



ZONING BOARD OF APPEALS
CITY OF NOVI
Community Development Department

Case No. PZ14-0025

Location: 2214 Austin Drive

Zoning District: R-4, One Family Residential

The applicant is requesting variances from the CITY OF NOVI, CODE OF ORDINANCES, Sections 2400 to allow construction of a new single family home with attached wood deck on an existing lakefront lot with a reduced north side yard setback of 3.0 ft, a reduced aggregate side setback of 7.0 ft., a reduce front yard setback of 13.3 ft., and maximum lot coverage of 37.9%. The property is located west of Old Novi Road and south of 13 Mile Road.

Ordinance Sections:

CITY OF NOVI, CODE OF ORDINANCES, Section 2400 requires minimum and aggregate side yard setbacks of 10 ft. and 25 ft. respectively, a front yard setback of 30 ft. and maximum lot coverage of 25%.

City of Novi Staff Comments:

The applicant was previously granted approval in Case No. PZ13-0066 to construction of a new one and half story modestly sized single family home on an existing narrow lakefront lot. The applicant is now requesting approval to construct a new two story single family home on an existing nonconforming lot.

This request is similar to a number of past cases to come before the board in that a new home is proposed for an existing narrow lakefront lot. Due to the 40 foot width of the lot and limited area a number of variances are needed to allow a workable envelope for even a modest new home. Staff supports the request provided the requested variance is found to not cause an adverse impact on surrounding property, property values or the use and enjoyment of the property in the neighborhood or zoning district.

Standards for Granting a Dimensional Variance:

A variance may be granted if a practical difficulty exists due to all of the following:

- There are unique circumstances or physical conditions of the property such as narrowness, shallowness, shape, water, topography or similar physical conditions and the need for the variance is not due to the applicant's personal or economic difficulty because_____.
- The need is not self-created because_____.
- Strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome because_____.
- The requested variance is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district because_____.
- The requested variance will not cause an adverse impact on surrounding property, property values or the use and enjoyment of the property in the neighborhood or zoning district because_____.



ZONING BOARD OF APPEALS APPLICATION

CITY OF NOVI

Community Development Department

(248) 347-0415

For Official Use Only

cityofnovi.org
ZBA Case No.

2214-0025

ZBA meeting date

July 08, 2014

Check# _____ Include payment with cash or check written to "City of Novi"

TO BE COMPLETED BY APPLICANT - PLEASE PRINT

***Please submit one original full set of all documentation relevant to the appeal plus 14 additional complete sets.

Applicant's Name JOSEPH R + JANE V. VAICIONAS Date 2014-05-28

Company (if applicable) _____

Address* 19593 E. HARBOUR VILLAGE City NORTHVILLE

State MI Zip code 48167 *Where all case correspondence is to be mailed

Applicant's E-mail address JOEVAAS@YAHOO.COM

Phone number 248-202-1014 Fax number _____

Request is for:

Residential Vacant property Commercial Signage

Address of subject ZBA case 2214 AUSTIN DRIVE Zip code 48397

Cross roads of property 13 WILE RD + OLD NOVI RD

Sidwell number 50-22-_____ May be obtained from Assessing Department (248) 347-0485

Is the property within a Homeowner's Association jurisdiction? Yes No

Zoning (Please circle one) MH R-A R-1 R-2 R-3 R-4 RM-1 RM-2
I-1 I-2 RC TC TC-1 _____ Other

Property owner name (if other than applicant) _____

Does your appeal result from a Notice of Violation or Citation issued? Yes No

Indicate Ordinance section(s) and variances requested:

1. Section Z400 Variance requested SIDE YARD
2. Section Z400 Variance requested FRONT YARD
3. Section _____ Variance requested _____
4. Section _____ Variance requested _____

Please submit an accurate, scaled drawing of the property showing:

- a. All property lines and dimensions correlated with the legal description.
- b. The location and dimensions of all existing and proposed structures and uses on property.
- c. Any roads, easements, drains, or waterways which traverse or abut the property and the lot area and setback.
- d. Dimensions necessary to show compliance with the regulations of this Ordinance.

State the practical difficulties which prevent conformance with the Zoning Ordinance requirements (attach separate sheet if necessary):

ATTACHED LETTER

Describe any unique circumstances regarding the property (i.e., shape, topography, etc.) which are not common to other properties in the area and which prevent strict compliance with the Zoning Ordinance:

There is a five (5) day hold period before work/action can be taken on variance approvals.

SIGN CASES ONLY:

Your signature on this application indicates that you agree to install a **Mock-Up Sign ten (10) days** before the scheduled ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next scheduled ZBA meeting, or cancelled. A mock-up sign is **NOT** to be the actual sign. Upon approval, the mock-up sign must be removed within five (5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five (5) days of the meeting.

City of Novi Ordinance, Section 3107. - Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one (1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty (180) days unless such use is established within such a period; provided, however, where such use permitted is dependent upon the erection or alteration of a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one (1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

- Construct new home/building Addition to existing home/building
- Accessory building Use Signage Other

Joseph R. Vaccaro 2014-05-28
 Applicant's Signature Date

Joseph R. Vaccaro 2014-05-28
 Property Owners Signature Date

DECISION ON APPEAL

_____ Granted _____ Denied

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following items and conditions:

Chairperson, Zoning Board of Appeals

Date

JOE & JANE VAICINAS

RETIREMENT HOME

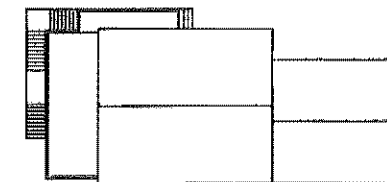
LOT 88 2214 AUSTIN DRIVE NOVI, MICHIGAN



LEGEND

- C-1 SITE PLAN
- A-1 FOUNDATION PLAN
- A-2 FLOOR PLANS, DOOR AND WINDOW SCHEDULE
- A-3 ELEVATIONS PLANS
- A-4 BUILDING SECTION & DETAILS

OVER ALL BUILDING SQUAR FOOTAGE 3,216
 BASEMENT SQUAR FOOTAGE 818
 LIVING SQUAR FOOTAGE 1,638
 GARAGE SQUAR FOOTAGE 814



ROOF LINE
N.T.S.

PROUD HOME CONSTRUCTION INC.
 14915 ARDEN ST
 LYONIA, MICHIGAN 48154
 734-266-8152



COVER SHEET

PROJECT NO.	
DATE	1-20-14
BY	

PROJECT
**JOE & JANE VAICINAS
 RETIREMENT HOME**
 LOT 88
 2214 AUSTIN DRIVE
 NOVI, MICHIGAN 48377

SCALE	REVISION DATE
P.O.W.	01-13-14
PLN DATE/TITLE	
02-14-99	02:13
PROJECT NO.	
14	02
SHEET NO.	
COVER	

DEMOLITION NOTES

ALPINE ENGINEERING, INC. WILL PREPARE A BOUNDARY SURVEY OF THE PROPERTY AND PLACEMENT OF EXISTING BUILDINGS.

BEFORE DEMOLITION PERMIT AND PROOF OF OWNERSHIP OF PROPERTY MUST BE OBTAINED. CONTRACTOR SHALL BE LICENSED AND CERTIFICATE OF INSURANCE BE ISSUED.

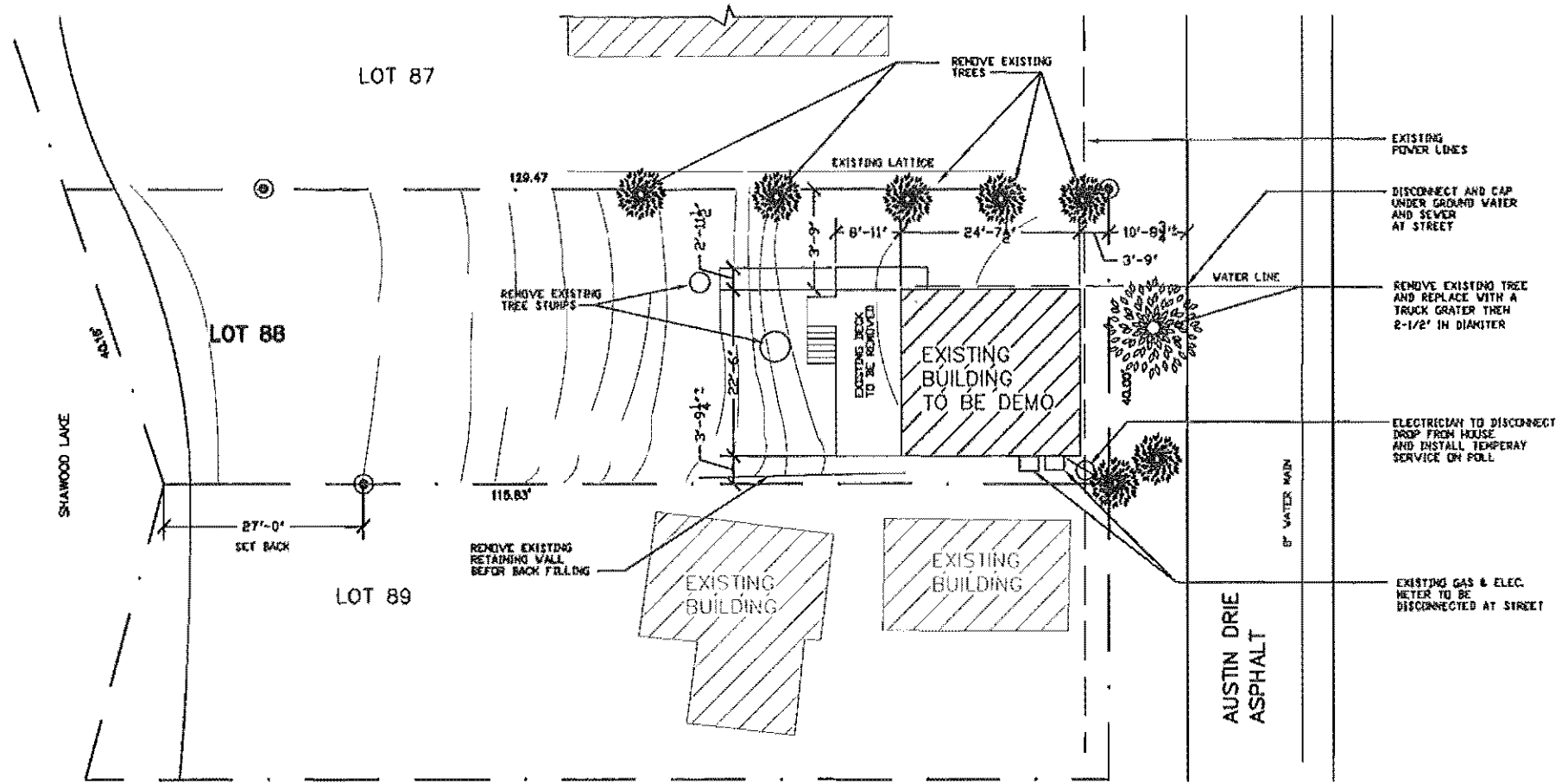
BEFORE DEMOLITION UTILITIES (HAVING SERVICE CONNECTIONS WITHIN THE BUILDING SUCH AS WATER, ELECTRIC, GAS, SEWER AND OTHER CONNECTIONS) PERMIT FOR DEMOLITION WILL NOT BE ISSUED UNTIL A RELEASE IS OBTAINED FROM THE UTILITIES, STATING THAT THEIR RESPECTIVE SERVICE CONNECTIONS AND EQUIPMENT HAVE BEEN REMOVED OR SEALED AND PLOTTED IN A SAFE MANNER OR DOES NOT EXIST.

ADJOINING PROPERTY SHALL BE PROTECTED FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION OF NEW BUILDING. PROVISIONS SHALL BE MADE TO CONTROL WATER RUNOFF AND EROSION.

SANITARY SEWER LEADS SHALL BE CAPPED AT THE PROPERTY LINE BY APPROVED MATERIALS.

DOMESTIC WATER SERVICE WILL BE RETIRED BY SHUTTING OFF THE CORPORATION STOP AT THE WATER MAIN, PHYSICALLY DISCONNECTING THE SERVICE LINE FROM THE CORPORATION STOP.

ALL EXISTING FOOTINGS, FOUNDATION WALLS, AND CONCRETE MUST BE REMOVED. FINAL INSPECTION BY BUILDING DEPARTMENT IS REQUIRED BEFORE EXCAVATING FOR NEW STRUCTURE.



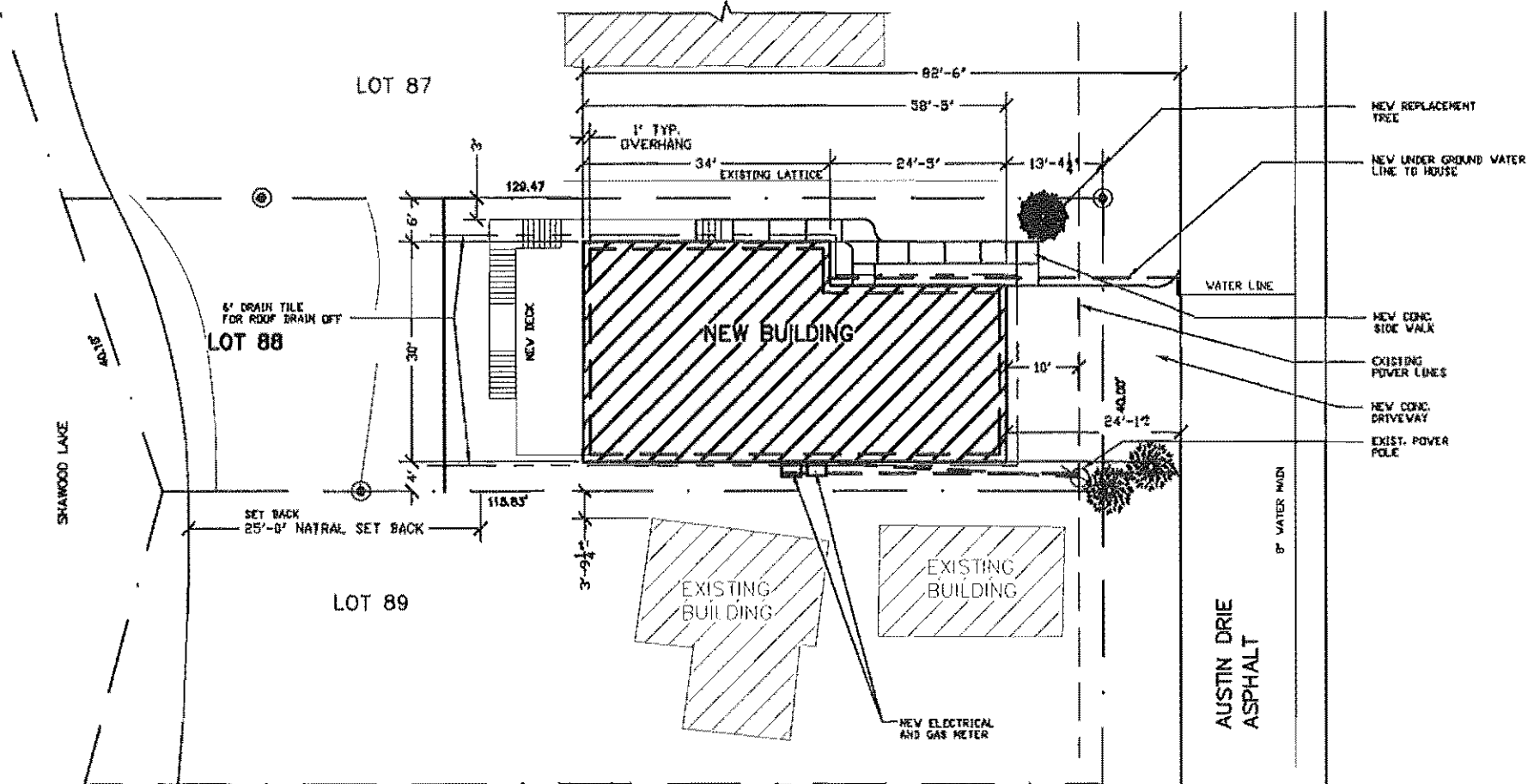
SITE PLAN DEMO
SCALE: 1" = 20'-0"

NEW SITE PLAN NOTES

ALPINE ENGINEERING, INC. WILL PREPARE A TOPOGRAPHIC SURVEY THAT WILL INCLUDE GROUND ELEVATION AND FIELD LOCATION OF ALL ABOVE GROUND STRUCTURES AND UTILITIES 50 FEET OF THE SITE.

ALPINE ENGINEERING WILL PREPARE A PLOT PLAN FOR THE SITE IDENTIFYING LOCATION OF NEW BUILDING CORNERS OF NEW STRUCTURE WILL BE STAKED ALONG WITH OFF-SET STAKES. THE FINISH GRADE FOR THE BUILDING WILL BE INDICATED ON ONE OF THE STAKES AS A REFERENCE MARK FOR BUILDING CONSTRUCTION.

AFTER EXCAVATION ALPINE ENGINEERING WILL STAKE FOR THE FOUNDATION AND RETURN FOR FINISHING THE FOOTINGS FOR BASEMENT WALLS.



SITE PLAN NEW
SCALE: 1" = 20'-0"

PROUD HOME CONSTRUCTION INC.
14915 ARDEN ST.
LIVONIA, MICHIGAN 48154
734 - 265-8898

EXISTING AND NEW SITE PLANS	
DATE	REVISION
10-15-13	1-15-14
1-15-14	1-20-14
1-20-14	3-7-14

**JOE AND JANE VAICIUNAS
RETIREMENT HOME**

LOT 88
2214 AUSTIN DRIVE
NOVI, MI 48377

DATE: 09-24-2013

PROJECT NO: 13

SHEET NO: C-1

FOUNDATION NOTES:

The building area shall be cleared of debris, topsoil, and organic material. Any existing fill shall be removed and replaced. New fill material shall be clean, well-graded granular material and placed in lifts of not more than 9", with each lift being

Concrete for foundations and slab on grade shall have minimum compressive strengths of 3,000 p.s.f. in 28 days. Minimum cement contents shall be 5.5 bags per yard. Air entrainment shall be used for concrete exposed to weather.

Reinforcing steel shall be deformed bars with yield strengths in accordance with A.S.T.M. A-615 grade 60. Welded wire fabric (mesh) shall conform to A.S.T.M. A-185 with minimum ends and end laps of 8".

All reinforcing shall be fabricated and placed according to the "Manual of Std. Practice for Detailing Reinforced Concrete", A.C.I. 318-65 revised. Bends, splices and cover shall be in accordance with A.C.I. 318-77.

All foundations shall bear on depths shown or as recommended by a soils engineer. Bearing shall be in compacted virgin undisturbed soil with a minimum bearing capacity of 2,000 p.s.f. Compaction of the existing soil shall be in accordance with the recommendation of the soils engineer and shall be verified prior to placing of concrete.

MASONRY

- All work shall conform to the "American Standard Building Code Requirements for Masonry", U.S. Department of Commerce National Bureau of Standards Miscellaneous Publication 211 (American Standards Association A41.1).
- Provide 8" solid masonry under ends of walls bearing beams, joists and lintels unless noted otherwise.
- Lintels supporting cinder block walls to be lightweight concrete $f'c = 2,500$ PSI reinforced with deformed bars as follows unless otherwise noted:
 - A. 4" x 8" units ----- 1 #4 T & B
 - B. 6" x 8" and 8" x 8" units ----- 2 #4 T & B
 - C. 12" x 8" units ----- 3 #4 T & B
- Lintels for brick masonry to be steel angles.
- All block masonry work below grade shall be 12" thick concrete block masonry filled with 3,000 PSI concrete with pea gravel aggregate.
- In masonry walls, provide truss type reinforcing fabricated with single pair of 9 gauge side rods and continuous 9 gauge diagonal cross-rod spaced not more than 18" o.c. Install at not more than 18" o.c. vertically.

TRUSS NOTES:

MATERIALS

Wood Trusses shall be fabricated by an authorized Truss Plate Institute Manufacturer and in accordance with "Design Specifications for Light Metal Plate Connected Wood Trusses" (TPI-74), TPI Quality Control Manual QCM-77, and "National Design Specifications Manual QCM-77, and "National Design Specifications for Stress Grade Lumber and Its Fastenings".

Provide sway bracing, cross-bracing, e-bracing, bottom chord restraint and all anchorage accessories as required.

DESIGN
The wood truss shall be custom designed to fit the dimensions indicated on the plans. All designs shall be in accordance with allowable values assigned by the building code approval, except that snow load shall be verified with local building codes. Complete design calculation showing internal layout, member forces and stress control points are to be available upon request for each truss design. The design of the wood system, including trusses, bracing, ties, bridging and anchors, is to be under the supervision of a Professional Engineer, registered in the state where the work occurs.

LUMBER STANDARD
Comply with PS 20 and with applicable rules of the respective grading inspecting agencies for species and grade of lumber indicated.

FABRICATOR'S QUALIFICATIONS
Provide trusses by a firm which has a record of successfully fabricating trusses similar to type indicated.

SHOP DRAWINGS

Submit shop drawings showing species, sizes, and stress grades of lumber to be used; pitch, span, camber, configuration and spacing for each type of truss required; type, size, material, finish, design value, and bearing and anchorage details and loads the truss is designed to carry. Provide shop drawings which have been signed and stamped by a structural engineer licensed to practice in the state where the work occurs.

WOOD FRAMING:

Stud Framing:

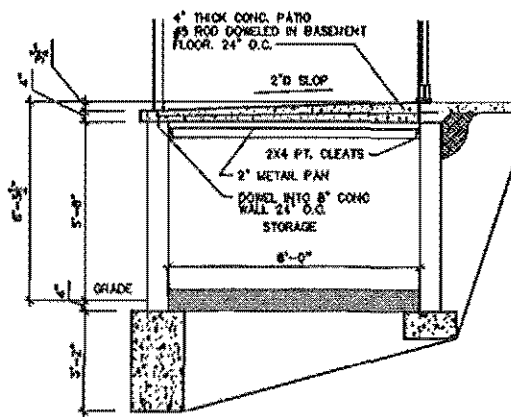
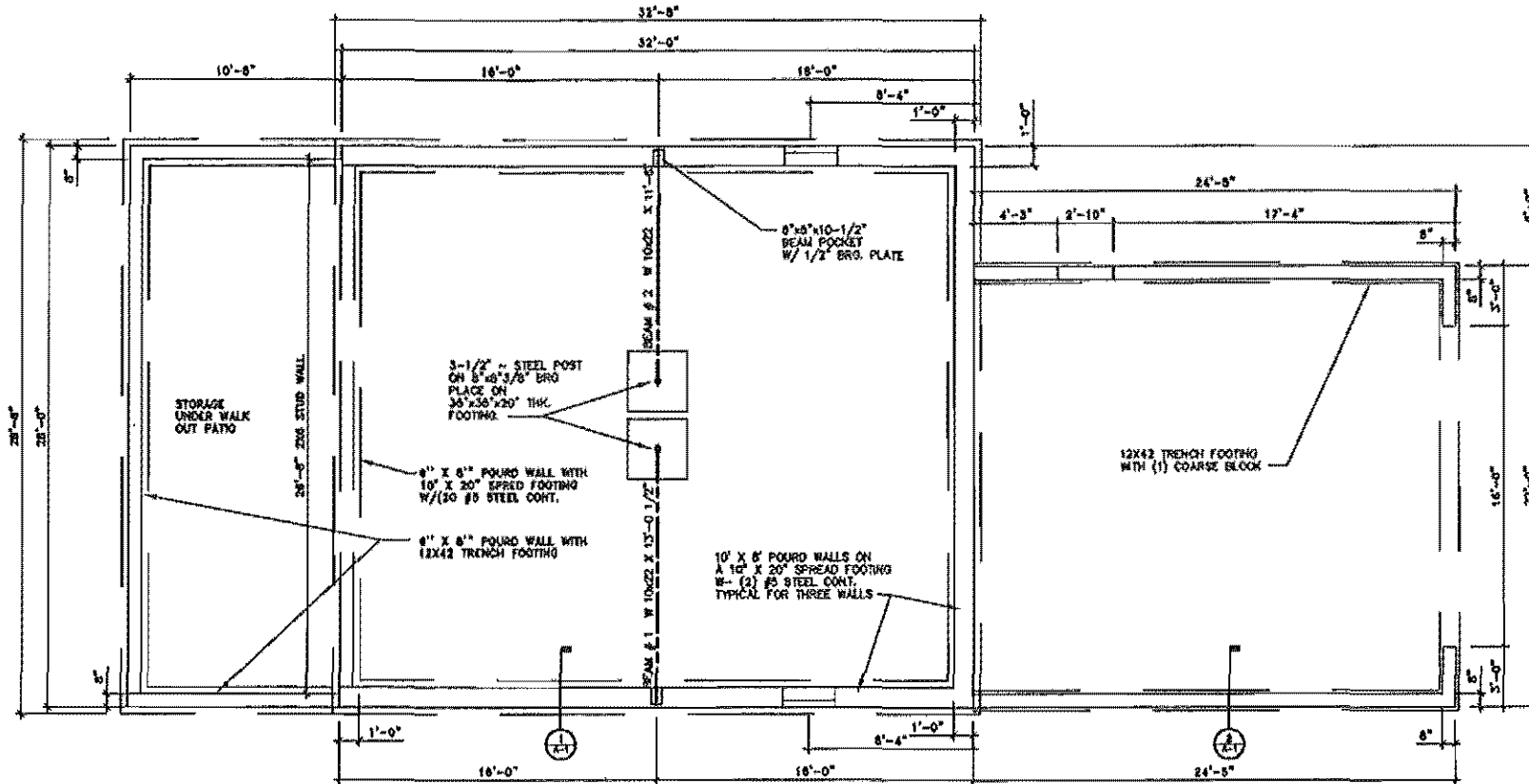
General: Provide stud framing where shown. Use 2" x 6" wood studs 18" o.c. for exterior and bearing walls as shown; for other interior partitions, use 2" x 4" wood studs spaced 16" o.c. Provide single bottom plate and double-top plates 2" thick by width of studs, except for anchor plates to supporting construction. Construct corners and intersections with not less than 3 studs; anchor to existing masonry or concrete, if any. Provide miscellaneous blockings and framing as shown and as required for support of facing materials, fixtures, specialty items and trim.

Joist Framing:

General: Provide framing of sizes and on spacing shown. Support ends of each member with not less than 1-1/2" of bearing on wood or metal or 3" on masonry. Attach to wood bearing members by toe nailing or metal connectors; frame to wood supporting members with wood laggers or with metal connectors. Frame openings with headers and trimmers where span of header exceeds four feet. Do not notch in middle third of joists; limit notches to not more than 1/8 depth of joist or locate closer than 2" from top or bottom. Provide alternate solid blocking (2" thick by depth of joist) at ends of joist unless nailed to header or band member. Provide bridging between joists whose nominal depth-to-thickness ratio exceeds 5, at intervals of 8 feet. Use bevel cut 1" x 4" or 2" x 3" wood bracing, double-crossed and nailed both ends to joists.

LUMBER SPECIFICATIONS:

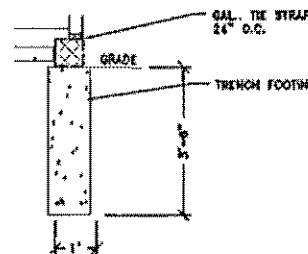
USAGE/LOCATION	SIZE CLASSIFICATION	MATERIAL	DESIGN VALUES	(PSI)	(S)
Misc. Framing	2"x4" studs	Doug. Fir	Fb=	1,250	1,45D
Walls, Partitions, Joists	2"x12" joists	Larch or better	Fb=	825	825
			Ft=	95	95
			Fd+=	385	385
			Fc=	1,000	1,000
			E =	1,500,000	1,500,000



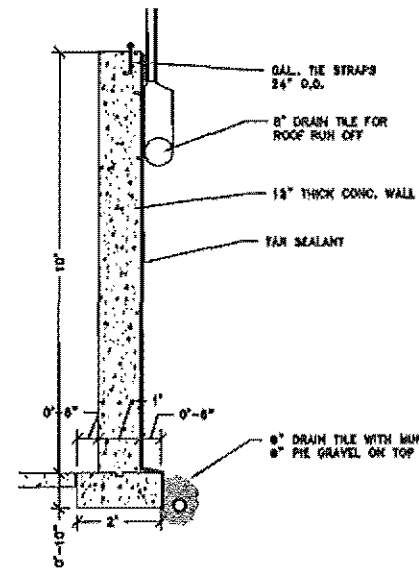
2 PATIO FOUNDATION
SCALE: 3/8" = 1'-0"

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



2 GARAGE FOUNDATION
SCALE: 1/2" = 1'-0"



2 HOUSE FOUNDATION
SCALE: 1/2" = 1'-0"

SELECTIONS OF THE FOLLOWING MATERIALS, EQUIPMENT AND FIXTURES ARE TO BE MADE BY THE OWNER / DEVELOPER. INSTALLATION IS TO BE IN ACCORDANCE WITH LOCAL CODES AND MANUFACTURER'S WRITTEN INSTRUCTIONS.

- Window type and installation details.
- Exterior brick and block.
- Exterior siding and trim.
- Excool type of gutters and downspouts.
- Sealant type.
- Roof shingles.
- Floor finishes.
- Wall & ceiling finishes other drywall.
- Pant materials.
- Exterior & interior door, frame, and sidelight type and details.
- Kitchen and vanity cabinets type and details.
- Plumbing fixtures.
- Light fixtures.
- HVAC equipment and systems.
- Electrical equipment and systems.

PROUD HOME CONSTRUCTION INC.
14915 ARDEN ST
LIVONIA, MICHIGAN 48154
734-266-8192

ELEVATION PLANS

JOE & JANE VAICIUNAS
RETIREMENT HOME

LOT 28
2214 AUSTIN DRIVE
NOVI, MICHIGAN 48377

DATE: 01-13-14
P.O.W.
08-14-99 © 09:13

14 02
A - 1

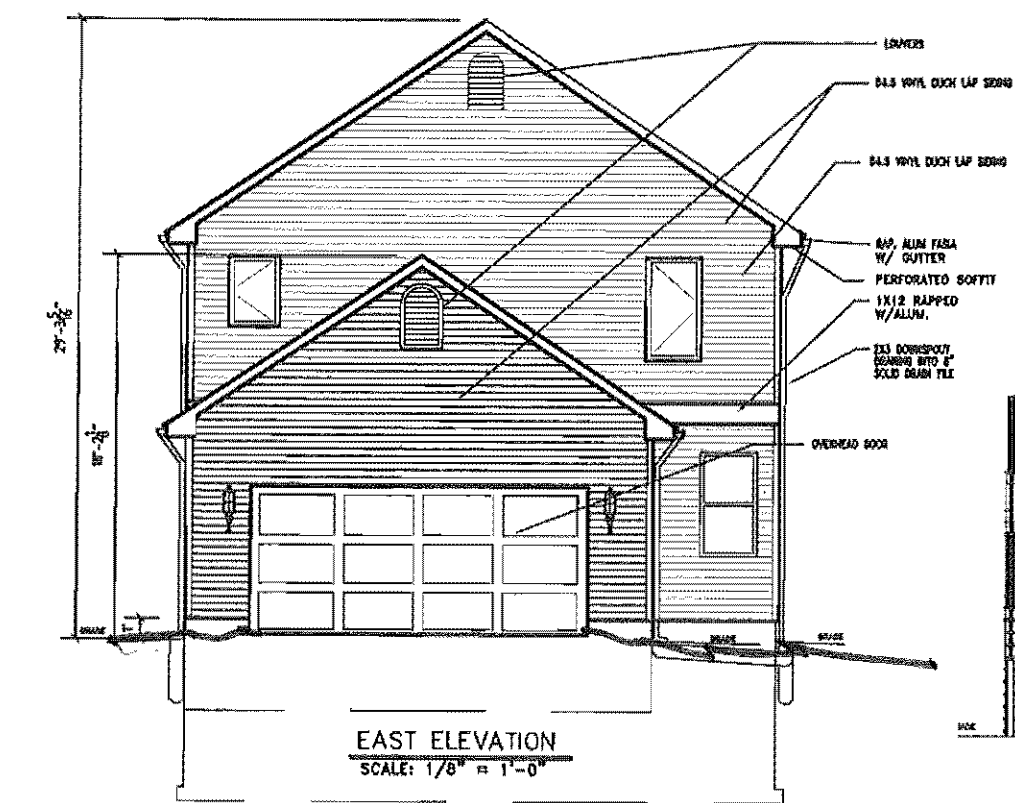
PLOT N.T.S.



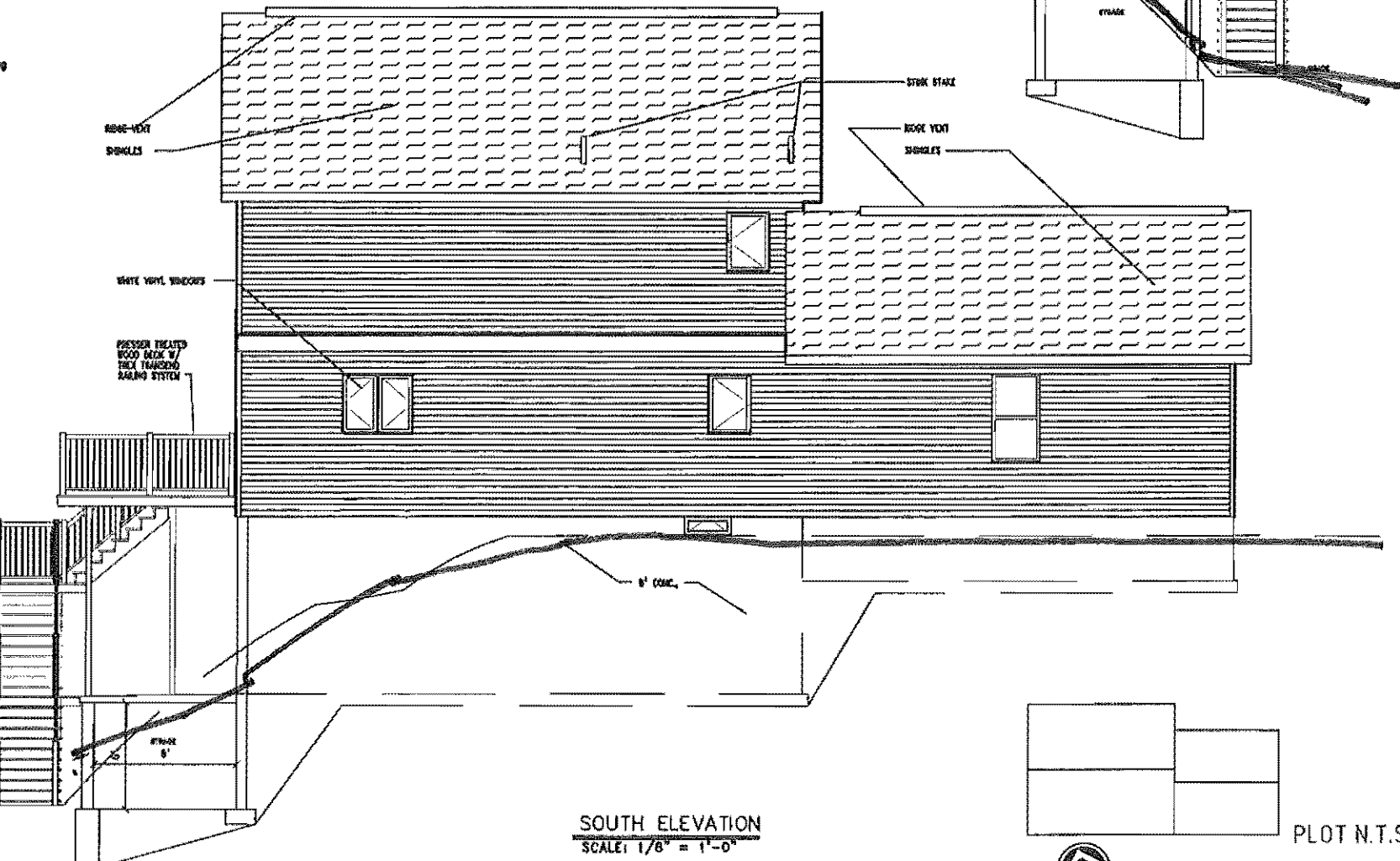
WEST ELEVATION
SCALE: 1/8" = 1'-0"



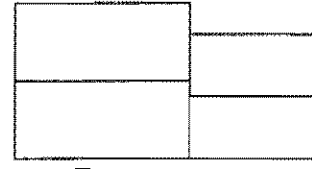
NORTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



PLOT N.T.S.



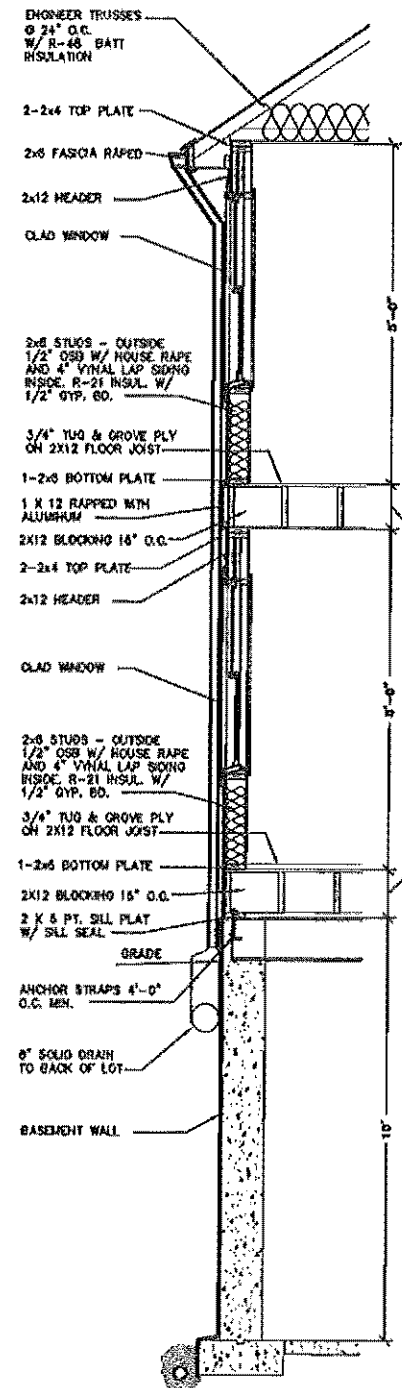
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734-266-8192

ELEVATION PLANS

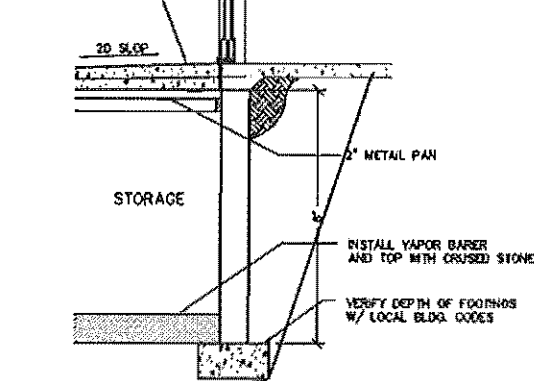
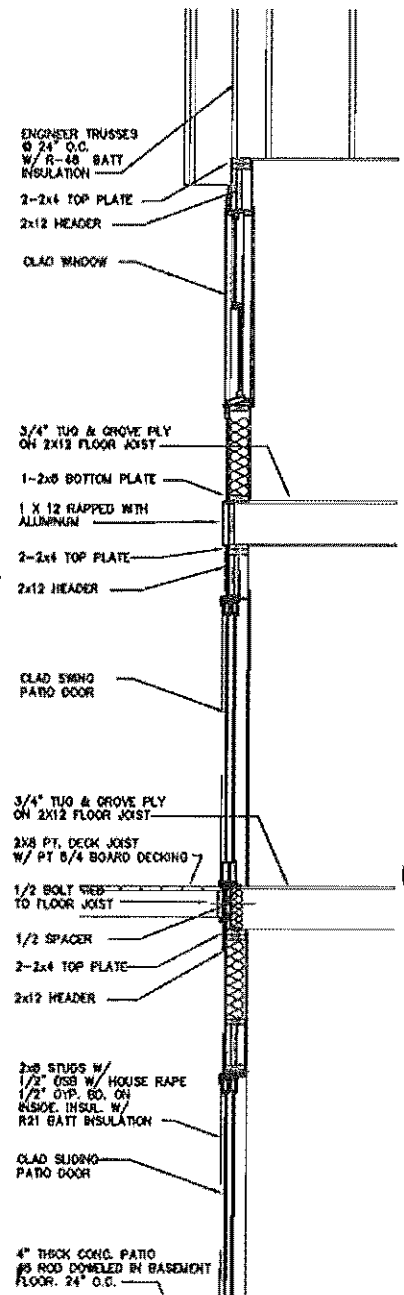
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BY	BRD

PROJECT: **JOE & JANE VAICIUNAS RETIREMENT HOME**
LOT 88
2214 AUSTIN DRIVE
NOVI, MICHIGAN 48377

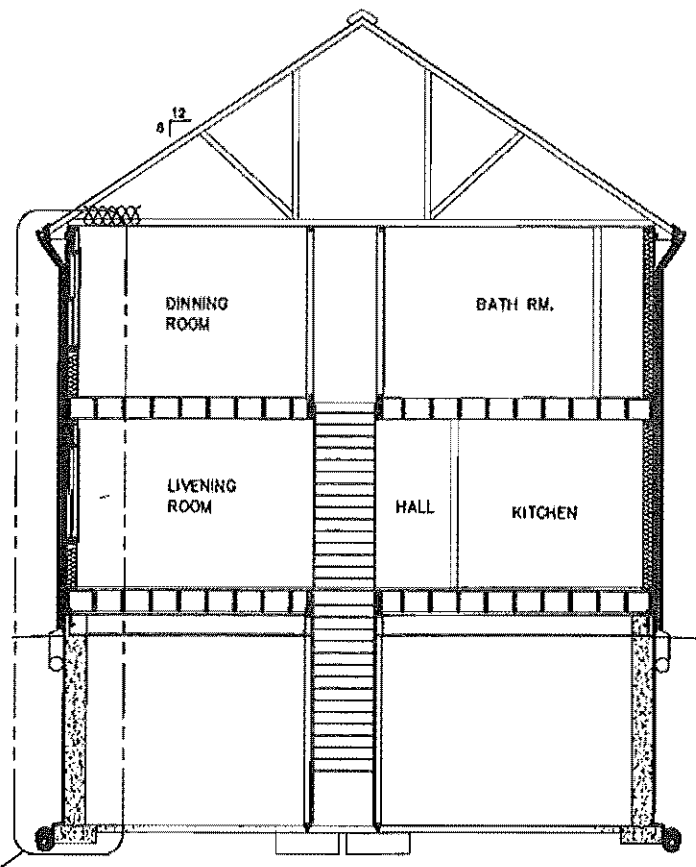
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PLAN DATE/REV	08-14-09 @ 09:13
PROJECT NO.	14 02
SHEET NO.	A - 3



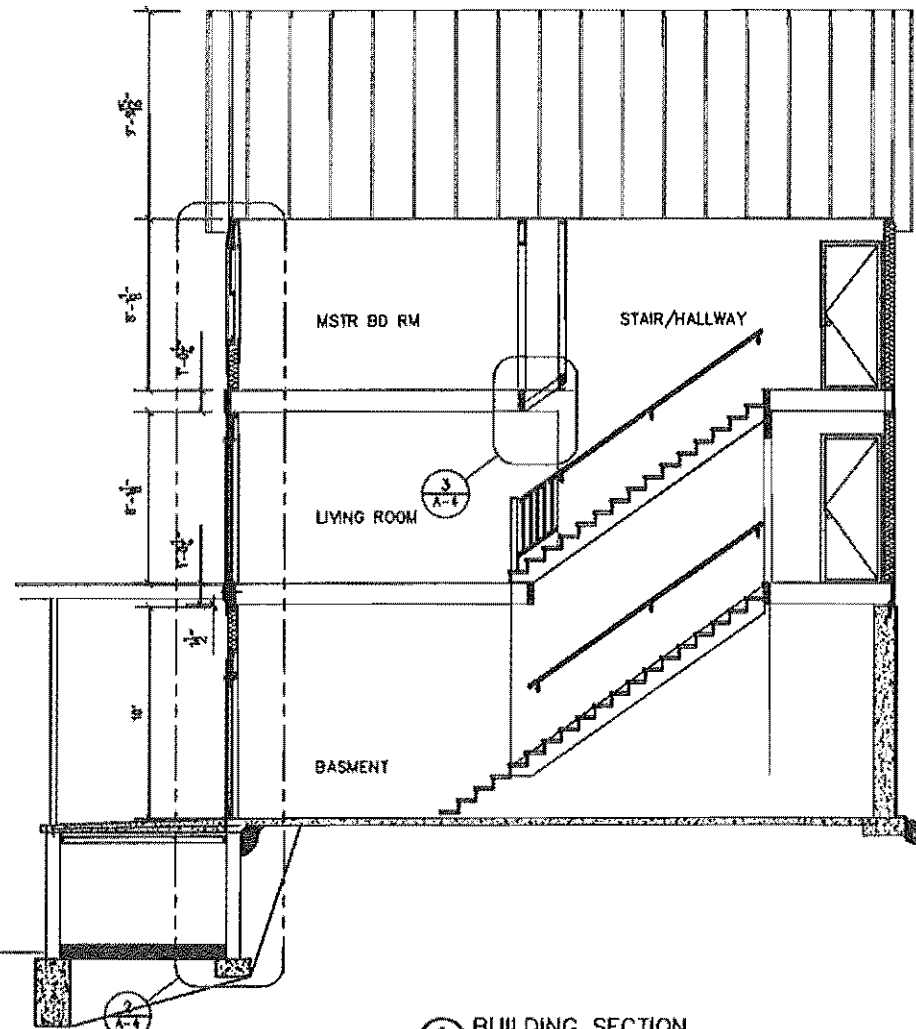
1 BUILDING SECTION
A-001 SCALE: 1/2" = 1'-0"



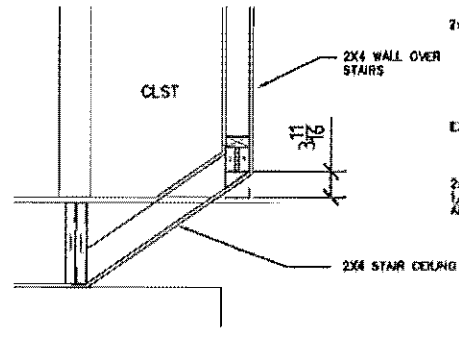
1 BUILDING SECTION
A-001 SCALE: 1/2" = 1'-0"



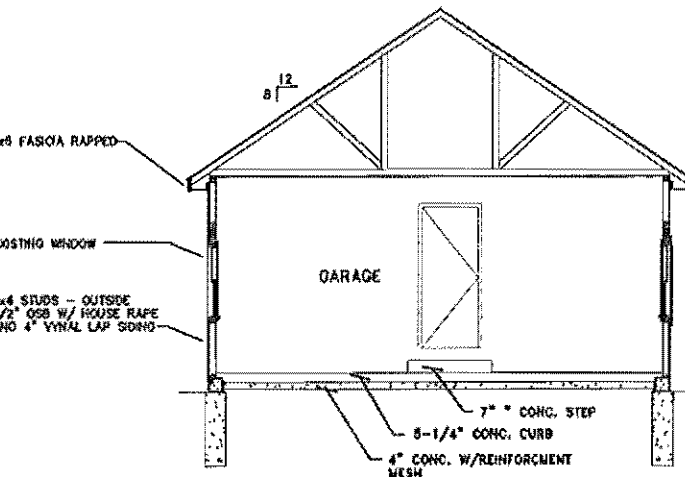
2 BUILDING SECTION
A-2 SCALE: 1/4" = 1'-0"



2 BUILDING SECTION
A-2 SCALE: 1/4" = 1'-0"



1 SECTION DETAIL
A-001 SCALE: 1" = 1'-0"



3 BUILDING SECTION
A-2 SCALE: 1/4" = 1'-0"

PROUD HOME CONSTRUCTION INC.
14915 ARDEN ST
LIVONIA, MICHIGAN 48154
734-266-8192

SECTION VIEWS

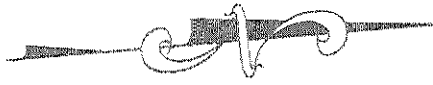
VIEW	DATE

JOE & JANE VAICIUNAS
RETIREMENT HOME
LOT 88
2214 AUSTIN DRIVE
NOVI, MICHIGAN 48377

OWNER	PROJECT NO.
P.O.W.	02-13-14
DATE	05-14-99 @ 09:13
PROJECT No.	14 02
REV	A - 4

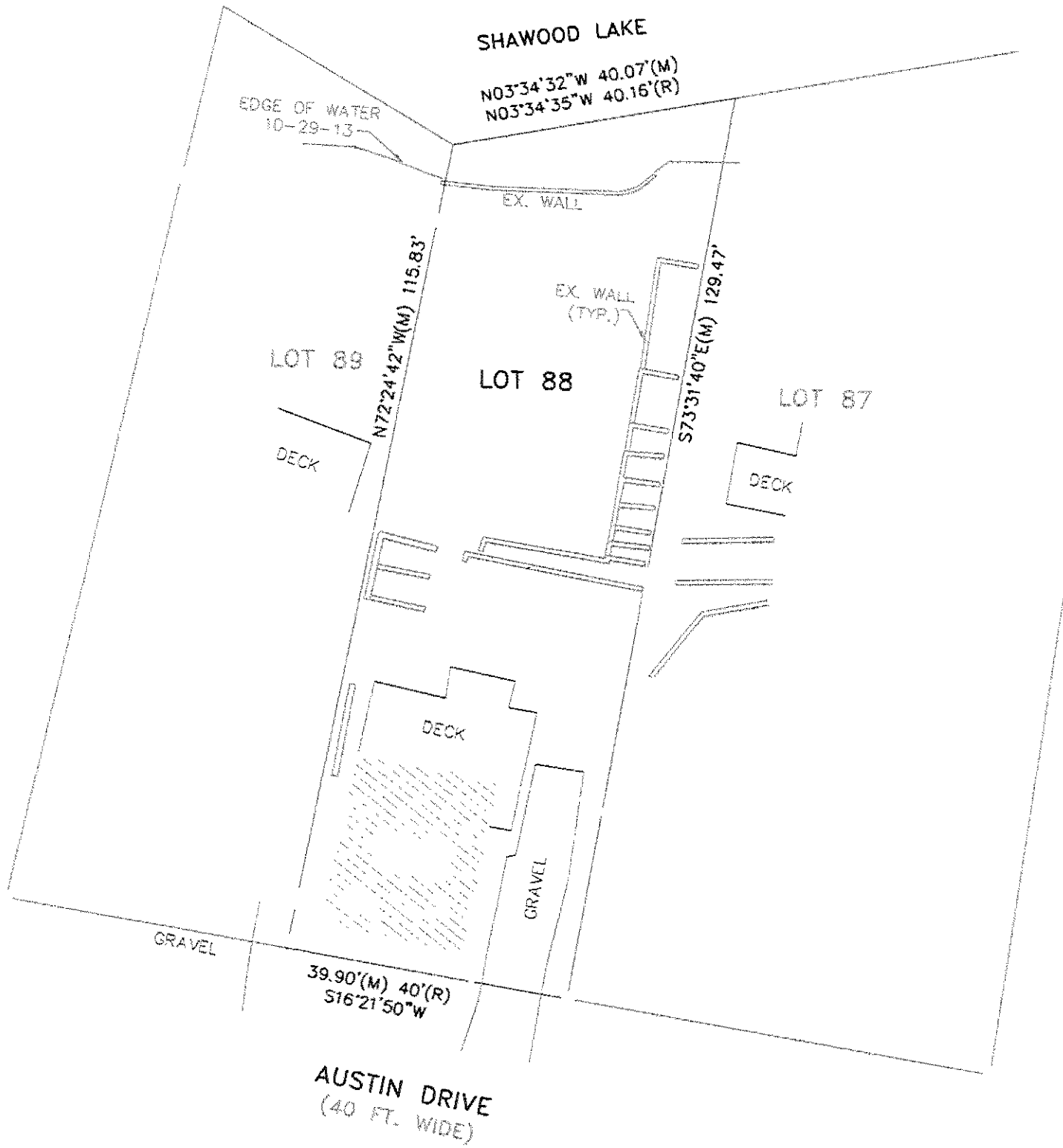
PLOT N.T.S.

FD. IRON



LOT 88 OF "SHAWOOD WALLED LAKE HEIGHTS SUBDIVISION," A PART OF THE N.E. 1/4 OF SEC. 10 AND PART OF N.W. 1/4 OF SEC 11 T.1N. R.8E. NOV1 TWP. (NOW CITY OF NOV1), OAKLAND CO., MICH. AS RECORDED IN LIBER 46, PAGE 48, O.C.R.

BEARINGS BASED ON "SHAWOOD WALLED LAKE HEIGHTS SUBDIVISION," OAKLAND COUNTY, MICHIGAN.



I HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY HEREIN DESCRIBED, AND THAT THERE ARE NO VISIBLE ENCROACHMENTS UPON THE ABOVE DESCRIBED PROPERTY, EXCEPT AS SHOWN HEREON.

GINGER MICHALSKI-WALLACE
PROFESSIONAL SURVEYOR NO. 47964

CIVIL ENGINEERS & LAND SURVEYORS
46892 WEST ROAD
SUITE 109
NOVI, MICHIGAN 48377
(248) 926-3701 (BUS)
(248) 926-3785 (FAX)

CLIENT: JOSEPH VAICIUNAS	DATE: 11-4-13
	DRAWN BY: GLM
	CHECKED BY: TTP
	0 10 20
SECTION: 10 TOWNSHIP: 1 N RANGE: 8 E	FBK: 256
CITY OF NOV1	1
OAKLAND COUNTY	13-392
MICHIGAN	SCALE HOR 1"=20 FT. VER 1"= FT.