



MANDO PARKING LOT EXPANSION JSP24-11

MANDO PARKING LOT EXPANSION - JSP24-11

Public Hearing at the request of Tower Construction LLC, for the Mando Parking Lot Expansion JSP24-11 for Preliminary Site Plan, Woodland Permit and Stormwater Management Plan approval. The subject parcel is zoned I-1, Light Industrial and is located east of Hudson Drive and south of Hexagon Way in the Beck North Corporate Park. The applicant proposes to construct a new 37-space employee parking lot and is seeking approval to remove 53 regulated woodland trees.

Required Action

Approve/Deny the Preliminary Site Plan, Woodland Permit, and Stormwater Management Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	07.18.24	PC finding that the proposed parking lot in the front yard is compatible with surrounding development. Items to be addressed by the applicant prior to Final Site Plan approval
Engineering	Approval of PSP, Denial of FSP	07.18.24	Items to be addressed by the applicant prior to Final Site Plan Approval
Landscape	Approval Recommended	07.11.24	PC waiver for the lack of greenbelt landscaping east of the entrance drive on Hexagon Way in order to preserve existing vegetation. Items to be addressed by the applicant prior to Final Site Plan approval
Woodland/ Wetland	Approval Recommended	07.15.24	A Woodland Permit is required for the removal of 53 regulated trees, requiring 72 replacement trees.
Traffic	Approval Recommended	07.15.24	Approval Recommended
Fire	Approval Recommended	07.10.24	Approval Recommended

MOTION SHEET:

Approval – Preliminary Site Plan

In the matter of Mando Parking Lot Expansion JSP24-11, motion to approve the Preliminary Site Plan based on and subject to the following:

- a. The Planning Commission finds that the parking area and lighting is compatible with surrounding development, *as the existing vegetation provides an adequate buffer from Hexagon Way.*
- b. Planning Commission waiver for the lack of greenbelt landscaping for the area east of the Hexagon Way in order to preserve the existing vegetation *subject to the required street trees being planted east of the access drive.*
- c. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
- d. (additional conditions here, if any)

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

– AND –

Approval – Woodland Permit

In the matter of Mando Parking Lot Expansion JSP24-11, motion to approve the Woodland Permit based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. (additional conditions here if any)

(This motion is made because the plan is otherwise in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

– AND –

Approval – Stormwater Management Plan

In the matter of Mando Parking Lot Expansion JSP24-11, motion to approve the Stormwater Management Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. (additional conditions here if any)

(This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

– OR –

Denial – Preliminary Site Plan

In the matter of Mando Parking Lot Expansion JSP24-11, motion to deny the Preliminary Site Plan...
(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

– AND –

Denial – Woodland Permit

In the matter of Mando Parking Lot Expansion JSP24-11, motion to deny the Woodland Permit...
(because the plan is not in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

– AND –

Denial – Stormwater Management Plan

In the matter of Mando Parking Lot Expansion JSP24-11, motion to deny the Stormwater Management Plan...
(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)


MAPS
Location, Zoning, Future Land Use & Natural Features

JSP24-11: MANDO PARKING LOT EXPANSION

LOCATION MAP



LEGEND

 Subject Property



City of Novi

Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Heather Zeigler
Date: 8/6/2024
Project: JSP24-11: Mando Parking Lot Expansion
Version #: 1

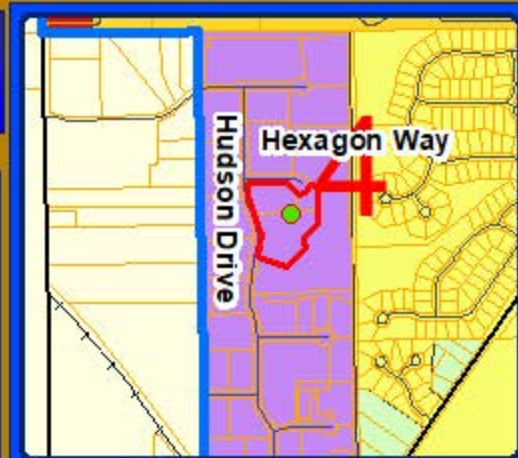
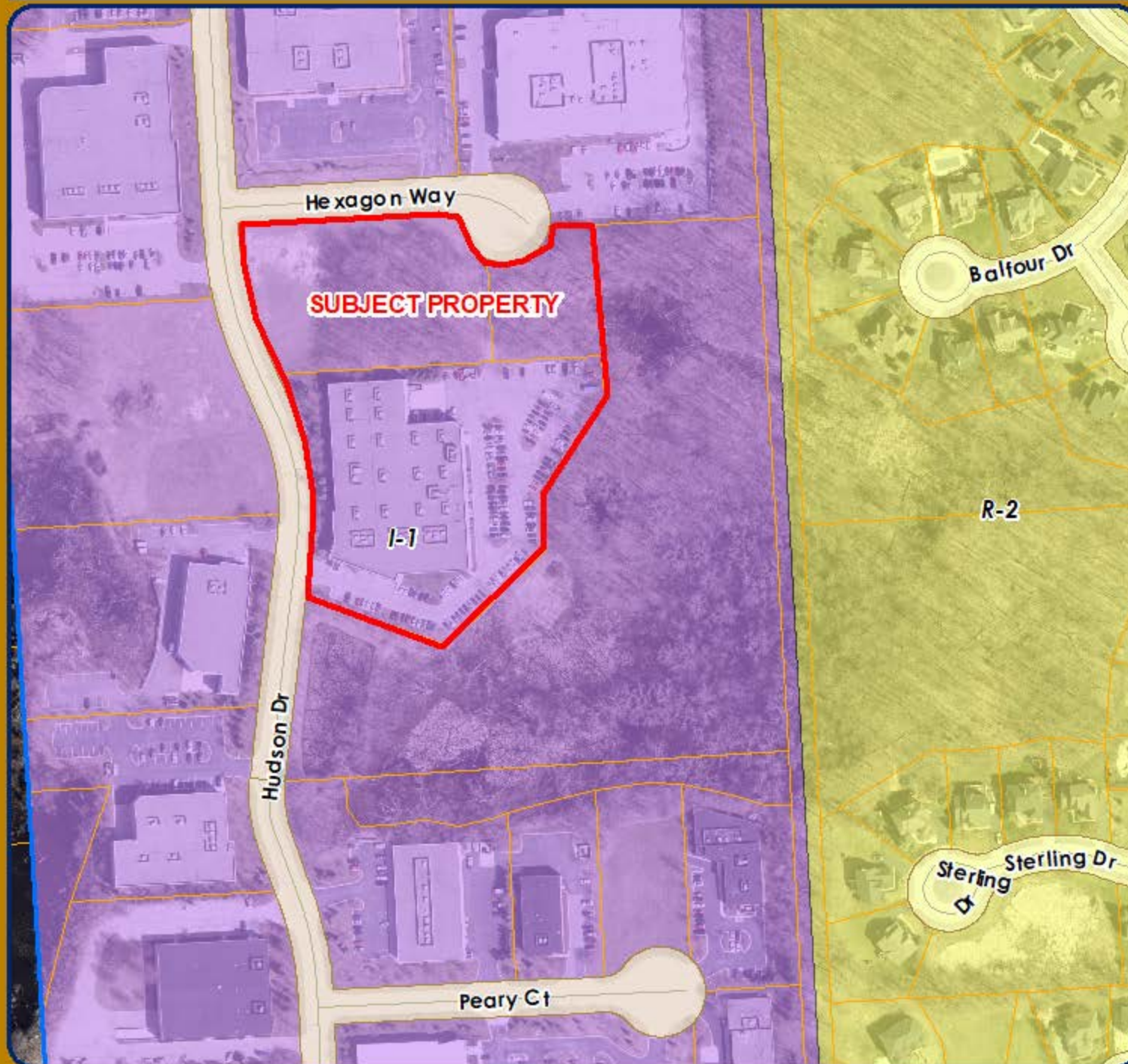


MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

JSP24-11: MANDO PARKING LOT EXPANSION

ZONING MAP



LEGEND

- R-A: Residential Acreage
- R-2: One-Family Residential
- RM-1: Low-Density Multiple Family
- B-3: General Business District
- I-1: Light Industrial District
- Subject Property



City of Novi

Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Heather Zeigler
Date: 8/6/2024
Project: JSP24-11: Mando Parking Lot Expansion
Version #: 1



1 inch = 244 feet

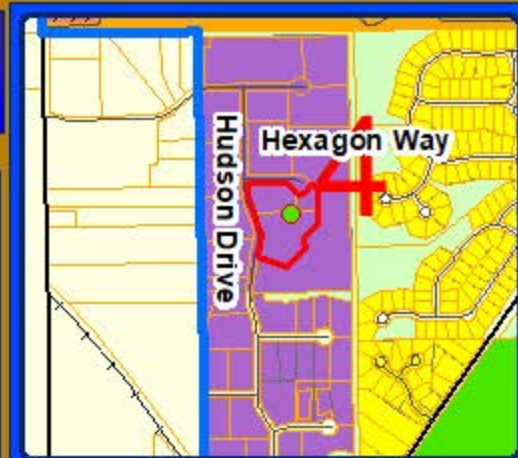
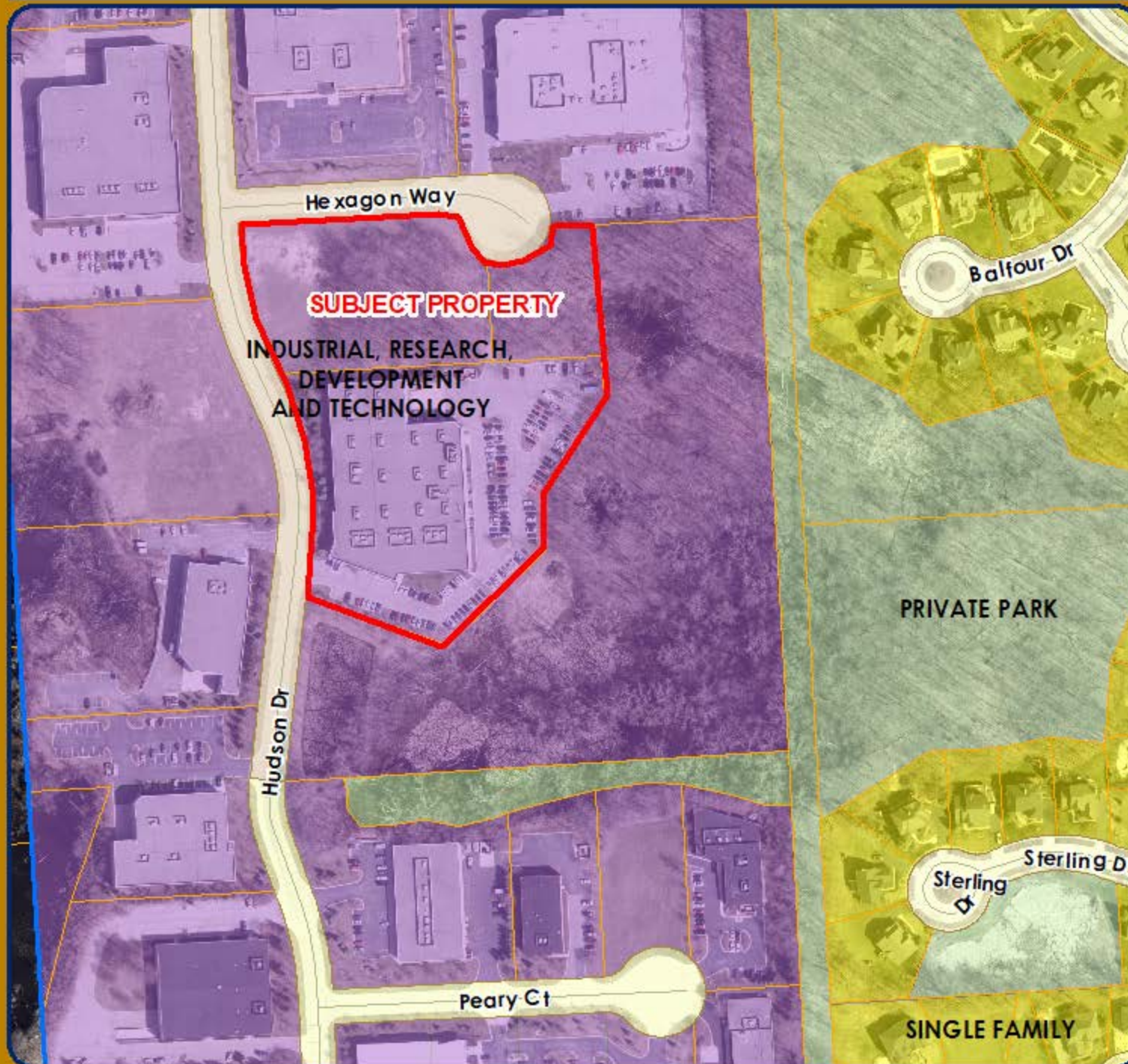


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JSP24-11: MANDO PARKING LOT EXPANSION

FUTURE LAND USE MAP



LEGEND

- Single Family
- Multiple-Family Residential
- Industrial, Research, Development and Technology
- Community Commercial
- Public Park
- Private Park
- Subject Property



City of Novi

Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

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1 inch = 244 feet



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JSP24-11: MANDO PARKING LOT EXPANSION

NATURAL FEATURES MAP



LEGEND

- WETLANDS
- WOODLANDS
- Subject Property



City of Novi

Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Heather Zeigler
Date: 8/6/2024
Project: JSP24-11: Mando Parking Lot Expansion
Version #: 1



1 inch = 244 feet



MAP INTERPRETATION NOTICE

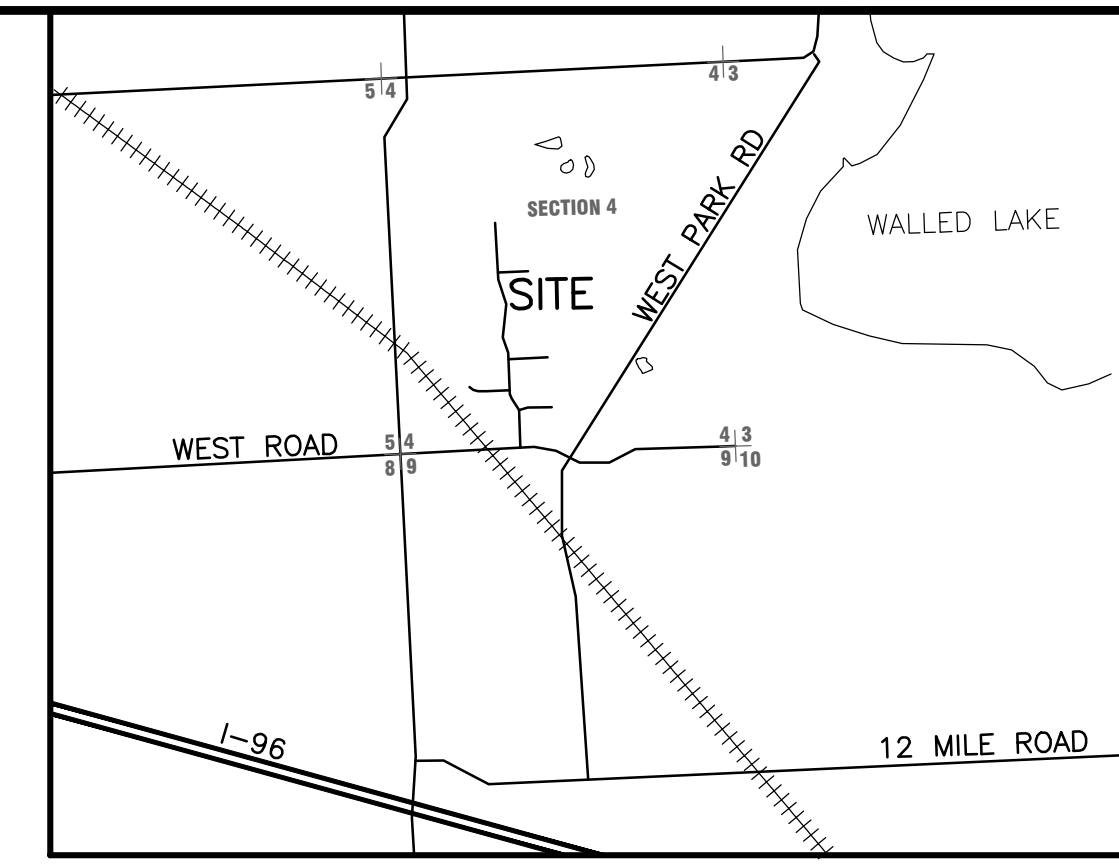
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SITE PLANS

MANDO PARKING LOT EXPANSION

SOUTHEAST CORNER OF HUDSON DRIVE AND HEXAGON WAY

PRELIMINARY SITE PLAN



APPLICANT/OWNER:
 MANDO AMERICA CORP.
 29930 HUDSON DRIVE
 NOVI, MI 48377

SURVEYOR/ENGINEER:
 ALPINE ENGINEERING, INC.
 46892 WEST ROAD, SUITE 109
 NOVI, MI 48377
 PHONE: (248) 926-3701
 FAX: (248) 926-3765
 CONTACT: SHILOH DAHLIN

LANDSCAPE ARCHITECT:
 ALLEN DESIGN
 557 CARPENTER
 NORTHVILLE, MI 48167
 PHONE: (248) 467-4668
 CONTACT: JIM ALLEN

ORIGINAL LEGAL DESCRIPTIONS:

- PARCEL NO. 22-04-378-030
 TOWN 1 NORTH, RANGE 8 EAST, SECTION 4 OAKLAND COUNTY CONDOMINIUM PLAN NO 1759 BECK NORTH CORPORATE PARK UNIT 36 LIBER 35825 PAGE 628
- PARCEL NO. 22-04-378-031
 TOWN 1 NORTH, RANGE 8 EAST, SECTION 4 OAKLAND COUNTY CONDOMINIUM PLAN NO 1759 BECK NORTH CORPORATE PARK UNIT 37 LIBER 35825 PAGE 628
- PARCEL NO. 22-04-378-029
 TOWN 1 NORTH, RANGE 8 EAST, SECTION 4 OAKLAND COUNTY CONDOMINIUM PLAN NO 1759 BECK NORTH CORPORATE PARK UNIT 35 LIBER 35825 PAGE 628

RESULTANT LEGAL DESCRIPTION

UNITS 35 THROUGH 37, BECK NORTH CORPORATE PARK, OAKLAND COUNTY CONDOMINIUM PLAN NO. 1759, RECORDED IN LIBER 35825, PAGE 628, O.C.R., BEING A PART OF SECTION 4, TOWN 1 NORTH, RANGE 8 EAST, OAKLAND COUNTY, MICHIGAN ALSO BEING DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID UNIT 36; THENCE S89°22'29"E 333.74 FEET; THENCE 56.64 FEET ALONG A CURVE TO THE RIGHT, RADIUS 42.00 FEET, CHORD S51°14'21"E 52.45 FEET; THENCE 200.78 FEET ALONG A CURVE TO THE LEFT, RADIUS 76.00 FEET, CHORD S88°17'11"E 147.28 FEET; THENCE S89°34'14"E 76.52 FEET; THENCE S00°08'08"W 234.88 FEET; THENCE S35°19'50"W 195.87 FEET; THENCE S00°08'08"W 88.16 FEET; THENCE S49°41'31"W 230.21 FEET; THENCE N67°16'09"W 251.46 FEET; THENCE N09°53'28"E 95.86 FEET; THENCE 227.91 FEET ALONG A CURVE TO THE LEFT, RADIUS 430.00 FEET, CHORD N05°17'35"W 225.25 FEET; THENCE N20°28'37"W 104.72 FEET; THENCE 204.96 FEET ALONG A CURVE TO THE RIGHT, RADIUS 570.00 FEET, CHORD N10°10'33"W 203.86 FEET; THENCE N00°07'31"E 15.67 FEET TO THE POINT OF BEGINNING, CONTAINING 7.29 ACRES OF LAND AND BEING SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

TRAFFIC SIGNING REQUIREMENTS

ITEM	MUNICOD CODE	QUANTITY	SIZE	DESCRIPTION
(A)	R1-1	1	30"x30"	STOP

SITE DATA:

PARCEL ID# 22-04-378-030 & -031
 SITE AREA: ±3.10 ACRES
 CURRENT ZONING= I-1 LIGHT INDUSTRIAL
 REQUIRED SETBACKS- 40' FRONT
 20' EACH SIDE
 20' REAR

NORTHERN YARD PARKING CALCULATIONS
 • NORTHERN YARD AREA: 111,823 S.F.
 • NORTHERN YARD PARKING SPACE AREA: 6,051 S.F.
 • NORTHERN YARD PARKING OCCUPANCY: 5%

EXISTING BUILDING:
 2 STORY OFFICE ±28,600 S.F.
 1ST FLOOR R&D ±47,900 S.F.
 TOTAL ±76,500 S.F.

EXISTING PARKING:
 158 PARKING SPACES (INCLUDING 6 ADA PARKING SPACES)

PROPOSED ADDITIONAL PARKING:
 37 PARKING SPACES

TOTAL PARKING: 195 SPACES

SHEET INDEX:

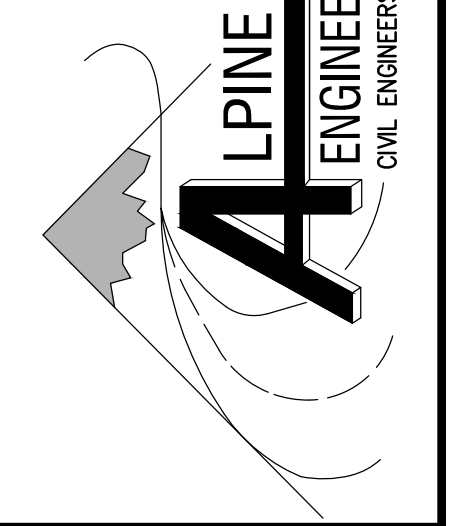
- PRELIMINARY SITE PLAN
- TOPOGRAPHIC SURVEY
- PRELIMINARY GRADING PLAN
- PRELIMINARY UTILITY PLAN
- PRELIMINARY STORM WATER MANAGEMENT PLAN
- TRUCK CIRCULATION AND SIGHT DISTANCE PLAN
- LANDSCAPE PLAN (PREPARED BY ALLEN DESIGN)
- LANDSCAPE DETAILS (PREPARED BY ALLEN DESIGN)
- WOODLAND PLAN (PREPARED BY ALLEN DESIGN)
- TREE LIST (PREPARED BY ALLEN DESIGN)

CITY OF NOVI PROJECT#24-05
 NOT FOR CONSTRUCTION

COMMERCIAL
 SITE PLANNING
 SITE ENGINEERING
 INDUSTRIAL & MULTI-UNIT
 LAND SURVEYING
 CONSTRUCTION LAYOUT

SURVEYING
 ALTA SURVEYS
 BOUNDARY SURVEYS
 TOPOGRAPHIC SURVEYS
 PARCEL SPLITS
 CONSTRUCTION LAYOUT

RESIDENTIAL
 SUBDIVISIONS
 SITE CONDOMINIUM
 MULTI-FAMILY
 PLOT PLANS
 CONSTRUCTION LAYOUT



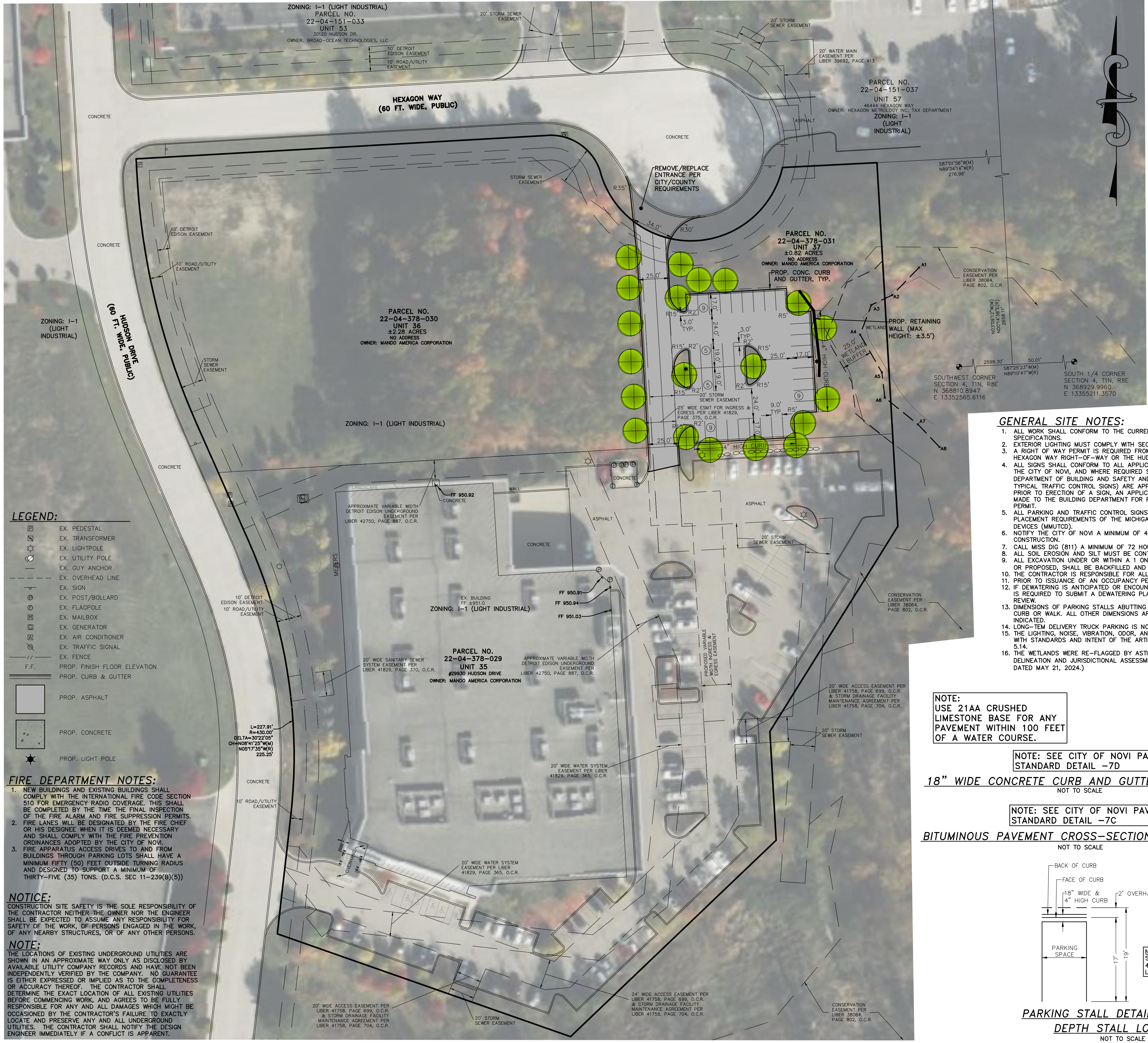
Know what's below
 Call before you dig.

TOWER CONSTRUCTION
PRELIMINARY SITE PLAN
 (COLOR RENDERING)
 CLIENT:
 UNIT 36 AND 37
 TOWNSHIP: 1 N
 CITY OF NOVI
 OAKLAND COUNTY
 MICHIGAN
 SECTION: 4
 RANGE: 8 E

REVISED
 2024-05-16 PER CLIENT
 2024-06-14 PSP SUBMITTAL

DATE: 2024-03-12
 DRAWN BY: SD
 CHECKED BY: TG

FBK: 430
 CHF: BK
 SCALE: HOR 1"=40 FT.
 VER 1"=165.5 FT.



GENERAL SITE NOTES:

- ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.
- EXTERIOR LIGHTING MUST COMPLY WITH SECTION 2511 OF THE CITY OF NOVI CODE.
- A RIGHT OF WAY PERMIT IS REQUIRED FROM THE CITY OF NOVI FOR ANY WORK IN THE HEXAGON WAY RIGHT-OF-WAY OR THE HUDSON DRIVE RIGHT-OF-WAY.
- ALL SIGNS SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES (CHAPTER 28) OF THE CITY OF NOVI, AND WHERE REQUIRED SHALL BE RENEWED AND APPROVED BY THE DEPARTMENT OF BUILDING AND SAFETY AND A PERMIT ISSUED. NO SIGNS (OTHER THAN TYPICAL TRAFFIC CONTROL SIGNS) ARE APPROVED AS PART OF THIS SITE PLAN APPROVAL PRIOR TO ERECTION OF A SIGN, AN APPLICATION AND APPROPRIATE SUBMISSIONS SHALL BE MADE TO THE BUILDING DEPARTMENT FOR REVIEW, APPROVAL AND ISSUANCE OF A SIGN PERMIT.
- ALL PARKING AND TRAFFIC CONTROL SIGNS SHALL COMPLY WITH THE CURRENT DESIGN AND PLACEMENT REQUIREMENTS OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).
- NOTIFY THE CITY OF NOVI A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- CALL MISS DIG (811) A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- ALL SOIL EROSION AND SILT MUST BE CONTROLLED AND CONTAINED ON-SITE.
- ALL EXCAVATION UNDER OR WITHIN A 1 ON 1 INFLUENCE OF PUBLIC PAVEMENT, EXISTING OR PROPOSED, SHALL BE BACKFILLED AND COMPACTED WITH SAND (CLASS II MDOT).
- THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES.
- PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT, ENGINEERING SITE INSPECTION IS REQUIRED.
- IF DEWATERING IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION THE CONTRACTOR IS REQUIRED TO SUBMIT A DEWATERING PLAN TO THE CITY ENGINEERING DIVISION FOR REVIEW.
- DIMENSIONS OF PARKING STALLS ABUTTING A CURB OR SIDEWALK ARE TO THE FACE OF CURB OR WALK. ALL OTHER DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE INDICATED.
- LONG-TERM DELIVERY TRUCK PARKING IS NOT PERMITTED.
- THE LIGHTING, NOISE, VIBRATION, ODOR, AND OTHER POSSIBLE IMPACTS ARE IN COMPLIANCE WITH STANDARDS AND INTENT OF THE ARTICLE AND PERFORMANCE STANDARDS OF SECTION 5.14.
- THE WETLANDS WERE RE-FLAGGED BY ASTI ENVIRONMENTAL REFER TO THE WETLAND DELINEATION AND JURISDICTIONAL ASSESSMENT (PREPARED BY ASTI ENVIRONMENTAL AND DATED MAY 21, 2024.)

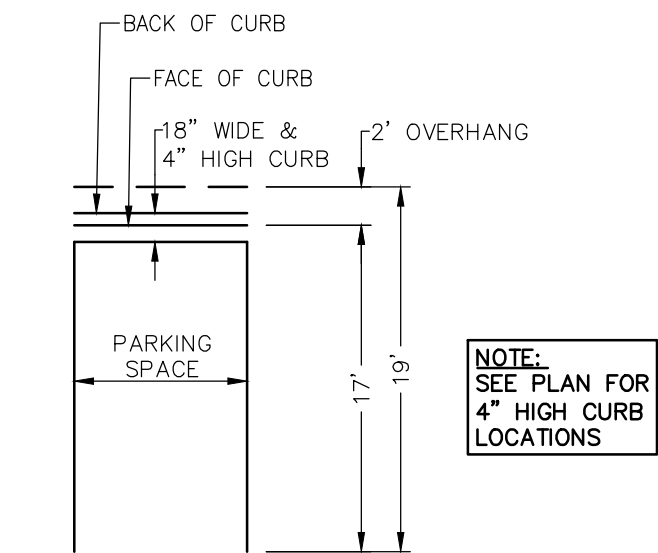
NOTE:
 USE 21AA CRUSHED
 LIMESTONE BASE FOR ANY
 PAVEMENT WITHIN 100 FEET
 OF A WATER COURSE.

NOTE: SEE CITY OF NOVI PAVING
 STANDARD DETAIL -7D

18" WIDE CONCRETE CURB AND GUTTER (ON-SITE)
 NOT TO SCALE

NOTE: SEE CITY OF NOVI PAVING
 STANDARD DETAIL -7C

BITUMINOUS PAVEMENT CROSS-SECTION (ON-SITE)
 NOT TO SCALE



PARKING STALL DETAIL AT REDUCED DEPTH STALL LOCATIONS
 NOT TO SCALE

LEGEND:

- EX. PEDESTAL
- EX. TRANSFORMER
- EX. LIGHTPOLE
- EX. UTILITY POLE
- EX. GUY ANCHOR
- EX. OVERHEAD LINE
- EX. SIGN
- EX. POST/BOLLARD
- EX. FLAGPOLE
- EX. MAILBOX
- EX. GENERATOR
- EX. AIR CONDITIONER
- EX. TRAFFIC SIGNAL
- EX. FENCE
- F.F. PROP. FINISH FLOOR ELEVATION
- PROP. CURB & GUTTER
- PROP. ASPHALT
- PROP. CONCRETE
- PROP. LIGHT POLE

FIRE DEPARTMENT NOTES:

- NEW BUILDINGS AND EXISTING BUILDINGS SHALL COMPLY WITH THE INTERNATIONAL FIRE CODE SECTION 510 FOR EMERGENCY RADIO COVERAGE. THIS SHALL BE COMPLETED BY THE TIME THE FINAL INSPECTION OF THE FIRE ALARM AND FIRE SUPPRESSION PERMITS. FIRE LANES WILL BE DESIGNATED BY THE FIRE CHIEF OR HIS DESIGNEE WHEN IT IS DEMAILED NECESSARY AND SHALL COMPLY WITH THE FIRE PREVENTION ORDINANCES ADOPTED BY THE CITY OF NOVI.
- FIRE APPARATUS ACCESS DRIVES TO AND FROM BUILDINGS THROUGH PARKING LOTS SHALL HAVE A MINIMUM FIFTY (50) FEET OUTSIDE TURNING RADIUS AND BE DESIGNED TO SUPPORT A MINIMUM OF THIRTY-FIVE (35) TONS. (D.C.S. SEC 11-239(B)(5))

NOTICE:

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

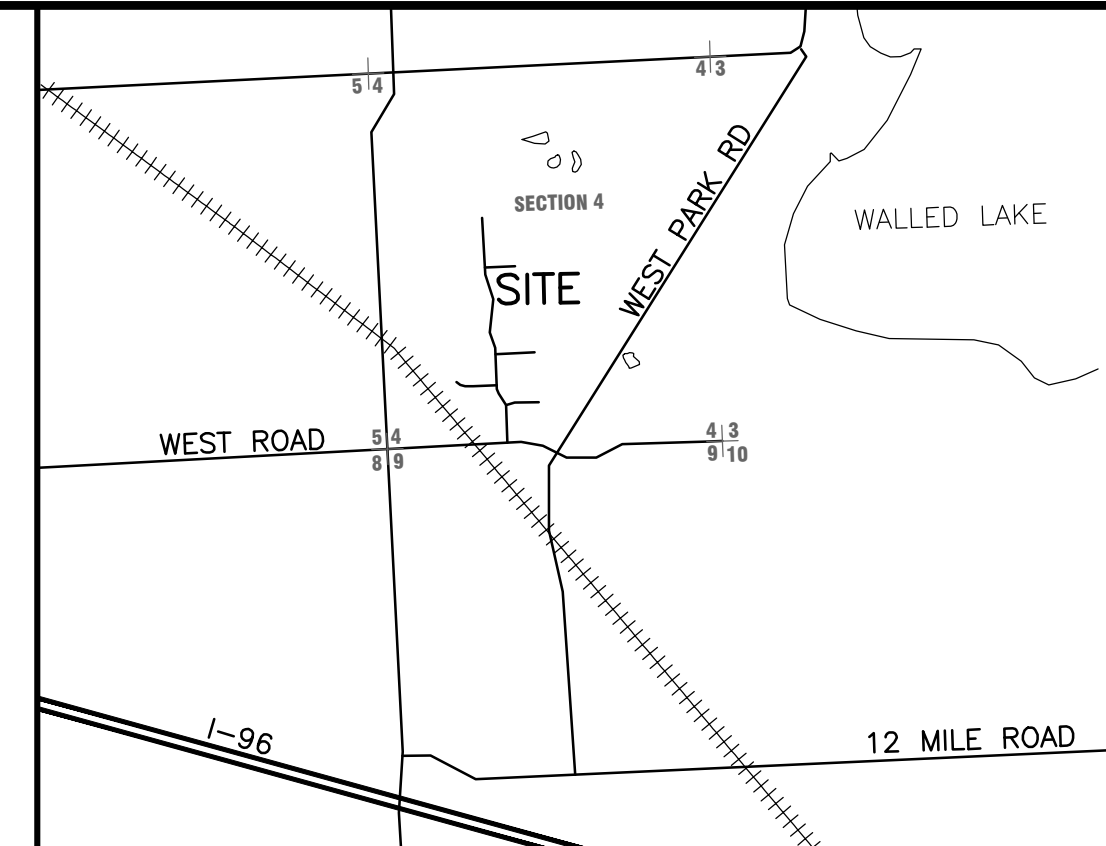
NOTE:

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

MANDO PARKING LOT EXPANSION

SOUTHEAST CORNER OF HUDSON DRIVE AND HEXAGON WAY

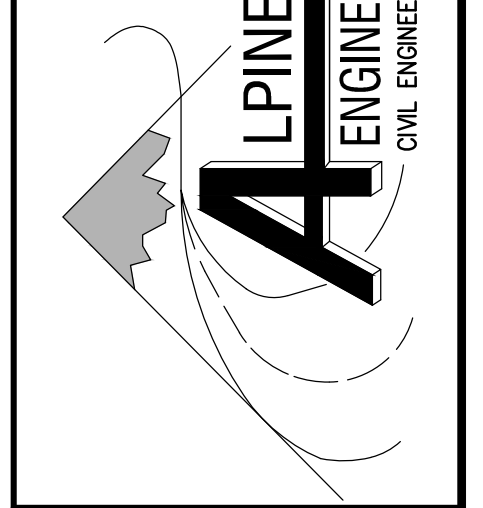
PRELIMINARY SITE PLAN



COMMERCIAL
SITE PLANNING
SITE ENGINEERING
INDUSTRIAL & MULTI-UNIT
LAND SURVEYING
CONSTRUCTION LAYOUT

SURVEYING
ALTA SURVEYS
BOUNDARY SURVEYS
TOPOGRAPHIC SURVEYS
PARCEL SPLITS
CONSTRUCTION LAYOUT

RESIDENTIAL
SUBDIVISIONS
SITE CONDOMINIUM
MULTI-FAMILY
PLOT PLANS
CONSTRUCTION LAYOUT



811
Know what's below
Call before you dig.

TOWER CONSTRUCTION

PRELIMINARY SITE PLAN

SECTION: 4
UNIT 36 AND 37
TOWNSHIP: 1 N
CITY OF NOVI
OAKLAND COUNTY
MICHIGAN

RANGE: 8 E

CLIENT: TOWER CONSTRUCTION

REVISED

2024-05-16 PER CLIENT

2024-06-14 PSP SUBMITTAL

DATE: 2024-03-12

DRAWN BY: SD

CHECKED BY: TG

FBK: 430

CHP: BK

SCALE: HOR 1"=40 FT.
VER 1"=16.5 FT.

0 20 40

1

05-165.5

APPLICANT/OWNER:
MANDO AMERICA CORP.
29930 HUDSON DRIVE
NOVI, MI 48377

SURVEYOR/ENGINEER:
ALPINE ENGINEERING, INC.
46892 WEST ROAD, SUITE 109
NOVI, MI 48377
PHONE: (248) 926-3701
FAX: (248) 926-3765
CONTACT: SHILOH DAHLIN

LANDSCAPE ARCHITECT:
ALLEN DESIGN
557 CARPENTER
NORTHVILLE, MI 48167
PHONE: (248) 467-4668
CONTACT: JIM ALLEN

ORIGINAL LEGAL DESCRIPTIONS:

- PARCEL NO. 22-04-378-030
TOWN 1 NORTH, RANGE 8 EAST, SECTION 4 OAKLAND COUNTY CONDOMINIUM PLAN NO 1759 BECK NORTH CORPORATE PARK UNIT 36 LIBER 35825 PAGE 628
- PARCEL NO. 22-04-378-031
TOWN 1 NORTH, RANGE 8 EAST, SECTION 4 OAKLAND COUNTY CONDOMINIUM PLAN NO 1759 BECK NORTH CORPORATE PARK UNIT 37 LIBER 35825 PAGE 628
- PARCEL NO. 22-04-378-029
TOWN 1 NORTH, RANGE 8 EAST, SECTION 4 OAKLAND COUNTY CONDOMINIUM PLAN NO 1759 BECK NORTH CORPORATE PARK UNIT 35 LIBER 35825 PAGE 628

RESULTANT LEGAL DESCRIPTION

UNITS 35 THROUGH 37, BECK NORTH CORPORATE PARK, OAKLAND COUNTY CONDOMINIUM PLAN NO. 1759, RECORDED IN LIBER 35825, PAGE 628, O.C.R., BEING A PART OF SECTION 4, TOWN 1 NORTH, RANGE 8 EAST, OAKLAND COUNTY, MICHIGAN ALSO BEING DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID UNIT 36; THENCE S89°22'29"E 333.74 FEET; THENCE 56.64 FEET ALONG A CURVE TO THE RIGHT, RADIUS 42.00 FEET, CHORD S51°14'21"E 52.45 FEET; THENCE 200.78 FEET ALONG A CURVE TO THE LEFT, RADIUS 76.00 FEET, CHORD S88°17'11"E 147.28 FEET; THENCE S89°34'14"E 76.52 FEET; THENCE S00°08'08"W 224.88 FEET; THENCE S35°19'52"W 195.87 FEET; THENCE S00°08'08"W 88.16 FEET; THENCE S49°41'31"W 230.21 FEET; THENCE N67°16'09"W 251.46 FEET; THENCE N09°53'28"E 95.86 FEET; THENCE 227.91 FEET ALONG A CURVE TO THE LEFT, RADIUS 430.00 FEET, CHORD N05°17'35"W 225.25 FEET; THENCE N20°28'37"W 104.72 FEET; THENCE 204.96 FEET ALONG A CURVE TO THE RIGHT, RADIUS 570.00 FEET, CHORD N10°10'33"W 203.86 FEET; THENCE N00°07'31"E 15.67 FEET TO THE POINT OF BEGINNING, CONTAINING 7.29 ACRES OF LAND AND BEING SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

TRAFFIC SIGNING REQUIREMENTS

ITEM	MUNICOD CODE	QUANTITY	SIZE	DESCRIPTION
(A)	R1-1	1	30"x30"	STOP

SITE DATA:
PARCEL ID# 22-04-378-030 & -031
SITE AREA: ±3.10 ACRES
CURRENT ZONING= I-1 LIGHT INDUSTRIAL
REQUIRED SETBACKS-- 40' FRONT
20' EACH SIDE
20' REAR

NORTHERN YARD PARKING CALCULATIONS

- NORTHERN YARD AREA: 111,823 S.F.
- NORTHERN YARD PARKING SPACE AREA: 6,051 S.F.
- NORTHERN YARD PARKING OCCUPANCY: 5%

EXISTING BUILDING:

- 2 STORY OFFICE ±28,600 S.F.
- 1ST FLOOR R&D ±74,900 S.F.
- TOTAL ±103,500 S.F.

EXISTING PARKING:

- 158 PARKING SPACES (INCLUDING 6 ADA PARKING SPACES)

PROPOSED ADDITIONAL PARKING:

- 37 PARKING SPACES

TOTAL PARKING: 195 SPACES

SHEET INDEX:

- PRELIMINARY SITE PLAN
- TOPOGRAPHIC SURVEY
- PRELIMINARY GRADING PLAN
- PRELIMINARY UTILITY PLAN
- PRELIMINARY STORM WATER MANAGEMENT PLAN
- TRUCK CIRCULATION AND SIGHT DISTANCE PLAN
- LANDSCAPE PLAN (PREPARED BY ALLEN DESIGN)
- LANDSCAPE DETAILS (PREPARED BY ALLEN DESIGN)
- WOODLAND PLAN (PREPARED BY ALLEN DESIGN)
- TREE LIST (PREPARED BY ALLEN DESIGN)

CITY OF NOVI PROJECT#24-05
NOT FOR CONSTRUCTION

GENERAL SITE NOTES:

- ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.
- EXTERIOR LIGHTING MUST COMPLY WITH SECTION 2511 OF THE CITY OF NOVI CODE.
- A RIGHT OF WAY PERMIT IS REQUIRED FROM THE CITY OF NOVI FOR ANY WORK IN THE HEXAGON WAY RIGHT-OF-WAY OR THE HUDSON DRIVE RIGHT-OF-WAY.
- ALL SIGNS SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES (CHAPTER 28) OF THE CITY OF NOVI, AND WHERE REQUIRED SHALL BE RENEWED AND APPROVED BY THE DEPARTMENT OF BUILDING AND SAFETY AND A PERMIT ISSUED. NO SIGNS (OTHER THAN TYPICAL TRAFFIC CONTROL SIGNS) ARE APPROVED AS PART OF THIS SITE PLAN APPROVAL PRIOR TO ERECTION OF A SIGN, AN APPLICATION AND APPROPRIATE SUBMISSIONS SHALL BE MADE TO THE BUILDING DEPARTMENT FOR REVIEW, APPROVAL AND ISSUANCE OF A SIGN PERMIT.
- ALL PARKING AND TRAFFIC CONTROL SIGNS SHALL COMPLY WITH THE CURRENT DESIGN AND PLACEMENT REQUIREMENTS OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- NOTIFY THE CITY OF NOVI A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- CALL MISS DIG (811) A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- ALL SOIL EROSION AND SILT MUST BE CONTROLLED AND CONTAINED ON-SITE.
- ALL EXCAVATION UNDER OR WITHIN A 1 ON 1 INFLUENCE OF PUBLIC PAVEMENT, EXISTING OR PROPOSED, SHALL BE BACKFILLED AND COMPACTED WITH SAND (CLASS II MDOT).
- THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES.
- PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT, ENGINEERING SITE INSPECTION IS REQUIRED.
- IF DEWATERING IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION THE CONTRACTOR IS REQUIRED TO SUBMIT A DEWATERING PLAN TO THE CITY ENGINEERING DIVISION FOR REVIEW.
- DIMENSIONS OF PARKING STALLS ABUTTING A CURB OR SIDEWALK ARE TO THE FACE OF CURB OR WALK. ALL OTHER DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE INDICATED.
- LONG-TERM DELIVERY TRUCK PARKING IS NOT PERMITTED.
- THE LIGHTING, NOISE, VIBRATION, ODOR, AND OTHER POSSIBLE IMPACTS ARE IN COMPLIANCE WITH STANDARDS AND INTENT OF THE ARTICLE AND PERFORMANCE STANDARDS OF SECTION 5.14.
- THE WETLANDS WERE RE-FLAGGED BY ASTI ENVIRONMENTAL REFER TO THE WETLAND DELINEATION AND JURISDICTIONAL ASSESSMENT (PREPARED BY ASTI ENVIRONMENTAL AND DATED MAY 21, 2024.)

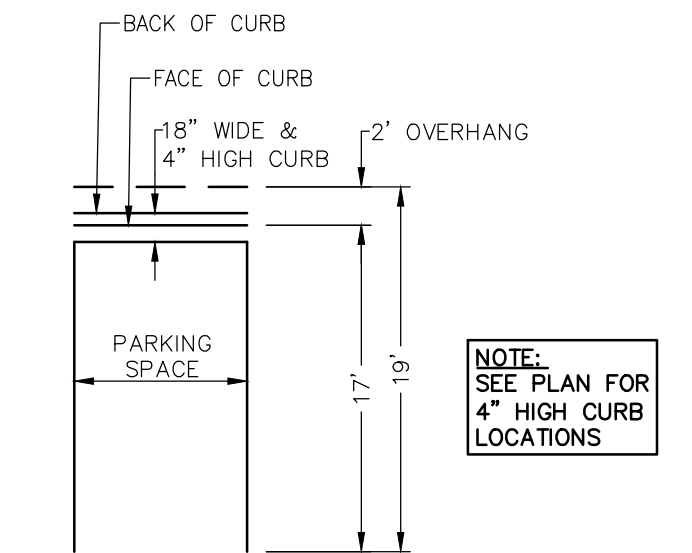
NOTE:
USE 21AA CRUSHED LIMESTONE BASE FOR ANY PAVEMENT WITHIN 100 FEET OF A WATER COURSE.

NOTE: SEE CITY OF NOVI PAVING STANDARD DETAIL -7D

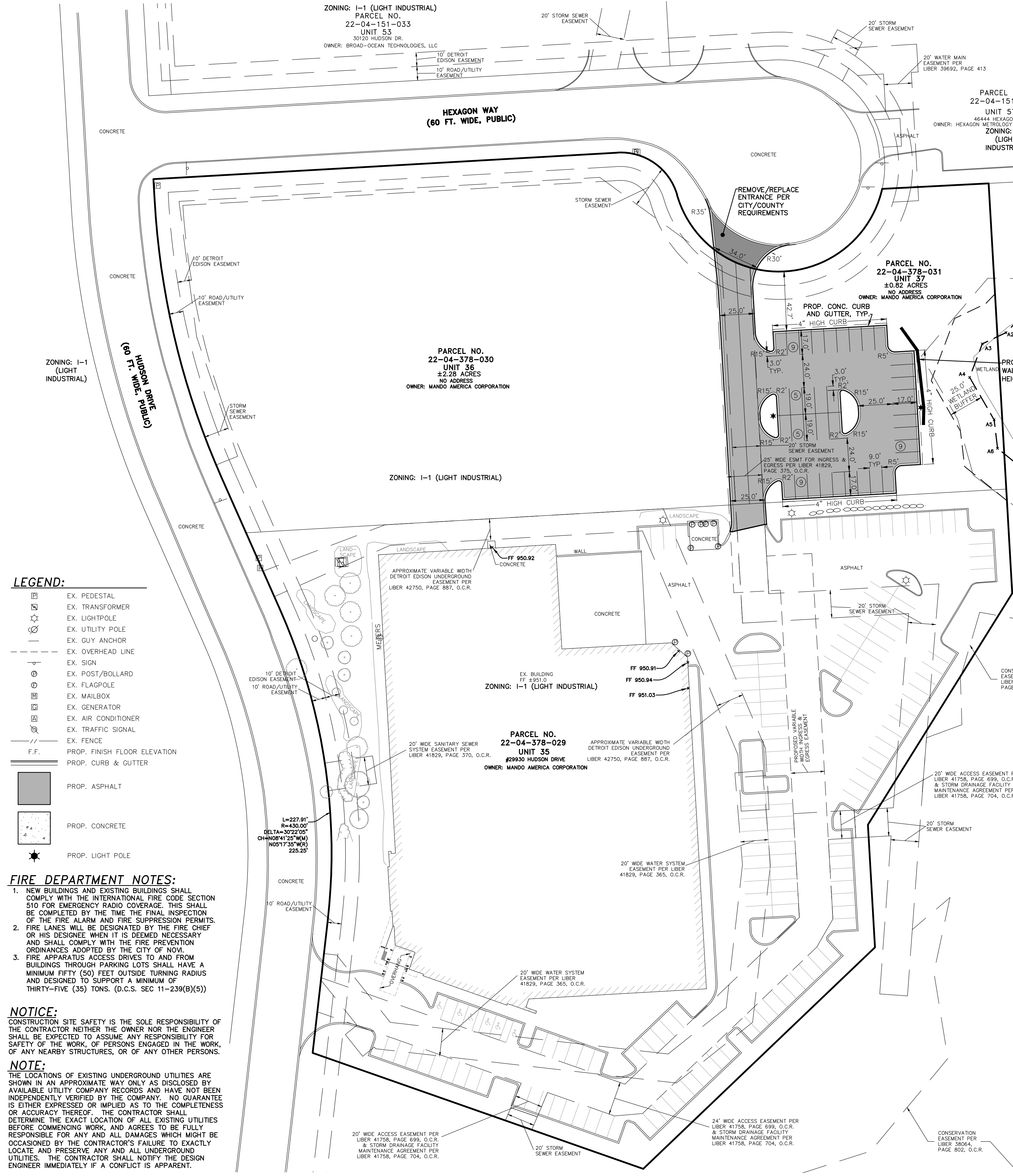
18" WIDE CONCRETE CURB AND GUTTER (ON-SITE)
NOT TO SCALE

NOTE: SEE CITY OF NOVI PAVING STANDARD DETAIL -7C

BITUMINOUS PAVEMENT CROSS-SECTION (ON-SITE)
NOT TO SCALE



PARKING STALL DETAIL AT REDUCED DEPTH STALL LOCATIONS
NOT TO SCALE



- LEGEND:**
- EX. PEDESTAL
 - EX. TRANSFORMER
 - EX. LIGHTPOLE
 - EX. UTILITY POLE
 - EX. GUY ANCHOR
 - EX. OVERHEAD LINE
 - EX. SIGN
 - EX. POST/BOLLARD
 - EX. FLAGPOLE
 - EX. MAILBOX
 - EX. GENERATOR
 - EX. AIR CONDITIONER
 - EX. TRAFFIC SIGNAL
 - EX. FENCE
 - F.F. PROP. FINISH FLOOR ELEVATION
 - PROP. CURB & GUTTER
 - PROP. ASPHALT
 - PROP. CONCRETE
 - PROP. LIGHT POLE

FIRE DEPARTMENT NOTES:

- NEW BUILDINGS AND EXISTING BUILDINGS SHALL COMPLY WITH THE INTERNATIONAL FIRE CODE SECTION 510 FOR EMERGENCY RADIO COVERAGE. THIS SHALL BE COMPLETED BY THE TIME THE FINAL INSPECTION OF THE FIRE ALARM AND FIRE SUPPRESSION PERMITS.
- FIRE LANES WILL BE DESIGNATED BY THE FIRE CHIEF OR HIS DESIGNEE WHEN IT IS DEEMED NECESSARY AND SHALL COMPLY WITH THE FIRE PREVENTION ORDINANCES ADOPTED BY THE CITY OF NOVI.
- FIRE APPARATUS ACCESS DRIVES TO AND FROM BUILDINGS THROUGH PARKING LOTS SHALL HAVE A MINIMUM FIFTY (50) FEET OUTSIDE TURNING RADIUS AND DESIGNED TO SUPPORT A MINIMUM OF THIRTY-FIVE (35) TONS. (D.C.S. SEC 11-239(B)(5))

NOTICE:
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NOTE:
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.



PARCEL NO.
22-04-151-033
UNIT 53
30150 HUDSON DR.
OWNER: BROAD-OCEAN TECHNOLOGIES, LLC

PARCEL NO.
22-04-151-037
UNIT 57
6444 HEXAGON WAY
OWNER: HEXAGON METROLOGY INC, TAX DEPARTMENT

HUDSON DRIVE
(60 FT. WIDE, PUBLIC)

HEXAGON WAY
(60 FT. WIDE, PUBLIC)

ORIGINAL LEGAL DESCRIPTIONS:

- PARCEL NO. 22-04-378-030
TOWN 1 NORTH, RANGE 8 EAST, SECTION 4 OAKLAND COUNTY CONDOMINIUM PLAN NO 1759 BECK NORTH CORPORATE PARK UNIT 36 LIBER 35825 PAGE 628
- PARCEL NO. 22-04-378-031
TOWN 1 NORTH, RANGE 8 EAST, SECTION 4 OAKLAND COUNTY CONDOMINIUM PLAN NO 1759 BECK NORTH CORPORATE PARK UNIT 37 LIBER 35825 PAGE 628
- PARCEL NO. 22-04-378-029
TOWN 1 NORTH, RANGE 8 EAST, SECTION 4 OAKLAND COUNTY CONDOMINIUM PLAN NO 1759 BECK NORTH CORPORATE PARK UNIT 35 LIBER 35825 PAGE 628

RESULTANT LEGAL DESCRIPTION

UNITS 35 THROUGH 37, BECK NORTH CORPORATE PARK, OAKLAND COUNTY CONDOMINIUM PLAN NO. 1759, RECORDED IN LIBER 35825, PAGE 628, O.C.R., BEING A PART OF SECTION 4, TOWN 1 NORTH, RANGE 8 EAST, OAKLAND COUNTY, MICHIGAN ALSO BEING DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID UNIT 36; THENCE S89°52'29"E 333.74 FEET; THENCE 56.64 FEET ALONG A CURVE TO THE RIGHT, RADIUS 42.00 FEET, CHORD S51°14'21"E 52.45 FEET; THENCE 200.78 FEET ALONG A CURVE TO THE LEFT, RADIUS 76.00 FEET, CHORD S88°17'11"E 147.28 FEET; THENCE S89°34'14"E 76.52 FEET; THENCE S00°06'08"W 294.88 FEET; THENCE S35°19'52"W 195.87 FEET; THENCE S00°08'08"W 88.16 FEET; THENCE S49°41'31"W 230.21 FEET; THENCE N67°16'09"W 251.46 FEET; THENCE N09°53'28"E 95.86 FEET; THENCE 227.91 FEET ALONG A CURVE TO THE LEFT, RADIUS 430.00 FEET, CHORD N05°17'35"W 225.25 FEET; THENCE N20°28'37"W 104.72 FEET; THENCE 204.86 FEET ALONG A CURVE TO THE RIGHT, RADIUS 570.00 FEET, CHORD N10°10'33"W 203.86 FEET; THENCE N00°07'31"E 15.67 FEET TO THE POINT OF BEGINNING, CONTAINING 7.29 ACRES OF LAND AND BEING SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

BENCHMARKS:

- BM#1 - ARROW ON HYDRANT AT SOUTHWEST CORNER OF HEXAGON WAY & HUDSON DRIVE. ELEVATION - 956.70 NAVD88
- BM#2 - ARROW ON HYDRANT ON EAST SIDE OF CUL-DE-SAC OF HEXAGON WAY BETWEEN UNITS 37 AND 57. ELEVATION - 956.53 NAVD88
- BM#3 - CITY BENCHMARK #434, "X" ON NORTH NORTHEAST FLANGE BOLT OF FIRE HYDRANT LOCATED 150 FEET NORTH OF DRIVE #2885 HUDSON DRIVE, 6 FEET EAST OF BACK OF CURB. NORTHING: 371285.1283 EASTING: 13354213.08 ELEVATION - 952.395 NAVD88

NOTES:

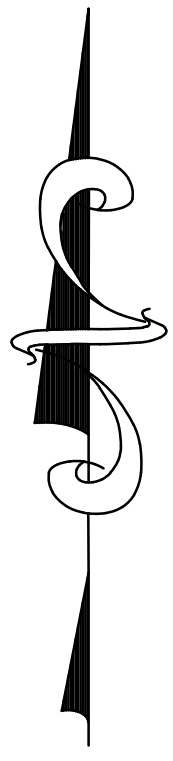
- ALL WORK TO CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY, COUNTY, AND/OR MDT.
- THE CONTRACTOR SHALL NOTIFY MISS DIG (800-482-1771) A MINIMUM OF 72 HOURS PRIOR TO START OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE CITY/COUNTY/STATE AS REQUIRED PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR TO FIELD VERIFY LOCATION, DEPTH, CONDITION, AND SIZE OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
- BEARINGS BASED ON MICHIGAN STATE PLANE COORDINATES, NAD83, MICHIGAN SOUTH ZONE
- FIELDWORK PERFORMED DURING WINTER CONDITIONS. SOME TOPOGRAPHICAL FEATURES MAY HAVE BEEN OBTAINED DUE TO THE PRESENCE OF SNOW AND/OR ICE AND MAY NOT BE SHOWN.

LEGEND:

□	EX. CATCH BASIN	—	EX. SANITARY SEWER
○	EX. MANHOLE	—	EX. STORM SEWER
△	EX. END SECTION	—	EX. WATER MAIN
⊕	EX. OVERFLOW STRUCTURE	—	EX. ELECTRIC CABLE
⊙	EX. DOWNSPOUT/ROOF DRAIN	—	EX. COMMUNICATION
⊖	EX. CLEANOUT	—	EX. GAS LINE
⊗	EX. WATER GATE VALVE	—	EX. OVERHEAD LINE
⊘	EX. HYDRANT	—	EX. SIGN
⊙	EX. WATER VALVE	⊕	EX. POST/BOLLARD
⊙	EX. WATER SHUTOFF	⊕	EX. FLAGPOLE
⊙	EX. FIRE DEPT. CONNECTION	⊕	EX. WATER WELL
⊙	EX. GAS SHUTOFF	⊕	EX. RAILROAD SIGNAL
⊙	EX. GAS VENT	⊕	EX. SATELLITE DISH
⊙	EX. ELECTRIC/GAS METER	⊕	EX. BOULDER
⊙	EX. HANDHOLE	⊕	EX. UTILITY MARKER
⊙	EX. PEDESTAL	⊕	EX. E.V. CHARGING STATION
⊙	EX. TRANSFORMER	⊕	EX. SOIL BORING
⊙	EX. LIGHTPOLE	⊕	EX. MAILBOX
⊙	EX. UTILITY POLE	⊕	EX. GENERATOR
⊙	EX. GUY ANCHOR	⊕	EX. MONITOR WELL
⊙	EX. TREE	⊕	EX. AIR CONDITIONER
⊙	EX. TREE TAG & NUMBER	⊕	EX. TRAFFIC SIGNAL
⊙	EX. TREE LINE	⊕	EX. FENCE

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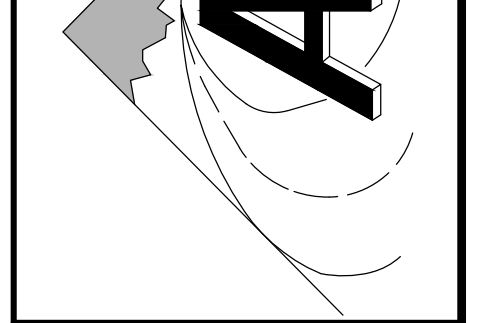
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COMMERCIAL
SITE PLANNING
SITE ENGINEERING
INDUSTRIAL & MULTI-UNIT
LAND SURVEYING
CONSTRUCTION LAYOUT

SURVEYING
ALTA SURVEYS
BOUNDARY SURVEYS
TOPOGRAPHIC SURVEYS
PARCEL SPLITS
CONSTRUCTION LAYOUT

RESIDENTIAL
SUBDIVISIONS
SITE CONDOMINIUM
MULTI-FAMILY
PLOT PLANS
CONSTRUCTION LAYOUT

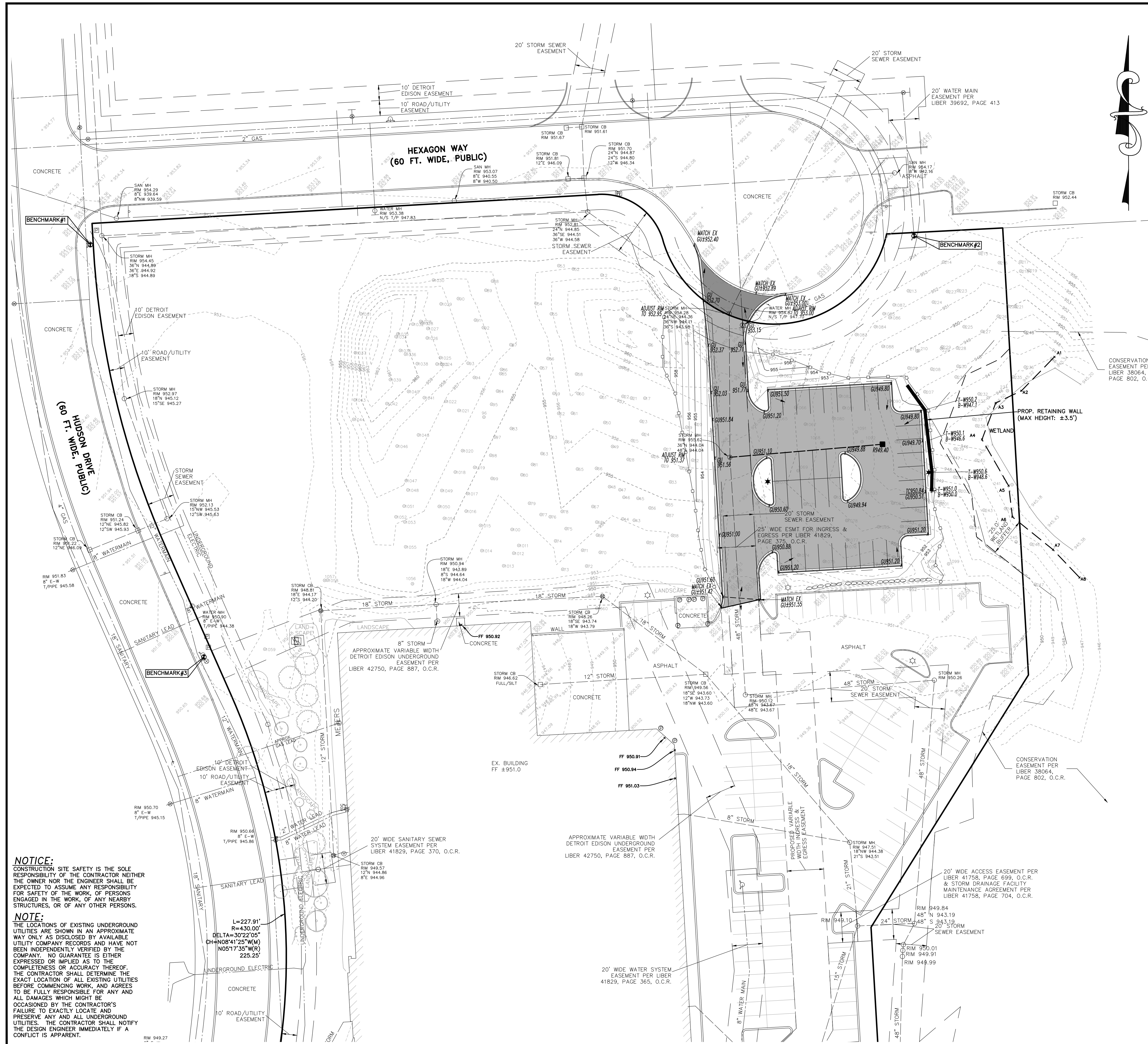


811
Know what's below
Call before you dig.

CLIENT: TOWER CONSTRUCTION
TOPOGRAPHIC SURVEY
SECTION: 4
UNIT 36 AND 37
TOWNSHIP: 1 N
CITY OF NOVI
OAKLAND COUNTY
MICHIGAN
RANGE: 8 E

REVISED	DATE: 2024-03-12
2024-06-14 PSP SUBMITTAL	DRAWN BY: SD
	CHECKED BY: TG
FBK: 430	SCALE: HOR 1"=40 FT. VER 1"=
CHF: BK	2
	05-165.5

NOT FOR CONSTRUCTION

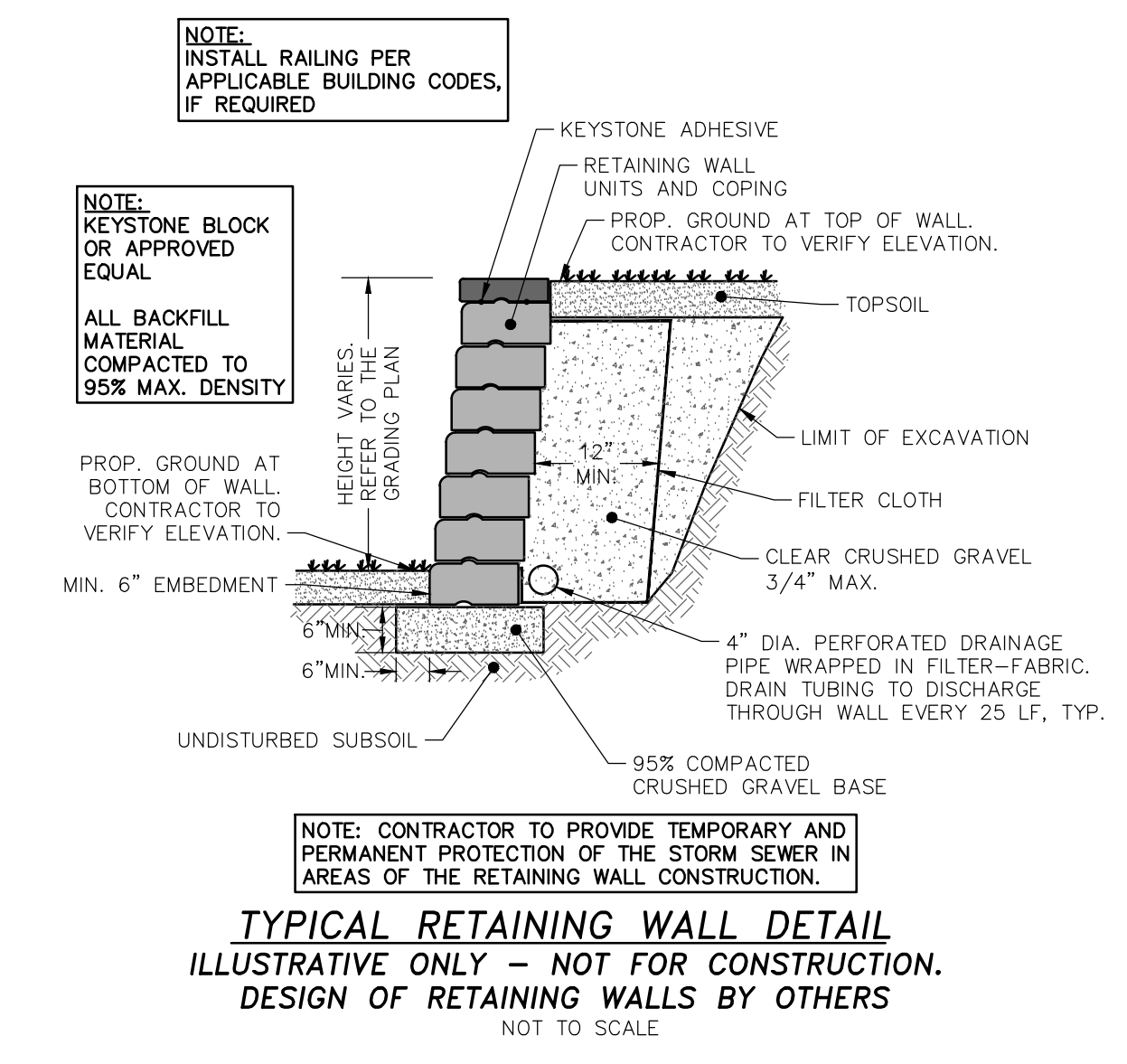


LEGEND:

⊕	EX. CATCH BASIN	⊕	EX. MONITOR WELL
○	EX. MANHOLE	⊞	EX. AIR CONDITIONER
○	EX. END SECTION	—	EX. FENCE
○	EX. OVERFLOW STRUCTURE	F.F.	PROP. FINISH FLOOR ELEVATION
○	EX. DOWNSPOUT/ROOF DRAIN	—	PROP. CURB & GUTTER
○	EX. CLEANOUT	—	PROP. STORM SEWER
○	EX. WATER GATE VALVE	—	PROP. SANITARY SEWER
○	EX. HYDRANT	—	PROP. WATER MAIN
○	EX. WATER VALVE	—	PROP. STRUCTURE
○	EX. WATER SHUTOFF	—	PROP. END SECTION
○	EX. FIRE DEPT. CONNECTION	—	PROP. CLEAN-OUT
○	EX. GAS SHUTOFF	—	PROP. HYDRANT
○	EX. GAS VENT	—	PROP. GATE VALVE
○	EX. ELECTRIC/GAS METER	—	PROP. CURB BOX
○	EX. HANDHOLE	—	PROP. E.V. CHARGING STATION
○	EX. PEDESTAL	—	PROP. GUTTER ELEV.
○	EX. TRANSFORMER	—	PROP. TOP OF CURB ELEV.
○	EX. LIGHTPOLE	—	PROP. TOP OF WALK ELEV.
○	EX. UTILITY POLE	—	PROP. TOP OF PAVEMENT ELEV.
○	EX. GUY ANCHOR	—	PROP. SPOT ELEV.
○	EX. TREE TAG & NUMBER	—	PROP. DRAINAGE ARROW
○	EX. SANITARY SEWER	—	PROP. SILT FENCE
○	EX. STORM SEWER	—	PROP. TREE PROTECTION FENCE
○	EX. WATER MAIN	—	PROP. INLET FILTER
○	EX. ELECTRIC CABLE	—	PROP. ASPHALT
○	EX. COMMUNICATION	—	PROP. CONCRETE
○	EX. GAS LINE	—	PROP. LIGHT POLE
○	EX. OVERHEAD LINE	—	
○	EX. SIGN	—	
○	EX. POST/BOLLARD	—	
○	EX. FLAGPOLE	—	
○	EX. SATELLITE DISH	—	
○	EX. E.V. CHARGING STATION	—	
○	EX. SOIL BORING	—	
○	EX. MAILBOX	—	
○	EX. GENERATOR	—	

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WETLAND IMPACTS:
 ON-SITE WETLAND AREA: 958 SQ.FT. (0.02 AC)
 ON-SITE WETLAND BUFFER AREA: 3,592 SQ.FT. (0.08 AC)
 WETLAND IMPACT AREA: 0 SQ.FT.
 WETLAND BUFFER IMPACT AREA: 0 SQ.FT.



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L=227.91'
 R=430.00'
 DELTA=302°22'05"
 CH=NO6'41'25"(WM)
 N05°17'35"(WR)
 225.25'

ALPINE ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS

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 SURVEYING
 ALTA SURVEYS
 BOUNDARY SURVEYS
 TOPOGRAPHIC SURVEYS
 PARCEL SPLITS
 CONSTRUCTION LAYOUT

RESIDENTIAL
 SUBDIVISIONS
 SITE CONDOMINIUM
 MULTI-FAMILY
 LOT PLANS
 CONSTRUCTION LAYOUT

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 (248) 926-3765 (FAX)
 WWW.ALPINE-INC.NET

46892 WEST ROAD
 SUITE 109
 NOVI, MICHIGAN 48377

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TOWER CONSTRUCTION

PRELIMINARY GRADING PLAN

SECTION: 4

UNIT 36 AND 37

TOWNSHIP 1 N
 CITY OF NOVI
 OAKLAND COUNTY
 MICHIGAN

RANGE 8 E

CLIENT:

REVISED

2024-06-14 PSP SUBMITTAL

DATE: 2024-03-12

DRAWN BY: SD

CHECKED BY: TG

FBK: 430

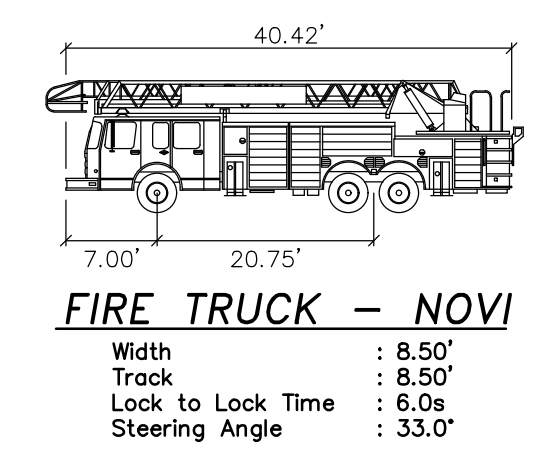
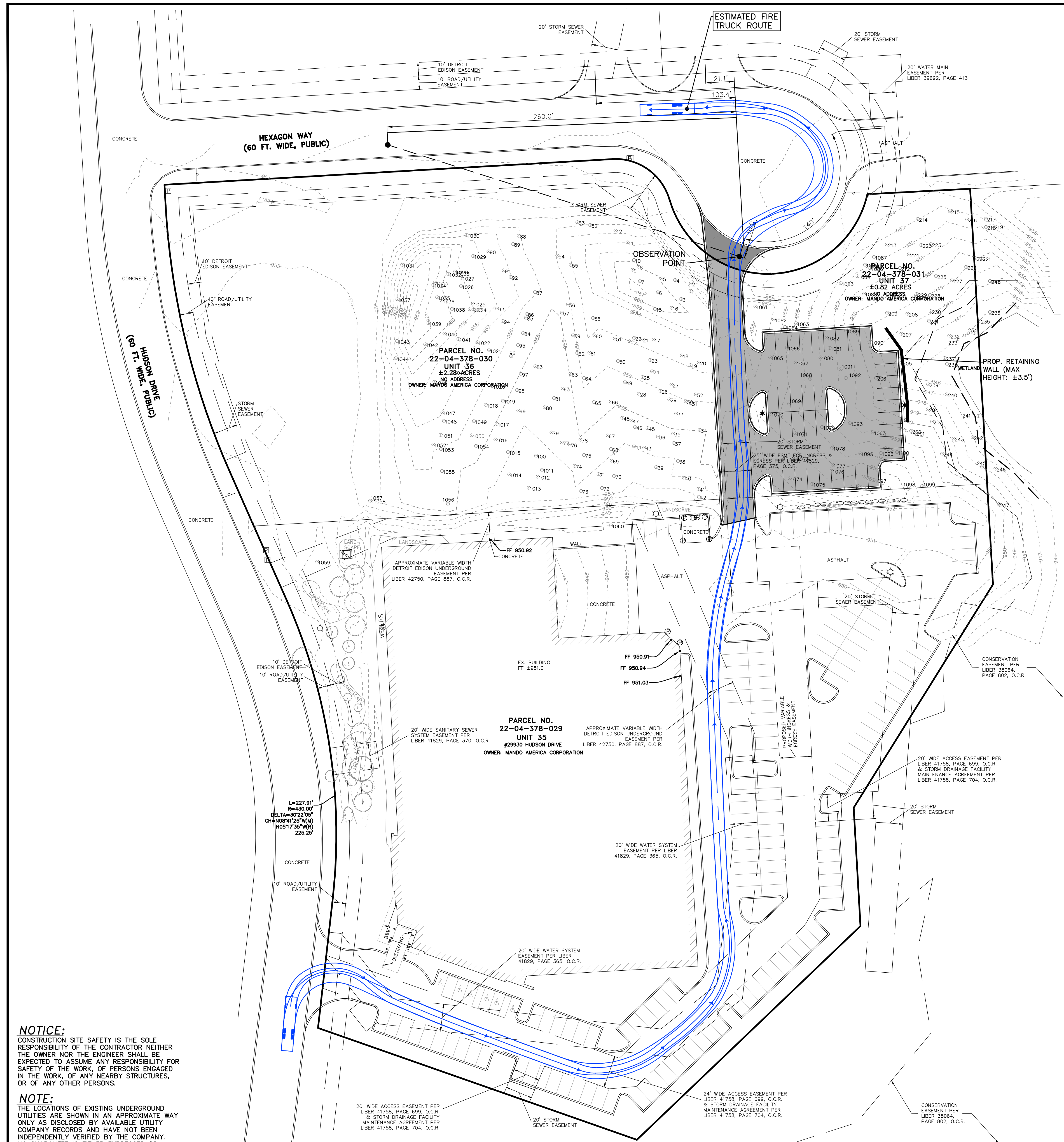
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SCALE: HOR 1"=30 FT.
 VER 1"=

3

05-165.5

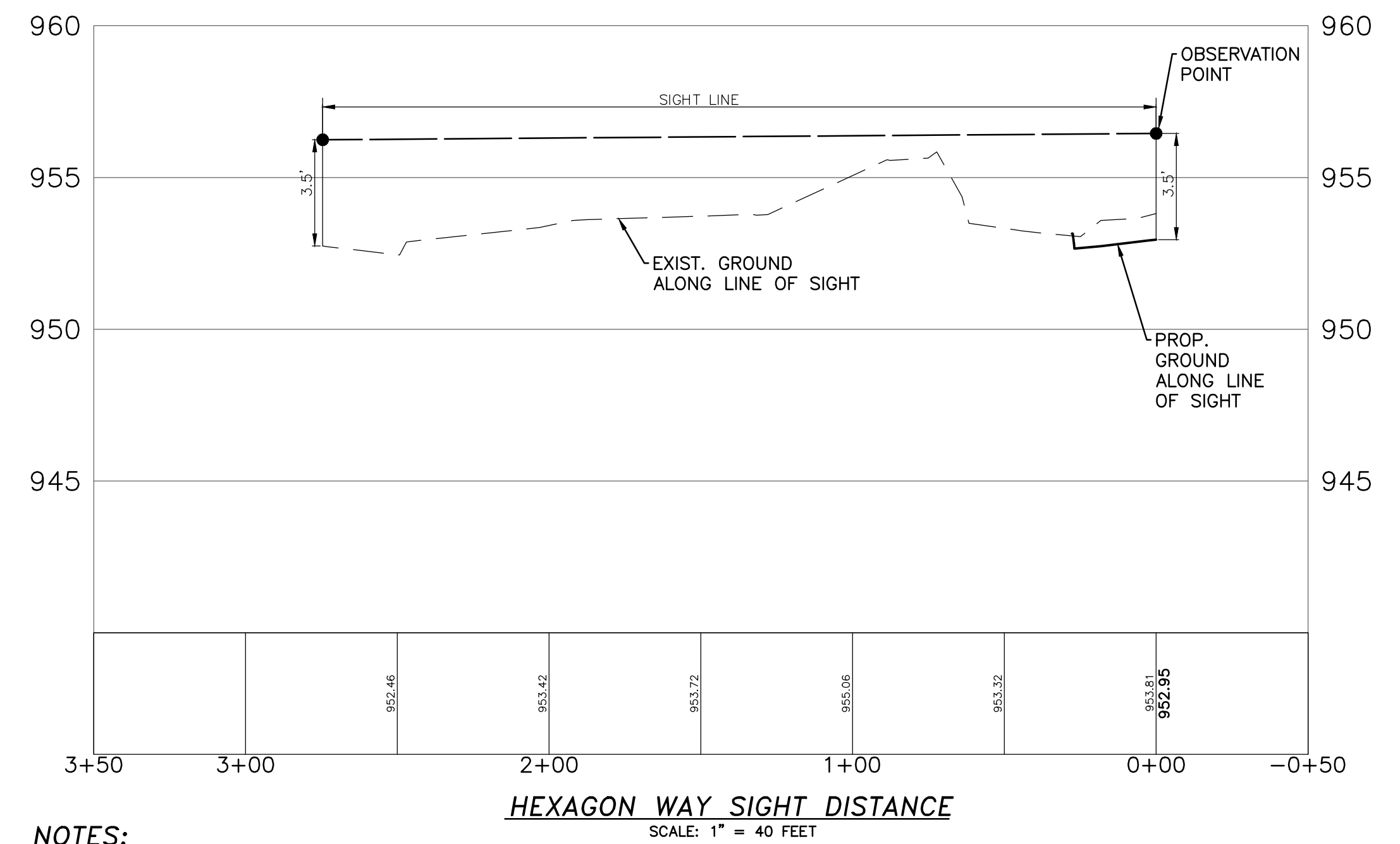
NOT FOR CONSTRUCTION



TRUCK CIRCULATION PLAN NOTES:
 1. TRUCK ROUTE SHOWN ON THE TRUCK CIRCULATION PLANS ARE ILLUSTRATIVE ONLY AND DOES NOT TAKE IN ACCOUNT ALL POSSIBLE TRUCK MOVEMENTS.
 ADDITIONAL TRUCK MOVEMENTS MAY BE NECESSARY.

LEGEND:

	EX. PEDESTAL
	EX. TRANSFORMER
	EX. LIGHTPOLE
	EX. UTILITY POLE
	EX. GUY ANCHOR
	EX. OVERHEAD LINE
	EX. SIGN
	EX. POST/BOLLARD
	EX. FLAGPOLE
	EX. MAILBOX
	EX. GENERATOR
	EX. AIR CONDITIONER
	EX. TRAFFIC SIGNAL
	EX. FENCE
	PROP. FINISH FLOOR ELEVATION
	PROP. CURB & GUTTER
	PROP. ASPHALT
	PROP. CONCRETE
	PROP. LIGHT POLE



NOTES:
 1. THE ASSUMED SPEED LIMIT IS 25 MPH.
 2. DUE TO THE OFFSET CONFIGURATION OF THE CUL-DE-SAC, THE DISTANCE FROM THE TRAVEL LANE WAS REDUCED TO TEN (10) FEET.

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 Call before you dig.

CLIENT: TOWER CONSTRUCTION
 TRUCK CIRCULATION AND
 SIGHT DISTANCE PLAN
 SECTION: 4
 UNIT 36 AND 37
 TOWNSHIP: 1 N
 CITY OF NOVI
 OAKLAND COUNTY
 MICHIGAN
 RANGE: 8 E

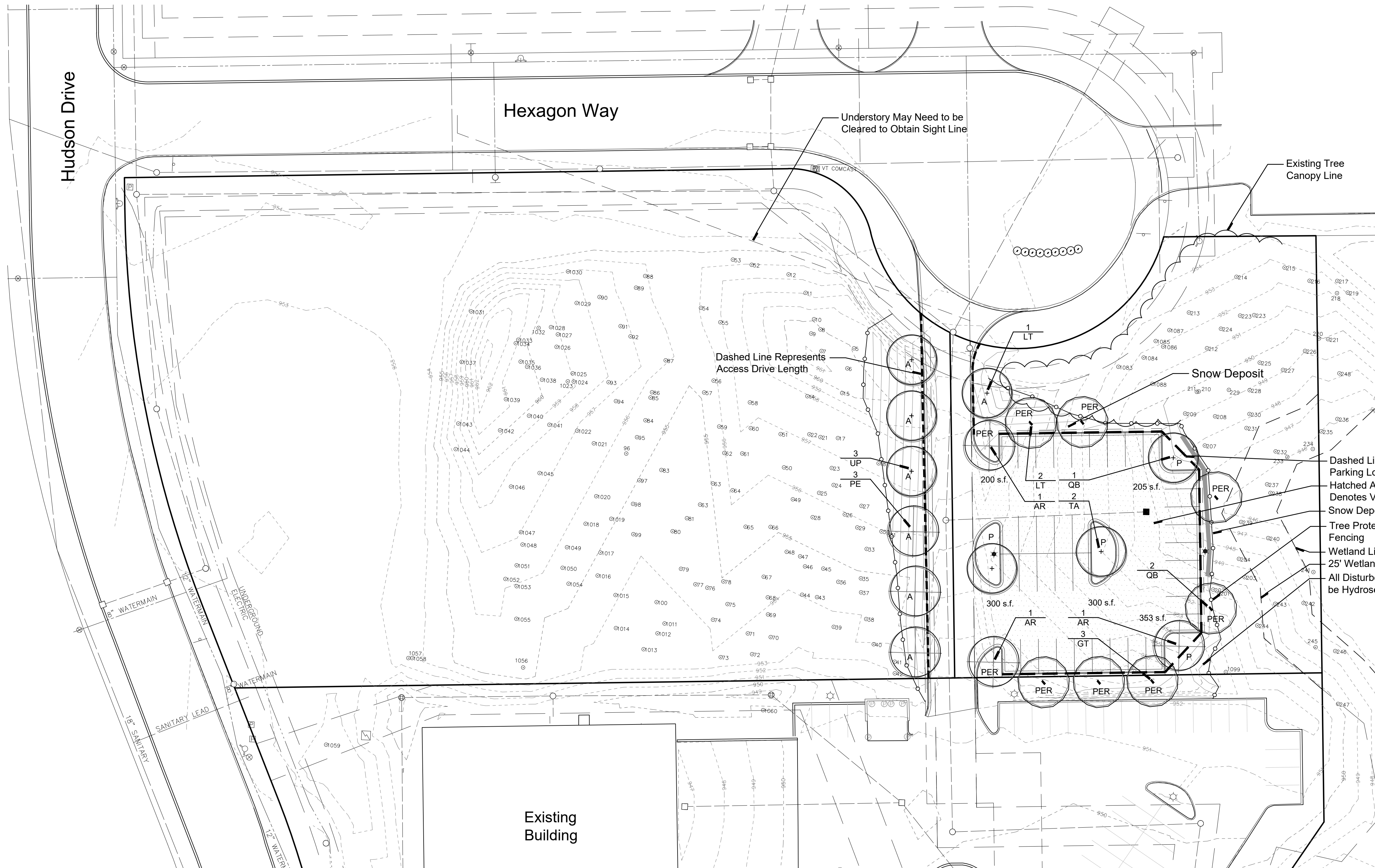
REVISED
 2024-06-14 PSP SUBMITTAL

DATE: 2024-03-12
 DRAWN BY: SD
 CHECKED BY: TG

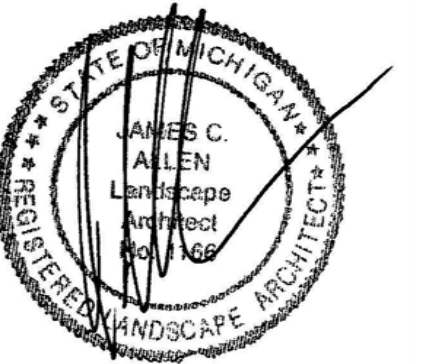
FBK: 430
 CHF: BK
 SCALE: HOR 1"=40 FT.
 VER 1"= 6.5'

6
 05-165.5

NOT FOR CONSTRUCTION



Seal: _____



Title:
Landscape Plan

Project:
Mando
 Novi, Michigan
 29930 Hudson Drive

Prepared for:
 Tower Construction
 3883 Telegraph Road, Suite 200
 Bloomfield Township, MI 48302
 Chris Miller, 248.287.8200

Revision: _____ Issued: _____
 Review March 12, 2024
 Revised June 14, 2024

Landscape Summary

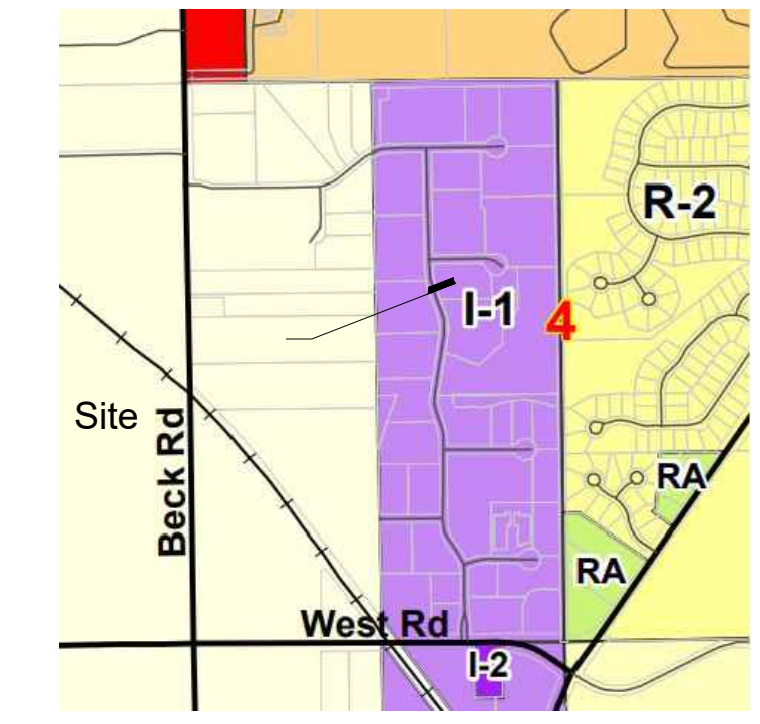
Existing Zoning	I-2
Parking Lot Landscaping	
Vehicular Use Area	12,233 s.f.
Landscape Area Required	734 s.f. (12,233 s.f. x 6%)
Landscape Area Provided	1,358 s.f.
Canopy Trees Required	3.7 Trees (734 / 200)
Canopy Trees Provided	4 Trees
Parking Lot Perimeter	
Perimeter	300 l.f.
"PER" Trees Required	8.5 Trees (300 l.f. / 35')
Trees Provided	9 Trees
Interior Street Industrial Subdivision Landscaping	
Hexagon Way	
Street Frontage	16 l.f. (118' - Drive and Woodland)
Trees Required	0.5 Trees (16 l.f. / 35')
Trees Provided	0 Trees
Sub-Canopy Trees Required	0.4 Trees (16 l.f. / 40')
Sub-Canopy Trees Provided	0 Trees
Shrubs Required	1 Shrub (16 l.f. / 40') x 2
Shrubs Provided	0 Shrubs
Mass Plantings Required	1.6' of Plantings (16 l.f. x 10%)
Mass Plantings Provided	0' of Plantings
Access Perimeter	
Perimeter Length	229'
"A" Trees Required	6.5 Trees (229' / 35')
Trees Provided	7 Trees
Plantings Along Street	
Street Frontage	134'
Trees Required	2.7 Trees (134' / 50')
Trees Provided	0 Trees
Woodland Replacement	
Required Replacement	72 Trees
Replacement Provided	0 Trees
Trees Paid into Tree Fund	72 Trees (72 x \$400 = \$28,800)

- Notes:
- No Overhead Lines Exist.
 - Trees Shall be Planted no Closer than 10' to Sanitary Sewer, Utility Structures Including Hydrants and 5' from Utility Lines.
 - Trees Shall not be Planted within 4' of Property Lines.
 - Utility Boxes Shall be Screen per Detail on Sheet L-2.
 - Soils Information is Found on Sheet 5.
 - No Pragmites or Japanese Knotweed Exist On-Site.

Plant List

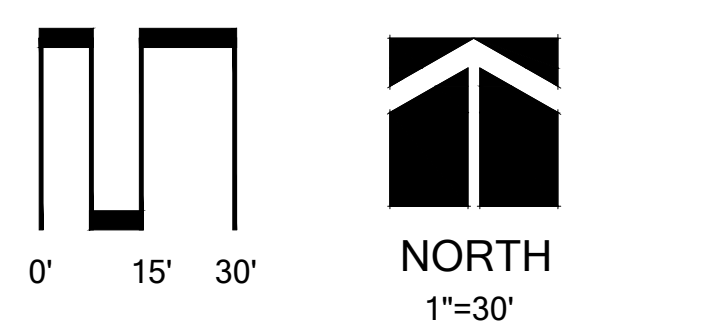
sym.	qty.	botanical name	common name	caliper	spacing	root	height	price	total	Species	Genus	Native	Total
AR	3	Acer rubrum 'Red Pointe'	Red Pointe Maple	3.0"	as shown	B&B		\$ 400.00	\$ 1,200.00	15% max	25% max	1	1
GT	3	Gleditsia triacanthos var. Inermis	Honey Locust	3.0"	as shown	B&B		\$ 400.00	\$ 1,200.00	15%	15%	1	1
LT	3	Liriodendron tulipifera	Tulip Tree	3.0"	as shown	B&B		\$ 400.00	\$ 1,200.00	15%	15%	1	1
PE	3	Platanus x aconitifolia 'Exclamation'	Exclamation London Planetree	3.0"	as shown	B&B		\$ 400.00	\$ 1,200.00	15%	15%	1	1
QB	2	Quercus bicolor	Swamp White Oak	3.0"	as shown	B&B		\$ 400.00	\$ 800.00	10%	10%	1	1
TA	3	Tilia americana 'Redmond'	Redmond Linden	3.0"	as shown	B&B		\$ 400.00	\$ 1,200.00	15%	15%	1	1
UP	3	Ulmus a. 'Princeton'	Princeton Elm	3.0"	as shown	B&B		\$ 400.00	\$ 1,200.00	15%	15%	1	1
	20	Total Trees											
		Irrigation						\$ 35.00	\$ 140.00				
	4	4" Deep Shredded Hardwood Bark Mulch, s.y.						\$ 3.00	\$ 2,694.00				
	898	Seed, s.y.											
		Total							\$ 20,834.00			6	7
												% Native	86%

Location Map



Job Number:
 24-014

Drawn By: _____ Checked By: _____
 jca jca



Sheet No. _____





Seal: _____

Title: **Landscape Details**

Project: _____

Mando
 Novi, Michigan
 29930 Hudson Drive

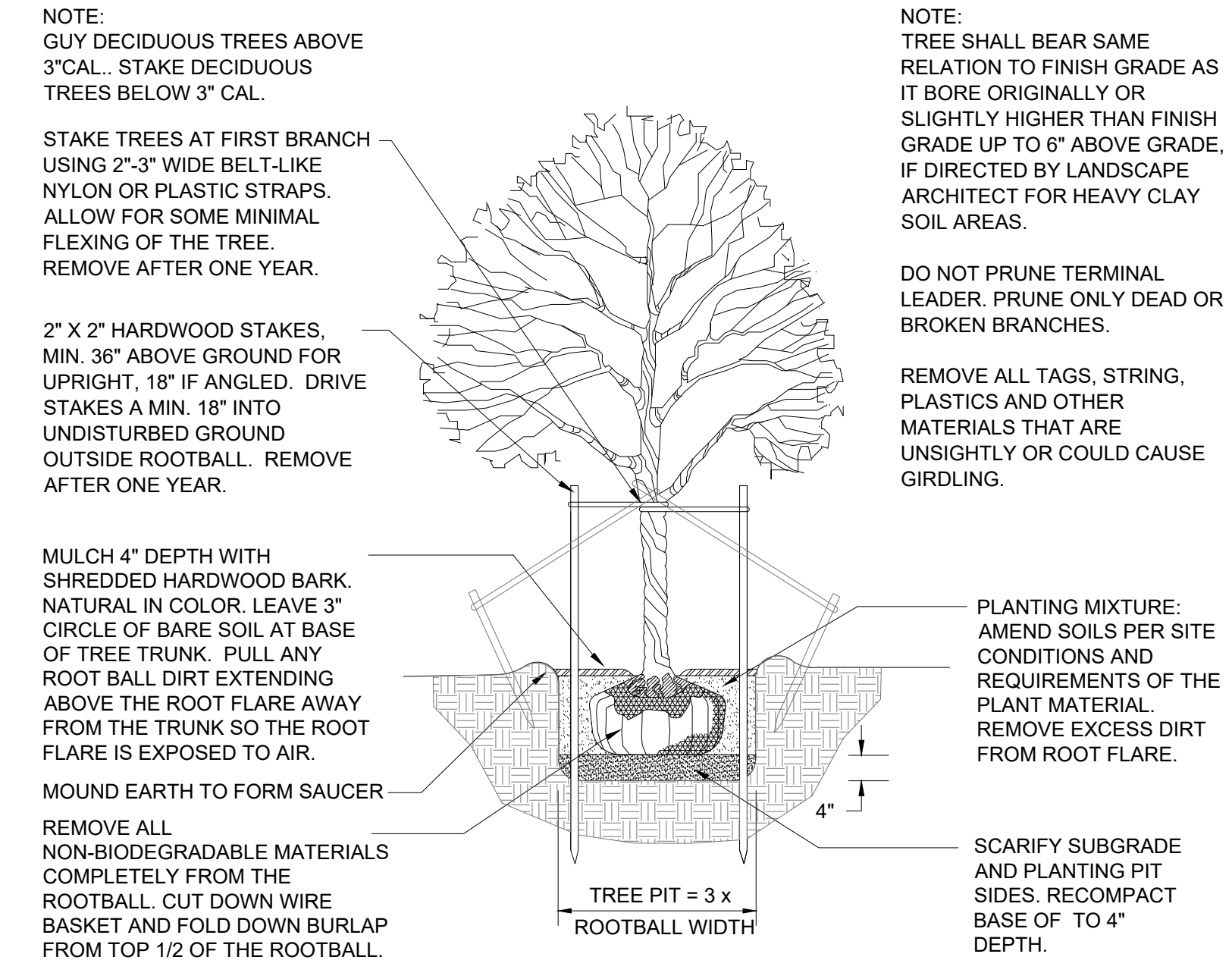
Prepared for:
 Tower Construction
 3883 Telegraph Road, Suite 200
 Bloomfield Township, MI 48302
 Chris Miller, 248.287.8200

Revision:	Issued:
Review	March 12, 2024
Revised	June 14, 2024

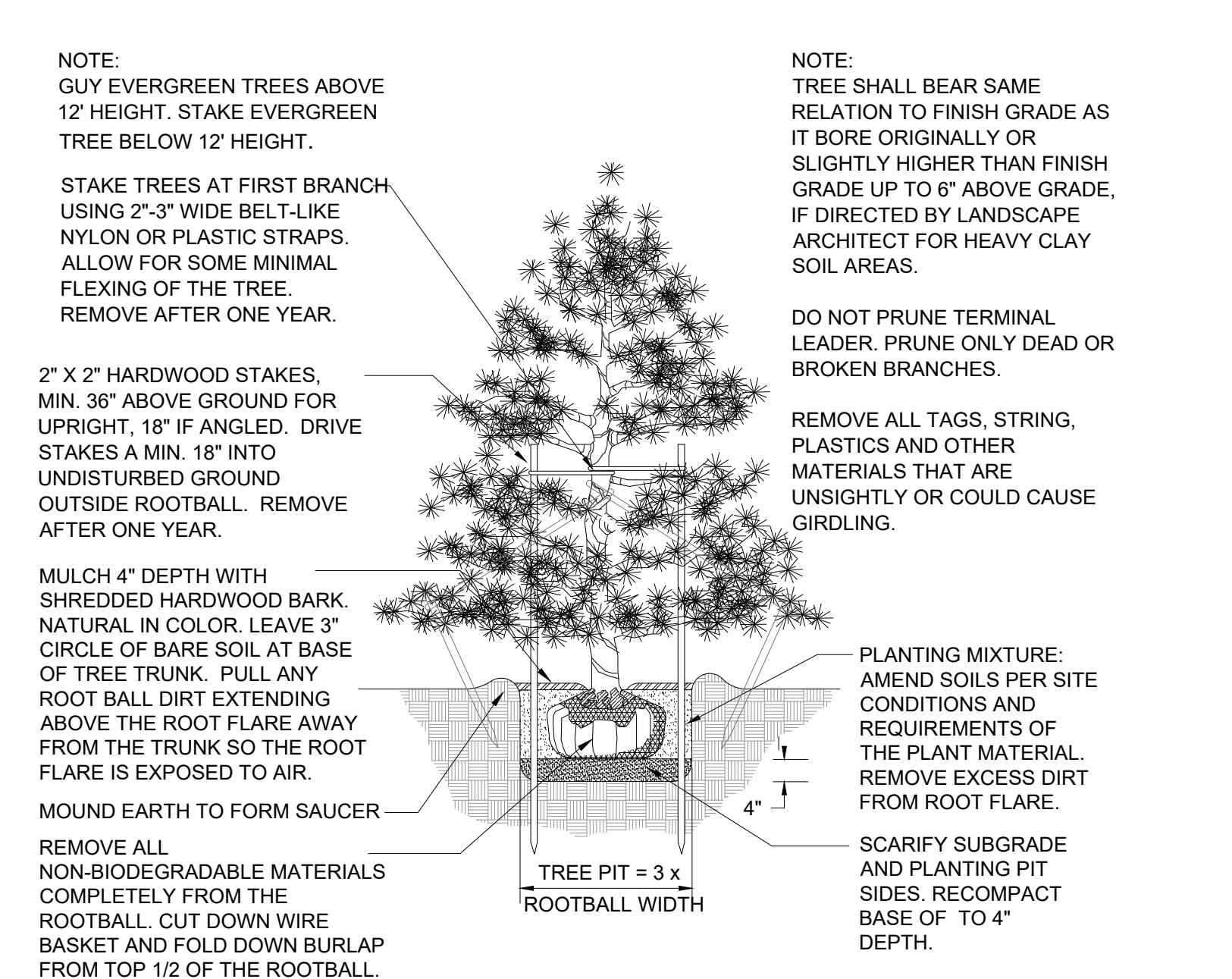
Job Number: 24-014

Drawn By: jca Checked By: jca

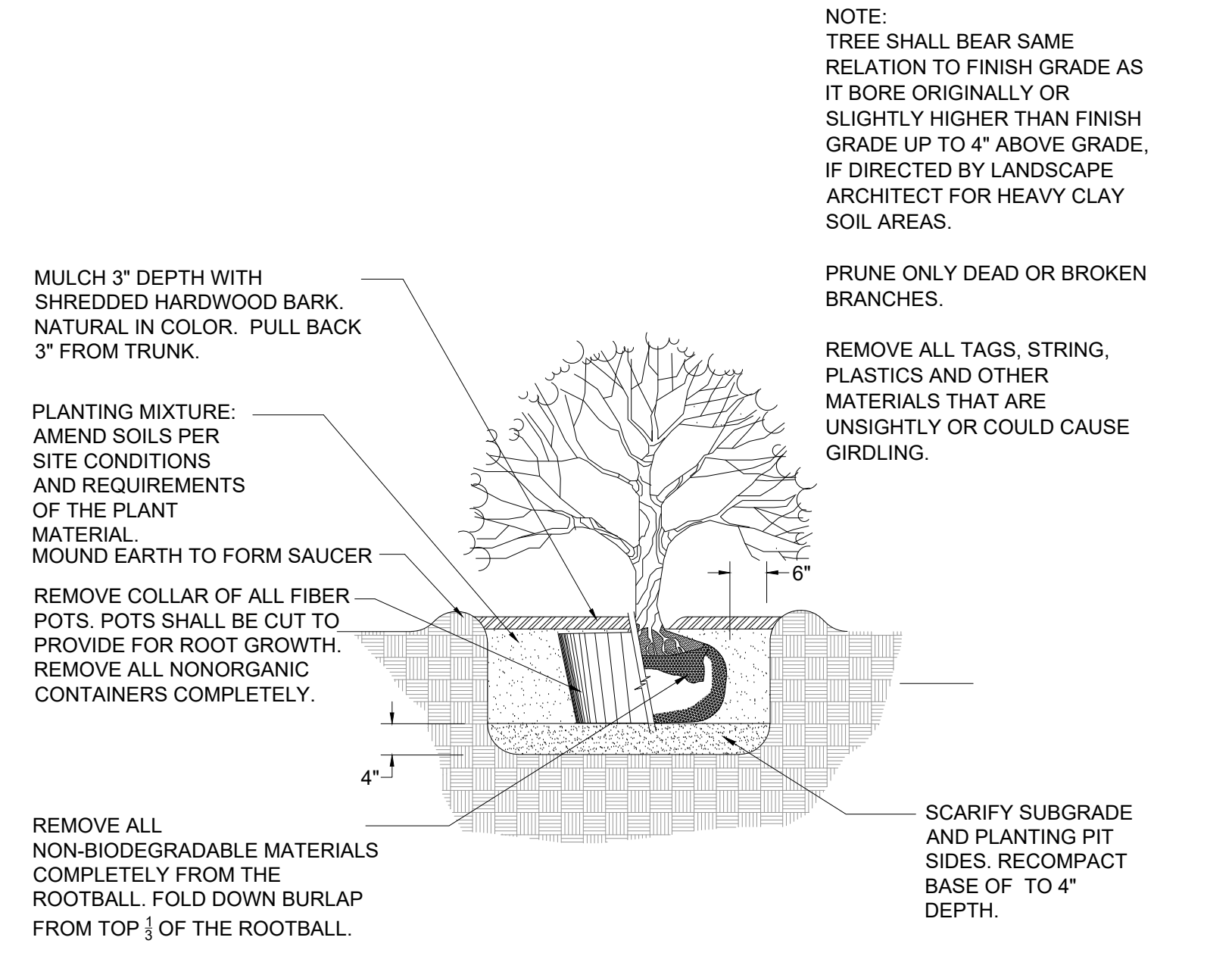
Sheet No. _____



DECIDUOUS TREE PLANTING DETAIL

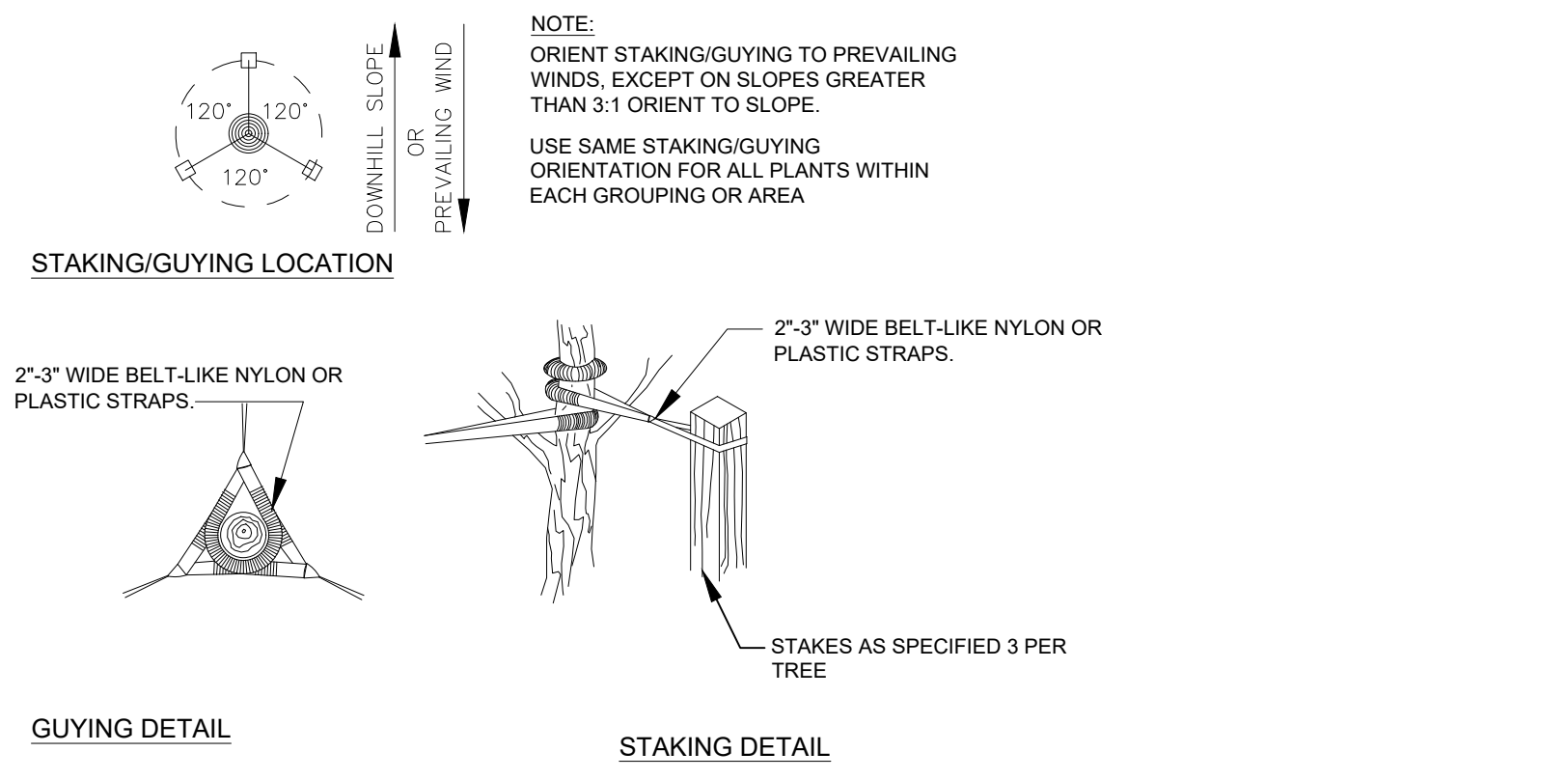


EVERGREEN TREE PLANTING DETAIL



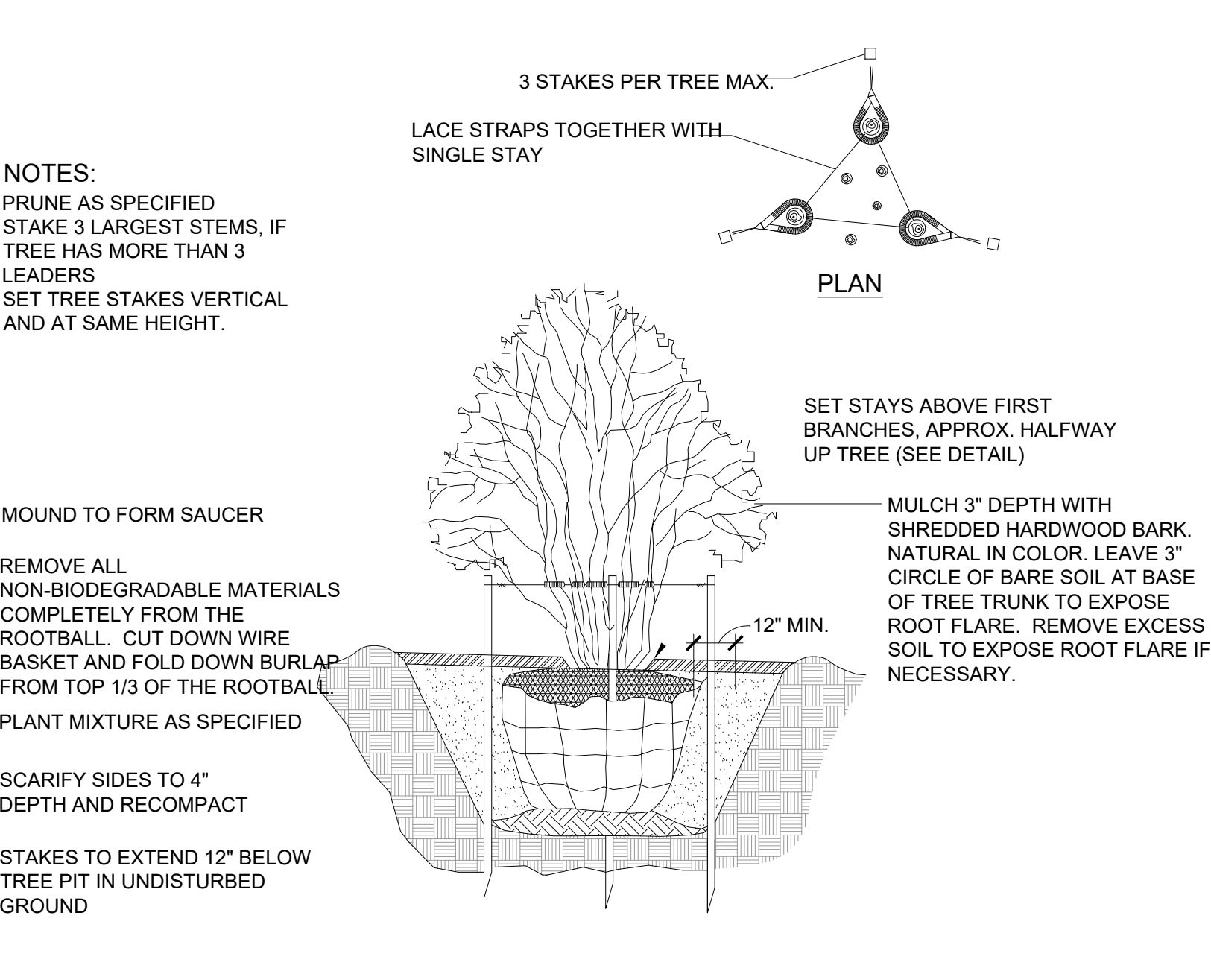
SHRUB PLANTING DETAIL

NOT TO SCALE



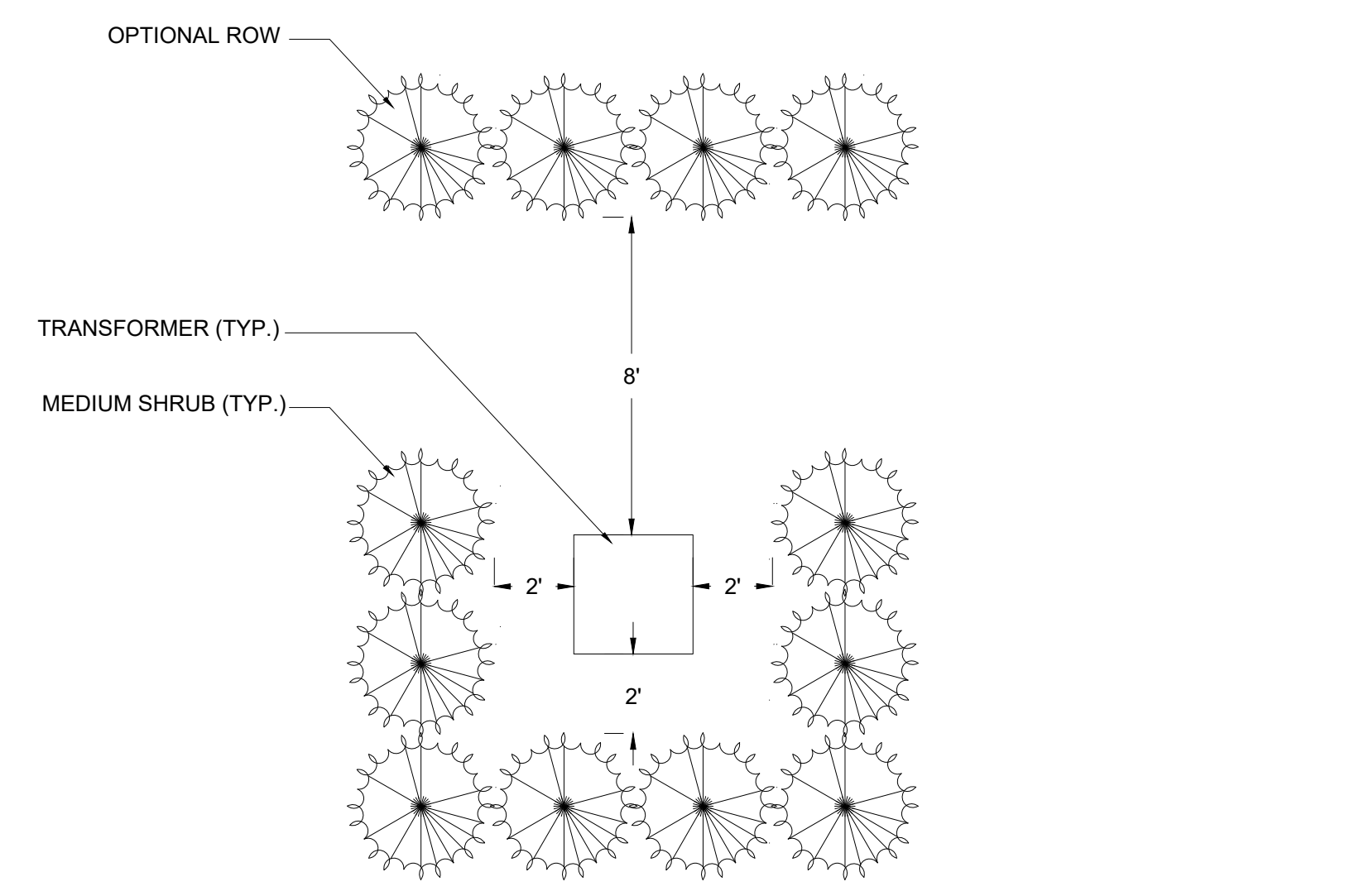
TREE STAKING DETAIL

Not to scale



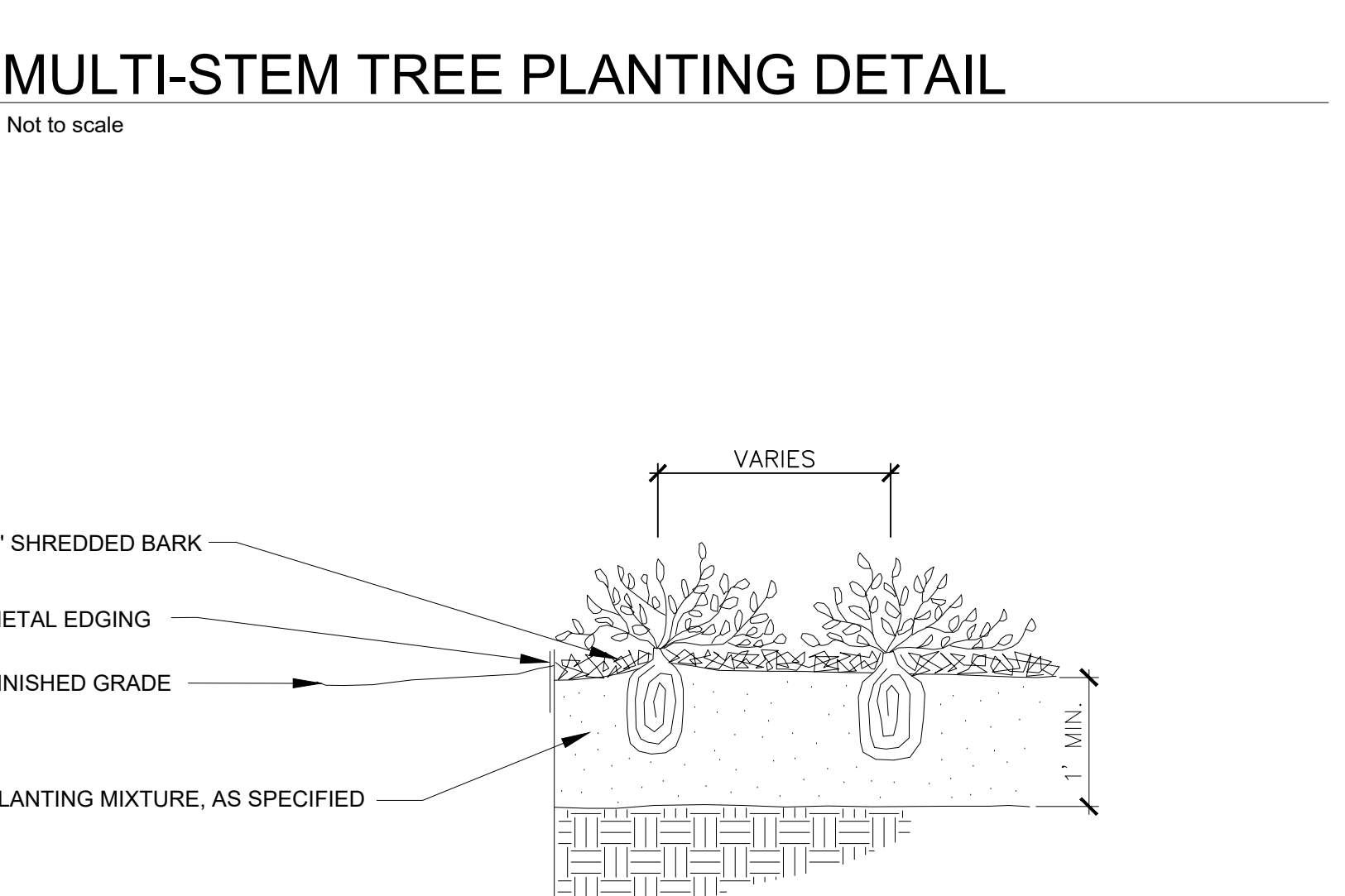
MULTI-STEM TREE PLANTING DETAIL

Not to scale



TRANSFORMER SCREENING DETAIL

Not to scale



PERENNIAL PLANTING DETAIL

Not to scale

LANDSCAPE NOTES

- All plants shall be north Midwest American region grown, No. 1 grade plant materials, and shall be true to name, free from physical damage and wind burn.
- Plants shall be full, well-branched, and in healthy vigorous growing condition.
- Plants shall be watered before and after planting is complete.
- All trees must be staked, fertilized and mulched and shall be guaranteed to exhibit a normal growth cycle for at least two (2) full years following City approval.
- All material shall conform to the guidelines established in the most recent edition of the American Standard for Nursery Stock.
- Provide clean backfill soil, using material stockpiled on site. Soil shall be screened and free of any debris, foreign material, and stone.
- "Agriform" tabs or similar slow-release fertilizer shall be added to the planting pits before being backfilled.
- Amended planting mix shall consist of 1/3 screened topsoil, 1/3 sand and 1/3 compost, mixed well and spread to the depth as indicated in planting details.
- All plantings shall be mulched per planting details located on this sheet.
- The Landscape Contractor shall be responsible for all work shown on the landscape drawings and specifications.
- No substitutions or changes of location, or plant types shall be made without the approval of the Landscape Architect.
- The City of Novi's Landscape Architect shall be notified in writing of any discrepancies between the plans and field conditions prior to installation.
- The Landscape Contractor shall be responsible for maintaining all plant material in a vertical condition throughout the guaranteed period.
- The Landscape Architect shall have the right, at any stage of the installation, to reject any work or material that does not meet the requirements of the plans and specifications, if requested by owner.
- Contractor shall be responsible for checking plant quantities to ensure quantities on drawings and plant list are the same. In the event of a discrepancy, the quantities on the plans shall prevail.
- The Landscape Contractor shall seed and mulch or sod (as indicated on plans) all areas disturbed during construction, throughout the contract limits.
- A pre-emergent weed control agent, "Preen" or equal, shall be applied uniformly on top of all mulching in all planting beds.
- Sod shall be two year old "Baron/Cheridolph" Kentucky Blue Grass grown in a sod nursery on loam soil.

CITY OF NOVI NOTES

- All landscape islands shall be backfilled with a sand mixture to facilitate drainage.
- All proposed landscape islands shall be curbed.
- All landscape areas shall be irrigated.
- Overhead utility lines and poles to be relocated as directed by utility company of record.
- Evergreen and canopy trees shall be planted a minimum of 10' from a fire hydrant, and manhole, 15' from overhead wires.
- All plant material shall be guaranteed for two (2) years after City Approval and shall be installed and maintained according to City of Novi standards. Replace Failing Material within 3 Months of Discovering the Need for Replacement. One cultivation per month shall occur in July-August.
- All proposed street trees shall be planted a minimum of 4' from both the back of curb and proposed walks.
- All tree and shrub planting beds shall be mulched with shredded hardwood bark, spread to minimum depth of 4". All lawn area trees shall have a 4' diameter circle of shredded hardwood mulch 3" away from trunk. All perennial, annual and ground cover beds shall receive 2" of dark colored bark mulch as indicated on the plant list. Mulch is to be free from debris and foreign material, and shall contain no pieces of inconsistent size.
- All Substitutions or Deviations from the Landscape Plan Must be Approved in Writing by the City of Novi Prior to their Installation.

NOTES:
 THE APPROXIMATE DATE OF INSTALLATION FOR THE PROPOSED LANDSCAPE WILL BE BETWEEN MARCH-NOVEMBER 2024, 2025.

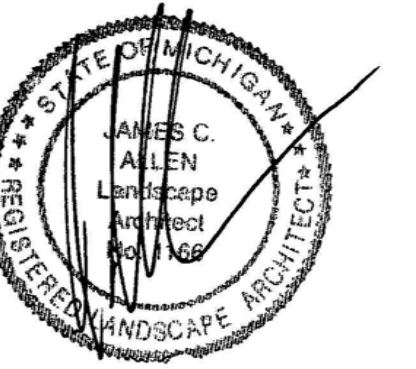
THE SITE WILL BE MAINTAINED BY THE DEVELOPER IN ACCORDANCE WITH THE STANDARDS SET FORTH IN THE CITY OF NOVI ZONING ORDINANCE. THIS INCLUDES WEEDING AND WATERING AS REQUIRED BY NORMAL MAINTENANCE PRACTICES.

DEVELOPER SHALL BE RESPONSIBLE FOR REPLACING ANY TREES WITHIN UTILITY EASEMENTS THAT ARE DAMAGED THROUGH NORMAL MAINTENANCE OR REPAIRS.

PLANT MATERIALS SHALL BE GUARANTEED FOR 2 YEARS AND SHALL BE MAINTAINED IN ACCORDANCE WITH CITY ORDINANCES. WARRANTY PERIOD BEGINS AT THE TIME OF CITY APPROVAL. WATERING AS NECESSARY SHALL OCCUR DURING THIS WARRANTY PERIOD.



Seal:



Title:

Woodland Plan

Project:

Mando
 Novi, Michigan
 29930 Hudson Drive

Prepared for:

Tower Construction
 3883 Telegraph Road, Suite 200
 Bloomfield Township, MI 48302
 Chris Miller, 248.287.8200

Revision:

Review
 Revised

Issued:

March 12, 2024
 June 14, 2024

Job Number:

24-014

Drawn By:

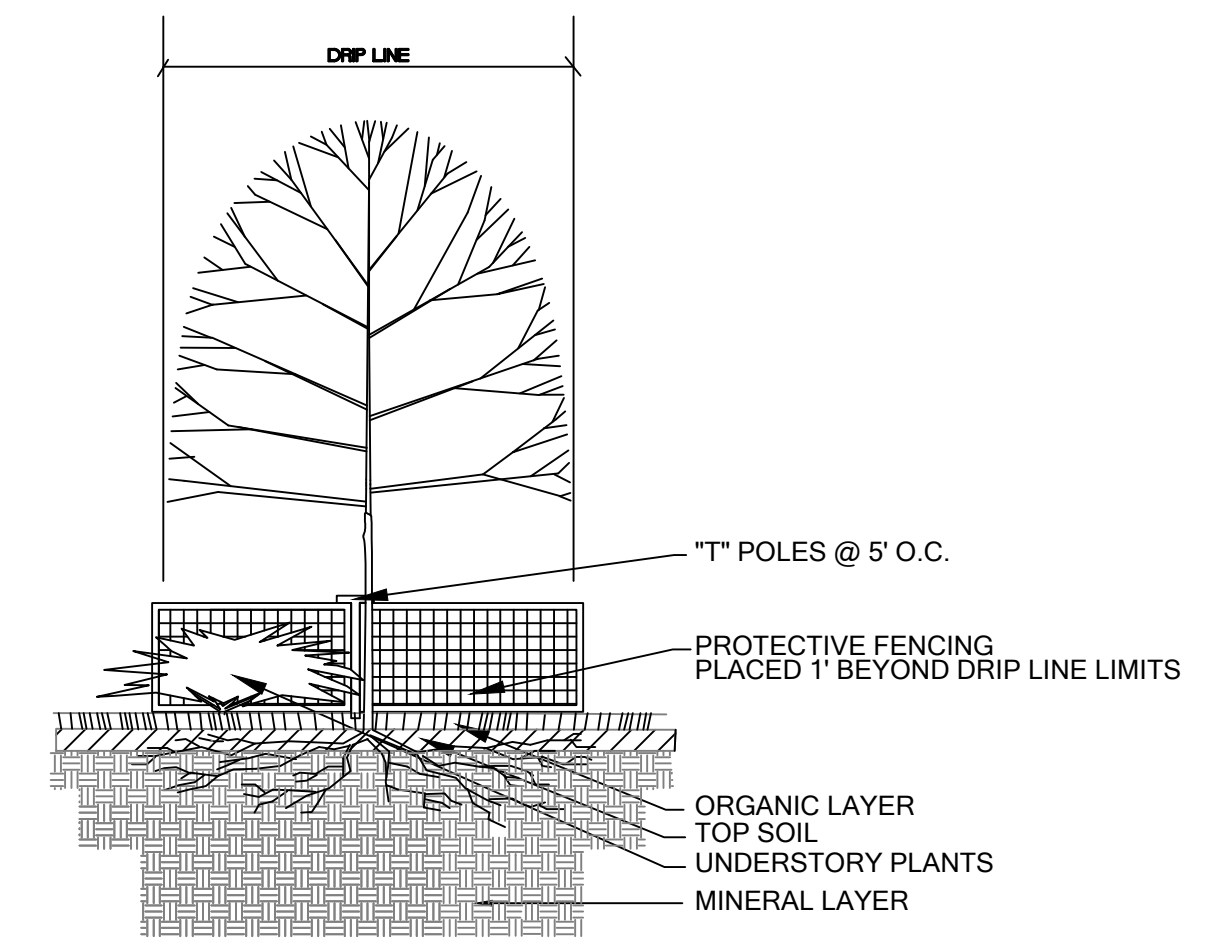
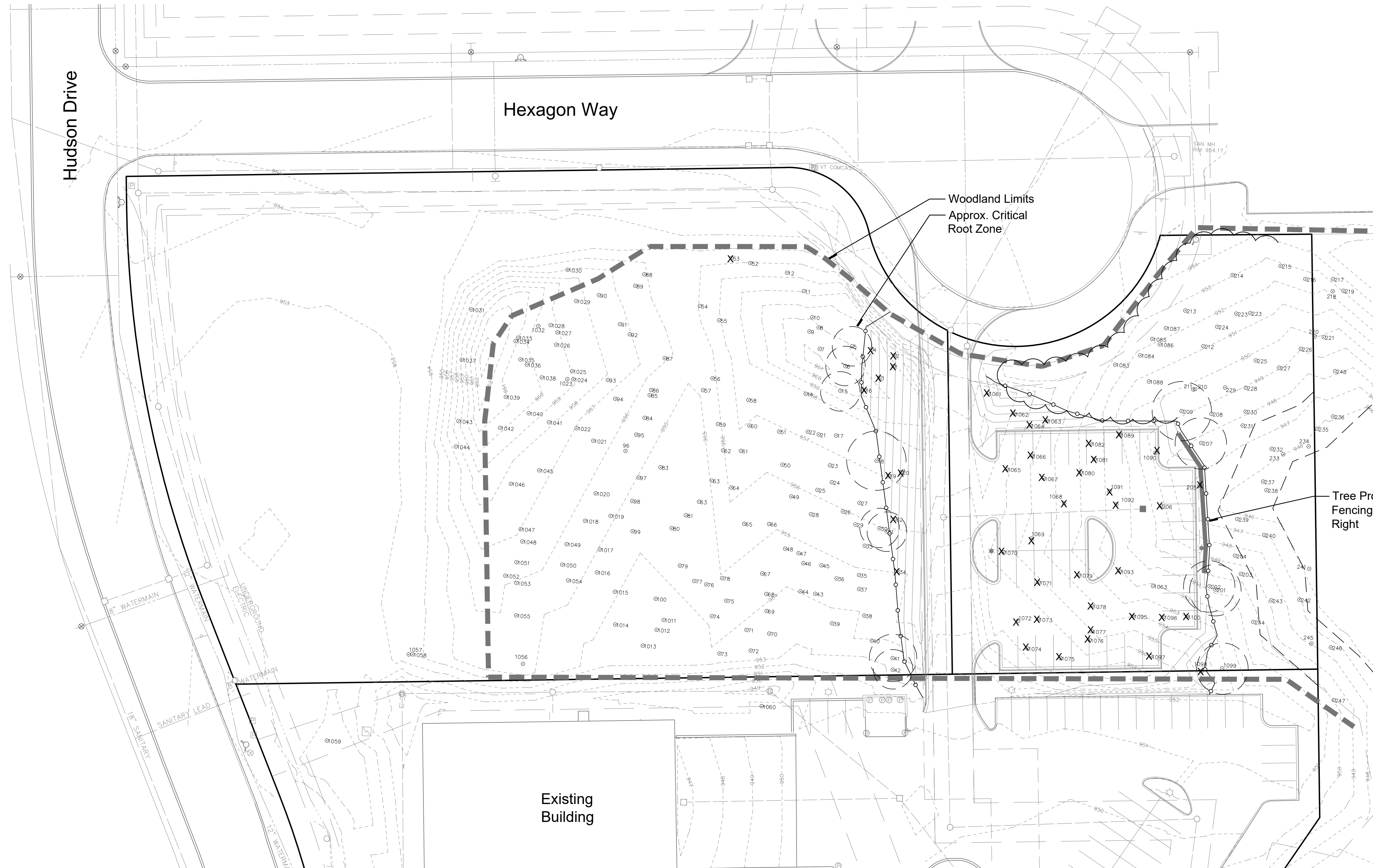
jca

Checked By:

jca

Sheet No.

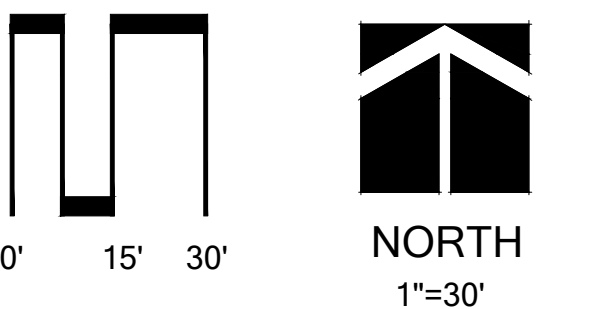
L-3



1. Either Plastic or Wood Orange Snow Fencing Shall be Installed at or Beyond the Dripline, Unless More Substantial Fencing is Required.
2. Stakes Shall be Metal T" Poles Spaced no Further than 5' on Center.
3. Fencing Shall not be Installed Closer to the Tree than the Dripline of Those Trees to be Saved.
4. Fencing Shall be Erected Prior to Construction. This City Shall be Notified Once the Fencing is Installed for Inspection.
5. Under no Circumstances Shall the Protective Fencing be Removed Without Proper Approval from the City.
6. No Person Shall Conduct any Activity Within Areas Proposed to Remain. This Shall Include, but not be Limited to:
 - a. No Solvents or Chemicals Within Protected Areas.
 - b. No Building Materials or Construction Equipment Within Protected Areas.
 - c. No Grade Changes, Including Fill, Within Protected Areas.
 - d. No Removal of Vegetation from the Ground Up Without Permission from the Proper Reviewing Authority, Including the Woodlands Review Board.
 - e. Any Required Swales Needs to be Directed Around the Protected Areas. Instances Where Swales are Approved Through a Protected Area, the Swales Need to be HAND DUG. Machinery of Any Kind is Prohibited.
7. Regulated Woodland or Regulated Trees Adjacent to the Property are Also Required to be Protected Whether or not they are Shown on the Plan.

TREE PROTECTION DETAIL

NO SCALE



Tree List

TAG NO.	DIAMETER	COMMON NAME	BOTANICAL NAME	CONDITION	STATUS	Required		TAG NO.	DIAMETER	COMMON NAME	BOTANICAL NAME	CONDITION	STATUS	Required		TAG NO.	DIAMETER	COMMON NAME	BOTANICAL NAME	CONDITION	STATUS	Required	
						Replacement	Multi-Stem Replacement							Replacement	Multi-Stem Replacement							Replacement	Multi-Stem Replacement
1	11	Basswood	Tilia americana	Good	Remove	1		100	14	Black Oak	Quercus velutina	Good	Save			1062	8	American Elm	Ulmus americana	Good	Remove	1	
2	11	Basswood	Tilia americana	Good	Remove	1		201	8	American Elm	Ulmus americana	Good	CRZ	1		1063	8	Sugar Maple	Acer saccharum	Good	Remove	1	
3	13	Basswood	Tilia americana	Good	Remove	2		202	19	Red Oak	Quercus rubra	Good	CRZ	2		1064	18	Basswood	Tilia americana	Good	Remove	2	
4	10	American Maple	Acer rubrum	Good	Remove	1		203	8	Sugar Maple	Acer saccharum	Good	Save			1065	12	Sugar Maple	Acer saccharum	Good	Remove	2	
5	8	Basswood	Tilia americana	Good	CRZ	1		204	7.22	Red Maple	Acer rubrum	Good	Save			1066	12	Basswood	Tilia americana	Good	Remove	2	
6	13	Basswood	Tilia americana	Good	Save			205	8	American Elm	Ulmus americana	Good	Remove	1		1067	15	Red Oak	Quercus rubra	Good	Remove	2	
7	10	Basswood	Tilia americana	Good	Save			206	9	Sugar Maple	Acer saccharum	Good	Remove	1		1068	8	Red Maple	Acer rubrum	Good	Remove	1	
8	9	Basswood	Tilia americana	Good	Save			207	7.9	Basswood	Tilia americana	Good	CRZ	1		1069	8	Red Maple	Acer rubrum	Good	Remove	1	
9	11	Basswood	Tilia americana	Good	Save			208	13	Basswood	Tilia americana	Good	Save			1070	10	Sugar Maple	Acer saccharum	Good	Remove	1	
10	8	Basswood	Tilia americana	Good	Save			209	11	Sugar Maple	Acer saccharum	Good	CRZ	1		1071	19	Red Oak	Quercus rubra	Good	Remove	2	
11	8	Sugar Maple	Acer saccharum	Good	Save			210	8	Red Maple	Acer rubrum	Good	Save			1072	11,13	Red Maple	Acer rubrum	Good	Remove	1	3
12	10	Sugar Maple	Acer saccharum	Good	Save			211	8	Red Maple	Acer rubrum	Good	Save			1073	8	Black Cherry	Prunus serotina	Good	Remove	1	
13	9	Black Cherry	Prunus serotina	Good	Save			212	22	Red Oak	Quercus rubra	Good	Save			1074	14	Black Cherry	Prunus serotina	Good	Remove	2	
14	10	Basswood	Tilia americana	Good	Save			213	8	Red Maple	Acer rubrum	Good	Save			1075	8	American Hornbeam	Carpinus caroliniana	Good	Remove	1	
15	8	Basswood	Tilia americana	Good	Save			214	11	Red Maple	Acer rubrum	Good	Save			1076	9	Sugar Maple	Acer saccharum	Good	Remove	1	
16	8	Sugar Maple	Acer saccharum	Good	Remove	1		215	8	American Hornbeam	Carpinus caroliniana	Good	Save			1077	8	Black Cherry	Prunus serotina	Good	Remove	1	
17	15	Basswood	Tilia americana	Good	Save			216	8	American Elm	Ulmus americana	Good	Save			1078	27	Red Oak	Quercus rubra	Good	Remove	3	
18	13	Red Oak	Quercus rubra	Good	CRZ	1		217	13	Red Maple	Acer rubrum	Good	Save			1079	8	American Elm	Ulmus americana	Good	Remove	1	
19	9	American Beech	Fagus grandifolia	Good	Remove	1		218	16	Black Cherry	Prunus serotina	Good	Save			1080	17	Red Oak	Quercus rubra	Good	Remove	2	
20	9	American Beech	Fagus grandifolia	Good	Remove	1		219	11	Red Oak	Quercus rubra	Good	Save			1081	10	Basswood	Tilia americana	Good	Remove	1	
21	12	Basswood	Tilia americana	Good	Save			220	21	Black Cherry	Prunus serotina	Good	Save			1082	10	Sugar Maple	Acer saccharum	Good	Remove	1	
22	11	Black Cherry	Prunus serotina	Good	Save			221	9	American Elm	Ulmus americana	Good	Save			1083	10	Sugar Maple	Acer saccharum	Good	Save		
23	8	Sugar Maple	Acer saccharum	Good	Save			222	13	Black Cherry	Prunus serotina	Good	Save			1084	16	Black Cherry	Prunus serotina	Good	Save		
24	13	Basswood	Tilia americana	Good	Save			223	25	Basswood	Tilia americana	Good	Save			1085	9	Black Cherry	Prunus serotina	Good	Save		
25	15	Red Oak	Quercus rubra	Good	Save			224	8	Red Maple	Acer rubrum	Good	Save			1086	22	Red Oak	Quercus rubra	Good	Save		
26	8	Red Maple	Acer rubrum	Good	Save			225	24	Red Oak	Quercus rubra	Good	Save			1087	16	Red Oak	Quercus rubra	Good	Save		
27	13	Red Oak	Quercus rubra	Good	Save			226	17	Red Oak	Quercus rubra	Good	Save			1088	6.8	Red Maple	Acer rubrum	Good	Save		
28	8	American Elm	Ulmus americana	Good	Save			227	9	Black Cherry	Prunus serotina	Good	Save			1089	8	Basswood	Tilia americana	Good	Remove	1	
29	9	Red Oak	Quercus rubra	Good	Save			228	13	Black Cherry	Prunus serotina	Good	Save			1090	14	Sugar Maple	Acer saccharum	Good	Remove	2	
30	19	Red Oak	Quercus rubra	Good	CRZ	2		229	12	Red Maple	Acer rubrum	Good	Save			1091	11	Black Cherry	Prunus serotina	Good	Remove	1	
31	6.8	Red Maple	Acer rubrum	Good	CRZ	1		230	14	Black Cherry	Prunus serotina	Good	Save			1092	8	Red Maple	Acer rubrum	Good	Remove	1	
32	16	Red Oak	Quercus rubra	Good	Remove	2		231	9	Black Cherry	Prunus serotina	Good	Save			1093	14	Red Maple	Acer rubrum	Good	Remove	2	
33	9	Red Maple	Acer rubrum	Good	Save			232	Dead			Good	Save			1094	Dead			Good	Remove	0	
34	8	Black Cherry	Prunus serotina	Good	Remove	1		233	11	Red Oak	Quercus rubra	Good	Save			1095	8	Black Cherry	Prunus serotina	Good	Remove	1	
35	15	Red Oak	Quercus rubra	Good	Save			234	16	Red Maple	Acer rubrum	Good	Save			1096	17	Sugar Maple	Acer saccharum	Good	Remove	2	
36	14	Red Oak	Quercus rubra	Good	Save			235	16	Red Maple	Acer rubrum	Good	Save			1097	9	American Elm	Ulmus americana	Good	Remove	1	
37	10	Red Oak	Quercus rubra	Good	Save			236	17	Pignut Hickory	Carya glabra	Good	Save			1098	13	Red Maple	Acer rubrum	Good	Remove	0	
38	17	Red Oak	Quercus rubra	Good	Save			237	9	Sugar Maple	Acer saccharum	Good	Save			1099	10	American Elm	Ulmus americana	Good	CRZ	1	
39	16	Red Oak	Quercus rubra	Good	Save			238	9	Red Maple	Acer rubrum	Good	Save			1100	9	American Elm	Ulmus americana	Good	CRZ	1	
40	8	Black Cherry	Prunus serotina	Good	Save			239	9	Red Maple	Acer rubrum	Good	Save							Good	Remove	2	
41	10	Red Maple	Acer rubrum	Good	CRZ	1		240	28	Red Oak	Quercus rubra	Good	Save							Good	Remove	0	
42	8	Black Cherry	Prunus serotina	Good	CRZ	1		241	11	Red Maple	Acer rubrum	Good	Save							Good	Remove	3	
43	13	Red Oak	Quercus rubra	Good	Save			242	11	Red Maple	Acer rubrum	Good	Save							Good	Remove	2	
44	14	Red Oak	Quercus rubra	Good	Save			243	17	Black Cherry	Prunus serotina	Good	Save							Good	Remove	1	
45	12	Basswood	Tilia americana	Good	Save			244	9	Black Cherry	Prunus serotina	Good	Save							Good	Remove	0	
46	13	Red Oak	Quercus rubra	Good	Save			245	15	Black Cherry	Prunus serotina	Good	Save							Good	Remove	0	
47	12	Red Oak	Quercus rubra	Good	Save			246	9	Black Cherry	Prunus serotina	Good	Save							Good	Remove	0	
48	10	Black Cherry	Prunus serotina	Good	Save			247	10	Black Cherry	Prunus serotina	Good	Save							Good	Remove	0	
49	9	Black Cherry	Prunus serotina	Good	Save			248	10	Black Cherry	Prunus serotina	Good	Save							Good	Remove	0	
50	15	Red Oak	Quercus rubra	Good	Save			1011	8	Red Maple	Acer rubrum	Good	Save							Good	Remove	0	
51	21	Red Oak	Quercus rubra	Good	Save			1012	12	Basswood	Tilia americana	Good	Save							Good	Remove	2	
52	8	American Hornbeam	Carpinus caroliniana	Good	Save			1013	10	Pignut Hickory	Carya glabra	Good	Save							Good	Remove	1	
53	9	Quaking Aspen	Populus tremuloides	Good	Save			1014	8	Red Maple	Acer rubrum	Good	Save							Good	Remove	0	
54	10	Sugar Maple	Acer saccharum	Good	Save			1015	8	Red Oak	Quercus rubra	Good	Save							Good	Remove	0	
55	10	Red Oak	Quercus rubra	Good	Save			1016	14	Black Walnut	Juglans nigra	Good	Save							Good	Remove	0	
56	10	Basswood	Tilia americana	Good	Save			1017	13	Basswood	Tilia americana	Good	Save							Good	Remove	0	
57	12	Basswood	Tilia americana	Good	Save			1018	12	Pignut Hickory	Carya glabra	Good	Save							Good	Remove	0	
58	10	Black Cherry	Prunus serotina	Good	Save			1019	9	Red Oak	Quercus rubra	Good	Save							Good	Remove	0	
59	8	Basswood	Tilia americana	Good	Save			1020	14	Red Oak	Quercus rubra	Good	Save							Good	Remove	0	
60	8	Basswood	Tilia americana	Good	Save			1021	8	Shelbark Hickory	Carya laciniata	Good	Save							Good	Remove	0	
61	17	Red Oak	Quercus rubra	Good	Save			1022	11	Basswood	Tilia americana	Good	Save							Good	Remove	0	
62	9	Basswood	Tilia americana	Good	Save			1023	11	Red Oak	Quercus rubra	Good	Save							Good	Remove	0	
63	8	Red Maple	Acer rubrum	Good	Save			1024	9	Red Oak	Quercus rubra	Good	Save							Good	Remove	0	
64	21	Basswood	Tilia americana	Good	Save			1025	9	Red Oak	Quercus rubra	Good	Save							Good	Remove	0	
65	21	Basswood	Tilia americana	Good	Save			1026	13	Basswood	Tilia americana	Good	Save							Good	Remove	0	
66	6.9	Red Maple	Acer rubrum	Good	Save			1027	15	Red Oak	Quercus rubra	Good	Save							Good	Remove	0	
67	17	Basswood	Tilia americana	Good	Save			1028	17	Red Oak	Quercus rubra	Good	Save							Good	Remove	0	
68	14	Basswood	Tilia americana	Good	Save			1029	Dead			Good	Save							Good	Remove	0	
69	10	Black Cherry	Prunus serotina	Good	Save			1030	10	Black Locust	Robinia pseudoacacia	Good	Save							Good	Remove	0	
70	13	Basswood	Tilia americana	Good	Save			1031	13	Black Locust	Robinia pseudoacacia	Good	Save							Good	Remove	0	
71	19	Red Oak	Quercus rubra	Good	Save			1032	13	Red Oak	Quercus rubra	Good	Save							Good	Remove	0	
72	19	Red Oak	Quercus rubra	Good	Save			1033	10	Sugar Maple	Acer saccharum	Good	Save							Good	Remove	0	
73	12	Black Cherry	Prunus serotina	Good	Save			1034	8	Sugar Maple	Acer saccharum	Good	Save							Good	Remove	0	
74	11	Black Cherry	Prunus serotina	Good	Save			1035	8	Sugar Maple	Acer saccharum	Good	Save							Good	Remove	0	
75	17	Red Oak	Quercus rubra	Good	Save			1036	8	Black Cherry	Prunus serotina	Good	Save							Good	Remove	0	
76	11	Black Cherry	Prunus serotina	Good	Save			1037	6.8	Black Locust	Robinia pseudoacacia	Good	Save							Good	Remove	0	
77	10	Basswood	Tilia americana	Good	Save			1038	11	Basswood	Tilia americana	Good	Save							Good	Remove	0	
78	17	Basswood	Tilia americana	Good	Save			1039	10	Red Oak	Quercus rubra	Good	Save							Good	Remove	0	
79	16	Red Oak	Quercus rubra	Good	Save			1040	9	Red Oak	Quercus rubra	Good	Save							Good	Remove	0	

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

July 18, 2024

Planning Review

Mando Parking Lot Expansion

JSP 23-24

PETITIONER

Tower Construction, LLC

REVIEW TYPE

Combined Preliminary and Final Site Plan

PROPERTY CHARACTERISTICS

Section	4	
Site Location	North of Cartier Drive, East of Beck Road; 22-04-151-036	
Site School District	Walled Lake Consolidated School District	
Site Zoning	I-1: Light Industrial District	
Adjoining Zoning	North	RM-1: Low Density Multiple Family
	East	I-1: Light Industrial District
	West	City of Wixom (M-1: Light Industrial District)
	South	I-1: Light Industrial District
Current Site Use	Light Industrial	
Adjoining Uses	North	Low Density Multiple Family
	East	Vacant
	West	Light Industrial
	South	Light Industrial
Site Size	7.62 acres	
Plan Date	January 23, 2024	

PROJECT SUMMARY

The applicant is proposing to remove 53 regulated woodland trees to create 37 additional parking spaces for employees at the Mando Building on the northeast corner of the parcel.

RECOMMENDATION

Planning recommends approval of the Final Site Plan with comments to be addressed in the revised Final Site Plan. The plan mostly conforms to the requirements of the Zoning Ordinance, with deviations identified below. Planning Commission approval of the Woodland Permit will be required.

ORDINANCE REQUIREMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. Please address the items in **bold** below for the next submittal.

Planning Chart: Please refer to the attached Planning Chart for additional comments to address in the next submittal.

1. Woodland Permit: As noted in the Woodland review letter, the applicant proposes to impact 53 regulated trees, requiring 72 replacement credits. The applicant has stated that no trees will be planted towards woodland replacements and all 72 tree replacements will be paid into The City of Novi Tree Fund. **Woodland permits must go in front of the Planning Commission.**
2. Minimum number of Bicycle Parking (Sec. 5.16.1): Five (5) percent of required automobile spaces—minimum of 2 spaces. Please **include some additional bicycle parking within the next submittal.**
3. Lighting and Photometric Plan (Sec. 5.7.A.i): Site Plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas and exterior lighting fixtures. Lighting Plan should show all photometric data in footcandles. **Please include a photometrics sheet at the time of Final Site Plan Submittal.**
4. Parcel Combination: With the current property line, the proposed parking lot does not meet the setback. **A parcel combination will need to be completed prior to Final Stamping Set approval, and the new parcel number will need to be listed on the Final Stamping Set. Since there are existing Site Condominiums, an amendment to the Master Deed may be required and will need to be reviewed by our Legal team.**
5. Parking Setback: Parking in the front yard setback has been calculated and appears to be in conformance with the ordinance. The Planning Commission may review this.

OTHER REVIEWS

- a. Engineering Review: Engineering recommending **approval of the Preliminary Site Plan but is NOT recommending approval of the Final Site Plan.** Please see the Engineering Review for additional information.
- b. Landscape Review: Landscape recommends **approval, with revisions to be made within a Revised Final Site Plan submittal.** Please see landscape review for additional details.
- c. Woodland & Wetland Review: Merjent **recommends approval** of the Woodland and Wetland Combined Preliminary and Final Site Plan. Please see review letter for additional information.
- d. Traffic Review: Traffic **recommends approval** of the Combined Preliminary and Final Site Plan,
- e. Fire Review: Fire **recommends approval** of the Combined Preliminary and Final Site Plan.

NEXT STEP: REVISED FINAL SITE PLAN SUBMITTAL

After receiving Planning Commission's approval of the Preliminary Site Plan and ZBA approval of variances, please follow the [Final Site Plan Checklist](#) and submit for approval:

1. **Three (3)** copies of Final Site Plan sets (24" x 36", folded) addressing ALL comments from Preliminary Site Plan Review.
2. Response letter addressing ALL comments from ALL review letters and **refer to sheet numbers where the change is reflected.**
3. [Final Site Plan Application](#)
4. [No Revision Façade Affidavit](#) (only if no façade changes have been made)
5. An itemized engineering cost estimate including sanitary sewer, watermain, storm sewer, paving and grading costs, size 8.5" x 11" (The cost estimate should not include soil erosion or demolition costs.)

6. An itemized landscaping cost estimate including greenbelt and greenbelt ornamental trees, perennials, pond plantings, shrubs, edging, mulch, seed mix and seeded lawn, size 8.5" x 11" (The cost estimate should not include woodland trees, replacement trees or mitigation.)
7. [Hazardous Chemical Survey](#)
8. [ROW Permit Application \(as needed\)](#)
9. [Soil Erosion Permit Application](#)
10. [Other Agencies Checklist](#)

NEXT STEP: PLANNING COMMISSION MEETING

A Woodland Permit is required for the removal of 53 trees. Due to this waiver, this site plan does not qualify for administrative approval under Section 6.1.1.C, Planning Commission approval will be required.

FUTURE STEP: STAMPING SET APPROVAL

Stamping sets are required for this project. After having received all of the review letters from City staff the applicant should make the appropriate changes on the plans and submit **9 size 24" x 36" copies with original signature and original seals on the cover sheet (subsequent pages may use electronic with signature)**, to the Community Development Department for final Stamping Set approval.

PRE-CONSTRUCTION MEETING

A Pre-Construction meeting is required for this project. Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled, so it is recommended that you begin working with Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department after Final Site Plan approval. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah.

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248.347.0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0579 or hzeigler@cityofnovi.org.



Heather Zeigler - Planner



PLANNING REVIEW CHART: I-1 Light Industrial

Review Date: April 4, 2024
Review Type: Revised Final Site Plan
Project Name: JSP24-11: Mando Parking Lot Expansion
Location: Beck North Corporate Park
Plan Date: March 19, 2024
Prepared by: Heather Zeigler, Planner
E-mail: heigler@cityofnovi.org; **Phone:** (248) 347-0579

Items in **Bold** need to be addressed by the applicant with next submittal.
 Items **Underlined Bold** require waivers or variances.
Italicized items should be noted.

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan <i>(adopted July 26, 2017)</i>	Industrial Research Development and Technology	No Change	Yes	
Area Study	The site does not fall under any special category		N/A	
Zoning <i>(Effective Jan. 8, 2015)</i>	I-1: Light Industrial District	No Change	Yes	
Uses Permitted <i>(Sec 3.1.18.B & C)</i>	Sec 3.1.18.B Principal Uses Permitted. Sec 3.1.18.C Special Land Uses	Parking Lot Addition Only	Yes	
Height, bulk, density and area limitations – I-1 District (Sec 3.1.18)				
Frontage on a Public Street <i>(Sec. 5.12)</i>	Frontage on a Public Street is required	Frontage on Cartier Drive	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Minimum Zoning Lot Size for each Unit in Acres (Sec 3.6.2.D)	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback		Yes	
Minimum Zoning Lot Size for each Unit: Width in Feet			Yes	
Maximum % of Lot Area Covered (By All Buildings)	(Sec 3.6.2.D)	76,500 S.F existing	Yes	Building addition no longer proposed
Building Height (Sec. 3.1.18.D)	25 ft. maximum height Sec. 3.14.5.C: The maximum heights of any building [in the I-1 District] constructed on a lot or site adjacent to a residential district shall be twenty-five (25) feet	No change to building height	N/A	
Building Setbacks (Sec 3.1.18.D)				
Front (south)	40 ft.	43 ft	Yes	No change to building footprint
Rear (north)	100 ft. (Sec 3.6.2.H)	250 ft	Yes	
Side (east)	20 ft.	170 ft	Yes	
Side (west)	20 ft.	Existing	Yes	
Parking Setback (Sec 3.1.18.D) & Refer to applicable notes in Sec 3.6.2				
Front (south)	40 ft. (Sec. 3.6.2.E)	43.9 ft – Hudson Drive Complies	Yes	
Rear (north)	100 ft. (Sec 3.6.2.F)	60 ft	Yes	
Side (east)	10 ft.	43 ft	Yes	
Side (west)	10 ft.	existing	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Note To District Standards (Sec 3.6.2)				
Exterior Side Yard Abutting a Street (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to front yard.	No side yard abutting street	N/A	
Off-Street Parking in Front Yard (Sec 3.6.2.E)	Off-street parking is allowed in front yard if - the site is min. 2 acres - does not extend into the minimum required front yard setback of the district, - cannot occupy more than 50% of the area between min. front yard setback & bldg. setback, - must be screened by brick wall or landscaped berm - lighting compatible with surrounding neighborhood	Parking proposed in front yard	No	Planning Commission approval will be required for parking in the front yard.
Off-Street Parking in Side and Rear Yards (Sec 3.6.2.F)	For sites abutting a residential zoning district, off-street parking shall not occupy more than fifty (50) percent of the area of the side or rear yard abutting a residential district	Does not abut residential zoning	N/A	
	Off-street parking shall be setback no less than one hundred (100) feet from the residential district. Exterior side yards shall be subject to the front yard setback requirements of the district, and all regulations applicable to a front yard shall apply.	Does not abut residential zoning	N/A	
Setback from Residential District (Sec 3.6.2.H)	I-1 and I-2 districts, five (5) feet of horizontal setback for each foot of building height, or one	Does not abut residential zoning	N/A	

Item	Required Code	Proposed	Meets Code	Comments
	hundred (100) feet, whichever is greater (except when a site or rear yard is separated from a residential district by a railroad right-of-way, the right-of-way may be included as part of the setback requirement).			
Wetland/Watercourse Setback (Sec 3.6.2.M)	A setback of 25ft from wetlands and from high watermark course shall be maintained			Refer to attached wetland review letter
Additional Height (Sec 3.6.2.O)	Additional heights for selected building is allowed based on conditions listed in Sec 3.6.2.O			
Parking setback screening (Sec 3.6.2.P)	Required parking setback area shall be landscaped per sec 5.5.3.	Provided	Yes	Refer to attached landscape review
Modification of parking setback requirements (Sec 3.6.2.Q)	The Planning Commission may modify parking setback requirements based on conditions listed in Sec 3.6.2.Q	Parking setbacks comply with minimum standards	N/A	
Parking, Loading and Dumpster Requirements				
Number of Parking Spaces: Industrial or research establishments and related accessory offices (Sec. 5.2.12.E)	One (1) space for each seven hundred (700) square feet of usable floor area or five (5) plus one (1) for each one and one-half (1 ½) employees in the largest working shift, whichever is greater. Space on site shall also be provided for all construction workers during periods of plant construction 138,770 SF / 700 SF = 198 required spaces	Existing 158 (including ADA spaces) Plus a proposed additional 37 spaces.	Yes	75,500 / 700s.f = 147,522 s.f / 700 s.f = 210.75 → 211 spaces required Complies

Item	Required Code	Proposed	Meets Code	Comments
<p>Parking Space Dimensions and Maneuvering Lanes (Sec. 5.3.2)</p>	<ul style="list-style-type: none"> - 90° Parking: 9 ft. x 19 ft. - 24 ft. two-way drives - 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping 	<p>24.6' drives & 8.2' wide sidewalks with a 4' curb depicted</p>	<p>Yes</p>	
<p>Parking stall located adjacent to a parking lot entrance: public or private (Sec. 5.3.13)</p>	<p>Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer</p>	<p>Complies</p>	<p>Yes</p>	
<p>End Islands (Sec. 5.3.12)</p>	<ul style="list-style-type: none"> - End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance 	<p>End islands are in conformance & dimensioned accordingly.</p>	<p>Yes</p>	

Item	Required Code	Proposed	Meets Code	Comments
Barrier Free Spaces <i>Barrier Free Code</i>	7 barrier free parking spaces for sites containing 201-300 spaces, 2 of which must be van barrier free parking spaces	6 existing, none proposed	Yes	
Barrier Free Space Dimensions <i>Barrier Free Code</i>	<ul style="list-style-type: none"> - 8' wide with an 8' wide access aisle for van accessible spaces - 8' wide with a 5' wide access aisle for regular accessible spaces 	Existing- complies	Yes	
Barrier Free Signs <i>Barrier Free Code</i>	One sign for each accessible parking space.	Existing- complies	Yes	
Minimum number of Bicycle Parking <i>(Sec. 5.16.1)</i>	Five (5) percent of required automobile spaces, minimum two (2) spaces 10 bicycle parking spaces are required for 198 required automobile parking spaces	None proposed	No	Please include additional bicycle parking in the next submittal.
Bicycle Parking General requirements <i>(Sec. 5.16)</i>	<ul style="list-style-type: none"> - No farther than 120 ft. from the entrance being served - When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations - Spaces to be paved and the bike rack shall be inverted "U" design - Shall be accessible via 6 ft. paved sidewalk 	N/A	N/A	
Bicycle Parking Lot layout <i>(Sec 5.16.6)</i>	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double	N/A	N/A	

Item	Required Code	Proposed	Meets Code	Comments
Loading Spaces (Sec. 5.4. & Sec. 3.14.5)	Loading area in the rear yard Loading area in interior side yard if it is adjacent to I, EXPO or EXO district	No new loading area proposed	N/A	
Accessory Structures				
Dumpster (Sec 4.19.2.F)	<ul style="list-style-type: none"> - Located in rear yard - Attached to the building or - No closer than 10 ft. from building if not attached - Not located in parking setback - If no setback, then it cannot be any closer than 10 ft, from property line. - Away from Barrier free Spaces 	Existing; complies	Yes	
Dumpster Enclosure (Sec. 21-145. (c))	<ul style="list-style-type: none"> - Screened from public view - A wall or fence 1 ft. higher than height of refuse bin - And no less than 5 ft. on three sides - Posts or bumpers to protect the screening - Hard surface pad. - Screening Materials: Masonry, wood or evergreen shrubbery 	Existing dumpster; complies	Yes	
Roof top equipment and wall mounted utility equipment (Sec. 4.19.2.E.ii)	All roof top equipment must be screened, and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	No rooftop equipment is proposed	N/A	

Item	Required Code	Proposed	Meets Code	Comments
Roof top appurtenances screening	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road or adjacent property.	No rooftop equipment is proposed	N/A	
I-1 District Required Conditions (Sec 3.14)				
Outdoor Storage of Above Ground Storage Tanks <i>(Sec. 3.14.1.B.ii)</i>	Outdoor placement of above-ground storage tanks of not more than 600 capacity per tank and accessory to an otherwise permitted use. Additional conditions apply	Not proposed	N/A	
Outdoor Storage of recreational equipment <i>(Sec. 3.14.1.B.iii)</i>	See Sec. 3.14.1.B.iii.a – f	Not proposed	N/A	
Other <i>(Sec 3.14.2)</i>	Unless otherwise provided, dealing directly with consumer at retail, is prohibited.	Not proposed	N/A	
Adjacent to Freeway ROW <i>(Sec 3.14.4)</i>	Where a permitted use abuts a freeway right-of way, special conditions listed in section 3.14.4 apply	Not adjacent to Freeway ROW	N/A	
Planning Commission Findings for Permitted Uses (Sec 3.14.3)				

Item	Required Code	Proposed	Meets Code	Comments
Adjacent Residential Uses (Sec 3.14.3.A)	Protecting current and future residential uses from development impact	Not adjacent to residential uses	N/A	
Long term truck parking Sec 3.14.3.B	Long-term delivery truck parking is not permitted	Provided: item # 14 on sheet 1 – general site notes	Yes	
Performance standards Sec 3.14.3.C	The lighting, noise, vibration, odor and other possible impacts are in compliance with standards and intent of the article and performance standards of Section 5.14	Provided: item # 15 on sheet 1 – general site notes	Yes	
Storage and/use of material Sec 3.14.3.D	The storage and/or use of any volatile, flammable or other materials shall be fully identified in application and shall comply with any city ordinances regarding toxic or hazardous materials.	Not proposed	N/A	
Hazardous material checklist Sec 3.14.3.E	Compliance of City's hazardous materials checklist	Checklist provided	Yes	
Considerations for I-1 Permitted Uses Adjacent a Residential District (Sec. 3.14.5)				
Loading Area (Sec. 3.14.5.A)	No truck well, loading dock or door, shall be permitted on or in the wall of the building which faces the abutting residential district and only pedestrian exits or emergency doors shall be allowed on such wall.	Not adjacent to residential district	N/A	

Item	Required Code	Proposed	Meets Code	Comments
<p>Outdoor Storage and Parking Screening (Sec. 3.14.5.B)</p>	<p>No outside storage of any materials, equipment, trash or waste shall be permitted, except that dumpsters may be permitted outdoors where properly screened pursuant to the requirements of this Ordinance</p>	<p>Not adjacent to residential district</p>	<p>N/A</p>	
	<p>All off-street parking and areas used for vehicular repair, delivery, loading/unloading and transport shall not be closer than one-hundred (100) feet from the boundary of a residential district and effectively screened from view from said residential district by landscaping, walls or berms pursuant to the requirements of Section 3.14.5.E.</p>			
<p>Exterior Lighting (Sec. 3.14.5.D)</p>	<p>A photometric plan is required at the Preliminary Site Plan stage when the site abuts residential.</p> <p>Exterior site lighting is required as regulated by Section 5.7. In addition, where a building <u>wall faces an abutting residential district</u> there shall be no floodlighting of such facade. This shall not preclude the lighting of doorways on such facades.</p>	<p>Not adjacent to residential district</p>	<p>N/A</p>	
<p>Windows and Doors (Sec. 3.14.5.F)</p>	<p>Windows and doors of non-office use areas of structures in an I-1 district may not be left open.</p>	<p>Not adjacent to residential district</p>	<p>N/A</p>	

Item	Required Code	Proposed	Meets Code	Comments
Special Land Use Considerations for I-1 Sites Adjacent to Residential Districts (Sec. 6.1.2.C)				
Traffic Circulation and Safety (Sec. 6.1.2.C.i)	The proposed use will not cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, accel/decel lanes off-street parking, off-street loading & unloading, travel times and thoroughfare level of service.	Provided	Yes	Please see traffic review for additional details.
Public Services & Utilities (Sec. 6.1.2.C.ii)	The proposed use will not cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal, and police and fire protection to serve existing and planned uses in the area.	Provided	Yes	Please see engineering review for additional details.
Natural Features (Sec. 6.1.2.C.iii)	The proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats.	Woodland tree removals will require permit	No	<i>To be determined by the planning commission</i>
Impact on Surrounding Neighborhoods (Sec. 6.1.2.C.iv)	The proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood.	Expansion of existing use, closest residential use is some distance, and buffered by woodlands	TBD	To be determined by the planning Commission

Item	Required Code	Proposed	Meets Code	Comments
<p>Master Plan for Land Use (Sec. 6.1.2.C.v)</p>	<p>The proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.</p>	<p>Complies</p>	<p>Yes</p>	
<p>Social & Economic Impact (Sec. 6.1.2.C.vi)</p>	<p>The proposed use will promote the use of land in a socially and economically desirable manner.</p>		<p>Yes</p>	
<p>Zoning Ordinance & Land Use (Sec. 6.1.2.C.vii)</p>	<p>The proposed use is listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance and is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.</p>		<p>Yes</p>	

Item	Required Code	Proposed	Meets Code	Comments
Other Requirements				
Exterior lighting (Sec. 5.7)	A photometric plan is required at the Preliminary Site Plan stage when the site abuts residential.	Not Provided	No	
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided on sheet 1	Yes	
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).	Provided	Yes	
Development and Street Names	Development and street names must be approved by the Street Naming Committee before Preliminary Site Plan approval	Not applicable	N/A	
Development/ Business Sign	Signage, if proposed, requires a permit.	None shown	<u>TBD</u>	<u>For sign permit information contact Ordinance Enforcement at 248-735-5678.</u>
Lighting and Photometric Plan (Sec. 5.7)				
Intent (Sec. 5.7.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky	Not provided	No	Please include a photometrics plan within the next submittal.
Lighting Plan (Sec. 5.7.A.i)	Site plan showing location of all existing & proposed buildings, landscaping, streets,	Not provided	No	

Item	Required Code	Proposed	Meets Code	Comments
	drives, parking areas & exterior lighting fixtures			
Building Lighting (Sec. 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.		No	
Lighting Plan (Sec.5.7.A.2.ii)	Specifications for all proposed & existing lighting fixtures		No	
	Photometric data		No	
	Fixture height		No	
	Mounting & design		No	
	Glare control devices (Also see Sec. 5.7.3.D)		No	
	Type & color rendition of lamps		No	
Maximum Height (Sec. 5.7.3.A)	Hours of operation		No	
	Height not to exceed maximum height of zoning district (or 25 ft. where adjacent to residential districts or uses		No	
Color Spectrum Management (Sec. 5.7.3.F)	- All Permanent lighting installations shall have a minimum color Rendering Index (CRI) of 70 - All permanent lighting installations shall have a Correlated Color Temperature (CCT) of no greater than 3000 Kelvin (K)		No	
Indoor Lighting (Sec. 5.7.3.H)	Indoor lighting shall not be the source of exterior glare or spillover		No	
Standard Notes (Sec. 5.7.3.B)	- Electrical service to light fixtures shall be	Standard Notes not Provided	No	

Item	Required Code	Proposed	Meets Code	Comments
	placed underground - Flashing light shall not be permitted - Only necessary lighting for security purposes & limited operations shall be permitted after a site's hours of operation			
Security Lighting (Sec. 5.7.3.i)	- All fixtures shall be located, shielded and aimed at the areas to be secured. - Fixtures mounted on the building and designed to illuminate the facade are preferred - Lighting for security purposes shall be directed only onto the area to be secured.		No	
Average Light Level (Sec.5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1		No	
True Color Lighting (Sec. 5.7.3.F)	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps		No	
Min. Illumination (Sec. 5.7.3.K)	Parking areas: 0.2 min		No	
	Loading & unloading areas: 0.4 min		No	
	Walkways: 0.2 min		No	
	Building entrances, frequent use: 1.0 min		No	
	Building entrances, infrequent use: 0.2 min		No	
Max. Illumination adjacent to Non-Residential (Sec. 5.7.3.K)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle		No	
Cut off Angles (Sec. 5.7.3.L)	When adjacent to residential districts: - All cut off angles of fixtures must be 90° - maximum illumination at the property line		No	

Item	Required Code	Proposed	Meets Code	Comments
	shall not exceed 0.5 foot candle - No direct light source shall be visible at the property line (adjacent to residential) at ground level			

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4 and 5 of the zoning ordinance for further details.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT
July 11, 2024
Mando Parking Lot Expansion
Combined Preliminary/Final Site Plan - Landscaping

Review Type

Preliminary/Final Site Plan Landscape Review

Job #

JSP24-0011

Property Characteristics

- Site Location: 29930 Hudson Drive
- Site Acreage: 0.82 ac.
- Site Zoning: I-1
- Adjacent Zoning: North, South, East, West: I-1
- Plan Date: 6/14/2024

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Preliminary Site Plan submittal. Underlined items must be addressed on the Final Site Plans. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Chart are summaries and are not intended to substitute for any Ordinance.

RECOMMENDATION:

This project is **recommended for approval, with the provision that they plant the required street trees east of the drive to Hexagon Way**. The remaining minor issues noted below can be addressed on the revised Final Site Plan.

LANDSCAPE WAIVERS REQUIRED FOR THIS PROJECT:

Lack of greenbelt landscaping for the area east of the Hexagon Way drive – *supported by staff except for the street trees east of the access drive.*

Please change the city project number to JSP24-0011 on the set cover sheet.

Ordinance Considerations

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. Tree survey is provided.
2. Wetland survey is provided.
3. The plans indicate that 72 woodland replacements are required. None are being planted on the site so a contribution to the tree fund will be made for all of those credits.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.A)

The project is not adjacent to residential property so no screening berm is required.

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

The project does not front on any road except for the industrial park's roads.

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. The required parking lot interior area and trees are provided.
2. The required parking lot perimeter trees are provided.

Non-Residential Landscaping (Zoning Sec 5.5.3.F.iv)

1. **Hudson Drive** – as no work is done facing Hudson, and utility lines prevent the planting of street trees, no frontage landscaping is required.
2. **Hexagon Way**
 - a. **West of entry** - as no work is done facing Hudson, and utility lines prevent the planting of street trees, no frontage landscaping is required
 - b. **East of entry**
 - 1) **A waiver is sought to not provide the required landscaping in order to preserve the existing woods.** *This is supported by staff except for the 2 street trees east of the drive.*
 - 2) **The required 2 street trees can and should be planted.**

Building Foundation Landscaping (Zoning Sec 5.5.3.D)

As no changes to the building are proposed, no new landscaping is required.

Plant List (LDM 4, 10)

1. 6 of 7 species proposed (86%) are native to Michigan.
2. The tree diversity meets the standard of LDM Section 4.

Planting Notations and Details (LDM 10)

Provided

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

1. The stormwater detention will be handled by the original basin.
2. **If any changes to that basin are required, detention basin landscaping will also be required.**

Irrigation (LDM 10)

1. If an irrigation system will be used, a plan for it must be provided with Final Site Plans.
2. If alternative means of providing water to the plants for their establishment and long-term survival, information regarding that is also required with Final Site Plans.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or meader rmeader@cityofnovi.org.



Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART – Combined Preliminary/Final Site Plans

Review Date: July 11, 2024
Project Name: JSP24-0011: Mando Parking Lot Expansion
Project Location: 29930 Hudson Drive
Plan Date: March 7, 2024
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan. Underlined items need to be addressed for Final Site Plan.

LANDSCAPE WAIVERS THAT MAY BE REQUIRED FOR THE PROPOSED LAYOUT:

- Landscape waiver to not provide the required greenbelt landscaping berm and trees along the north edge of the parking lot to preserve the existing vegetation to the greatest extent possible – *supported by staff.*

Please change the City of Novi Project Number to JSP24-0011.

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements (Landscape Design Manual (LDM) and Zoning Ordinance (Zoning Sec))				
Landscape Plan <i>(Zoning Sec 5.5.2, LDM 2, 10)</i>	<ul style="list-style-type: none"> • New commercial or residential developments • Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. • 1"=20' minimum with proper North. Variations from this scale can be approved by LA • Consistent with plans throughout set 	Scale: 1" = 30'	Yes	
Project Information <i>(LDM 10)</i>	Name and Address	Yes	Yes	
Owner/Developer Contact Information <i>(LDM 10)</i>	Name, address and telephone number of the owner and developer or association	In Title Block	Yes	
Landscape Architect contact information <i>(LDM 10)</i>	Name, Address and telephone number of RLA/PLA/LLA who created the plan	Jim Allen – Allen Design	Yes	
Sealed by LA. <i>(LDM 10)</i>	Requires original signature	Yes	Yes	
Miss Dig Note <i>(800) 482-7171 (LDM 10)</i>	Show on all plan sheets	In Title Block	Yes	

Item	Required	Proposed	Meets Code	Comments
Zoning (LDM 10)	Include all adjacent zoning	<ul style="list-style-type: none"> Parcel: I-1 North, South, East, West: I-1 Shown on L-1	Yes	
Survey information (LDM 10)	<ul style="list-style-type: none"> Legal description or boundary line survey Existing topography 	Description and Existing conditions are on Sheet 2	Yes	
Existing plant material Existing woodlands or wetlands (LDM 10)	<ul style="list-style-type: none"> Show location type and size. Label to be saved or removed. Plan shall state if none exists. 	<ul style="list-style-type: none"> Tree survey on Sheets L-3 and L-4 Regulated woodlands occupy most of the site. Woodland replacement calculations are provided on L-4 Wetlands are shown on the east edge of the site 	<ul style="list-style-type: none"> Yes Yes Yes Yes 	While it's not exactly landscaping, you should follow the federal guidelines for protecting Indiana bats and long-eared bats regarding tree clearing as there are definitely trees on the site that could be used by bats. Here is the link to what you should follow: https://www.fws.gov/sites/default/files/documents/Michigan%20Bat%20Project%20Review_April_12_2023.pdf
Soil types (LDM10)	<ul style="list-style-type: none"> As determined by Soils survey of Oakland county Show types, boundaries 	Sheet 5	Yes	
Existing and proposed improvements (LDM 10)	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	<ul style="list-style-type: none"> All proposed changes are shown on L-1 Dimensions are on Sheet 1 	Yes	
Existing and proposed utilities (LDM 10)	<ul style="list-style-type: none"> Overhead and underground utilities, including hydrants Show all existing and proposed light posts 	<ul style="list-style-type: none"> Proposed storm, water and sanitary are on landscape plan Light posts are shown 	Yes	
Proposed grading. 2' contour minimum (LDM 10)	Provide proposed contours at 2' interval	Spot elevations and tw/bw elevations are on Sheet 3	Yes	
Snow deposit (LDM 10)	Show snow deposit areas on plan	Yes	Yes	
LANDSCAPING REQUIREMENTS				
Parking Area Landscape Requirements (Zoning Sec 5.5.3.C and LDM 5)				
General requirements (LDM 5)	<ul style="list-style-type: none"> Clear sight distance within parking islands No evergreen trees 	No landscaping in parking lot will block vision	Yes	

Item	Required	Proposed	Meets Code	Comments
Name, type and number of ground cover (LDM 5)	As proposed on planting islands	Grass seed is indicated	Yes	
General (Zoning Sec 5.5.3.C)				
Parking lot Islands	<ul style="list-style-type: none"> • A minimum of 200 SF to qualify • A minimum of 200sf unpaved area per tree planted in an island • 6" curbs • Islands minimum width 10' BOC to BOC 	The islands appear to be large enough.	Yes	<u>Please label the area of the southwest corner island.</u>
Curbs and Parking stall reduction (Zoning Sec 5.3.12)	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	<ul style="list-style-type: none"> • 17 feet where there is room for overhang • 19 feet where no overhang is possible. 	Yes	
Contiguous space limit (Zoning sec 5.5.3.C)	Maximum of 15 contiguous spaces	9 spaces is maximum bay length	Yes	
Plantings around Fire Hydrant (Zoning sec 5.5.3.C)	<ul style="list-style-type: none"> • No plantings with matured height greater than 12' within 10 ft. of fire hydrants • Plant trees at least 5 ft from underground utility lines • Plantings near hydrants or FDCs should be no taller than 12" 	There are no hydrants in the project area	NA	
Landscaped area (Zoning sec 5.5.3.C)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes	Yes	
Clear Zones (Zoning sec 5.5.3.B.ii Footnote 10)	<ul style="list-style-type: none"> • 25 ft corner clearance required. • Refer to Zoning Section 5.5.9 • Road Commission for Oakland County zone for RCOC jurisdiction roads 	<ul style="list-style-type: none"> • Due to the configuration of the Hexagon entry, no clear vision zones are shown or are necessary. • No plantings will conflict with sight vision 	Yes	
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C)				
A = Total square footage of vehicular use areas up to	<ul style="list-style-type: none"> • $A = x \text{ sf} * 7.5 \% = A \text{ sf}$ • $50,000 * 7.5\% = 3750 \text{ sf}$ 	NA		

Item	Required	Proposed	Meets Code	Comments
50,000sf x 7.5%				
B = Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 1 %	<ul style="list-style-type: none"> • $B = x \text{ sf} * 1\% = B \text{ sf}$ • $(xxx - 50000) * 1\% = xx \text{ sf}$ 	NA		
Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C)				
A. = Total square footage of vehicular use area up to 50,000 sf x 5%	<ul style="list-style-type: none"> • $A = x \text{ sf} * 6\% = A \text{ sf}$ • $A = 12233 * 6\% = 734\text{sf}$ 	Calculation is provided		Please turn on the hatch for the VUA area called out on the plans.
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5%	<ul style="list-style-type: none"> • $B = 0.5\% * 0 \text{ sf} = B \text{ SF}$ 	NA		
All Categories				
C = A+B Total square footage of landscaped islands	<ul style="list-style-type: none"> • $C = A + B$ • $C = 734 + 0 = 734 \text{ SF}$ 	1358 sf	Yes	Please label the SF of the southwest corner island with a perimeter tree.
D = C/200 Number of canopy trees required	<ul style="list-style-type: none"> • $D = C/200 \text{ trees}$ • $D = 734/200 = 4 \text{ Trees}$ 	4 trees	Yes	
Parking Lot Perimeter trees (Zoning Sec 5.5.3.C)	<ul style="list-style-type: none"> • 1 Canopy tree per 35 lf • $300/35 = 9 \text{ trees}$ 	9 trees	Yes	
Accessway perimeter (Zoning Sec 5.5.3.C)	<ul style="list-style-type: none"> • 1 canopy tree per 35 lf on each side of road, less widths of access drives. • $(229 \text{ lf})/35 = 7 \text{ trees}$ 	7 trees	Yes	
Parking land banked (Zoning Sec 5.2.14.D)	<ul style="list-style-type: none"> • NA 	None		
Berms, Walls and ROW Planting Requirements				
Berms (Zoning Sec 5.5.3.A & LDM 1)				
<ul style="list-style-type: none"> • All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours • Berm should be located on lot line except in conflict with utilities. • Berms should be constructed with 6" of topsoil. 				
Residential Adjacent to Non-residential (Sec 5.5.3.A & LDM 1.a)				
Berm requirements (Zoning Sec 5.5.A)	The site is not adjacent to residential so this is not required	None	Yes	
Planting requirements (LDM 1.a.)	LDM Novi Street Tree List	NA		
Adjacent to Public Rights-of-Way (Sec 5.5.3.B and LDM 1.b)				
Berm requirements (Zoning Sec	This does not face a public right-of-way	None	Yes	

Item	Required	Proposed	Meets Code	Comments
5.5.3.A.(5))				
Cross-Section of Berms (LDM 10)				
Slope, height and width	<ul style="list-style-type: none"> Label contour lines Maximum 33% Min. 3 feet flat horizontal area Minimum 3 feet high Constructed of loam with 6' top layer of topsoil. 	No berm is required or provided	Yes	
Type of Ground Cover		NA		
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	NA		
Walls (Zoning Sec 5.5.3.A & LDM 10)				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	<ul style="list-style-type: none"> A wall exists along the east end of the parking lot A standard cross section detail is provided 	TBD	
Walls greater than 4 ft. should be designed and sealed by an Engineer		The wall is 4 feet tall at the center.		<ol style="list-style-type: none"> As the wall is 4 feet tall at one point, it will need to be designed by an engineer. The drawing will need to be reviewed with the building plans. A railing on top of the wall may be required
ROW Landscape Screening Requirements (Zoning Sec 5.5.3.B.ii)				
Greenbelt width	Parking Setback equal to zoning requirements – 10 feet	42.7 ft	Yes	
Min. berm crest width	None required			
Minimum berm height	None required			
3' wall	(2)(3)(4)	None in greenbelt		
Canopy deciduous or large evergreen trees	See the non-residential project requirements below			
Sub-canopy deciduous trees)	See the non-residential project requirements below			

Item	Required	Proposed	Meets Code	Comments
Canopy deciduous trees in area between sidewalk and curb	See the non-residential project requirements below			
Non-Residential Projects (<i>Zoning Sec 5.5.3.F.iii</i>)				
Greenbelt Plantings along Industrial Drive	<ul style="list-style-type: none"> • 1 canopy tree or large evergreen tree per 35 lf • 1 subcanopy tree per 40 lf • 1 shrub per 20lf • Massing of ornamental grasses, perennials and/or annuals or bulbs for 10% of frontage • Evergreen shrubs to screen parking areas (a 36" high berm may be used in place of the shrubs) <p>Hudson Drive – no change</p> <p>Hexagon Way (from the eastern edge of the drive to the adjacent property =122 lf)</p> <ul style="list-style-type: none"> • 122/35 = 3 large trees • 122/40 = 3 subcanopy trees • 2*122/40 = 6 shrubs • 122 * 10% = 12lf of massed plantings 	<p>Hudson Drive: Existing vegetation to remain</p> <p>Hexagon Way: Existing vegetation to remain – a landscape waiver is requested</p>	<ul style="list-style-type: none"> • Yes • No 	<p><i>Staff supports the landscape waiver for the lack of new vegetation in order to preserve the existing natural vegetation.</i></p>
Plantings along street	<p>1 canopy tree per 50lf (from the greenbelt tree requirement above)</p> <p><u>Hudson Drive:</u> No development is proposed along Hudson Drive</p> <p><u>Hexagon Way (east of drive):</u> 122/50 = 2 trees</p>	<p>Hudson Drive: 0 trees</p> <p>Hexagon Way: 0 trees</p>	<ul style="list-style-type: none"> • No • No 	<ol style="list-style-type: none"> 1. It appears that the underground utilities along Hudson Drive and Hexagon Way west of the drive would prevent trees from being planted in the right-of-way to meet this requirement. 2. No waiver would be required for the trees on Hudson and west of the drive to Hexagon due to the utility conflicts. 3. As there are no conflicts east of the

Item	Required	Proposed	Meets Code	Comments
				drive, please add the required 2 street trees.
Screening of outdoor storage, loading/unloading (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)	All loading areas are on the existing site and are screened by the building	No loading zones are associated with this project	NA	
Transformers/Utility boxes (LDM 6)	<ul style="list-style-type: none"> A minimum of 2ft. separation between box and the plants Ground cover below 4" is allowed up to pad. No plant materials within 8 ft. from the doors 	<ul style="list-style-type: none"> No new transformer boxes are proposed The utility box screening detail is provided 	TBD	<u>If any new utility box is added, please screen it per the detail.</u>
Building Foundation Landscape Requirements (Zoning Sec 5.5.3.D)				
Interior site landscaping SF (Zoning Sec 5.5.3.D)	<ul style="list-style-type: none"> Equals to entire perimeter of the building addition x 8 with a minimum width of 4 ft. No new building is associated with this project. 	NA	NA	
<i>Building Frontage Landscaping (Zoning Sec 5.5.3.D)</i>	<ul style="list-style-type: none"> If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space No new building is associated with this project. 	NA		
Detention/Retention Basin Requirements (Zoning Sec. 5.5.3.E & LDM 3)				
Planting requirements (Zoning Sec 5.5.3.E & LDM 3)	<ul style="list-style-type: none"> Clusters of large native shrubs shall cover 70-75% of the basin rim area at 10 lf from permanent water level 10" to 14" tall grass along sides of basin Refer to wetland for basin mix Deciduous canopy tree 1/35 of east, south and west sides of pond at 10 feet from permanent water level 	No new detention basin is provided	TBD	If changes to the existing basin are required, the newly created areas must be landscaped per the requirements.
Phragmites and Japanese Knotweed	<ul style="list-style-type: none"> Any and all populations of 	A note indicates that none were	Yes	

Item	Required	Proposed	Meets Code	Comments
Control (Zoning Sec 5.5.6.B)	Phragmites australis and/or Japanese Knotweed on site shall be included on tree survey. <ul style="list-style-type: none"> Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site. 	found on the site		
LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS				
Landscape Notes – Utilize City of Novi Standard Notes				
Installation date (LDM 10)	Provide intended date	Between Mar 15 and Nov 15, 2024 or 2025	Yes	
Maintenance & Statement of intent (Zoning Sec 5.5.6 & LDM 10)	<ul style="list-style-type: none"> Include statement of intent to install and guarantee all materials for 2 years. Include a minimum one cultivation in June, July and August for the 2-year warranty period. 	Both note	Yes	
Plant source (LDM 10 & 11)	Shall be northern nursery grown, No.1 grade.	Midwest American Grown, #1 grade	Yes	
Irrigation plan (LDM 10)	<ul style="list-style-type: none"> A fully automatic irrigation system or a method of providing sufficient water for plant establishment and survival is required on Final Site Plans. If irrigation won't be used, note how trees will get sufficient water for establishment and long-term survival 	No		<ol style="list-style-type: none"> Please add an <u>irrigation plan or information as to how plants will be watered sufficiently for establishment and long-term survival in the Final Site Plans</u> An irrigation system should meet the <u>requirements listed at the end of this chart.</u> If xeriscaping is used, <u>please provide information about plantings included.</u>
Other information (LDM 10)	Required by Planning Commission	NA		
Establishment period (Zoning Sec 5.5.6 & LDM 10)	2 yr. Guarantee	Yes	Yes	
Approval of substitutions. (Zoning Sec 5.5.5 & LDM 10)	City must approve any substitutions in writing prior to installation.	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
Plant List (LDM 10 & 11) – Include all cost estimates				
Quantities and sizes	<ul style="list-style-type: none"> At least 50% of species used shall be native to Michigan Tree diversity shall follow guidelines of LDM Section 4 	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names (LDM 4 & 11)		<ul style="list-style-type: none"> 6 of 7 species used (86%) are native to Michigan. The tree diversity is satisfactory. 	Yes	
Type and amount of lawn		Grass seed		
Cost estimate (LDM 10)	For all new plantings, mulch and sod as listed on the plan	Provided	Yes	
Planting Details/Info (LDM Part III) – Utilize City of Novi Standard Details				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		Yes	Yes	
Multi-stem Tree		Yes	Yes	
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	Yes	Yes	
Other Plant Material Requirements (LDM 11)				
General Conditions	Plant materials shall not be planted within 4 ft. of property line	NA – No plantings are near the adjacent properties	Yes	
Plant Materials & Existing Plant Material (LDM 11)	Clearly show trees to be removed and trees to be saved.	Shown on Sheets L-3 and L-4	Yes	
Landscape tree credit (LDM 11)	<ul style="list-style-type: none"> Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM 	No		
Plant Sizes for ROW, Woodland replacement and others	<ul style="list-style-type: none"> Size determined by use detailed in LDM Table 11.b.(2)a.i Indicate on plant list 	On plant list	Yes	

Item	Required	Proposed	Meets Code	Comments
(LDM 11)				
Plant size credit (LDM 11)	NA	No		
Prohibited Plants (LDM 11.b)	No plants on City Invasive Species List	No prohibited species are used	Yes	
Recommended trees for planting under overhead utilities (LDM 11)	Label the distance from the overhead utilities	A note indicates no overhead lines exist	Yes	
Collected or Transplanted trees (LDM 11)		No		
Nonliving Durable Material: Mulch (LDM 12)	<ul style="list-style-type: none"> • Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth • Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate. 	Yes	Yes	

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

Irrigation System Requirements

1. Any booster pump installed to connect the project's irrigation system to an existing irrigation system must be downstream of the RPZ.
2. The RPZ must be installed in accordance with the 2015 Michigan Plumbing Code.
3. The RPZ must be installed in accordance with the manufacture installation instructions for winterization that includes drain ports and blowout ports.
4. The RPZ must be installed a minimum of 12-inches above FINISHED grade.
5. Attached is a handout that addresses winterization installation requirements to assist with this.
6. A plumbing permit is required.
7. The assembly must be tested after installation with results recorded on the City of Novi test report form.

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

07/18/2024

Engineering Review

Mando Parking Lot Expansion
JSP24-0011

APPLICANT

Mando America Corporation

REVIEW TYPE

Preliminary/Final Site Plan

PROPERTY CHARACTERISTICS

- Site Location: Beck North Corporate Park, south of Hexagon Way
- Site Size: 0.82 acres
- Plan Date: 6/14/2024
- Design Engineer: Alpine Engineering, Inc.

PROJECT SUMMARY

- Construction of an approximately .41-acre parking lot expansion.
- One new catch basin is proposed in the interior of the parking lot and will connect to an existing storm sewer collection system that discharges to an on-site dissipation basin.

RECOMMENDATION

Approval of the Preliminary Site Plan is recommended. Approval of the Final Site Plan is NOT recommended until the following items are addressed.

Comments:

The Final Site Plan does **NOT** meet the general requirements of [Chapter 11 of the City of Novi Code of Ordinances](#), the Storm Water Management Ordinance and the [Engineering Design Manual](#). The following items must be addressed prior to resubmittal:

General

1. **Only at the time of the printed Stamping Set submittal**, provide the City's standard detail sheets for storm sewer (2 sheets) and paving (2 sheets). The most updated details can be found on the City's website under [Engineering Standards and Construction Details](#).
2. A [Right-of-Way Permit](#) will be required from the City of Novi.
3. Provide a traffic control sign table listing the quantities of each **permanent** sign type proposed for the development. Provide a note along with the table stating all traffic signage will comply with the current MMUTCD standards.
4. Provide a traffic control plan for the proposed road work activity.
5. Provide a note that compacted sand backfill (MDOT sand Class II) shall be provided for all utilities within the influence of paved areas; illustrate and label on the profiles.
6. Provide a construction materials table on the utility plan listing the quantity and material type for the storm sewer being proposed.
7. Show the locations of all light poles on the utility plan and indicate the typical foundation depth for the pole to verify that no conflicts with utilities will occur. Light poles in a utility easement will require a License Agreement.
8. Refer to the City standard details for the proposed boardwalk design.

Irrigation Comments

9. Indicate if irrigation is proposed, and if so, include containment notes on irrigation sheets.

Storm Sewer

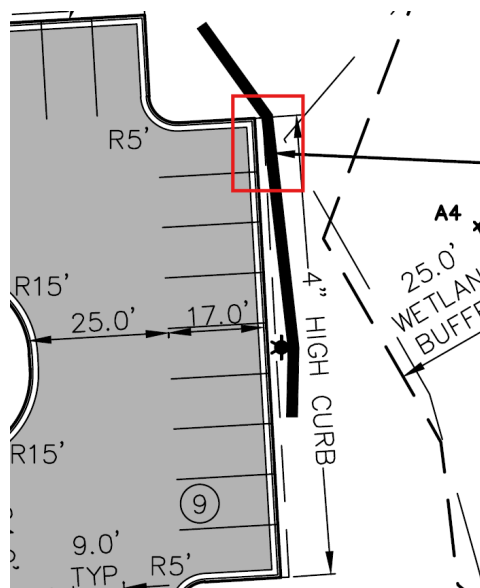
10. A minimum cover depth of 3 feet shall be maintained over all proposed storm sewer. Currently, a few pipe sections do not meet this standard. Grades shall be elevated, and minimum pipe slopes shall be used to maximize the cover depth. In situations where the minimum cover cannot be achieved, Class V pipe must be used with an absolute minimum cover depth of 2 feet. An explanation shall be provided where the cover depth cannot be provided.
11. Provide a 0.1-foot drop in the downstream invert of all storm structures where a change in direction of 30 degrees or greater occurs.
12. Match the 0.80 diameter depth above invert for pipe size increases.
13. Provide profiles for all storm sewer 12-inch and larger.
14. Label the 10-year HGL on the storm sewer profiles and ensure the HGL remains at least 1-foot below the rim of each structure.
15. Illustrate all pipes intersecting storm structures on the storm profiles.
16. Provide a schedule listing the casting type, rim elevation, diameter, and invert sizes/elevations for each proposed, adjusted, or modified storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.
17. Provide pipe flow calculations for the proposed inlet and pipe.

Storm Water Management Plan

18. The Storm Water Management Plan (SWMP) for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the [Engineering Design Manual \(updated Jan 31, 2024\)](#)
19. Provide calculations verifying the post-development runoff rate directed to the proposed receiving drainage course does not exceed the pre-development runoff rate for the site.
20. Since Unit 36 is not being impacted anymore project, please update the "Mando Expansion Runoff Coefficient Calculation" and associated drawings to only consider the 0.82 acres of Unit 37.

Paving & Grading

21. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed.
22. Provide the proposed parking lot's internal contours on the Grading Plan at the time of the Final Site Plan submittal.
23. The end islands shall conform to the City standard island design, or variations of the standard design, while still conforming to the standards as outlined in Section 2506 of Appendix A of the Zoning ordinance (i.e. 2' minor radius, 15' major radius, minimum 10' wide, 3' shorter than adjacent 19' stall).
24. Provide top of curb/walk and pavement/gutter grades to indicate height of curb adjacent to parking stalls or drive areas.
25. Sheet 3 shall be signed and sealed by the design engineer responsible for the proposed retaining wall design and all associated calculations.
26. A retaining wall that has a grade change of 30" or more within a 3' horizontal distance will require a guardrail.
27. The proposed retaining wall seems to intersect the 2' overhang required for the 17' parking spaces on the northeast corner of the proposed lot. Please amend the retaining wall location to be outside the overhang area.



28. Additionally, the foundation of the proposed light pole directly adjacent to the retaining wall may cause issues at its current location due to its potential impact on the wall's base and drainage pipe. Please provide further details of the light pole to prove there will be no detriment to the wall here.

Soil Erosion and Sediment Control

29. A SESC permit is required. A full review has not been completed at this time. A review will be done when a completed packet is submitted to Sarah Marchioni at Community Development.

The following must be submitted with the Revised Final Site Plan:

30. A letter from either the applicant or the applicant's engineer must be submitted with the Stamping Set highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**
31. An itemized construction cost estimate must be submitted to the Community Development Department for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The estimate must be itemized** for each utility (water and storm sewer), on-site paving (square yardage, should include number do detectable warning plates), right-of-way paving (including proposed right-of-way), and grading.

The following must be addressed prior to construction:

32. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430). **Be advised that scheduling the pre-construction meeting can take 2-4 weeks.**
33. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application required). No fee is required for this permit.
34. Material certifications must be submitted to Spalding DeDecker for review prior to the construction of any onsite utilities. Contact Ted Meadows at 248-844-5400 for more information.
35. Construction inspection fees in the amount of **\$TBD** must be paid to the Community Development Department. ****fees are subject to change.**
36. A street sign financial guarantee in the amount of **\$TBD** (\$400 per traffic control sign proposed) must be posted at the Community Development Department. Signs must be installed in accordance with MMUTCD standards.

37. A traffic control inspection fee of **\$TBD** must be paid to Community Development. This fee is the inspection of traffic control items such as signs, striping, curbs, parking stalls, sidewalk, detectable warning surfaces, and temporary pavement markings.
38. A [Soil Erosion Control Permit](#) must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department, Building Division (248-347-0430) for forms and information. The financial guarantee and inspection fees will be determined during the SESC review.
39. A permit for all proposed work activities within the road right-of-way must be obtained from the City of Novi. This application is available from the City Engineering Division or on the city website ([Right-of-Way Permit Application](#)) and can be filed once the Final Site Plan has been submitted. Please contact the Engineering Division at 248-347-0454 for further information. Please submit the cover sheet, standard details, and plan sheets applicable to the permit only.

The following must be addressed prior to issuance of a Temporary Certificate of Occupancy (TCO) approval for the development:

40. The amount of the incomplete site work performance guarantee for any outstanding site improvement items (limited to top course of pavement and other minor items), is calculated at 1.2 times the amount required to complete the site improvements (as specified in the Performance Guarantee Ordinance).
41. The City's consultant Engineer Spalding DeDecker will prepare the record drawings for this development. The record drawings will be prepared in accordance with Article XII, Design and Construction Standards, Chapter 11 of the Novi Code of Ordinances.
42. Submit to the Community Development Department, Waivers of Lien from any parties involved with the installation of each utility as well as a Sworn Statement listing those parties and stating that all labor and material expenses incurred in connection with the subject construction improvements have been paid.
43. Submit an up-to-date Title Policy (dated within 90 days of City Council consideration of acceptance) for the purpose of verifying that the parties signing the Easement and Bill of Sale documents have the legal authority to do so. Please be sure that all parties of interest shown on the title policy (including mortgage holders) either sign the easement documents themselves or provide a Subordination Agreement. Please be aware that the title policy may indicate that additional documentation is necessary to complete the acceptance process.

Prior to preparing stamping sets, the Applicant should submit the Electronic Stamping set to Planning for review, if any changes are proposed after Electronic Stamping set approval send revised sheets directly to Engineering for an informal review and approval.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Ben Nelson at (248)735-5643 or email at bnelson@cityofnovi.org with any questions.

Benjamin Nelson

Ben Nelson,
Project Engineer

cc: Heather Zeigler, Community Development
Diana Shanahan, Planning Assistant
Humna Anjum, Engineering
Ben Croy, City Engineer

WOODLAND/WETLAND REVIEW



July 15, 2024

Heather Zeigler
Planner – Community Development
City of Novi
45175 Ten Mile Road
Novi, MI 48375

Submitted electronically to hzeigler@cityofnovi.org

Re: Mando Parking Lot Expansion Woodland Review and Wetland Boundary Determination (Preliminary Site Plan; JSP24-11)

Dear Heather,

Merjent, Inc. (Merjent) has conducted a preliminary site plan (PSP) review of the proposed Mando Parking Lot Expansion (Mando) project (Project), which is located at the southeast corner of the intersection of Hudson Drive and Hexagon Way in Section 4 of the City of Novi (Parcel 50-22-04-378-031; site). The PSP was prepared by Alpine Engineering, Inc. (Applicant) and is dated June 14, 2024; the landscape portion of the PSP was prepared by Allen Design and is also dated June 14, 2024. Merjent reviewed the plan for conformance with the City of Novi’s (City) Woodland Protection Ordinance, Chapter 37, and Wetlands and Watercourse Protection Ordinance, Chapter 12 Article V. The site contains City-regulated woodlands and City-regulated wetlands (**Figure 1 & Figure 2**).

Woodlands

Woodland Recommendation: Merjent **recommends approval** of the Mando PSP. Additional Woodland Review comments have been provided below to meet the requirements of the Woodland Protection Ordinance. The following Woodland Regulations apply to this site:

Woodland Regulation	Required
Woodland Permit (Chapter 37, Section 37-26)	YES
Tree Replacement (Chapter 37, Section 37-8)	YES
Tree Protection (Fence; Chapter 37, Section 37-9)	YES
Woodland Conservation Easement (Chapter 37-30[e])	NO

Woodland Review Comments

1. City-regulated woodlands, as identified on the City of Novi Woodlands interactive map website, are present onsite. Note that both the woodlands and property limits depicted on the City map are considered approximations (**Figure 1**).
2. Merjent conducted a site visit on July 12, 2024 to review the site conditions relative to the PSP submittal. Site photographs are included in **Attachment A**. The on-site conditions reflect the conditions listed in the PSP.

3. When a proposed site plan is located within a regulated woodland, any tree proposed for removal with a diameter at breast height (DBH) greater than or equal to eight inches will require tree replacement and a Woodland Use Permit per Section 37-8. This also applies to any tree that will be preserved, but where impacts to critical root zones are proposed.
4. Regardless of the presence of regulated woodlands onsite, a Woodland Use Permit is required to perform construction on any site containing the removal of trees larger than 36 inches DBH. No trees on-site are larger than 36 inches DBH.
5. The plan has proposed the impact to 53 regulated trees. A **Woodland Use Permit** is required to perform construction on any site containing regulated woodlands. Because more than three trees are proposed for removal, Planning Commission Approval is required.
6. **Woodland Replacement.** Based on a review of the plan, the following woodland replacements are required:

Tree Size (DBH, inches)	Number of Trees	Ratio Replacement/Removed Tree	Total Replacements Required
8-11	36	1	36
12-20	15	2	30
21-29	1	3	3
30+	0	4	0
Multi-stem	1	Sum of Stem DBH/8 (rounded up)	3
Total	53	-	-
Total Replacements Required			72

Sheet L-4 provides a summary of the trees to be removed for the proposed project.

7. **Critical root zone.** Accurate critical root zones must be depicted on the site plan for all regulated trees within 50 feet of the proposed grading or construction activities. Section 37-2 defines a critical root zone as a circular area around a tree with a radius measured to the tree's longest dripline radius plus one foot.
 - a. The applicant has accurately depicted root zones on Sheet L-3 and has indicated the critical root zone impacts in the tree list on Sheet L-4.
8. The applicant has stated that no trees will be planted toward woodland replacements and all 72 tree replacements will be paid for into the City of Novi Tree Fund in an amount of **\$28,800** (72 x \$400/tree). It is encouraged that prior to paying into the City of Novi Tree Fund, the applicant try to mitigate the proposed removals on-site to the maximum extent practicable via planting woodland replacements.
9. A **woodland fence guarantee of \$6,000** (\$5,000 x 120%) is required per Chapter 26.5-37. The financial guarantee shall be paid prior to issuance of the City of Novi Woodland Use Permit.
 - a. The cost to stake, install, and remove the tree protection fencing has been provided by the applicant on Sheet L-4 (\$2,724). This amount will be used in calculating the Woodland Fence Inspection Fee.

Wetlands

Wetland Recommendation: Merjent **recommends approval** of the Mando PSP based on the comments provided below. Should no changes be made between the PSP and final site plan (i.e., no impacts to wetlands or the setback buffer), Merjent recommends approval of the final site plan as well, provisional to this condition.

Upon review of published resources, the Site appears to contain or immediately borders:

- City-regulated wetlands, as identified on the City of Novi interactive map website. Note that both wetland and property limits depicted on the City's map are considered approximations (**Figure 2**).
- Wetlands that are regulated by the Michigan Department of Environment, Great Lakes, and Energy (EGLE).
- Wetlands as identified on National Wetland Inventory (NWI) and Michigan Resource Inventory System (MIRIS) maps, as identified on the EGLE Wetlands Viewer interactive map website (**Attachment B**). NWI and MIRIS wetlands are identified by the associated governmental bodies' interpretation of topographic data and aerial photographs.
- Hydric (wetland) soil as mapped by the U.S. Department of Agriculture, Natural Resources Conservation Service, as identified on the EGLE Wetlands Viewer interactive map website (**Attachment B**).

Merjent conducted a site visit on July 12, 2024 and observed conditions on-site consistent with the provided PSP and the *Wetland Delineation and Jurisdictional Assessment with GPS Survey* prepared by ASTI Environmental (ASTI). The PSP and *Wetland Delineation and Jurisdictional Assessment with GPS Survey* identified one emergent wetland (Wetland A) on-site.

Permits and Regulatory Status

The City of Novi Code of Ordinances, Chapter 12, Article V defines an essential wetland as meeting one or more of the criteria listed in subsections 12-174(b)(1) through (10). Due to Wetland A being part of a larger forested and emergent wetland complex, it is Merjent's opinion that Wetland A is a City of Novi Essential Wetland. However, no impacts are proposed to Wetland A.

ASTI noted in the *Wetland Delineation and Jurisdictional Assessment with GPS Survey* that Wetland A is also likely regulated by EGLE based on being likely larger than five acres (offsite). Merjent concurs with this statement.

Based on the provided PSP, the following wetland-related items will be required for this project:

Item	Required/Not Required*
Wetland Permit (specify Non-minor or Minor)	Not Required
Wetland Mitigation	Not Required
Environmental Enhancement Plan	Not Required
Wetland Buffer Authorization	Not Required
EGLE Wetland Permit	Not Required*
Wetland Conservation Easement	Not Required

*EGLE holds final jurisdiction/determination over wetlands and permits within wetlands within the State of Michigan.

Wetland Review Comments

1. As stated above, Merjent conducted a site visit on July 12, 2024. Select photos are included in **Attachment A**.
2. No impacts are proposed on-site to Wetland A and therefore, a Wetland Permit will not be required for this project.
3. In addition to wetlands, the City of Novi regulates wetland and watercourse buffers/setbacks. Article 3.0 (Section 3.6 [M]) of the Zoning Ordinance, states: "There shall be maintained in all districts a wetland and watercourse setback, as provided herein, unless and to the extent, it is determined to be in the public interest not to maintain such a setback. The intent of this provision is to require a minimum setback from wetlands and watercourses". The established wetland and watercourse buffer/setback limit is 25 horizontal feet, regardless of grade change. The location and area of affected wetland buffers/setbacks must be identified on site development plans.
 - a. The 25-foot setback buffer is identified on both the PSP and the *Wetland Delineation and Jurisdictional Assessment with GPS Survey*.
 - b. As noted in the PSP, no impacts are proposed within the 25-foot natural features setback. Therefore, a wetland buffer authorization is not needed for this project.
4. The City of Novi requires the boundary lines of any watercourses or wetlands on the Site to be clearly flagged or staked and such flagging/staking shall remain in place throughout the conduct of permit activity (Section 12-172). The site does not need to be re-flagged during the site plan review process, but prior to construction, the wetlands should be marked or identified for avoidance in the field if the original flagging is removed or has deteriorated.

Should you have any questions or concerns with this review, please contact me via email at jason.demoss@merjent.com or via phone at (619) 944-3835.

Sincerely,

Merjent, Inc.



Jason DeMoss, PWS
Environmental Consultant

Enclosures:

Figure 1 – City of Novi Woodlands Map
Figure 2 – City of Novi Wetlands Map
Attachment A – Site Photographs
Attachment B – Wetland Resource Documents

CC:
Diana Shanahan, City of Novi, dshanahan@cityofnovi.org
Rick Meader, City of Novi, rmeader@cityofnovi.org
Barbara McBeth, City of Novi, bmcbeth@cityofnovi.org



Robb Roos, Merjent, robb.roos@merjent.com
Kyle Luther, Merjent, kyle.luther@merjent.com

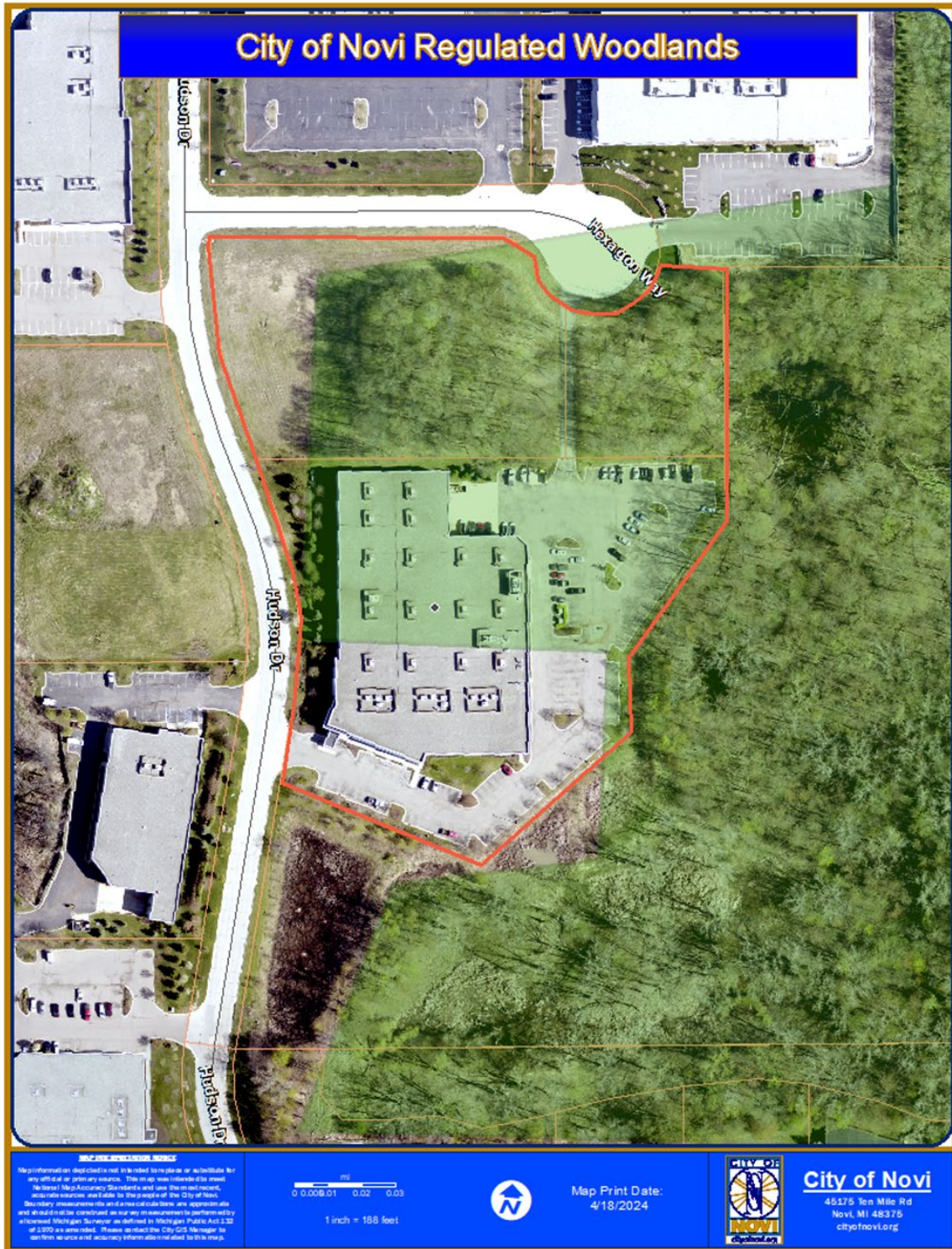


Figure 1. City of Novi Regulated Woodlands Map
Approximate parcel boundary is shown in Red.
(Approximate) Regulated Woodland areas are shown in Green

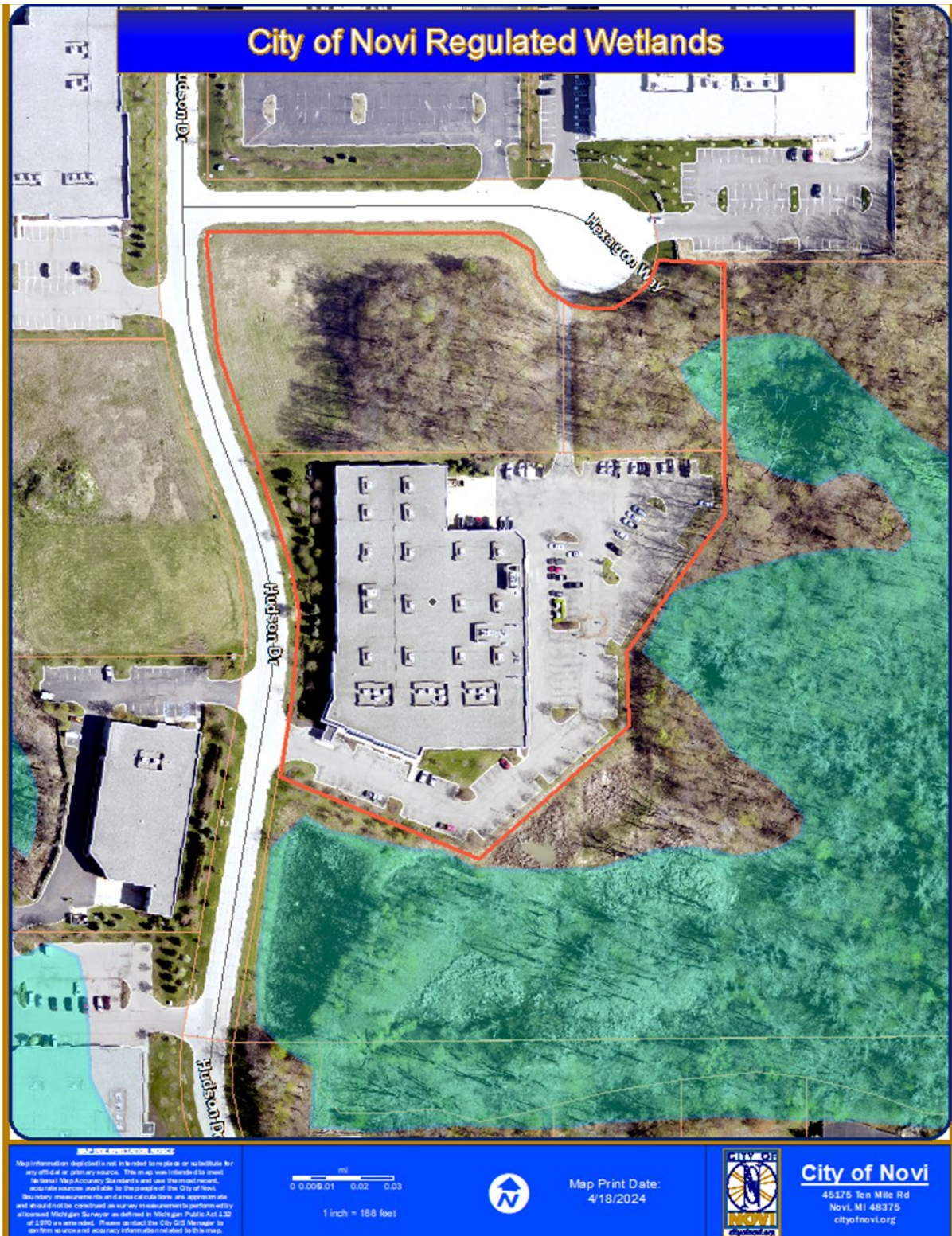


Figure 2. City of Novi Regulated Wetlands Map
 Approximate parcel boundary is shown in red.
 (Approximate) Regulated Wetland areas are shown in turquoise.

**Attachment A
Site Photographs**



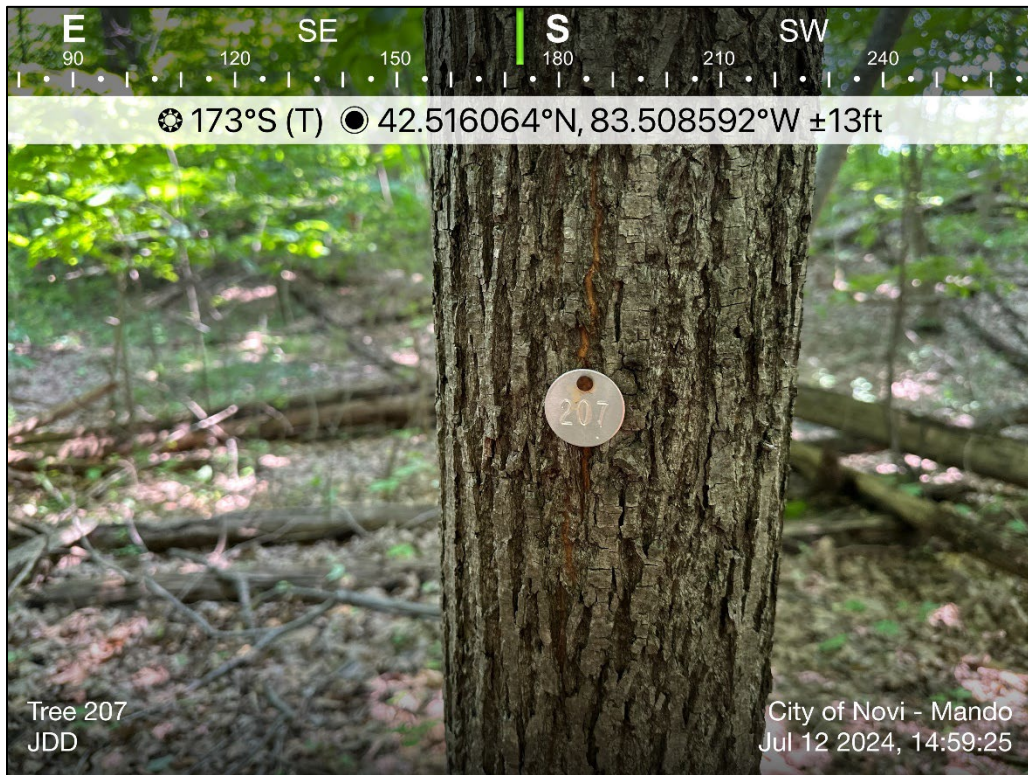
Overview of the forest on-site



Overview of the forest on-site



Typical tree survey tag on-site, Tree 204



Typical tree survey tag on-site, Tree 207



Overview of flagging/staking on-site for Wetland A.

Attachment B
Wetland Resource Documents

Wetlands Map Viewer



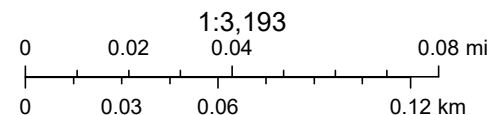
July 10, 2024

Part 303 Final Wetlands Inventory

- Wetlands as identified on NWI and MIRIS maps
- Soil areas which include wetland soils
- Wetlands as identified on NWI and MIRIS maps and soil areas which include wetland soils

National Wetlands Inventory 2005

- Freshwater Emergent Wetland
- Freshwater Forested/Shrub Wetland
- Freshwater Pond



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

Disclaimer: This map is not intended to be used to determine the specific

TRAFFIC REVIEW



AECOM
 39575 Lewis Dr, Ste. 400
 Novi
 MI, 48377
 USA
 aecom.com

Project name:
 JSP24-11 – Mando Parking Lot Expansion
 PSP/FSP Traffic Review

To:
 Barbara McBeth, AICP
 City of Novi
 45175 10 Mile Road
 Novi, Michigan 48375

From:
 AECOM

Date:
 July 15, 2024

CC:
 Lindsay Bell, Heather Zeigler, Humna Anjum, Diana
 Shanahan, Adam Yako, Dan Commer

Memo

Subject: JSP24-11 – Mando Parking Lot Expansion Combined Preliminary and Final Traffic Review

The combined preliminary and final site plan was reviewed to the level of detail provided and AECOM recommends **approval** for the applicant to move forward as long as the comments are addressed to the satisfaction of the City.

GENERAL COMMENTS

1. The applicant, Stucky Vitale Architects, Inc., is proposing a parking lot expansion.
2. The development is located on the east side of Hudson Drive, south of Hexagon Way. Hudson Drive and Hexagon Way are under the jurisdiction of the City of Novi.
3. The site is zoned I-1 (Light Industrial).
4. There are no traffic related deviations required at this time.

TRAFFIC IMPACTS

1. AECOM did not perform an initial trip generation based on the ITE Trip Generation Manual, 11th Edition, as there are no changes in the building footprint.
2. The City of Novi generally requires a traffic impact study/statement if the number of trips generated by the proposed development exceeds the City’s threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour, or if the project meets other specified criteria.

Trip Impact Study Recommendation	
Type of Study:	Justification
None	-

TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City’s Code of Ordinances. Items marked with ZO are listed in the City’s Zoning Ordinance. Items marked with ADA are listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices.

The values in the 'Compliance' column read as 'met' for plan provision meeting the standard it refers to, 'not met' stands for provision not meeting the standard and 'inconclusive' indicates applicant to provide data or information for review and 'NA' stands for not applicable for subject Project. The 'remarks' column covers any comments reviewer has and/or 'requested/required variance' and 'potential variance'. A potential variance indicates a variance that will be required if modifications are not made or further information provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
1	Driveway Radii O Figure IX.3	30' and 35'	Met	
2	Driveway Width O Figure IX.3	25'	Met	Within range for driveway. Meets width of existing parking lot.
3	Driveway Taper O Figure IX.11			
3a	Taper length	-	N/A	
3b	Tangent	-	N/A	
4	Emergency Access O 11-194.a.19	2 access points	Met	
5	Driveway sight distance O Figure VIII-E	-	N/A	For major roads.
6	Driveway spacing			
6a	Same-side O 11.216.d.1.d	260' sight line	Met	
6b	Opposite side O 11.216.d.1.e	103.4'	Met	Hexagon Way is classified as a non-residential collector.
7	External coordination (Road agency)	-	N/A	
8	External Sidewalk Master Plan & EDM	Not required	N/A	
9	Sidewalk Ramps EDM 7.4 & R-28-K	-	N/A	
10	Any Other Comments:			

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
11	Loading zone ZO 5.4	Existing, none proposed	N/A	
12	Trash receptacle ZO 5.4.4	Existing	N/A	
13	Emergency Vehicle Access	Provided	Met	
14	Maneuvering Lane ZO 5.3.2	24' and 25'	Met	
15	End islands ZO 5.3.12			
15a	Adjacent to a travel way	Dimensions provided	Met	
15b	Internal to parking bays	Dimensions provided	Met	
16	Parking spaces ZO 5.2.12	37 additional proposed		See Planning review letter.
17	Adjacent parking spaces ZO 5.5.3.C.ii.i	≤ 15 spaces in all parking bays	Met	
18	Parking space length ZO 5.3.2	17' and 19'	Met	
19	Parking space Width ZO 5.3.2	9'	Met	
20	Parking space front curb height ZO 5.3.2	4" in front of 17' spaces and 6"	Met	

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
21	Accessible parking – number ADA	None proposed	Met	Not required for expansion.
22	Accessible parking – size ADA	N/A	-	
23	Number of Van-accessible space ADA	N/A	-	
24	Bicycle parking			
24a	Requirement ZO 5.16.1	N/A	-	
24b	Location ZO 5.16.1	N/A	-	
24c	Clear path from Street ZO 5.16.1	N/A	-	
24d	Height of rack ZO 5.16.5.B	N/A	-	
24e	Other (Covered / Layout) ZO 5.16.1	N/A	-	
25	Sidewalk – min 5' wide Master Plan	N/A	-	
26	Sidewalk ramps EDM 7.4 & R-28-K	N/A	-	
27	Sidewalk – distance back of curb EDM 7.4	N/A	-	
28	Cul-De-Sac O Figure VIII-F	N/A	-	
29	EyeBrow O Figure VIII-G	N/A	-	
30	Turnaround ZO 5.10	N/A	-	
31	Any Other Comments:			

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
32	Signing: Sizes MMUTCD	N/A	-	
33	Signing table: quantities and sizes	N/A	-	
34	Signs 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post MMUTCD	N/A	-	
35	Signs greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post MMUTCD	N/A	-	
36	Sign bottom height of 7' from final grade MMUTCD	N/A	-	
37	Signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign MMUTCD	N/A	-	
38	FHWA Standard Alphabet series used for all sign language MMUTCD	N/A	-	
39	High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity MMUTCD	N/A	-	
40	Parking space striping notes	N/A	-	
41	The international symbol for accessibility pavement markings ADA	N/A	-	
42	Crosswalk pavement marking detail	N/A	-	

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
43	Any Other Comments:			

Note: Hyperlinks to the standards and Ordinances are for reference purposes only, the applicant and City of Novi to ensure referring to the latest standards and Ordinances in its entirety.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Paula K. Johnson, PE
Senior Transportation Engineer



Saumil Shah, PMP
Project Manager

FIRE REVIEW



July 10, 2024

TO: Barbara McBeth - City Planner
Lindsay Bell - Plan Review Center
Heather Zeigler – Plan Review Center
Dan Commer – Plan Review Center
Diana Shanahan – Planning Assistant

CITY COUNCIL

Mayor
Justin Fischer

Mayor Pro Tem
Laura Marie Casey

Dave Staudt

Brian Smith

Ericka Thomas

Matt Heintz

Priya Gurumurthy

RE: Mando Parking Lot Expansion

PSP# 24-0034

Project Description:

Add more parking spaces to the existing parking lot.

Comments:

Meets fire departments standards.

Recommendation:

Approved

City Manager
Victor Cardenas

**Director of Public Safety
Chief of Police**
Erick W. Zinser

Fire Chief
John B. Martin

Assistant Chief of Police
Scott R. Baetens

Assistant Fire Chief
Todd Seog

Sincerely,

Kevin S. Pierce-Fire Marshal
City of Novi – Fire Dept.

cc: file

Novi Public Safety Administration
45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTER



46892 West Road, Suite 109
Novi, Michigan 48377
Phone: (248) 926-3701
Fax: (248) 926-3765
Web: www.alpine-inc.net

August 5, 2024

Heather Zeigler
City of Novi Community Development Department
45175 West 10 Mile Road
Novi, MI 48375

**Re: Mando Parking Lot Expansion
Response to Preliminary Site Plan Review Comments
Alpine Engineering Inc. Project #05-165.5
JSP 24-0011**

Dear Heather,

On behalf of our client, Tower Construction, please find the following information enclosed for your review and distribution

- PDF of the Preliminary Site Plan set (dated 2024-06-14)
- Color rendering of the Site Plan (dated 2024-06-14)
- Response to landscape review comments letter (dated 2024-08-02)

The following is in response to the reviews received on July 22, 2024, via email for the above referenced project:

PLANNING REVIEW CHART (dated July 18, 2024)

- ***Comment: Planning Commission approval will be required for parking in the front yard.***
Response: Understood. The Applicant respectively requests approval for the proposed front yard parking.
- ***Comment: Please include additional bicycle parking in the next submittal.***
Response: Additional bicycle parking will be included in the next submittal.
- ***Comment: Natural Features: The proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats. Woodland tree removals will require permit. To be determined by the planning commission.***
Response: Understood.
- ***Comment: Impact on Surrounding Neighborhoods: The proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood. Expansion of existing use, closest residential use is some distance, and buffered by woodlands. To be determined by the planning commission.***
Response: Understood.
- ***Comment: A photometric plan is required at the Preliminary Site Plan stage when the site abuts residential.***
Response: A photometrics plan will be included in the next submittal.

Landscape Review Summary Chart (dated July 11, 2024)

Refer to the response to review letter prepared by Allen Design (dated August 2, 2024).

ENGINEERING REVIEW (dated July 18, 2024)

General

1. ***Comment: Only at the time of the printed Stamping Set submittal, provide the City's standard detail sheets for storm sewer (2 sheets) and paving (2 sheets). The most updated details can be found on the City's website under Engineering Standards and Construction Details.***
Response: The City's standard detail sheets will be included with the Stamping Set submittal.
2. ***Comment: A Right-of-Way Permit will be required from the City of Novi.***
Response: Understood.
3. ***Comment: Provide a traffic control sign table listing the quantities of each permanent sign type proposed for the development. Provide a note along with the table stating all traffic signage will comply with the current MMUTCD standards.***
Response: A traffic control sign table will be included in the next submittal.
4. ***Comment: Provide a traffic control plan for the proposed road work activity.***
Response: A traffic control plan will be included in the next submittal.
5. ***Comment: Provide a note that compacted sand backfill (MDOT sand Class II) shall be provided for all utilities within the influence of paved areas; illustrate and label on the profiles.***
Response: Additional design information will be provided in the next submittal.
6. ***Comment: Provide a construction materials table on the utility plan listing the quantity and material type for the storm sewer being proposed.***
Response: Additional design information will be provided in the next submittal.
7. ***Comment: Show the locations of all light poles on the utility plan and indicate the typical foundation depth for the pole to verify that no conflicts with utilities will occur. Light poles in a utility easement will require a License Agreement***
Response: Additional design information will be provided in the next submittal.
8. ***Comment: Refer to the City standard details for the proposed boardwalk design.***
Response: A boardwalk is not currently proposed.

Irrigation Comments

9. ***Comment: Indicate if irrigation is proposed, and if so, include containment notes on irrigation sheets.***
Response: Additional design information will be provided in the next submittal.

Storm Sewer

10. ***Comment: A minimum cover depth of 3 feet shall be maintained over all proposed storm sewer. Currently, a few pipe sections do not meet this standard. Grades shall be elevated, and minimum pipe slopes shall be used to maximize the cover depth. In situations where the minimum cover cannot be achieved, Class V pipe must be used with an absolute minimum cover depth of 2 feet. An explanation shall be provided where the cover depth cannot be provided.***
Response: Grades will be raised to accommodate the minimum cover of three (3)-ft over the proposed storm sewer; however, there may be areas over the existing storm sewer where the resultant cover is less than three (3)-ft. This is due to lowering pavement elevations to accommodate positive drainage away from a potential future building expansion. Additional design information and explanation, if needed, will be provided in the next submittal.

- 11. Comment: Provide a 0.1-foot drop in the downstream invert of all storm structures where a change in direction of 30 degrees or greater occurs.**
Response: It is anticipated that a 0.1-foot drop in the downstream invert can be provided. Additional design information will be provided in the next submittal.
- 12. Comment: Match the 0.80 diameter depth above invert for pipe size increases.**
Response: Due to the proposed grading to lessen the retaining wall height, it is not anticipated that it will be possible to match the 0.80 diameter depth and still meet cover requirements over the proposed storm sewer. Additional design information and explanation, if needed, will be provided in the next submittal.
- 13. Comment: Provide profiles for all storm sewer 12-inch and larger.**
Response: Profiles will be provided in the next submittal.
- 14. Comment: Label the 10-year HGL on the storm sewer profiles and ensure the HGL remains at least 1-foot below the rim of each structure.**
Response: Additional information will be provided in the next submittal.
- 15. Comment: Illustrate all pipes intersecting storm structures on the storm profiles.**
Response: Additional information will be provided in the next submittal.
- 16. Comment: Provide a schedule listing the casting type, rim elevation, diameter, and invert sizes/elevations for each proposed, adjusted, or modified storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.**
Response: Additional information will be provided in the next submittal.
- 17. Comment: Provide pipe flow calculations for the proposed inlet and pipe.**
Response: Additional information will be provided in the next submittal.

Storm Water Management Plan

- 18. Comment: The Storm Water Management Plan (SWMP) for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the Engineering Design Manual.**
Response: Additional information will be provided in the next submittal.
- 19. Comment: Provide calculations verifying the post-development runoff rate directed to the proposed receiving drainage course does not exceed the pre-development runoff rate for this site.**
Response: Additional information will be provided in the next submittal.
- 20. Comment: Since Unit 36 is not being impacted anymore project, please update the "Mando Expansion Runoff Coefficient Calculation" and associated drawings to only consider the 0.82 acres of Unit 37.**
Response: Revised information will be provided in the next submittal.

Paving & Grading

- 21. Comment: Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed.**
Response: Additional information will be provided in the next submittal.
- 22. Comment: Provide the proposed parking lot's internal contours on the Grading Plan at the time of the Final Site Plan submittal.**
Response: Additional information will be provided in the next submittal.
- 23. Comment: The end islands shall conform to the City standard island design, or variations of the**

standard design, while still conforming to the standards as outlined in Section 2506 of Appendix A of the Zoning ordinance

Response: Additional information will be provided in the next submittal.

24. Comment: Provide top of curb/walk and pavement/gutter grades to indicate height of curb adjacent to parking stalls or drive areas.

Response: Additional information will be provided in the next submittal.

25. Comment: Sheet 3 shall be signed and sealed by the design engineer responsible for the proposed retaining wall design and all associated calculations.

Response: Retaining wall calculations will be submitted by others as part of the next submittal.

26. Comment: A retaining wall that has a grade change of 30" or more within a 3' horizontal distance will require a guardrail.

Response: Noted. Details regarding the retaining wall will be submitted by others as part of the next submittal.

27. Comment: The proposed retaining wall seems to intersect the 2' overhang required for the 17' parking spaces on the northeast corner of the proposed lot. Please amend the retaining wall location to be outside the overhang area.

Response: A dimension and/or note will be added to verify compliance. This information will be added as part of the next submittal.

28. Comment: Additionally, the foundation of the proposed light pole directly adjacent to the retaining wall may cause issues at its current location due to its potential impact on the wall's base and drainage. Please provide further details of the light pole to prove there will be no detriment to the wall here.

Response: A dimension and/or note will be added to accommodate constructability. This information will be added as part of the next submittal.

Soil Erosion and Sedimentation Control

29. Comment: A SESC permit is required. A full review has not been completed at this time. A review will be done when a completed packet is submitted to Sarah Marchioni at Community Development.

Response: It is noted that a SESC permit is required.

The following must be submitted with the Revised Final Site Plan

30. Comment: A letter from either the applicant or the applicant's engineer must be submitted with the Stamping Set highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.

Response: It is noted that a response to review letter must be submitted highlighting the changes of the stamping set.

31. Comment: An itemized construction cost estimate must be submitted to the Community Development Department for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. The estimate must be itemized for each utility (water and storm sewer), on-site paving (square yardage, should include number do detectable warning plates), right-of-way paving (including proposed right-of-way), and grading.

Response: It is noted that an itemized construction cost estimate is required.

The following must be addressed prior to construction

- 32. Comment: A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430). Be advised that scheduling the pre-construction meeting can take 2-4 weeks.**
Response: Noted.
- 33. Comment: A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application required). No fee is required for this permit.**
Response: Noted.
- 34. Comment: Material certifications must be submitted to Spalding DeDecker for review prior to the construction of any onsite utilities.**
Response: Noted.
- 35. Comment: Construction inspection fees in the amount of \$TBD must be paid to the Community Development Department.**
Response: Noted.
- 36. Comment: A street sign financial guarantee in the amount of \$TBD (\$400 per traffic control sign proposed) must be posted at the Community Development Department. Signs must be installed in accordance with MMUTCD standards.**
Response: Noted.
- 37. Comment: A traffic control inspection fee of \$TBD must be paid to Community Development. This fee is the inspection of traffic control items such as signs, striping, curbs, parking stalls, sidewalk, detectable warning surfaces, and temporary pavement markings.**
Response: Noted.
- 38. Comment: A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department, Building Division for forms and information. The financial guarantee and inspection fees will be determined during the SESC review.**
Response: Noted.
- 39. Comment: A permit for all proposed work activities within the road right-of-way must be obtained from the City of Novi. The application is available from the City Engineering Division or on the city website and can be filled once the Final Site Plan has been submitted. Please submit the cover sheet, standard details, and plan sheets applicable to the permit only.**
Response: Noted.

The following must be addressed prior to issuance of a Temporary Certificate of Occupancy (TCO) approval for the development

- 40. Comment: The amount of the incomplete site work performance guarantee for any outstanding site improvement items is calculated at 1.2 times the amount required to complete the site improvements.**
Response: Noted.
- 41. Comment: The City's consultant Engineer Spalding DeDecker will prepare the record drawings for this development. The record drawings will be prepared in accordance with Article XII, Design and Construction Standards, Chapter 11 of the Novi Code of Ordinances.**
Response: Noted.

42. **Comment: Submit to the Community Development Department, Waivers of Lien from any parties involved with the installation of each utility as well as a Sworn Statement listing those parties and stating that all labor and material expenses incurred in connection with the subject construction improvements have been paid.**
Response: Noted.
43. **Comment: Submit an up-to-date Title Policy for the purpose of verifying that the parties signing the Easement and Bill of Sale documents have the legal authority to do so.**
Response: Noted.

MERJENT REVIEW (dated July 15, 2024)

Woodlands

1. **Comment: City-regulated woodlands, as identified on the City of Novi Woodlands interactive map website, are present on site. Note that both the woodlands and property limits depicted on the City map are considered approximations.**
Response: Noted.
2. **Comment: Merjent conducted a site visit on July 12, 2024 to review the site conditions relative to the PSP submittal. Site photographs are included in Attachment A. The on-site conditions reflect the conditions listing in the PSP.**
Response: Noted.
3. **Comment: When a proposed site plan is located within a regulated woodland, any tree proposed for removal with a diameter at breast height (DBH) greater than or equal to eight inches will require tree replacement and a Woodland Use Permit per Section 37-8. This also applies to any tree that will be preserved, but where impacts to critical root zones are proposed.**
Response: Noted. Refer to the Landscape Plan prepared by Allen Design regarding proposed tree replacements.
4. **Comment: Regardless of the presence of regulated woodlands onsite, a Woodland Use Permit is required to perform construction on any site containing the removal of trees larger than 36 inches DBH. No trees on-site are larger than 36 inches DBH.**
Response: Noted.
5. **Comment: The plan has proposed the impact to 53 regulated trees. A Woodland Use Permit is required to perform construction on any site containing regulated woodlands. Because more than three trees are proposed for removal, Planning Commission Approval is required.**
Response: Noted.
6. **Comment: Woodland Replacement. Sheet L-4 provides a summary of the trees to be removed for the proposed project.**
Response: Noted.
7. **Comment: Critical root zone. Accurate critical root zones must be depicted on the site plan for all regulated trees within 50 feet of the proposed grading or construction activities. Section 37-2 defines a critical root zone as a circular area around a tree with a radius measured to the tree's longest dripline radius plus one foot.**
 - a. **The applicant has accurately depicted root zones on Sheet L-3 and has indicated the critical root zone impacts in the tree list on Sheet L-4.**
Response: Noted.
8. **Comment: The applicant has stated that no trees will be planted toward woodland replacements and all 72 tree replacements will be paid for into the City of Novi Tree Fund in an amount of \$28,000. It is encouraged that prior to paying into the City of Novi Tree Fund, the applicant try to mitigate the proposed removals on-site to maximum extent practicable via planting woodland replacements.**
Response: Noted. Refer to the Landscape Plan prepared by Allen Design.
9. **Comment: A woodland fence guarantee of \$6000 is required per Chapter 26.5-37. The financial guarantee shall be paid prior to issuance of the City of Novi Woodland Use Permit.**

- a. **The cost to stake, install, and remove the tree protection fencing has been provided by the applicant on Sheet L-4. This amount will be used in calculating the Woodland Fence Inspection Fee.**

Response: Noted.

Wetland

1. **Comment: As stated above, Merjent conducted a site visit on July 12, 2024. Select photos are included in Attachment A.**

Response: Noted.

2. **Comment: No impacts are proposed on-site to Wetland A and therefore, a Wetland Permit will not be required for this project.**

Response: Noted.

3. **Comment: In addition to wetlands, the City of Novi regulates wetland and watercourse buffer/setbacks. Article 3.0 of the Zoning Ordinance, states: "There shall be maintained in all districts a wetland and watercourse setback, as provided herein, unless and to the extent, it is determined to be in the public interest not to maintain such a setback. The intent of this provision is to require a minimum setback from wetlands and watercourses". The established wetland and watercourse buffer/setback limit is 25 horizontal feet, regardless of grade change. The location and area of affected wetland buffers/setback must be identified on site development plans.**

- a. **The 25-foot setback buffer is identified on both the PSP and the Wetland Delineation and Jurisdiction Assessment with GPS Survey.**
- b. **As noted in the PSP, no impacts are proposed within the 25-foot natural features setback. Therefore, a wetland buffer authorization is not needed for this project.**

Response: Noted.

4. **Comment: The City of Novi requires the boundary lines of any watercourses or wetlands on the Site to be clearly flagged or staked and such flagging/staking shall remain in place throughout the conduct of permit activity. The site does not need to be re-flagged during the site plan review process, but prior to construction, the wetlands should be marked or identified for avoidance in the field if the original flagging is removed or has deteriorated.**

Response: Noted.

AECOM – Combined Preliminary and Final Traffic Review (dated July 15, 2024)

- **Comment: The combined preliminary and final site plan was reviewed to the level of detail provided and AECOM recommends approval for the applicant to move forward as long as the comments are addressed to the satisfaction of the City.**

Response: Noted.

City of Novi Fire Department Review (dated April 9, 2024)

- **Comment: Meets fire department standards.**

Response: Noted.

If you have any questions/comments, please feel free to contact me at (248) 941-5624 or shiloh@alpine-inc.net.

Sincerely,
Alpine Engineering, Inc.



Shiloh Dahlin
Senior Project Engineer

August 2, 2024

Mr. Rick Meader, Landscape Architect
City of Novi Community Development
45175 West 10 Mile
Novi, MI 48375

RE: Mando Parking Addition

Dear Mr. Meader:

Below are our responses to your review dated July 11, 2024.

Landscape Comments:

- *Non-Residential Landscaping.* Two trees will be added to Hexagon Way.
- *Parking Lot Landscaping.* The VUA hatch will be shown on the next submittal.

If you have any questions or comments regarding this response, please contact me at your convenience.

Sincerely,



James C. Allen
Allen Design L.L.C.