



AMERICAN TIRE DISTRIBUTERS JSP14-23

AMERICAN TIRE DISTRIBUTERS, JSP14-23

Consideration of the request of BC Construction Group LLC for Preliminary Site Plan with a Site Condominium and Stormwater Management Plan approval. The subject property is located on the east side of Regency Drive off of Haggerty Road in the I-1, Light Industrial District. The applicant is proposing to construct a 125,060 square foot industrial building consisting of warehousing and offices in the Regency Industrial Centre.

REQUIRED ACTION

Approval/denial of the Preliminary Site Plan and Stormwater Management Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	05/29/14	<ul style="list-style-type: none"> • Planning Commission waiver required of the Noise Impact Statement requirement • Planning Commission determination that the small amount of screened front yard parking is compatible with the surrounding area required – staff supported • Planning Commission determination required that the applicant has demonstrated that a reduction in parking spaces is appropriate for this plan and that the surplus area identified on the plans is acceptable–staff supported • Staff recommends the installation of evergreen plantings along the property’s east edge • Items to address on the Final Site Plan submittal
Engineering	Approval recommended	05/29/14	Items to address on the Final Site Plan submittal
Traffic	Approval recommended	05/15/14	Items to address on the Final Site Plan submittal
Landscaping	Approval recommended	05/13/14	<ul style="list-style-type: none"> • Planning Commission waiver required for the berm requirement in the locations of existing street trees – staff supported • Items to address on the Final Site Plan submittal
Façade	Approval recommended	05/29/14	Items to address on the Final Site Plan submittal
Fire	Approval recommended	05/12/14	Items to address on the Final Site Plan submittal

Motion Sheet

Approval – Preliminary Site Plan

In the matter of American Tire Distributors, JSP14-23, motion to **approve** the Preliminary Site Plan with a Site Condominium based on and subject to the following:

- a. Planning Commission waiver of the required Noise Impact Statement which is hereby granted as the use is not expected to generate substantial noise;
- b. Planning Commission determination that the small amount of screened front yard parking is compatible with the surrounding area as recommended by staff is hereby granted;
- c. Planning Commission determination that the applicant has demonstrated that a reduction in parking spaces is appropriate for this plan and that the surplus area identified on the plans is acceptable as recommended by staff is hereby granted;
- d. The planting of evergreen trees along the property's east edge to help screen views of the loading docks;
- e. Planning Commission waiver of the required berm along Regency Drive in order to preserve the mature trees and in support of the bioswale as recommended by staff is hereby granted;
- f. Amendment of the Regency Industrial Centre Master Deed and Condominium Plan to reflect the new unit boundaries and easements;
- g. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan;
- h. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Article 19, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

-AND-

Approval – Stormwater Management Plan

In the matter of American Tire Distributors, JSP14-23, motion to **approve** the Stormwater Management Plan, subject to:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

-OR-

Denial – Preliminary Site Plan

In the matter of American Tire Distributors, JSP14-23, motion to **deny** the Preliminary Site Plan, for the following reasons...*(because the plan is not in compliance with Article 19, Article 24 and Article 25 of the Zoning Ordinance.)*

-AND-

Denial Stormwater Management Plan

In the matter of American Tire Distributors, JSP14-23, motion to **deny** the Stormwater

MAPS
Location
Zoning
Future Land Use
Natural Features

JSP14-23 American Tire Distributors

Location



Map Legend

 Subject Property

Feet
0 55 110 220 330
1 inch = 211 feet



City of Novi
Planning Division
Community Development Dept.
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

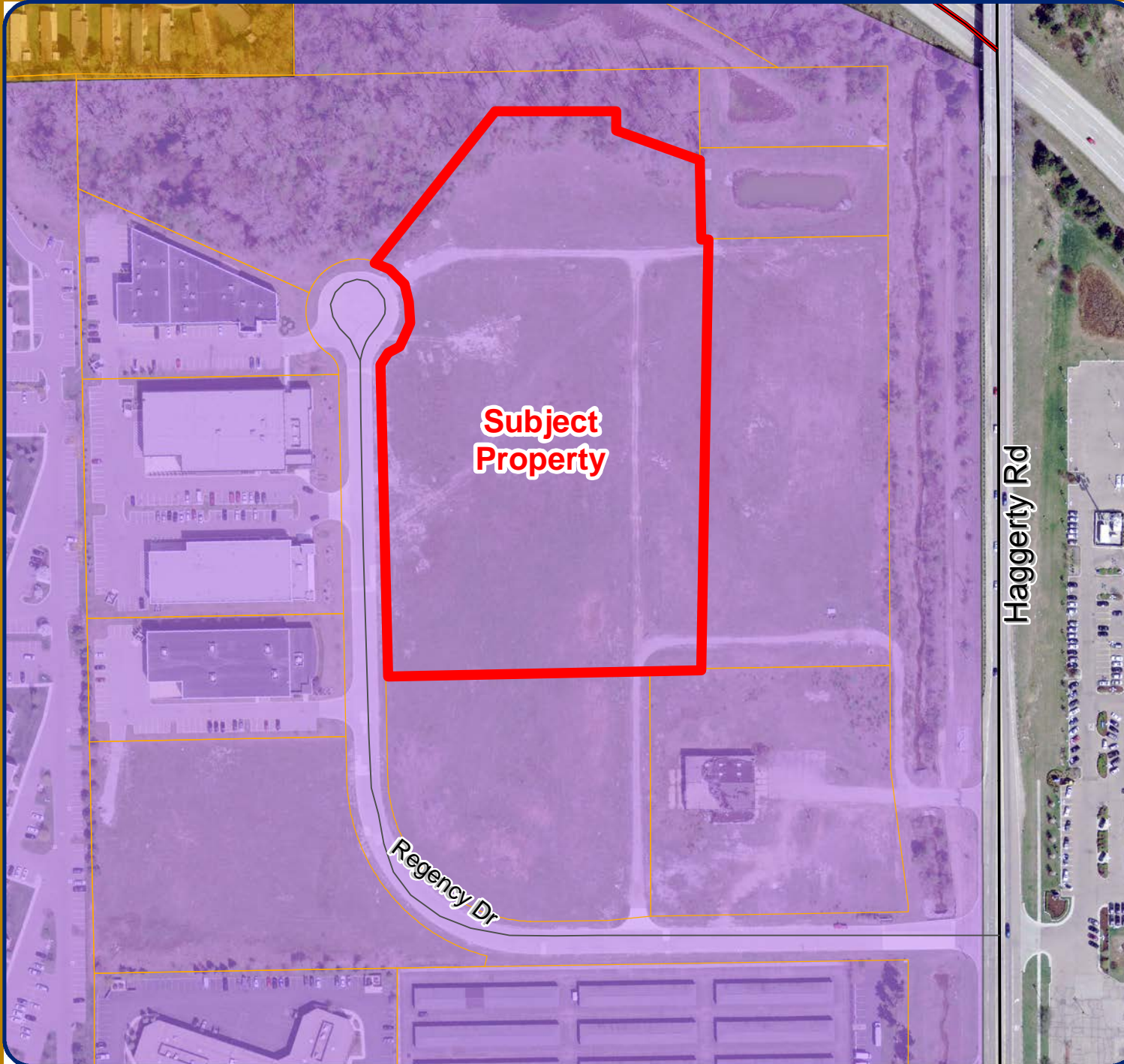
Map Author: Sara Roediger
Date: 06-01-14

MAP INTERPRETATION NOTICE




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JSP14-23 American Tire Distributors

Zoning



Map Legend

-  Subject Property
-  MH: Mobile Home
-  I-1: Light Industrial



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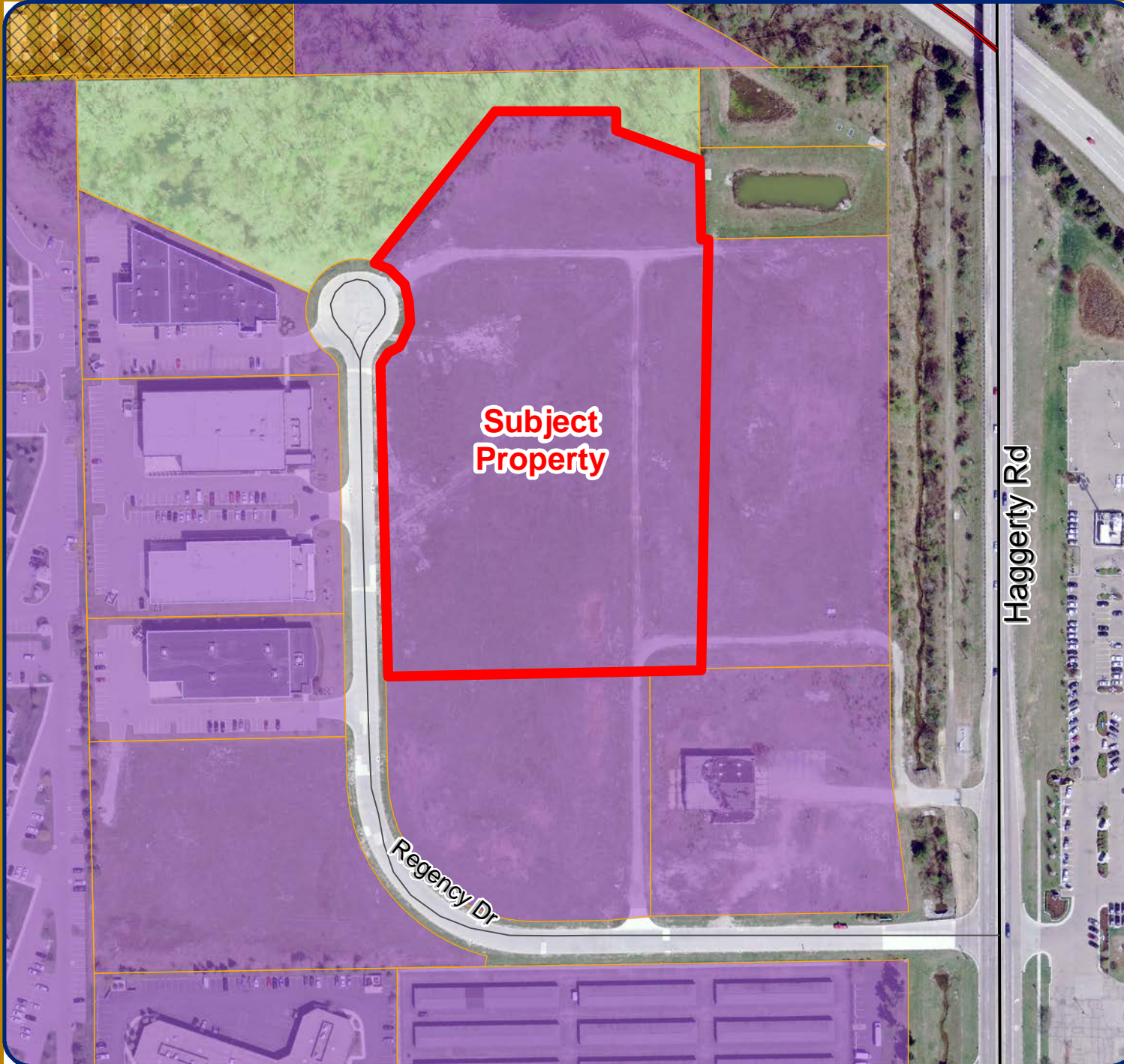
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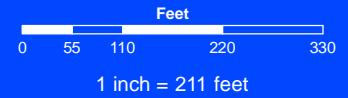
JSP14-23 American Tire Distributors

Future Land Use



Map Legend

-  Subject Property
-  Mobile Home Park
-  Industrial R&D Technology
-  Private Park



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JSP14-23 American Tire Distributors

Natural Features



Map Legend

 Subject Property

 Waterways

 Wetlands

 Woodlands



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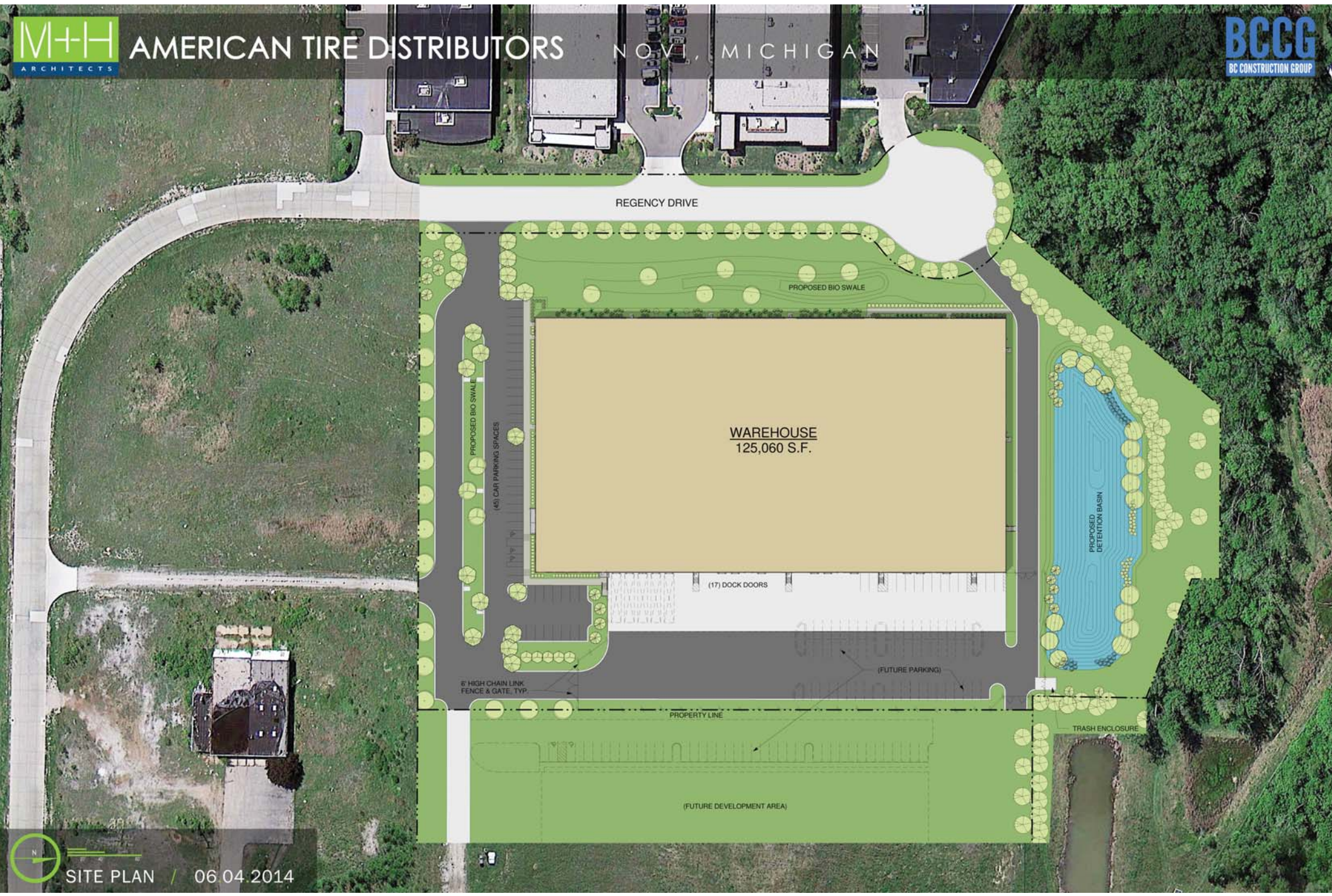
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SITE PLAN

(Full plan set available for viewing at the Community Development Department)



REGENCY DRIVE

WAREHOUSE
125,060 S.F.

PROPOSED BIO SWALE

PROPOSED BIO SWALE

(45) CAR PARKING SPACES

(17) DOCK DOORS

PROPOSED DETENTION BASIN

6' HIGH CHAIN LINK FENCE & GATE, TYP.

(FUTURE PARKING)

PROPERTY LINE

TRASH ENCLOSURE

(FUTURE DEVELOPMENT AREA)



PLANNING REVIEW



PLAN REVIEW CENTER REPORT

May 29, 2014

Planning Review

American Tire Distributors

JSP14-23

Petitioner

BC Construction Group LLC

Review Type

Preliminary Site Plan and Site Condominium

Property Characteristics

- Site Location: East side of Regency Drive off of Haggerty Road (Section 24)
- Site School District: Novi Community Schools
- Site Zoning: I-1, Light Industrial
- Adjoining Zoning: North, South, East and West: I-1
- Site Use(s): Vacant
- Adjoining Uses: North, East and South: vacant; West: Various office/industrial
- Site Size: 8.4 acres
- Building Size: 125,060 square feet
- Plan Date: 05-05-14

Project Summary

The applicant is proposing to construct a 125,060 square foot industrial building consisting of warehousing and offices in the Regency Industrial Centre. Associated parking, landscaping and other site work would also be constructed. The proposed project requires a number of modifications to the previously approved site condominium.

Recommendation

Approval of the **Preliminary Site Plan is recommended**. The plan conforms to the requirements of the Zoning Ordinance for the I-1 district as indicated in this review letter and attached chart. There are minor Planning related items that need to be addressed at the time of Final Site Plan review in addition to **two Planning Commission findings that are required for the reduction in parking space requirements and for the paving of landbanked parking**. Planning Commission approval of the Preliminary Site Plan is required.

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 19 (I-1, Light Industrial District), Article 24 (Schedule of Regulations), Article 25 (General Provisions), and any other applicable provisions of the Zoning Ordinance. Please see the attached charts for information pertaining to ordinance requirements. Items in **bold** below must be addressed and incorporated as part of the final site plan submittal.

1. Noise Impact Statement: Warehousing and wholesale establishments in the I-1 District require the submission of a noise impact statement. **The applicant shall submit the required noise impact statement**. Refer to Section 2519.10.c of the Zoning Ordinance for noise impact statement requirements. Alternately, a waiver of this requirement from the Planning Commission could be requested.

2. Rooftop Equipment: **Rooftop equipment must be indicated on the plans and screened** in accordance with Section 2503.2.E.2. Rooftop equipment can exceed the maximum height up to five feet, by providing a five foot setback from all building faces for every one foot of additional height. See the facade review letter for additional information.
3. Parking in Front Yard: Parking in the I-1 District is generally not permitted in the front yard between the building and the right-of-way line. Section 2400 footnote h permits the Planning Commission to approve front yard parking if certain conditions are met including screening of the parking from the public right-of-way by a 2.5 foot tall landscape berm or screen wall and provided the Planning Commission finds that the parking lot and lighting are compatible with the surrounding area. **Provided the applicant includes the required screening, planning staff believes the proposal is compatible with the area and supports a determination that the front yard parking is acceptable.**
4. Parking Spaces: The Ordinance permits the Planning Commission the ability to reduce the number of parking spaces for warehousing and wholesale establishments provided the applicant demonstrate that the number of parking spaces required are in excess of the actual requirements for the functional use of the building. **The applicant must provide documentation of their anticipated parking needs.** In addition, parking calculations are based on useable floor area, which has been determined to include office, racking and aisle space in a warehouse. **Provide additional detail on the floor plan identifying areas that could be subtracted from the parking calculations such as pump rooms, hallways, restrooms, exterior walls to bring down the number of required parking spaces or revise the plans to accommodate the required parking spaces.**
5. Landbanked Parking: If the parking requirement is reduced by the Planning Commission as described above, a surplus area must be identified onsite to accommodate the construction of additional off-street parking to fulfill the requirements if needed. This area shall be provided in accordance with the landbanked parking requirements of Section 2505.16 which state that it shall be landscaped and maintained in a natural state. The Planning Commission can make a finding that the proposal meets the following:
 - (1) The applicant has demonstrated through substantial evidence that the specified occupant or building use would require less parking than what would typically be required by this Section;
 - (2) Parking will not occur on any street or driveway;
 - (3) Parking will not occur on any area not approved and developed for parking;
 - (4) Parking will not occur on that area where parking construction has been landbanked until such time as that area is constructed for such parking;
 - (5) The requested parking landbanking shall not create traffic or circulation problems on or off site;
 - (6) The requested parking landbanking shall be consistent with the public health, safety, and welfare of the City and the purposes of the Zoning Ordinance.**The applicant should provide clarification for how the proposed landbanked area meets the intent of the above requirements.**
6. Loading Spaces: While the loading spaces are in a rear yard, they are highly visible from Haggerty Road as illustrated on Sheet A3.1. While the applicant has indicated that this is likely a temporary situation until the eastern portion of Unit 2 is developed in the future, there is no guarantee of future development so staff recommends that **evergreens be planted on the property's east edge to help screen views of the loading docks.** See the landscape review letter for additional information.
7. Sidewalk: The required 6 foot concrete sidewalk will be required along Haggerty Road when the eastern portion of Unit 2 is developed in the future.
8. Dumpster: The **dumpster must be shifted 5 feet to the west** to meet the 10 foot required setback off of the rear property line. See the traffic review letter for additional information.

9. Condominium Amendment: A lot split and combination is required in order to assemble the proposed lot for development purposes. As part of the Regency Industrial Centre, the Master Deed and Condominium Plan will need to be amended to reflect the new unit boundaries and easements, see traffic review letter for additional information. **Plans cannot be stamped approved until the master deed changes are submitted for review by City staff and the City attorney's office.**
10. Access to Future Unit 2: As part of the proposed project, access to the eastern portion of Unit 2, which will become a separate condominium unit, will be significantly changed over what is currently approved in the condominium. Future access to the site will be provided via a shared access easement from the proposed development.

Response Letter

A letter from either the applicant or the applicant's representative addressing comments in this, and in the other review letters, is requested **prior to the Planning Commission meeting and with the Final Site Plan submittal.**

Site Addressing

The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found on the Internet at www.cityofnovi.org under the forms page of the Community Development Department. Please contact Jeannie Niland (248.347.0438 or jniland@cityofnovi.org) in with any specific questions regarding addressing of sites.

Pre-Construction Meeting

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni (248.347.0430 or smarchioni@cityofnovi.org).

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or sroediger@cityofnovi.org.



Sara Roediger, AICP – Planner

Planning Review Summary Chart

American Tire Distributors JSP 14-23

Preliminary Site Plan Review

Plan Date: 05-05-14

Bolded items must be addressed by the applicant

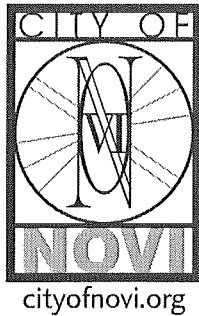
Item	Proposed	Meets Requirements?	Comments
Master Plan Industrial Research Development Technology	No change	Yes	
Zoning I-1 Light Industrial District	No change	Yes	
Use Uses listed in Section 1901 & 1902	125,060 sq. ft. light industrial building (4,500 sq. ft. office, 120,560 sq. ft. warehouse)	Yes	Noise impact statement required
Noise Impact Statement (Sec. 2519.10.c.) Noise impact statement required	Not provided	No	A noise impact statement shall be submitted in accordance with Sec. 2519.10.c
Max. Height (Sec. 2400) 40 ft.	40 ft.	Yes	Rooftop equipment must be indicated & screened with materials consistent with the building
Min. Building Setbacks (Sec. 2400)			
a. Front (west): 40 ft.	40 ft.	Yes	
b. Rear (east): 20 ft.	140 ft.	Yes	
c. Side (north): 20 ft.	70+ ft.	Yes	
d. Side (south): 20 ft.	115+ ft.	Yes	
Min. Parking Setbacks (Sec. 2400)			
a. Front (west): 40 ft. subject to min. 2 acre site, cannot occupy more than 50% of the area between min. front yard setback & bldg. setback, must be screened by brick wall or landscaped berm	60+ ft., 2 parking spaces near the southwest corner of the building are located within the front yard	No	Parking in the front yard is permitted only if it is screened by a brick wall or landscaped berm & Planning Commission must make finding that parking area & lighting is compatible with surrounding development
b. Rear (east): 10 ft.	10 ft.	Yes	
c. Side (north): 10 ft.	60+ ft.	Yes	
d. Side (south): 10 ft.	15 ft.	Yes	

Item	Proposed	Meets Requirements?	Comments
<p>Number of Parking Spaces (Sec. 2505) <u>Warehouse & Accessory Office = 125,060 sq. ft.</u> <u>= 1 space for each 700 sq. ft. of usable floor area=179 spaces</u></p> <p>Planning Commission can reduce to 5 spaces plus 1 for every 1 employee in the largest working shift OR 5 spaces plus 1 for every 1,700 sq. ft. of usable floor area, whichever is greater = 25 spaces OR 74 spaces if reduced by PC</p>	<p>54 spaces</p>	<p>No</p>	<p>Provide additional detail on the floor plan identifying areas that could be subtracted from the parking calculations such as pump rooms, hallways, restrooms, exterior walls to bring down the number of required parking spaces, racking & office space is included in the usable floor area calculations</p> <p>If parking is reduced by the Planning Commission, a surplus area has been provided onsite to accommodate the construction of additional off-street parking to fulfill the requirements if needed</p>
<p>Landbanked Parking (Sec. 2505.16) Min. 45 spaces</p> <p>Areas planned for landbanked parking shall be landscaped & maintained in a natural state</p> <p>Applicant must demonstrate that the number of parking spaces required are in excess of the actual requirements for the functional use of the building</p>	<p>61 spaces are proposed to be banked, located on proposed asphalt drive in rear of building</p>	<p>If Planning Commission makes a finding that it meets the requirements</p>	<p>The proposed surplus parking area as required is located on an proposed drive, applicant states that landbanked parking would not be used for proposed use, only if use changed</p>
<p>Parking Space & Maneuvering Lane Dimensions (Sec. 2506) 9 ft. x 19 ft. parking spaces with 24 ft. drives</p> <p>9 ft. x 17 ft. parking spaces along 7 ft. interior sidewalks, provided a 4 in. curb at these locations & along landscaping</p>	<p>9 ft. x 19 ft. spaces with 24 ft. drives</p> <p>9 ft. x 17 ft. perimeter spaces along 7 ft. interior sidewalks & landscaping</p>	<p>Yes</p>	
<p>Barrier Free Spaces (ADA standard) 3 spaces, including 1 van accessible space</p>	<p>3 barrier free spaces (1 van accessible)</p>	<p>Yes</p>	

Item	Proposed	Meets Requirements?	Comments
Barrier Free Space Dimensions (Barrier Free Code) 8 ft. wide with an 8 ft. wide access aisle for van accessible	8 ft. wide with an 8 ft. wide access aisle for van accessible	Yes	
Barrier Free Signs (Barrier Free Design Graphics Manual) 1 barrier free sign per space	1 barrier free sign per space	Yes	See traffic review letter
Loading Spaces (Sec. 2507) Located in rear or side yard if the site is adjacent to an industrial district	5 truck wells located in the rear yard	Yes	While the loading spaces are in a rear yard, they are highly visible from Haggerty Rd., as such evergreens should be planted on the property's east edge to help screen views of the loading docks, see landscape review letter
Bicycle Parking Facilities (Sec. 2526) Warehouse=4 bicycle parking spaces Located along the building approach line & easily accessible from the building entrance Max. 120 ft. from entrance being served or the nearest auto parking space to that entrance Be accessible via a paved 6 ft. route & separated from auto facilities 4 ft. maneuvering lane with a 6 ft. parking space width & a depth of 2 ft. for single spaces & 2.5 ft. for double spaces	6 bicycle parking spaces	Yes	
Sidewalks and Pathways (Sub. Ord. Sec. 4.05, Bicycle & Pedestrian A) 6 to 8 ft. wide sidewalks/pathways shall be constructed along all major thoroughfares & collectors per DCS, but not along industrial service streets per Subdivision Ordinance Building exits must be connected to sidewalk system or parking lot	Existing asphalt path of varying width along Haggerty Consistent with the existing office park, sidewalks are not provided Building entrances connected to parking lot & BF ramps on south elevation	Yes	The required 6 ft. concrete sidewalk will be required along Haggerty Road when the eastern portion of Unit 2 is developed in the future
Natural Features Setback (Sec. 2400(t)) 25 ft. setback from wetlands	25 ft. setback from wetlands	Yes	

Item	Proposed	Meets Requirements?	Comments
Wetland and Watercourses (Chpt. 12) Discourage the use of wetlands for stormwater control	Wetland impacts not proposed	Yes	
Woodlands (City Code Chpt. 37) Replacement of removed trees	Woodland impacts not proposed	Yes	Previously required replacement trees must be identified on the plans, see landscape review letter
Accessory Structure Setback- Dumpster (Sec. 2503) Located in the rear or interior side yard Min. 10 ft. from any building unless structurally attached & setback the same as parking from all property lines	Screened dumpster in the rear yard, 5 ft. off of east property line	No	Dumpster must be shifted 5 ft. to the west to meet the 10 ft. required setback off of the rear property line, see traffic review letter
Dumpster Requirements (City Code Sec. 21-145) Screening of not less than 5 ft. on 3 sides of dumpster required, interior bumpers or posts must also be shown Screening should be 1 foot taller than dumpster			
Lot Combination/Master Deed Amendment	Not provided	Information to be provided	As part of the Regency Industrial Centre, the Master Deed and Condominium Plan will need to be amended to reflect the new unit boundaries & easements, see traffic review letter
Exterior Lighting (Section 2511) Photometric plan and exterior lighting details needed at final site plan	Not provided	Information to be provided	
Economic Impact Total cost of the proposed building & site improvements Number of anticipated jobs created (during construction & after building is occupied, if known)	A note on Sheet SP-1 indicates building & site improvements estimated at \$5,500,000+, with 85 temporary construction & 20 permanent jobs created	Yes	
Signs (Chpt. 28) Signs are not regulated by the Planning Division or Planning Commission	None shown	If a sign is proposed, contact Jeannie Niland at 248.347.0438 or jniland@cityofnovi.org for information	

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

May 29, 2013

Engineering Review

American Tire Distributors

JSP14-0023

Petitioner

BC Construction Group, applicant

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: N. of Grand River Avenue and W. of Haggerty Road.
- Site Size: 8.40 acres
- Plan Date: May 5, 2014

Project Summary

- Construction of an approximately 125,060 square-foot building and associated parking. Site access would be provided by a proposed access drive off of Regency Drive.
- Water service would be provided by relocating the existing 12-inch on-site water main. A 2-inch domestic lead and an 8-inch fire lead would be provided to serve the building, along with three hydrants.
- Sanitary sewer service would be provided a non-domestic 6-inch service lead and monitoring manhole from the relocated 8-inch sanitary sewer.
- Storm water would be collected by a single storm sewer collection system, treated for the first flush volume and discharged into the Haggerty Road Regional Detention Basin.

Recommendation

Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

General

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
2. Revise the plan set to reference at least one city established benchmark. An interactive map of the City's established survey benchmarks can be found under the 'Map Gallery' tab on cityofnovi.org.
3. Remove the proposed easement boundaries from the Soil Erosion Control Plan.
4. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal.

Water Main

5. Provide a profile for the proposed water main with the pipe invert and stationing of all valves, fittings, flanges, hydrants, blow-offs, high and low points, and any other appurtenances.
6. Verify how water service will be maintained to Regency Center Units 3, 4, & 5 during the demolition and construction process.
7. Revise the plan set to show the existing twelve (12) inch water main and associated facilities that run along the boundary between Unit 3 and Unit 4 from the twelve (12) inch water main on Regency Drive.
8. Three (3) sealed sets of revised utility plans along with the MDEQ permit application (1/07 rev.) for water main construction and the Streamlined Water Main Permit Checklist should be submitted to the Engineering Department for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets.

Sanitary Sewer

9. Provide a profile for all proposed sanitary sewer with a note stating that a minimum cover of four (4) feet shall be maintained at all times for gravity sewers. A minimum cover of eight (8) feet is required below finished road surface grades.
10. Seven (7) sealed sets of revised utility plans along with the MDEQ permit application (11/07 rev.) for sanitary sewer should be submitted to the Engineering Department for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets. The submitted application must meet all requirements listed in Wayne County's Sanitary Sewer Approval Checklist (8/28/2013) and is subject to any applicable review fees by the Wayne County Department of Public Services. For information regarding an expedited review by the MDEQ, please contact their office directly.

Storm Sewer

11. Verify that the catch basins are capable of accommodating the proposed inflow without exceeding 0.011 cubic feet per second (cfs) per square inch of cover opening.
12. Provide the basis for replacing the proposed abandoned ten (10) inch sanitary sewer with an eight (8) inch sanitary sewer main.
13. Provide a profile of the proposed storm sewer showing a minimum cover of 3 feet and all catch basin sumps. Indicate all structure types and diameter. Note that a drop of 0.1 feet in the downstream direction is required for all changes in direction in excess of thirty degrees. The profile must show the 10-year and 100-year hydraulic grade lines at each structure.
14. The proposed storm sewer must maintain the hydraulic gradient by matching the 0.8 diameter depth above invert for all pipe size increases.
15. Provide an oil/ gas separator with a four foot sump at the last storm sewer structure prior to discharge into the proposed forebay.

Storm Water Management Plan

16. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the Engineering Design Manual.
 - a. Provide calculations verifying that the velocity in the proposed bioswales is a minimum of two (2) feet per second and a maximum of six (6) feet per second for a 10-year storm event. Check dams or drop structures may be required to achieve target velocities.
 - b. Revise the composite runoff coefficient calculation to include $c = 1.00$ for the area covered by the proposed high water elevation in the forebay.
 - c. Provide a pre and post-development tributary area map for the proposed forebay. This map must specifically identify all off-site drainage entering the site.
17. Provide a means of preventing direct flow from the basin inlets to the sediment standpipe to improve basin performance. A sheet pile wall, rip-rap berm or earthen berms are acceptable methods. The chosen diversion method must be designed to maximize travel distance during periods of low flow above the low water elevation without creating points of stagnation.
18. Label the proposed catch basins on the Stormwater management plan.
19. Provide calculations verifying that the proposed curb drops will be conveying storm water at non-erosive velocities (3.0 ft/s to 5.0 ft/s depending on outlet soil and vegetation type).

Paving & Grading

20. Revise the grading plan to provide a four (4) inch sidewalk/curb adjacent to all proposed seventeen (17) foot parking stalls.
21. Revise the site plan to add an additional emergency access gate adjacent to the emergency access point off of Regency Drive.

22. Add a note to the plan stating that the emergency access gate is to be installed and closed prior to TCO issuance.
23. Provide the proposed contours on the site paving and grading plan. Existing contours should be shown in a muted tone/line type.
24. Revise the plan set to provide grouted rip-rap wherever rip-rap is proposed.
25. Revise the "typical concrete spillway detail" to extend the rip-rap up to the proposed curb lines along the outside of the concrete spillway.

Off-Site Easements

26. All off-site easements must be executed prior to final approval of the plans. The required engineering documents are as follows:
 - a. Cross-access easement
 - b. Water main easement
 - c. Sanitary sewer easement
 - d. Storm sewer and drainage easement
 - e. Temporary grading permit
 - i. Proposed off-site utility work
 - ii. Proposed rip-rap spillway to the existing Haggerty Regional detention basin

The following must be submitted at the time of Final Site Plan submittal:

27. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
28. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).
29. A draft copy of the 20-foot wide easement for the water main to be constructed off-site must be submitted to the Community Development Department.
30. A draft copy of the 20-foot wide easement for the sanitary sewer to be constructed off-site must be submitted to the Community Development Department.

The following must be submitted at the time of Stamping Set submittal:

31. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to

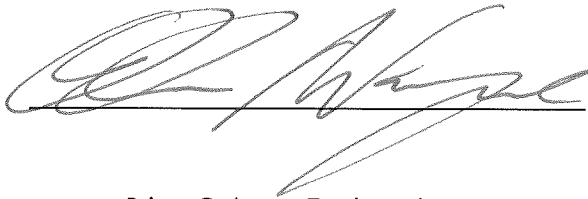
- the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
32. A draft copy of the private ingress/egress easement for shared use of the drive entry off of Regency Drive for "Unit 1" and "Unit 2" must be submitted to the Community Development Department.
 33. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.
 34. A draft copy of the 20-foot wide easement for the sanitary sewer to be constructed on the site must be submitted to the Community Development Department.
 35. A draft copy of the 20-foot wide easement for the water main to be abandoned on the site must be submitted to the Community Development Department.
 36. A draft copy of the 20-foot wide easement for the sanitary sewer to be abandoned on the site must be submitted to the Community Development Department.
 37. An executed copy of the 20-foot wide easement for the water main to be constructed off-site must be submitted to the Community Development Department.
 38. An executed copy of the 20-foot wide easement for the sanitary sewer to be constructed off-site must be submitted to the Community Development Department.
 39. Executed copies of any required off-site utility easements must be submitted to the Community Development Department.
 40. Please note that incomplete legal submittals or legal submittals that are not accompanied by the City's legal review transmittal form will not be accepted by Community Development. All easement documents shall be unsigned and in draft form until directed otherwise by the City Attorney.

The following must be addressed prior to construction:

41. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
42. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.
43. An NPDES permit must be obtained from the MDEQ because the site is over 5 acres in size. The MDEQ requires an approved plan to be submitted with the Notice of Coverage.

44. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
45. A permit for work within the right-of-way of Regency Drive must be obtained from the City of Novi. The application is available from the City Engineering Department and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Department at 248-347-0454 for further information.
46. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the water main plans have been approved.
47. A permit for sanitary sewer construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the sanitary sewer plans have been approved.
48. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
49. Restricted discharge into a regional detention basin is planned for this site. Therefore, a storm water tap fee will be required prior to the pre-construction meeting. An exact figure will be determined at the time of Final Site Plan approval.
50. A storm water performance guarantee, equal to 1.5 times the amount required to complete storm water management and facilities as specified in the Storm Water Management Ordinance, must be posted at the Treasurer's Office.
51. An incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.
52. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.
53. Permits for the construction of each retaining wall must be obtained from the Community Development Department (248-347-0415).

Please contact Adam Wayne at (248) 735-5648 with any questions.



cc: Brian Coburn, Engineering
Sara Roediger, Community Development Department
Michael Andrews, Water & Sewer Dept.

TRAFFIC REVIEW

May 15, 2014

Barbara McBeth, AICP
Deputy Director of Community Development
City of Novi
45175 W. Ten Mile Rd.
Novi, MI 48375

SUBJECT: American Tire Distributors, JSP14-0023, Traffic Review of Preliminary Site Plan, PSP14-0073

Dear Ms. McBeth:

At your request, we have reviewed the above and offer the following recommendation and supporting comments.

Recommendation

We recommend approval of the preliminary site plan, subject to the items shown below in **bold** being satisfactorily addressed by the final site plan.

Site Description

What is the applicant proposing, and what are the surrounding land uses and road network?

1. The applicant is proposing a 125,060-s.f. tire warehouse on Regency Drive (see attached aerial photo). **The City's Master Plan/Thoroughfare Plan classifies Regency Drive a Local Street; however, we recommend that the City reclassify it a Non-Residential Collector.**
2. We stamped traffic approval of the Regency Centre site condominium on 7-30-00. Several relevant sheets from the stamping set have been attached to this letter for easy reference.

Trip Generation

How much new traffic would be generated?

3. According to ITE average data, a 125,060-s.f. warehouse can be expected to generate about 445 one-way vehicle trips per day, 38 in the AM peak hour (30 in and 8 out) and 40 in the PM peak hour (10 in and 30 out). A traffic impact study is not warranted.

Vehicular Access Locations

Do the proposed "driveway" locations meet City spacing standards?

4. Yes.

Vehicular Access Improvements

Will there be any improvements to the abutting road(s) at the proposed access point(s)?

5. No, and none are required.

Access Drive Design and Control

Are the proposed design, pavement markings, and signage satisfactory?

6. Due to the length of the Regency Drive cul-de-sac, the condominium site plan called for a secondary access along Regency approximately 375 ft west of the Haggerty Road right-of-way (see sheet C1A from the approved condo site plan, attached). This secondary route included a pre-existing driveway serving a now-demolished building on Haggerty just north of Regency Drive and an 18-ft-wide service drive parallel to Haggerty, both paved. As also shown on attached sheet C13A, there was to be a City-standard gate at the north end of the service drive, accompanied by an advance sign advising that the drive was for “Emergency Access Only.” **We have been advised by the current property owner that the required gate (and presumably the sign as well) were never installed by the previous owner/developer. A City-standard gate (detailed in the City’s Design and Construction Standards, on the second page of Fig VIII-K) should be installed prior to occupancy of the subject site.**
7. **A west-facing “Emergency Access Only” sign should be installed on the south side of the emergency access drive at the site’s east property line, in addition to a south-facing sign of that type along the Haggerty service drive near its south end (per sheet C13A).**
8. At our urging, the secondary access required for the subject site and other nearby sites – due to the length of the Regency Drive cul-de-sac – will now be provided via a general-purpose cross-access easement across the south end of the subject site all the way to Regency Drive. This represents a superior solution to the Private Drive that was to run north-south parallel to and east of Regency Drive (sheet C1A). **Since construction of the northern portion of that Private Drive will be precluded by construction of the proposed building, and since the southern portion of the Private Drive was never improved beyond gravel, we recommend that the condominium Site Plan (sheet SP-1) and Easement Plan (C1A) be amended to add the new east-west drive through the site and delete the entire north-south Private Drive.**
9. The 24-ft-wide east-west emergency access easement is shown 30 ft north of the site’s south property line, or 15 ft further north than the proposed 30-ft-wide heavy-duty access drive. **To facilitate a more direct connection and potentially more efficient future development of the remaining parcel to the east, the property owner may wish to see the existing easement shifted 15 ft south. The applicant should inquire of the property owner if this is so, and if it is, propose that shift as part of revising the condominium site plan. This would likely require some revision of the off-site curve connecting the east-west drive (yet to be improved) with the existing north-south Haggerty service drive.**
10. **The above condominium plans should also be amended to reflect the proposed northerly relocation of the Private Drive running east from the Regency Drive turnaround bulb. This drive will serve as an emergency access for the proposed building as well as the most direct means of access for the existing regional detention basin and proposed first-flush forebay.**
11. **All three new gates now proposed by the applicant – two at the north end of the main lot and one at the southeast corner of that lot – should be reviewed and approved by the Fire**

Marshal. Also, a sign reading “Emergency Access Only” should be posted near the Regency Drive turnaround to keep unauthorized vehicles from entering.

12. **The site’s full-time access drive on Regency is in need of further refinement. Per Design and Construction Standards (DCS) Fig IX.1, the exiting curb return radius must be increased from the 20 ft proposed to the City-minimum for an industrial drive of 25 ft. Also, although the proposed drive width of 36 ft meets the City standard, the WB-50 truck path now partially shown suggests that trucks moving between the right-of-way and the 30-ft-wide heavy-duty site drive offset to the south would benefit from widening the drive at the ends of the curb returns to the City maximum of 40 ft.**

Pedestrian Access

Are pedestrians safely and reasonably accommodated?

13. Yes.

Circulation and Parking

Can vehicles safely and conveniently maneuver through the site?

14. As we noted in our pre-application comments, “The plan proposes that the loading-dock apron and associated maneuvering area be a total of 130 ft wide. Individual berths are effectively 13.5 ft wide. For this berth width, ITE (per attached table) recommends a total paved area 119 ft wide for WB-50 tractor-trailers and 145 ft wide for WB-67 tractor-trailers (inferred by us by adding 5 ft to an interpolated table value of 140 ft for a WB-62). To support the proposed design, the preliminary site plan should indicate the appropriate largest design vehicle, and then show (again using AutoTurn or an equivalent software) how that vehicle would maneuver into and out of a berth.” A WB-50 has now been shown pulling away from one of the docks. **The applicant should explicitly confirm that there is no expectation of having to accommodate any trucks larger than a WB-50. We have attached to this letter our mark-up of the site plan, confirming that a WB-67 would require several additional feet of lot width.** For the record, we recently saw evidence that a WB-67 had served the Novi Wal-Mart (it has a 53-ft-long trailer).
15. Our mark-up also shows a WB-50 pulling as far north in the lot as possible and then backing to the northernmost accessible dock, which would be about 54 ft south of the building’s north end. Consistent with this finding, we note that building elevation sheet A3.1 shows a service door and three potential docks in that distance, the latter via dashed lines and labels reading “K.O.” (presumably standing for “Knock Out”). **Since those three potential docks would not be reasonably accessible by large trucks, we suggest that they either be deleted or revised to become grade-level overhead doors usable only by smaller service vehicles.**
16. Parking spaces near the south end of the building are now proposed to be 17 ft long to the face of a curb or 7-ft-wide sidewalk. Details on sheet C-7 indicate that both the curb and walk with adjacent parking spaces will be limited to a 4-inch height (per Sec 2509.3c(2)(c) of the Zoning Ordinance). However, **spot elevations appearing on sheet C-3 appear to show a 0.5-ft height differential; those elevations should be checked and revised as necessary.**

17. **The dumpster enclosure in the northeast corner of the site should be shifted 6 ft west and/or rotated clockwise some to improve its accessibility by trucks servicing the dumpster.**
18. **The Standard Parking Island Detail on sheet C-7 needs to be updated to reflect requirements of the 2011 *Michigan Manual on Uniform Traffic Control Devices (MMUTCD)*, as follows:**
 - a. **Where a handicapped parking space abuts a non-handicapped parking space, the two spaces are to be separated by abutting blue and white stripes.**
 - b. **The International Symbol of Accessibility (wheelchair) to be painted on the pavement is to be white (not blue).**
19. **The detail for Typical Handicap Parking Signs, also on sheet C-7, also needs revision:**
 - a. **The current MMUTCD sign code for a VAN ACCESSIBLE sign is R7-8P (not R7-8A).**
 - b. **Extending the 6-inch-diameter concrete-filled steel post as much as 7 ft above grade, as proposed, is unnecessary. This height should be reduced to 4 ft, and the exposed height of the smaller post supporting the signs should be increased from 1 ft to 3 ft.**

Sincerely,
CLEARZONING, INC.



Rodney L. Arroyo, AICP
President



William A. Stimpson, P.E.
Director of Traffic Engineering

Attachments:

- Site aerial
- Sheet SP-1 from condo site plan
- Sheet C1A from condo site plan
- Sheet C13A from condo site plan
- ITE-recommended Loading Space Dimensions
- CZ site plan mark-up relative to truck maneuvering



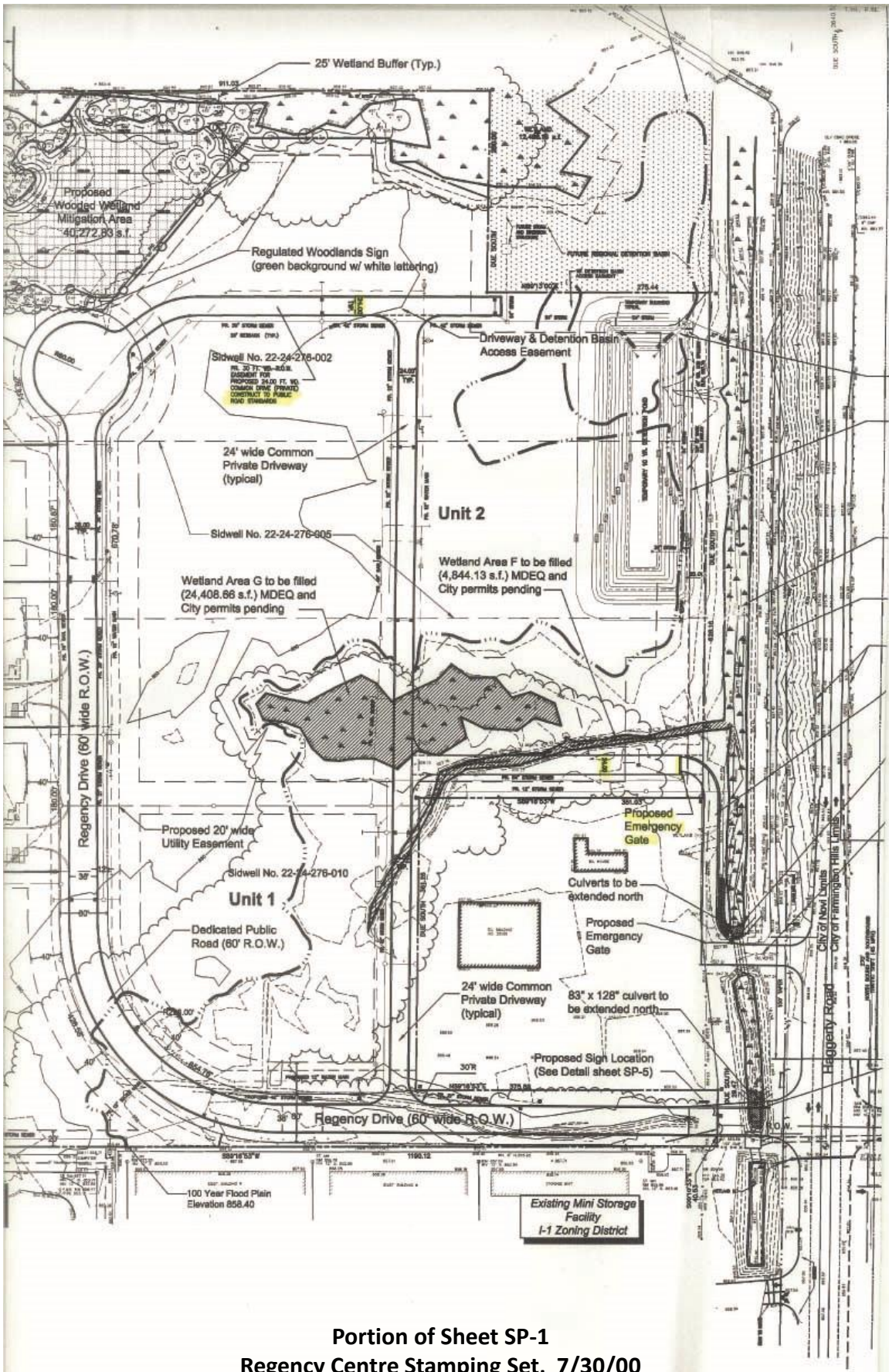
clearzoning

Parcel boundary approximated by CZ.

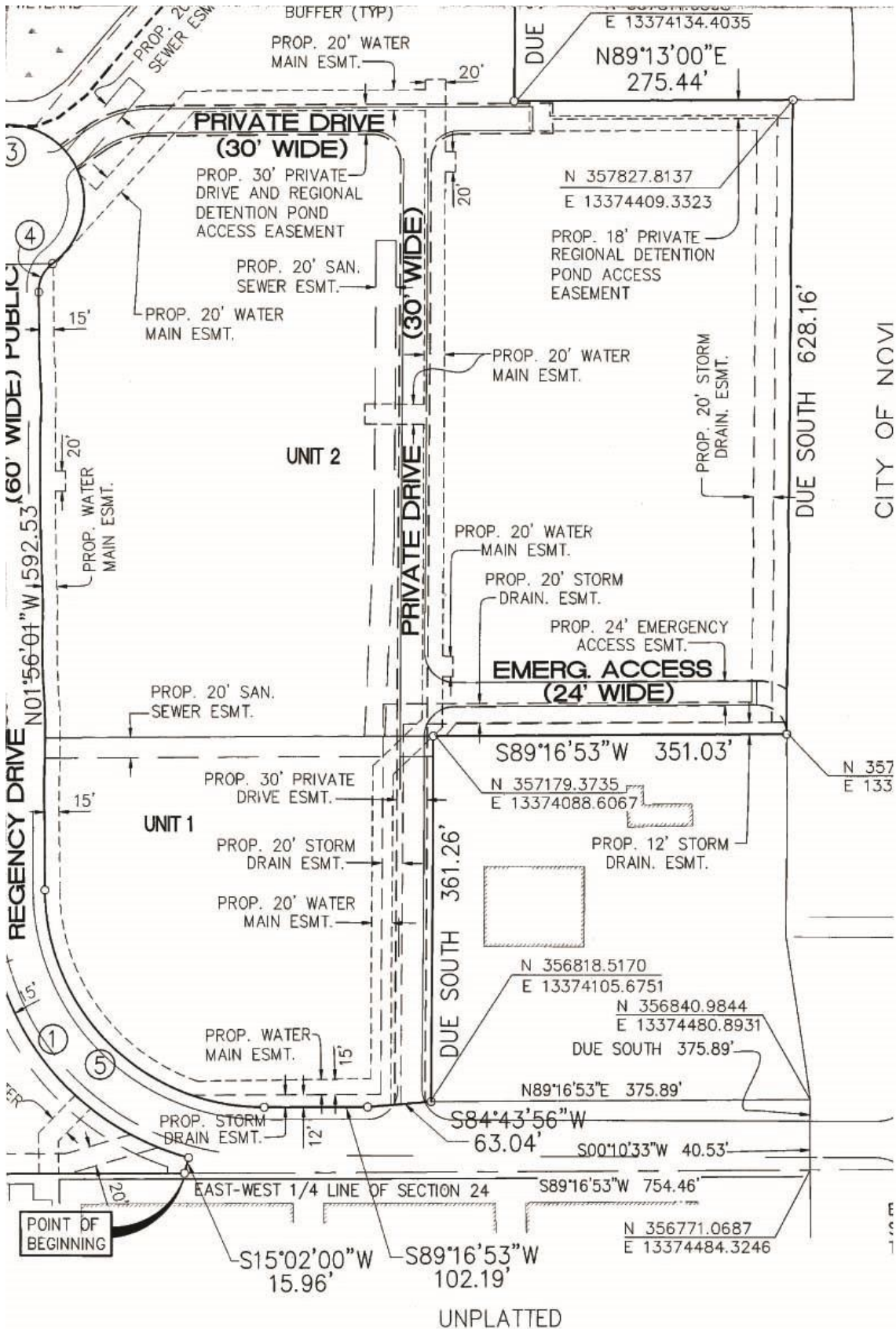
SITE

24-ft-wide paved emergency access drive required for overall site condo due to single point of entry at Regency Drive (see attached sheets from 7/00 stamping set).

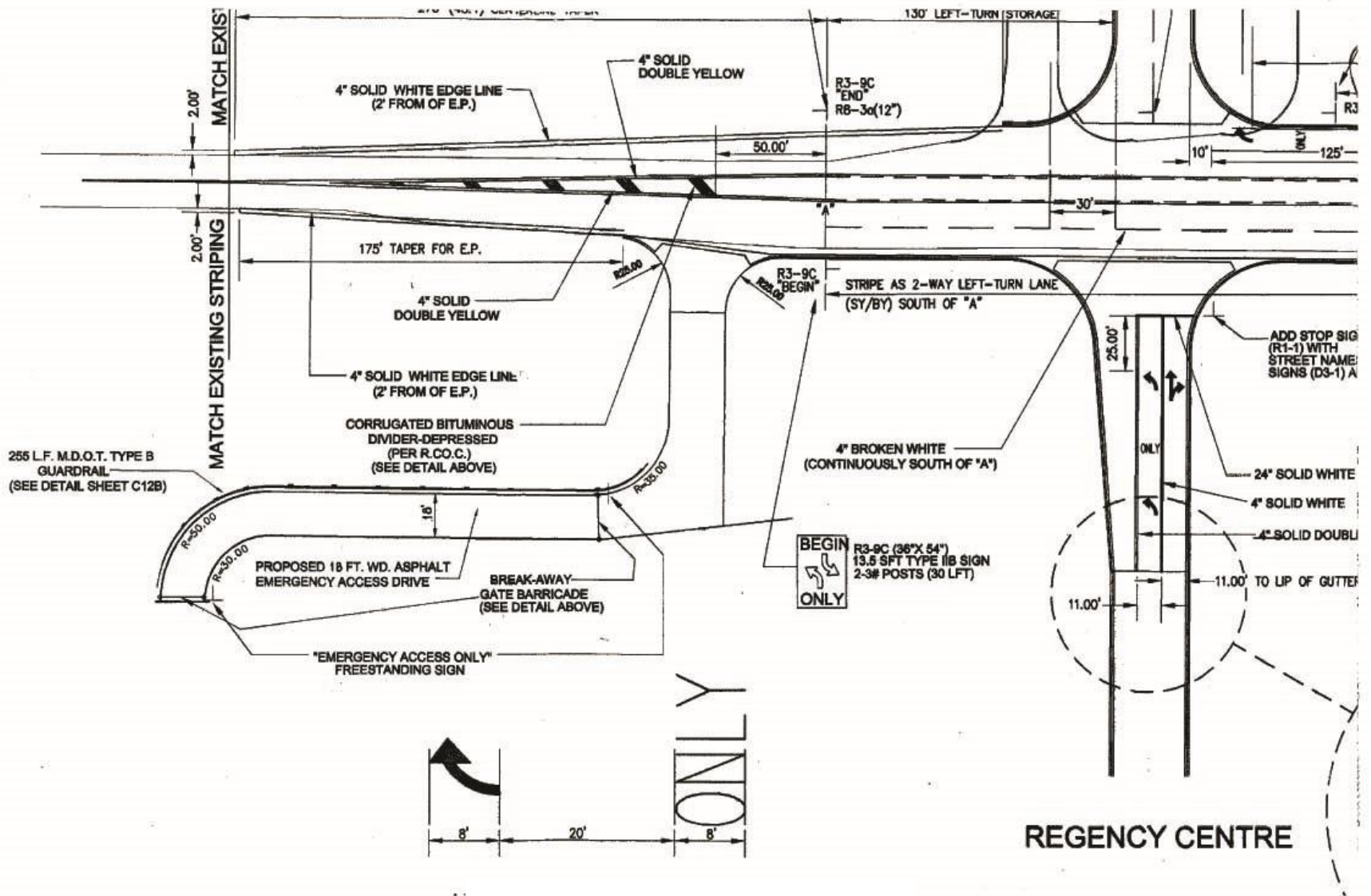
Site Aerial – Proposed American Tire Distributors



Portion of Sheet SP-1
 Regency Centre Stamping Set, 7/30/00



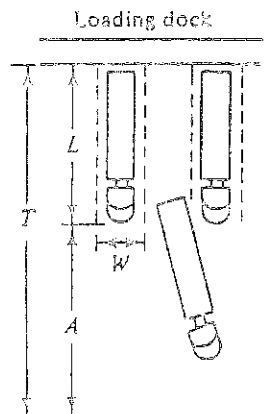
Portion of Sheet C1A (Easement Plan)
 Regency Centre Stamping Set, 7/30/00



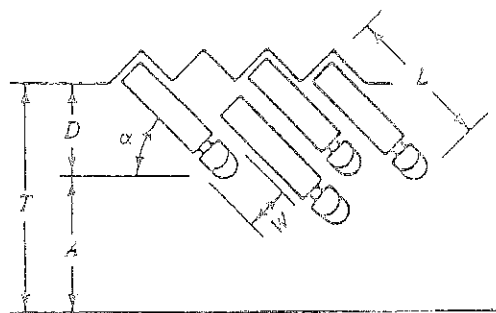
Portion of Sheet C13A
 Regency Centre Stamping Set, 7/30/00

Table 10-4. Loading Space Dimensions

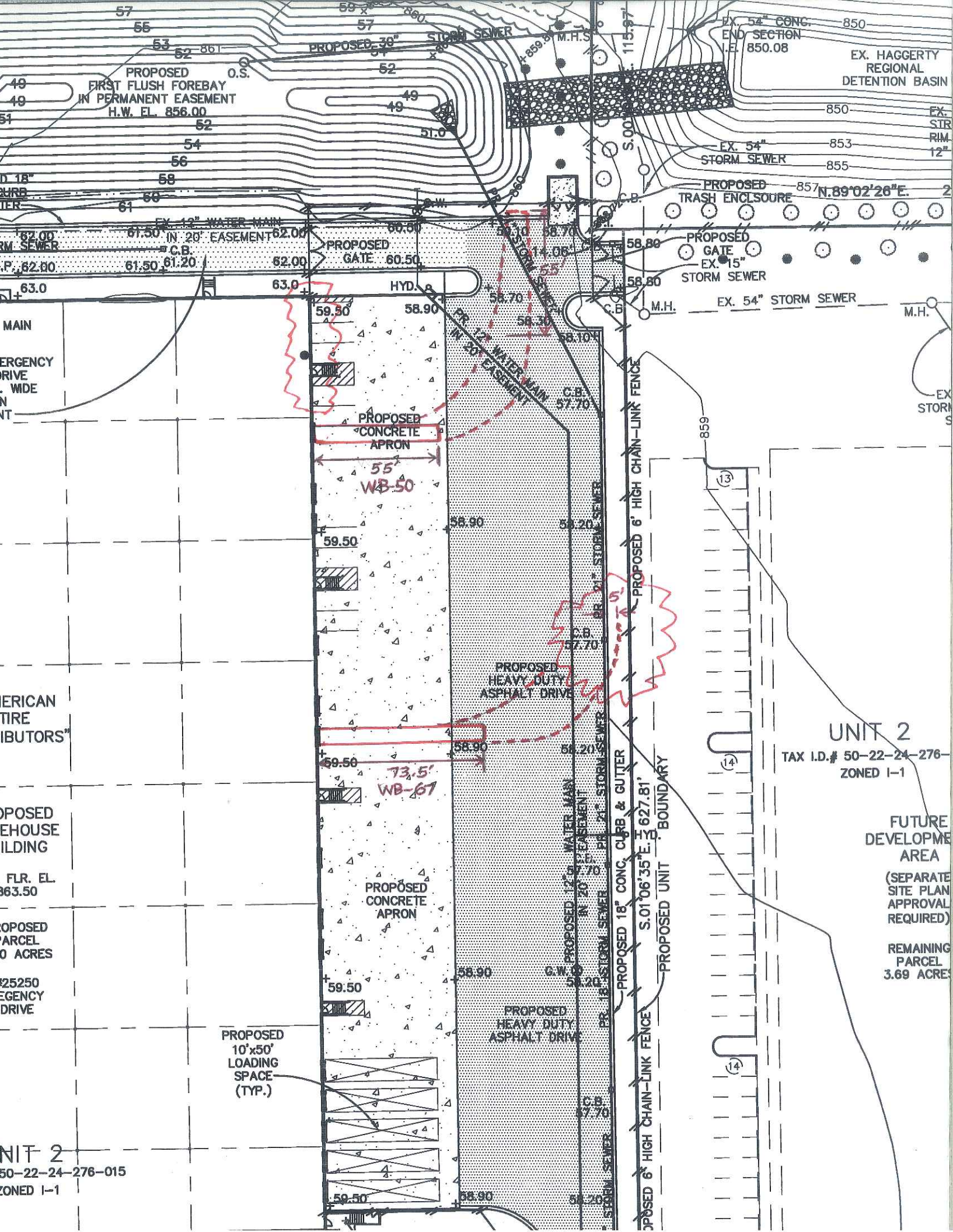
Design Vehicle	Length in ft. (L)	Dock Angle (a)	Clearance in ft. (D)	Berth Width in ft. (W)	Apron Space in ft. (A)	Total Offset in ft. (T)
SU	30	90°	30	10	60	90
				12	58	88
				14	56	86
		60°	26	10	34	60
				12	30	56
				14	28	54
		45°	21	10	25	46
				12	21	42
				14	18	39
WB-40	50	90°	50	10	63	113
				12	56	106
				14	52	102
		60°	44	10	46	90
				12	40	84
				14	35	79
		45°	36	10	37	73
				12	32	68
				14	29	65
WB-50	55	90°	55	10	77	132
				12	69	124
				14	63	118
		60°	48	10	54	102
				12	46	94
				14	40	88
		45°	39	10	39	78
				12	34	73
				14	31	79
WB-62	69	90°	69	10	89	158
				12	79	148
				14	69	138
		60°	60	10	64	124
				12	58	118
				14	53	113
		45°	49	10	49	98
				12	47	96
				14	45	94



90-Degree docks



Sawtooth docks



EX. HAGGERTY REGIONAL DETENTION BASIN

EX. 54" CONG. END SECTION I.E. 850.08

PROPOSED FIRST FLUSH FOREBAY IN PERMANENT EASEMENT H.W. EL. 856.00

PROPOSED 30" STORM SEWER

EX. 54" STORM SEWER

PROPOSED TRASH ENCLOSURE N.89°02'26"E.

PROPOSED GATE EX. 15" STORM SEWER

EX. 54" STORM SEWER

PROPOSED GATE 60.50

PROPOSED CONCRETE APRON

55' WB-50

PROPOSED HEAVY DUTY ASPHALT DRIVE

73.5' WB-67

PROPOSED CONCRETE APRON

PROPOSED HEAVY DUTY ASPHALT DRIVE

PROPOSED 10'x50' LOADING SPACE (TYP.)

UNIT 2

TAX I.D.# 50-22-24-276- ZONED I-1

FUTURE DEVELOPEM AREA (SEPARATE SITE PLAN APPROVAL REQUIRED)

REMAINING PARCEL 3.69 ACRES

UNIT 2 50-22-24-276-015 ZONED I-1

PROPOSED 6" HIGH CHAIN-LINK FENCE

PROPOSED UNIT BOUNDARY

PROPOSED 6" HIGH CHAIN-LINK FENCE

PROPOSED 18" CONC. CURB & GUTTER S.01°06'35"E. ± 627.81'

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LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

May 13, 2014

Preliminary Site Plan

American Tire Distributors JSP14-23

Review Type

Preliminary Landscape Review

Property Characteristics

- Site Location: Regency Court
- Site Zoning: I-1 Light Industrial
- Adjacent Zoning: I-1 Light Industrial
- Current Use: Vacant
- Proposed Use: Industrial
- Plan Date: 5/5/14

Recommendation

Approval of the Preliminary Site Plan for American Tire Distributors JSP14-23 is recommended.

Ordinance Considerations

Residential adjacent to Non-residential

1. The project site is not adjacent to residential uses.

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Sec. 2509.3.b.)

1. A 3' high berm would typically be required along the Regency Road frontage. Existing mature street trees exist along the entire frontage. In addition, the Applicant has proposed a bioswale along the front of the building which is supported by staff as an environmentally sound feature. **In order to preserve the mature trees and in support of the bioswale staff recommends that the berm requirement be waived by the Planning Commission.**

Street Tree Requirements (Sec. 2509.3.b.)

1. Street trees will be required at one per 35' of frontage along the public-right-of-ways and the interior roadways. With the retention of existing trees and the relocation of deciduous trees on site, this requirement has been met.

Interior Parking Landscape (Sec. 2509.3.c.)

1. Calculations for interior parking lot landscape area have been provided. Requirements for landscape area have been met.

2. Calculations for interior parking lot canopy trees have been provided. This requirement has been met.
3. A parking lot perimeter canopy tree is required per each 35 l.f. of the parking lot boundary. Trees must be added along the southern high water line of the storm basin in order to meet the requirement.

Building Foundation Landscape (Sec. 2509.3.d.)

1. A 4' wide landscape bed is required around the entire foundation of the building with the exception of the access areas. Please add plantings on the north side of the building.
2. A total square footage of 8' x the building foundation perimeter must be provided as building foundation landscape area. Calculations have been provided. The Applicant has provided much of the foundation area plantings directly at the building, and a large amount of landscape area within proposed bio-swaes with native plants. This requirement has been met.

Plant List (LDM)

1. A Plant List has been provided per the requirements of the Ordinance and the Landscape Design Manual.

Planting Notations and Details (LDM)

1. Planting Details and Notations meet the requirements of the Ordinance and the Landscape Design Manual.

Storm Basin Landscape (LDM)

1. The proposed storm basins must be planted over 70-75% of the rim basin with large shrubs. This requirement has been met.

Irrigation (Sec. 2509 3.f.(6)(b))

1. An Irrigation Plan and Cost Estimate must be provided upon Final Site Plan Submittal.

General

1. The loading zones have been placed to the rear of the building as required. These areas are required to be adequately screened. However due to the height of Haggerty Road, these loading zone areas will likely be somewhat visible. Existing mature vegetation will remain along the Haggerty right-of-way and additional woodland replacement plantings have augmented this area. The Applicant has proposed relocating 13 previously planted woodland replacement trees from the area of the proposed storm basin to the roadside of the Haggerty Road right-of-way. These trees will be placed within the right-of-way and beyond the

setbacks of any potential future building and will not be disturbed by future development. The trees will further buffer the building and must be maintained in perpetuity.

Please also note that the proposed building is approximately 480' from the traveled way of Haggerty, allowing for buffering by distance.

Staff recommends that the Applicant place evergreen plantings at the east side of the proposed building to further buffer the loading area. These plantings could be placed along the east boundary of the property at the pavement edge to further bolster the buffer.

2. It appears that a previously installed street tree is in conflict with the emergency access road. This tree will need to be relocated on the site.

General

1. Twenty five foot clear site lines are required at points of access. Canopy trees may be allowed within the clearance provided they are pruned up to a height of six feet. This requirement appears to have been met. Please depict the clearance areas on the plan.
2. Snow storage areas must be shown on the plan.
3. All Planted areas are required to be irrigated. An irrigation plan must be submitted with the final stamping set.

Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification.

Reviewed by: David R. Beschke, RLA

FAÇADE REVIEW



May 29, 2014

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Director of Community Development

Re: **FACADE ORDINANCE – Pre Application Meeting**
American Tire, PSP14-0073

Façade Region: 1, Zoning District: I-1, Building Size: 125,000 S.F.

Dear Ms. McBeth:

The following is the Façade Review for Final Site Plan Approval of the above referenced project based on the drawings prepared by M+H Architects, dated 5/5/14. The percentages of materials proposed for each façade are as shown on the table below. The maximum percentages allowed by the Schedule Regulating Façade Materials of Ordinance Section 2520 are shown in the right hand column. Materials in non-compliance with the Façade Schedule, if any, are highlighted in **bold**. The applicant has provided a façade material sample board indicating carefully coordinated colors for all materials.

	North	East	South	West	Ordinance Maximum (Minimum)
Brick	20%	20%	32%	48%	100% (30% Min)
Precast Concrete, Painted (EP-1 & EP-2)	79%	79%	67%	52%	0%
Flat Metal Panels (Canopy)	1%	1%	1%	0%	50%

As shown above the percentage of Painted Precast Concrete exceeds the maximum amount allowed by the Ordinance on all facades and the minimum amount of Brick is not provided on the east and north facades. The percentage of brick is in compliance on the south and west facades. The east façade, which will be highly visible from Haggerty Rd., has slightly less than the required percentage of brick (20% vs. 30%). This façade contains numerous loading dock and overhead doors. A 13’ high brick belt has been placed directly above the doors across the entire façade. It should be noted that the east façade will most likely be obscured from Haggerty Rd. by another building in the future.

The north façade will be screened from view by natural features located on the north side of the property.

In response to comments provided during the pre-application process, the applicant has added several vertical features to the west façade and lowered the brick to grade level. This together with the alternate treatment of the office areas located at the south-west and south-east corners of the building provides articulation of the long façade expanses and adds interest to the west and south facades.

Recommendation –It is our recommendation that the design is consistent with the intent and purpose of the Façade Ordinance and the Section 9 Waiver be granted for the overage of Precast Concrete Panels and underage of Brick. This recommendation is contingent upon the following conditions;

1. The dumpster enclosure is proposed to be precast concrete panels. This should be revised to brick to match the building.
2. Haggerty Road is significantly elevated relative to the proposed building raising a concern about the visibility of roof top equipment. The applicant has provided a diagram which appears to indicate that roof top equipment will not be visible; however the height of the roof top equipment is not shown. The applicant should note that all roof top equipment must be screened from view from all possible vantage points.

Notes to the Applicant: Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board will be compared to materials delivered to the site. Also the visibility of roof top equipment will be checked. It is the applicant's responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department's Online Inspection Portal with the following link. Please click on "Click here to Request an Inspection" under "Contractors", then click "Façade".

<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

If you have any questions regarding this project please do not hesitate to call.

Sincerely,
DRN & Associates, Architects PC



Douglas R. Necci, AIA

FIRE REVIEW



April 15, 2014

May 12, 2014

TO: Barbara McBeth- Deputy Director of Community Development
Kristen Kapelanski- Plan Review Center
Sara Roediger- Plan Review Center

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
Dave Staudt

Gwen Markham

Andrew Mutch

Justin Fischer

Wayne Wrobel

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Interim City Manager
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Assistant Chief of Police
Victor C.M. Lauria

Assistant Chief of Police
Jerrod S. Hart

RE: American Tire Distributors

PSP#14-0050

PSP#14-0073

Project Description: A 125,000 SQ. Ft. Warehouse located on Regency DR. in section #24

Comments:

- 1) All storage must comply with IFC 2006 and MBC 2009.
- 2) Hydrants shall be spaced approximately three hundred (300) feet apart on line in commercial, industrial, and multiple-residential areas.
- 3) Proximity to hydrant: In any building or structure required to be equipped with a fire department connection, the connection shall be located within one hundred (100) feet of a fire hydrant. **(Fire Prevention Ord. Sec. 15-17)**
- 4) Entrances to public and private roadways shall not have locked gates, cables or barricades that would impede fire apparatus response. **(Fire Prevention Ord.)**
- 5) Prior to construction above the foundation of non-residential buildings, an all-weather access road capable of supporting 35 tons shall be provided. Note this on all plans.

Recommendation:

- 1) A full storage plan must be submitted for review including the product, amount, and storage configuration of racks and storage height. **(2006 IFC, Section 23) 5/12/14 Current Submittal does not include storage height.**
- 2) Provide a fire hydrant every 300'.
- 3) With respect to hydrants, driveways, buildings and landscaping, fire department connections shall be so located that fire apparatus and hose connected to supply the system will not obstruct access to the buildings for other fire apparatus. The location of fire department connections shall be within 100" of a hydrant.
- 4) If gates are to be used to secure driveways they must


Novi Public Safety Administration
45125 W. Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

conform to city standards, locks must be approved by the Fire Department.

- 5) Confirm all Access roadways and parking lots meet the standard, Type of surface on North access drive unknown.

Sincerely,

A handwritten signature in black ink, appearing to read "Joe Shelton". The signature is written in a cursive style with a large initial "J" and "S".

Joseph Shelton- Fire Marshal
City of Novi – Fire Dept.

cc: file

APPLICANT RESPONSE LETTER



Environmental engineers, Inc.

18620 West Ten Mile Road, Southfield, Michigan 48075 Phone: (248) 424-9510 Fax: (248) 424-2954

June 3, 2014

Ms. Sara Roediger, AICP-Planner
City of Novi Planning Department
45175 West Ten Mile Road
Novi, Michigan 48375

Re: Preliminary Site Plans for
American Tire Distributors
Warehouse Facility (JSP 14-23)

Dear Ms. Roediger:

This letter is offered in response to the Plan Review Center Report for the above referenced project dated May 29, 2014. Our specific comments to the items discussed in the report are as follows:

Planning Review

- 1.) Noise Impact Statement: A statement was placed in the Proposed Site Improvements notes on Sheet SP-1 stipulating that the noise levels from activities on the site will not exceed the maximum allowed by the zoning ordinance for the Light Industrial use. Any significant noise generated by the proposed warehouse operation will likely originate from truck or high-low operation. Since the specific equipment and vehicles to be used are unknown at this point, we would request a waiver from the noise impact statement requirements of Section 2519.10.C.
- 2.) Rooftop Equipment: The rooftop equipment will be shown on the Building Floor Plan and additionally on the South and East Elevations. The rooftop equipment will be screened, if needed, in accordance with Section 2503.E.2.
- 3.) Parking in Front Yard: We request the Planning Commission permit the two spaces within the front yard to be screened by a 2.5 foot tall landscape berm.
- 4.) Parking Spaces: A letter from the proposed building user has been requested documenting the stated maximum of 20 employees at the facility. The parking space requirement was determined from the usable floor area. The zoning ordinance definition of usable floor area specifically excludes "floor area which is to be used or intended to be

used principally for the storage or processing of merchandise, hallways, or for utilities or sanitary facilities." The calculations shown subtracted the racking space, pump room and restrooms. Building areas that can be subtracted from the parking calculations will be designated on the Building Floor Plan and a new table/legend added to help describe the locations and area square footages.

- 5.) Landbanked Parking: The applicant believes the 54 parking spaces proposed will be more than adequate for any warehousing operation which might occur within the building. The landbanked parking is being shown within a portion of the currently proposed loading area because the need for the additional parking would only arise if the building use were to change. In such an event, the majority of the currently proposed loading area would not be required. We therefore request the proposed landbanked parking area be allowed as shown.
- 6.) Loading Spaces: Ultimately, any future building on the remainder of Unit 2 should help screen the proposed loading spaces, as shown on Sheet A.3.1. Given the height of Haggerty Road, the placement of the additional relocated trees along the right-of-way, as indicated on Sheet L-1, is likely to be more effective than placing trees along the easterly property line. The applicant will comply with the desires of the Planning Commission on this issue.
- 7.) Sidewalk: A note will be added to the plans stipulating that a 6 foot concrete sidewalk along Haggerty Road will be required by the developer of the remainder of Unit 2.
- 8.) Dumpster: The trash enclosure will be shifted 5 feet to the west as requested and will be revised to show brick to match the warehouse building.
- 9.) Condominium Amendment: The requirement for a Master Deed Amendment to divide Unit 2 and to reflect the proposed easements layout is acknowledged.
- 10.) Access to Future Unit 2: The future access to the remainder of Unit 2 by way of the proposed shared access easement is acknowledged.

- 11.) The requirements for the response letter, a City of Novi address application and a Pre-Construction Meeting are also acknowledged.

Engineering Review

- 1-30.) These items are acknowledged and will be addressed at the time of the project Final Site Plan Submittal.
- 31-40.) These items are acknowledged and will be addressed at the time of the project Stamping Set Submittal.
- 1-19.) These items are acknowledged and will be addressed prior the project construction.

Traffic Review

- 1-19.) These items are acknowledged and will be addressed at the time of the project Final Site Plan Submittal.

Landscape Review

These items are acknowledged and will be addressed at the time of the project Final Site Plan Submittal.

Facade Review

- 1.) The trash enclosure will be revised to show brick to match the warehouse building.
- 2.) The height of the rooftop equipment will be indicated on the Building Elevations to show the equipment designed for the office space will not be seen from any side of the building. The rooftop equipment will be shown on all Building Elevations.

Fire Marshall Review

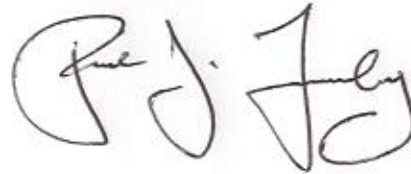
These items are acknowledged and will be addressed at the time of the project Final Site Plan Submittal.

Preliminary Site Plans for
American Tire Distributors
Warehouse Facility (JSP 14-23)
June 3, 2014
Page 4

Hopefully this letter has sufficiently addressed the items discussed in the Preliminary Site Plan Review Center Report. We look forward to appearing before the Planning Commission at their upcoming June 11 meeting.

Very truly yours,

ENVIRONMENTAL ENGINEERS, INC.

A handwritten signature in black ink, appearing to read "Paul J. Lewsley". The signature is stylized with a large initial "P" and a prominent "L".

Paul J. Lewsley, P.E., LEED AP
President

Ee# 1411
Cc: Damon Zvoch
Mark Farmer