



FORMA BEAUTY SALON PARKING EXPANSION JSP26-14

FORMA BEAUTY SALON PARKING EXPANSION JSP26-14

Consideration at the request of Forma Beauty Salon for approval of the Preliminary Site Plan. The subject property is located at 26179 Novi Road, north of Grand River Avenue (Section 15). The applicant proposes site improvements including the addition of 10 parking spaces and a new dumpster enclosure.

Required Action

Approval or denial of the Preliminary Site Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval Recommended	05/20/26	<ul style="list-style-type: none"> • Zoning Board of Appeals (ZBA) variance required under Section 3.1.25.D for deficiency in parking setback in the north side yard and west rear yard • Zoning Board of Appeals (ZBA) variance required under Section 4.19.2.F for the location of the dumpster enclosure in the parking lot setback • Items to be addressed at Final Site Plan submittal
Engineering	Approval Recommended	05/15/26	<ul style="list-style-type: none"> • Items to be addressed at Final Site Plan submittal
Landscape	Approval Not Recommended	05/13/26	<ul style="list-style-type: none"> • Landscape waiver under Section 5.5.3.C.iv.a for deficiency in parking lot perimeter trees (supported by staff) • Landscape waiver under Section 5.5.3.C.iv.b for deficiency in perimeter parking lot landscape area along west side (supported by staff) • Items to be addressed at Final Site Plan submittal
Wetland	Approval Recommended	02/27/26	<ul style="list-style-type: none"> • Wetland Buffer Authorization required • Items to be addressed at Final Site Plan submittal
Traffic	Approval Recommended	02/27/26	<ul style="list-style-type: none"> • Items to be addressed at Final Site Plan submittal
Fire	Approval Recommended	03/03/26	<ul style="list-style-type: none"> • Meets Fire Department standards

MOTION SHEET:

Approval – Preliminary Site Plan

In the matter of Forma Beauty Salon Parking Expansion JSP26-14, motion to **approve** the Preliminary Site Plan based on and subject to the following:

1. The Zoning Board of Appeals granting the following variances:
 - i. Section 3.1.25.D for deficiency in parking setback in the north side yard (20 feet required, 3 feet proposed) and rear yard (10 feet required, 3 feet proposed).
 - ii. Section 4.19.2.F.iv for the location of the dumpster enclosure in the parking lot setback (10 feet setback required, 0 feet proposed).
2. A Landscape waiver under Section 5.5.3.C.iv.a for deficiency in parking lot perimeter trees (17 trees required, 15 trees provided) due to spatial limitations of the site which limit the ability to comply, which is hereby granted;
3. A Landscape waiver under Section 5.5.3.C.iv.b for deficiency in perimeter parking lot landscape area along north property line (10 feet required, 0 feet provided) due to spatial limitations of the site which limit the ability to comply, which is hereby granted;
4. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
5. *(additional conditions here, if any)*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

– OR –

Denial – Preliminary Site Plan

In the matter of Forma Beauty Salon Parking Expansion JSP26-14, motion to **deny** the Preliminary Site Plan... *(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

MAPS

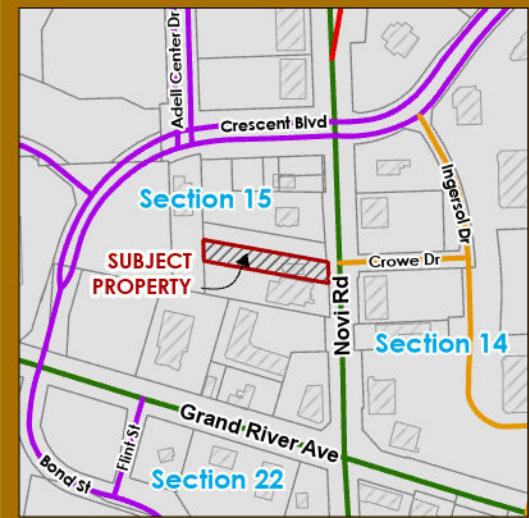
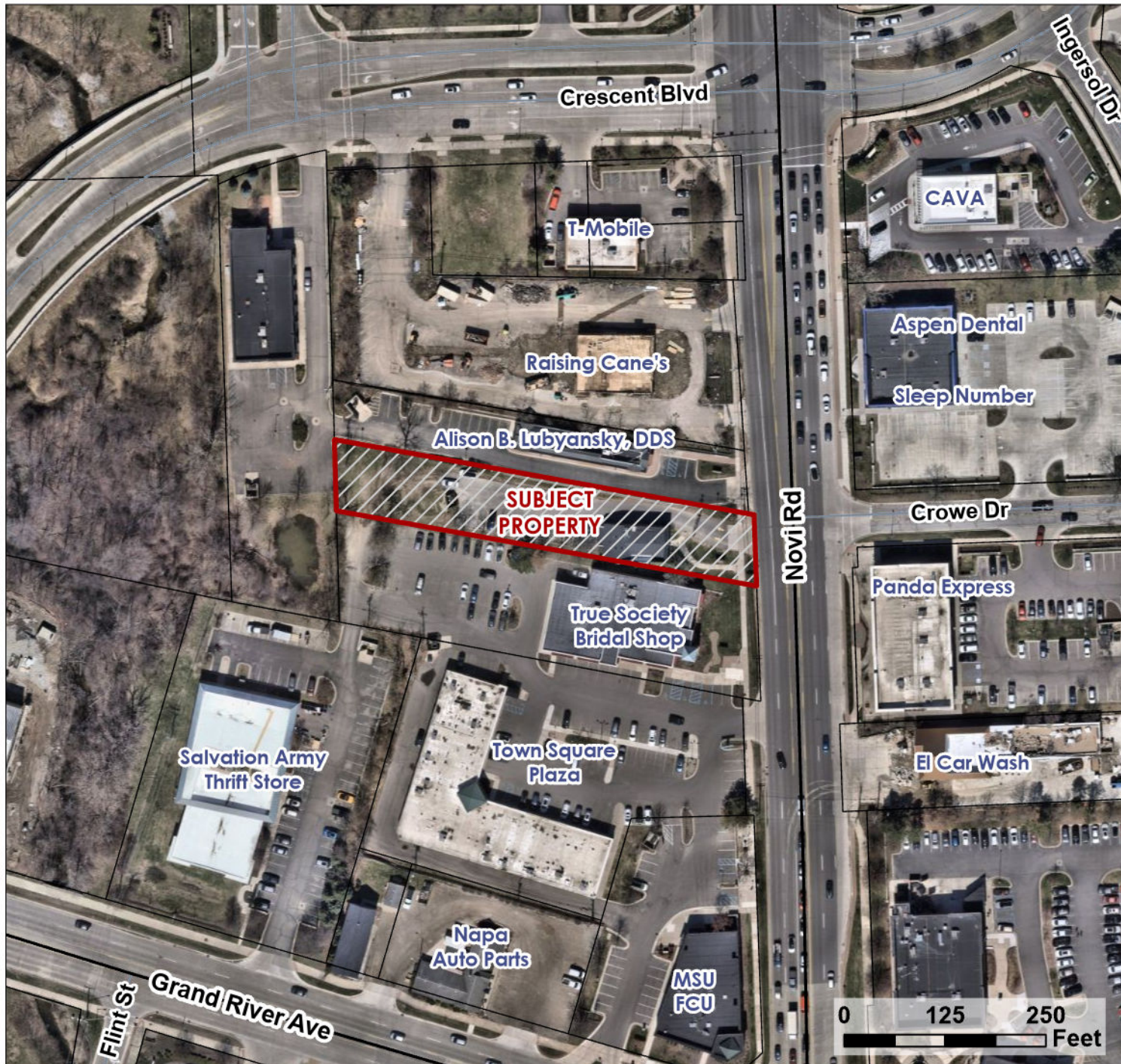
Location

Zoning

Future Land Use

Natural Features

FORMA BEAUTY SALON PARKING EXPANSION LOCATION MAP



LEGEND

Subject Property

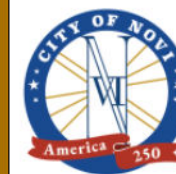
Thoroughfare Classification

Arterial

Non-Residential Collector

Local Road

Freeway

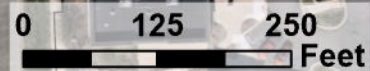


Map Author: Diana Shanahan
Project: 26179 Novi Road

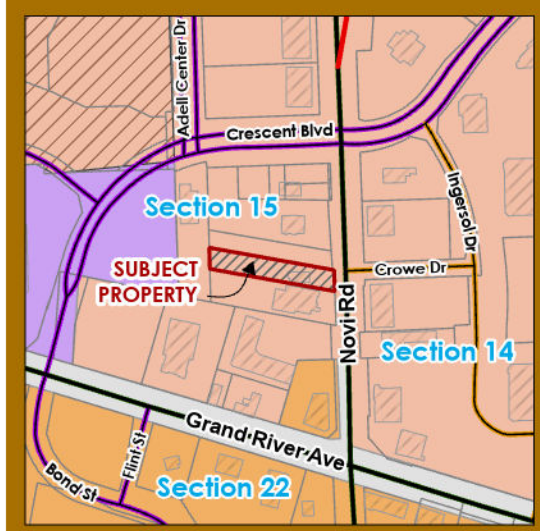
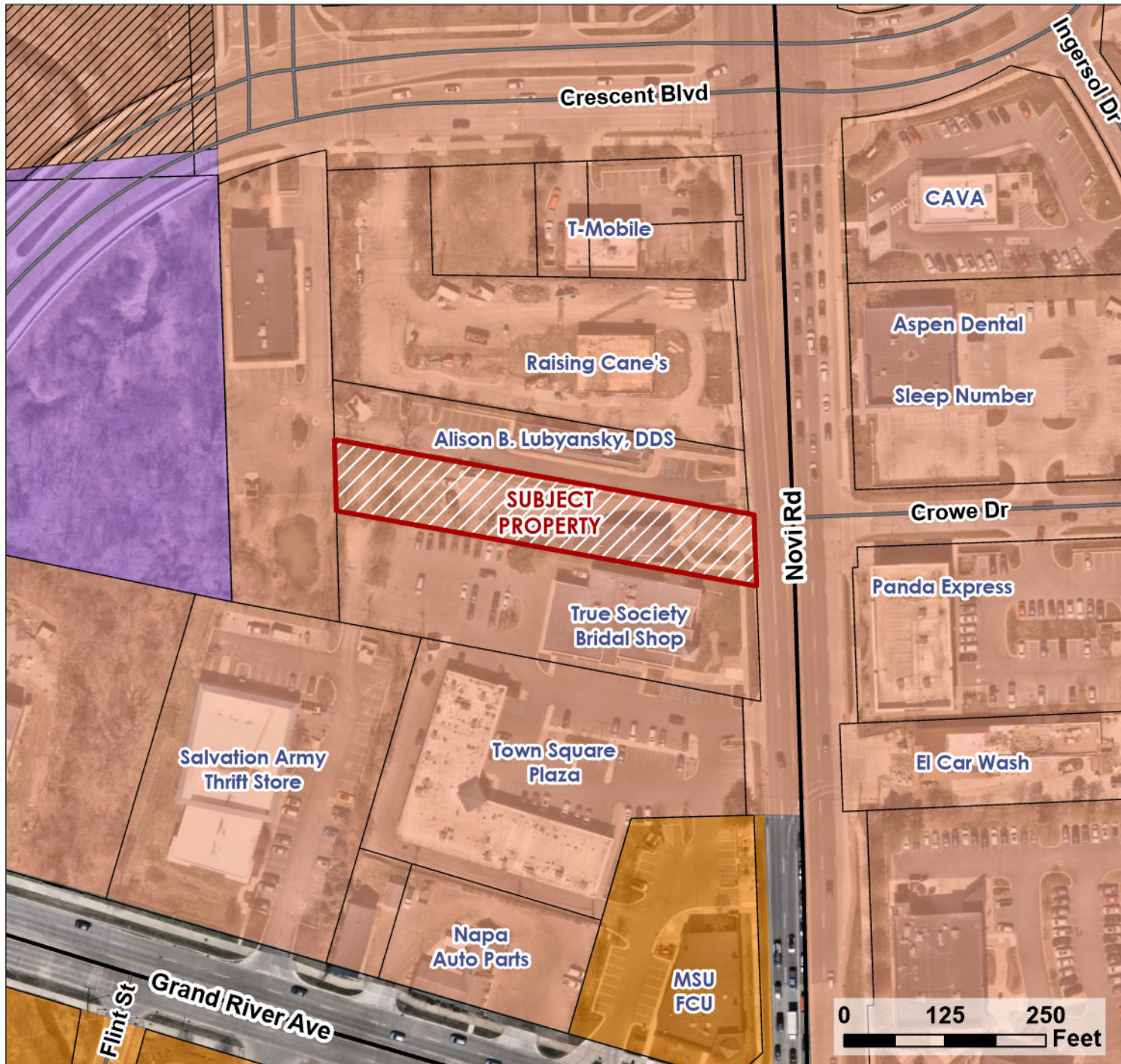
Date: 06/01/26
Version #: 1

City of Novi

Community Development Department
City Hall / Civic Center
45175 Ten Mile Road, Novi, MI 48375
cityofnovi.org



FORMA BEAUTY SALON PARKING EXPANSION ZONING MAP



LEGEND

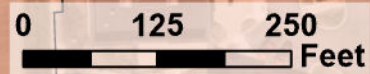
-  Subject Property
- Zoning District
 -  I-1: Light Industrial
 -  TC: Town Center
 -  TC-1: Town Center-1
- Zoning Overlay
 -  Planned Rezoning Overlay (PRO)



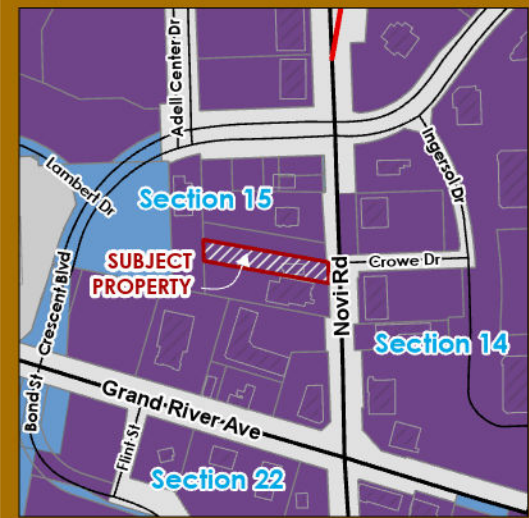
Map Author: Diana Shanahan
Project: 26179 Novi Road

Date: 06/01/26
Version #: 1

City of Novi
Community Development Department
City Hall / Civic Center
45175 Ten Mile Road, Novi, MI 48375
cityofnovi.org



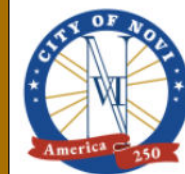
FORMA BEAUTY SALON PARKING EXPANSION FUTURE LAND USE MAP



LEGEND

Future Land Use Category

- Public/Quasi-Public
- Town Center Mixed-Use
- Industrial/Office

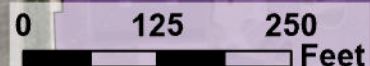


Map Author: Diana Shanahan
Project: 26179 Novi Road

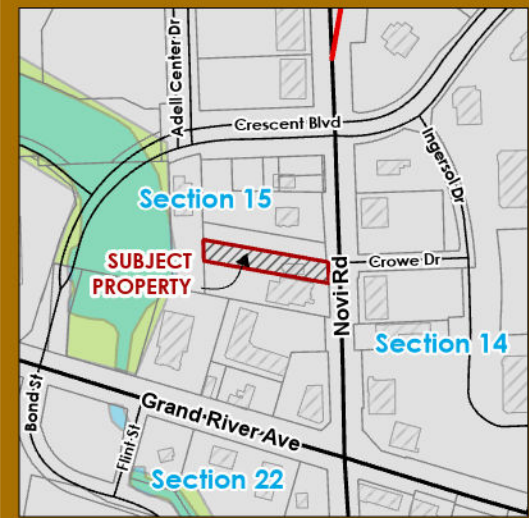
Date: 06/01/26
Version #: 1

City of Novi

Community Development Department
City Hall / Civic Center
45175 Ten Mile Road, Novi, MI 48375
cityofnovi.org



FORMA BEAUTY SALON PARKING EXPANSION NATURAL FEATURES MAP



LEGEND

-  Subject Property
-  Wetlands
-  Woodlands

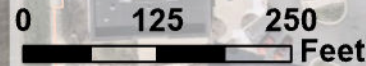


Map Author: Diana Shanahan
Project: 26179 Novi Road

Date: 06/01/26
Version #: 1

City of Novi

Community Development Department
City Hall / Civic Center
45175 Ten Mile Road, Novi, MI 48375
cityofnovi.org



SITE PLAN

**FORMÀ BEAUTY SALON
CITY OF NOVI,
OAKLAND COUNTY, MI
SITE PLAN
PREPARED FOR
FORMÀ BEAUTY SALON**

OWNER

Formà Beauty Salon
Phone: (734) 620-7295
Email: jakupislami@gmail.com

Contact: Mr. Jakup Islami

CIVIL ENGINEER

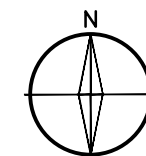
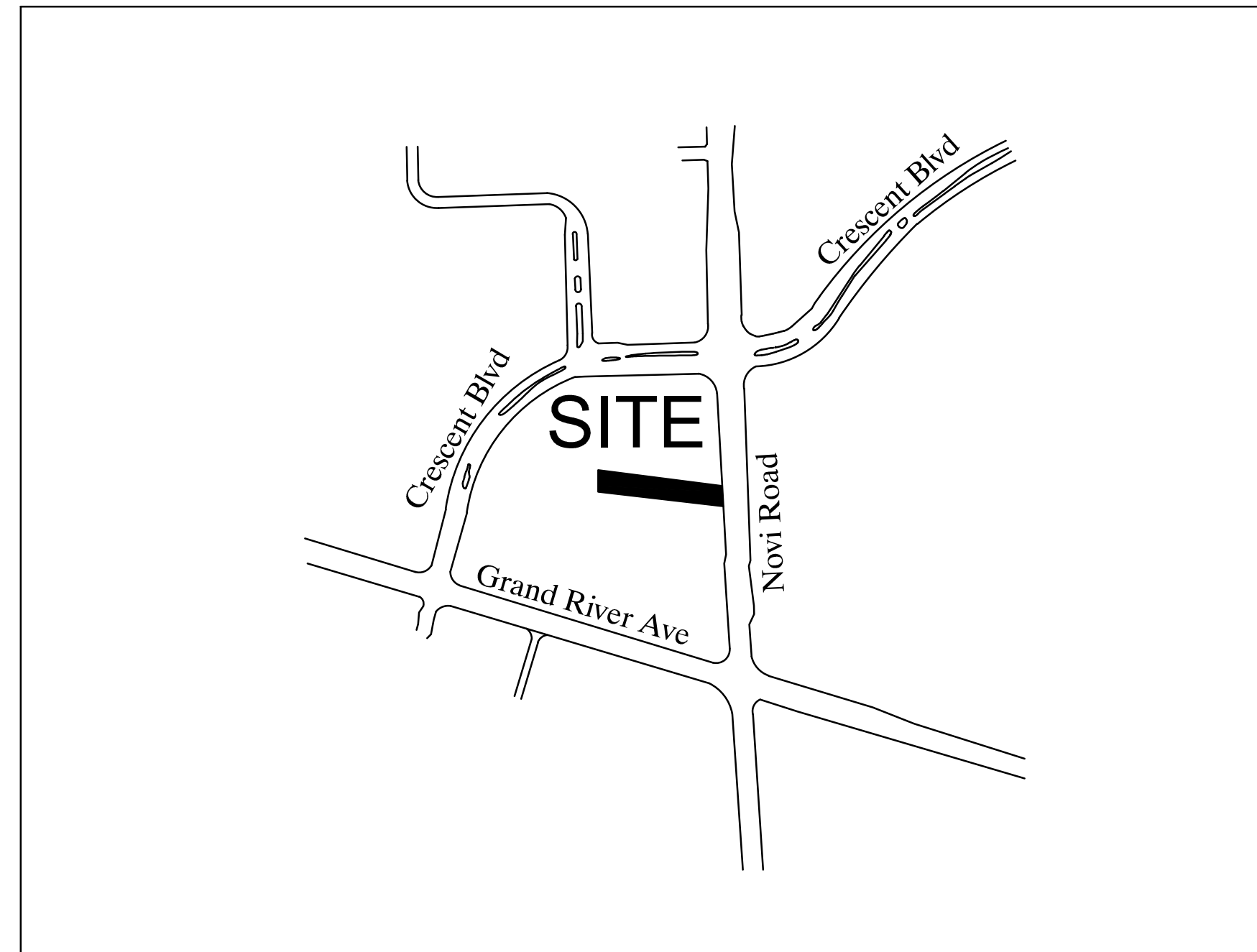
Orman Engineering, LLC
5476 Vivian Lane
Waterford, MI 48327
Phone (248) 682-6001
Email: alex@ormanengineering.com

Contact: Mr. Alexander Orman, P.E.

LANDSCAPE ARCHITECT

TKP Ecological
Rochester Hills MI
Phone: (313) 815-8191
Email: tpardington @tkpeco.com

Contact: Theresa Pardington



Location Map
N.T.S.

SHEET INDEX

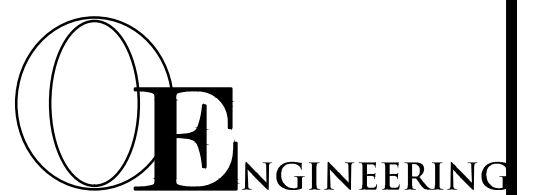
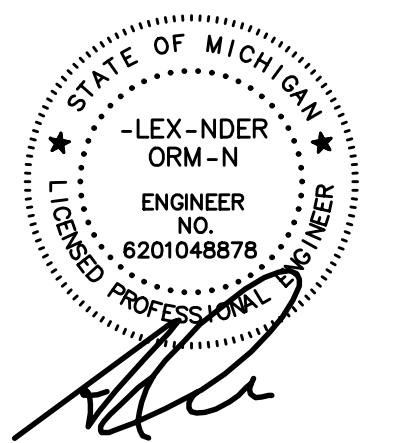
NO.	SHEET NAME	
1.	SP-1	COVER PAGE
2.	SP-2	SITE PLAN / DEMOLITION PLAN
3.	SP-3	SOIL EROSION & SEDIMENTATION CONTROL
4.	I OF 1	TOPOGRAPHIC AND BOUNDARY SURVEY
5.	LS-1	LANDSCAPING PLAN
6.	LS-2	LANDSCAPING PLAN
7.	26-57146	PHOTOMETRIC PLAN

ISSUANCE DATE:

DATE	REVISION OR SUBMITTAL
03/18/2026	CITY OF NOVI SUBMITTAL
04/15/2026	REVISED PER PRE-APPLICATION REVIEW

LEGAL DESCRIPTION

LOT 4 OF "SUPERVISOR'S PLAT NO. 4" A SUBDIVISION OF PART OF THE S.E. 1/4 OF SECTION 15, T 1 N., R. 8 E. CITY OF NOVI, OAKLAND COUNTY, MICHIGAN. AS RECORDED IN L. 54A, P. 83 O.C.R.



Civil Engineers • Land Planning
Land Surveying

Orman Engineering, LLC
5476 Vivian Lane
Waterford, MI 48327
phone: 248.682.6001
email: alex@ormanengineering.com

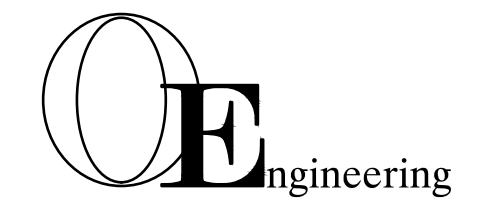
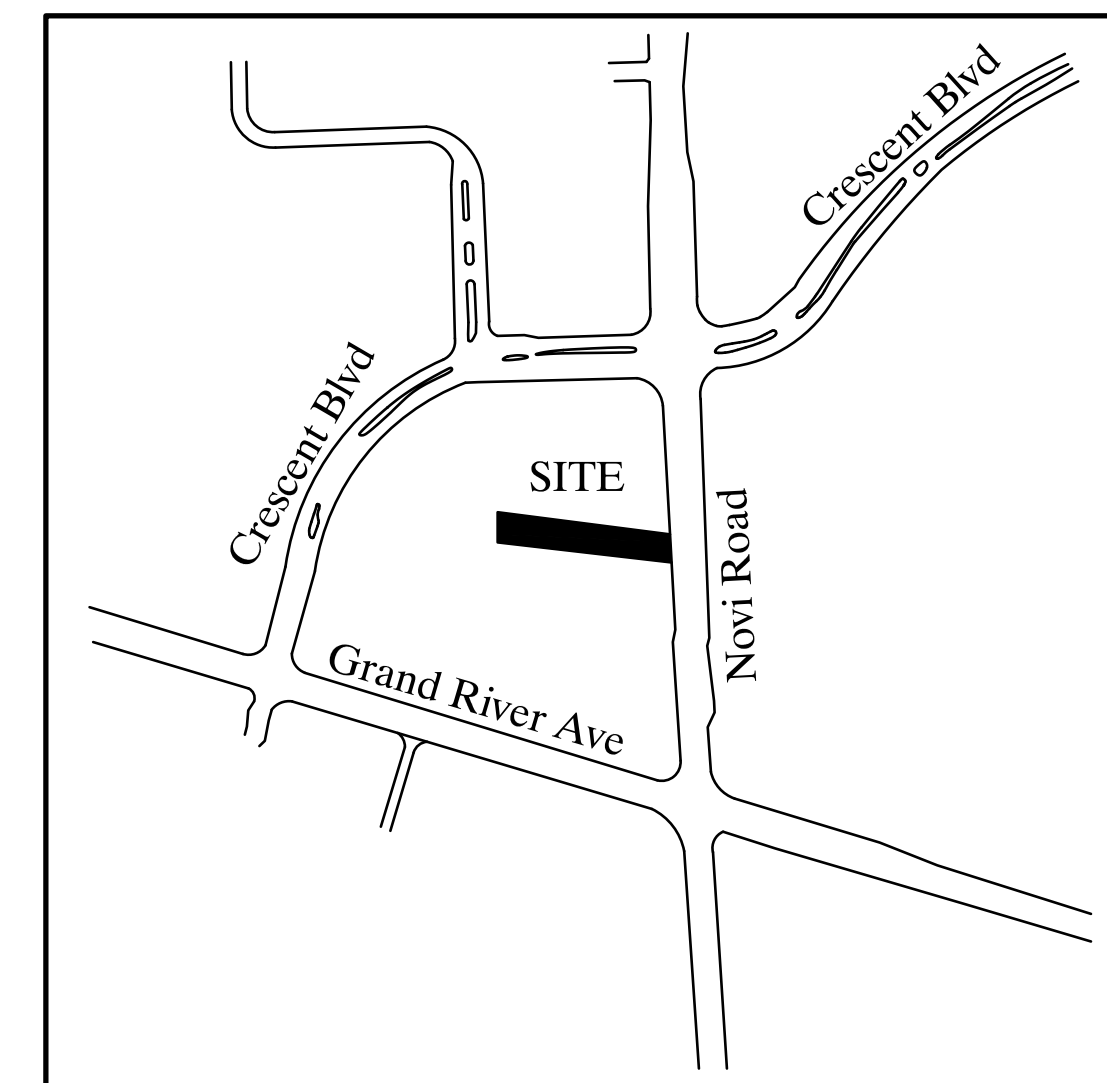
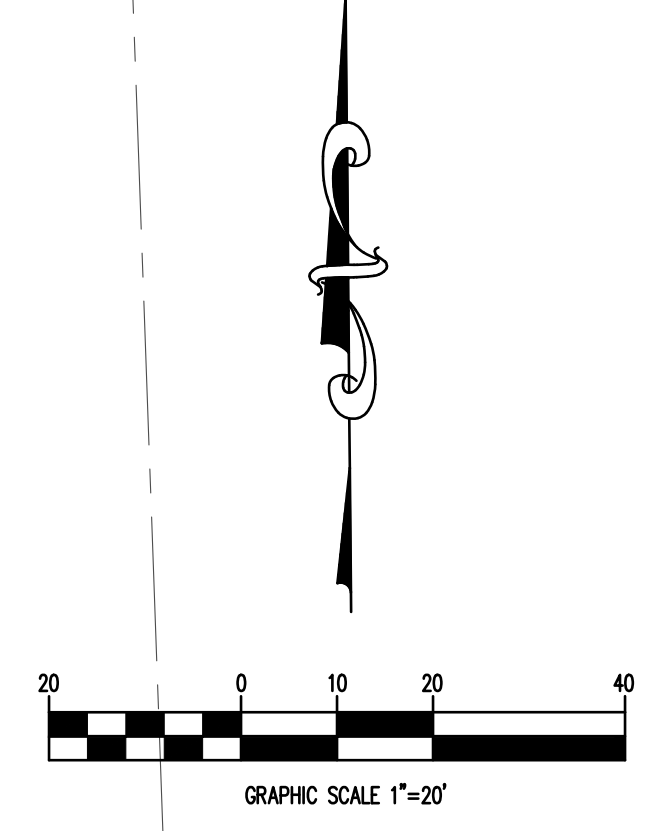
NOTES:
 1- REFERENCE TO THE CITY OF NOVI PAVING STANDARD DETAILS.
 2- SEE SHEET LS-1 FOR LANDSCAPE DETAILS
 2- SEE SHEET V-1 FOR PHOTOMETRIC PLAN AND DETAILS

BENCH MARKS
 BM#1: CITY OF NOVI BENCHMARK 1542
 7" ON NORTH RIM OF SANITARY MANHOLE LOCATED 25 FEET WEST OF BACK OF CURB AND 45 FEET SOUTH OF DRIVE #26179 NOVI ROAD.
 ELEVATION = 915.10
 BM#2: SITE BENCH MARK
 NAIL IN UTILITY POLE NEAR NORTHEAST CORNER OF PROPERTY.
 ELEVATION = 919.46

ZBA REQUIREMENT
 A ZBA VARIANCE WILL BE REQUIRED FOR DUMPSTER LOCATION IN SETBACK.

NOTES
 - NO WETLANDS EXIST ON SITE
 - NO LOADING/ UNLOADING REQUIRED DUE TO NATURE OF THE BUSINESS
 - NO BICYCLE PARKING REQUIRED DUE TO NATURE OF THE BUSINESS
 - ELECTRICAL SERVICES TO LIGHT FIXTURES MUST BE UNDERGROUND
 - NO FLASHING LIGHTS PERMITTED
 - STANDARD PARKING SPACES SHALL BE STRIPED WITH WHITE STRIPES.
 - ACCESSIBLE PARKING SPACES AND ASSOCIATED AISLE SHALL BE STRIPED WITH BLUE STRIPES.
 - WHERE A STANDARD PARKING SPACE IS ADJACENT TO AN ACCESSIBLE SPACE, ABUTTING BLUE AND WHITE STRIPES SHALL BE INSTALLED.
 - STORM WATER IS CURRENTLY DISCHARGES TO AN OFF-SITE DETENTION BASIN.
 - THE ADDITIONAL PAVEMENT AND STORM WATER RUNOFF TO THE POND WILL NOT CREATE ANY UNDUE BURDEN ON THE PROPERTY TO THE SOUTH.

W. 1/4 COR. SEC. 15
 T. 1 N., R. 8 E.
 RE-MON CAP IN MON BOX.
 L. 16874, P. 186

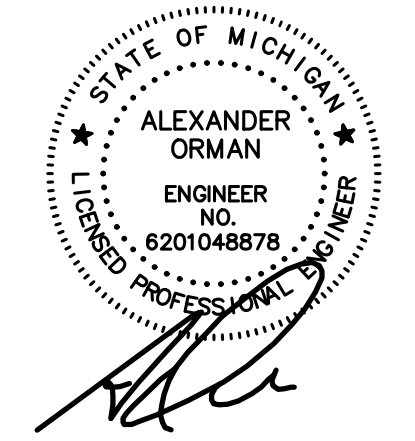


Orman Engineering, LLC
 5476 Vivian Lane
 Waterford, MI 48327
 phone: 248.682.6001
 email: alex@ormanengineering.com

PROJECT
 FORMÀ BEAUTY SALON

CLIENT
 Formà Beauty Salon
 Contact: Mr. Jakup Islami
 Phone: (734) 620-7295
 Email: jakupislami@gmail.com

SEAL



SHEET
 SITE PLAN /
 DEMOLITION PLAN

PROJECT LOCATION
 26179 NOVI ROAD
 CITY OF NOVI
 OAKLAND COUNTY
 MICHIGAN, MI 48375

miss dig



Know what's below
 Call before you dig.

REVISIONS

Date	Description

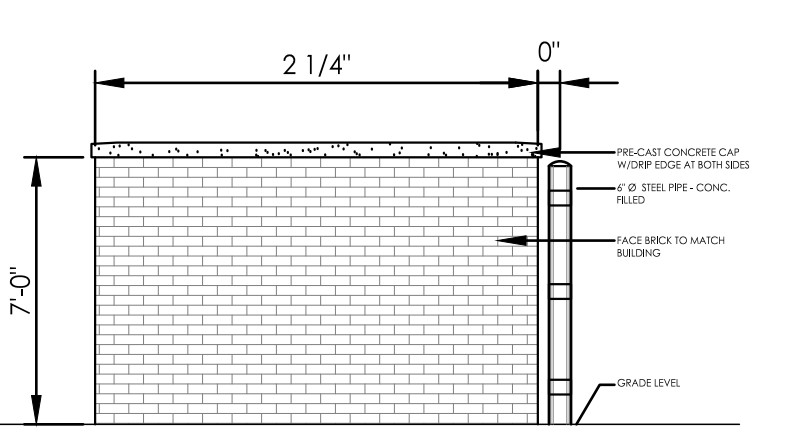
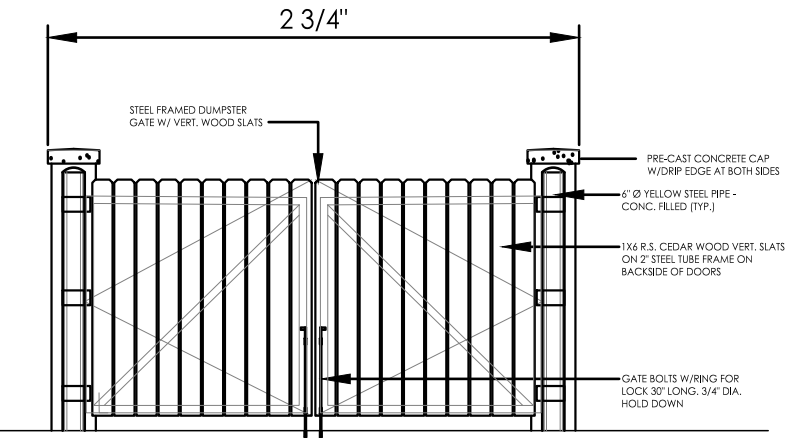
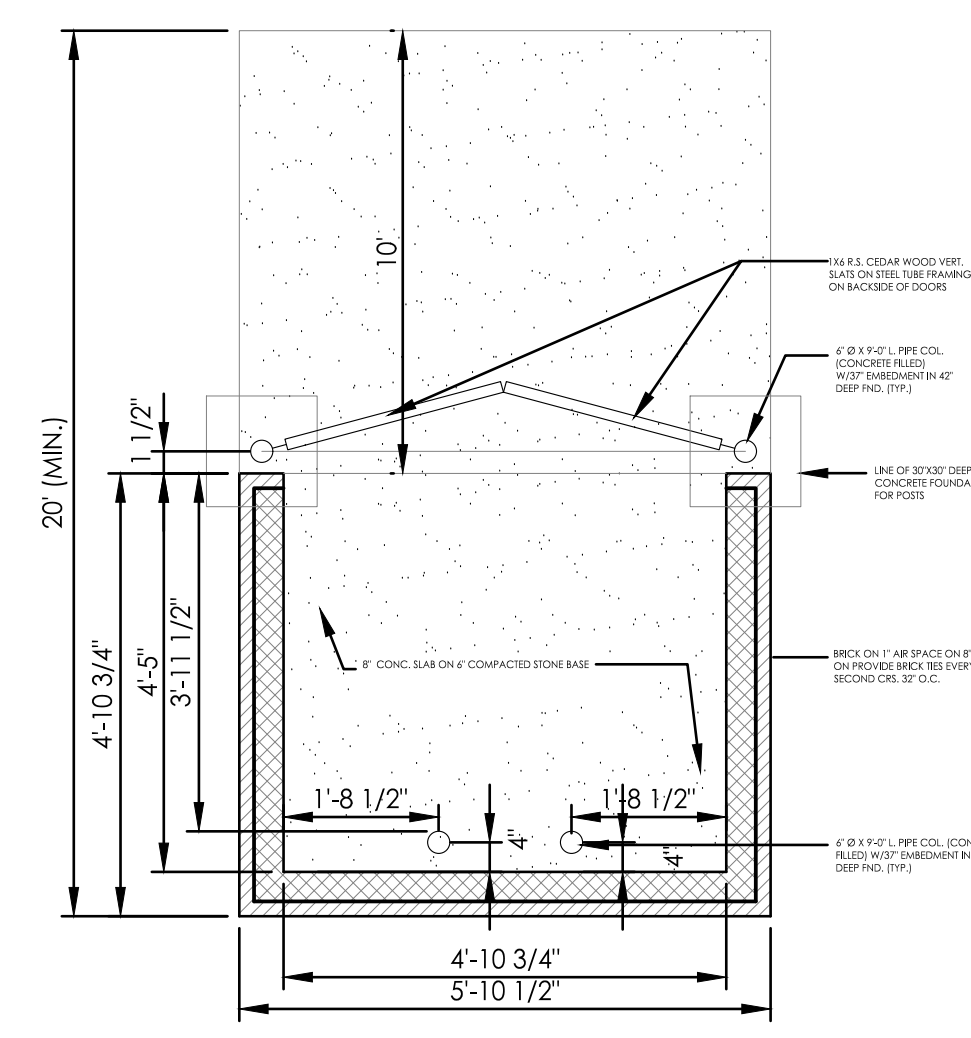
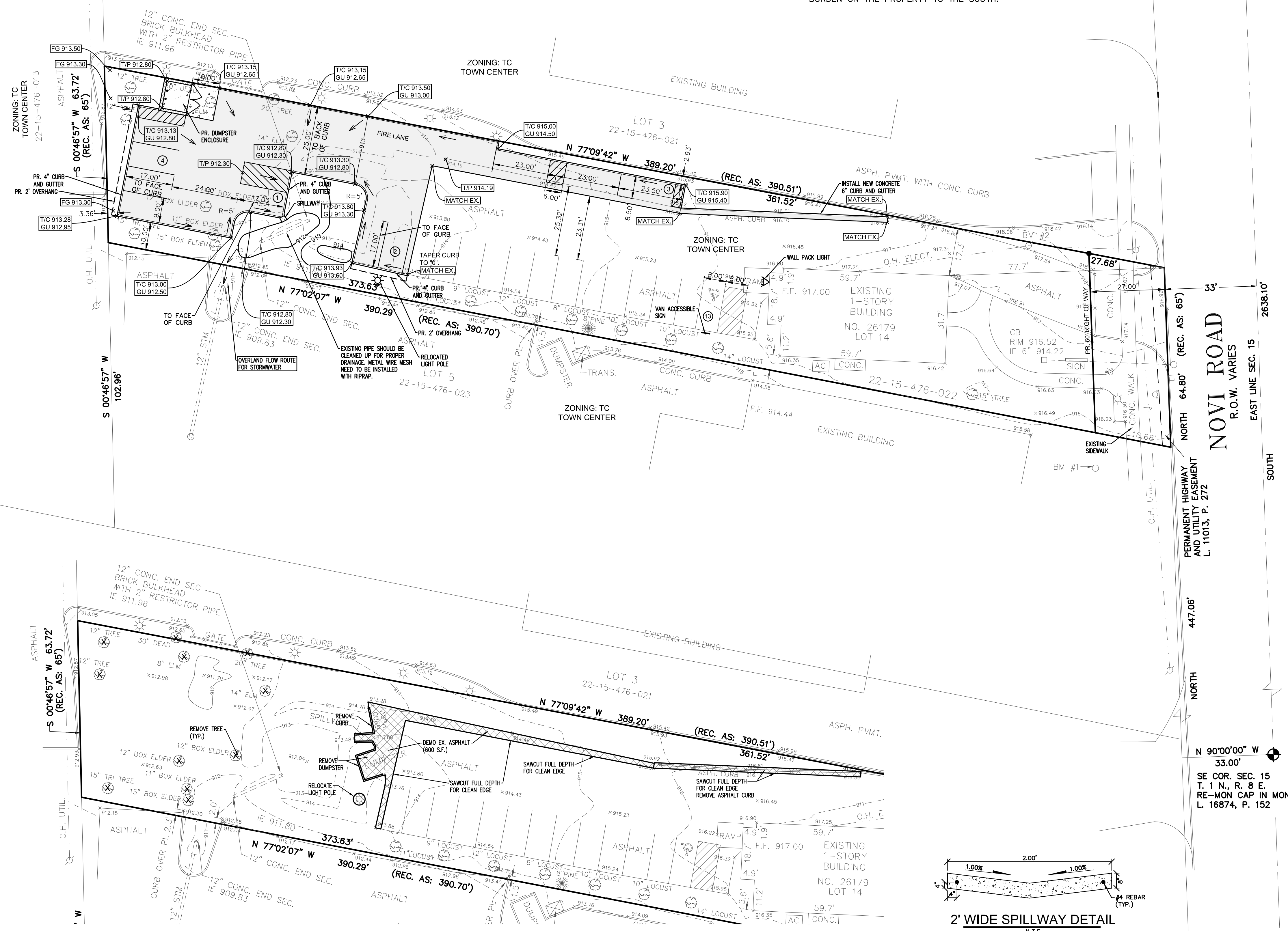
04/15/26 REVISED PER PRE-APPLICATION REVIEW

DESIGNED BY: J.N.
 DRAWN BY: J.N.

APPROVED BY: A.O.
 DATE: 03-18-2026

SCALE:
 1" = 20'

JOB NO.: 1524
 SHEET: SP-2



Dumpster Enclosure Plan

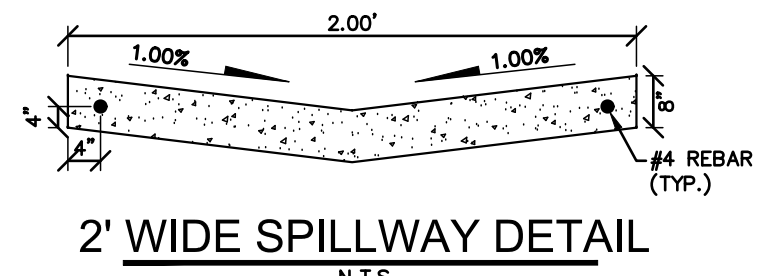
ESTIMATED QUANTITIES
PAVEMENT

DESCRIPTION	QUANTITY	UNIT
4" ASPHALT ON 8" 21AA BASE	594	S.Y.
8" NON-REINFORCED CONCRETE	24	S.Y.
6" CURB AND GUTTER	386	L.F.
4" CURB AND GUTTER	78	L.F.

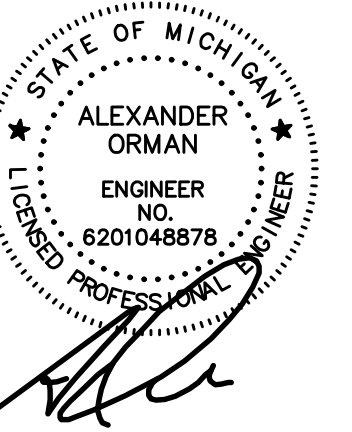
SITE DATA

EXISTING SITE ZONING: TC TOWN CENTER
 PARCEL AREA: 23,449 SQUARE FEET OR 0.538 ACRES
 SETBACKS: FRONT - 15'
 SIDE - 10'
 REAR - 10'

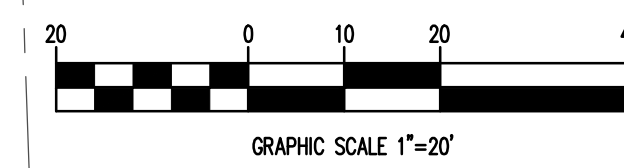
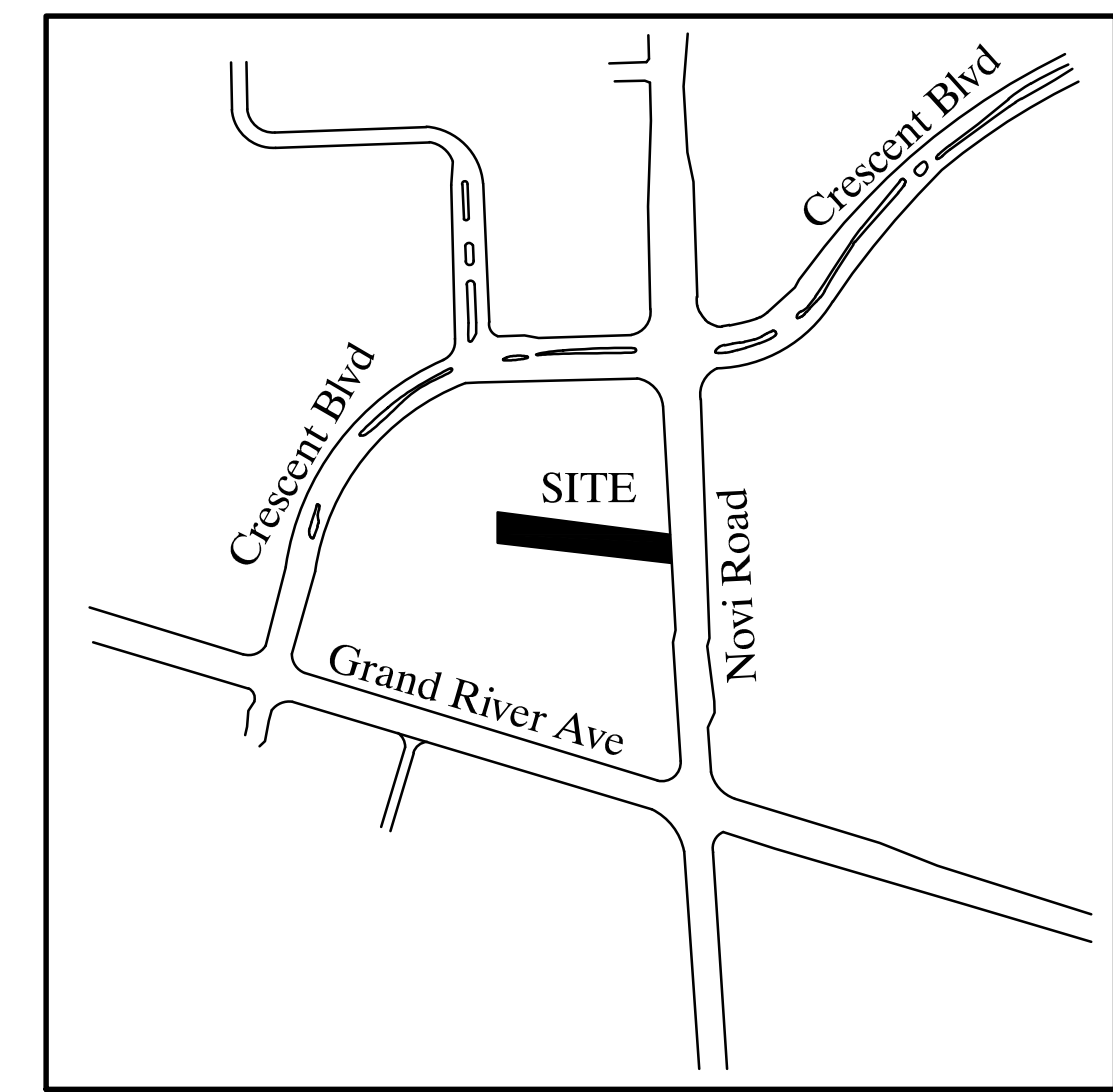
PARKING REQUIREMENTS:
 REQUIRED PARKING: 1 SPACE PER STATION
 PROVIDED: 13 STATIONS, 23 SPACES
 INCLUDING 1 ACCESSIBLE SPACES



DEMOLITION PLAN

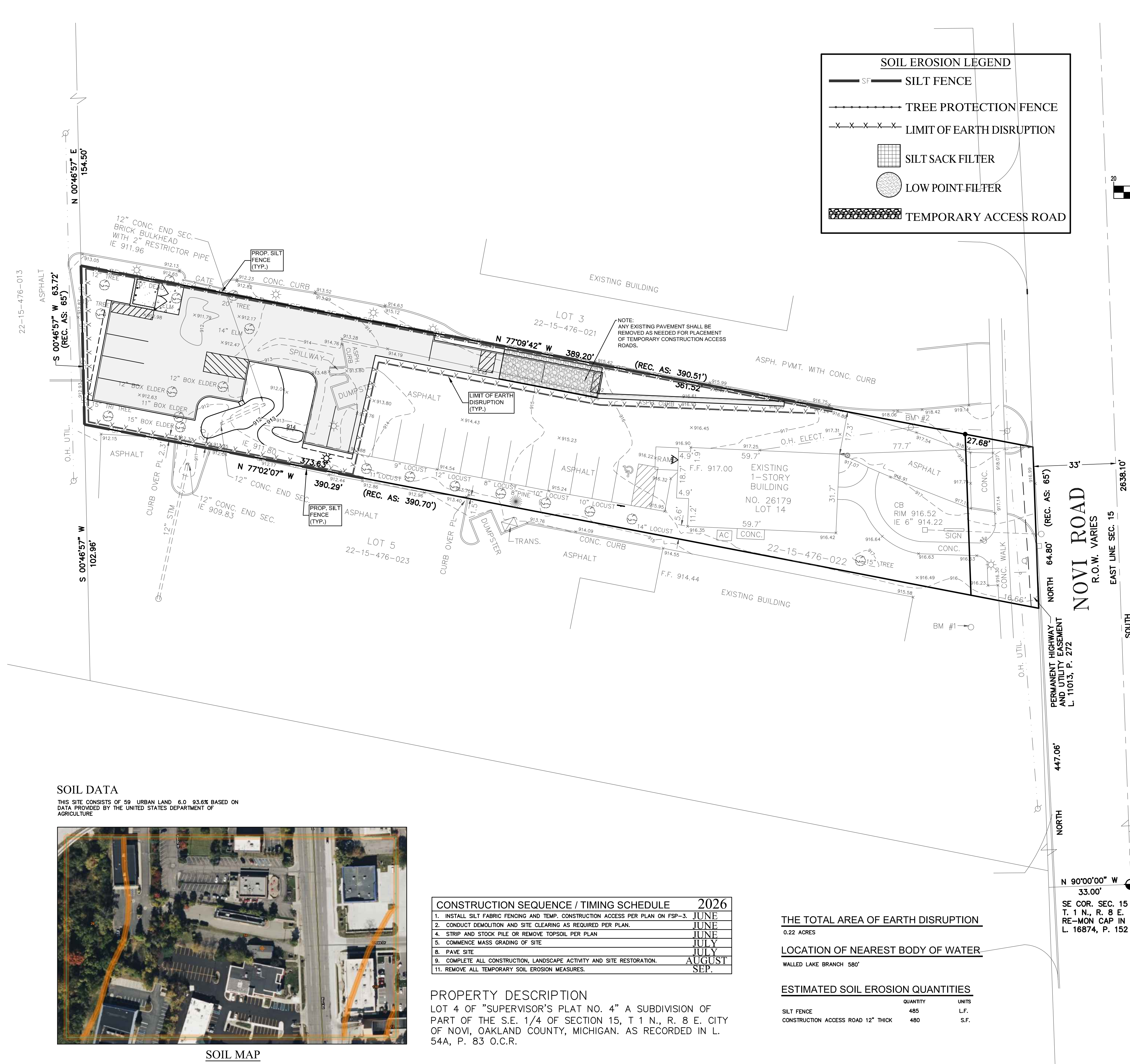


Date	Description



SOIL EROSION LEGEND

	SILT FENCE
	TREE PROTECTION FENCE
	LIMIT OF EARTH DISRUPTION
	SILT SACK FILTER
	LOW POINT FILTER
	TEMPORARY ACCESS ROAD



NOTES:

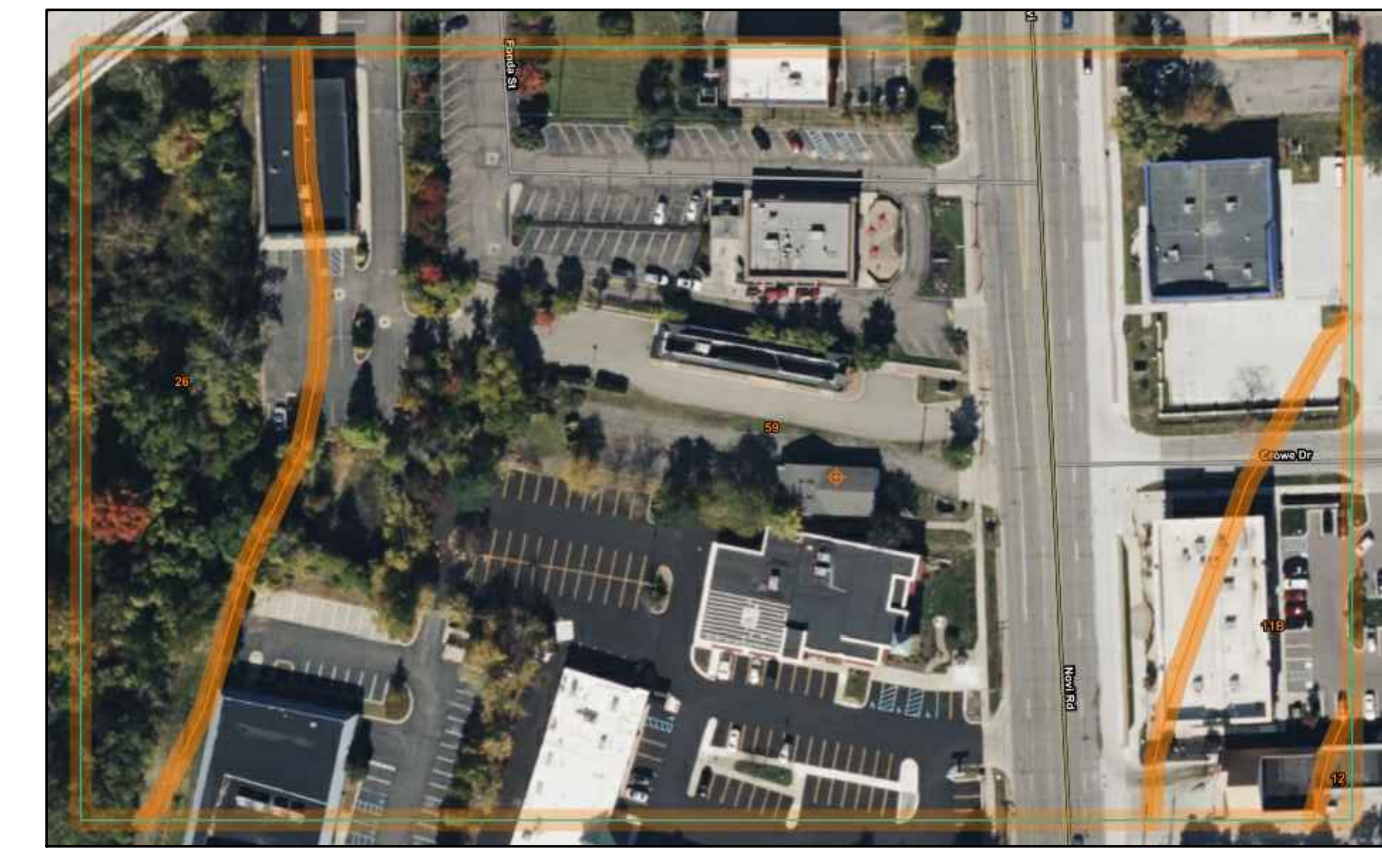
- INSTALLATION OF SILT FENCING OR TREE PROTECTION SHALL NOT OCCUR PRIOR TO THE INITIAL CITY PRE-CONSTRUCTION MEETING.
- IF DEWATERING IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION A DEWATERING PLAN MUST BE SUBMITTED TO THE ENGINEERING DIVISION FOR REVIEW.
- REFER TO SITE PLAN SHEET # SP-2
- IT IS THE DEVELOPER'S RESPONSIBILITY TO GRADE AND STABILIZE DISTURBANCES DUE THE INSTALLATION OF PUBLIC UTILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SWEEPING AND DUST CONTROL.
- VEGETATION SHALL BE ESTABLISHED WITHIN 5 DAYS OF FINAL GRADE, OR WHENEVER DISTURBED AREAS WILL REMAIN UNCHANGED FOR 30 DAYS OR GREATER. 3-4" OF TOPSOIL WILL BE USED WHERE VEGETATION IS REQUIRED.

SOIL EROSION CONTROL NOTES

- INSTALL CRUSHED CONCRETE ACCESS DRIVE AND TEMPORARY CULVERTS AT THE SITE ENTRANCE AS INDICATED ON THE PLANS.
- INSTALL SILT FENCE OR SIMILAR APPROVED SILT BARRIER ALONG PROPERTY LINES AND AROUND SENSITIVE NATURAL FEATURES AS INDICATED ON THE PLANS.
- STRIP EXISTING TOPSOIL, VEGETATION AND ORGANIC MATTER FROM BUILDING PAD AND PARKING AREAS. COMMENCE LAND BALANCE AND MASS GRADING OPERATIONS. MAINTAIN A MINIMUM BUFFER OF 15' OF EXISTING VEGETATION WHEREVER POSSIBLE AROUND SITE PERIMETER. STOCK PILES SHOULD BE LOCATED AWAY FROM EXISTING DRAINAGE FACILITIES.
- COMMENCE FINAL GRADING AND TRIMMING OPERATIONS. PREPARE SUBGRADE FOR INSTALLATION OF PROPOSED PAVEMENT.
- SEED AND MULCH ALL DISTURBED SITE AREAS AND INSTALLED SITE LANDSCAPING.
- REMOVE CONSTRUCTION DEBRIS AND JET VAC NEWLY INSTALLED STORM SEWER SYSTEM AS REQUIRED BY THE MUNICIPALITY.
- REMOVE ALL REMAINING TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ONCE PERMANENT MEASURES ARE ESTABLISHED.

- STAGING OF PROPOSED WORK SHALL BE COMPLETED BY THE CONTRACTOR AS REQUIRED TO ENSURE PROGRESSIVE STABILIZATION OF DISTURBED AREAS.
- REMOVE ALL TEMPORARY SESC MEASURES ONCE SITE IS STABILIZED.

SOIL DATA
THIS SITE CONSISTS OF 59 URBAN LAND 6.0 93.6% BASED ON DATA PROVIDED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE



SOIL MAP

CONSTRUCTION SEQUENCE / TIMING SCHEDULE 2026

1. INSTALL SILT FABRIC FENCING AND TEMP. CONSTRUCTION ACCESS PER PLAN ON FSP-3.	JUNE
2. CONDUCT DEMOLITION AND SITE CLEARING AS REQUIRED PER PLAN.	JUNE
4. STRIP AND STOCK PILE OR REMOVE TOPSOIL PER PLAN	JUNE
5. COMMENCE MASS GRADING OF SITE	JULY
8. PAVE SITE	JULY
9. COMPLETE ALL CONSTRUCTION, LANDSCAPE ACTIVITY AND SITE RESTORATION.	AUGUST
11. REMOVE ALL TEMPORARY SOIL EROSION MEASURES.	SEP.

PROPERTY DESCRIPTION
LOT 4 OF "SUPERVISOR'S PLAT NO. 4" A SUBDIVISION OF PART OF THE S.E. 1/4 OF SECTION 15, T 1 N., R. 8 E. CITY OF NOVI, OAKLAND COUNTY, MICHIGAN. AS RECORDED IN L. 54A, P. 83 O.C.R.

THE TOTAL AREA OF EARTH DISRUPTION
0.22 ACRES

LOCATION OF NEAREST BODY OF WATER
WALLED LAKE BRANCH 580'

ESTIMATED SOIL EROSION QUANTITIES

	QUANTITY	UNITS
SILT FENCE	485	L.F.
CONSTRUCTION ACCESS ROAD 12" THICK	480	S.F.

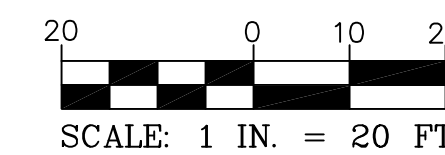
PREPARED FOR
ENE PROPERTIES INC.
 18807 VANDERHAVEN LN.
 LIVONIA, MI 48152

ARPEE/DONNAN, INC.
 LAND SURVEYING • ENGINEERING • MAPPING
 32233 SCHOOLCRAFT RD., SUITE 103
 LIVONIA, MICHIGAN 48150
 PHONE (734) 953-3335 FAX (734) 953-3324

TOPOGRAPHIC & BOUNDARY SURVEY
 22-15-476-022
 26179 NOVI ROAD, CITY OF NOVI,
 OAKLAND COUNTY, MICHIGAN

DATE 03/08/23
 DRAFTED BY WRD
 CHECKED BY WGD
 F.B. 291
 FILE:
 JOB #
23006

W. 1/4 COR. SEC. 15
 T. 1 N., R. 8 E.
 RE-MON CAP IN MON BOX.
 L. 16874, P. 186



PROPERTY DESCRIPTION

LOT 4 OF "SUPERVISOR'S PLAT NO. 4" A SUBDIVISION OF PART OF THE S.E. 1/4 OF SECTION 15, T 1 N., R. 8 E. CITY OF NOVI, OAKLAND COUNTY, MICHIGAN. AS RECORDED IN L. 54A, P. 83 O.C.R.

NOTE:
 TITLE WORK WAS NOT PROVIDED, THEREFORE THERE MAY BE EASEMENTS AND/OR ENCUMBRANCES UPON THE PROPERTY WHICH ARE NOT SHOWN ON THIS SURVEY.

BENCH MARK

BM#1: CITY OF NOVI BENCHMARK 1542
 "X" ON NORTH RIM OF SANITARY MANHOLE LOCATED 25 FEET WEST OF BACK OF CURB AND 45 FEET SOUTH OF DRIVE #26179 NOVI ROAD.
 ELEVATION = 915.10

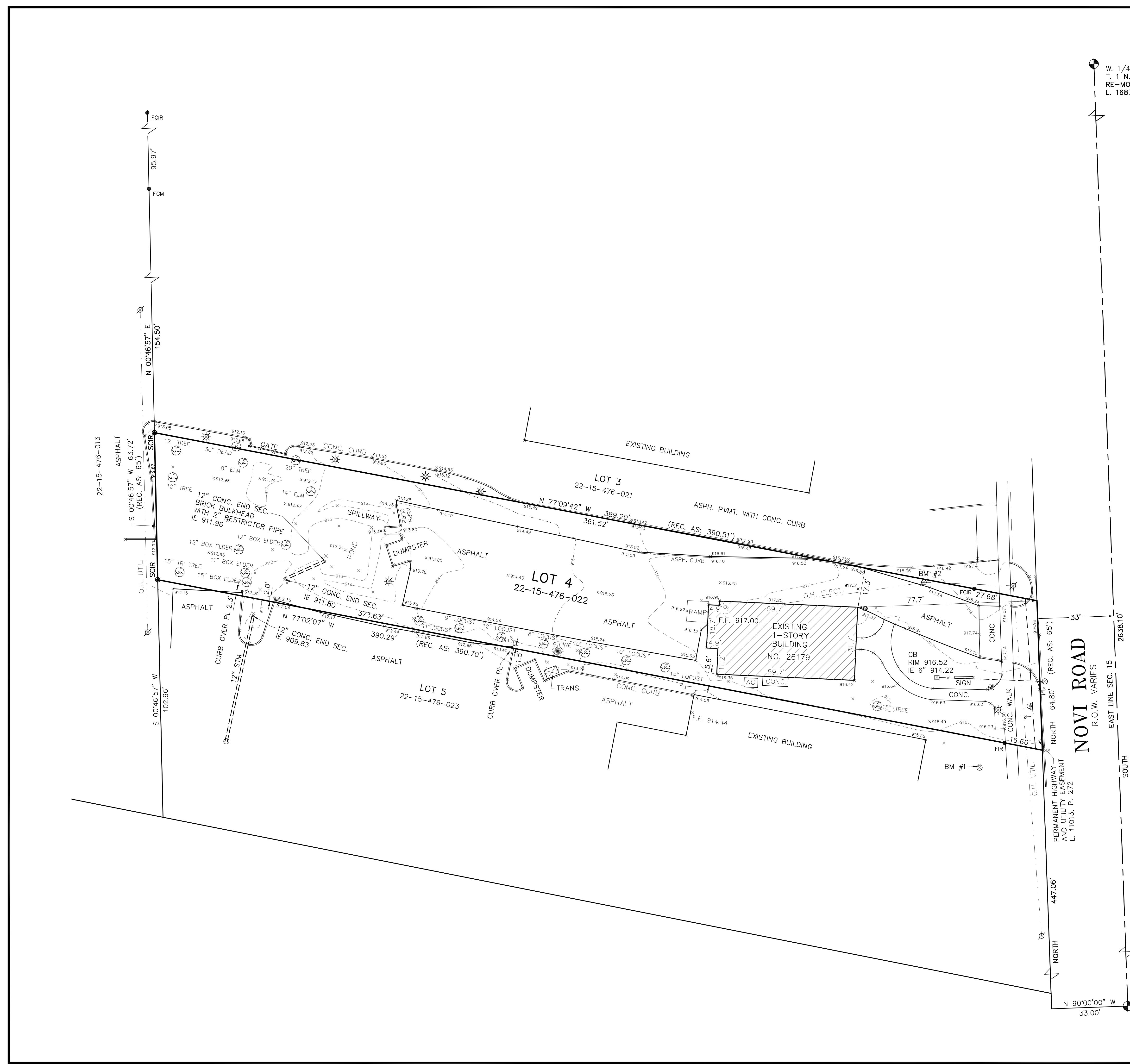
BM#2: SITE BENCH MARK
 NAIL IN UTILITY POLE NEAR NORTHEAST CORNER OF PROPERTY.
 ELEVATION = 919.46

LEGEND

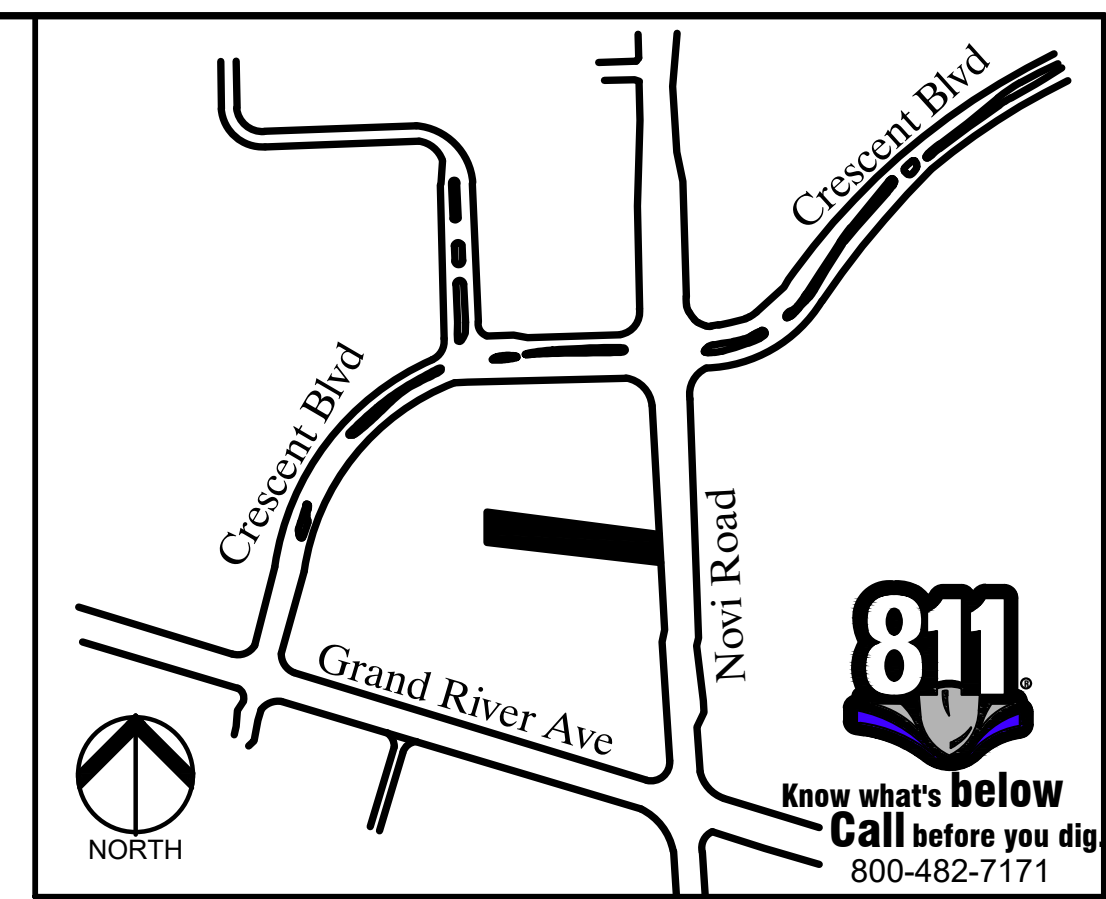
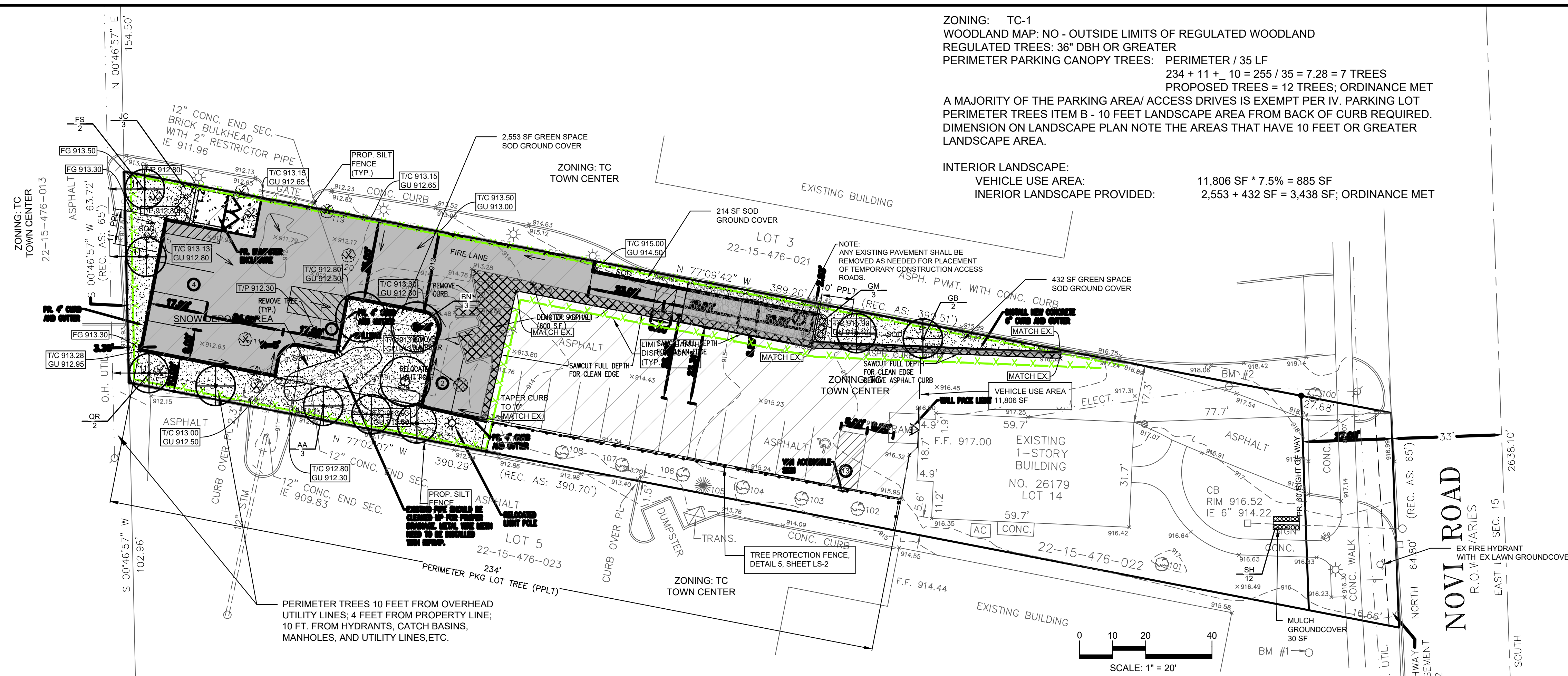
- CATCH BASIN
- SEWER MANHOLE
- ⊕ FIRE HYDRANT
- ⊕ GATE VALVE & WELL
- ⊕ UTILITY POLE
- ⊕ LIGHT POLE
- ⊕ WATER SHUT OFF
- ⊕ SIGN
- ⊕ GUARD POST
- SPOT ELEVATION
- FCM ● FOUND CONC. MONUMENT
- FIR ● FOUND IRON
- SCIR ● SET CAPPED IRON ROD

SE COR. SEC. 15
 T. 1 N., R. 8 E.
 RE-MON CAP IN MON BOX.
 L. 16874, P. 152

WILLIAM DONNAN PROFESSIONAL SURVEYOR
 LICENSE NO. 63483



NOVI ROAD
 R.O.W. VARIES
 EAST LINE SEC. 15
 NORTH 64.80' (REC. AS: 65')
 SOUTH 2638.10'



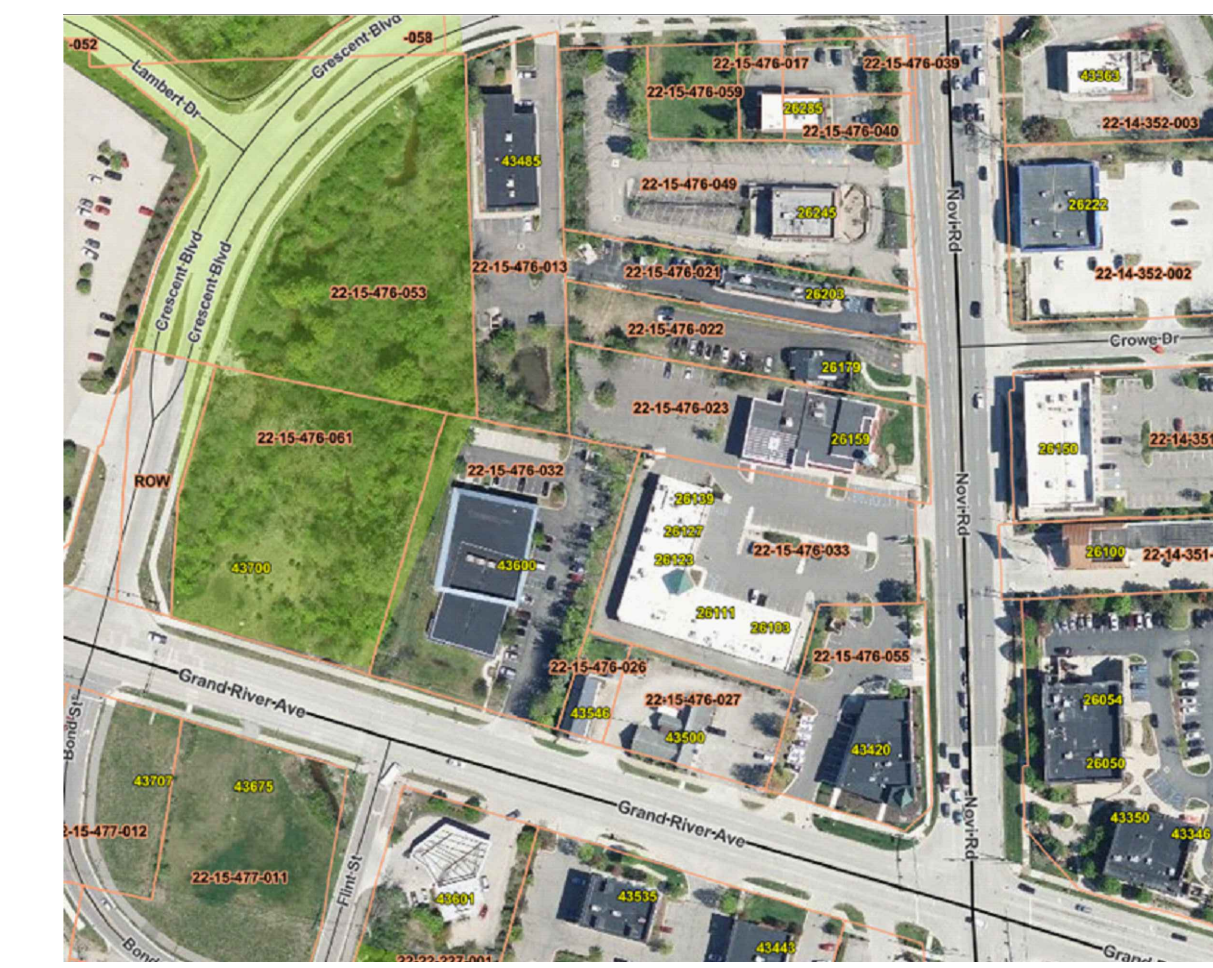
FORMA BEAUTY SALON
26179 NOVI RD
CITY OF NOVI, OAKLAND COUNTY, MI

TREE LIST (TOPOGRAPHIC SURVEY)

TAG NO.	CODE	DBH	COMMON NAME	LATIN NAME	COND	REGULATED	REMOVE/ SAVE	COMMENTS
100	CO	15	Chestnut Oak	Quercus Prinus	Poor	NO	S	Main Leader Missing
101	BP	15	Bradford Pear	Pyrus calleryana	Fair	NO	S	
102	HL	14	Honeylocust	Gleditsia triacanthos	Fair	NO	S	
103	HL	10	Honeylocust	Gleditsia triacanthos	Fair	NO	S	
104	HL	10	Honeylocust	Gleditsia triacanthos	Fair	NO	S	
105	AU	8	Austrian Pine	Pinus nigra	Fair	NO	S	
106	HL	8	Honeylocust	Gleditsia triacanthos	Dead	NO	S	
107	HL	12	Honeylocust	Gleditsia triacanthos	Fair	NO	S	
108	HL	9	Honeylocust	Gleditsia triacanthos	Fair	NO	S	
109	HL	11	Honeylocust	Gleditsia triacanthos	Fair	NO	S	
110	BX	12	Box elder	Acer negundo	Dead	NO	R	DEAD/ MISSING
111	BX	12	Box elder	Acer negundo	Dead	NO	R	DEAD/ MISSING
112	BX	11	Box elder	Acer negundo	Dead	NO	R	DEAD/ MISSING
113	BX	15	Box elder	Acer negundo	Poor	NO	R	
114	CH	15	Domestic Cherry	Prunus avium	Dead	NO	R	
115	CH	12	Domestic Cherry	Prunus avium	Dead	NO	R	
116	CH	12	Domestic Cherry	Prunus avium	Dead	NO	R	
117		30	#N/A	#N/A	Dead	NO	R	DEAD/ MISSING
118	E	8	American Elm	Ulmus americana	Dead	NO	R	DEAD/ MISSING
119	BW	20	Black Walnut	Juglans nigra	Good	NO	R	
120	E	14	American Elm	Ulmus americana	Poor	NO	R	

PROPOSED PLANT LIST

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	REMARKS
CANOPY TREES							
BN	3	BETULA NIGRA	RIVER BIRCH	12' HT.	B&B	MIN. 20' O.C.	MULTI-STEM (3 MIN.)
GB	2	GINKGO BILOBA	GINKGO	2" CAL.	B&B	MIN. 20' O.C.	SINGLE STEM
	5	SUBTOTAL:					
ORNAMENTAL / SUB CANOPY TREES							
AA	3	AMELANCHIER AUTUMN BRILLIANCE	SERVICEBERRY	1" CAL.	B&B	MIN. 15' O.C.	MULTI-STEM (3 MIN.) TOTAL MIN. 2' CAL
QR	2	QUERCUS ROBUR REGAL PRINCE	COLUMNAR ENGLISH OAK	2" CAL.	B&B	MIN. 15' O.C.	SINGLE STEM
FS	2	FAGUS SYLVATICA RED OBLESIK	COLUMNAR ENGLISH BEECH	2" CAL.	B&B	MIN. 15' O.C.	SINGLE STEM
	7	SUBTOTAL:					
SHRUBS/ PERENNIALS							
JC	3	J CH HETZ COLUMNARIS	UPRIGHT JUNIPER	5' HT.	CONT.	4' O.C.	
GM	3	BUXUS X GREEN MOUNTAIN	BOXWOOD	24" HT.	CONT.	2' O.C.	
SH	12	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	3 GAL.	CONT.	1.5' O.C.	SIGN PLANTINGS/ MULCH GROUND COVER
	18	SUBTOTAL:					
GROUNDCOVERS							
SOD	3,292	MATCH SOD WITH EX TYPE	FESCUE/KENTUCKY BLUEGRASS MIX NO DYES	SF			SEE NOTES
MULCH	30	FINELY SHREDDED BARK		SF		2" DEPTH	SEE NOTES



LANDSCAPE ARCHITECT SEAL



CLIENT
FORMA BEAUTY SALON
26179 NOVI RD
NOVI, MI
MR. JAKUP ISLAM
jiskupislam@gmail.com
(734) 626-7295

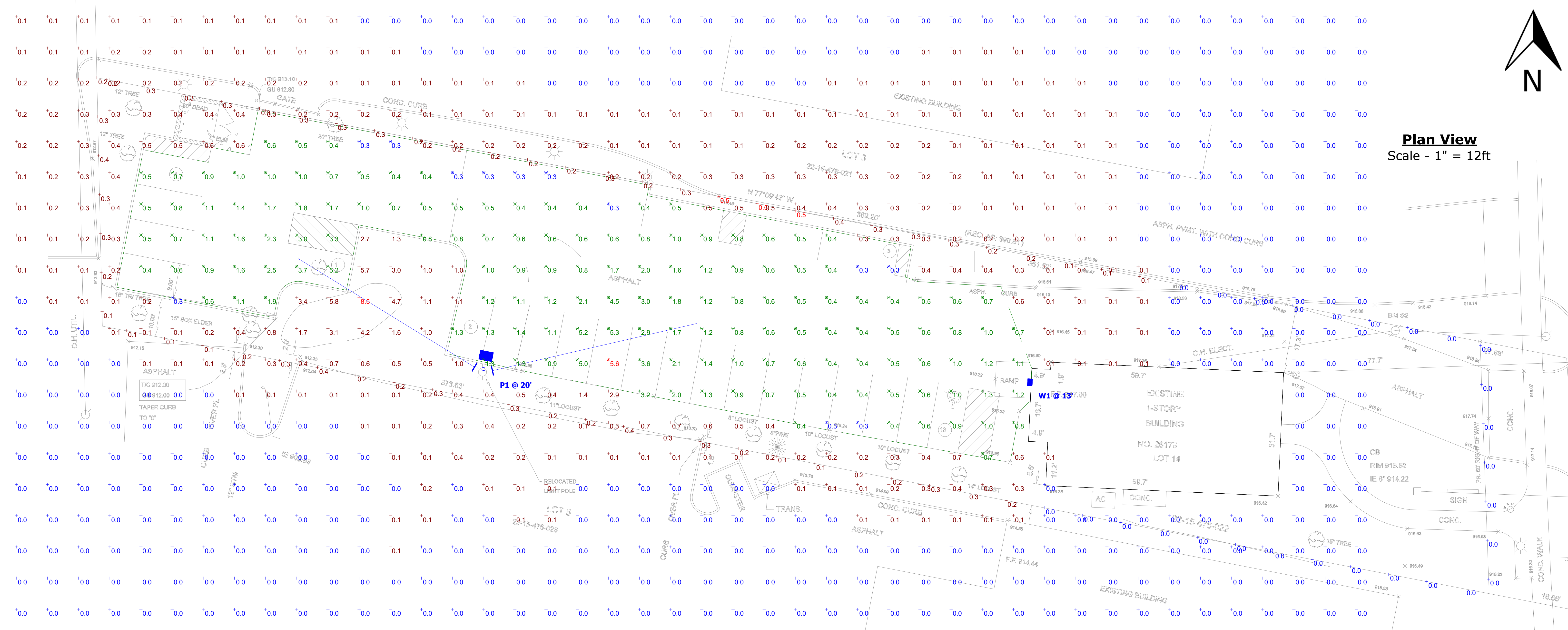
SUBMITTAL/ REVISION DATES	
2026-03-19	SITE PLAN
2026-04-20	REVISIONS

DWG TITLE
LANDSCAPE PLAN

DES. TLP
PROJECT NO. 26014
DWG NUMBER:
LS-1



Plan View
Scale - 1" = 12ft



Schedule								
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lumens per Lamp	LLF	Wattage
	P1	1	EXISTING	TO BE CONFIRMED BY OWNER	[...]	[. . .]	0.9	172.7886
			EXISTING	TO BE CONFIRMED BY OWNER	TO BE CONFIRMED BY OWNER	Absolute	0.9	63.8243
			EXISTING	TO BE CONFIRMED BY OWNER	TO BE CONFIRMED BY OWNER	4951	0.9	45.14
			EXISTING	TO BE CONFIRMED BY OWNER	TO BE CONFIRMED BY OWNER	Absolute	0.9	63.8243
	W1	1	EXISTING	TO BE CONFIRMED BY OWNER	TO BE CONFIRMED BY OWNER	2030	0.9	18.9815

General Note
 1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
 2. SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
 3. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: GRADE

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2019. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT CONTROLS@GASSERBUSH.COM OR 734-266-6705.

Alternates Note
 THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.

Ordering Note
 FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

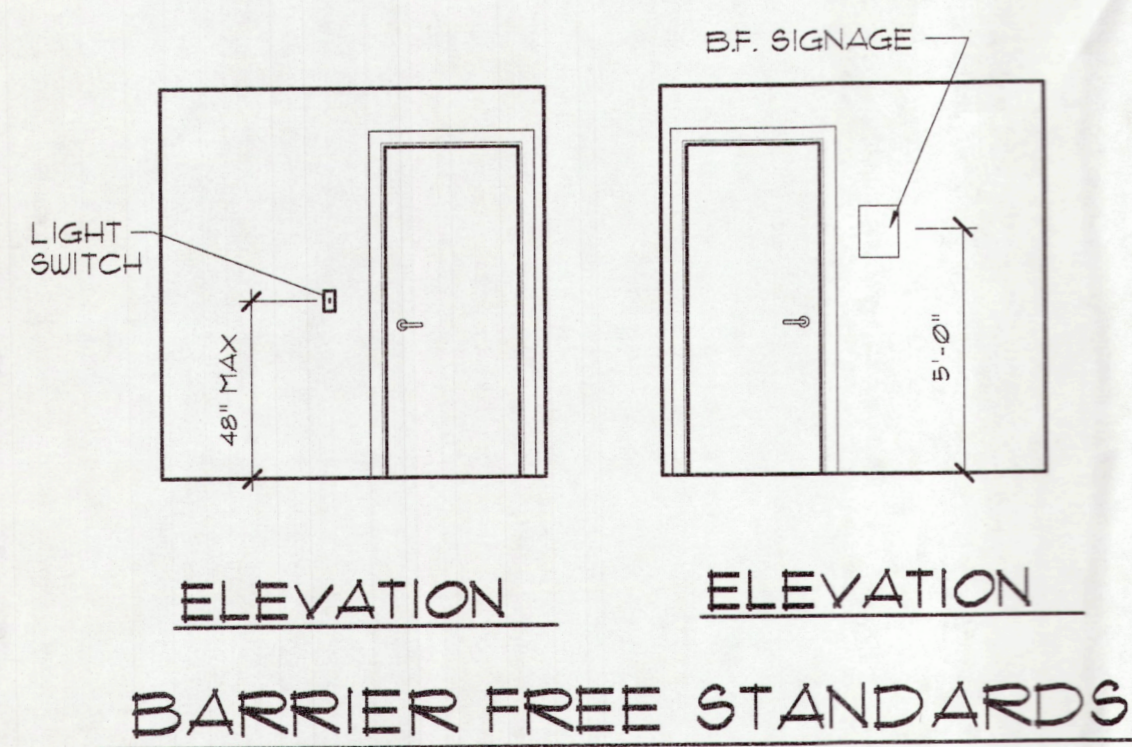
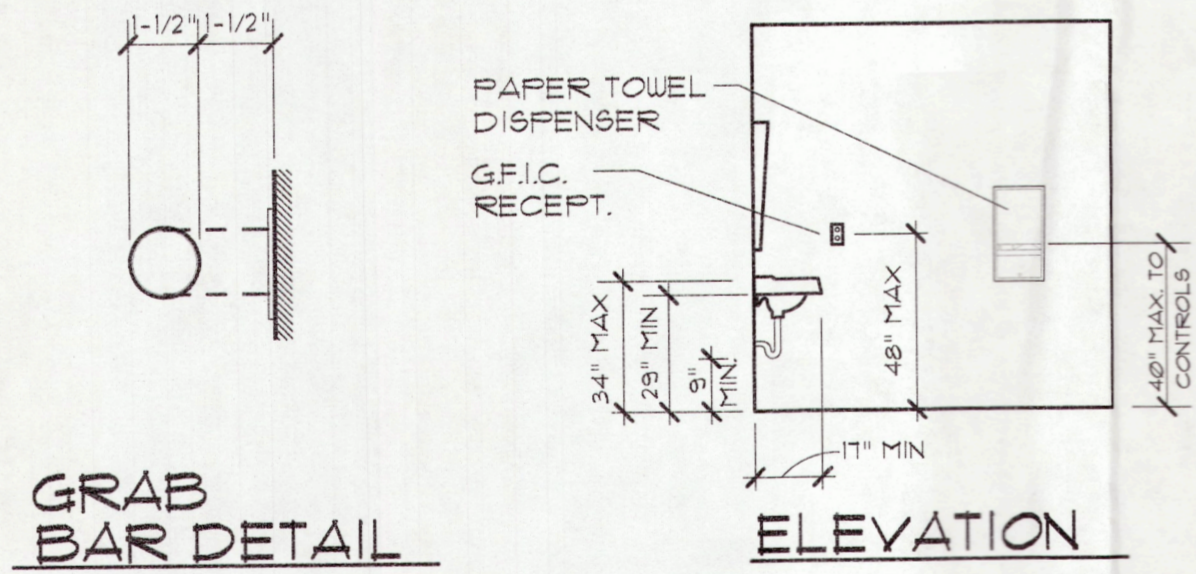
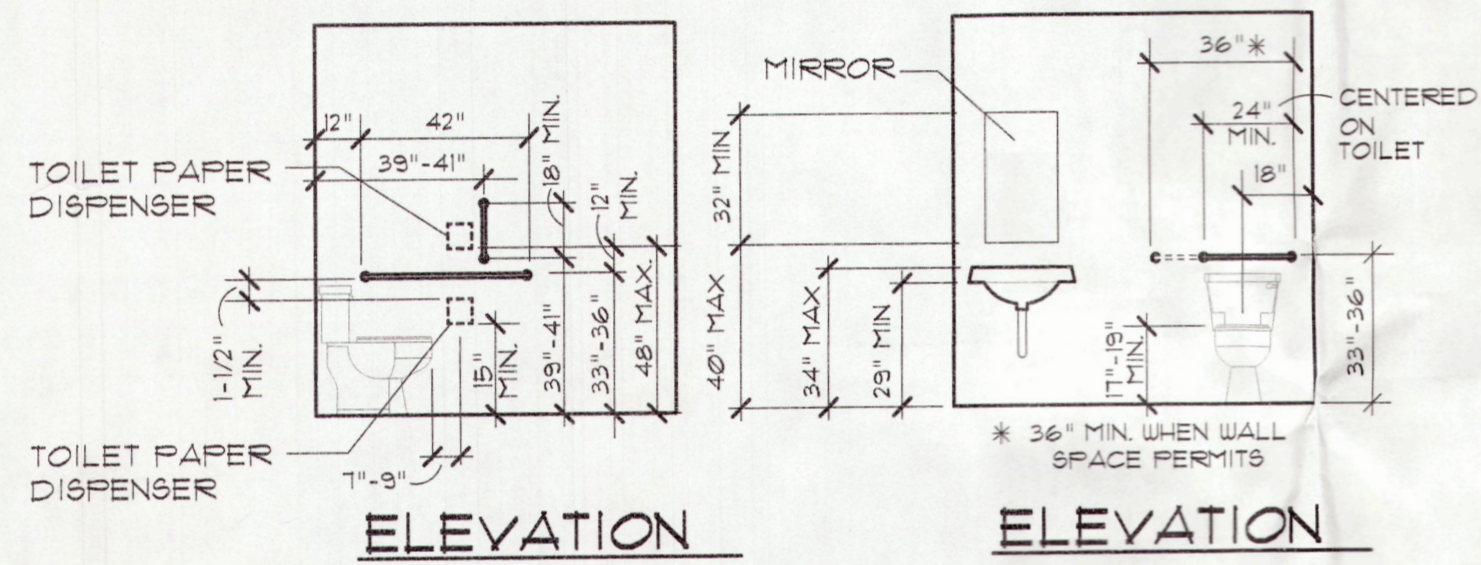
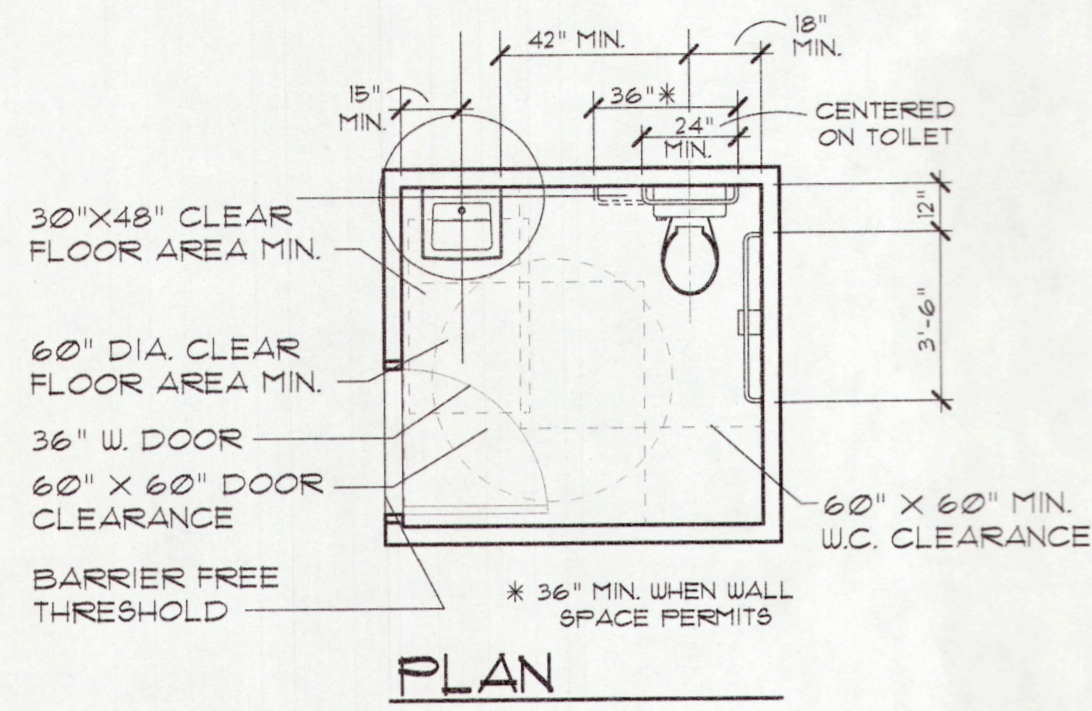
Drawing Note
 THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

Mounting Height Note
 MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

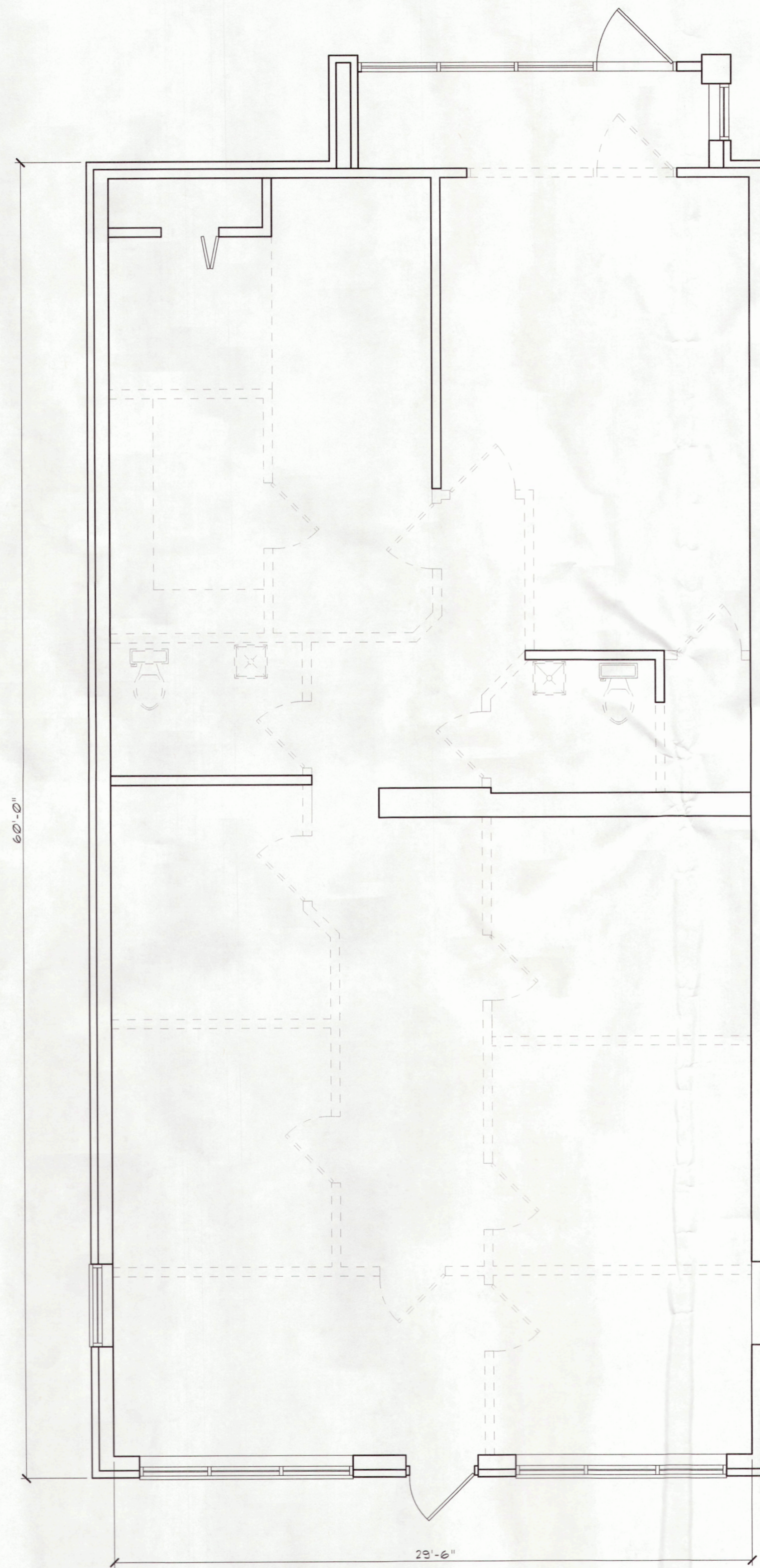
Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Overall/Grade	+	0.3 fc	8.5 fc	0.0 fc	N/A	N/A
Parking & Drive Lanes	X	1.1 fc	5.6 fc	0.3 fc	18.7:1	3.7:1
Property Line	+	0.2 fc	0.5 fc	0.0 fc	N/A	N/A

26179 NOVI RD. - FORMA SALON
 EXTERIOR PHOTOMETRIC PLAN
 GASSER BUSH ASSOCIATES
 WWW.GASSERBUSH.COM

Designer
 BK
 Date
 04/13/2026
 Scale
 Not to Scale
 Drawing No.
 #26-57146

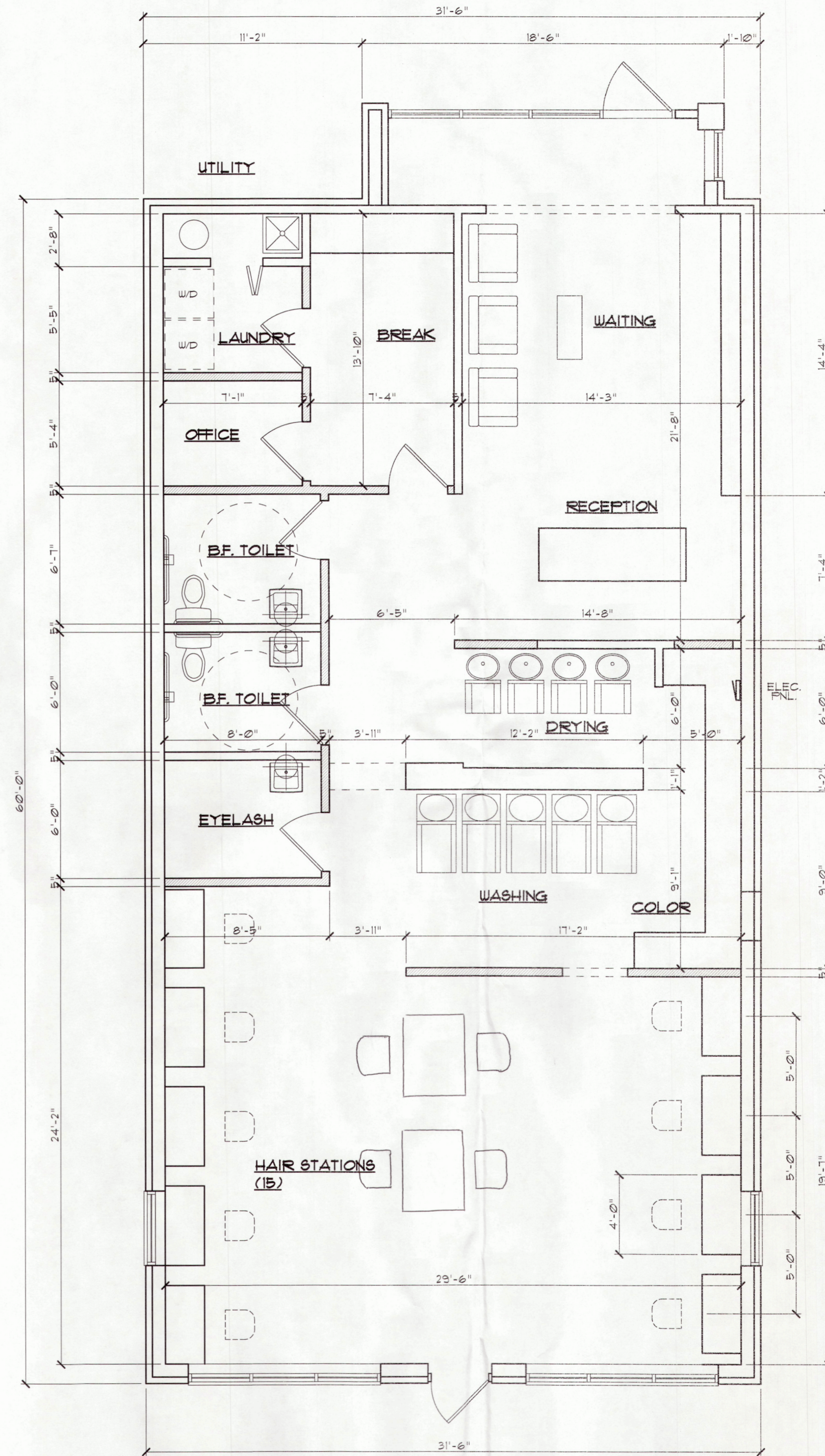


BARRIER FREE STANDARDS



DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"

WALL LEGEND
 - - - - - PARTITION TO BE DEMOLISHED
 _____ EXISTING PARTITION
 _____ NEW PARTITION
 1/2" GYP. BD. EA. SIDE
 OF 3 5/8" 22GA. MET. STUDS
 AT 16" O.C.



PRELIMINARY FLOOR PLAN
 SCALE: 1/4" = 1'-0"

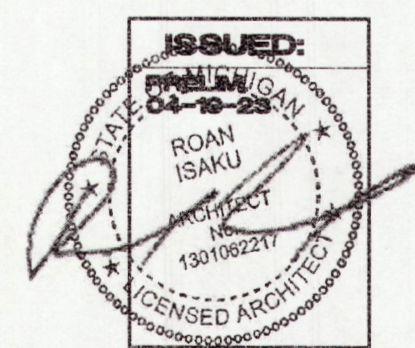
ALL DOORS TO BE MIN. 36" WIDE UNLESS OTHERWISE NOTED

COPYRIGHT © 2003
 THIS DOCUMENT AND SUBJECT MATTER CONTAINED HEREIN IS UNLAWFULLY REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF ARKO DESIGN ASSOCIATES

PROJECT
 FORMA BEAUTY SALON
 2679 NOVI RD.
 NOVI, MI

SUBJECT
 FLOOR PLAN
 DEMOLITION PLAN
 BARRIER FREE STANDARDS

ARCO DESIGN ASSOCIATES
 2298 YASWIN DRIVE - COMMERCE TWP - MI - 48382
 PH. (248) 802-6409



DRAWN	AK
CHECKED	AK
APPROVED	AK
RECD	
CONSTR	

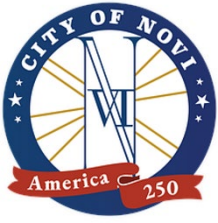
DO NOT SCALE PRINTS - USE FIGURED DIMENSIONS ONLY

JOB NO.
 23-07

SHEET
 A.1

PROPOSED HAIR SALON

PLANNING REVIEW



PLANNING REVIEW

Forma Beauty Salon Parking
JSP26-0014
May 20, 2026

PETITIONER:

Forma Beauty Salon | Jakup Islami

REVIEW TYPE:

Accessory Preliminary/Final (Combined) Site Plan

PROPERTY CHARACTERISTICS

Section	22	
Site Location	26179 Novi Road 50-22-15-476-022	
Site School District	Novi Community School District	
Site Zoning	TC: Town Center District	
Adjoining Zoning	North	TC: Town Center District
	East	TC: Town Center District
	West	TC: Town Center District
	South	TC: Town Center District
Current Site Use	Salon	
Adjoining Uses	North	Alison B. Lubyansky, DDS Family and Cosmetic Dentistry
	East	Retail – Panda Express, Mattress Firm
	West	Office Building - vacant
	South	True Society Bridal Shop
Site Size	0.57 Acres	
Plan Date	4/15/2026	

PROJECT SUMMARY

The applicant is proposing site improvements including increasing parking from 13 spaces to 23 spaces, removal of the existing dumpster and construction of a new dumpster to be located at the northwest corner of the site, the landscape improvements, and the relocation of an existing light pole.

RECOMMENDATION

Preliminary/Final Site Plan approval is **not recommended**. Please address the comments in this letter and in the attached review letters on a revised submittal.

ORDINANCE REQUIREMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. Please see the attached chart for information pertaining to ordinance requirements. The items below must be addressed and incorporated as part of the revised site plan sets.

1. Administrative Approval (Section 6.1.1.C.i-ii): The ordinance permits a site plan to be reviewed for approval administratively without formal approval by the Planning Commission:
 - i. When the plan only proposes improvements to or expansion of an existing off-street parking area.
 - ii. When the plan only proposes modifications to a previously approved off-street parking lot layout, provided the proposed modifications do not reduce the number of approved parking spaces to less than the minimum number of spaces required by the Ordinance, including carports and EV parking, so long as other requirements are met.

This site plan meets the requirements of Section 6.1.1.C.i-ii and therefore qualifies for administrative approval – provided no Landscape or other waivers or variances are required.

1. Parking Setback (Section 3.1.25.D): The minimum side yard parking setback is 20 feet, approximately 3 feet is proposed. The minimum rear yard setback is 10 feet, approximately 3 feet is proposed.

A Zoning Board of Appeals (ZBA) variance will be required for the deficiency in north and east parking setbacks.

2. Off-Street Loading and Unloading (Section 5.4): On the same premises as every building, structure or part thereof, involving the receipt or distribution of vehicles, materials, or merchandise, there shall be provided and maintained on the lot adequate space for standing, loading and unloading in order to avoid undue interference with public use of dedicated rights-of-way. Within the TC districts, loading, unloading space shall be provided in the rear yard at a ratio of ten square feet for each front foot of building.

The applicant has indicated that a dedicated loading/unloading space is not required, as no delivery trucks are anticipated. Staff finds that a designated loading area is not necessary, as the business is not expected to involve the regular receipt or distribution of materials or merchandise.

3. Bicycle Parking (Section 5.16.1): When any principal building is enlarged by 10% or more of the existing gross floor area, or any automobile parking lot is enlarged by 10% or more of existing parking spaces, bicycle parking shall be required and provided as part of site plan review under Section 6.1.

The proposed increase in parking is approximately 57% of existing parking spaces. While bicycle parking would normally be required in this instance, staff accepts the applicants' justification that bicycle parking is not necessary as the nature of the salon business is not expected to generate significant demand for cycling-related facilities.

4. Dumpster Enclosure (Section 4.19.2.F): Dumpster enclosure shall be located in the rear yard, no closer than 10 feet to any building, and not located closer to the property line than the minimum parking lot setback for the district.

The dumpster is proposed to be located within the rear parking lot setback. A Zoning Board of Appeals (ZBA) variance will be required for the location in the setback.

5. Lighting and Photometric Plan (Section 5.7): A lighting and photometric plan was provided; however additional information is required for these items. Refer to Planning Review Chart for additional information.
6. Planning Review Chart: The Planning Review Chart provides additional comments and requests clarification for certain items. Please address these items in addition to the comments provided in this letter.

OTHER PRELIMINARY/FINAL SITE PLAN REVIEWS

- Engineering Review: Preliminary Site Plan **approval recommended**, Final Site Plan **approval not recommended**. See attached Engineering review for details.
- Landscape Review: Preliminary/Final Site Plan **approval not recommended**. See attached Landscape review for details.
- Wetland Review: Preliminary/Final Site Plan **approval recommended**. See attached Wetland review for details.
- Traffic Review: Preliminary/Final Site Plan **approval recommended**. See attached Traffic review for details.
- Fire Review: Preliminary/Final Site Plan **approval recommended**. See attached Fire review for details.

NEXT STEP: REVISED PRELIMINARY/FINAL SITE PLAN (IF NO LANDSCAPE WAIVERS ARE REQUIRED)

Plans will need to be revised to address the comments provided in the review letters. Please submit the following for reconsideration:

1. Site Plan Revision Submittal Form

2. A response letter addressing all comments and **referring to sheet numbers where change is reflected.**
3. Three copies of the revised Preliminary Site Plan, and one electronic copy, addressing all comments from ALL review letters.

– OR – ALTERNATE NEXT STEP: PLANNING COMMISSION MEETING (IF LANDSCAPE WAIVERS ARE REQUIRED)

If Landscape waivers are required, the project will be scheduled to appear before the Planning Commission on June 10, 2026. Please submit the following by June 3, 2026 for Planning Commission consideration:

1. Site Plan submittal in PDF format (maximum of 10MB) **NO CHANGES MADE**
2. A response letter addressing ALL comments from ALL review letters and a [request for waivers/variances as you see fit.](#)
3. A color rendering of the Site Plan (to be used for Planning Commission presentation)

FUTURE STEP: ZONING BOARD OF APPEALS (ZBA)

Any variances required shall be requested from the Zoning Board of Appeals (ZBA) prior to the submittal of the Electronic Stamping Set. The ZBA meets on the 2nd Tuesday of each month. To request to appear before the ZBA, an application must be submitted to Megan Nardone at mnardone@cityofnovi.org by the first business day of the month for the following month's meeting.

[Dimensional Variance Zoning Board of Appeals Application Packet](#)

NEXT STEP: REVISED FINAL SITE PLAN

Plans will need to be revised to address the comments provided in the review letters. Please submit the following for reconsideration:

1. [Site Plan Revision Submittal Form](#)
2. A response letter addressing all comments and **referring to sheet numbers where change is reflected.**
3. Three copies of the revised Final Site Plan, and one electronic copy, addressing all comments from ALL review letters.

FUTURE STEP: ELECTRONIC STAMPING SET REVIEW AND RESPONSE LETTER

Following revised Final Site Plan approval, revised plans that address all comments from the review letters should be submitted electronically for informal review and approval prior to the submission of printed Stamping Sets. A letter prepared by the applicant or their representative is to be submitted with the electronic stamping set addressing all comments in all review letters and associated charts and **referring to sheet numbers where the change is reflected.**

FUTURE STEP: STAMPING SET APPROVAL

Stamping sets will be required for this project. Following approval of the electronic stamping set from City staff, the applicant should submit **9 – 24" x 36" sets of plans with signature and seals on each sheet (seal may be electronic)**, to the Community Development Department for Final Stamping Set approval.

FUTURE STEP: BUILDING PERMITS AND REVIEW

Building permits will be required for this project. Please contact the Building Department at (248)347-0415 to determine what is required.

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects to be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at (248)347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If you have any questions concerning the above review or the process in general, please contact me at (248)347-0483 or dshanahan@cityofnovi.org.



Diana Shanahan – Planner



PLANNING REVIEW CHART: TC Town Center District

Review Date: May 20, 2026
Review Type: Combined Preliminary / Final Site Plan Review
Project Name: **JSP26-0014 FORMA BEAUTY SALON PARKING** (26179 Novi Road)
Plan Date: April 15, 2026
Prepared By: Diana Shanahan, Planner dshanahan@cityofnovi.org (248) 347-0483

NOTES

- This chart serves as a working summary and is not intended to replace any Ordinance, requirement, or standard of the City of Novi.
- References to relevant ordinance sections are indicated in parenthesis. Please refer to the [City of Novi Ordinance](#) for complete details.
- Comments highlighted in **bold** must be addressed prior to the approval of the Preliminary Site Plan.

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan <i>(adopted June 25, 2025)</i>	TC: Town Center District	No Change	Yes	
Zoning <i>(Effective Jan. 8, 2015)</i>	TC: Town Center District	TC: Town Center District	Yes	
Uses Permitted <i>(Section 3.1.25.B & C)</i>	B: Principal Uses Permitted C: Special Land Uses	Salon	Yes	
Height, Bulk, Density, and Area Limitations				
Building Height <i>(Section 3.1.25.D)</i>	65 ft or 5 stories, whichever is less	Existing building	Yes	
Open Space <i>(Section 3.27.1.F)</i>	A minimum of 15% of the gross site area shall be devoted to permanently landscaped open spaces and pedestrian areas.			
Public Street Frontage <i>(Section 5.12)</i>	Frontage on a public street is required	Frontage on Novi Road	Yes	
Access to Major Thoroughfare <i>(Section 5.13)</i>	Direct access to major thoroughfare required unless noted in Section 5.13	Access to Novi Road	Yes	
Building Setbacks <i>(Section 3.1.25.D / 3.27.1.C)</i>				
Front (east)	Minimum 15 ft	Complies	Yes	
Interior Side (north)	Minimum 10 ft	Complies	Yes	
Interior Side (south)	Minimum 10 ft	Existing nonconforming	No	
Rear (west)	Minimum 10 ft	Complies	Yes	
Parking Setback <i>(Section 3.1.25.D)</i>				
Front (west)	Minimum 20 ft	No front yard parking	N/A	Zoning Board of Appeals variance required for deficiency in north and east parking setbacks
Interior Side (north)	Minimum 20 ft	2.93 ft	No	
Interior Side (south)	Minimum 20 ft	10 ft	No	
Rear (east)	Minimum 10 ft	3.36 ft	No	

Item	Required Code	Proposed	Meets Code	Comments
Notes To District Standards (Section 3.6.2)				
Exterior Side Yard Abutting a Street (Section 3.6.2.C)	All exterior side yards abutting a street shall have a setback equal to the front yard setback	No exterior side yards abutting a street	N/A	
Minimum Lot Area and Width (Section 3.6.2.D)	Minimum lot area and width, and maximum percent of lot coverage shall be determined based on off-street parking, loading, greenbelt screening, yard setback or usable open space requirements	0.57 acres		
Off-Street Parking in Front Yard (Section 3.6.2.E)	Off-street parking shall be permitted in the front yard when the minimum off-street parking setback requirements in Section 3.1, Section 5.5.3, and with respect to TC district, Section 3.27.1.D are observed	No front yard parking proposed	N/A	
Wetland/ Watercourse Setback (Section 3.6.2.M)	Refer to Sec 3.6.2 for more details.		Yes	See Wetland Review letter
Parking Setback Screening (Section 3.6.2.P)	Required parking setback area shall be landscaped per sec 5.5.3.			See Landscape Review letter
Modification of Setback Requirements (Section 3.6.2.Q)	The Planning Commission may modify setback requirements where it determines that such modification may result in improved use of the site and/or in improved landscaping		N/A	
TC District Required Conditions (Section 3.27 and Section 4.40)				
Site Plans (Section 3.27.1.A)	Administrative approval may be granted when the plan only proposes improvements to or expansion of an existing off-street parking area, provided the number of parking spaces is not reduced to less than the minimum number of spaces required.		Yes	This site plan meets the requirements of Section 6.1.1.C.i-ii and therefore qualifies for administrative approval – provided no Landscape or other waivers or variances are required.

Item	Required Code			Proposed	Meets Code	Comments
Minimum Building Setback Requirements – Interior and Exterior Yards <i>(Section 3.27.1.C)</i>	TC	Interior	Exterior			Existing building
	Front	15 ft	50 ft		N/A	
	Side	10 ft	50 ft		N/A	
	Rear	10 ft	50 ft		N/A	
Surface Parking Lot Screening <i>(Section 3.27.1.D)</i>	Surface parking lots shall be screened from all public rights-of-way and internal roads by either a 2.5 ft brick wall, semi-transparent screening, or landscaped berm			Parking behind building, not visible from ROW	N/A	
Architecture/ Pedestrian Orientation <i>(Section 3.27.1.E)</i>	Proposed uses, through innovative architecture, shall create a significant pedestrian orientation in keeping with the district intent and purpose. Architectural amenities shall be included. Architectural design and facade material are to be complimentary to existing or proposed buildings within the site and the surrounding area.				TBD	Indicate whether any additional site amenity details will be added (i.e. benches, trash receptacles, planters, tree grates, public art, etc.)
Façade Materials <i>(Section 3.27.1.G)</i>	All sides of buildings and accessory buildings must have the same façade materials. Façade materials may deviate from brick or stone with PC approval.			No changes proposed to existing building	N/A	
Parking, Loading, Signs, Landscaping, Lighting, Etc. <i>(Section 3.27.1 H)</i>	All sites must comply with Article 5, Site Standards, regarding off-street parking requirements and standards, off-street loading/unloading, signs, landscaping, exterior lighting, and obscuring screens as related to uses permitted in the TC district. Planning Commission may reduce parking requirements for shared parking.			Shared parking not proposed	N/A	
Sidewalks Required <i>(Section. 3.27.1.I)</i>	Required at developments which abut any street or an internal service road			Existing sidewalk along Novi Road	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Bicycle Paths (Section 3.27.1.J)	Bicycle paths shall be designed throughout the TC area to link up with other adjacent residential and nonresidential areas. Proposed bicycle parking to comply with Section 5.16 Bicycle Parking Facility Requirements		Yes	Bicycle parking discussed in Section 5.16 below
Development Amenities (Section 3.27.1.L)	All sites shall provide development amenities in the form of exterior lighting, paved activity nodes, street/sidewalk furniture, safety paths, screening walls and planters in accordance with the Town Center Area Study	No amenities proposed	TBD	Indicate whether any additional site amenity details will be added (i.e. benches, trash receptables, planters, tree grates, public art, etc.)
Parking and Loading Requirements				
Off-Street Parking Requirements (Section 5.2.12.C) Beauty Parlors or Barbershops	3 spaces for each of the first 2 beauty or barber chairs, and one and 1 ½ spaces for each additional chair	23 parking spaces proposed 13 salon chairs: (2 x 3 = 6) + (11 x 1.5) = 23 required spaces	Yes	
Parking Space Dimensions and Maneuvering Lanes (Section 5.3.2)	0° (Parallel) Parking: - 8 ft x 23 ft parking spaces - 13 ft two-way drives 90° parking: - 9 ft x 19 ft - 24 ft two-way drives - 9 ft x 17 ft parking spaces are allowed along 7 ft-wide interior sidewalks, provided the detail shows a 4" curb at these locations and along landscaping	0° parallel parking: 3 – 8.5 ft x 23 ft spaces proposed, 25.32' drive aisle 90° parking: 20 - 9 ft x 17 ft spaces proposed, 24' drive aisle, 4" curb indicated	Yes	Refer to Traffic review for further comments.
Posted Fire Lanes (D.C.S Sec. 158-99(a))	The minimum width of a posted fire lane is 20'. The minimum height of a posted fire lane is 14'		TBD	Indicate and dimension posted fire lanes for entire drive
Parking Stall Located Adjacent to a Parking Lot Entrance (public or private) (Section 5.3.13)	No parking stall located adjacent to a parking lot entrance from a street (public or private) shall be located closer than 25 feet from the street right-of-way (ROW) line, street		N/A	

Item	Required Code	Proposed	Meets Code	Comments
	easement or sidewalk, whichever is closer			
End Islands (Section 5.3.12)	<ul style="list-style-type: none"> - End islands with raised curbs and landscaping are required at the end of all parking bays that abut traffic circulation aisles. - End islands shall generally be at least 10' wide, have a 15' major radius, a 2' minor radius, and be 3' shorter than the adjacent parking stall. 		TBD	Comply with Traffic and Engineering reviews
Barrier Free Spaces Barrier Free Code (2012 Michigan Building Code)	<ul style="list-style-type: none"> - 1 accessible space required - For every 6 or fraction of six accessible parking spaces, at least one shall be van-accessible 	1 existing van accessible space	Yes	
Barrier Free Space Dimensions Barrier Free Code (2012 Michigan Building Code)	<p>Van accessible:</p> <ul style="list-style-type: none"> - 8 ft wide with an 8 ft wide access aisle (preferred) – or – - 11 ft wide with a 5 ft wide access aisle <p>Standard accessible:</p> <ul style="list-style-type: none"> - 8 ft wide with a 5 ft wide access aisle 	1 existing 8 ft accessible space with an 8 ft access aisle	Yes	
Barrier Free Signs Barrier Free Code	One sign for each accessible parking space	Sign indicated	Yes	
Loading Spaces (Section 5.4.2)	<ul style="list-style-type: none"> - Loading, unloading space shall be provided in the rear yard at a ratio of 10 sq ft for each front foot of building - Except in the case of a double frontage lot, loading-unloading, as well as trash receptacles may be located in an interior side yard beyond the minimum side yard setback requirement of the district; location subject to City approval 	<p>No loading zone indicated</p> <p>The applicant indicates loading/unloading space is not required, no deliveries are anticipated</p>	No	<p>Front footage of building: 31.7 ft</p> <p>Staff finds that a designated loading zone is not required as the business does not involve the regular receipt or distribution of materials or merchandise</p>
Sidewalk Requirements				
Sidewalks (Chapter 11, Article XI, Section 11-256)	In the case of new streets and roadways to be constructed as part of the project, a sidewalk shall	Existing sidewalk along Novi Road	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	be provided on both sides of the proposed street or roadway. Sidewalks along streets identified by the master plan as arterials and collectors shall be 6 feet or 8 feet wide as designated by the "Bicycle and Pedestrian Plan," whereas sidewalks along local streets and private roadways shall be 5 feet wide.			
Pedestrian Connectivity	Assure safety and convenience of vehicular and pedestrian traffic both within the site and in relation to access streets		Yes	
Bicycle Parking Requirements (Section 5.16)				
Minimum Number of Bicycle Parking Spaces (Section 5.16.1)	When any principal building is enlarged by 10% or more of the existing gross floor area, or any automobile parking lot is enlarged by 10% or more of existing parking spaces, bicycle parking shall be required and provided as part of site plan review under Section 6.1	~57% increase in parking spaces proposed The applicant indicates that bicycle parking is not needed due to the nature of the business	No	Staff accepts the applicant's justification in their response letter as to why bicycle parking is not necessary
Minimum Number of Bicycle Parking Spaces (Section 5.16.1)	5% of required automobile spaces, minimum two spaces 23 spaces req'd x 5% = 2		No	Refer to Traffic Review for further comments
Bicycle Parking Location (Section 5.16.1.E)	No farther than 120' from the entrance being served	No bicycle parking proposed	N/A	
Bicycle Parking - Multiple Locations (Section 5.16.1.F)	When 4 or more spaces are required for a building with multiple entrances, the spaces shall be in multiple locations	2 spaces required, multiple locations not needed	N/A	
Bicycle Parking Facility Layout (Section 5.16.5.B)	Spaces to be paved. Bike rack shall be inverted "U" design, min 3 ft in height		N/A	
Bicycle Parking Accessibility (Section 5.16.5.C)	All bicycle parking shall be accessible from adjacent street(s) and pathway(s) via a minimum 6 ft wide paved route		N/A	

Item	Required Code	Proposed	Meets Code	Comments
Bicycle Parking Lot Layout (Section 5.16.6)	- Maneuvering lane width: 4' - Parking space depth: 32" - Parking space width: 7' - One tier width: 11' - Two tier width: 18'		N/A	
Accessory Uses (Section 4.19)				
Dumpster (Section 4.19.2.F)	Located in rear yard or interior side yard in case of double frontage	Interior side yard location proposed	Yes	A ZBA variance will be required for location in parking setback
	Attached to the building or no closer than 10 ft from building if detached	Complies	Yes	
	Not to be located in parking setback	Located in parking setback	No	
	If no setback, then not any closer than 10 ft, from property line	Complies	No	
	As far away from barrier free spaces as possible	Complies	Yes	
Dumpster Enclosure (Section 21-145. (c))	Screen from public view	Complies	Yes	
	Screening shall be a wall or fence 1 ft higher than height of refuse bin, no less than 5 ft on three sides	7 ft height indicated	Yes	
	Posts or bumpers provided within the enclosure to protect from damage of refuse bin	Indicated	Yes	
	Inside dimensions shall permit adequate access as well as completely enclose bins	4'-5" x 4'-10 3/4"	Yes	
	Screening materials: Masonry, wood or evergreen shrubbery	Brick to match building	Yes	
Equipment Requirements (Section 4.19)				
Roof Top Equipment and Wall Mounted Utility Equipment (Section 4.19.2.E.i)	All roof top equipment must be screened from view. All wall mounted utility equipment must be enclosed and integrated into the design and color of the building	None proposed	N/A	

Item	Required Code	Proposed	Meets Code	Comments
Roof Top Appurtenances Screening (Section 4.19.2.E.ii)	Rooftop equipment may not exceed the district height limit unless set back 5 ft per ft of excess height, with a maximum 5-ft extension. Equipment to be screened and hidden from streets and neighboring properties	None proposed	N/A	
Lighting and Photometric Plan (Section 5.7)				
Lighting Plan (Section 5.7.2.A.i)	A lighting plan showing location of all existing and proposed buildings, landscaping, streets, drives, parking areas and exterior lighting fixtures	Photometric provided	Yes	Clearly indicate parcel boundaries on photometric plan
Photometric Plan (Section 5.7.2.A.ii)	Provide a photometric plan illustrating the levels of illumination at ground level accounting for all light sources that impact the subject site. Include specifications for all proposed and existing lighting fixtures	Photometric provided	TBD	Remove rows on schedule for any symbols not used Add photometric calculations for light fixture on Novi Road and building lighting
Building Lighting (Section 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures		TBD	Add any existing or proposed building lighting to the photometric plan
Maximum Height (Section 5.7.3.A)	Height not to exceed maximum height of zoning district	20 feet	Yes	
Electrical Service (Section 5.7.3.B)	Electrical service to light fixtures must be underground	Note on SP-2	Yes	
Flashing Light (Section 5.7.3.C)	No flashing light permitted	Note on SP-2	Yes	
Glare Control (Section 5.7.3.D)	Shall be accomplished through the proper selection and application of lighting equipment.		TBD	Indicate any glare control devices
Outdoor Lighting: Average Light Levels (Section 5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1 foot-candles	3.7:1	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Color Spectrum Management (Section 5.7.3.F)	For all permanent non-Res and multifamily lighting installations: Minimum Color Rendering Index (CRI) of 70 and Correlated Color Temperature (CCT) of no greater than 3000K		TBD	Indicate CRI and CCT
After Hours Lighting (Section 5.7.3.G)	Only necessary lighting for security purposes shall be permitted after hours		TBD	Indicate any after hours lighting
Indoor Lighting (Section 5.7.3.H)	Shall not be the source of exterior glare or spillover	Appears to comply	Yes	
Security Lighting (Section 5.7.3.I) Lighting for security purposes shall be directed only onto the area to be secured	- All fixtures shall be located, shielded, and aimed so that light is not cast toward adjacent properties or streets or unnecessarily transmitted into the night sky - Building mounted fixtures designed to illuminate the facade are preferred		TBD	Indicate any security lighting
Parking Lot Lighting (Section 5.7.3.J)	Design to provide minimum illumination necessary to ensure adequate vision and comfort in parking areas. Use full cut-off fixtures to prevent glare		TBD	
Minimum Illumination Levels (foot-candles) (Sec. 5.7.3.L)	Parking areas:	0.2 min	Complies	Yes
	Loading and unloading areas:	0.4 min	Complies	Yes
	Walkways:	0.2 min	Complies	Yes
	Building entrances, frequent use:	1.0 min	Complies	Yes
	Building entrances, infrequent use:	0.2 min	0.0 fc	No
Maximum Illumination Adjacent to Non-Residential (Section 5.7.3.L)	Where a site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot-candle		TBD	Clearly indicate parcel boundaries on photometric plan to demonstrate compliance with this requirement
Building Code and Other Design Standard Requirements				
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s),	Legal description indicated on cover sheet	No	Please include parcel ID 50-22-15-476-022 on cover sheet.

Item	Required Code	Proposed	Meets Code	Comments
	Liber, and page for subdivisions)			
General Layout and Dimension of Proposed Physical Improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in sq ft), location of proposed parking and parking layout, streets, drives, indicate sq ft of pavement area (indicate public or private).	Some information provided	No	Please add to the cover sheet: property address and floor plan under the index
Community Impact Statement	<ul style="list-style-type: none"> - All non-residential projects > 30 acres for permitted use - All non-residential > 10 acres for special land use - All residential > 150 units 		N/A	Not required
Economic Impact	<ul style="list-style-type: none"> - Total cost of the proposed building and site improvements - Number of anticipated jobs created (during construction and after building is occupied) 		N/A	
Other Permits and Approvals				
Development/ Business Sign	Signage if proposed requires a permit	Signage proposed on building	N/A	For permit information contact Ordinance at (248) 735-5678.
Development and Street Names	Must be approved by the Project and Street Naming Committee	Project name and street names do not require approval	N/A	

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

May 15, 2026

Engineering Review

Forma Beauty Salon Parking
JSP26-0014

APPLICANT

Forma Beauty Salon

REVIEW TYPE

Preliminary/Final Site Plan - Accessory

PROPERTY CHARACTERISTICS

- Site Location: 26179 Novi Road
- Site Size: 0.57 acres
- Plan Date: 04/15/2026
- Design Engineer: Orman Engineering, LLC

PROJECT SUMMARY

- Expansion of the existing parking lot by 10 additional parking stalls and a concrete dumpster pad. Site access would continue to be provided via Novi Road.
- Storm water would continue to be directed to an on-site pond.
- No proposed changes to water service and the sanitary sewer.

RECOMMENDATION

Approval of the **Preliminary Site Plan is recommended**, but the **Final Site Plan is denied** due to the storm water comments below. At this time, the plan meets the general requirements of the design and construction standards as set forth in [Chapter 11 of the City of Novi Code of Ordinances](#), the Storm Water Management Ordinance and the [Engineering Design Manual](#) with the following items to be addressed at the time of Revised Final Site Plan submittal:

COMMENTS

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
2. Dedication of the 60-foot half-width master-planned right-of-way is requested for the project on Novi Road. An additional 27 feet of proposed right-of-way is currently labeled on the plan.
3. Provide a traffic control sign table listing the quantities of each **permanent** sign type proposed for the development. Provide a note along with the table stating all traffic signage will comply with the current MMUTCD standards.
4. **Only at the time of the printed Stamping Set submittal**, provide the City's standard detail sheets for paving (2 sheets). The most updated details can be found on the City's website under [Engineering Standards and Construction Details](#).

STORM WATER MANAGEMENT PLAN

5. A formal storm water management plan is not required since the overall site is 0.57 acres and the amount of impervious surface proposed is approximately 0.14 acres.
6. Remove the note on the plans that the stormwater discharges to an off-site detention basin. Based on as-built records, the stormwater ultimately flows to the Walled Lake Branch of the Middle Rouge.
7. Provide evidence that the property to the south will not be adversely affected if the stormwater pond were to exceed capacity.
8. Compare the existing vs. proposed stormwater pond area to ensure that the area is not decreasing, as it currently appears to.

SOIL EROSION & SEDIMENT CONTROL

9. A SESC permit is required (link to [Soil Erosion Permit Application](#)). A review will be done when a completed packet is submitted to Sarah Marchioni at Community Development.

THE FOLLOWING MUST BE SUBMITTED WITH THE NEXT SUBMITTAL:

10. A letter from either the applicant or the applicant's engineer must be submitted with the next submittal highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**
11. An itemized construction cost estimate must be submitted to the Community Development Department for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving (square yardage, should include number of detectable warning plates), right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pre-treatment structure and restoration).

REQUIRED LEGAL DOCUMENTS

12. The following must be submitted with the Stamping Set: All documents must be submitted together as a package with the Stamping Set submittal with the [legal review transmittal form](#) that is attached to this review letter. Partial submittals will **not** be accepted. Links to the PDF copy of the easements are below, word document versions of each legal document can be found on the City's Website under [Forms and Permits](#)).
 - a. A draft copy of the Warranty Deed for the additional proposed 60-foot wide right-of-way along Novi Road shall be submitted for review and acceptance by the City.
 - b. Submit an up-to-date Title Search for the purpose of verifying that the parties signing the easement and agreement documents have the legal authority to do so. Please be sure that all parties of interest shown on the title policy (including mortgage holders) either sign the easement documents themselves or provide a Subordination Agreement. Please be aware that the title policy may indicate that additional documentation is necessary to complete the acceptance process.

THE FOLLOWING MUST BE ADDRESSED PRIOR TO CONSTRUCTION:

13. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430). **Be advised that scheduling the pre-construction meeting can take 2-4 weeks.**
14. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application required). No fee is required for this permit.
15. Material certifications must be submitted to Spalding DeDecker for review prior to the construction of any onsite utilities. Contact Ted Meadows at 248-844-5400 for more information.
16. Construction inspection fees must be paid to the Community Development Department. ****fees are subject to change.**
17. Legal escrow fees in the amount of **\$862.50** must be deposited with the Community Development Department. **All unused escrow will be returned to the payee at the end of the project** (except for escrows that are \$50 or less). This amount includes engineering legal fees only. There may be additional legal fees for planning legal documents. ****fees are subject to change.**
18. A street sign financial guarantee in the amount of **\$400** (\$400 per traffic control sign proposed) must be posted at the Community Development Department. Signs must be installed in accordance with MMUTCD standards.
19. A traffic control inspection fee of **\$715.00** must be paid to Community Development. This fee is the inspection of traffic control items such as signs, striping, curbs, parking stalls, sidewalk, detectable warning surfaces, and temporary pavement markings.

20. A [Soil Erosion Control Permit](#) must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department, Building Division (248-347-0430) for forms and information. The financial guarantee and inspection fees will be determined during the SESC review.

THE FOLLOWING MUST BE ADDRESSED PRIOR TO THE ISSUANCE OF TEMPORARY OCCUPANCY (TCO):

21. The amount of the incomplete site work performance guarantee for any outstanding site improvement items (limited to top course of pavement and other minor items), is calculated at 1.2 times the amount required to complete the site improvements (as specified in the Performance Guarantee Ordinance).
22. The City's consultant Engineer Spalding DeDecker will prepare the record drawings for this development. The record drawings will be prepared in accordance with Article XII, Design and Construction Standards, Chapter 11 of the Novi Code of Ordinances.
23. All easements and agreements referenced above must be executed, notarized and approved by the City Attorney and Engineering Division.

PRIOR TO SUBMITTING STAMPING SETS, the Applicant should submit the Electronic Stamping set to Planning for review, if any changes are proposed after Electronic Stamping set approval applicant must submit revised sheets for review and approval.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Kate Purpura at (248) 735-5643 or email at kpurpura@cityofnovi.org with any questions.



Kate Purpura, EIT
Project Engineer

cc: Diana Shanahan, Community Development
Angela Sosnowski, Community Development
Stacey Choi, Planning Assistant
Humna Anjum, Engineering
Ben Croy, City Engineer

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

May 13, 2026

Forma Beauty Salon Parking Expansion

Preliminary/Final Site Plan - Landscape

Review Type

Preliminary/Final Site Plan Landscape Review

Job

JSP26-0014

Property Characteristics

- Site Location: 26179 Novi Road
- Site Acreage: 0.57 ac.
- Site Zoning: TC
- Adjacent Zoning: North, South, East, West: TC
- Plan Date: 4/20/2026

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Preliminary Site Plan submittal. Underlined items must be addressed on the Final Site Plans. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Chart are summaries and are not intended to substitute for any Ordinance.

Recommendation:

This project is **not recommended for approval** for Preliminary Site Plan. If they implement the changes listed below to increase the number of perimeter trees provided the project could be recommended for approval. There will still be some issues to be addressed on Final Site Plans.

LANDSCAPE WAIVERS REQUIRED BY PLAN:

- Deficiency in parking lot interior trees provided – *not supported by staff*
- Deficiency in parking lot perimeter planting space – *supported by staff due to spatial limitations and the fact that they are providing most of the perimeter trees required if*
- Deficiency in parking lot perimeter trees – *supported by staff due to the spatial limitations of the site if the steps outlined in the attached landscape chart are implemented to reduce the extent of the deficiency.*

Please add the City Project Number, JSP26-0014, to the cover sheet.

Ordinance Considerations

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. Tree survey and chart are provided.
2. **Please add trees that were removed over the least several years to the survey from aerial photos.**
3. Please do not show removed trees on the landscape plan but do continue to keep trees to remain on the plan.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

The property is not adjacent to residential property so this requirement does not need to be met.

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

The required greenbelt width and landscaping already exist and no changes in the greenbelt are proposed so no new landscaping is required.

Existing and proposed overhead and underground utilities, including hydrants. (LDM 2.e.(4))

1. All utilities and light posts are included on the landscape plan.
2. No hydrants are shown on the site.

Parking Lot Landscaping

1. The required parking lot interior area is proposed but one more interior canopy tree is required to avoid needing a landscape waiver. **Please add that tree within the large interior island – there is room in the southwest corner of the island.**
2. The plan is deficient in parking lot perimeter trees by two trees so **a landscape waiver is required.** *Due to the spatial limitations of the site, the waiver is supported by staff, but the trees on the west end of the site must be moved as noted on the landscape chart.*

Building Foundation Landscaping (Zoning Sec. 5.5.3.D)

1. The building is not changing so no new foundation landscaping is required.
2. Additional plantings are proposed at the base of the monument sign to bring it into compliance with the original plan.

Plant List (LDM 4.)

1. 2 of 8 species shown (25%) are native to Michigan. Please bring the percentage up to at least 50%.
2. The proposed tree diversity meets the requirements of the Landscape Design Manual.

Planting Notations and Details (LDM)

1. Provided
2. Please add a landscape cost estimate as noted on the landscape chart to the revised Final Site Plans.

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

1. No new above-ground stormwater detention pond is proposed.
2. If detention is required, and an above-ground detention basin is installed, the required detention basin landscaping must be provided.
3. No indication of any Phragmites or Knotweed was noted on the plans. Please survey the site and show any stands of either weed on the plans along with instructions for its treatment and removal.
4. If none is found, please add a note stating this.

Irrigation (LDM 1.a.(1)(e) and 2.s)

1. The proposed landscaping must be provided with sufficient water to become established and survive over the long term.
2. Please provide an irrigation plan or note how this will be accomplished if an irrigation plan is not provided on Final Site Plans.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or meader@cityofnovi.org.

Thank you for your consideration.



Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART – PRELIMINARY/FINAL SITE PLAN

Review Date: May 13, 2026
Project Name: JSP26-0014: Forma Beauty Salon Parking
Project Location: 26179 Novi Road
Plan Date: April 20, 2026
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Preliminary Site Plan submittal. Underlined items must be addressed on the Final Site Plans. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying letter are summaries and are not intended to substitute for any Ordinance.

LANDSCAPE WAIVERS REQUIRED BY PLAN:

- Deficiency in parking lot interior trees provided – *not supported by staff*
- Deficiency in parking lot perimeter planting space – *supported by staff due to spatial limitations and the fact that they can provide most of the perimeter trees required if they follow the instructions below to reduce the deficiency in perimeter trees provided*
- Deficiency in parking lot perimeter trees – *supported by staff due to the spatial limitations of the site if the steps outlined in the attached landscape chart are implemented to reduce the extent of the deficiency.*

Please add the City Project Number, JSP26-0014, to the cover sheet.

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements (LDM 10)				
Landscape Plan <i>(Zoning Sec 5.5.2, LDM 10)</i>	<ul style="list-style-type: none"> • New commercial or residential developments • Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. • 1"=20' minimum with proper North. Variations from this scale can be approved by LA • Consistent with plans throughout set 	Scale: 1" = 20'	Yes	
Project Information	Name and Address	Project name and address is on the title block	Yes	
Owner/Developer Contact Information	Name, address and telephone number of the owner and developer or association	In title block	Yes	

Item	Required	Proposed	Meets Code	Comments
Landscape Architect contact information	Name, Address and telephone number of RLA/PLA/LLA who created the plan	Theresa Pardington – TKP Environmental	Yes	
Sealed by LA.	Requires original signature	Copy of seal and signature	Yes	
Miss Dig Note (800) 482-7171	Show on all plan sheets	Yes	Yes	
Zoning	Include all adjacent zoning	Site: TC North, South, East, West: TC Shown on Landscape Plan	Yes	
Survey information	<ul style="list-style-type: none"> Legal description or boundary line survey Existing topography 	Survey & Description are on the 4 th sheet of the set	Yes	Please put the number 4 on the bottom right corner of the sheet.
Existing plant material Existing woodlands or wetlands	<ul style="list-style-type: none"> Show location type and size. Label to be saved or removed. Plan shall state if none exists. 	<ul style="list-style-type: none"> Trees shown on topographic survey without tree numbers Tree chart on landscape plan shows all trees, including trees to be removed No regulated woodlands or wetlands are on the site A number of trees have been removed from the project area since 2020 for which no permits were obtained 	<ul style="list-style-type: none"> No Yes Yes No 	<ol style="list-style-type: none"> Add tree numbers to all trees on the topographic survey and Demolition Plan to correspond with the chart on LS-1. Please provide documentation of the trees removed previously since 2020. Please remove all deleted trees from the landscape plan. See the Merjent letter for a detailed review of woodlands and wetlands.
Soil types	<ul style="list-style-type: none"> As determined by Soils survey of Oakland county Show types, boundaries 	On SP-3 – all Urban Land	Yes	
Existing and proposed improvements	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	<ul style="list-style-type: none"> Changes to the site are shown on the site plan and landscape plan Concrete curbs have been added 	<ul style="list-style-type: none"> Yes Yes 	Please freeze the layer with site plan dimensions and other call-outs on the landscape plan – they obscure landscape-related notes.

Item	Required	Proposed	Meets Code	Comments
Existing and proposed utilities	<ul style="list-style-type: none"> Overhead and underground utilities, including hydrants Proposed light posts 	None are shown except the pipe in the open area to remain open. A single relocated light post is shown on the landscape plan	TBD	<p>1. Please clearly show all existing and proposed utility lines and structures on the landscape plan.</p> <p>2. Trees should be at least 10 feet from hydrants, catch basins and manholes and sanitary lines, and 5 feet from other underground lines.</p>
Proposed grading. 2' contour minimum	Provide proposed contours at 2' interval	Shown on SP-2	Yes	Please freeze the spot elevations on the landscape plan.
Snow deposit	Show snow deposit areas on plan	An area is shown in the large interior island	Yes	
LANDSCAPING REQUIREMENTS				
Berms, Walls and ROW Planting Requirements				
Berms				
<ul style="list-style-type: none"> All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours Berm should be located on lot line except in conflict with utilities. Berms should be constructed of loam with 6" top layer of topsoil. 				
Residential Adjacent to Non-residential (Zoning Sec 5.5.3.a.v & LDM 1.a.(1))				
Berm requirements	The site is not adjacent to residential property	No berm is proposed.	Yes	
Walls (Zoning Sec. 5.5.3.A.vi)				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	No new walls are proposed.	NA	
Walls greater than 3 ½ ft. should be designed and sealed by an Engineer		None		
ROW Landscape Screening Requirements (Zoning Sec 5.5.3.b.ii and LDM 1.b) - Commercial				
Greenbelt width	<ul style="list-style-type: none"> Adj to pkg: 20 feet Not adj to pkg: 0 feet 	60 feet	Yes	
Berm requirements (Zoning Sec 5.5.3.b.ii)				

Item	Required	Proposed	Meets Code	Comments
Min. berm crest width	No berms are required in the TC district	No berms exist or are proposed	Yes	
Minimum berm height	No berms are required in the TC district	No berms exist or are proposed	Yes	
3' wall	Footnote 4	No walls exist or are proposed	Yes	
Canopy deciduous or large evergreen trees	<ul style="list-style-type: none"> • Adjacent to pkg: 1 tree per 25 feet • Not adjacent to pkg: 1 tree per 30 feet • $(64.8-15)/30 = 2$ trees Canopy OR Subcanopy requirement below must be met, not both	2 existing canopy trees	Yes	
Sub-canopy deciduous trees	<ul style="list-style-type: none"> • Adjacent to pkg: 1 tree per 15 feet • Not adjacent to pkg: 1 tree per 20 feet 	0 trees	Yes	The requirement is met by canopy trees so no subcanopy trees are required.
Shrubs	Not required, but shrubs around the sign were part of the original approved plan	Ornamental grasses have been added around the sign	Yes	
Canopy deciduous trees in area between sidewalk and curb	Street trees are not required in the TC district	0 trees	Yes	
Cross-Section of Berms (LDM 10.i)				
Slope, height and width	<ul style="list-style-type: none"> • Label contour lines • Maximum 33% • Constructed of loam • 6" top layer of topsoil 	No new berms are proposed	NA	
Type of Ground Cover		NA	NA	
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	NA	NA	
Parking Area Landscape Requirements (Zoning Sec. 5.5.3.c & LDM 5)				
General requirements	<ul style="list-style-type: none"> • Clear sight distance within parking islands 	No proposed plantings will hinder	Yes	

Item	Required	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> No evergreen trees 	vision		
Name, type and number of ground cover	As proposed on planting islands	Sod is indicated	Yes	
General (Zoning Sec 5.5.3.c.ii & LDM 5)				
Parking lot Islands	<ul style="list-style-type: none"> A minimum of 200 SF to qualify Minimum 200 SF per tree planted in an island 6" curbs Islands minimum width 10' BOC to BOC 	There are no new parking lot islands	TBD	
Curbs and Parking stall reduction	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	The new perpendicular spaces are 17 feet long and the new parallel spaces are 23 feet long.	Yes	
Contiguous space limit	<ul style="list-style-type: none"> Maximum of 15 contiguous spaced All endcap islands should also be at least 200sf with 1 tree planted in it. 	No bay shown is longer than 14 spaces	Yes	
Plantings around Fire Hydrant	<ul style="list-style-type: none"> No plantings with matured height greater than 12' within 10 ft. of fire hydrants of utility structures (manholes, catch basins). Trees also need to have at least 5 feet between the trunk and underground utility lines. 	<ul style="list-style-type: none"> The only hydrant shown is in the Novi Road ROW. No proposed plantings are near it. 	Yes	
Landscaped area	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	The large central space will be landscaped.	Yes	
Clear Zones	Section 5.9 (see below)	No clear zones are shown, but no new landscaping beyond the sign plants is proposed in the front yard so they aren't necessary.	NA	
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, C, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.c.iii)				

Item	Required	Proposed	Meets Code	Comments
A = Total square footage of vehicular use area up to 50,000 sf x 7.5%	$A = x \text{ SF} \times 7.5\%$ $A = 11806\text{sf} \times 7.5\% = 885\text{sf}$	A line is shown marking the area used for the calculation but it is lost in the other markings.	TBD	Please make the border line heavier to show the entire area used for the calculation.
B = Total square footage of additional paved vehicular use areas over 50,000 SF) x 1 %	$B = x \text{ SF} \times 1\%$	NA	NA	
Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.c.iii)				
A = Total square footage of vehicular use area up to 50,000 sf x 5%	$A = x \text{ SF} \times 6\%$	NA		
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5 %	$B = (x \text{ SF} - 50000) \times 0.5\%$	NA		
All Categories				
Total square footage of landscaped islands required	$C = A + B$ $C = 885 + 0 = 885\text{sf}$	One large 1135sf interior island is proposed	Yes	1. The entire pink area on the image below can be counted as parking lot interior area 2. Please show it as such and show its area in SF.
Number of canopy trees required	$D = C/200 = \text{xx Trees}$ $D = 885/200 = 4 \text{ trees}$	3 trees	No	Please add another interior tree and clearly mark it as such.
Parking Lot Perimeter Space (Zoning Sec 5.5.3.C.iv.b)	10-foot-deep landscape area along perimeter of lot	<u>0 feet for 179 feet along northern edge</u>	No	1. A landscape waiver is required. 2. <i>It is supported by staff due to the limitations of the site and the fact that all but two of the required perimeter trees can be provided along the available perimeter.</i>
Parking Lot Perimeter Trees (Zoning Sec 5.5.3.C.iv.b)	1 Canopy tree per 35 lf $600/35 = 17 \text{ trees}$ 225lf of parking lot does not have required 10-	<u>13 trees</u> 5 new trees + 8 existing trees Serviceberries cannot count as a perimeter tree	No	1. Please indicate the perimeter for the entire parking area with a heavy line. It can be the green line on the image below, less the southern

Item	Required	Proposed	Meets Code	Comments
	foot-wide landscaping strip.	unless they have to be used due to proximity to an overhead line. The tree in the northwest corner of the site is too far to count as a parking lot perimeter tree.		<p>edge of the large interior island.</p> <ol style="list-style-type: none"> 2. Please clearly indicate what trees are parking lot perimeter trees. 3. Change the serviceberry west of the relocated light post to be a canopy tree with a minimum mature height of 30 feet and minimum canopy width of 20 feet – it can then be counted as a perimeter tree. 4. Move both of the trees near the west property line south 10 feet so they are both near the new paving. If they are too close to the overhead wires, three subcanopy trees should be used in place of the two canopy trees. 5. A landscape waiver would be required for the remaining deficiency of two trees, which is caused by proposed paving not leaving the required 10 feet of space for perimeter trees along 225lf of the new parking lot perimeter. <p><i>3. While not desirable, the waiver for 2 missing perimeter trees would be supported by staff due to the spatial limitations of the site.</i></p>
Other Landscaping				
Other Screening (Zoning Sec 3.14, 3.15, 4.55, 4.56)				
Screening of outdoor		The loading area is	TBD	<u>If a loading zone is</u>

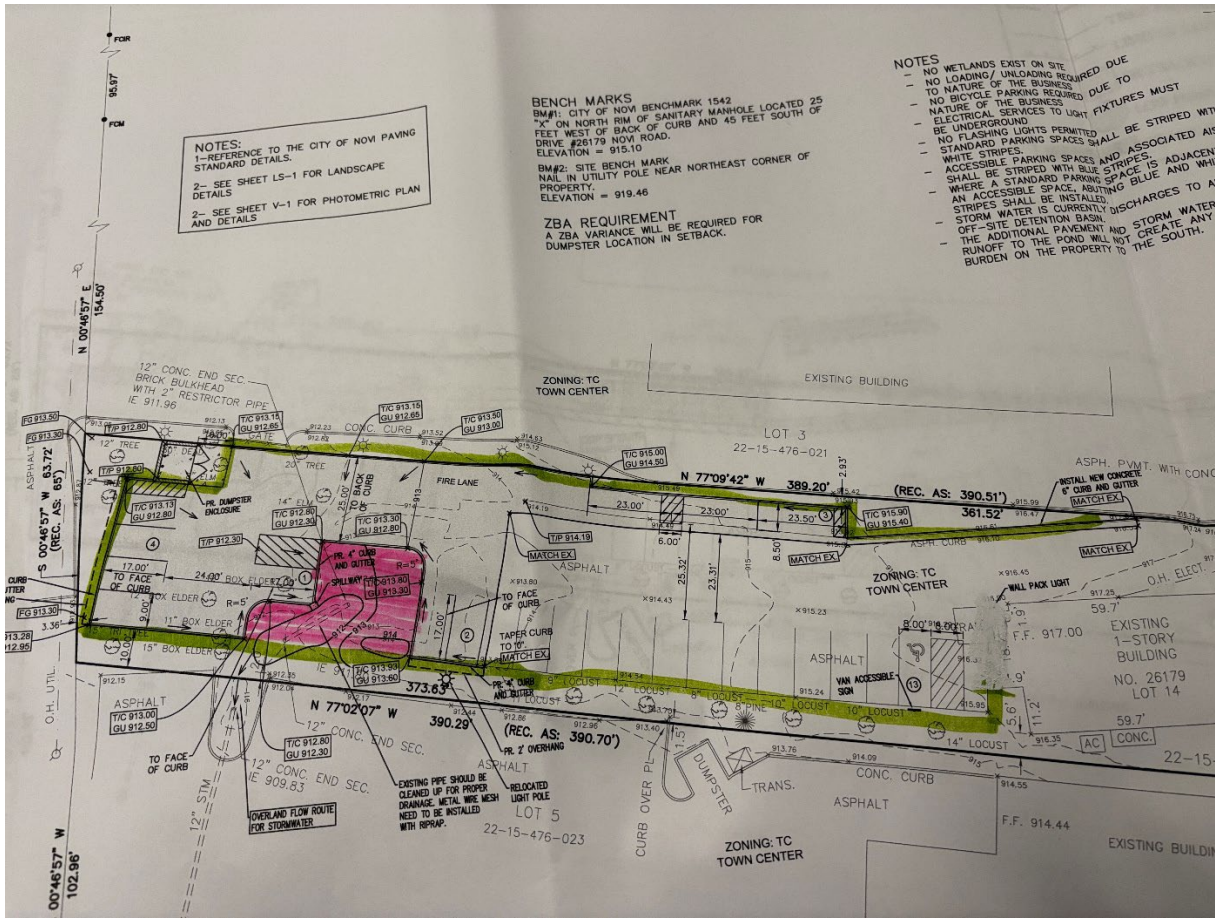
Item	Required	Proposed	Meets Code	Comments
storage, loading/unloading		not shown		<u>shown, provide proper screening for the loading area such that the area is screened from Novi Road.</u>
Transformers/Utility boxes (LDM 6)	<ul style="list-style-type: none"> A minimum of 2ft. separation between box and the plants Ground cover below 4" is allowed up to pad. No plant materials within 8 ft. from the doors 	No new utility boxes are proposed	NA	
Building Foundation Landscape Requirements (Zoning Sec. 5.5.3.d)				
Interior site landscaping	<p>Required foundation area = Perimeter less doors x 8</p> <p>Landscaping should be at foundation</p> <p>Minimum of 75% of building shall be landscaped</p>	No new landscaping is proposed	Yes	<ol style="list-style-type: none"> 1. Since the building is not increasing in size, no landscaping in addition to what was on the approved plan is required. 2. Please restore all weak, dead or missing landscaping.
Detention/Retention Basin Requirements (Zoning Sec. 5.5.3.e & LDM 3)				
Planting requirements	<ul style="list-style-type: none"> Clusters of large native shrubs shall cover 70-75% of the basin rim area located at 10 feet above the permanent water level or pond bottom if it's a dry pond. Canopy trees at 1/35lf of the east, south and west sides of the pond, located at about 10 feet away from the permanent water level 10" to 14" tall grass along sides of basin Refer to wetland for basin mix 	No detention is proposed	TBD	<ol style="list-style-type: none"> 1. If detention is required, and above-ground detention is used, the currently required detention basin landscaping must be provided. 2. Parking lot interior and perimeter trees may count toward the detention basin requirement if they are within 15 feet of the permanent water line.
Phragmites & Japanese Knotweed Control (Zoning Sec 5.5.6.B.vii)	<ul style="list-style-type: none"> Any and all populations of Phragmites australis and/or Japanese knotweed on the site shall be included on tree survey. 	None indicated	TBD	<ol style="list-style-type: none"> 1. <u>Please survey the site and detention pond for any populations of Phragmites australis and/or Japanese knotweed and add plans for its</u>

Item	Required	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site. 			<u>complete removal if any is found.</u> 2. <u>If none is found, please indicate that on the survey.</u>
LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS				
Landscape Notes – Utilize City of Novi Standard Notes (Zoning Sec 5.5.5 & 5.5.6 & LDM 10.h.(14))				
Installation date	<ul style="list-style-type: none"> Provide intended dates Should be between March 15 and November 15. 	Yes	Yes	
Maintenance & Statement of intent	<ul style="list-style-type: none"> Include statement of intent to install and guarantee all materials for 2 years. Include a minimum one cultivation in June, July and August for the 2-year warranty period. 	Yes	Yes	
Plant source	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
Irrigation plan (Zoning Sec 5.5.6.B & LDM 10.I & m.)	A method for providing the water required for plant establishment and long-term survival must be provided.	No indication is given of how plantings will be provided with sufficient water for establishment and long-term survival	TBD	1. <u>Need for final site plan</u> 2. <u>Please provide either an irrigation system plan or information regarding the alternative method that will be used to water the plants</u> 3. <u>If an irrigation system is used, it should meet the requirements listed at the end of the chart.</u> 4. <u>If an existing irrigation system will be modified to include the new landscape areas, a note to that effect must be added to the plan.</u>
Establishment period (Zoning Sec 5.5.6.B)	2 yr. Guarantee	Yes	Yes	
Approval of substitutions. (Zoning Sec 5.5.5.E)	City must approve any substitutions <u>in writing</u> prior to installation.	Yes	Yes	
Plant List (LDM 4, 11) – Include all cost estimates				

Item	Required	Proposed	Meets Code	Comments
Quantities and sizes	<ul style="list-style-type: none"> A minimum of 50% of species used on the site, not including any woodland replacements, must be native to Michigan. The Tree Diversity standards of the Landscape Design Manual Section 4 must be met for all non-woodland replacement trees used. No Prohibited Species listed on Table 11.b.(2)b may be used. 	A plant list is provided	Yes	
Root type		Yes	Yes	
Botanical and common names		<ul style="list-style-type: none"> 2 of 8 species (25%) used are native to Michigan (serviceberry and prairie dropseed) Tree diversity is satisfactory 	<ul style="list-style-type: none"> No Yes 	<ol style="list-style-type: none"> Change species composition to use natives for at least 50% of the species Only use canopy trees with a minimum mature height of 30 feet and minimum mature width of 20 feet for parking lot perimeter and interior trees – English Beech and serviceberry do not qualify.
Type and amount of lawn		Sod	Yes	
Cost estimate (LDM 2.t)	For all new plantings, mulch and sod as listed on the plan	No		Please add to Final Site Plans using these standard costs: <ul style="list-style-type: none"> Canopy tree: \$400 ea Subcanopy tree: \$400 ea Shrub: \$50 ea. Perennial: \$15 ea. Mulch: \$35/cyd
Planting Details/Info (LDM Part III) – Utilize City of Novi Standard Details				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		No	NA	
Multi-stem Tree		Yes	Yes	
Shrub		Yes	Yes	
Perennial/ Ground Cover		No	NA	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	No	No	Please add a tree protection fence detail and add tree fencing to protect trees near the work that are saved.
Other Plant Material Requirements (LDM 3)				
General Conditions (LDM 3.a)	Plant materials shall not be planted within 4 ft. of property line	A note in the list of notes is included but no callout at the property line	No	Please add a callout note near the property lines.

Item	Required	Proposed	Meets Code	Comments
Plant Materials & Existing Plant Material <i>(LDM 3.b)</i>	Clearly show trees to be removed and trees to be saved.	As noted above, some trees from the survey were removed within the last 5 years or so and are not shown on the survey.	No	<ol style="list-style-type: none"> 1. Please add the trees that were removed over the last 3-5 years to the tree survey. This can be done from old aerial photos of the site. 2. Please add all trees that were removed or will be removed on the demolition plan. 3. <u>Do not show removed trees on the landscape plan, but do show existing trees to remain on the landscape plan.</u>
Landscape tree credit <i>(LDM3.b.(d))</i>	<ul style="list-style-type: none"> • Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. • Refer to Landscape tree Credit Chart in LDM 	No		
Plant Sizes for ROW, Woodland replacement and others <i>(LDM 3.c)</i>	Refer to Landscape Design Manual for requirements	On plant list	Yes	
Plant size credit <i>(LDM3.c.(2))</i>	NA	No		
Prohibited Plants <i>(LDM 3.d)</i>	No plants on City Invasive Species List	No prohibited plants are used		
Recommended trees for planting under overhead utilities <i>(LDM 3.e)</i>	Label the distance from the overhead utilities	Utility lines are called out along the south property line	Yes	
Collected or Transplanted trees <i>(LDM 3.f)</i>		None		
Nonliving Durable Material: Mulch <i>(LDM 4)</i>	<ul style="list-style-type: none"> • Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth • Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate. 	On details	Yes	

Item	Required	Proposed	Meets Code	Comments
<p>NOTES:</p> <ol style="list-style-type: none"> This table is a working summary chart and is not intended to substitute for any Ordinance or City of Novi requirements or standards. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals. 				



Irrigation System Requirements

- Any booster pump installed to connect the project’s irrigation system to an existing irrigation system must be downstream of the RPZ.
- The RPZ must be installed in accordance with the 2015 Michigan Plumbing Code.
- The RPZ must be installed in accordance with the manufacture installation instructions for winterization that includes drain ports and blowout ports.
- The RPZ must be installed a minimum of 12-inches above FINISHED grade.
- Attached is a handout that addresses winterization installation requirements to assist with this.
- A plumbing permit is required.
- The assembly must be tested after installation with results recorded on the City of Novi test report form.

WETLAND REVIEW

May 18, 2026

Diana Shanahan
Planner – Community Development
City of Novi
45175 Ten Mile Road
Novi, MI 48375

Submitted electronically to dshanahan@cityofnovi.org

Re: Forma Beauty Salon – Wetland Review (Preliminary/Final Site Plan; JSP26-0014)

Dear Diana,

Merjent, Inc. (Merjent) has conducted a site plan review of the preliminary/final site plan (PSP/FSP) for the Forma Beauty Salon (site; Project). The following plan was provided:

- One plan prepared by Orman Engineering, LLC dated March 18, 2026. This plan contains the primary design/engineering information for the FSP, including proposed parking lot expansion and associated landscaping.

Merjent reviewed the plan for conformance with the City of Novi's (City) Wetlands and Watercourse Protection Ordinance, Chapter 12 Article V and Section 3.6(2)(M) of the City's Zoning Ordinance. The site is located at 26179 Novi Road in Section 15 of the City. Development is proposed within Parcel 50-22-15-476-022. The site plan depicts a feature labeled "POND" in the northwest corner of Lot 4 (**Figure 1**).

Wetlands

Wetland Recommendation: Merjent **recommends approval** of the Forma Beauty Salon FSP with respect to wetland and watercourse requirements. No regulated wetlands are present on-site and no wetland-related permits are required for this Project.

Upon review of published resources, the Site appears to contain or immediately borders:

- City-regulated wetlands, as identified on the City of Novi interactive map website. Note that both wetland and property limits depicted on the City's map are considered approximations (**Figure 1**).
- Wetlands that are regulated by the Michigan Department of Environment, Great Lakes, and Energy (EGLE).
- Wetlands as identified on National Wetland Inventory (NWI) and Michigan Resource Inventory System (MIRIS) maps, as identified on the EGLE Wetlands Viewer interactive map website (provided in Pre-app Review). NWI and MIRIS wetlands are identified by the associated governmental bodies' interpretation of topographic data and aerial photographs.
- Hydric (wetland) soil as mapped by the U.S. Department of Agriculture, Natural Resources Conservation Service, as identified on the EGLE Wetlands Viewer interactive map website.

Permits and Regulatory Status

Merjent visited the Site on May 15, 2026 to observe conditions on-site relative to the provided PSP/FSP. The feature labeled "POND" on the submitted landscape plan (LS-1) is located in the southwest corner of Lot 4 and contains an engineered spillway and 4-inch restrictor pipe. Merjent found conditions on-site consistent with a very small constructed stormwater detention basin with no wetland vegetation present; the area immediately surrounding the feature consisted of cover dominated by Kentucky bluegrass (*Poa pratensis*), red fescue (*Festuca rubra*), common/English plantain (*Plantago major*), and common dandelion (*Taraxacum officinale*), consistent with common lawn seeding in a maintained upland setting. No hydrophytic vegetation, wetland hydrology indicators, standing/ponded water, or other surficial wetland characteristics were observed at the time of the site visit. The area receives incidental runoff from the adjacent parking lot but does not exhibit surface inundation, saturation, or other primary or secondary wetland hydrology indicators, aside from geomorphic position.

Per Section 12-152 of the City's Code of Ordinances, "watercourse" is explicitly defined to include detention basins, and such features are distinct from regulated wetlands under Chapter 12, Article V. Furthermore, pursuant to MCL 324.30305(4)(b), a wetland incidentally created as a result of the construction and operation of a stormwater facility in compliance with state or federal water pollution control laws is not subject to regulation under Part 303 (Wetlands Protection) of the Michigan Natural Resources and Environmental Protection Act, Public Act 451 of 1994, as amended (NREPA). As a local wetland ordinance operating under the authority of Part 303, the City of Novi cannot require a permit for activities exempted from regulation under state law, nor can it regulate features that do not meet the definition of a regulated wetland. Accordingly, this feature is not subject to Chapter 12 Article V jurisdiction.

It should be noted that this site visit did not constitute an official Wetland Delineation Pursuant to the guidance set forth in the 1987 U.S. Army Corps of Engineers Wetland Delineation Manual nor the applicable 2010 Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Midwest Region (Version 2.0).

Due to the comments below, the following wetland-related items will be required for this project:

Item	Required/Not Required
Wetland Permit (specify Non-minor or Minor)	Not Required
Wetland Mitigation	Not Required
Environmental Enhancement Plan	Not Required
Wetland Buffer Authorization	Not Required
EGLE Wetland Permit	Likely Not Required*
Wetland Conservation Easement	Not Required

*Requirements for EGLE permits cannot be determined by Merjent nor the City of Novi. Final jurisdictional determination of wetland permits in the State of Michigan is at the discretion of EGLE.

Wetland Review Comments

1. The feature labeled "POND" on the submitted landscape plan (LS-1) is consistent with a constructed stormwater detention basin based on the presence of engineered outlet control infrastructure (spillway and 4-inch restrictor pipe) and the absence of wetland vegetation, hydrology indicators, or wetland soils as observed during the May 15, 2026 site visit. Pursuant to MCL 324.30305(4)(b) and the definition of "watercourse" under Section 12-152 of the City's Code of Ordinances, this feature does not constitute a regulated wetland under Chapter 12, Article V. Accordingly, no wetland permit is required from the City of Novi for this Project. The applicant should provide documentation of the

original site plan approval and/or stormwater management plans associated with this feature at the time of final site plan approval to support this determination. The City may also have copies of the approved drainage designs on file.

2. No impacts to wetlands are proposed for this Project; therefore, no wetland mitigation is required.
3. The proposed parking lot expansion and associated landscaping do not propose any impacts to the pond feature. Provided the final site plan confirms no grading, filling, or other regulated activity within or adjacent to the feature, a Wetland Use Permit under Chapter 12 is not required for this Project.

As discussed above, the "pond" feature does not constitute a regulated wetland under Chapter 12, Article V and does not trigger the 25-foot wetland and watercourse setback. No Wetland Buffer Authorization is required for this Project.

Should you have any questions or concerns with this review, please contact me via email at jason.demoss@merjent.com or via phone at (619) 944-3835.

Sincerely,

Merjent, Inc.



Jason DeMoss, PWS
Environmental Consultant

Enclosures:

Figure 1 – City of Novi Wetlands Map
Attachment A – Site Photographs

CC:

Stacey Choi, City of Novi, schoi@cityofnovi.org
Rick Meader, City of Novi, rmeader@cityofnovi.org
Barbara McBeth, City of Novi, bmcbeth@cityofnovi.org
Matt Pudlo, Merjent, matt.pudlo@merjent.com

Figure 1. City of Novi Regulated Wetlands Map
Approximate Site boundary is shown in red.
(Approximate) Regulated Wetland areas are shown in blue.



Date Printed: 4/3/2026

Map Author:

Scale: 1 inch = 81 feet



City of Novi Wetlands Map



City of Novi
Civic Center
45175 Ten Mile Rd
Novi, MI 48375
cityofnovi.org

**Attachment A
Site Photographs**



Overview of the stormwater pipe/area on-site



Overview of the stormwater pipe/area on-site

TRAFFIC REVIEW



AECOM
 39575 Lewis Dr, Ste. 400
 Novi
 MI, 48377
 USA
 aecom.com

Project name:
 JSP26-14 – Forma Beauty Salon Parking
 Combined Preliminary and Final Traffic Review

To:
 Barbara McBeth, AICP
 City of Novi
 45175 10 Mile Road
 Novi, Michigan 48375

From:
 AECOM

Date:
 May 19, 2026

CC:
 Lindsay Bell, Humna Anjum, Diana Shanahan, Milad
 Alesmail, Stacey Choi, Kate Purpura

Memo

Subject: JSP26-14 – Forma Beauty Salon Parking Combined Preliminary and Final Traffic Review

The combined preliminary and final site plan was reviewed to the level of detail provided and AECOM recommends **approval** as long as the comments provided below are adequately addressed to the satisfaction of the City.

GENERAL COMMENTS

1. The applicant, Forma Beauty Salon, is proposing revisions and an extension to the existing parking lot.
2. The development is located on the west side of Novi Road, south of Crescent Boulevard. Novi Road is under the jurisdiction of the Road Commission for Oakland County.
3. The site is zoned TC (Town Center).
4. There are no traffic related deviations required at this time.

TRAFFIC IMPACTS

1. AECOM did not perform an initial trip generation based on the ITE Trip Generation Manual, 11th Edition, as the footprint of the building is not changing.
2. The City of Novi generally requires a traffic impact study/statement if the number of trips generated by the proposed development exceeds the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour, or if the project meets other specified criteria.

Trip Impact Study Recommendation	
Type of Study:	Justification
None	-

TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City's Code of Ordinances. Items marked with ZO are listed in the City's Zoning Ordinance. Items marked with ADA are listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices.

The values in the 'Compliance' column read as 'met' for plan provision meeting the standard it refers to, 'not met' stands for provision not meeting the standard and 'inconclusive' indicates applicant to provide data or information for review and 'NA' stands for not applicable for subject Project. The 'remarks' column covers any comments reviewer has and/or 'requested/required variance' and 'potential variance'. A potential variance indicates a variance that will be required if modifications are not made or further information provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
1	Driveway Radii O Figure IX.3	-	N/A	No changes proposed.
2	Driveway Width O Figure IX.3	-	N/A	No changes proposed.
3	Driveway Taper O Figure IX.11			
3a	Taper length	-	N/A	
3b	Tangent	-	N/A	
4	Emergency Access O 11-194.a.19	-	N/A	No changes proposed.
5	Driveway Sight Distance O Figure VIII-E	-	N/A	No changes proposed.
6	Driveway Spacing			
6a	Same-side O 11.216.d.1.d	-	N/A	No changes proposed.
6b	Opposite side O 11.216.d.1.e	-	N/A	No changes proposed.
7	External Coordination (Road Agency)	-	N/A	No changes proposed.
8	External Sidewalk Master Plan & EDM	-	N/A	No changes proposed.
9	Sidewalk Ramps EDM 7.4 & R-28-K	-	N/A	No changes proposed.
10	Any Other Comments:			

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
11	Loading Zone ZO 5.4	None proposed	N/A	The applicant indicated that no deliveries are anticipated.
12	Trash Receptacle ZO 5.4.4	Proposed in rear of site	Met	
13	Emergency Vehicle Access	No turning movements provided, fire lane indicated	N/A	See Fire review letter.
14	Maneuvering Lane ZO 5.3.2	24' and 25.32'	Met	
15	End Islands ZO 5.3.12			
15a	Adjacent to a travel way	Dimensions provided	Met	
15b	Internal to parking bays	None proposed	N/A	
16	Parking Spaces ZO 5.2.12	23 proposed		See Planning review letter.
17	Adjacent Parking Spaces ZO 5.5.3.C.ii	<15 spaces per bay	Met	

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
18	Parking Space Length ZO 5.3.2	17' with 2' overhang and 23' parallel	Met	
19	Parking Space Width ZO 5.3.2	9' and 8.5' parallel	Met	
20	Parking Space Front Curb Height ZO 5.3.2	4" proposed curb in front of parking spaces	Met	
21	Accessible Parking – number ADA	1 required, 1 existing	Met	
22	Accessible Parking – size ADA	-	N/A	No changes proposed.
23	Number of Van Accessible Space ADA	-	N/A	No changes proposed.
24	Bicycle Parking			
24a	Requirement ZO 5.16.1	None proposed	N/A	The applicant indicated bicycle parking spaces are not required.
24b	Location ZO 5.16.1	-	N/A	
24c	Clear Path from Street ZO 5.16.1	-	N/A	
24d	Height of Rack ZO 5.16.5.B	-	N/A	
24e	Other (Covered / Layout) ZO 5.16.1, Text Amendment 18.301	-	N/A	
25	Sidewalk – min 5' wide Master Plan	None proposed	N/A	
26	Sidewalk Ramps EDM 7.4 & R-28-K	-	N/A	
27	Sidewalk – distance back of curb EDM 7.4	-	N/A	
28	Cul-De-Sac O Figure VIII-F	-	N/A	
29	EyeBrow O Figure VIII-G	-	N/A	
30	Turnaround ZO 5.10	-	N/A	
31	Any Other Comments:			

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
32	Signing - sizes MMUTCD	-	N/A	
33	Signing Table - quantities and sizes	-	N/A	
34	Signs 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post MMUTCD	-	N/A	
35	Signs greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post MMUTCD	-	N/A	
36	Sign bottom height of 7' from final grade MMUTCD	-	N/A	
37	Signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign MMUTCD	-	N/A	

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
38	FHWA Standard Alphabet series used for all sign language MMUTCD	-	N/A	
39	High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity MMUTCD	-	N/A	
40	Parking space striping notes	Color indicated	Partially Met	Note proposed pavement marking 4" width.
41	The international symbol for accessibility pavement markings ADA	-	N/A	
42	Crosswalk Pavement Marking Detail	-	N/A	
43	Any Other Comments:			

Note: Hyperlinks to the standards and Ordinances are for reference purposes only, the applicant and City of Novi to ensure referring to the latest standards and Ordinances in its entirety.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Paula K. Johnson, PE
Senior Transportation Engineer



Saumil Shah, PE
Project Manager

FIRE REVIEW



May 1, 2026

TO: Barbara McBeth - City Planner
Lindsay Bell - Plan Review Center
Diana Shanahan – Plan Review Center
Stacey Choi – Planning Assistant

CITY COUNCIL

Mayor
Justin Fischer

Mayor Pro Tem
Laura Marie Casey

Dave Staudt

Brian Smith

Matt Heintz

Priya Gurumurthy

Aaron Martinez

City Manager
Victor Cardenas

**Director of Public Safety
Chief of Police**
Erick W. Zinser

Fire Chief
John B. Martin

Assistant Chief of Police
Scott R. Baetens

Assistant Fire Chief
Todd Seog

RE: Forma Beauty Salon Parking

JSP26-0014
PSP26-018

Project Description:

Parking lot upgrades to existing building site.

Comments:

- Fire lanes will be designated by the Fire Chief or his designee when it is deemed necessary and shall comply with the Fire Prevention Ordinances adopted by the City of Novi. The location of all "fire lane – no parking" signs are to be shown on the site plans. **(Fire Prevention Ord.)**
- The minimum width of a posted fire lane is 20 feet. The minimum height of a posted fire lane is 14 feet. **(D.C.S Sec. 158-99(a).)**

Recommendation:

The Fire Dept. does not have any objections at this time.

Sincerely,

Andrew Copeland – Fire Marshal
City of Novi Fire Department
cc: file

Novi Public Safety Administration
45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTER



Ecological

**483 Parkland Drive
Rochester Hills, MI 48307**

June 1, 2026

PN: 26-014

Sent via email: alex@ormanengineering.com

Alex Orman
Orman Engineering
5476 Vivian Lane
Waterford, MI 48327

**RE: Pre-Application Review Comments
26179 Novi Road (22-15-476-022) – Forma Beauty Salon
Novi, Oakland County, Michigan**

Dear Mr. Orman:

Please find below our responses to the comments received by the City of Novi.

- All canopy interior landscape trees are provided and ordinance has been met.
- Some perimeter parking lot trees were converted to full canopy while maintaining two sub-canopy trees due to existing utilities. Waiver will be granted due to site restrictions.
- Over 50% of the plant schedule is now native species to Michigan (although cultivars are used to promote greater viability due to urban conditions). City of Novi approved the use of native cultivars.
- Both the vehicle use area, perimeter parking, and landscape island limits have been bolded and clearly identified.
- Based upon Merjent's consultant letter, TKP Ecological agrees with their assessment that no additional permitting is required for wetlands, streams, and/or inland lakes or ponds.
- City of Novi irrigation notes were added to LS-2 plan sheet.
- General comments regarding freezing/ turning off information were completed.

Thank you for your patience as we coordinated the revisions.

Sincerely,

Theresa Pardington, PLA, PWS
Owner

TKP Ecological, LLC
(313) 815-8191
email: tpardington@tkpeco.com