI, 48034  
 USA  
 aecom.com

**Project name:**  
 JSP18-74 SLI Medical Center Revised  
 Preliminary Plan Traffic Review

**From:**  
 AECOM

**Date:**  
 May 21, 2019

**To:**  
 Barbara McBeth, AICP  
 City of Novi  
 45175 10 Mile Road  
 Novi, Michigan 48375

**CC:**  
 Sri Komaragiri, Lindsay Bell, George Melistas, Darcy  
 Rechten, Hannah Smith, Kate Richardson

# Memo

**Subject:** JSP18-74 SLI Medical Center Revised Preliminary Plan Traffic Review

The revised preliminary site plan was reviewed to the level of detail provided and AECOM **recommends approval** for the applicant to move forward with the condition that the comments provided below are adequately addressed to the satisfaction of the City.

## GENERAL COMMENTS

1. The applicant, Supply Line International, LLC, is proposing a 22,200 SF medical offices building, including office space and clinic space, located on the north side of Grand River Ave, east of Novi Road.
2. Grand River Ave is under the jurisdiction of the Oakland County.
3. The parcel is currently zoned B-3, General Business District.
4. Summary of traffic-related waivers/variances:
  - a. Previous study submitted by the applicant shows fewer trips expected than ITE Trip Generation Manual, 10<sup>th</sup> Edition, suggests. For this reason, AECOM recommends waiving the TIS requirement based on ITE Trip Generation value.

## TRAFFIC IMPACTS

1. AECOM performed an initial trip generation estimate based on the ITE Trip Generation Manual, 10<sup>th</sup> Edition, as follows:

ITE Code: 720 (Medical-Dental Office Building)  
 Development-specific Quantity: 22.2 thousand square feet  
 Zoning Change: None

Trip Generation Summary				
	Estimated Trips	Estimated Peak-Direction Trips	City of Novi Threshold	Above Threshold?
AM Peak-Hour Trips	59	46	100	No

<b>PM Peak-Hour Trips</b>	77	56	100	No
<b>Daily (One-Directional) Trips</b>	765	N/A	750	Yes

2. The number of projected trips exceeds the City’s threshold of more than 750 trips per day. However, in a parking study done for the proposed building, the applicant provides data that suggests the projected maximum daily traffic is 46 staff and physicians and 51 patients per day, for a total of 97 round trips or 194 daily one directional trips. For this reason, AECOM would support a waiver for in lieu of performing a traffic impact study in accordance with the City’s requirements. Additionally, this area was covered in the larger regional study completed by the City and mitigation measures for the area have already been identified. It should be noted that the applicant may be subject to certain off-site and/or on-site mitigation measures as a result of the region-wide traffic impact study including but not limited to signal timing.

<b>Trip Impact Study Recommendation</b>	
<b>Type of Study:</b>	<b>Justification</b>
<b>Waived TIS</b>	Previous study provided trip generation below ITE Trip Generation Manual projections.

## EXTERNAL SITE ACCESS AND OPERATIONS

The following comments relate to the external interface between the proposed development and the surrounding roadway(s).

1. The applicant is not proposing any changes to the existing driveway.
2. There is an existing sidewalk along the property.

## INTERNAL SITE OPERATIONS

The following comments relate to the on-site design and traffic flow operations.

1. General Traffic Flow
  - a. The applicant has indicated a 56' by 15' loading zone on the north side of the building. The applicant should refer to Section 5.4.2 to ensure the requirements set forth in the Zoning Ordinance are met.
    - i. Truck turning movement patterns should be provided to show that the loading zone location does not interfere with the use of any proposed parking spaces.
  - b. The applicant is retaining the existing trash receptacle in the rear of the building.
    - i. Truck turning movement patterns should be provided to show that the trash receptacle locations do not interfere with the use of the adjacent proposed parking spaces.
  - c. The applicant should indicate the need and usage of the storage shed in the northwest corner of the property and whether any vehicles of any type would need access to this building.
2. Parking Facilities
  - a. The applicant indicated that 122 parking spaces are required per City standards; however they are only proposing a total of 74 spaces. The applicant has indicated that a parking study from 12/12/18 states that only 64 parking spaces are needed. AECOM would concur with this parking study but the applicant would still need a waiver for this. AECOM’s full response to the parking study can be found in a separate response.

- i. The applicant could also secure a shared parking agreement with the neighboring property in case of overflow in the future.
  - b. The applicant has indicated that there are six (6) barrier free parking spaces.
    - i. The applicant has indicated that five (5) ADA parking spaces are required. These spaces should be located close to the entrances. The van accessible space should be indicated on the plans and the applicable sign called out for that space.
  - c. The applicant has indicated 19' parking spaces with 6" curbs. Parking spaces 19' in length must have 6" curbs per Section 5.3.2 of the City's Zoning Ordinance.
  - d. The applicant has no more than 15 parking spaces in a bay without an island, which is in compliance with City standards.
    - i. The end islands are required to have an outside radius of 15' and an inside radius of 2' as well as a minimum width of 10'. The applicant has provided dimensions that meet these requirements.
    - ii. Note that all end islands adjacent to a travel way shall be constructed three (3) feet shorter than the adjacent parking space per Section 5.3.12 of the City's Zoning Ordinance.
  - e. The proposed main aisle widths are in compliance with City standards. The back section has been modified to include parking in the center of the area. The aisle to the west side of the rear of the site is still very wide, the applicant could consider reducing the paved area to decrease the aisle width. The applicant should provide reasoning as to why this aisle is so large or reduce it to the 24' minimum.
  - f. The applicant has indicated bicycle parking on the site plans. A detail of the layout and the bike racks should be provided to ensure compliance with the City's Zoning Ordinance.
    - i. Per Section 5.16.5.B of the City's Zoning Ordinance, all bicycle parking facilities shall be accessible from adjacent street and pathway via a paved route that has a minimum width of six (6) feet. The proposed sidewalk from the bicycle parking is in compliance.
    - ii. Section 5.16.1.E of the City's Zoning Ordinance requires that the bicycle parking be no more than 120 feet from the entrance being served or the parking space nearest that entrance. The applicant should dimension this distance to ensure that the bicycle parking location meets this requirement.
3. Sidewalk Requirements
  - a. The applicant should indicate proposed sidewalk widths as well as locations of any ramps.
  - b. The applicant should provide the most recent Michigan Department of Transportation (MDOT) sidewalk ramp detail in future submittals.

## SIGNING AND STRIPING

1. All on-site signing and pavement markings shall be in compliance with the Michigan Manual on Uniform Traffic Control Devices (MMUTCD).
  - a. The applicant should provide a signing quantities table indicated the number of each proposed sign and its size.
2. The applicant should indicate any proposed signing on site and provide notes and details related to the proposed signing.
  - a. Single signs with nominal dimensions of 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post. Multiple signs and/or signs with nominal dimension greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post as dictated by the weight of the proposed signs.
  - b. Traffic control signs shall use the FHWA Standard Alphabet series.
  - c. Traffic control signs shall have High Intensity Prismatic (HIP) sheeting to meet FHWA retroreflectivity requirements.
3. The applicant has indicated the following notes.
  - a. The applicant has indicated a bottom height of 7' from final grade for all signs installed.
  - b. The applicant has indicated that all signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign.



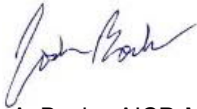
Memo

4. The applicant has indicated that the proposed markings shall be four (4) inch yellow stripes to match existing pavement markings.
  - a. The applicant should indicate that when a standard parking space is adjacent to an accessible space, abutting blue and yellow stripes shall be installed.
5. The applicant should provide a detail for the proposed international symbol for accessibility pavement markings that may be placed in the accessible parking space. The symbol shall be white or white with a blue background and white border with rounded corners.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

**AECOM**



Josh A. Bocks, AICP, MBA  
Senior Transportation Planner/Project Manager



Patricia Thompson, EIT  
Traffic Engineer

PARKING STUDY REVIEW



AECOM  
27777 Franklin Road  
Southfield  
MI, 48034  
USA  
aecom.com

**Project name:**  
JSP18-0074 SLI Medical Parkign Study Review  
Letter

**From:**  
AECOM

**Date:**  
January 23, 2019

**To:**  
Barbara McBeth, AICP  
City of Novi  
45175 10 Mile Road  
Novi, Michigan 48375

**CC:**  
Sri Komaragiri, Lindsay Bell, George Melistas, Darcy  
Rechtien, Hannah Smith, Kate Richardson

# Memo

**Subject:** JSP18-0074 SLI Medical Parking Study Review Letter

The parking study for the SLI Medical building was reviewed to the level of detail provided and AECOM **recommends approval** of the study.

## GENERAL COMMENTS

1. The memo will provide comments on a section-by-section basis following the format of the submitted report.

## METHODOLOGY

1. Proprietary demand models were used to calculate the number of parking spaces expected to be required based on the number of offices, employees, patient loads, arrival patterns, and average lengths of stay.
2. The number of daily physician patients was identified as the major limiting factor for the amount of parking required.

## EMPLOYEE/PHYSICIAN PARKING NEEDS

1. Given a total of 46 employees at the building, 46 parking spaces were assumed to be needed for the staff and physicians.

## PATIENT PARKING NEEDS

1. Patient visits are expected to occur from 8 am to 5 pm.
2. There are 5 different categories of visits, based on destination and time spent.
3. Each physician is expected to see 17 patients a day, for a total of 51 patients with 34 physical therapy only visits.
4. The owner of the facility provided information on the percentage of visit that fall under each visit type.
5. Patient parking needs are expected to peak at 12 spaces.
6. Combined with employee parking, a peak of 58 spaces would be needed and 74 are provided.
7. Peak parking is expected between 10:30 and 11 am.

## ALTERNATIVE DEMAND

1. Alternative scenarios were run, consisting of more patients per physician per day and increased lengths of stay.
2. Parking needed was estimated to be increased to 64 spaces, with 74 provided.

## PARKING COUNTS

1. Parking at the adjacent building utilizes less than 40% of its parking on a regular basis, so shared use could be feasible if needed in the future. However projected parking amounts will not require it.

## CONCLUSIONS AND RECOMMENDATIONS

1. In summary, parking proposed should be sufficient to see to the needs of the SLI Medical Office without issues, having a surplus of 10 spaces available even in the high-volume/long-visit scenario.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

**AECOM**



Patricia A. Thompson, EIT  
Traffic Engineer



Maureen N. Peters, PE  
Senior Traffic/ITS Engineer

## FAÇADE REVIEW



April 22, 2019

City of Novi Planning Department  
 45175 W. 10 Mile Rd.  
 Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Director of Community Development

Re: **FACADE ORDINANCE** Preliminary Site Plan  
**SLI Medical Office Building, JSP18-74**  
 Façade Region: 1, Zoning District: B-3

Dear Ms. McBeth:

The following is the Façade Review for the above referenced project based on the drawings provided by JFR Architects dated 3/29/19. This project is considered an addition as described in Section 5.15.7 of the Façade Ordinance. Materials in non-compliance, if any, are highlighted in bold.

	South (Front)	West	North	East	Ordinance Maximum (Minimum)
Brick (Existing)	20%	12%	UN	UN	100% (30% Minimum)
EIFS	70%	80%	UN	UN	25%
Metal Siding	10%	8%	UN	UN	25%
UN = Unaltered					

**Recommendation** – Section 5.15.7 of the Façade Ordinance allows a continuation of existing materials on an addition provided certain conditions are met. In this case the proposed addition is minor in nature and all materials represent a continuation of existing materials. The application is consistent with Section 5.15.7 and is therefore in full compliance with the Façade Ordinance. This application therefore qualifies for administrative approval in accordance with Section 6.1.1.c.x. of the Zoning Ordinance, provided that all other requirements for administrative approval are met. A façade material sample board as described in Section 5.15.4.D of the Ordinance will not be required provided that the color and texture of and new materials match the existing adjacent materials.

## Notes to the Applicant:

1. It should be noted that all roof top equipment must be screened from view from all vantage points both on-site and off-site using materials in compliance with the Façade Ordinance.

2. Inspections – The Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board (in this case the adjacent existing material) will be compared to materials to be installed. It is the applicant's responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department's Online Inspection Portal with the following link. Please click on "Click here to Request an Inspection" under "Contractors", then click "Façade".

<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

If you have any questions regarding this review, please do not hesitate to call.

Sincerely,  
DRN & Architects PC



Douglas R. Necci, AIA

**FIRE REVIEW**





April 8, 2019

TO: Barbara McBeth- City Planner  
Sri Ravali Komaragiri- Plan Review Center  
Lindsay Bell-Plan Review Center  
Hannah Smith-Planning Assistant

**CITY COUNCIL**

**Mayor**  
Bob Gatt

**Mayor Pro Tem**  
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David E. Molloy

**Director of EMS/Fire Operations**  
Jeffery R. Johnson

**Assistant Chief of Police**  
Erick W. Zinser

**Assistant Chief of Police**  
Scott R. Baetens

RE: SLI Medical Office Building

PSP# 19-0198

**Project Description:**  
**Parking lot renovation at 42350 Grand River**

**Comments:**

- **All** fire hydrants **MUST** in installed and operational prior to any building construction begins.

**Recommendation:**

APPROVED

Sincerely,

A handwritten signature in black ink, appearing to read "KSP", written over a horizontal line.

Kevin S. Pierce-Fire Marshal  
City of Novi – Fire Dept.

cc: file

**Novi Public Safety Administration**  
45125 Ten Mile Road  
Novi, Michigan 48375  
248.348.7100  
248.347.0590 fax

cityofnovi.org

PARKING ASSESMENT STUDY

**SLI Office Building**  
Novi, Michigan

Parking Needs Assessment

December 12, 2018

**DRAFT FINAL REPORT**



**RICH & ASSOCIATES**  
PARKING CONSULTANTS  
[www.richassoc.com](http://www.richassoc.com)

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## Introduction

Rich & Associates have been asked to analyze the parking needs for a building at 42350 Grand River Avenue in Novi Michigan that will be expanded and repurposed for medical office use. Primary transient demand will be created from physician's office space located in the building. Additionally, there will be some general office space (associated with the medical use) as well as some warehouse space for durable medical equipment. The physician's office space will accommodate three physicians seeing patients at any given time plus a suite for physical therapy and space for ambulatory surgery procedures (most very short 15 to 20-minute procedures) plus a pharmacy. Virtually all transient (patient) traffic will be associated with visits to one of the doctor's offices with the exception of some physical therapy visits that will be prescribed by one of the practicing physicians but because they will be part of an on-going physical therapy program not necessarily associated with a physician's office visit on that particular day. Visits to the on-site pharmacy will be part of a scheduled visit to a physician as will procedures in the Ambulatory Surgery Center. No other outside traffic is expected.

## Methodology

Using provided information for the number of physician's offices, number of employees working in the building and assumed and provided values for patient loads, arrival patterns and average lengths of stay, Rich factored the data through proprietary demand models to calculate the number of parking spaces expected to be required. This information is demonstrated and provided in tables detailing for each of the various types of functions in the planned building the number of employee and patient parking spaces needed by time of day. With most visits to the various medical functions in the building (Pharmacy or Ambulatory Surgery Center plus a few Physical Therapy patients) associated with an initial visit to one of the physicians practicing in the building, the number of daily physician patients is the major limiting factor for the amount of parking needed. Again, with the exception of patients continuing with a physical therapy (PT) program that will not require a physician's visit corresponding to each PT visit, these are the only "outside" patient visits expected.

## Employee / Physician Parking Needs

Using the provided data for the number of employees and physicians working in each office or function, Rich has determined that approximately 46 spaces will be needed to accommodate the employees and physicians on site. This is detailed by Table 1 below.



**Table 1 – Summary Staff Parking Volumes and Parking Needs**

<b>Building Uses / Staffing</b>	<b># Staff</b>	<b>Parking Needed</b>
SLI Toxicology Lab	1	1
SLI Pharmacy	1	1
SLI Office	12	12
SLI DME	1	1
SLI Warehouse	4	4
SLI Psychologist	3	3
	<b>22</b>	<b>22</b>
PT & Wellness Staff	5	5
ASC Only Staff	4	4
Physicians Office Staff (Shared among Dr's)	10	10
<b>Total Employees</b>	<b>41</b>	<b>41</b>
Physicians (In Office Seeing Patients)	3	3
Physicians (ASC Procedures)	2	2
<b>Total Staff &amp; Physicians</b>	<b>46</b>	<b>46</b>

### Patient Parking Needs

Information provided by the owner has indicated that with the exception of some physical therapy visits (as part of a continuing physical therapy program prescribed by a doctor) all other patient visits to the medical building will be in conjunction with a visit to a physician's office. The associated functions in conjunction with the physician's office visit will dictate the actual length of time that each patient is parked. Patients will arrive for doctor's appointments throughout the day (8:00 am to 5:00 pm). Each physician's visit is estimated to last 30 to 45 minutes including wait time. Associated with each physician visit is a stop for an ancillary service (pharmacy or short ASC procedure or for a small number of patients a visit to a doctor's office, a physical therapy session and pharmacy stop). A doctor's office visit combined with either pharmacy stops or a short ASC procedure (15 to 20 minutes added to the stay) is assumed to have an average stay of 1 hour. Adding a physical therapy session to a doctor's office visit and a pharmacy stop would result in an expected average stay of 1 hour 55 minutes. A small proportion (about 15 percent of procedures) in the ASC are assumed to have stays of about 1 ½ to two hours added to a doctor's office visit. For these patients we have assumed a total time parked of 2 hours and 30 minutes. For the patients who come for just a physical therapy session a length of time parked is assumed to be 1 hour five minutes accommodating both the 50 to 60-minute therapy session and additional time visiting with other patients or traveling to and from the vehicle.



Given these average stay lengths for patients, the parking needs is a function of the number of patients actually classified for each stay. With the exception of the singular physical therapy sessions (not associated with a doctor's office visit), all other patient parking demand starts with a physician's office visit. It is being assumed that about 34 patients per day would be coming for just a physical therapy session. Using provided information for the number of physicians seeing patients on any given day (3), the next variable is the number of patients seen per physician. Based on experience conducting studies for hospitals and medical facilities, Rich has learned that different specialties will have varying volumes of patients seen each day per physician but averaging between 14 and 17 patients per doctor per day. Using the higher value (17) would translate to a daily patient volume of 51. Data provided by the owner has suggested that 15 percent (6 patients) may include a doctor's office visit plus a physical therapy session. An additional two patients may also have a stop at the pharmacy in combination with the office visit and therapy session. Subtracting these eight patients that have physical therapy sessions from 51 total daily patients leaves 43 patients. Eighty-five percent of these patients (37 patients) are assumed to have a stop at either the pharmacy or the ASC for a very short procedure (pain shot). The balance of 15 percent (6 patients) would have a longer procedure in the ASC necessitating the total visit time (including doctor's office) of 2 hours and 30 minutes. Given

**Table 2 - Summary Patient Parking Needs**

	<b>Daily Volume</b>
Medical Office Building	
Number of Physician's Seeing Patients	3
Patients / Physician / Day	17
<b>Total Daily Patients</b>	<b>51</b>
<b>Patient Allocation</b>	
Dr's Visit + PT Visit (1:40 Minutes)	6
Dr's Visit + PT Visit + Pharmacy Visit (1:55)	2
Dr's Visit + Pharmacy visit or Short-Term ASC (1:00)	37
Dr's Visit + Long-Term ASC (2:30 Min) *	6
<b>Total Patients</b>	<b>51</b>
Physical Therapy Only (1:05)	34
* 30 minutes physicians office + 2 hour ASC procedure	

these volumes of patients and the lengths of stay as noted above, the patient parking needs peak at 12 spaces needed.

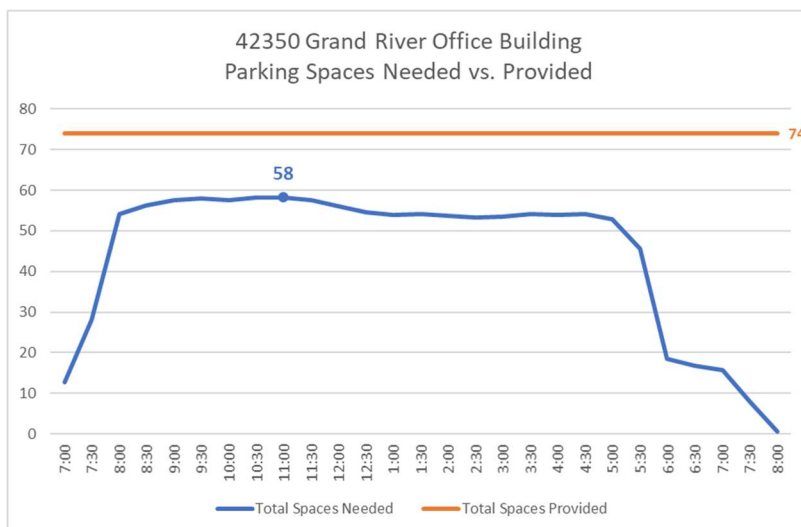


Figure 1- Parking Demand vs. Supply

these volumes of patients and the lengths of stay as noted above, the patient parking needs peak at 12 spaces needed.

Combined with the 46 employee and physician parking needs means that a total of 58 spaces will be needed to accommodate all needs for this building. Compared to the 74 spaces planned to be provided with the building would mean a surplus of 16 spaces. This information is detailed by **Table 3** on page 5 which details the number of parking spaces needed by each employee or patient classification by time of day between 7:00 am and about 8:00 pm.



Peak needs following typical patterns experienced for other medical facilities would occur during the morning hours.

**Group 1** (Lines 1 – 10) – Includes the various staff categories for the various functions to be located within the building. Most values for the number of employees assigned to each classification are as provided by the building owner. The exception is the physician's office staff. Rich has assumed 3 physicians seeing patients on any given day with an average of 3.2 staff per physician giving the 10 staff. These staff are shared among the five physicians. For each employee classification, 100 percent are assumed to drive and park on site.

**Group 2** (Lines 12 & 13) – is the five physicians located on site. As noted above on any given day it is being assumed that three would be in the practices seeing patients. The remaining two would be on site performing procedures in the ASC.

**Group 3** (Lines 15 – 20) – Demonstrates the patient classifications. The value in parentheses shows the number of patients allotted to that classification followed in the next column by the expected length of stay for that grouping. For all patient classifications, 97 percent are assumed to arrive in a car which is subsequently parked on site remaining for the length of the visit.

**Five different classifications for patients are shown:**

1. Physical Therapy Patients only – 34 patients with an expected stay (parked) of 1 hour five minutes
2. Doctor's office visit followed by physical therapy session – 6 patients with total stay of 1 hour 40 minutes
3. Doctor's office visit followed by physical therapy session and stop at the pharmacy – 2 patients with each having a total stay of 1 hour 55 minutes
4. Doctor's office visit followed by either a pharmacy visit or short-term ASC procedure – 37 patients with a total stay of about 1 hour.
5. Doctor's office visit followed by a longer-term procedure (1 ½ to 2 hours) in the ASC – 6 patients with a total stay of two hours and 30 minutes.





Table 3 – Detailed Parking Needs by User Group

		42350 Grand River Parking Spaces Required																											
		6:30	7:00	7:30	8:00	8:30	9:00	9:30	10:00	10:30	11:00	11:30	12:00	12:30	1:00	1:30	2:00	2:30	3:00	3:30	4:00	4:30	5:00	5:30	6:00	6:30	7:00	7:30	
		to	to	to	to	to	to	to	to	to	to	to	to	to	to	to	to	to	to	to	to	to	to	to	to	to	to	to	
		7:00	7:30	8:00	8:30	9:00	9:30	10:00	10:30	11:00	11:30	12:00	12:30	1:00	1:30	2:00	2:30	3:00	3:30	4:00	4:30	5:00	5:30	6:00	6:30	7:00	7:30	8:00	
1	SLI Wellness Ctr	2	2	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	3	0	
2	SLI Toxicology Lab	0	0	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	0	0	0	0	
3	SLI Pharmacy	0	0	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	0	0	0	0	0	
4	SLI Office	0	6	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	6	0	0	0	0	0	
5	SLI DME	0	0	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	0	0	0	0	0	
6	SLI Warehouse	0	0	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	0	0	0	0	0	
7	SLI Psychologist	0	0	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	0	0	0	0	0	
8	SLI ASC Staff	0	0	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	0	
9	Physicians Office Staff	6	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	0	0	0	0	0	
10	<b>Sub-Total Group 1</b>	<b>8</b>	<b>18</b>	<b>41</b>	<b>41</b>	<b>41</b>	<b>41</b>	<b>41</b>	<b>41</b>	<b>41</b>	<b>41</b>	<b>41</b>	<b>41</b>	<b>41</b>	<b>41</b>	<b>41</b>	<b>41</b>	<b>41</b>	<b>41</b>	<b>41</b>	<b>41</b>	<b>35</b>	<b>9</b>	<b>9</b>	<b>9</b>	<b>7</b>	<b>0</b>		
11																													
12	Physicians	0	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	0	
13	<b>Sub-Total Group 2</b>	<b>0</b>	<b>5</b>	<b>5</b>	<b>5</b>	<b>5</b>	<b>5</b>	<b>5</b>	<b>5</b>	<b>5</b>	<b>5</b>	<b>5</b>	<b>5</b>	<b>5</b>	<b>5</b>	<b>5</b>	<b>5</b>	<b>5</b>	<b>5</b>	<b>5</b>	<b>5</b>	<b>5</b>	<b>5</b>	<b>5</b>	<b>5</b>	<b>5</b>	<b>0</b>		
14																													
15	(34) Physical Therapy Only 1:05	1	2	3	4	4	4	4	5	5	4	3	3	3	3	3	3	3	3	3	2	1	1	1	1	1	0	0	
16	(6) Dr's Visit + PT 1:40	0	0	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	0	0	0	0	0	0	
17	(2) Dr's Visit + PT + Pharmacy 1:55	0	0	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	0	0	0	0	
18	(37) Dr's Visit + ST ASC or Pharmacy 1:00	3	2	2	3	4	4	4	4	4	4	3	2	2	2	1	1	2	2	3	3	3	2	1	1	0	0	0	
19	(6) Dr's Visit + LT ASC 2:30	1	1	1	1	1	1	1	2	2	2	2	2	1	1	1	1	1	1	1	1	1	1	1	1	1	0	0	
20	<b>Sub-Total Group 3</b>	<b>5</b>	<b>5</b>	<b>8</b>	<b>10</b>	<b>11</b>	<b>12</b>	<b>12</b>	<b>12</b>	<b>12</b>	<b>12</b>	<b>10</b>	<b>9</b>	<b>8</b>	<b>8</b>	<b>8</b>	<b>7</b>	<b>8</b>	<b>8</b>	<b>8</b>	<b>8</b>	<b>7</b>	<b>6</b>	<b>5</b>	<b>3</b>	<b>2</b>	<b>1</b>	<b>1</b>	
21																													
22	<b>Total Spaces Needed</b>	<b>13</b>	<b>28</b>	<b>54</b>	<b>56</b>	<b>57</b>	<b>58</b>	<b>58</b>	<b>58</b>	<b>58</b>	<b>58</b>	<b>56</b>	<b>55</b>	<b>54</b>	<b>54</b>	<b>54</b>	<b>53</b>	<b>54</b>	<b>54</b>	<b>54</b>	<b>53</b>	<b>46</b>	<b>19</b>	<b>17</b>	<b>16</b>	<b>8</b>	<b>1</b>		
23	<b>Total Spaces Provided</b>	<b>74</b>	<b>74</b>	<b>74</b>	<b>74</b>	<b>74</b>	<b>74</b>	<b>74</b>	<b>74</b>	<b>74</b>	<b>74</b>	<b>74</b>	<b>74</b>	<b>74</b>	<b>74</b>	<b>74</b>	<b>74</b>	<b>74</b>	<b>74</b>	<b>74</b>	<b>74</b>	<b>74</b>	<b>74</b>	<b>74</b>	<b>74</b>	<b>74</b>	<b>74</b>		
24	<b>Surplus/(Deficit)</b>	<b>61</b>	<b>46</b>	<b>20</b>	<b>18</b>	<b>17</b>	<b>16</b>	<b>16</b>	<b>16</b>	<b>16</b>	<b>16</b>	<b>18</b>	<b>19</b>	<b>20</b>	<b>20</b>	<b>20</b>	<b>21</b>	<b>20</b>	<b>20</b>	<b>20</b>	<b>21</b>	<b>28</b>	<b>55</b>	<b>57</b>	<b>58</b>	<b>66</b>	<b>73</b>		
25	<b>% Occupancy</b>	<b>17%</b>	<b>38%</b>	<b>73%</b>	<b>76%</b>	<b>78%</b>	<b>78%</b>	<b>78%</b>	<b>79%</b>	<b>79%</b>	<b>78%</b>	<b>76%</b>	<b>74%</b>	<b>73%</b>	<b>73%</b>	<b>73%</b>	<b>72%</b>	<b>72%</b>	<b>73%</b>	<b>73%</b>	<b>73%</b>	<b>71%</b>	<b>62%</b>	<b>25%</b>	<b>23%</b>	<b>21%</b>	<b>11%</b>	<b>1%</b>	
26																													



## Alternative Demand

Given the surplus parking expected with the volumes of patients per physician, Rich has also projected the potential parking needs assuming higher volumes of patients per physician. Even using initial values for the number of patients per physician 50 percent greater or as high as 25 patients per doctor per day (instead of 17 patients per physician per day) with a consequent change in the average length of stay to 1 hour and 20 minutes (instead of 1 hour) due to increased waiting times, the parking needs for the building would still only peak at 64 parking spaces needed with the number of staff and physicians remaining constant. **Table 4** below shows the total building parking needs and patient volumes allocated among the various functions at the previously shown lengths of stay given the increased patient load. The table shows, for example, that at the 25 patients per physician day volume (75 total daily patients) that the number of physical therapy visits in combination with a doctor's office visit would increase by three patients from the currently used 8 total patients to 11 total patients. Of these 11 patients, 8 would have just the doctor's visit plus the physical therapy session and three would have a doctor's visit, physical therapy session and add a stop at the pharmacy. The number of patients seeing a doctor and then either a procedure in the ASC or a pharmacy visit would increase from 43 to 64. Eighty-five percent of these patients (54) would have either a short ASC procedure or pharmacy visit while 15 percent (10 patients rather than 6) would have longer procedures in the ASC with the longer stay. Given the daily patient volumes at other rates of visits per physician would change the total building parking need from the currently projected 58 total spaces needed to between 59 and 64 total spaces (employees, physicians and patients) needed.

**Table 4 – Alternative Peak Patient Parking Needs (Higher Patient Loads)**

	3	3	3	3	3	3
<b>Physicians Seeing Patients</b>	<b>3</b>	<b>3</b>	<b>3</b>	<b>3</b>	<b>3</b>	<b>3</b>
<b>Pats / Dr / Day</b>	<b>17</b>	<b>18</b>	<b>19</b>	<b>20</b>	<b>22</b>	<b>25</b>
<b>Total Daily Patients</b>	<b>51</b>	<b>54</b>	<b>57</b>	<b>60</b>	<b>66</b>	<b>75</b>
	<b>Number of Patients per Day</b>					
15% Physical Therapy + Dr Visit	8	8	9	9	10	11
75% Physical Therapy with Dr Visit	6	6	7	7	8	8
Average Length of Stay (Hrs:Min)	1:40	1:40	1:40	1:40	1:40	1:40
25% PT + Dr Visit + Pharmacy Visit	2	2	2	2	2	3
Average Length of Stay (Hrs:Min)	1:55	1:55	1:55	1:55	1:55	1:55
ASC Pats/ Pharmacy + Dr	43	46	48	51	56	64
85% Dr + ST ASC / Pharmacy	37	39	41	43	48	54
Average Length of Stay (Hrs:Min)	1:00	1:00	1:00	1:00	<b>1:20</b>	<b>1:20</b>
15% Dr + LT ASC	6	7	7	8	8	10
Average Length of Stay (Hrs:Min)	2:30	2:30	2:30	2:30	2:30	2:30
Physical Therapy Only	34	34	34	34	34	34
Average Length of Stay (Hrs:Min)	1:05	1:05	1:05	1:05	1:05	1:05
	<b>Peak Hour Parking Spaces Needed</b>					
Employee Parking Needs	41	41	41	41	41	41
Physician Parking Needs	5	5	5	5	5	5
Patient Parking Needs	<b>12</b>	<b>13</b>	<b>15</b>	<b>15</b>	<b>16</b>	<b>18</b>
<b>Total Parking Needed</b>	<b>58</b>	<b>59</b>	<b>61</b>	<b>61</b>	<b>62</b>	<b>64</b>



## Parking Counts

Although the parking demand values show that the building at 42350 Grand River should have sufficient parking capacity given the values provided, parking occupancy counts were conducted for both the existing building and an adjacent building at 42400 Grand River for two days on December 3<sup>rd</sup> and 4<sup>th</sup>, 2018. Given the change in use for the proposed building combined with its expansion, the major focus of these counts is intended to show that the adjacent building at 42400 Grand River is currently only using about 40 percent of its capacity that could provide additional parking support to the 42350 building should it become necessary in the future depending on the existing occupancy level of the existing building and assuming appropriate shared-use terms could be reached. However, given the patient volumes currently projected and even assuming significantly higher patient volumes, this adjacent building parking should not be needed.

Figure 2 – Parking Lot Occupancy Counts Monday, December 3, 2018

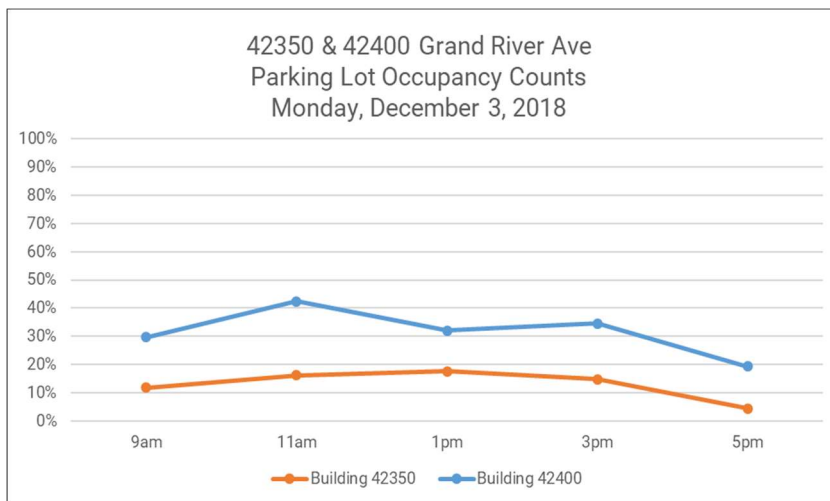
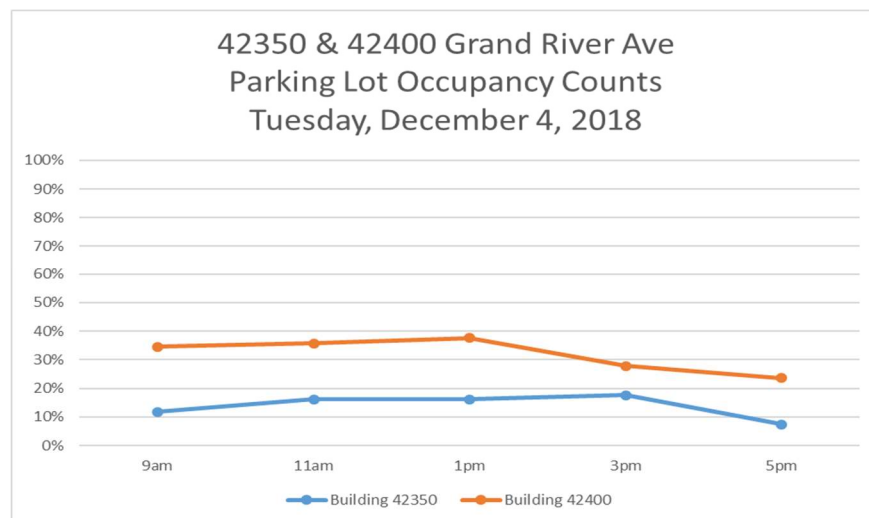


Figure 3 – Parking Lot Occupancy Counts Tuesday, December 4, 2018



APPLICANT RESPONSE LETTER

June 7<sup>th</sup>, 2019

Sri Ravali Komaragiri  
Novi City Planning & Zoning  
45175 W 10 Mile Rd  
Novi, MI 48375

Re: Plan Review Center Report  
Planning Review  
SLI Medical Office  
42350 Grand River Avenue  
Novi, MI 48375  
JSP 18-74

The preliminary site plan has been revised per your review comments dated June 3rd, 2019. The landscape review comments will be provided by the Landscape Architect in a separate letter. Our responses to your comments are as follows:

1. All business, servicing or processing, except for off- street parking, loading/ unloading shall be conducted within completely enclosed buildings

*Note has been added to the plans.*

2. Building plans indicate a proposed Stairwell in the eastern side yard. Site plan labels it as existing. Floorplans indicate it as proposed. Please clarify. A ZBA variance may be required if stairwell is proposed within building setbacks.

*The stairwell in the eastern side yard is an existing structure and is NOT proposed.*

3. Please dimension the setbacks. Underage of minimum setback along western property line is consistent with the setbacks approved as part of site plan approval from 1994.

*The parking setbacks have been dimensioned. See plans.*

4. Required parking setback area shall be landscaped per sec 5.5.3.

*See landscape review letter.*

5. The applicant should seek a variance from Zoning Board of Appeals for this item. Please refer to Plan review letter for more details. The plan should provide a minimum of 75 spaces as noted in the ZBA application

*The space requirement will be revised at time of final site plan.*

6. Two van accessible spaces to the north do not provide a safe and convenient access to building. Are additional barrier free spaces required than the minimum required for the type of medical use located in the building? Refer to Plan Review letter for more detail.

*The van accessible spaces will be revised at time of final site plan.*

7. Provide a bike pad detail as noted in the Zoning Ordinance.

*A bike pad detail was added to the site plan.*

8. Submit a lighting plan at the time of final site plan.

*Lighting plan will be submitted for final site plan.*

9. Confirm that no additional rooftop equipment is proposed.

*See note on site plan.*

10. General layout and dimension of proposed physical improvements.

*Dimensions have been added to site plans.*

11. Total cost of the proposed building & site improvements. Number of anticipated jobs created (during construction & after building is occupied)

*Landscape Cost Estimate: \$21,000*

*Engineering Site Improvements Cost Estimate: \$35,000.*

*Client/owner to provide other economic impact data.*

12. Truck turning movement patterns should be provided to show that the loading zone location does not interfere with the use of any proposed parking spaces.

*Truck turning patterns will be revised at time of final site plan.*

13. Truck turning movement patterns should be provided to show that the trash receptacle locations do not interfere with the use of the adjacent proposed parking spaces.

*Truck turning patterns will be revised at time of final site plan.*

14. The applicant should indicate the need and usage of the storage shed in the northeast corner of the property and whether any vehicles of any type would need access to this building.

*The storage shed on the north east side is owned by Michigan Bell Telephone and is routinely accessed for maintenance by company vehicles.*

15. The applicant has indicated that five (5) ADA parking spaces are required. These spaces should be located close to the entrances. The van accessible space should be indicated on the plans and the applicable sign called out for that space.

*Accessible spaces have been relocated closer to building entrance. See site plan.*

16. The aisle to the west side of the rear of the site is still very wide, the applicant could consider reducing the paved area to decrease the aisle width. The applicant should provide reasoning as to why this aisle is so large or reduce it to the 24' minimum.

*The excess paved area will be used for additional parking spaces. See site plan.*

17. Section 5.16.1.E of the City's Zoning Ordinance requires that the bicycle parking be no more than 120 feet from the entrance being served or the parking space nearest that entrance. The applicant should dimension this distance to ensure that the bicycle parking location meets this requirement.

*Dimension has been added to site plan.*

18. The applicant should indicate proposed sidewalk widths as well as locations of any ramps.

*See site plan.*

19. The applicant should provide the most recent Michigan Department of Transportation (MDOT) sidewalk ramp detail in future submittals.

*Updated sidewalk ramp details have been added. See site plan.*

20. The applicant should provide a signing quantities table indicated the number of each proposed sign and its size.

*Quantities table is provided. See site plan.*

21. The applicant should indicate any proposed signing on site and provide notes and details related to the proposed signing.

*Notes and details have been added to the plans.*

22. The applicant should indicate that when a standard parking space is adjacent to an accessible space, abutting blue and yellow stripes shall be installed.

*Note has been added to plan.*

23. The applicant should provide a detail for the proposed international symbol for accessibility pavement markings that may be placed in the accessible parking space. The symbol shall be white or white with a blue background and white border with rounded corners.

*Detail has been added to plan.*

Fenn & Associates will address the 75 required parking spaces and any other staff concerns at the time of final site plan approval. Please contact us if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Jeffrey S. Rizzo". The signature is written in a cursive, flowing style.

Jeffrey S. Rizzo, PE  
Fenn & Associates



June 6, 2019

Mr. Rick Meader, Landscape Architect  
City of Novi Community Development  
45175 West Ten Mile Road  
Novi, MI 48375

RE: SLI Medical Building- Preliminary Landscape Review, Job # JSP18-0074

Dear Mr. Meader:

In response to the city landscape review comments dated April 9, 2019, please see our landscape plans for SLI Medical Building, Job No. LS19.081.06, dated 6-7-2018, sheets LS-1 & LS-2 for details. We offer the following comments below.

Existing Soils (Preliminary Site Plan checklist #10, #17)

- **Noted.**

Existing and proposed overhead and underground utilities, including hydrants.(LDM 2.e.(4))

- **Existing storm and gas service lines, and light posts has been shown**

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2).) No trees exist on the site.

- **Noted**

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and ii) Property is not adjacent to Residential.

- **Noted**

Right-of-Way Landscape Screening (Zoning Sec. 5.5.3.B)

- **Calculation for the greenbelt requirement has been provided**
- **Greenbelt plantings has provided to meet the requirements**

Parking Lot Interior (Zoning Sec 5.5.3.C)

- **Calculation for interior parking trees requirement has been provided**
- **Interior parking trees has provided to meet the requirements**

Parking Lot Perimeter (Zoning Sec 5.5.3.C)

- **Calculation for perimeter parking trees requirement has been provided**
- **A waiver for the perimeter parking trees is requested the deficient parking lot trees required**

Building Foundation Landscape (Zoning Sec 5.5.3.D.)

- **Foundation plantings along Grand River Avenue and west side of the building has been provided**



Loading Zone screening (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)

- **Noted.**

Plant List (LDM 2.h. and t.)

- **50% of the new plantings provided is native to Michigan**

Planting Notations and Details (LDM)

- **A tree details –a note has been added with the root ball dirt pulled back to exposed the root flare**

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 1.d.(3))

- **Shrub plantings around the basin has been added to provide cover 70-75% of the basin rim**

Irrigation (LDM 1.a.(1)(e) and 2.s)

- **Irrigation plan will be provided during final site plan approval.**

Snow Deposit (LDM.2.q.)

- **Snow deposits areas has been added on the landscape plan**

Corner Clearance (Zoning Sec5.9)

- **Clearview line has been added at the entry drive**

Please do not hesitate to contact me should you have any questions or comments.

Sincerely



Felino A. Pascual, RLA

