



# COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road  
Novi, MI 48375  
(248) 347-0415 Phone  
(248) 735-5600 Facsimile  
[www.cityofnovi.org](http://www.cityofnovi.org)

## ZONING BOARD OF APPEALS STAFF REPORT

**FOR:** City of Novi Zoning Board of Appeals

**ZONING BOARD APPEALS DATE:** June 12, 2018

**REGARDING:** 25125 Regency Dr, Parcel #50-22-24-276-020 (PZ18-0021)

**BY:** Larry Butler, Deputy Director Community Development

### I. GENERAL INFORMATION:

**Applicant**

Scott Leibovitz

**Variance Type**

Dimensional Variance

**Property Characteristics**

Zoning District:

Light Industrial

Location:

West of Haggerty Road and North of Grand River Avenue

Parcel #:

50-22-24-276-020

**Request**

The applicant is requesting variances from the City of Novi Zoning Code of Ordinance Section 4.19.2 to install an accessory structure in the side yard, accessory structures are required to be located in the rear yard by code. This property is zoned Light Industrial (I-1).

### II. STAFF COMMENTS:

### III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we **grant** the variance in Case No. **PZ18-0021**, sought by \_\_\_\_\_, for \_\_\_\_\_ because Petitioner has shown practical difficulty requiring \_\_\_\_\_.

  - (a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because \_\_\_\_\_.
  - (b) The property is unique because \_\_\_\_\_.
  - (c) Petitioner did not create the condition because \_\_\_\_\_.

(d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because\_\_\_\_\_.

(e) The relief if consistent with the spirit and intent of the ordinance because \_\_\_\_\_.

(f) The variance granted is subject to:

1. \_\_\_\_\_.

2. \_\_\_\_\_.

3. \_\_\_\_\_.

4. \_\_\_\_\_.

2. I move that we **deny** the variance in Case No. **PZ18-0021**, sought by \_\_\_\_\_ for \_\_\_\_\_ because Petitioner has not shown practical difficulty requiring \_\_\_\_\_.

(a) The circumstances and features of the property including \_\_\_\_\_ are not unique because they exist generally throughout the City.

(b) The circumstances and features of the property relating to the variance request are self-created because \_\_\_\_\_.

(c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that \_\_\_\_\_.

(d) The variance would result in interference with the adjacent and surrounding properties by \_\_\_\_\_.

(e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to \_\_\_\_\_.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Larry Butler  
Deputy Director Community Development  
City of Novi



# PLAN REVIEW CENTER REPORT

May 25, 2018

## Planning Review

Regency Lot 7: Chiller Unit  
JSP15-31

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### Petitioner

Ari-el Enterprises, Inc.

### Review Type

Preliminary & Final Site Plan – Accessory Structure

### Property Characteristics

- Site Location: Section 24 ; North of Grand River Avenue and west of Haggerty Road
- Site School District: Novi Schools
- Site Zoning: I-1: Light Industrial District
- Adjoining Zoning: I-1: Light Industrial District
- Site Use(s): Vacant
- Adjoining Uses: Industrial/Office
- Site Size: 3.30 acres
- Building Size: 34,280 Square feet
- Site Plan Date: 05-01-18

### Project Summary

The site construction is currently on-going on the subject property. The applicant is currently proposing to construct a chiller unit pad within the side yard on the south side.

### Recommendation

The Preliminary Site Plan is **approved** contingent on approval of side yard location by Zoning Board of Appeals.

### Ordinance Standards

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the final stamping sets.

1. Location (Sec. 4.19.2.A): All accessory structures are to be located in the rear yard or interior side yard in the case of a double-fronted lot. **The additional equipment is proposed to be located in the interior side yard due to its proximity to internal mechanical equipment, but the property does not have double frontage. The applicant has applied for a Zoning Board of Appeals variance. It is scheduled for ZBA consideration at their June 13, 2018 meeting. Please indicate the dimensions for the chiller unit pad on the drawing.**
2. Screening (Landscape Design Manual 1.e): All generators are to be screened by the building, landscaping, or an enclosure constructed to match the building. The applicant has proposed 14 upright juniper plants for landscape screening around the proposed generator. **Please indicate the maximum height of the chiller unit and the height of planting at the time of installation. The proposed landscape should be tall enough to completely screen the**

**generator within two years from the time of installation. Please update the plant list with the proposed screening Junipers.**

3. Noise Levels (5.14.10.A.ii): The maximum permitted decibel levels at the property line in the I-1 are 75 decibels during the daytime hours and 70 decibels during nighttime hours. The applicant indicated a decibel level of 75.3 dB(A) at 10 feet, which results in an approximate level of 70 decibels at the property line (about 12 feet). **Please add note about decibel levels to the sheet and label the distance from edge of chiller unit pad and the property line.**

**NEXT STEP: Electronic Stamping Set Submittal**

Please address the comments in bold above and resubmit electronically for informal review and approval prior to printing Stamping Sets.

**Stamping Set Approval**

Stamping sets are still required for this project. After receiving all the necessary approvals, please submit **5 size 24" x 36" copies with original signature and original seals**, to the Community Development Department for final stamping set approval.

**Chapter 26.5**

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or [skomaragiri@cityofnovi.org](mailto:skomaragiri@cityofnovi.org).



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Sri Ravali Komaragiri , Planner



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 Novi, MI 48375  
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 www.cityofnovi.org

# ZONING BOARD OF APPEALS APPLICATION

APPLICATION MUST BE FILLED OUT COMPLETELY

Application Fee: 300.00  
 Meeting Date: June 12, 2018  
 ZBA Case #: PZ 18-0021

I. PROPERTY INFORMATION (Address of subject ZBA Case)			
PROJECT NAME / SUBDIVISION Ari-EI Regency Centre - Unit 7			
ADDRESS 25125 Regency Drive		LOT/SIUTE/SPACE # 7	
SIDWELL # 50-22- 24 - 276 - 020		May be obtain from Assessing Department (248) 347-0485	
CROSS ROADS OF PROPERTY Haggerly Road and Grand River			
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		REQUEST IS FOR: <input type="checkbox"/> RESIDENTIAL <input checked="" type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE	
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input type="checkbox"/> NO			
II. APPLICANT INFORMATION			
<b>A. APPLICANT</b>		EMAIL ADDRESS ScottL@ari-el.com	CELL PHONE NO. 248-388-6000
NAME Scott Leibovitz		TELEPHONE NO. 248-557-3800	
ORGANIZATION/COMPANY Ari-EI <u>125125 Regency LLC</u>		FAX NO.	
ADDRESS 29355 Northwestern Highway - Suite 301		CITY Southfield	STATE MI
		ZIP CODE 48034-1045	
<b>B. PROPERTY OWNER</b> <input checked="" type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER			
Identify the person or organization that owns the subject property:		EMAIL ADDRESS	CELL PHONE NO.
NAME		TELEPHONE NO.	
ORGANIZATION/COMPANY		FAX NO.	
ADDRESS		CITY	STATE
		ZIP CODE	
III. ZONING INFORMATION			
<b>A. ZONING DISTRICT</b>			
<input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input checked="" type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____			
<b>B. VARIANCE REQUESTED</b>			
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:			
1. Section <u>4.19</u> Variance requested <u>Allow Accessory structure in side yard</u>			
2. Section _____ Variance requested _____			
3. Section _____ Variance requested _____			
4. Section _____ Variance requested _____			
IV. FEES AND DRAWINGS			
<b>A. FEES</b>			
<input type="checkbox"/> Single Family Residential (Existing) \$200 <input type="checkbox"/> (With Violation) \$250 <input type="checkbox"/> Single Family Residential (New) \$250 <input type="checkbox"/> Multiple/Commercial/Industrial \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> Signs \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> House Moves \$300 <input type="checkbox"/> Special Meetings (At discretion of Board) \$600			
<b>B. DRAWINGS 1-COPY &amp; 1 DIGITAL COPY SUBMITTED AS A PDF</b>			
<ul style="list-style-type: none"> <li>• Dimensioned Drawings and Plans</li> <li>• Site/Plot Plan</li> <li>• Existing or proposed buildings or addition on the property</li> <li>• Number &amp; location of all on-site parking, if applicable</li> <li>• Existing &amp; proposed distance to adjacent property lines</li> <li>• Location of existing &amp; proposed signs, if applicable</li> <li>• Floor plans &amp; elevations</li> <li>• Any other information relevant to the Variance application</li> </ul>			



# ZONING BOARD OF APPEALS APPLICATION

## V. VARIANCE

### A. VARIANCE (S) REQUESTED

DIMENSIONAL     USE     SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

### B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

### C. ORDINANCE

#### City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

### D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING     ADDITION TO EXISTING HOME/BUILDING     SIGNAGE  
 ACCESSORY BUILDING     USE     OTHER Concrete pad & chiller unit

## VI. APPLICANT & PROPERTY SIGNATURES

### A. APPLICANT

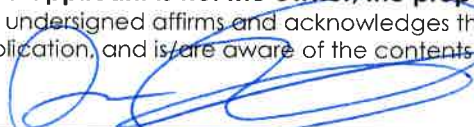
  
Applicant Signature

5/1/18  
Date

### B. PROPERTY OWNER

**If the applicant is not the owner, the property owner must read and sign below:**

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

  
Property Owner Signature

5/1/18  
Date

## VII. FOR OFFICIAL USE ONLY

### DECISION ON APPEAL:

GRANTED

DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

\_\_\_\_\_  
Chairperson, Zoning Board of Appeals

\_\_\_\_\_  
Date



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## REVIEW STANDARDS DIMENSIONAL VARIANCE

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

### Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.

**Describe below:**

The chiller pad needs to be placed in the southwest corner of the property which puts it in the side yard. The chiller will not be visible from the road and is well screened and will not be visible. This is the only place it could be placed because the environmental chamber that it connects to is placed along the south west wall of the lab area. There is not another suitable place for this small chiller and pad to go which is exclusively used for the environmental chamber the tenant uses for testing materials in.

OR

- b. Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure. **Describe below:**

OR

- c. Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties. **Describe below:**

## **Standard #2. Not Self-Created.**

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

Based on the way the building laid out for the tenant the only place the environmental chamber could be placed in the lab area was along the south wall and this piece of equipment needs to be serviced by this chiller thus the only place the chamber could fit in was along the south wall forcing us to place the chiller pad in the side yard set back.

## **Standard #3. Strict Compliance.**

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

If we are not granted the variance the chiller can not be installed and the tenant can not use the equipment it intends to use as part of leasing this building.

## **Standard #4. Minimum Variance Necessary.**

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

We are requesting this minimum variance to place the chiller pad within the 21' side set back yard, no neighbors would be adversely effected if the variance is granted.

## **Standard #5. Adverse Impact on Surrounding Area.**

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

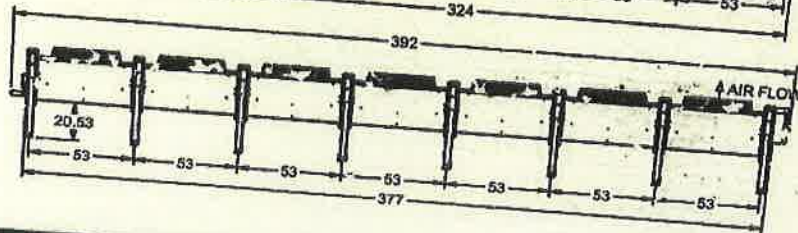
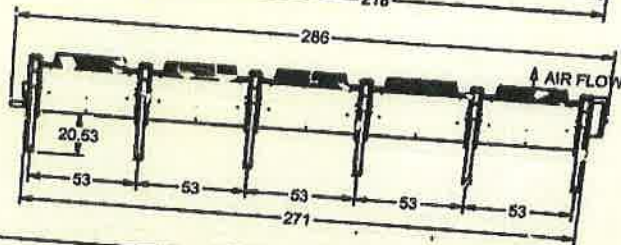
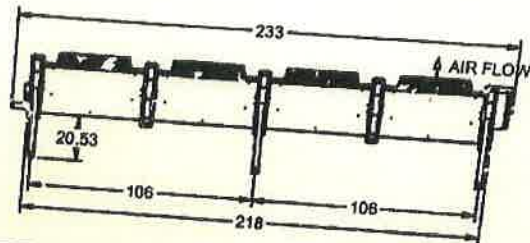
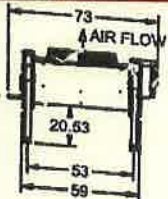
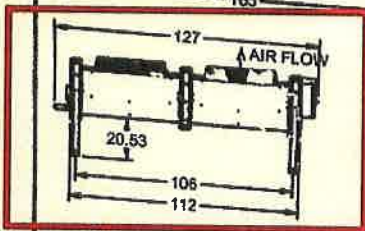
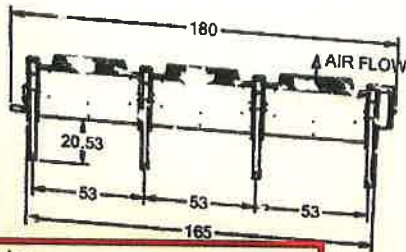
The chiller pad will not negatively impact any of the adjacent properties. It will be screened by landscaped material beyond what is already existing.





Proposed location  
of chiller/pad

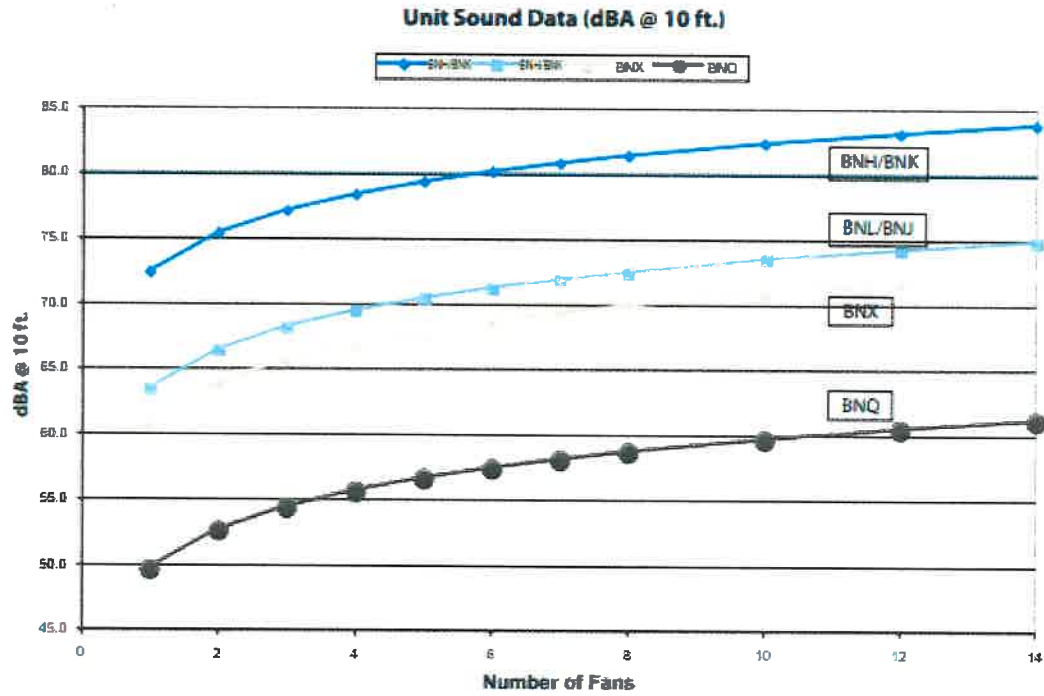
# STANDARD LEG LOCATIONS



21983401 REV

- NOTES:  
 1. SPREADER  
 2. EXTRA NUTS  
 3. DOUBLE WIE  
 4. IN NO CIRCU  
 BOX BE USE

Sound Data for 3-Phase A/C , 1140 Series and Rail Mounted VSEC

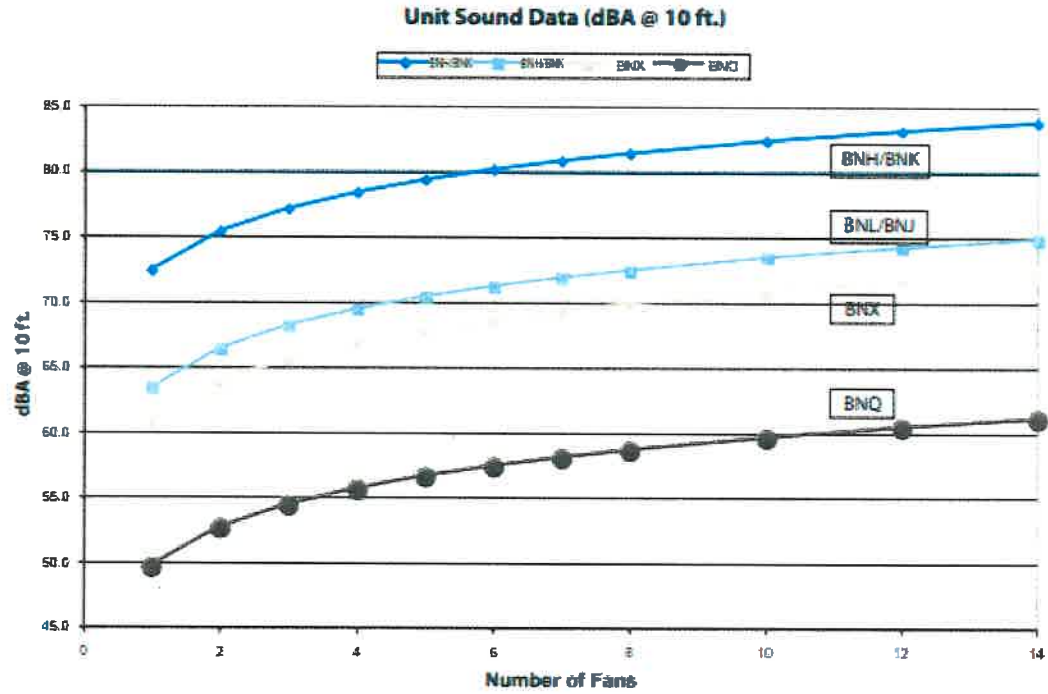


**\*\*2-FAN\_75.3 dBA @ 10FT**

Unit Sound Data (dBA @ 10 ft.)

Fans	BNH/BNK	BNL/BNJ	BNX	BNQ
1	72.3	63.4	60.8	49.6
2	75.3	66.4	63.8	52.6

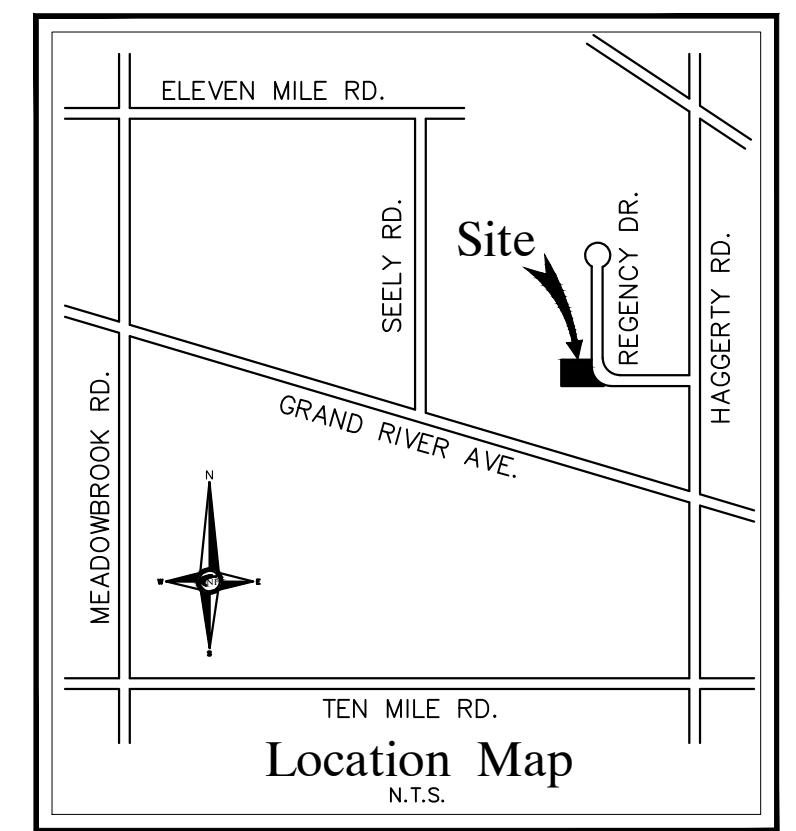
### Sound Data for 3-Phase A/C , 1140 Series and Rail Mounted VSEC



**Unit Sound Data (dBA @ 10 ft.)**

Fans	BNH/BNK	BNL/BNJ	BNX	BNQ
1	72.3	63.4	60.8	49.6
<b>2</b>	<b>75.3</b>	66.4	63.8	52.6
3	77.0	68.0	65.0	54.0
4	78.0	69.0	66.0	55.0
5	79.0	70.0	66.5	56.0
6	80.0	71.0	67.0	57.0
7	80.5	71.5	67.5	57.5
8	81.0	72.0	68.0	58.0
10	82.0	73.0	69.0	59.0
12	83.0	74.0	70.0	60.0
14	84.0	75.0	71.0	61.0

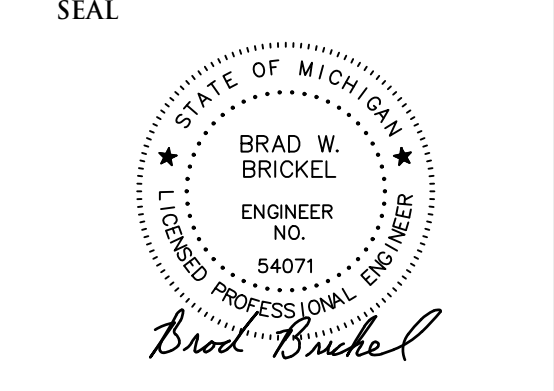




**BUILDING DEPT. NOTE**  
 ALL ACCESSIBLE ROUTES INCLUDING RAMPS, SLOPES, COUNTER SLOPES ETC. FOR THE PARKING LOT IN ADDITION THE RAMP SLOPES IN THE BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH CODE SECTION 401 ICC/ANSI 117.1  
 MAX RAMP SLOPE SHALL NOT EXCEED 1:12 OR 8.33%  
 MAX RUNNING SLOPE WALK SURFACE SHALL NOT EXCEED 1:20 OR 5%  
 MAX CROSS SLOPE WALK SURFACE SHALL NOT EXCEED 1:48 OR 2.08%

**SITE DATA**  
 SITE AREA: 144,119.23 SFT. OR 3.308 ACRES  
 GROSS/NET: 144,119.23 SFT. OR 3.308 ACRES  
 ZONING: I-1 LIGHT INDUSTRIAL  
 PARKING: BUILDING FOOTPRINT  
 OFFICE:  
 1 SPACE PER 222 SF USABLE FLOOR AREA  
 26,349 SF GROSS X 90% = 23,714 SF USABLE  
 23,714 SF USABLE / 222 = 107 SPACES  
 WAREHOUSE/LAB:  
 1 SPACE PER 700 SF USABLE FLOOR AREA  
 6,940 SF GROSS X 90% = 6,246 SF USABLE  
 6,246 SF USABLE / 700 = 9 SPACES  
 TOTAL PARKING REQUIRED: 116 SPACES  
 PROVIDED:  
 133 SPACES (INCLUDING 4 B.F. + 1 VAN SPACE)

**STRIPING NOTE:**  
 PAVEMENT MARKING SPECIFICATIONS ARE REQUIRED. PER THE MMUTCD AND CITY POLICY, UNDESIGNATED PARKING SPACES MUST BE STRIPED IN WHITE; BARRIER-FREE SPACES AND ACCESS AISLES MUST BE STRIPED IN BLUE; AND THE INTERNATIONAL SYMBOL OF ACCESSIBILITY (WHEELCHAIR) MUST BE MARKED IN WHITE. ALSO, WHERE A BARRIER-FREE SPACE ABUTS AN UNDESIGNATED SPACE, THE TWO SPACES MUST BE SEPARATED BY ABUTTING BLUE AND WHITE STRIPES.  
**CURB NOTE:**  
 ALL LOCATIONS WHERE PARKING SPACES ARE PERPENDICULAR TO CURB/WALK THE MAX ELEVATION OF THE CURB/WALK IS 4".  
**ADA NOTE:**  
 NO MORE THAN 1 VERTICAL OBSTACLE SHALL BE ALLOWED AT EACH TRANSITION BETWEEN THE SIDEWALK AND PARKING.  
**NOTES:**  
 ALL WORK SHALL CONFORM TO THE CITY OF NOVI STANDARDS AND SPECIFICATIONS (TYP)  
 A RIGHT-OF-WAY PERMIT SHALL BE REQUIRED FROM THE CITY OF NOVI  
 ALL SITE GRADING SHALL BE A MAXIMUM OF 1:4 OR 25% PER CITY OF NOVI REQUIREMENTS.  
 RELOCATE OR REMOVE FIXED OBJECTS PRIOR TO EXCAVATION.  
 ALL DIMENSIONS ARE TO THE OUTSIDE BUILDING WALL, FACE OF CURB, OR TO THE FACE OF SIDEWALK UNLESS OTHERWISE NOTED. THE WIDTHS OF END PARKING SPACES ARE REFERENCED TO THE BACK OF CURB. WHERE END PARKING SPACES ARE NOT DIMENSIONED ON THE PLAN, THE SPACE SHALL BE THE WIDTH OF A TYPICAL SPACE DIMENSIONED TO THE FACE OF CURB. NINE (9) FEET FOR A STANDARD PARKING SPACE AND EIGHT (8) FEET FOR A BARRIER FREE SPACE.  
 IF DEWATERING IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION, A DEWATERING PLAN MUST BE SUBMITTED TO THE ENGINEERING DIVISION FOR REVIEW.  
 DIRECT RETAIL SALES SHALL BE PROHIBITED ON THIS PROJECT.  
 NO LONG TERM TRUCK PARKING IS ALLOWED ON THIS PROJECT.  
**PERFORMANCE STANDARD NOTE:**  
 OWNER SHALL BE RESPONSIBLE FOR VERIFICATION OF CONFORMANCE OF PERFORMANCE STANDARDS ACCORDING TO SECTION 5.14 PRIOR TO TENANT OCCUPANCY.



**PROJECT**  
 25125 Regency Drive -  
 Unit 7 of Regency Centre  
 Novi, MI  
**CLIENT**  
 Regency Vacant Land, LLC  
 c/o Ari-El Enterprises  
 29355 Northwestern Highway,  
 Suite 301  
 Southfield, MI 48034

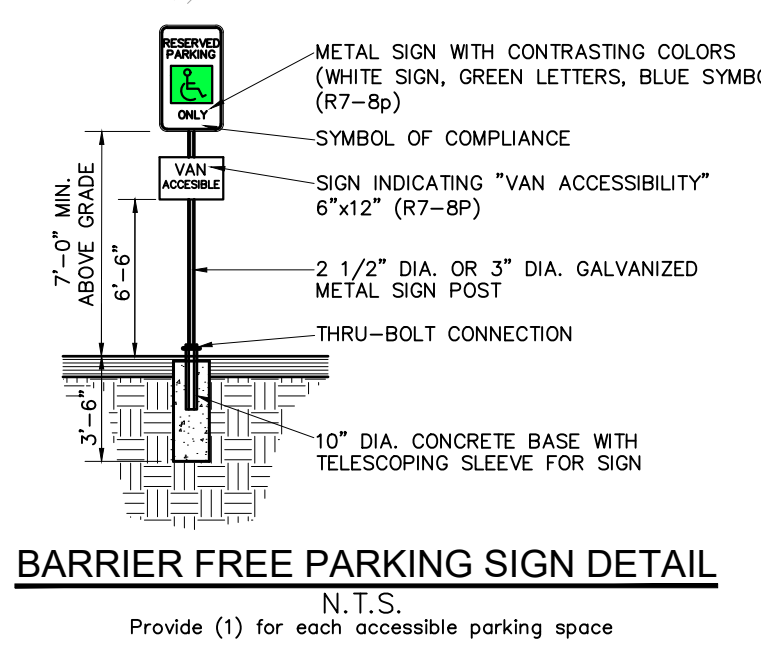
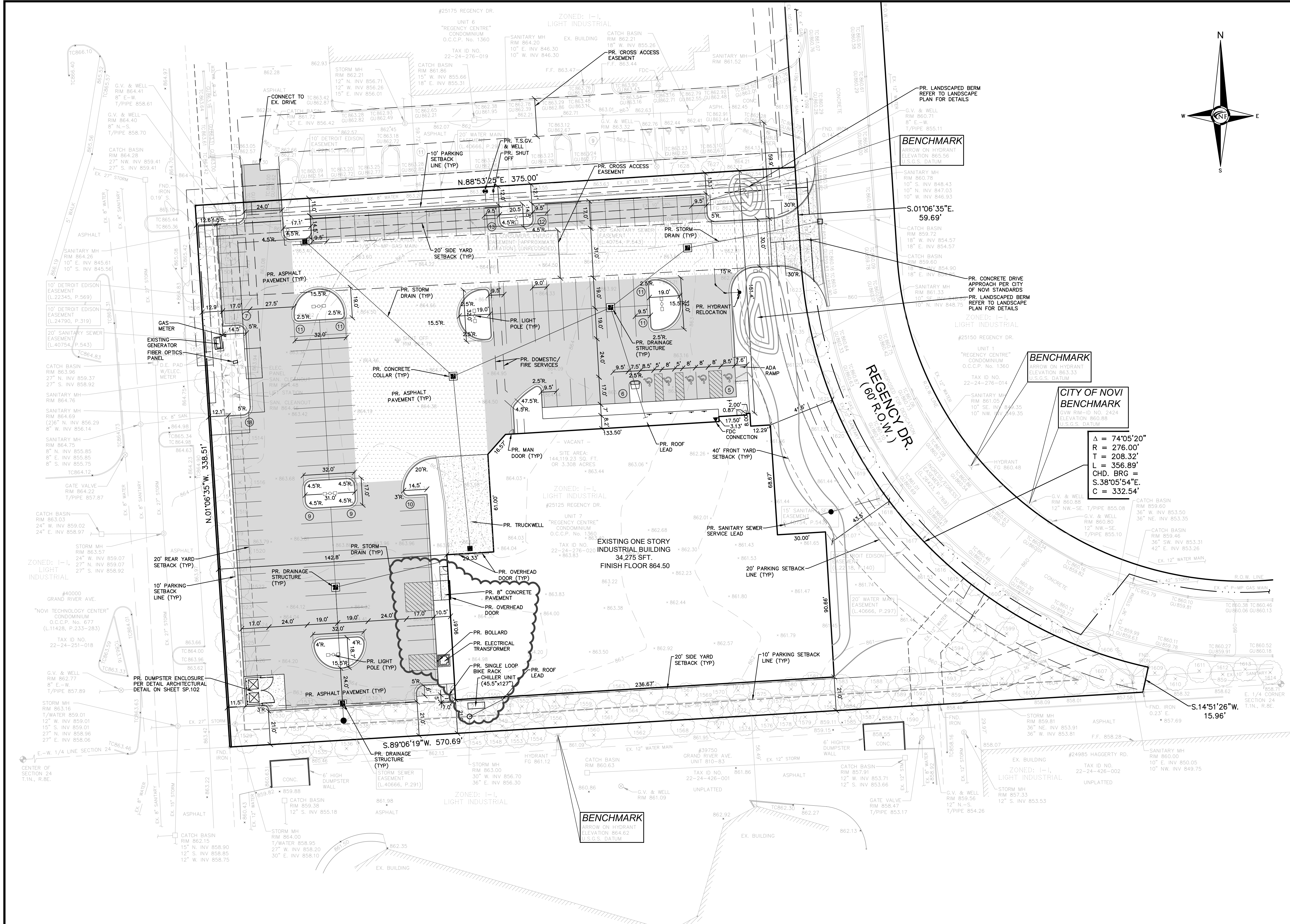
Contact: Arie Leibovitz  
 248.557.3800 x 127 - Phone  
 248.557.6442 - Fax  
**PROJECT LOCATION**  
 Part of the NE 1/4  
 of Section 24  
 T.1N., R.8E.  
 City of Novi  
 Oakland County, Michigan

**SHEET**  
 Stringer Dimension Plan

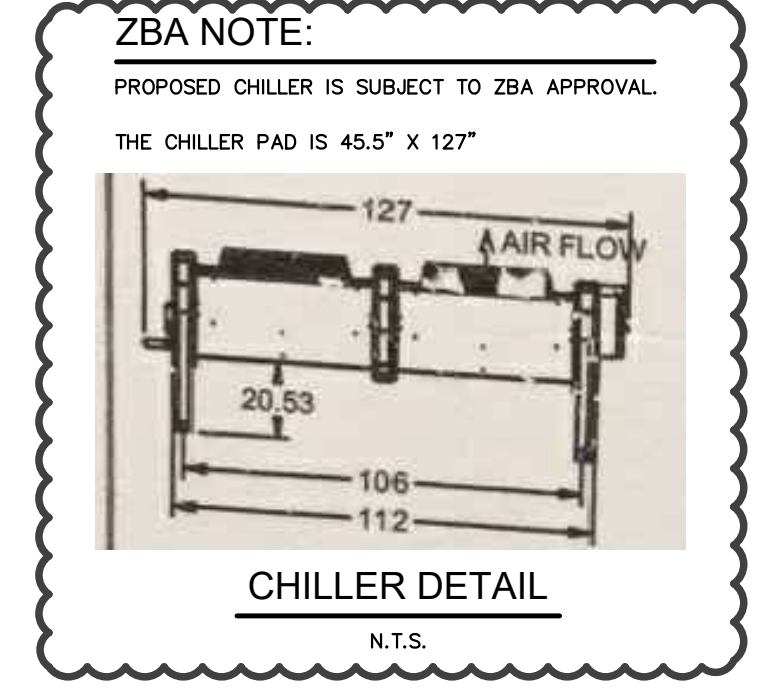


**REVISIONS**  
 06-19-15 ISSUED FOR ENGINEERING REVIEW  
 07-17-15 REVISED PER FINAL SITE PLAN REVIEW  
 07-30-15 FINAL STAMPING SET  
 03-11-16 REVISED PER CITY  
 12-20-17 ADDED OH DOOR - REV PKG.  
 05-01-18 ISSUED FOR CITY REVIEW

**DRAWN BY:**  
 R. Johnson  
**DESIGNED BY:**  
 B. Brickel  
**APPROVED BY:**  
 B. Brickel  
**DATE:**  
 November 11, 2014  
**SCALE:** 1" = 30'  
 30 15 0 15 30 45  
**NFE JOB NO.**  
 A650-07  
**SHEET NO.**  
 C3

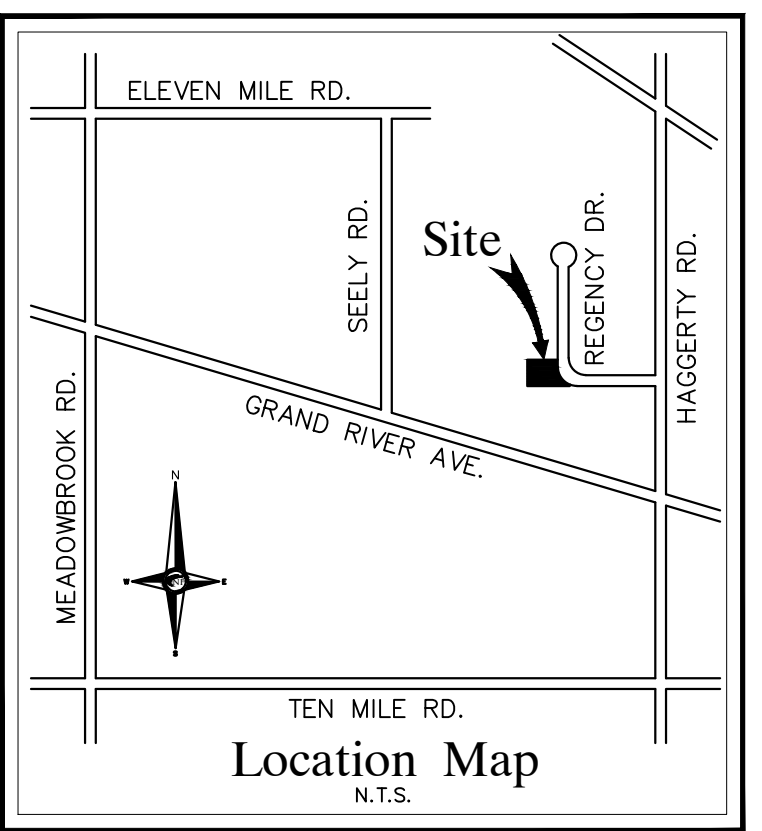
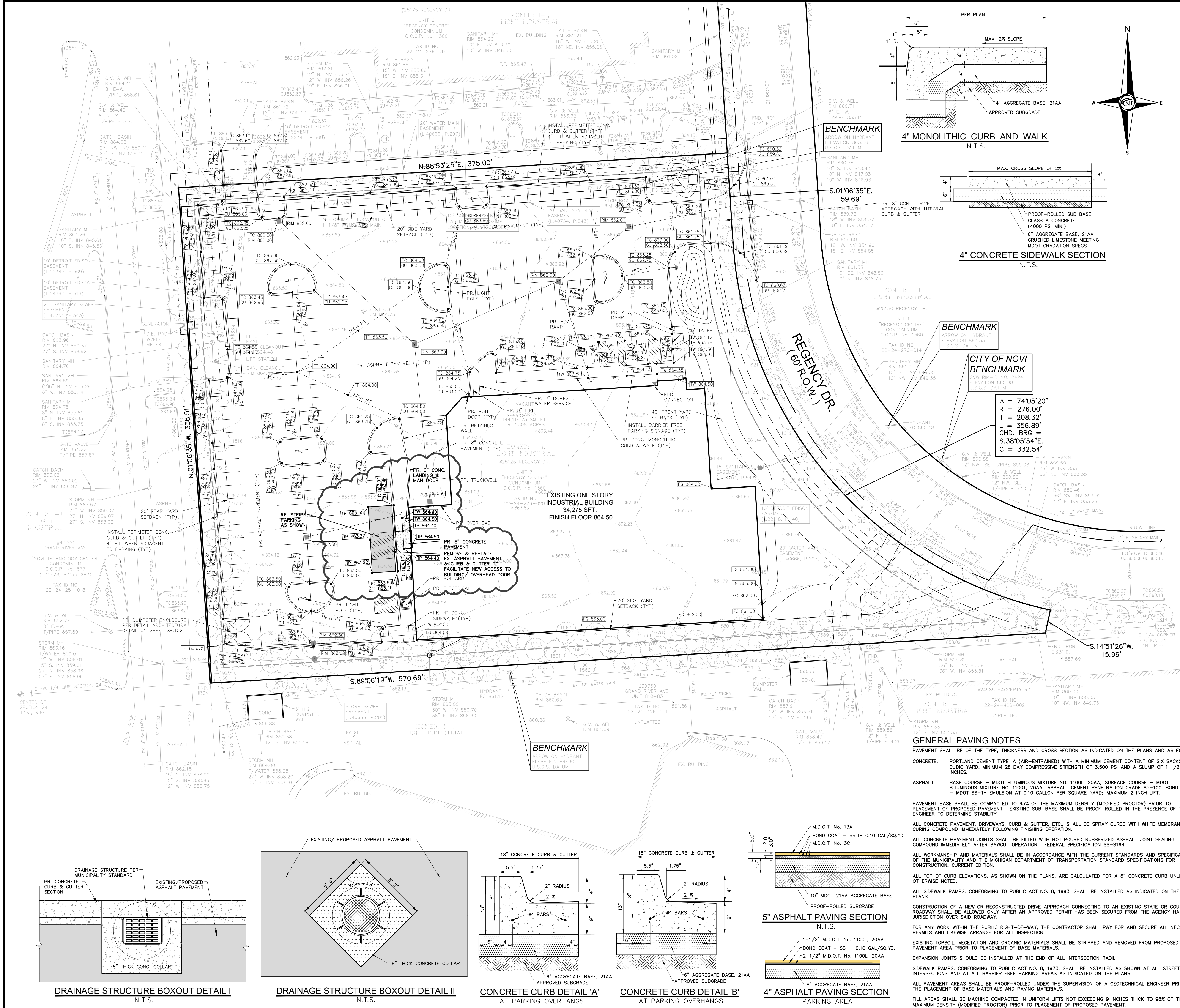


**LEGAL DESCRIPTION**  
 LAND SITUATED IN THE CITY OF NOVI IN THE COUNTY OF OAKLAND IN THE STATE OF MICHIGAN, DESCRIBED AS:  
 UNIT 7 OF REGENCY CENTRE, A CONDOMINIUM ACCORDING TO THE MASTER DEED RECORDED IN LIBER 23384, PAGES 48 THROUGH 104, INCLUSIVE, OAKLAND COUNTY RECORDS AND AMENDED BY FIRST AMENDMENT TO THE MASTER DEED, RECORDED IN LIBER 22985, PAGES 138 THROUGH 141, INCLUSIVE, SECOND AMENDMENT TO THE MASTER DEED, RECORDED IN LIBER 33391, PAGES 585 THROUGH 587, INCLUSIVE, THIRD AMENDMENT TO THE MASTER DEED, RECORDED IN LIBER 36984, PAGES 474 THROUGH 476, INCLUSIVE, FOURTH AMENDMENT TO THE MASTER DEED, RECORDED IN LIBER 40817, PAGES 855 THROUGH 860, INCLUSIVE, AND BY FIFTH AMENDMENT TO THE MASTER DEED, RECORDED IN LIBER 47360, PAGE 588 THROUGH 596, OAKLAND COUNTY RECORDS AND DESIGNATED AS OAKLAND COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 1360, TOGETHER WITH RIGHTS IN GENERAL COMMON ELEMENTS AND LIMITED COMMON ELEMENTS AS SET FORTH IN SAID MASTER DEED AND PURSUANT TO ACT 59 OF THE PUBLIC ACTS OF 1978, AS AMENDED.  
 TAX ID NUMBER: 22-24-276-020, AS TO UNIT 7  
 ADDRESS: 25125 REGENCY DRIVE, NOVI, MI 48375  
 CONTAINING: 144,119.23 SQ. FT. OR 3.308 ACRES

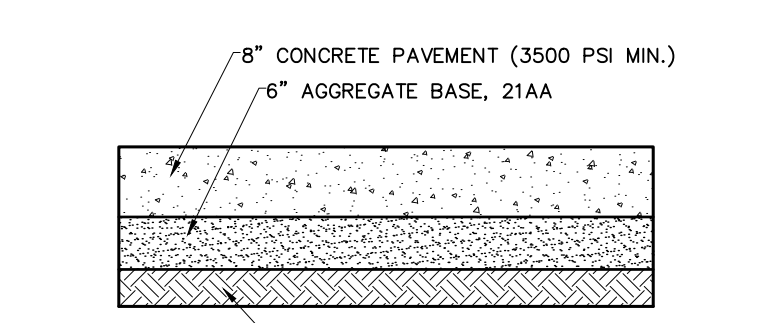


**LEGEND**

MANHOLE	EXISTING SANITARY SEWER
HYDRANT	SAN. CLEAN OUT
MANHOLE	EXISTING WATERMAIN
UTILITY POLE	EXISTING STORM SEWER
GUY WIRE	EX. R. Y. CATCH BASIN
EXISTING BURIED CABLES	EXISTING BURIED CABLES
OVERHEAD LINES	OVERHEAD LINES
LIGHT POLE	LIGHT POLE
SIGN	SIGN
EXISTING GAS MAIN	EXISTING GAS MAIN
PR. SANITARY SEWER	PR. SANITARY SEWER
PR. WATER MAIN	PR. WATER MAIN
PR. STORM SEWER	PR. STORM SEWER
PR. R. Y. CATCH BASIN	PR. R. Y. CATCH BASIN
PROPOSED LIGHT POLE	PROPOSED LIGHT POLE
PR. TOP OF CURB ELEVATION	PR. TOP OF CURB ELEVATION
PR. GUTTER ELEVATION	PR. GUTTER ELEVATION
PR. TOP OF WALK ELEVATION	PR. TOP OF WALK ELEVATION
PR. TOP OF P.W.M. ELEVATION	PR. TOP OF P.W.M. ELEVATION
FINISH GRADE ELEVATION	FINISH GRADE ELEVATION



**BUILDING DEPT. NOTE**  
 ALL ACCESSIBLE ROUTES INCLUDING RAMP, SLOPES, COUNTER SLOPES ETC. FOR THE PARKING LOT IN ADDITION THE RAMP SLOPES IN THE BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH CODE SECTION 401 ICC/ANSI A117.1  
 MAX RAMP SLOPE SHALL NOT EXCEED 1:12 OR 8.33%  
 MAX RUNNING SLOPE WALK SURFACE SHALL NOT EXCEED 1:20 OR 5%  
 MAX CROSS SLOPE WALK SURFACE SHALL NOT EXCEED 1:48 OR 2.08%



**CONCRETE PAVEMENT SECTION**  
 N.T.S.

**CURB NOTE:**  
 ALL LOCATIONS WHERE PARKING SPACES ARE PERPENDICULAR TO CURB/WALK THE MAX ELEVATION OF THE CURB/WALK IS 4\"/>

**ADA NOTE:**  
 NO MORE THAN 1\"/>

**RELOCATE OR REMOVE FIXED OBJECTS PRIOR TO EXCAVATION.**  
 ALL DIMENSIONS ARE TO THE OUTSIDE BUILDING WALL, FACE OF CURB, OR TO THE FACE OF SIDEWALK UNLESS OTHERWISE NOTED. THE WIDTHS OF END PARKING SPACES ARE REFERENCED TO THE BACK OF CURB. WHERE END PARKING SPACES ARE NOT DIMENSIONED ON THE PLAN, THE SPACE SHALL BE THE WIDTH OF A TYPICAL SPACE DIMENSIONED TO THE FACE OF CURB. NINE (9) FEET FOR A STANDARD PARKING SPACE AND EIGHT (8) FEET FOR A BARRIER FREE SPACE.

**IF DEWATERING IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION, A DEWATERING PLAN MUST BE SUBMITTED TO THE ENGINEERING DIVISION FOR REVIEW.**  
 REFER TO SHEET C8 FOR TRAFFIC CONTROL DETAILS TO BE UTILIZED WITHIN THE REGENCY DRIVE RIGHT-OF-WAY.

**RELOCATE OR REMOVE FIXED OBJECTS PRIOR TO EXCAVATION.**  
 ALL DIMENSIONS ARE TO THE OUTSIDE BUILDING WALL, FACE OF CURB, OR TO THE FACE OF SIDEWALK UNLESS OTHERWISE NOTED. THE WIDTHS OF END PARKING SPACES ARE REFERENCED TO THE BACK OF CURB. WHERE END PARKING SPACES ARE NOT DIMENSIONED ON THE PLAN, THE SPACE SHALL BE THE WIDTH OF A TYPICAL SPACE DIMENSIONED TO THE FACE OF CURB. NINE (9) FEET FOR A STANDARD PARKING SPACE AND EIGHT (8) FEET FOR A BARRIER FREE SPACE.

**PAVING LEGEND**

	PROPOSED CONCRETE PAVEMENT

**ESTIMATED QUANTITIES**

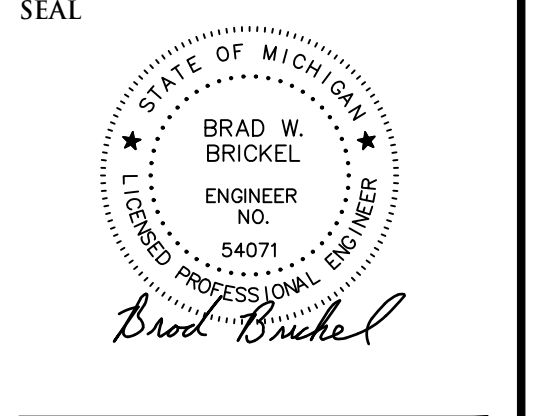
DESCRIPTION	QUANTITY	UNITS
4\"/>	4,382	S.Y.
5\"/>	2,096	S.Y.
4\"/>	105	S.F.
6\"/>	280	S.F.
4\"/>	1,080	S.F.
4\"/>	576	L.F.
6\"/>	1,044	L.F.
8\"/>	136	S.Y.
8\"/>	200	S.Y.
8\"/>	15	S.Y.
BARRIER FREE SIGNAGE (R7-B)	4	EA.
BARRIER FREE SIGNAGE (R7-8P)	4	EA.

**LEGEND**

	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		SAN. CLEAN OUT
	MANHOLE		EXISTING WATERMAIN
	UTILITY POLE		EXISTING STORM SEWER
	GUY POLE		EX. R. Y. CATCH BASIN
	GUY WIRE		EXISTING BURIED CABLES
	C.O.		LIGHT POLE
	HYDRANT		SIGN
	INLET		EXISTING GAS MAIN
	MANHOLE		PR. SANITARY SEWER
	HYDRANT		PR. WATER MAIN
	INLET		PR. STORM SEWER
	MANHOLE		PR. R. Y. CATCH BASIN
	INLET		PROPOSED LIGHT POLE
	MANHOLE		PR. TOP OF CURB ELEVATION
	INLET		PR. GUTTER ELEVATION
	MANHOLE		PR. TOP OF WALK ELEVATION
	INLET		PR. TOP OF P.W.M. ELEVATION
	MANHOLE		FINISH GRADE ELEVATION



**NOWAK & FRAUS ENGINEERS**  
 4677 WOODWARD AVE.  
 PONTIAC, MI 48342-5032  
 TEL. (248) 332-7931  
 FAX. (248) 332-8257



**PROJECT**  
 25125 Regency Drive -  
 Unit 7 of Regency Centre  
 Novi, MI

**CLIENT**  
 Regency Vacant Land, LLC  
 c/o Ari-El Enterprises  
 29355 Northwestern Highway,  
 Suite 301  
 Southfield, MI 48034

**Contact: Arie Leibovitz**  
 248.557.3800 x 127 - Phone  
 248.557.6442 - Fax

**PROJECT LOCATION**  
 Part of the NE 1/4  
 of Section 24  
 T.1N., R.8E.  
 City of Novi  
 Oakland County, Michigan

**SHEET**  
 Paving & Grading Plan



**REVISIONS**

06-19-15	ISSUED FOR ENGINEERING REVIEW
07-17-15	REVISED PER FINAL SITE PLAN REVIEW
07-30-15	FINAL STAMPING SET
03-11-16	REVISED PER CITY
12-20-17	ADDED OH DOOR - REV PKG.
05-01-18	ISSUED FOR CITY REVIEW

**DRAWN BY:**  
 R. Johnson

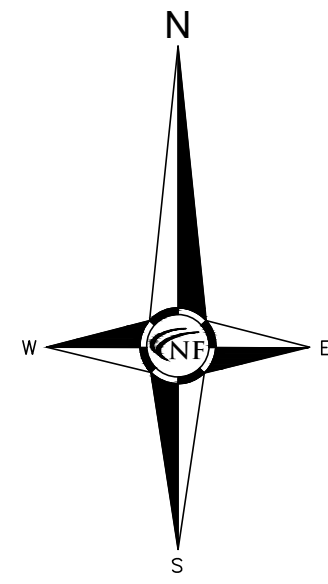
**DESIGNED BY:**  
 B. Brickel

**APPROVED BY:**  
 B. Brickel

**DATE:**  
 November 11, 2014

**SCALE:** 1" = 30'

**NFE JOB NO.** A650-07 **SHEET NO.** C4



**GROUND COVER KEY**

- 1 TYPICAL SOD LAWN AREAS, SOWN ON 3" TOPSOIL
- 2 RESTORE EXISTING LAWN AREAS W/ HYDROSEED AND MULCH
- 3 3-4" DIA SPADE CUT EDGE W/ 3" SHREDDED BARK MULCH
- 4 3" DEPTH DOUBLE SHREDDED HARDWOOD BARK MULCH
- 5 3/4" - 1 1/2" STONE MULCH, 3-4" DEPTH ON WEED BARRIER
- 6 POSSIBLE SNOW DEPOSITION AREA, TO BE COORDINATED WITH REMOVAL SERVICE

**GENERAL SOD NOTE:**

ALL LAWN AREAS DESIGNATED TO BE SODDED, SHALL BE SODDED WITH A BLENDED DURABLE BLUEGRASS SOD, TYPICALLY GROWN IN THE REGION. ALL TURF SHALL BE PLACED ON A MINIMUM 3" PREPARED TOPSOIL, AND WATERED DAILY UNTIL ESTABLISHMENT. IN AREAS SUBJECT TO EROSION, SODDED LAWN SHALL BE FURTHER STABILIZED WHERE NECESSARY, AND LAID PERPENDICULAR TO SLOPES. SOD INSTALLATION SHALL OCCUR ONLY: SPRING: APRIL TO JUNE! FALL: AUGUST 15 TO OCTOBER 15

**GENERAL SEED NOTE:**

ALL LAWN AREAS DESIGNATED TO BE SEED, SHALL BE HYDRO-SEEDED WITH SPECIFIED BLENDS, AND STABILIZED WITH WOOD CELLULOSE FIBER MULCH (2,000 LBS PER ACRE). IN AREAS SUBJECT TO EROSION, SEEDED LAWN SHALL BE FURTHER STABILIZED WHERE NECESSARY WITH BIODEGRADABLE EROSION BLANKET AND STAKED UNTIL ESTABLISHED. ALL SEED SHALL BE APPLIED OVER A MINIMUM 3" PREPARED TOPSOIL, AND SHALL BE KEPT MOIST AND WATERED DAILY UNTIL ESTABLISHED. SEEDING INSTALLATION SHALL OCCUR ONLY: SPRING: APRIL TO JUNE! FALL: AUGUST 15 TO OCTOBER 15

**PLANT SCHEDULE**

KEY	QTY	BOTANICAL/COMMON NAME	SIZE	SPACING	ROOT	COMMENT	UNIT/TOTAL COST	
<b>TREES</b>								
AF	12	Acer x Freemanii 'Armstrong' Armstrong Maple	3" CAL	SEE PLAN	B&B	FULL MATCHED HEADS	\$400/\$4,800	
AR	4	Acer rubrum 'Scarlet Sentinel' Scarlet Sentinel Maple	3" CAL	SEE PLAN	B&B	FULL MATCHED HEADS	\$400/\$1,600	
AL	3	Amygdalus fraxinifolia 'Allegany' Serviceberry	6-8 HT	SEE PLAN	B&B	FULL MATCHED HEADS	\$250/\$750	
GT	5	Cedrela trichanthos 'Skyline' Skyline Honey Locust	3" CAL	SEE PLAN	B&B	FULL MATCHED HEADS	\$400/\$2,000	
MS	28	Morus nigra 'Spring Snow' Spring Snow Crabapple	2.5" CAL	SEE PLAN	B&B	FULL MATCHED HEADS	\$250/\$7,000	
LS	15	Liquidambar styraciflua 'Emerald Sentinel' Emerald Sentinel Sweet Gum	3" CAL	SEE PLAN	B&B	FULL MATCHED HEADS	\$400/\$6,000	
PC	12	Platanus occidentalis 'Aristocrat' Aristocrat Plane	3" CAL	SEE PLAN	B&B	FULL MATCHED HEADS	\$400/\$4,800	
<b>SHRUBS</b>								
IC	95	Ilex crenata 'Green Lustre' Green Lustre Holly	24" HT	30" OC	B&B	MAINTAIN AS HEDGE	\$50/\$4,750	
JS	44 (+3)	Juniperus scopulorum 'Skyrocket' Skyrocket Juniper	6" HT	24" OC	B&B	SHEAR AT UNIFORM 5' HT	\$50/\$1,750	
SB	66 (-22)	Spiraea x b. 'Anthony Waterer' Anthony Waterer Spiraea	24" HT	36" OC	B&B		\$50/\$2,650	
TE	24	Toxus x m. 'Evelow' Evelow Yew	18" HT	24" OC	B&B	MAINTAIN AS HEDGE	\$50/\$1,200	
TO	18	Thuja occidentalis 'Techny' Mission Arborvitae	5' HT	4' OC	B&B	SHEAR AT UNIFORM 4' HT	\$50/\$900	
VD	10	Viburnum dentatum 'Aronwood' Viburnum	30-36"	SEE PLAN	B&B			
<b>GROUND COVERS/PERENNIALS</b>								
CA	88	Calamagrostis x a. 'Karl Foerster' Karl Foerster Feather Reed Grass	3 GAL	30" OC	CONT		\$15/\$1,350	
HR	105	Hemerocallis 'Happy Returns' Happy Returns Daylily	2 GAL	18" OC	CONT		\$15/\$1,575	
							\$HREDDED BARK MULCH	\$ 35/\$2,450
							IRRIGATION	\$10,000.00
							SODDED LAWN	\$6/\$8,240.00
							HYDROSEEDED LAWN	\$3/\$10,570
							<b>TOTAL COST</b>	<b>\$73,385.00</b>

**TREE REPLACEMENT NOTE:**

REPLACEMENT TREES CANNOT BE ACCOMMODATED ON-SITE AND MONIES WILL BE PAID INTO THE CITY TREE FUND. 25 REPLACEMENT TREES X \$400 = \$10,000.00

**GENERAL LANDSCAPE NOTES**

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, THE PLAN SHALL GOVERN QUANTITIES. CONTACT THE LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON-SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION OR HIGHWAY PHASE OF WORK. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES AND SHALL REPORT ANY UNACCEPTABLE SITE CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT.
- PLANTS SHALL BE FULLY BRANCHED, AND IN HEALTHY VIGOROUS GROWING CONDITION.
- PLANTS SHALL BE WATERED BEFORE AND AFTER PLANTING IS COMPLETE. ALL TREES MUST BE STAKED, FERULATED AND MULCHED AND SHALL BE GUARANTEED TO EXHIBIT A NORMAL GROWTH CYCLE FOR AT LEAST ONE (1) YEAR FOLLOWING PLANTING.
- ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED IN THE MOST RECENT EDITION OF THE "AMERICAN STANDARDS FOR NURSERY STOCK".
- CONTRACTOR WILL SUPPLY FINISHED GRADE AND EXCAVATE AS NECESSARY TO SUPPLY PLANT MIX DEPTH IN ALL PLANTING BEDS AS INDICATED IN PLANT DETAILS AND A DEPTH OF 6" IN ALL LAWN AREAS.
- PROVIDE CLEAN BACKFILL SOIL USING MATERIAL STOCKPILED ON-SITE. SOIL SHALL BE SCREENED AND FREE OF DEBRIS, FOREIGN MATERIAL, AND STONE. SLOW RELEASE FERTILIZER SHALL BE ADDED TO THE PLANT BEDS BEFORE BEING BACKFILLED. APPLICATION SHALL BE AT THE MANUFACTURER'S RECOMMENDED RATES.
- AMENDED PLANT MIX (PREPARED TOPSOIL) SHALL CONSIST OF 1/3 SCREENED TOPSOIL, 1/3 SAND, AND 1/3 "DIRTY" COMPOST, MIXED WELL AND SPREAD TO A DEPTH AS INDICATED IN PLANTING DETAILS.
- ALL PLANTINGS SHALL BE MULCHED WITH SHREDDED HARDWOOD BARK, SPREAD TO A DEPTH OF 4" FOR TREES AND SHRUBS, AND 2" ON ANNUALS, PERENNIALS, AND GROUNDCOVER PLANTINGS. MULCH SHALL BE FREE FROM DEBRIS AND FOREIGN MATERIAL, AND FREE FROM COMPOST.
- NO SUBSTITUTIONS OR CHANGES OF LOCATION, OR PLANT TYPE SHALL BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS PRIOR TO INSTALLATION.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL IN A VERTICAL CONDITION THROUGHOUT THE GUARANTEED PERIOD.
- THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE SHALL HAVE THE RIGHT TO REJECT ANY WORK OR MATERIAL THAT DOES NOT MEET THE REQUIREMENTS OF THE PLANS AND/OR SPECIFICATIONS.
- THE LANDSCAPE CONTRACTOR SHALL SEED AND MULCH OR SOO (AS INDICATED ON PLANS) ALL AREAS DESIGNATED AS SUCH ON THE PLANS, THROUGHOUT THE CONTRACT PERIOD. FURTHER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING AREAS DISTURBED DURING CONSTRUCTION, NOT IN THE CONTRACT LIMITS, TO EQUAL OR GREATER CONDITION.
- ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESSIVE WATER FROM PONDING ON LAWN AREAS OR AROUND TREES AND SHRUBS.
- ALL LANDSCAPE AREAS SHALL BE BRIGATED WITH AN AUTOMATIC UNDERGROUND SYSTEM.

**LANDSCAPE REQUIREMENTS**

EXISTING SITE ZONING: I-1, LIGHT INDUSTRIAL DISTRICT  
EXISTING SITE AREA: 144,119.26 S.F. OR 3.31 ACRES

**LANDSCAPE ABUTTING A R.O.W. (F)**

- 1 DECIDUOUS OR EVERGREEN TREE PER 35 L.F.
- 3 ORNAMENTAL TREE PER 40 L.F.
- REQUIRED: 416.58 OF FRONTAGE
- CANOPY TREES: 416.58' x 35' = 11,59 OR 12 TREES REQUIRED
- SUB-CANOPY TREES: 416.58' x 40' x 3 = 31.34 OR 31 TREES REQUIRED
- PROVIDED: 13 EXISTING CANOPY TREES, 31 SUB-CANOPY TREES

**PARKING LOT LANDSCAPE REQUIREMENTS (P)**

**PARKING SPACE AREA**  
22,841.41 S.F.  
22,841.41 S.F. X 75% = 1,713.11 S.F. OF AREA

**REQUIRED PARKING LOT LANDSCAPE AREA**

REQUIRED: 1,399 S.F. + 792 S.F. = 2,191 S.F. REQUIRED  
FOR PARKING LOT ISLANDS  
PROVIDED: 3,857 S.F.

**PARKING LOT DECIDUOUS SHADE TREES**

1 CANOPY TREE PER 75 S.F. OF PARKING SHADE AREA  
REQUIRED: 2,391 S.F. / 75 S.F. = 31.88 OR 32 TREES REQUIRED  
PROVIDED: 32 PROPOSED TREES

**PARKING LOT PERIMETER TREES (PP)**

1 CANOPY TREE PER 35 S.F. OF PARKING LOT PERIMETER  
810 L.F. OF PERIMETER / 35 S.F. = 23 TREES REQUIRED  
PROVIDED: 12 TREES PLUS 44 EXISTING ALONG THE SOUTH PERIMETER  
AND 12 EXISTING ALONG THE WEST PERIMETER.

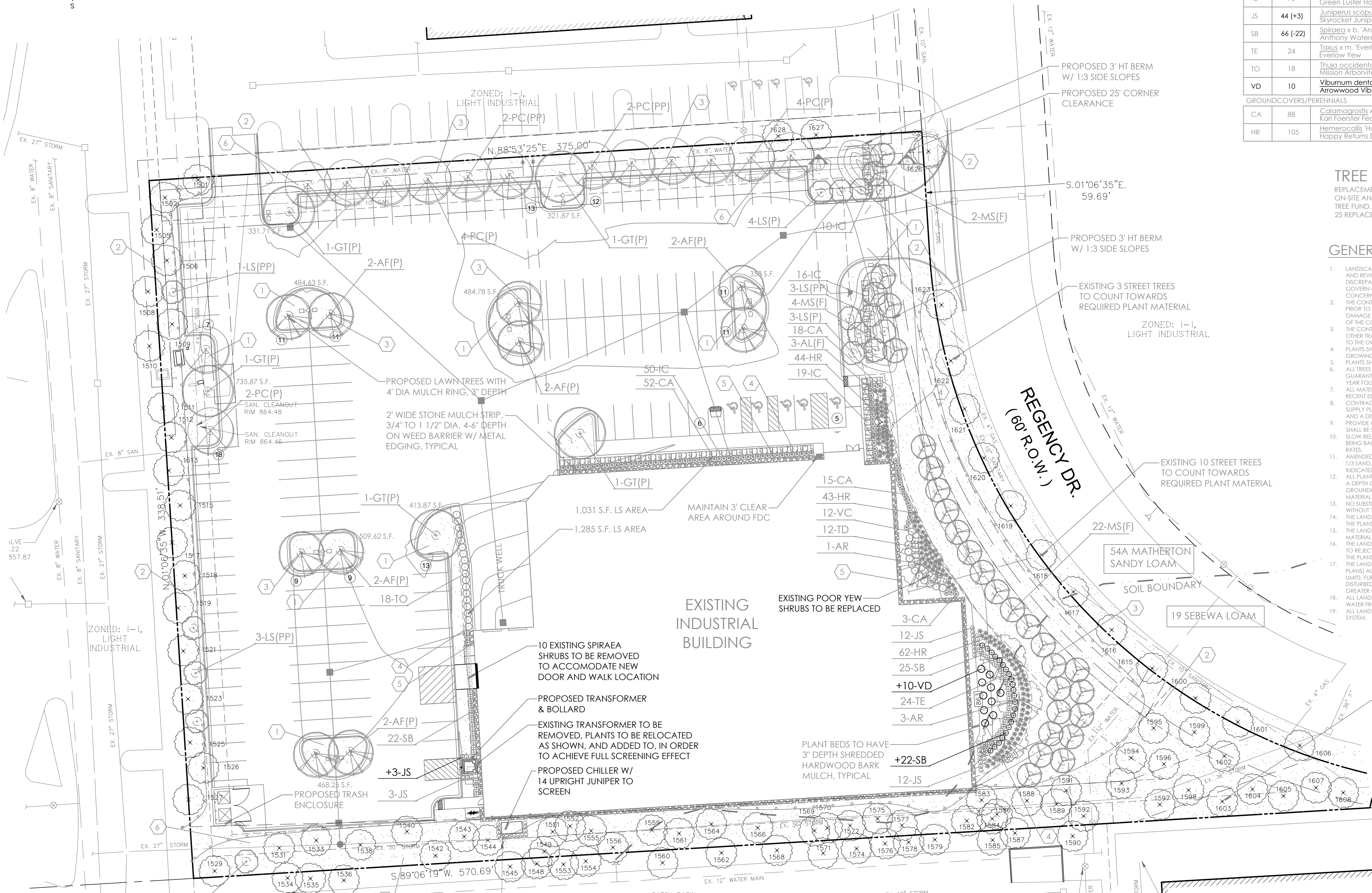
\*A WAIVER WAS GRANTED BY THE PC JUNE 10, 2015 FOR THE DEFICIENCY IN PARKING LOT PERIMETER TREES

**STREET TREES**

1 TREE PER 45 L.F.  
REQUIRED: 416.58 L.F. OF FRONTAGE  
416.58 L.F. / 45 L.F. = 9.26 OR 10 TREES REQUIRED  
PROVIDED: 13 EXISTING TREES

**BUILDING FOUNDATION LANDSCAPE**

BUILDING PERIMETER X 8 FT. W/ 4" DIMENSION  
BUILDING PERIMETER = 800.81 L.F.  
AREA REQUIRED: 800.81 X 8 = 6,406.48 S.F.  
AREA PROVIDED: 7,405 S.F. ORIGINALLY  
AFTER DOOR ADDITION: 7,241 (-163 S.F.)



**CITY OF NOVI NOTES**

- ALL LANDSCAPE ISLANDS SHALL BE BACKFILLED WITH A SAND MIXTURE TO FACILITATE DRAINAGE.
- ALL PROPOSED LANDSCAPE ISLANDS SHALL BE CURBED.
- ALL LANDSCAPE AREAS SHALL BE BRIGATED.
- OVERHEAD UTILITY LINES AND POLES TO BE RELOCATED AS DIRECTED BY THE UTILITY COMPANY OR RECORD.
- EVERGREEN AND CANOPY TREES SHALL BE PLANTED A MINIMUM OF 10' FROM A FIRE HYDRANT AND MANHOLE, AND 15' FROM OVERHEAD WIRES.
- ALL PLANT MATERIAL SHALL BE NORTHERN GROWN NURSERY STOCK, GUARANTEED FOR TWO (2) YEARS AFTER PLANTING AND SHALL BE INSTALLED AND MAINTAINED ACCORDING TO CITY OF NOVI STANDARDS. THE TWO-YEAR WARRANTY PERIOD SHALL INCLUDE A MINIMUM OF ONE CELEBRATION IN JUNE, JULY AND AUGUST FOR EACH OF THE TWO-YEAR GUARANTEE.
- ALL PROPOSED STREET TREES SHALL BE PLANTED A MINIMUM OF 4' FROM THE BACK OF CURBS AND PROPOSED WALKS.
- ALL TREE AND SHRUB PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD BARK, SPREAD TO A MINIMUM DEPTH OF 4". ALL LAWN AREA TREES SHALL HAVE A 4" DIAMETER CIRCLE OF SHREDDED HARDWOOD MULCH, 3" MINIMUM AWAY FROM TRUNK. ALL PERENNIAL, ANNUAL, AND GROUNDCOVER BEDS SHALL RECEIVE 2" OF DARK COLORED BARK MULCH. MULCH IS TO BE FREE FROM DEBRIS AND FOREIGN MATERIAL, AND SHALL CONTAIN NO PIECES OF INCOMPATIBLE SOIL.
- THE CITY OF NOVI LANDSCAPE ARCHITECT SHALL APPROVE ANY SUBSTITUTIONS IN WRITING PRIOR TO INSTALLATION.

**NOTE:**

ALL PLANT SUBSTITUTIONS AND/OR DEVIATIONS FROM THE APPROVED PLANS MUST BE APPROVED BY THE CITY OF NOVI PRIOR TO INSTALLATION.  
ALL TREE WRAP AND STAKES ARE TO BE REMOVED AFTER THE FIRST WINTER SEASON.

**GENERAL NOTES:**

ALL PROPOSED PLANT MATERIAL SHALL BE NORTHERN GROWN, NO. 1 GRADE STOCK, INSTALLED IN ACCORDANCE W/ AAN AND CITY OF NOVI STANDARDS.  
MISS DIG (1-800-482-7171) SHALL BE NOTIFIED A MINIMUM OF 48 HOURS PRIOR TO INSTALLATION OF ALL MATERIALS.

**IRRIGATION NOTE:**

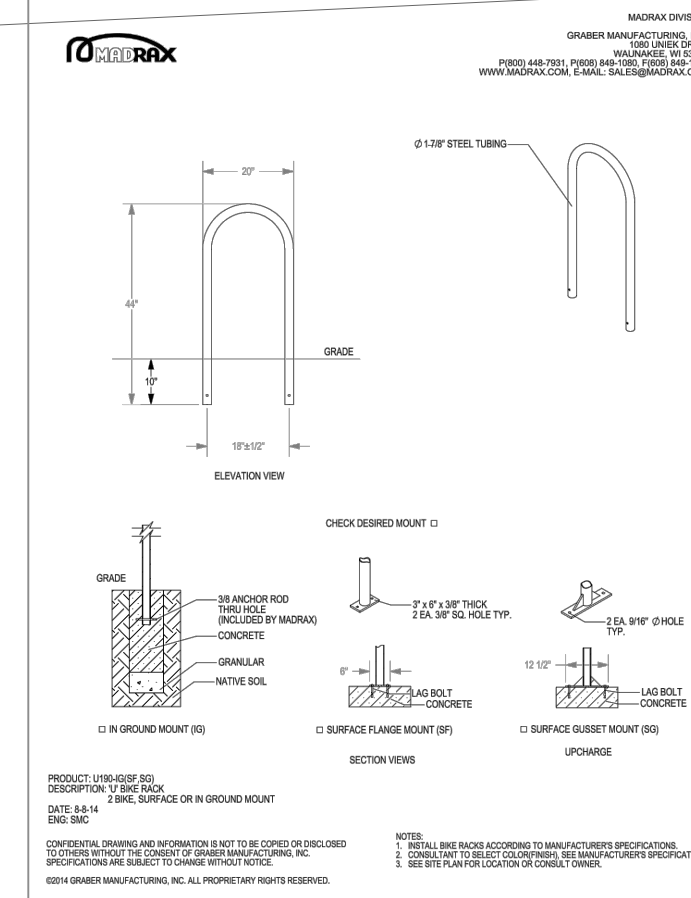
AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WILL BE PROVIDED FOR ALL LANDSCAPED AREAS, IN FULL COMPLIANCE WITH THE ZONING ORDINANCE

**SOIL NOTE:**

EXISTING SOILS ON-SITE ARE COMPRISED EXCLUSIVELY OF (54A) MATHERTON SANDY LOAM, 0-3% SLOPES, AND (19) SEBEWA LOAM, NEARLY LEVEL AND POORLY DRAINED.

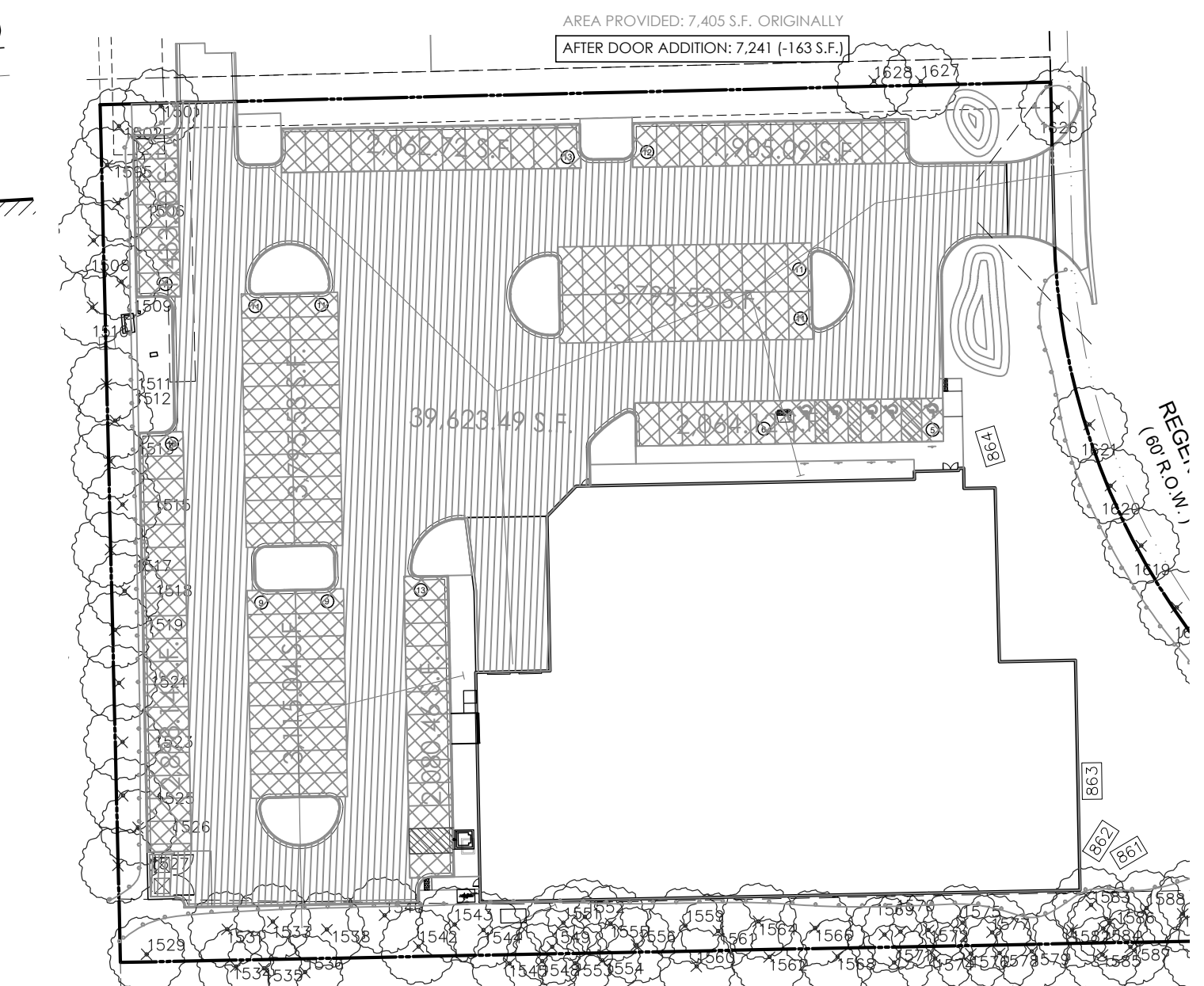
**NOTE:**

THE APPROXIMATE DATE OF INSTALLATION FOR THE PROPOSED LANDSCAPE WILL BE SPRING 2016.  
THE SITE WILL BE MAINTAINED BY THE DEVELOPER IN ACCORDANCE WITH THE STANDARDS SET FORTH IN THE CITY OF NOVI ZONING ORDINANCE.

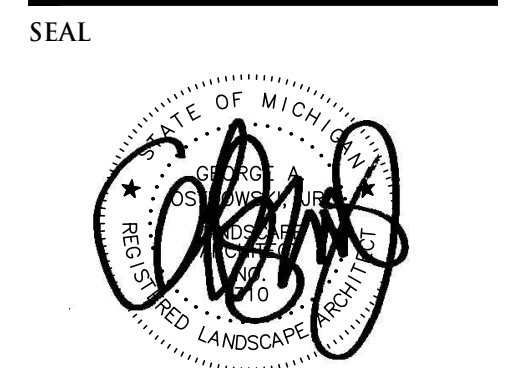


**TYPICAL SEEDED LAWN MIX:**

ALL LAWN AREAS DESIGNATED TO BE SEED, SHALL BE HYDROSEEDED WITH TYPICAL DROUGHT TOLERANT, DURABLE BLENDED SEED MIX, AT A RATE OF 220 LBS PER ACRE  
MIX IS COMPRISED OF:  
30% NITE HAWK PERENNIAL RYE  
30% KENTUCKY BLUEGRASS  
20% CREEPING RED FESCUE  
10% MERIT KENTUCKY BLUEGRASS  
10% NEWPORT KENTUCKY BLUEGRASS



**NOWAK & FRAUS ENGINEERS**  
46777 WOODWARD AVE.  
PONTIAC, MI 48342-5032  
TEL. (248) 332-7931  
FAX. (248) 332-8257



**PROJECT**  
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Unit 7 of Regency Centre  
Novi, MI

**CLIENT**  
Regency Vacant Land, LLC  
c/o Ari-EI Enterprises  
29355 Northwestern Highway,  
Suite 301  
Southfield, MI 48034

**Contact: Arie Leivovitz**  
248.557.3800 x 127 - Phone  
248.557.6442 - Fax

**PROJECT LOCATION**  
Part of the NE 1/4  
of Section 24  
T.1N., R.8E.  
City of Novi  
Oakland County, Michigan

**SHEET**  
Landscape Plan



**REVISIONS**

01/07/14	PRE-APPLICATION MEETING
04/14/15	REVISED PER CITY REVIEW
05/08/15	REVISED PER CITY REVIEW
06/02/15	REVISED PER CITY REVIEW
06/19/15	ISSUED FOR ENGINEERING REVIEW
07/14/15	FINAL SITE PLAN REVIEW
07/30/15	FINAL STAMPING SET
08/11/16	REVISED PER CITY
12/29/17	ADDED ON DOOR - REVISED PARKING
05/01/18	REVISED PER CITY REVIEW

**DRAWN BY:**  
G. Ostrowski  
**DESIGNED BY:**  
G. Ostrowski  
**APPROVED BY:**  
G. Ostrowski  
**DATE:**  
12-01-2014

**SCALE:** 1" = 30'  
30 15 0 15 30 45  
NFE JOB NO. **A650-07** SHEET NO. **L2**