



## COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road  
Novi, MI 48375  
(248) 347-0415 Phone  
(248) 735-5600 Facsimile  
[www.cityofnovi.org](http://www.cityofnovi.org)

# ZONING BOARD OF APPEALS STAFF REPORT

**FOR:** City of Novi Zoning Board of Appeals

**MEETING DATE:** August 13, 2024

**REGARDING:** 43485 & 43555 Bond Street # 50-22-22-226-009 & 50-22-22-226-008 (PZ24-0035)

**BY:** Alan Hall, Deputy Director Community Development

### I. GENERAL INFORMATION:

#### **Applicant**

The Bond

#### **Variance Type**

Dimensional Variance

#### **Property Characteristics**

Zoning District: This property is zoned Town Center-1 (TC-1)

Location: south of Grand River Avenue, west of Novi Road

Parcel #: 50-22-22-226-009 & 50-22-22-226-008

#### **Request**

The applicant is requesting variances from the City of Novi Zoning Ordinance Section 4.82.2 for increasing the maximum percentage of one-bedroom units allowed for this development (50% maximum allowed, 59% proposed); Section 3.27.1.D to allow parking in the side yard for a commercial building (49 spaces); Section 3.27.1.D to allow parking in front yard for residential section (38 spaces); Section 3.27.1.D to allow parking in side yard for residential section (50 spaces on the east and 35 spaces on the west); Section 4.82.2.e for a reduction of the minimum building setback for Building 1 on the east side (15 ft. required 8.8 ft. proposed); Section 4.82.2.e for a reduction of the minimum building setback for Building 2 on the east side (15 ft. required, 3.8 ft. proposed); Section 4.82.2.e for a reduction of the minimum building setback for the parking garage on the west side (15 ft. required, 5 ft. proposed); Section 5.7.3.L for exceeding the maximum allowed foot candle measurements along the south property line (1 foot candle is allowed, up to 1.7 foot candles is proposed); Section 3.27.1.H. and Section 5.4.2 to allow two loading areas in the side yard for the residential section; Section 5.4.2

for a reduction in the minimum required loading area for each of the two loading spaces in the residential section (2,830 sq. ft. required, 644 sq. ft. provided); Section 3.27.1.i. for a reduction in width of the sidewalk along a non-residential collector (12.5 feet required on both sides, 8 feet proposed on west and 10 feet proposed on east); Section 5.3.2. for a reduction of the minimum parking bay depth for spaces proposed in the parking garage (19 ft. minimum required, 18 ft. proposed). This property is zoned Town Center-1 (TC-1).

## II. STAFF COMMENTS:

*The applicant is seeking (14) variances.*

- 1) *9% increase of one-bedroom units*
- 2) *To allow (49) parking spaces in the side yard for a commercial building*
- 3) *To allow (38) parking spaces in the front yard for a residential building*
- 4) *To allow (50) parking spaces in the east side yard for a residential section*
- 5) *To allow (35) parking spaces in the west side yard for a residential section*
- 6) *Building 1 – for a 6.2-foot east side building setback variance*
- 7) *Building 2 – for a 11.2-foot east side building setback variance*
- 8) *Parking Garage – for a 10-foot west side building setback variance*
- 9) *Lighting Variance - south property line to allow up to 1.7-foot candles abutting railroad tracks*
- 10) *To allow (2) loading areas in the side yard for a residential section*
- 11) *To allow a 77.24% size reduction (2,186 SF variance) for both loading areas*
- 12) *To allow a 4.5-foot sidewalk width reduction along the west side of a non-residential collector*
- 13) *To allow a 2.5-foot sidewalk width reduction along the east side of non-residential collector*
- 14) *To allow a 1-foot reduction of the parking bay depth for the parking garage*

**History:** *On August 14, 2018 – Similar variances were approved, but now all have expired.*

## III. RECOMMENDATION:

**The Zoning Board of Appeals may take one of the following actions:**

1. I move that we **grant** the variance in Case No. **PZ24-0035**, sought by \_\_\_\_\_, for \_\_\_\_\_ because Petitioner has shown practical difficulty requiring \_\_\_\_\_.

(a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because \_\_\_\_\_.

\_\_\_\_\_  
\_\_\_\_\_.

(b) The property is unique because \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_.

(c) Petitioner did not create the condition because \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_.

(d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_.

(e) The relief if consistent with the spirit and intent of the ordinance because \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_.

(f) The variance granted is subject to:

1. \_\_\_\_\_.
2. \_\_\_\_\_.
3. \_\_\_\_\_.
4. \_\_\_\_\_.

2. I move that we **deny** the variance in Case No. **PZ24-0035**, sought by \_\_\_\_\_, for \_\_\_\_\_ because Petitioner has not shown practical difficulty requiring \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_.

(a) The circumstances and features of the property including \_\_\_\_\_

\_\_\_\_\_ are not unique because they exist generally throughout the City.

(b) The circumstances and features of the property relating to the variance request are self-created because \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_.

(c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_.

(d) The variance would result in interference with the adjacent and surrounding properties by \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_.

(e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Alan Hall – Deputy Director Community Development - City of Novi



45175 Ten Mile Road  
 Novi, MI 48375  
 (248) 347-0415 Phone  
 (248) 735-5600 Facsimile  
 www.cityofnovi.org

## ZONING BOARD OF APPEALS APPLICATION

RECEIVED

JUN 25 2024

CITY OF NOVI  
COMMUNITY DEVELOPMENT

APPLICATION MUST BE FILLED OUT COMPLETELY

<b>I. PROPERTY INFORMATION (Address of subject ZBA Case)</b>				Application Fee: <span style="font-size: 24px; color: blue;">\$330.00</span>	
PROJECT NAME / SUBDIVISION The Bond				Meeting Date: <span style="font-size: 24px; color: blue;">8-13-24</span>	
ADDRESS 43485 & 43555 Bond Street, Nivi, Mi 48375		LOT/SIUTE/SPACE #		ZBA Case #: <span style="font-size: 24px; color: blue;">PZ 24-0035</span>	
SIDWELL # 50-22-22 -226 -008 & 00		May be obtain from Assessing Department (248) 347-0485			
CROSS ROADS OF PROPERTY Bond Street. west of Novi Road					
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			REQUEST IS FOR: <input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE		
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input type="checkbox"/> NO					
<b>II. APPLICANT INFORMATION</b>					
<b>A. APPLICANT</b>		EMAIL ADDRESS albert@tricapre.com		CELL PHONE NO. 248-761-6909	
NAME Albert Ludwig		TELEPHONE NO. 248-538-1483			
ORGANIZATION/COMPANY The Bond at Novi LLC		FAX NO. 248-538-1526			
ADDRESS 30600 Northwestern Suite 430		CITY Farmington Hills		STATE Mi	ZIP CODE 48334
<b>B. PROPERTY OWNER</b> <input checked="" type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER					
Identify the person or organization that owns the subject property:		EMAIL ADDRESS		CELL PHONE NO.	
NAME		TELEPHONE NO.			
ORGANIZATION/COMPANY		FAX NO.			
ADDRESS		CITY		STATE	ZIP CODE
<b>III. ZONING INFORMATION</b>					
<b>A. ZONING DISTRICT</b>					
<input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input checked="" type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____					
<b>B. VARIANCE REQUESTED</b>					
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:					
1. Section <u>4.82.2</u>		Variance requested <u>Please see attached</u>			
2. Section _____		Variance requested _____			
3. Section _____		Variance requested _____			
4. Section _____		Variance requested _____			
<b>IV. FEES AND DRAWINGS</b>					
<b>A. FEES</b>					
<input type="checkbox"/> Single Family Residential (Existing) \$220 <input type="checkbox"/> (With Violation) \$275 <input type="checkbox"/> Single Family Residential (New) \$275 <input checked="" type="checkbox"/> Multiple/Commercial/Industrial \$330 <input type="checkbox"/> (With Violation) \$440 <input type="checkbox"/> Signs \$330 <input type="checkbox"/> (With Violation) \$440 <input type="checkbox"/> House Moves \$330 <input type="checkbox"/> Special Meetings (At discretion of Board) \$660					
<b>B. DRAWINGS 1-COPY &amp; 1 DIGITAL COPY SUBMITTED AS A PDF</b>					
<ul style="list-style-type: none"> <li>• Dimensioned Drawings and Plans</li> <li>• Site/Plot Plan</li> <li>• Existing or proposed buildings or addition on the property</li> <li>• Number &amp; location of all on-site parking, if applicable</li> </ul>			<ul style="list-style-type: none"> <li>• Existing &amp; proposed distance to adjacent property lines</li> <li>• Location of existing &amp; proposed signs, if applicable</li> <li>• Floor plans &amp; elevations</li> <li>• Any other information relevant to the Variance application</li> </ul>		



# ZONING BOARD OF APPEALS APPLICATION

## V. VARIANCE

### A. VARIANCE (S) REQUESTED

DIMENSIONAL     USE     SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

### B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

### C. ORDINANCE

#### City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

### D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

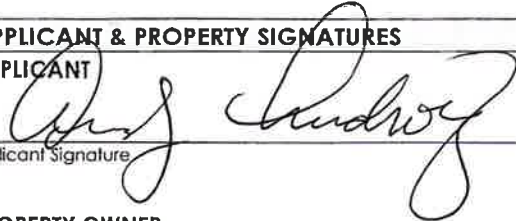
PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING     ADDITION TO EXISTING HOME/BUILDING     SIGNAGE  
 ACCESSORY BUILDING     USE     OTHER \_\_\_\_\_

## VI. APPLICANT & PROPERTY SIGNATURES

### A. APPLICANT

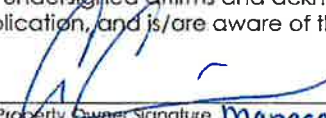
  
Applicant Signature

6-24-2024  
Date

### B. PROPERTY OWNER

**If the applicant is not the owner, the property owner must read and sign below:**

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

  
Property Owner Signature Manager of DTN Asset Management + Development, LLC,  
Manager of DTN Blvd at Novi, LLC

June 24, 2024  
Date

## VII. FOR OFFICIAL USE ONLY

### DECISION ON APPEAL:

GRANTED

DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

\_\_\_\_\_  
Chairperson, Zoning Board of Appeals

\_\_\_\_\_  
Date



**Community Development Department**

45175 Ten Mile Road  
Novi, MI 48375  
(248) 347-0415 Phone  
(248) 735-5600 Facsimile  
[www.cityofnovi.org](http://www.cityofnovi.org)

**REVIEW STANDARDS  
DIMENSIONAL VARIANCE**

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

**Standard #1. Circumstances or Physical Conditions.**

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.

Not Applicable     Applicable    If applicable, describe below:

Depth of property is narrow; further narrowed by grant of property to the city for right of way on Boind Street

*and/or*

- b. Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.

Not Applicable     Applicable    If applicable, describe below:

*and/or*

- c. Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.

Not Applicable     Applicable    If applicable, describe below:

## **Standard #2. Not Self-Created.**

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

Narrow depth of property resulting in needed variances that were previously approved but have expired.

## **Standard #3. Strict Compliance.**

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

Narrow depth of property resulting in needed variances that were previously approved but have expired.

## **Standard #4. Minimum Variance Necessary.**

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

This property is an orphan site and does not impact other properties. It is within the T-1 district to provide residents for the downtown area to thrive.

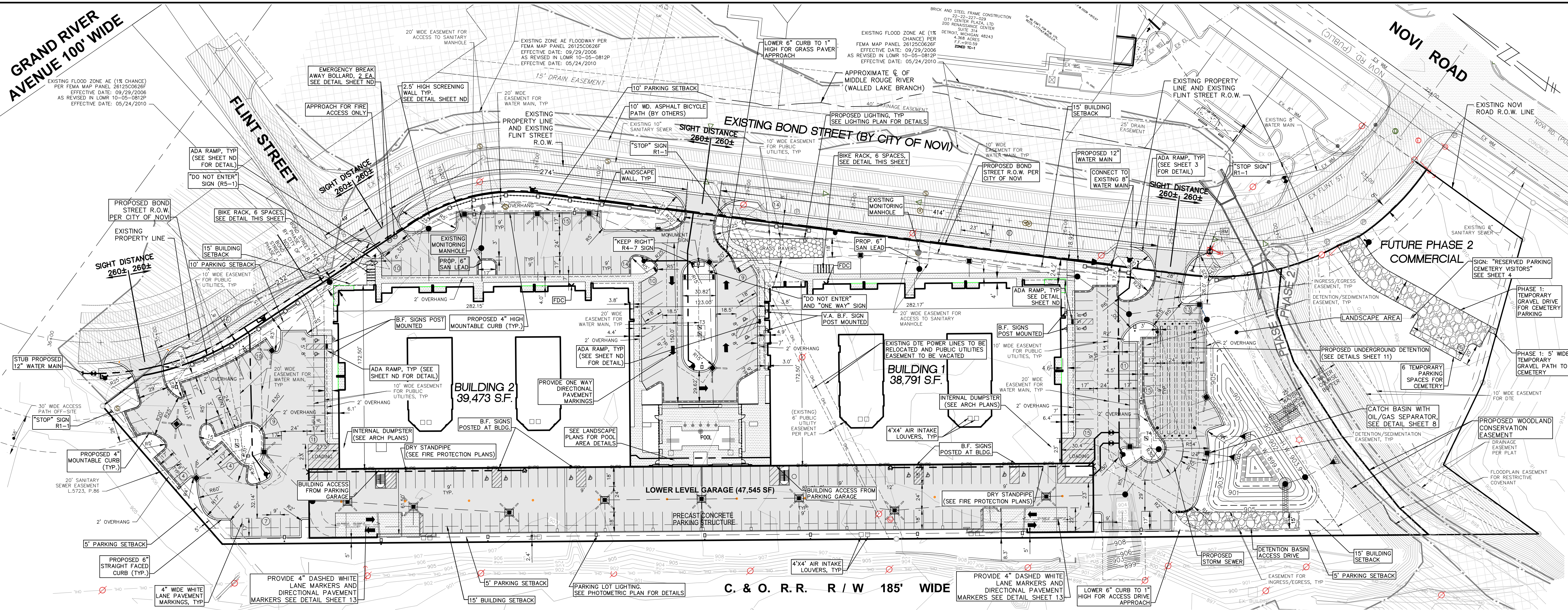
## **Standard #5. Adverse Impact on Surrounding Area.**

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

The property has no neighbors. Roads, river and cemetery on both sides and the front, and railroad tracks in the rear.



**GRAND RIVER AVENUE 100' WIDE**



- NOTES**
1. ALL WORK SHALL CONFORM TO THE CITY OF NOVI'S CURRENT STANDARDS AND SPECIFICATIONS.
  2. ALL PAVEMENT MARKINGS, TRAFFIC CONTROL SIGNS, AND PARKING SIGNS SHALL COMPLY WITH THE DESIGN AND PLACEMENT REQUIREMENTS OF THE 2011 MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. ALL ROADWAY SIGNS SHOULD BE INSTALLED TWO FEET FROM THE FACE OF CURB OR EDGE OF SIDEWALK TO THE NEAR EDGE OF THE SIGN.
  3. IF DETERMINED TO BE ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION, A DRAINAGE PLAN MUST BE SUBMITTED TO THE NOVI ENGINEERING DEPARTMENT FOR REVIEW.
  4. NOT REGULATED WETLANDS ON SITE.
  5. A PERMIT FOR THE WORK WITHIN PROPOSED BOND STREET RIGHT OF WAY SHALL BE SECURED FROM THE CITY OF NOVI PRIOR TO CONSTRUCTION.
  6. COMPACTED SAND BACKFILL SHALL BE PROVIDED FOR ALL UTILITIES WITHIN THE INFLUENCE OF PAVED AREAS, AND FUTURE PAVED AREAS.
  7. SANITARY LEAD SHALL BE BURIED AT LEAST 5' DEEP WHEN UNDER THE INFLUENCE OF PAVEMENT.
  8. NO ABOVE GROUND STORAGE TANKS ARE PROPOSED.
  9. TOTAL AREA OF PARCEL: 7.994 ACRES  
TOTAL IMPERVIOUS AREA: 5.410 ACRES  
PERCENTAGE OF IMPERVIOUS AREA: 67.7%  
SEE SHEET 10 FOR STORM MANAGEMENT PLAN
  10. ALL PARKING LOT CATCH BASINS HAVE UNDER DRAINS (SEE DETAIL SHEET 7).
  11. PARKING AREAS ARE MEASURED TO FACE OF CURB.
  12. NO MANUFACTURING WILL BE PERFORMED ON SITE. NO SMOKE, NOISE, VIBRATION, OR ODOR OF UNUSUAL NATURE WILL BE PRODUCED.
  13. NARROWEST WIDTH OF CURVED PARKING SPACES SHALL BE 9 FT TYPICAL.

**SITE DATA:**

EXISTING ZONING	TC-1
EXISTING AREA OF SITE GROSS	= 8.73 Ac
AREA OF SITE GROSS (AFTER R.O.W. DEDICATION)	= 7.99 Ac
AREA OF COMMERCIAL SITE	= 1.07 Ac
AREA OF RESIDENTIAL SITE	= 6.87 Ac

**LOT AREA COVERAGE:**

BUILDING 1	= 38,791 SF
BUILDING 2	= 39,473 SF
PARKING GARAGE	= 47,545 SF
COMMERCIAL BUILDING (PHASE 2)	= 5,578 SF
<b>TOTAL AREA</b>	<b>= 131,193 SF</b>

**RESIDENTIAL (PHASE 1)**

TOTAL NO. OF RESIDENTIAL UNITS	= 329 UNITS
BUILDING 1	= 163 UNITS
MAXIMUM HEIGHT	= 65 FT
BUILDING 2	= 166 UNITS
MAXIMUM HEIGHT	= 65 FT

NOTE: All rooftop equipment will be screened behind a parapet (SEE ARCHITECTURAL PLANS FOR DETAILS)

PARKING SPACES PER UNIT REQUIRED PER PC 18-035	= 1.685
APPROVED SITE PLAN DATED 5-10-18	= 329
TOTAL UNITS	= 329
TOTAL PARKING REQUIRED	= 554

TOTAL NUMBER OF RESIDENTIAL PARKING PROVIDED (INCLUDES 14 H.P. PARKING SPACES)

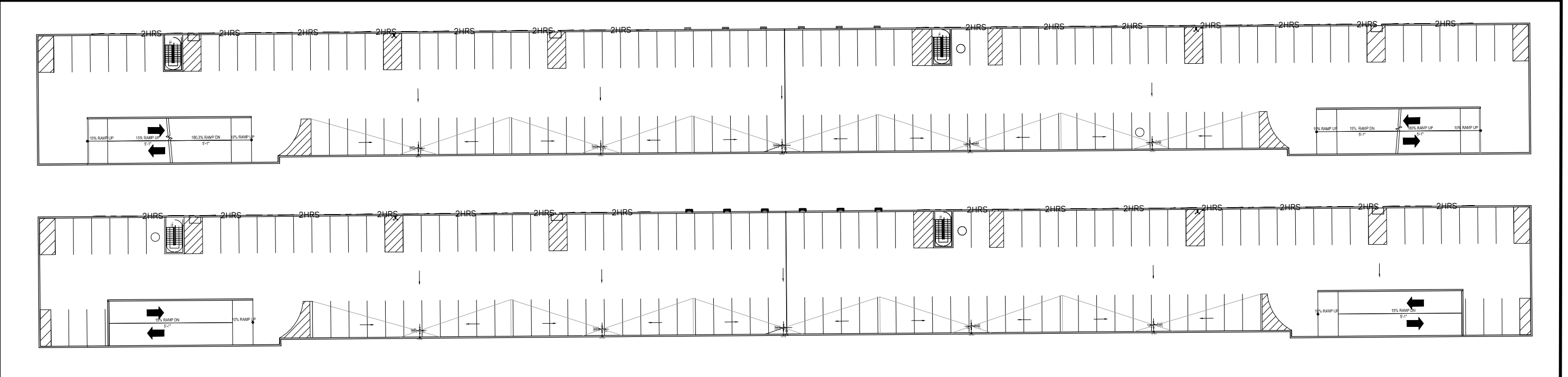
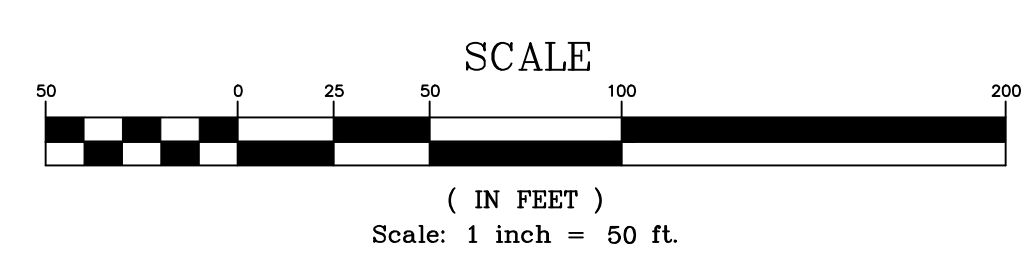
3-LEVEL GARAGE	= 378
SURFACE	= 164
BOND STREET PARALLEL	= 20
<b>TOTAL RESIDENTIAL PARKING SPACES PROVIDED</b>	<b>= 562</b>

**BICYCLE PARKING**

BUILDING 1	INDOOR 20 EA.	OUTDOOR 6 EA.
BUILDING 2	INDOOR 20 EA.	OUTDOOR 6 EA.
GARAGE	30 SPACES	
<b>TOTAL RESIDENTIAL SPACES = 82 (66 REQUIRED)</b>		

**COMMERCIAL (PHASE 2)**

TOTAL FLOOR AREA (USE T.B.D.)	= 5,587 SF
PARKING SPACES PROVIDED (INCLUDES 2 H.P. PARKING SPACES)	= 49
<b>BICYCLE PARKING OUTDOOR 2 EA. (2 REQUIRED)</b>	



**GARAGE PARKING LEVEL 2**

**GARAGE PARKING LEVEL 3**

**BUILDING SETBACK REQUIREMENTS FOR TC-1 DISTRICT**

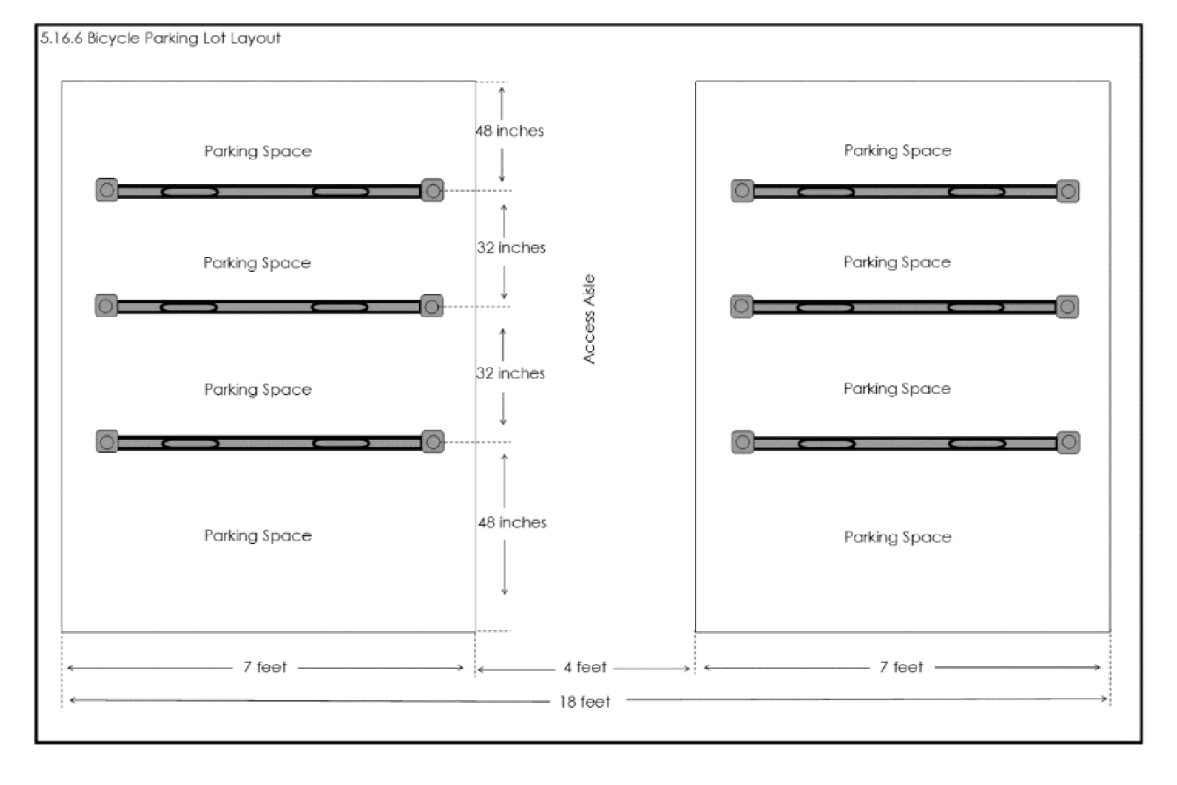
RESIDENTIAL	FRONT	15 FT
	SIDE	15 FT
	REAR	15 FT
COMMERCIAL	MIN	MAX
	FRONT	0 TO 30 FT
	SIDE	0 NONE FT
	REAR	0 NONE FT

**MINIMUM PARKING SETBACK REQUIREMENTS FOR TC-1 DISTRICT**

RESIDENTIAL	MIN.	
	FRONT	10 FT
	SIDE	5 FT
COMMERCIAL	FRONT	20 FT
	SIDE	10 FT
	REAR	10 FT

**SANITARY SEWER BASIS OF DESIGN**

<b>THE BOND - Building 1</b>		<b>THE BOND - Building 2</b>	
Usage	95 1-BR Units Multi-Family 58 2-BR Units Multi-Family 9 3-BR Units Multi-Family 7127 SF (gross) Clubhouse	Usage	98 1-BR Units Multi-Family 58 2-BR Units Multi-Family 10 3-BR Units Multi-Family 3162 SF (gross) Fitness Center
Equiv. Single Family Units	57.6 Units (0.60 Units / 1-BR Multi Unit) 43.5 Units (0.75 Units / 2-BR Multi Unit) 9 Units (1.00 Units / 3-BR Multi Unit) 1.85 Units (0.28 Units / 1,000 CH SF) 112.0 Total Units (REU)	Equiv. Single Family Units	58.8 Units (0.60 Units / 1-BR Multi Unit) 43.5 Units (0.75 Units / 2-BR Multi Unit) 10 Units (1.00 Units / 3-BR Multi Unit) 7.27 Units (0.3 Units / 1,000 sf) 119.6 Total Units (REU)
Population	= 3.2 people/unit x 111.95 units = 358.2 people	Population	= 3.2 people/unit x 119.57 units = 382.6 people
AVERAGE FLOW	= 358.2 people x 100 gal/cap/day = 35825.0 gal/day = 0.0554 cfs	AVERAGE FLOW	= 382.6 people x 100 gal/cap/day = 38263.2 gal/day = 0.0562 cfs
PEAK FACTOR	For service area populations greater than 500 people P.F. = $(18 + \sqrt{P}) / (4 + \sqrt{P})$ = 4.04 For service area populations less than 500 people P.F. = 4 Governs	For service area populations greater than 500 people P.F. = $(18 + \sqrt{P}) / (4 + \sqrt{P})$ = 4.03 For service area populations less than 500 people P.F. = 4 Governs	
PEAK FLOW	= PEAK FACTOR X AVERAGE FLOW = 0.2217 cfs (CAPACITY OF A 8" PIPE @ 0.40 % IS 0.78 cfs) THEREFORE 8" LEAD CAPACITY IS SUFFICIENT.	= PEAK FACTOR X AVERAGE FLOW = 0.2368 cfs (CAPACITY OF A 8" PIPE @ 0.40 % IS 0.78 cfs) THEREFORE 8" LEAD CAPACITY IS SUFFICIENT.	



**THE BOND OF NOVI**  
SECTION 22, TOWN 1 NORTH, RANGE 8 EAST  
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

**REVISIONS**

NO.	ITEM	DATE
1.	SUBMITTAL	04-04-19
2.	80% CONST. DOCUMENT SUBMITTAL	07-02-19
3.	ISSUED FOR PERMIT	01-20-20
4.	V.E. REVISIONS PER CLIENT	08-11-20
5.	REVISE STORM SEWER FOR DTE X-ING	09-04-20
6.	ADDENDUM C	09-25-20
7.	PERMIT SUBMITTAL TO NOV	12-23-20
8.	ADDENDUM D AND REV PER CITY	01-27-21
9.	REVISE PER CITY REVIEW	04-02-21
10.	STAMPING SETS	05-28-21
11.	REV ELEC STAMPING SETS PER CITY	06-29-21
12.	REV DTE CROSSINGS	03-02-22
13.	RE-BID SET	04-28-23
14.	REVISED SITE PLAN	05-03-24

DATE: 04-04-19 DESIGNED BY: R.E. JOB NUMBER: 17-032  
CHECKED BY: J.E. TITLE: 17-032-04.dwg

**UTILITY WARNING**

UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THE PLAN, WERE OBTAINED FROM UTILITY OWNER AND NOT FIELD LOCATED.

**811** Know what's below.  
Call before you dig.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF AND/OR RELOCATION OF ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION.

**SOIL CLASSIFICATIONS**

(FROM U.S.S.C. SOIL SURVEY OF OAKLAND COUNTY, MI 1980)  
13B - OSHTEMO-BOYER LOAMY SANDSM, 0-6% SLOPES  
59 - URBAN LAND

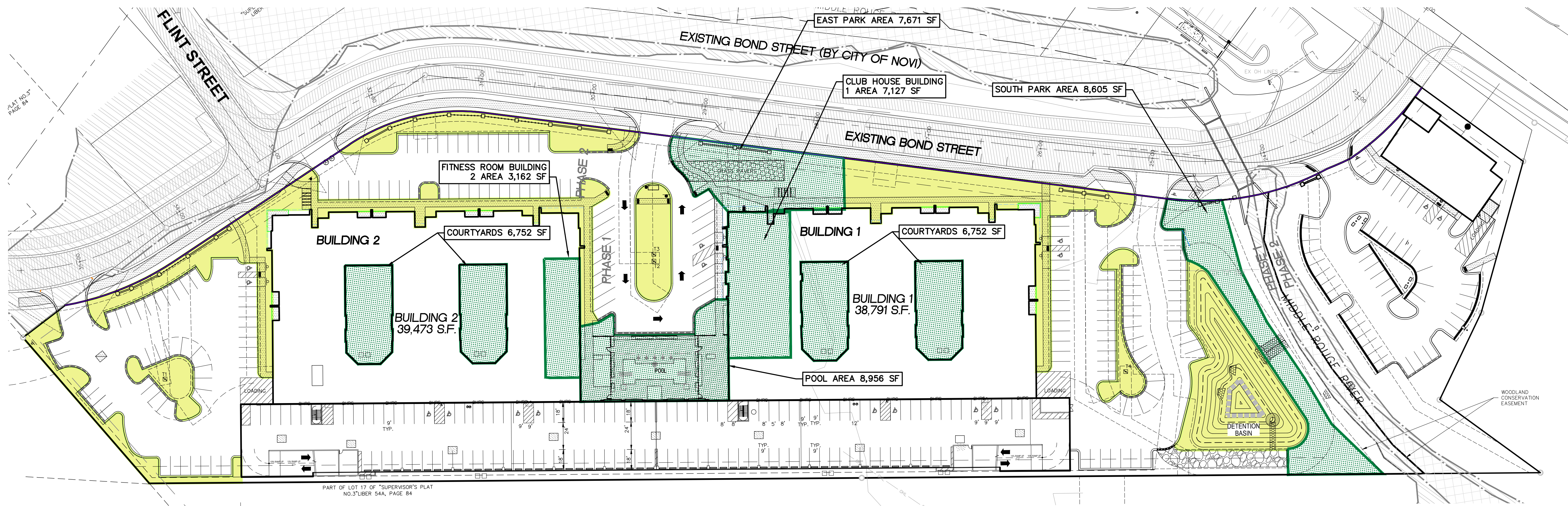
The soils classification determined from the Soils Survey of Oakland County, Michigan 1980, published by the United States Department of Agriculture, Soils Conservation Service is 59-Urban Land, (Entire Parcel). Site Plan is graphical representation.

**REVISED OVERALL SITE PLAN**

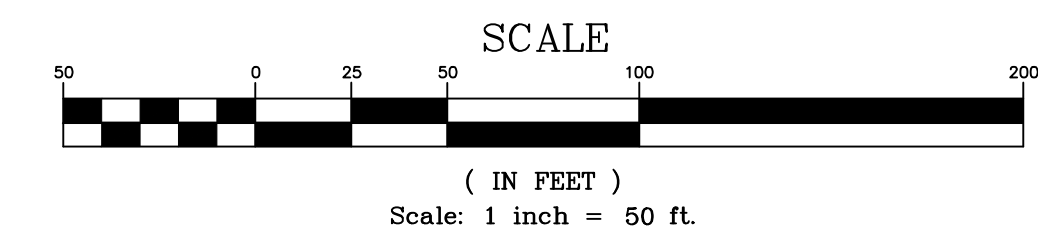
**SKL SEIBER KEAST LEHNER ENGINEERING | SURVEYING**

CLINTON TOWNSHIP OFFICE: 1700 NORTHERN HILLS ROAD, SUITE 3 CLINTON TOWNSHIP, MI 48038 586.412.7060

FARMINGTON HILLS OFFICE: 38206 COUNTRY CLUB DRIVE, SUITE C8 FARMINGTON HILLS, MI 48331 248.308.3331



PART OF LOT 17 OF "SUPERVISOR'S PLAT NO. 37" SUBER 54A, PAGE 84



**Open Space Calculations**

OPEN SPACE REQUIRED	= AREA x 15%	= 6.87 Ac. x 0.15 = 103 AC.
OPEN SPACE PROVIDED	= 45,831 S.F.	= 1.05 AC.
BUILDING 1 COURT YARD	= 6,752 SF	
EAST PARK AREA	= 7,671 SF	
POOL	= 8,956 SF	
BUILDING 2 COURT YARD	= 6,752 SF	
SOUTH PARK AREA	= 8,605 SF	
<b>TOTAL OPEN SPACE PROVIDED</b>	<b>= 84,567 SF</b>	<b>= 194 AC.</b>

**Usable Open Space Calculations**

TOTAL No. OF RESIDENTIAL UNITS	= 329
USABLE OPEN SPACE REQUIRED	= 200 S.F. PER UNIT = 65,800 S.F. = 151 AC.
<b>USABLE OPEN SPACE</b>	<b>68,941 S.F. = 158 AC.</b>
BUILDING 1 BALCONIES	= 9,958 SF
CLUB HOUSE (AS SHOWN)	= 7,127 SF
COURTYARDS (AS SHOWN)	= 6,752 SF
BUILDING 2 BALCONIES	= 9,958 SF
FITNESS ROOM (AS SHOWN)	= 3,162 SF
COURTYARDS (AS SHOWN)	= 6,752 SF
EAST PARK AREA	= 7,671 S.F. = 0.18 AC.
POOL AREA	= 8,956 S.F. = 0.21 AC.
SOUTH PARK AREA	= 8,605 S.F. = 0.20 AC.
<b>USABLE OPEN SPACE PROVIDED</b>	<b>= 68,941 S.F. = 158 AC.</b>

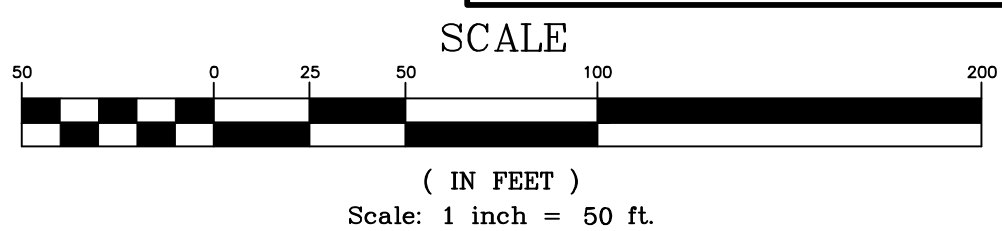
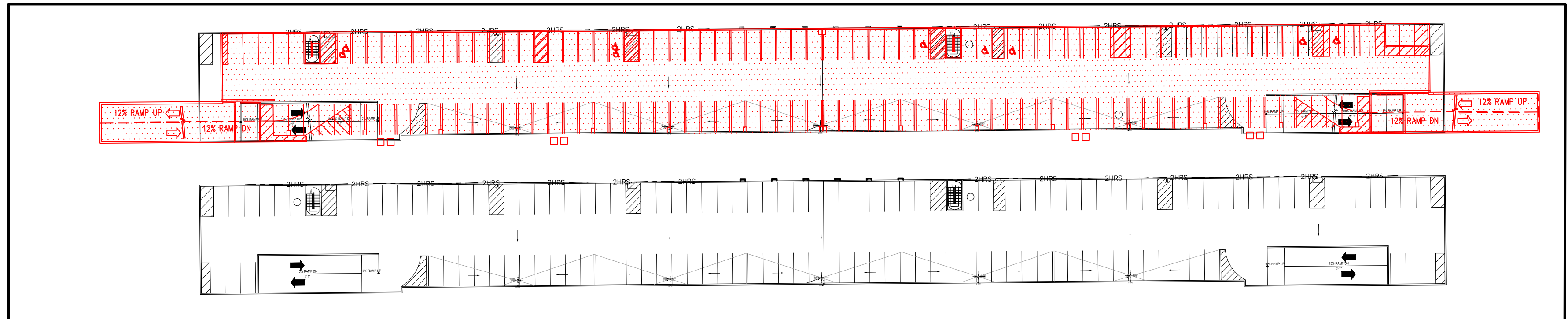
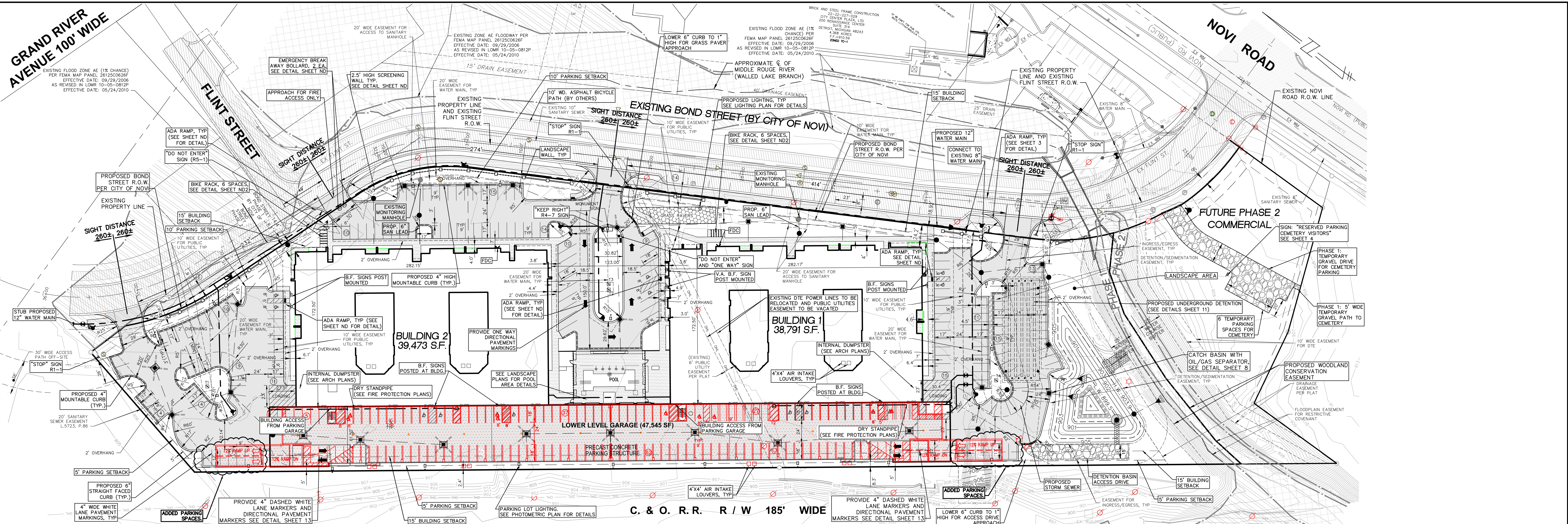
**THE BOND OF NOVI**  
SECTION 22, TOWN 1 NORTH, RANGE 8 EAST  
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

REVISIONS			UTILITY WARNING
NO.	ITEM	DATE	
1.	50% SUBMITTAL	04-04-19	<p>THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF AND/OR RELOCATION OF ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION.</p>
2.	80% CONST. DOCUMENT SUBMITTAL	07-02-19	
3.	ISSUED FOR PERMIT	01-20-20	
4.	V.E. REVISIONS PER CLIENT	08-11-20	
5.	REVISE STORM SEWER FOR DTE X-ING	09-04-20	
6.	ADDENDUM C	09-25-20	
7.	PERMIT SUBMITTAL TO NOV	12-23-20	
8.	ADDENDUM D AND REV PER CITY	01-27-21	
9.	REVISE PER CITY REVIEW	04-02-21	
10.	STAMPING SETS	05-28-21	
11.	REV ELEC STAMPING SETS PER CITY	06-25-21	
12.	REV DTE CROSSINGS	03-02-22	
13.	RE-BID SET	04-28-23	
14.	REVISED SITE PLAN	05-03-24	

DATE: 04-04-19 DESIGNED BY: R.E. JOB NUMBER: 17-032  
CHECKED BY: J.E. FILE: 17-032-05.dwg

**REVISED OPEN SPACE PLAN**

<p><b>SEIBER KEAST LEHNER</b> ENGINEERING   SURVEYING</p> <p><small>CLINTON TOWNSHIP OFFICE 1700 NINETYSEVEN MILE ROAD, SUITE 3 CLINTON TOWNSHIP, MI 48038 586.412.7060</small></p>	<p><small>FARMINGTON HILLS OFFICE 38206 COUNTRY CLUB DRIVE, SUITE C8 FARMINGTON HILLS, MI 48331 248.308.3331</small></p>	<p><b>SHEET</b> <b>2</b></p>
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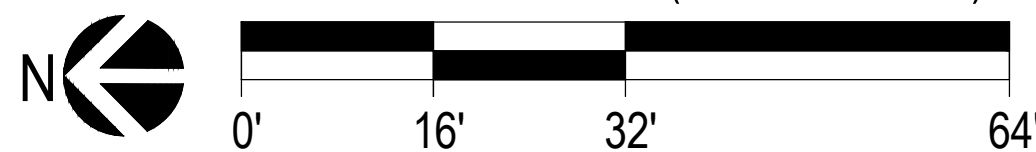
THE BOND OF NOVI			UTILITY WARNING
SECTION 22, TOWN 1 NORTH, RANGE 8 EAST CITY OF NOVI, OAKLAND COUNTY, MICHIGAN			
REVISIONS			<p>UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THE PLAN, WERE OBTAINED FROM UTILITY OWNER AND NOT FIELD LOCATED.</p> <p><b>811</b> Know what's below. Call before you dig.</p> <p>THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF AND/OR RELOCATION OF ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION.</p>
NO.	ITEM	DATE	
1.	SURE SUBMITTAL	04-04-19	
2.	80% CONST. DOCUMENT SUBMITTAL	07-02-19	
3.	ISSUED FOR PERMIT	01-20-20	
4.	V.E. REVISIONS PER CLIENT	08-11-20	
5.	REVISE STORM SEWER FOR DTE X-ING	09-04-20	
6.	ADDENDUM C	09-25-20	
7.	PERMIT SUBMITTAL TO NOV	12-23-20	
8.	ADDENDUM D AND REV PER CITY	01-27-21	
9.	REVISE PER CITY REVIEW	04-02-21	
10.	STAMPING SETS	05-28-21	
11.	REV ELEC STAMPING SETS PER CITY	06-29-21	
12.	REV DTE CROSSINGS	03-02-22	
13.	RE-BID SET	04-28-23	
14.	REVISED SITE PLAN	05-03-24	
DATE: 04-04-19		DESIGNED BY: R.E.	JOB NUMBER: 17-032
		CHECKED BY: J.E.	FILE: 17-032-04-REB OLD GARAGE.dwg
SITE PLAN REVISION			
1. REVISED PARKING DECK TO 3 - LEVELS (ORIGINAL PARKING DECK SHOWN IN RED) 2. ADDED 14 SURFACE PARKING SPACES			
<b>SEIBER KEAST LEHNER</b> ENGINEERING   SURVEYING		SHEET	
		3	

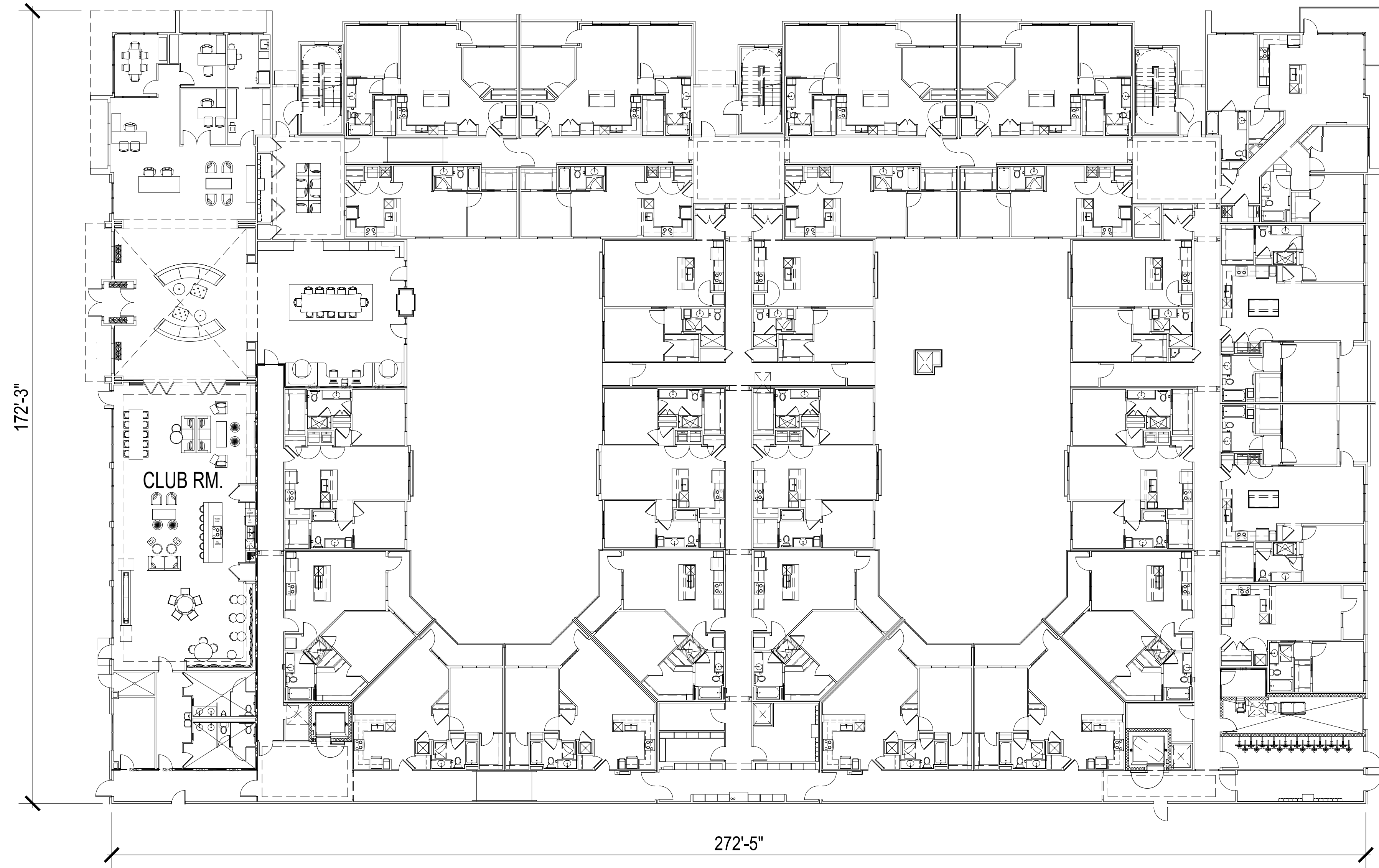
CLINTON TOWNSHIP OFFICE  
1700 NINETEEN MILE ROAD, SUITE 3  
CLINTON TOWNSHIP, MI 48038  
586.42.7060

FARMINGTON HILLS OFFICE  
38206 COUNTRY CLUB DRIVE, SUITE C8  
FARMINGTON HILLS, MI 48331  
248.308.3331

UNIT TABULATION-5 STORY RESIDENTIAL							
UNIT NAME	UNIT TYPE	AREA(SF)	UNIT COUNT	BED COUNT	TOTAL AREA	UNIT PERCENTAGE	% UNIT BREAKDOWN
E1	1br/1ba	607	18	18	10,926	5.5%	59%
E1-ALT 1	1br/1ba	607	18	18	10,926	5.5%	
E1-ALT 2	1br/1ba	607	2	2	1,214	0.6%	
E1-ALT 3	1br/1ba	607	2	2	1,214	0.6%	
A0	1br/1ba	637	14	14	8,918	4.3%	
A0-ALT 1	1br/1ba	637	6	6	3,822	1.8%	
A0-ALT 2	1br/1ba	637	10	10	6,370	3.0%	
A0-ALT 3	1br/1ba	637	4	4	2,548	1.2%	
A1	1br/1ba	759	40	40	30,360	12.2%	
A1-ALT-1	1br/1ba	759	40	40	30,360	12.2%	
A2	1br/1ba	778	7	7	5,446	2.1%	
A3	1br/1ba	853	13	13	11,089	4.0%	
A3-ANSI	1br/1ba	853	3	3	2,559	0.9%	
A3-ALT 1	1br/1ba	853	16	16	13,648	4.9%	
A4	1br/1ba	825	1	1	825	0.3%	
B0	2br/1ba	871	4	8	3,484	1.2%	
B1	2br/2ba	951	32	64	30,432	9.7%	
B1-ALT 1	2br/2ba	951	8	16	7,608	2.4%	
B2	2br/2ba	1,090	36	72	39,240	10.9%	
B3	2br/2ba	1,161	32	64	37,152	9.7%	
B3-ANSI	2br/2ba	1,161	2	4	2,322	0.6%	
B3-ALT 2	2br/2ba	1,161	2	4	2,322	0.6%	
C1	3br/2ba	1,395	16	48	22,320	4.9%	6%
C1-ANSI	3br/2ba	1,395	1	3	1,395	0.3%	
C1-ALT 1	3br/2ba	1,395	1	3	1,395	0.3%	
C1-ALT 2	3br/2ba	1,395	1	3	1,395	0.3%	
<b>TOTALS</b>			<b>329</b>	<b>480</b>	<b>287,895</b>	<b>100.0%</b>	100%

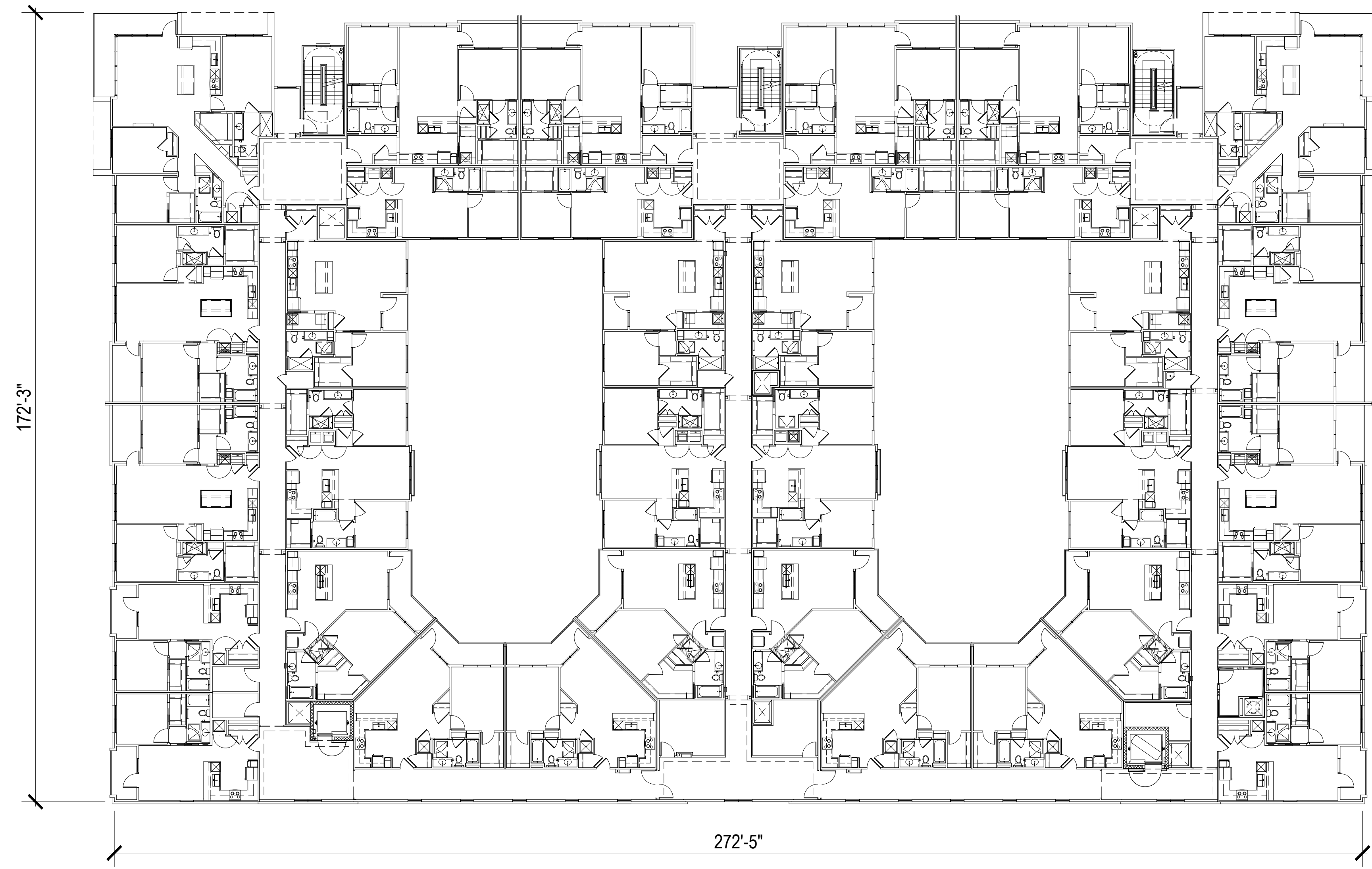
SCALE: 1/16" = 1'-0" (24"x36" SHEET)





SCALE: 1/16" = 1'-0" (24"x36" SHEET)



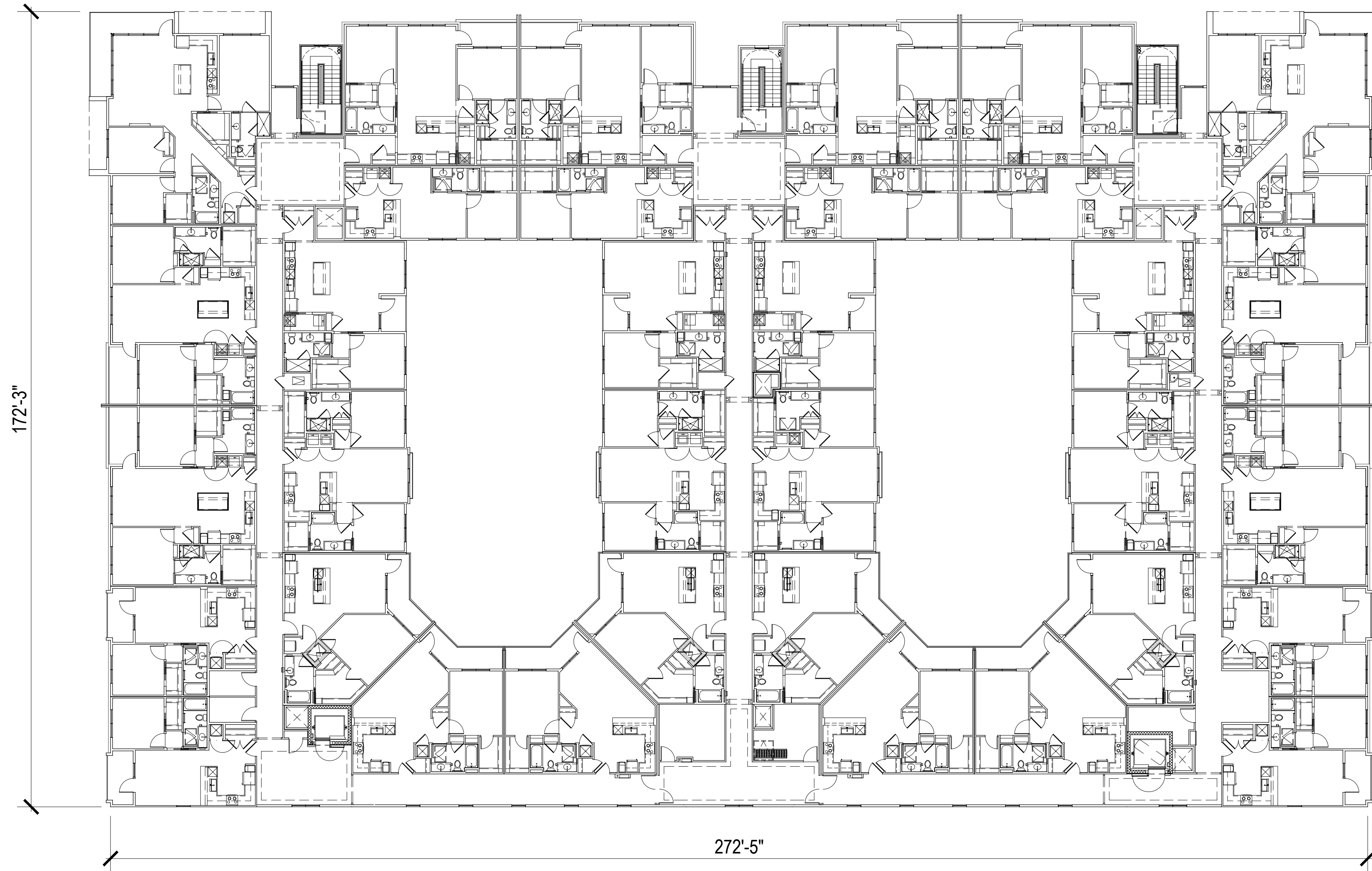


172'-3"

272'-5"

SCALE: 1/16" = 1'-0" (24"x36" SHEET)



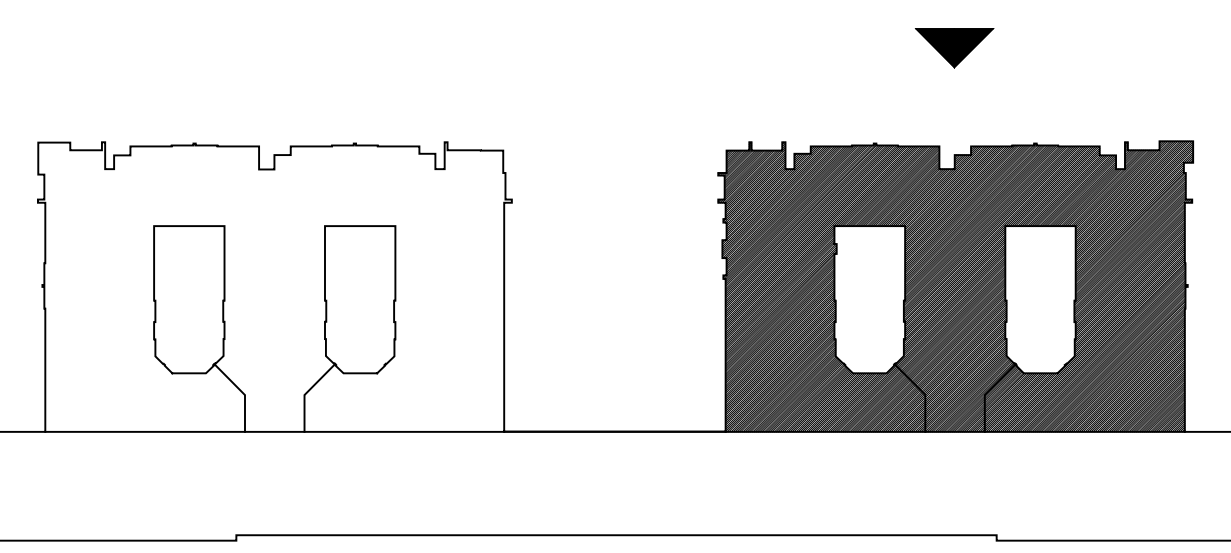


172'-3"

272'-5"

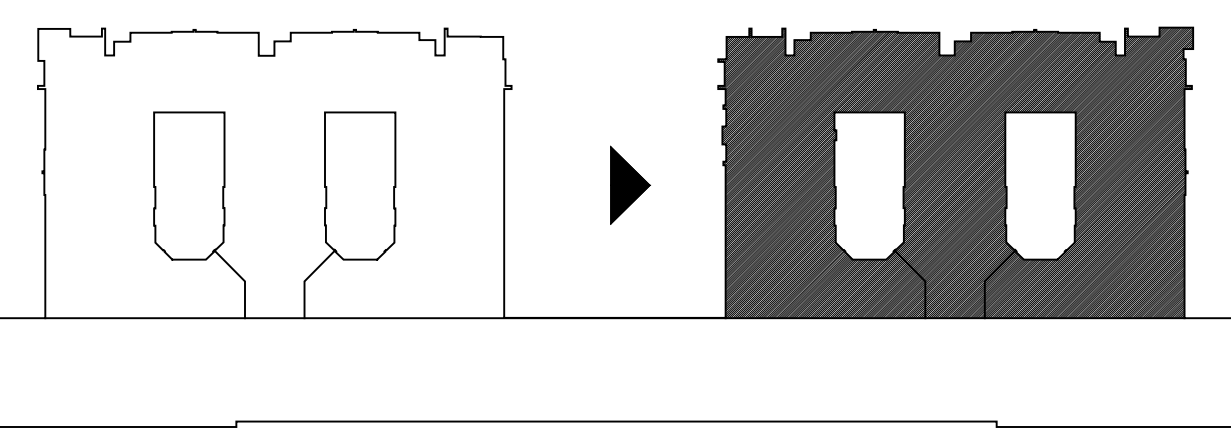
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FRONT ELEVATION ( East )

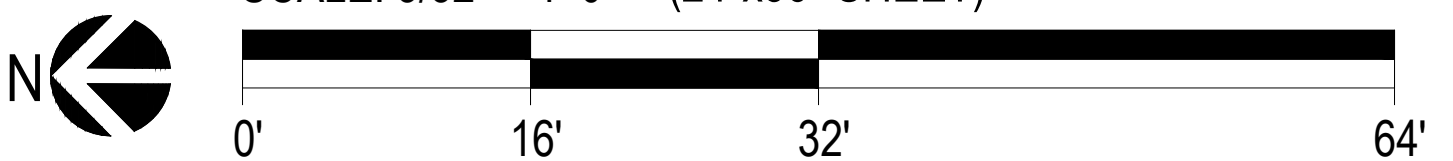
BUILDING TYPE 1 EAST (FRONT)	
BRICK	18%
CAST STONE	9%
EIFS	52%
METAL PANEL (WOODGRAIN)	15%
SPANDERAL GLASS	2%
FABRIC AWNINGS	2%
FLAT METAL (CANOPES)	1%
COMBINED BRICK AND STONE	28%



SIDE ELEVATION (North/pool courtyard)

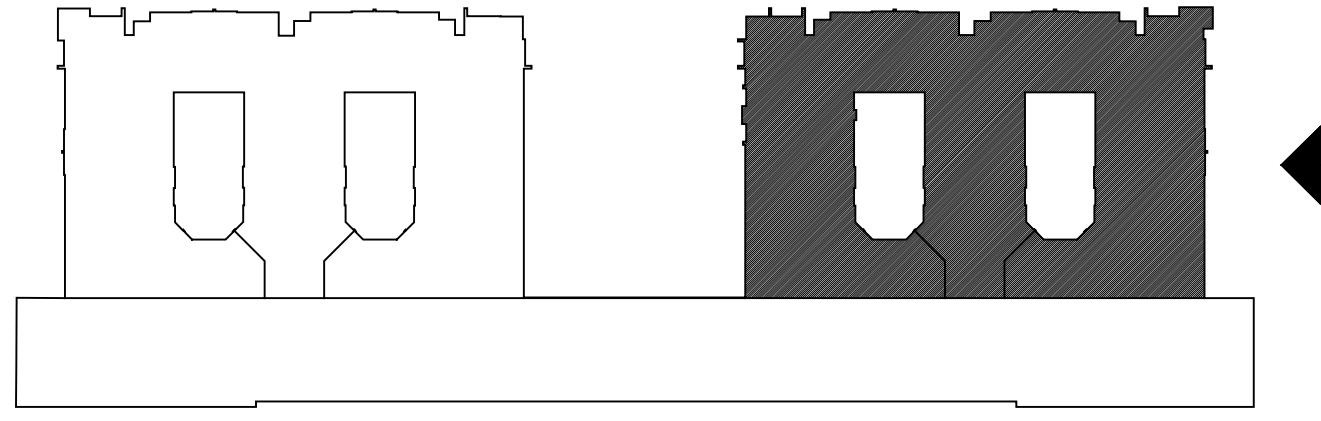
BUILDING TYPE 1 NORTH (SIDE)	
BRICK	24%
CAST STONE	10%
EIFS	51%
METAL PANEL (WOODGRAIN)	11%
SPANDERAL GLASS	2%
FABRIC AWNINGS	0.4%
FLAT METAL (CANOPES)	1%
COMBINED BRICK AND STONE	34%

SCALE: 3/32" = 1'-0" (24"x36" SHEET)



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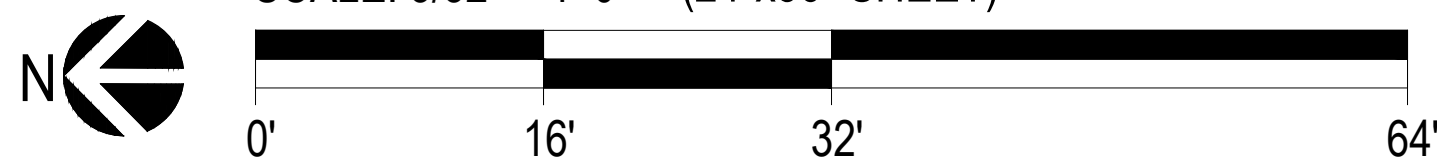




SIDE ELEVATION (South)

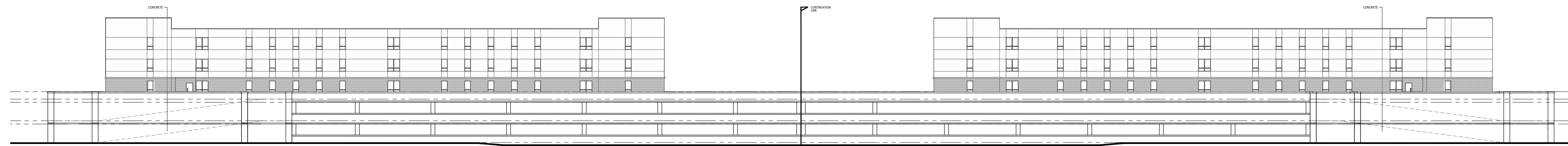
BUILDING TYPE 1 SOUTH (SIDE)	
BRICK	21%
CAST STONE	12%
EIFS	51%
METAL PANEL (WOODGRAIN)	10%
SPANDERAL GLASS	2%
FABRIC AWNINGS	3%
FLAT METAL (CANOPIES)	1%
COMBINED BRICK AND STONE	33%

SCALE: 3/32" = 1'-0" (24"x36" SHEET)

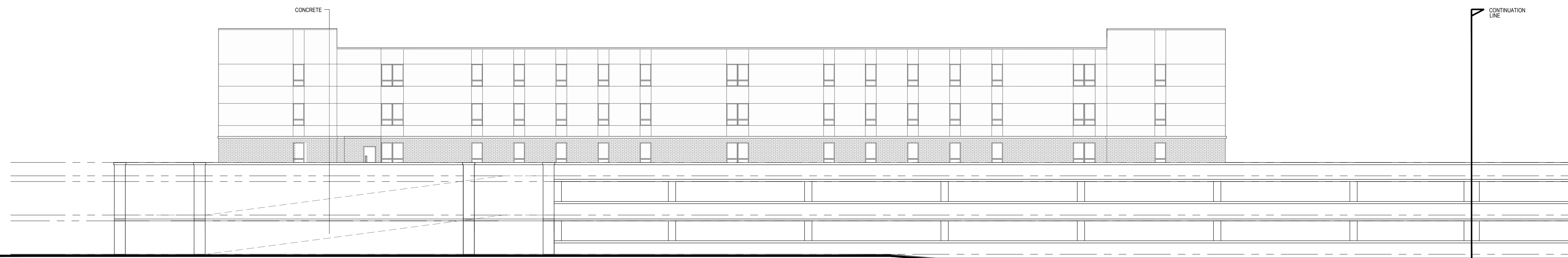


A415

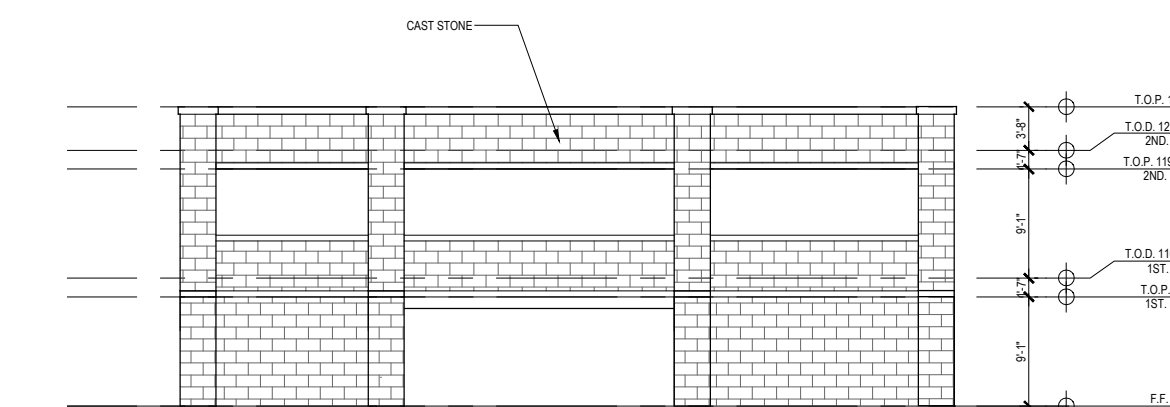




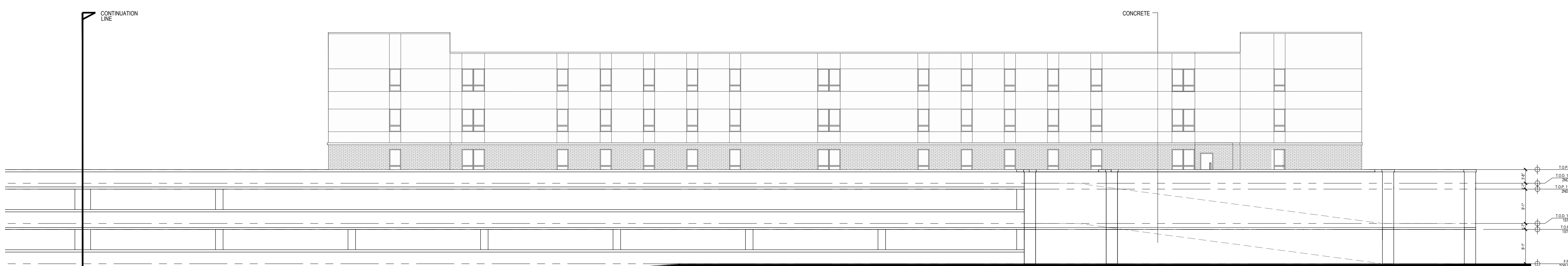
REAR ELEVATION ( West) Esc: 1: 32"= 1' 0"



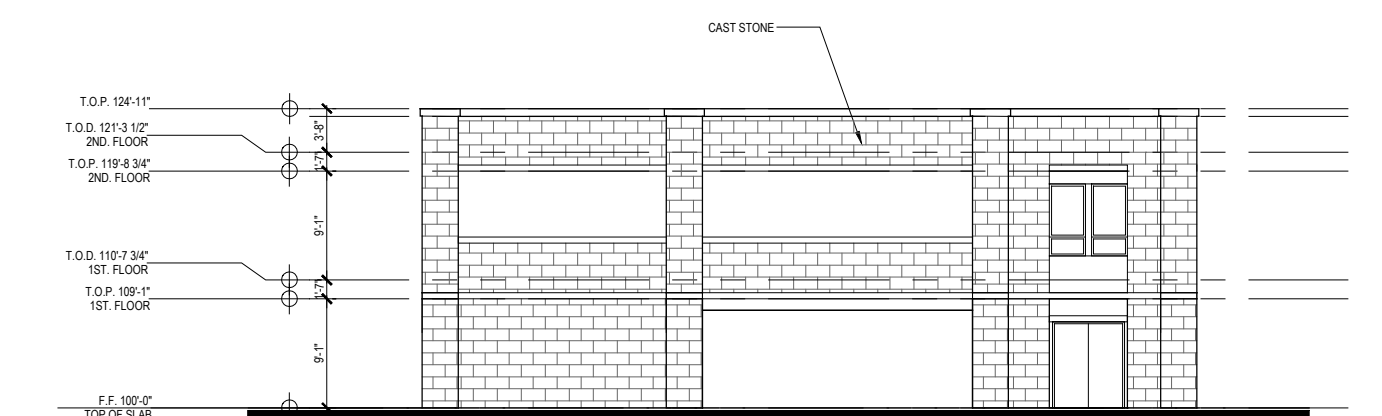
REAR ELEVATION ( West-part I)



REAR ELEVATION ( North)



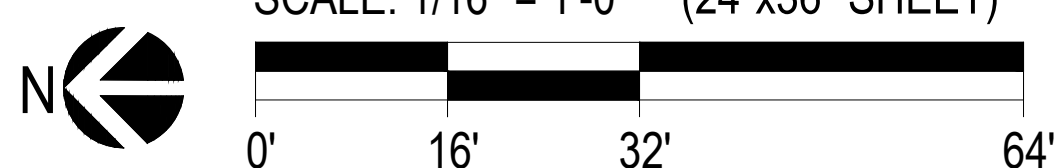
REAR ELEVATION ( West-part II)

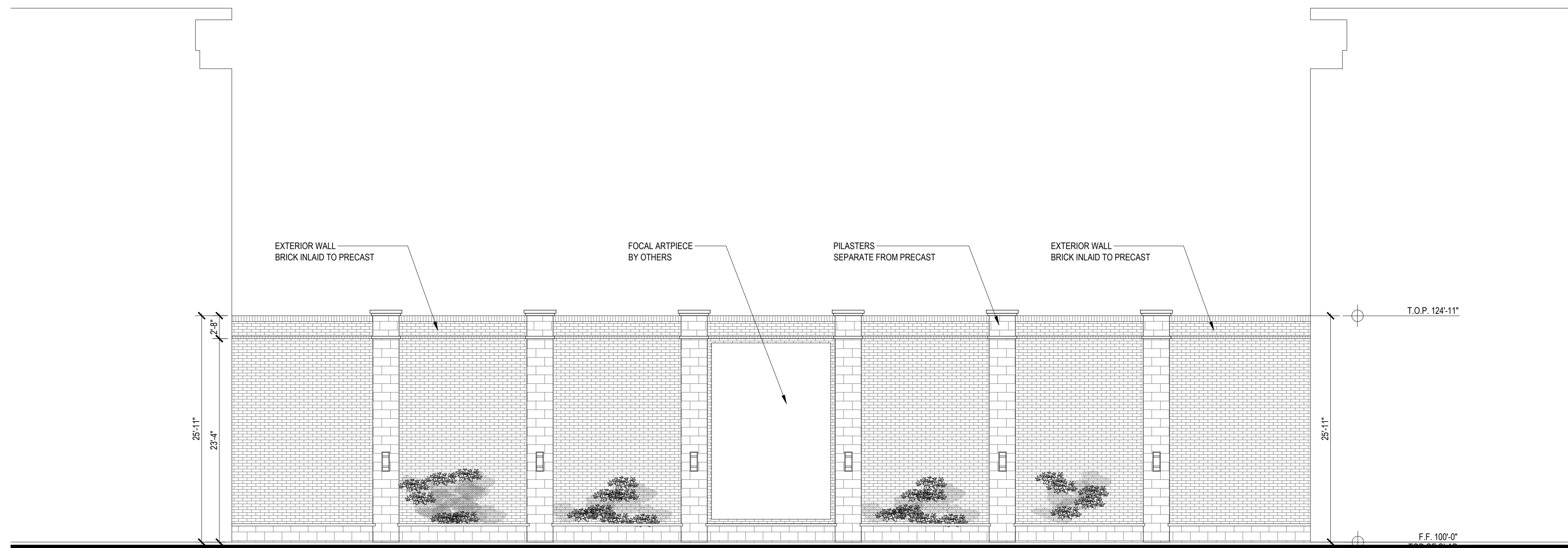


REAR ELEVATION ( South)

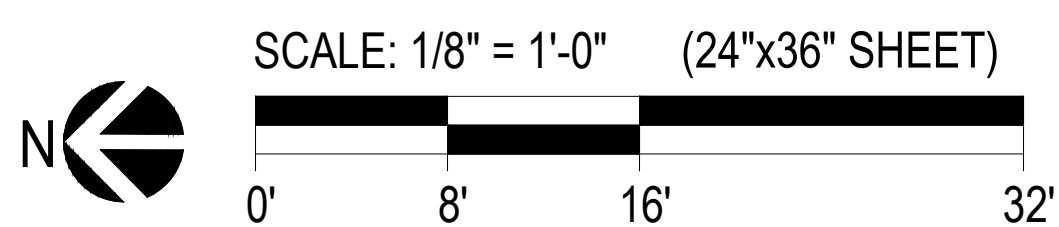
BUILDING GARAGE ELEVATIONS

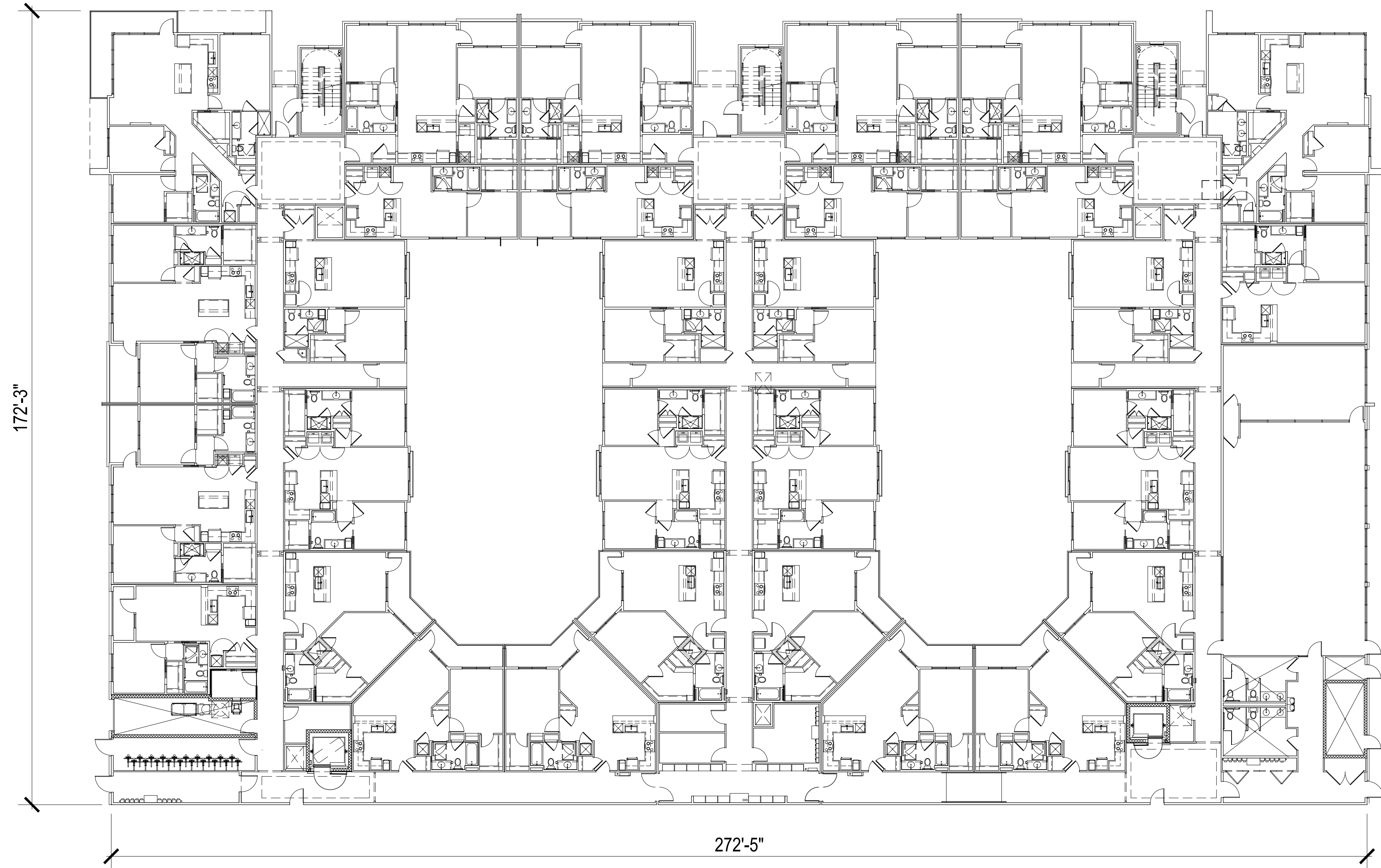
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POOL FRONT ELEVATION

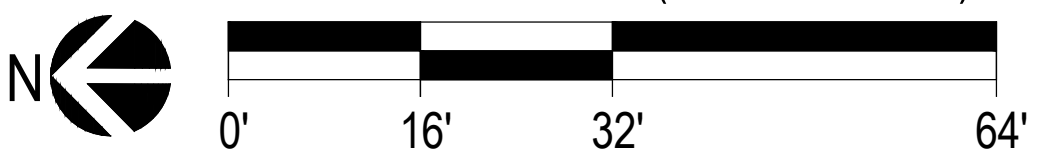


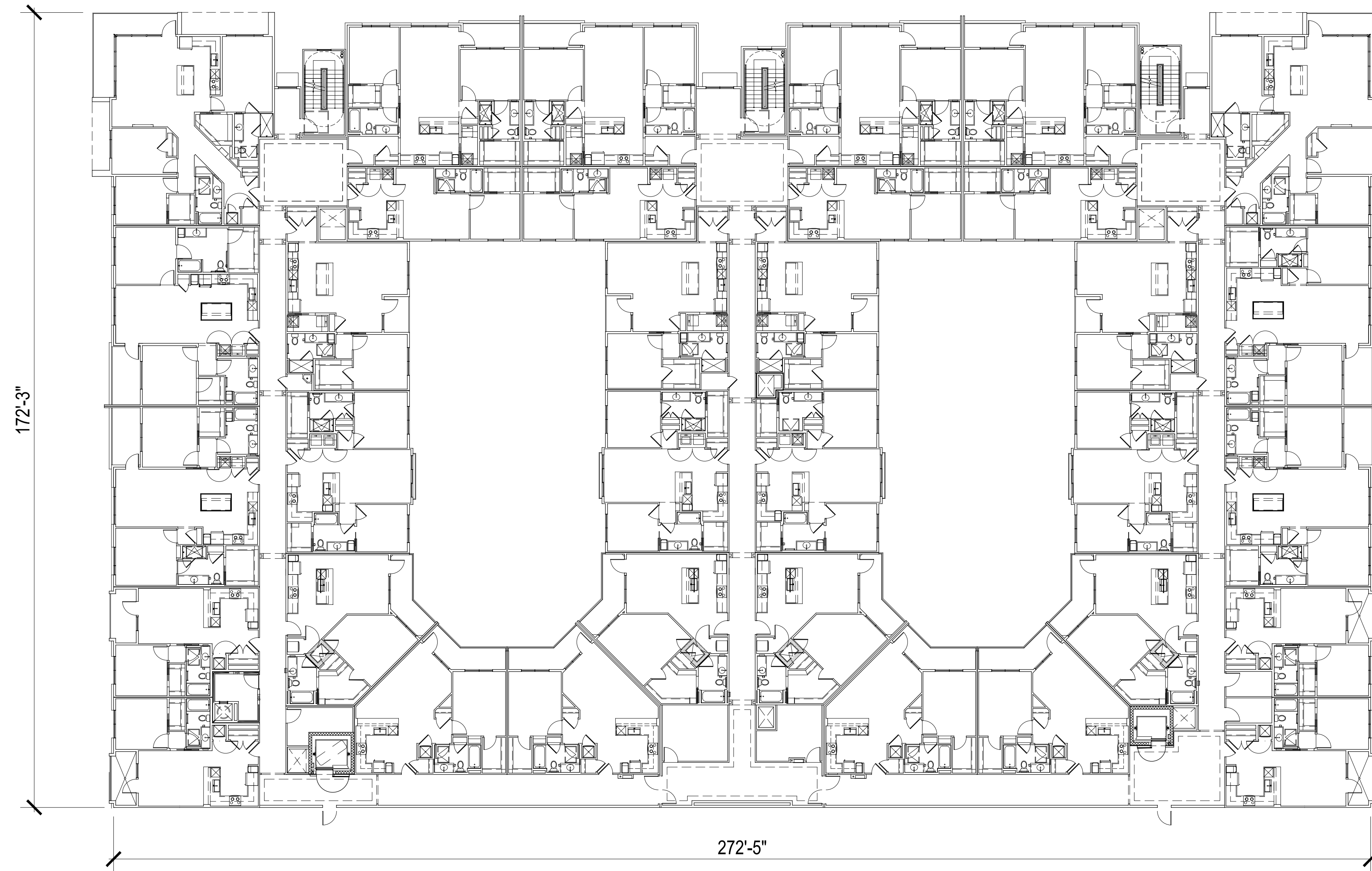


172'-3"

272'-5"

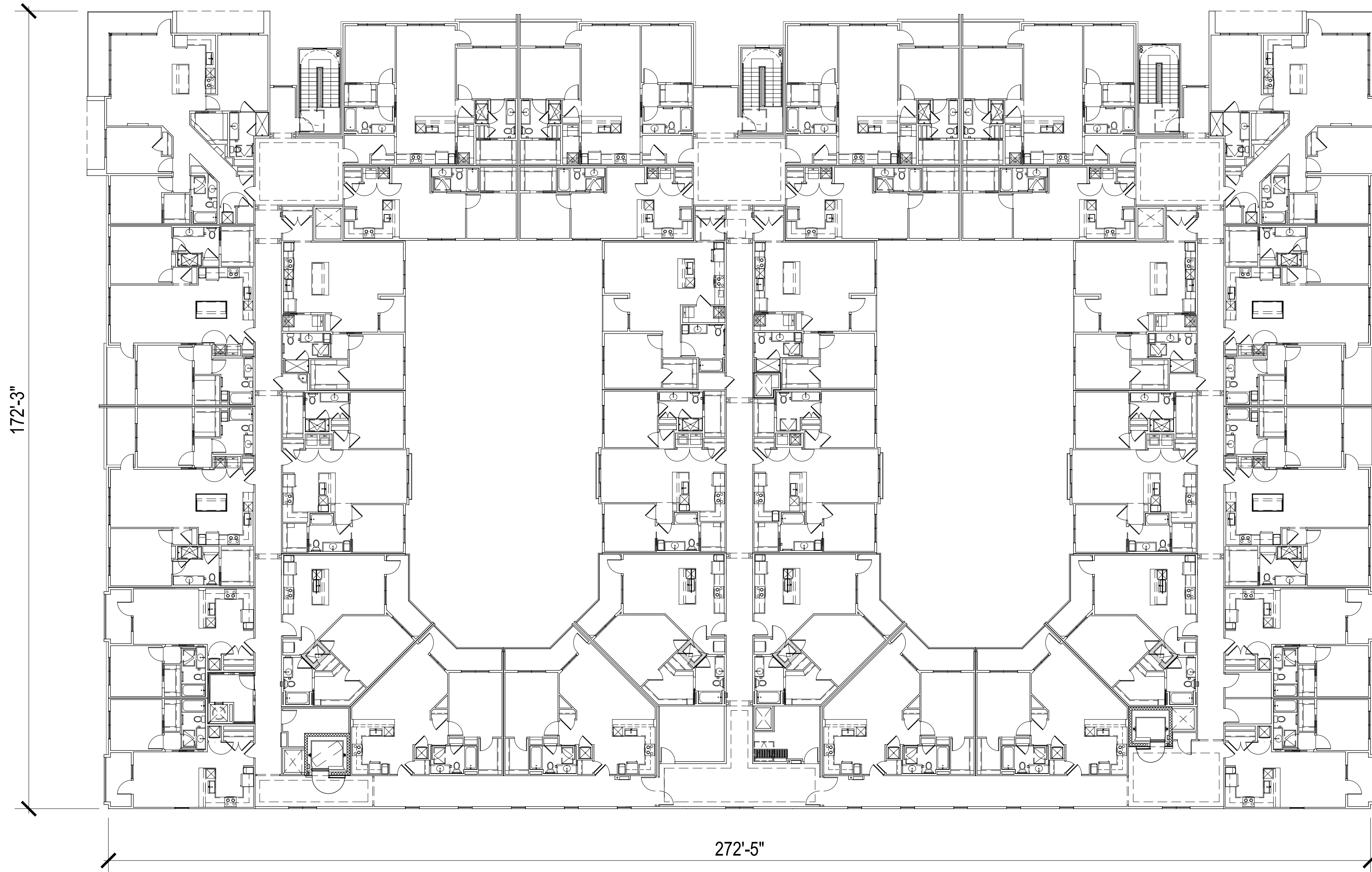
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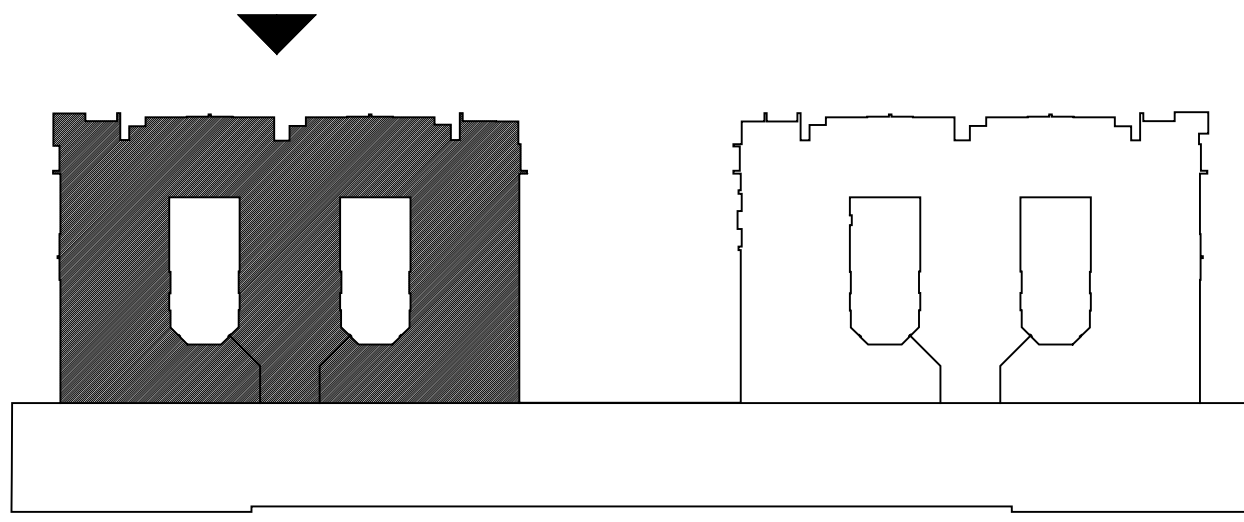
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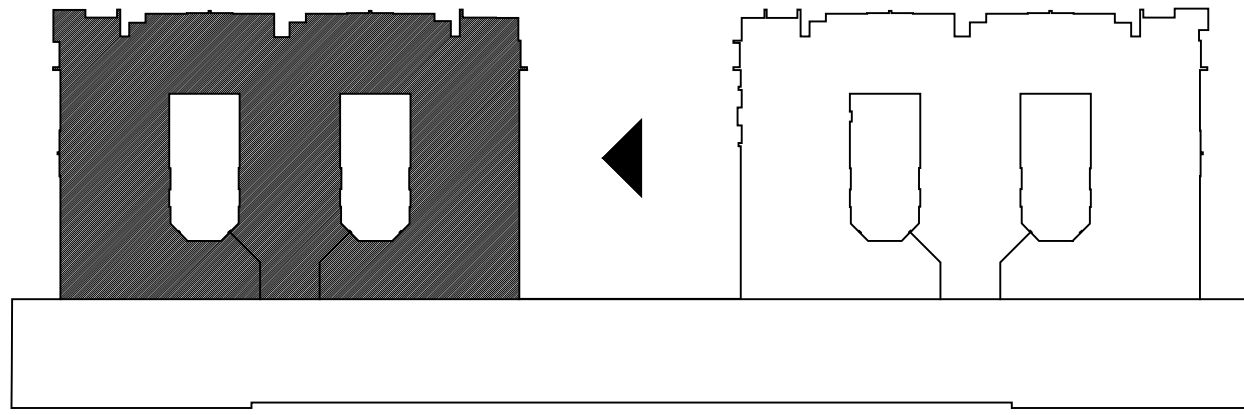
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FRONT ELEVATION ( East )

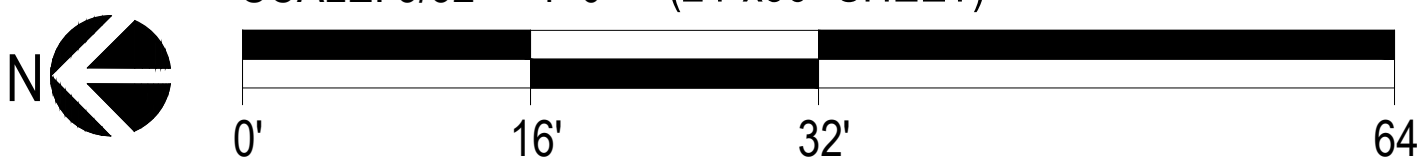
BUILDING TYPE II EAST (FRONT)	
BRICK	18%
CAST STONE	9%
EIFS	52%
METAL PANEL (WOODGRAIN)	15%
SPANDERAL GLASS	2%
FABRIC AWNINGS	2%
FLAT METAL (CANOPES)	1%
COMBINED BRICK AND STONE	28%



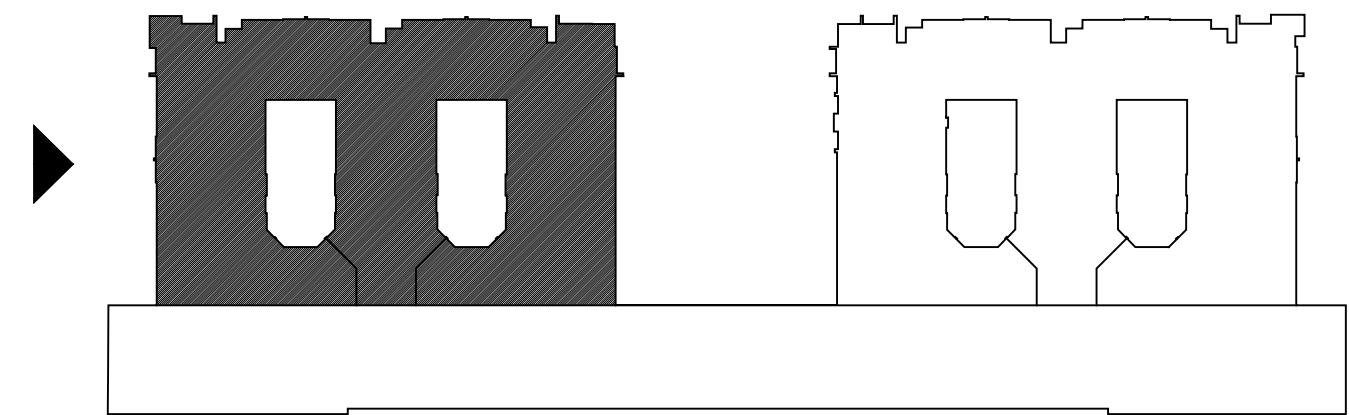
SIDE ELEVATION ( South/ pool courtyard)

BUILDING TYPE II SOUTH (SIDE)	
BRICK	24%
CAST STONE	10%
EIFS	51%
METAL PANEL (WOODGRAIN)	11%
SPANDERAL GLASS	2%
FABRIC AWNINGS	0.4%
FLAT METAL (CANOPES)	1%
COMBINED BRICK AND STONE	34%

SCALE: 3/32" = 1'-0" (24"x36" SHEET)

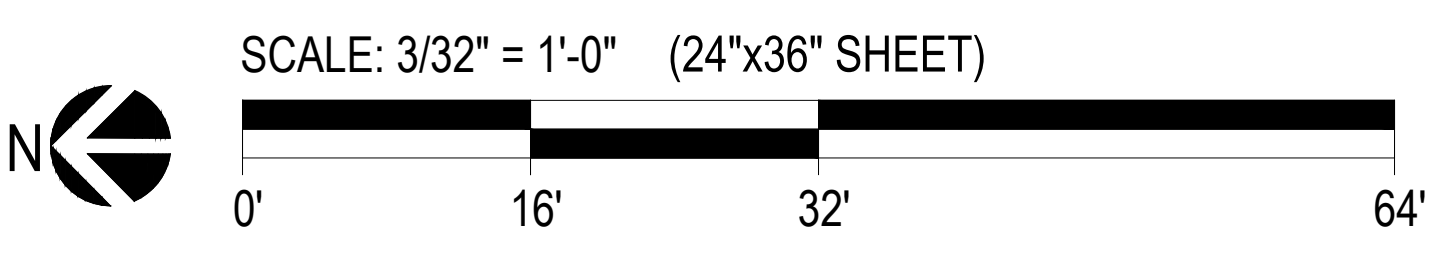


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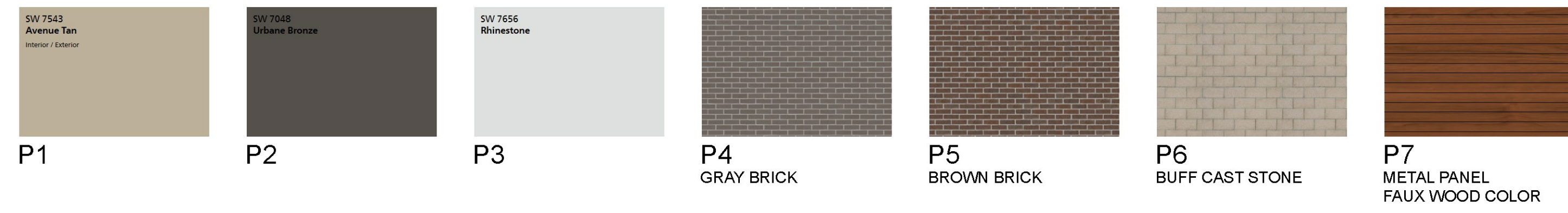
SIDE ELEVATION ( North )

BUILDING TYPE II NORTH (SIDE)	
BRICK	21%
CAST STONE	12%
EIFS	51%
METAL PANEL (WOODGRAIN)	10%
SPANDERL GLASS	2%
FABRIC AWNINGS	3%
FLAT METAL (AWNINGS)	1%
COMBINED BRICK AND STONE	33%



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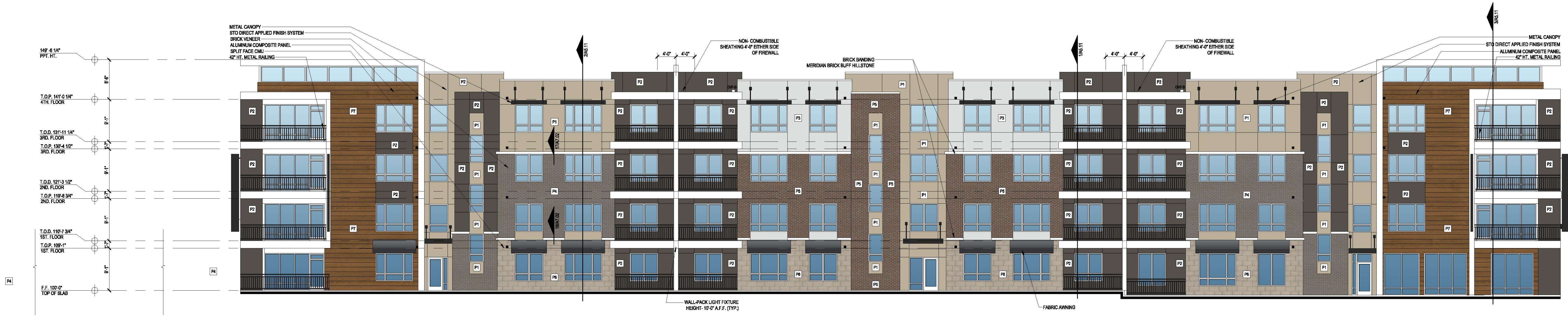
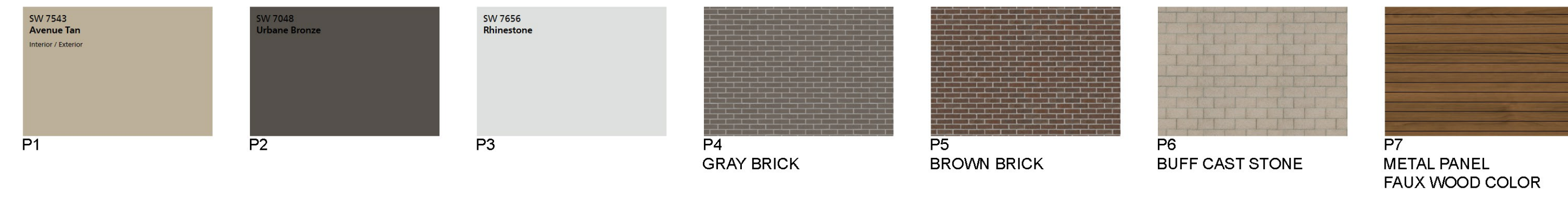
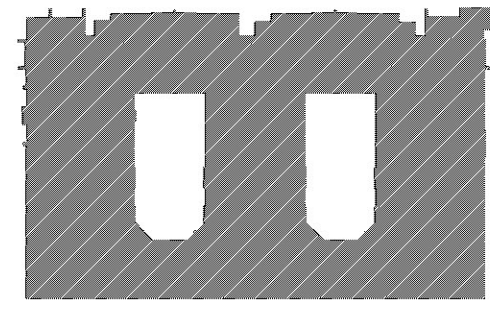
BUILDING I - EAST ELEV		
	SQFT.	%
STUCCO (EFS)	5390.5 SQ. FT.	56
BRICK VANNER	2040.1 SQ. FT.	21
SPLIT FACE CMU	761.7 SQ. FT.	8
ALUMINUM PANEL	1464.3 SQ. FT.	15
TOT. AREA	9656.72 SQ. FT.	100



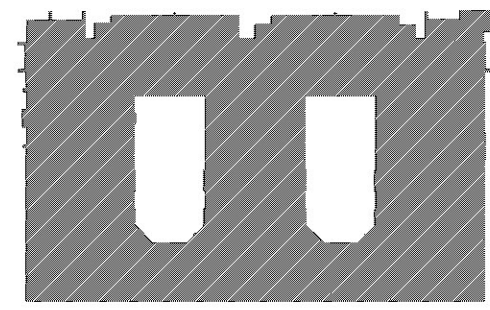
OVERALL EAST ELEVATION



EAST ELEVATIONS-POOL COURTYARD

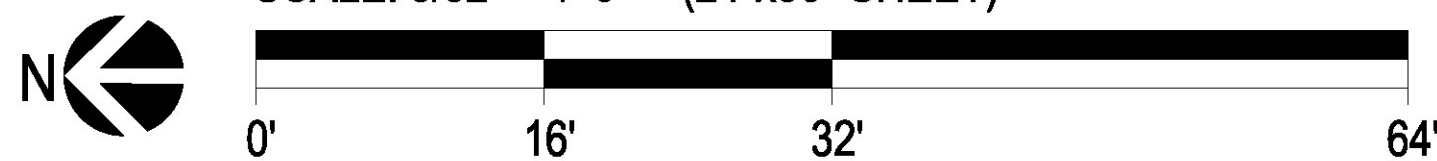


BUILDING 1-OLD FRONT ELEVATION ( East )



BUILDING 1- FRONT ELEVATION ( East )  
BUILDING TYPE I ELEVATIONS

SCALE: 3/32" = 1'-0" (24"x36" SHEET)

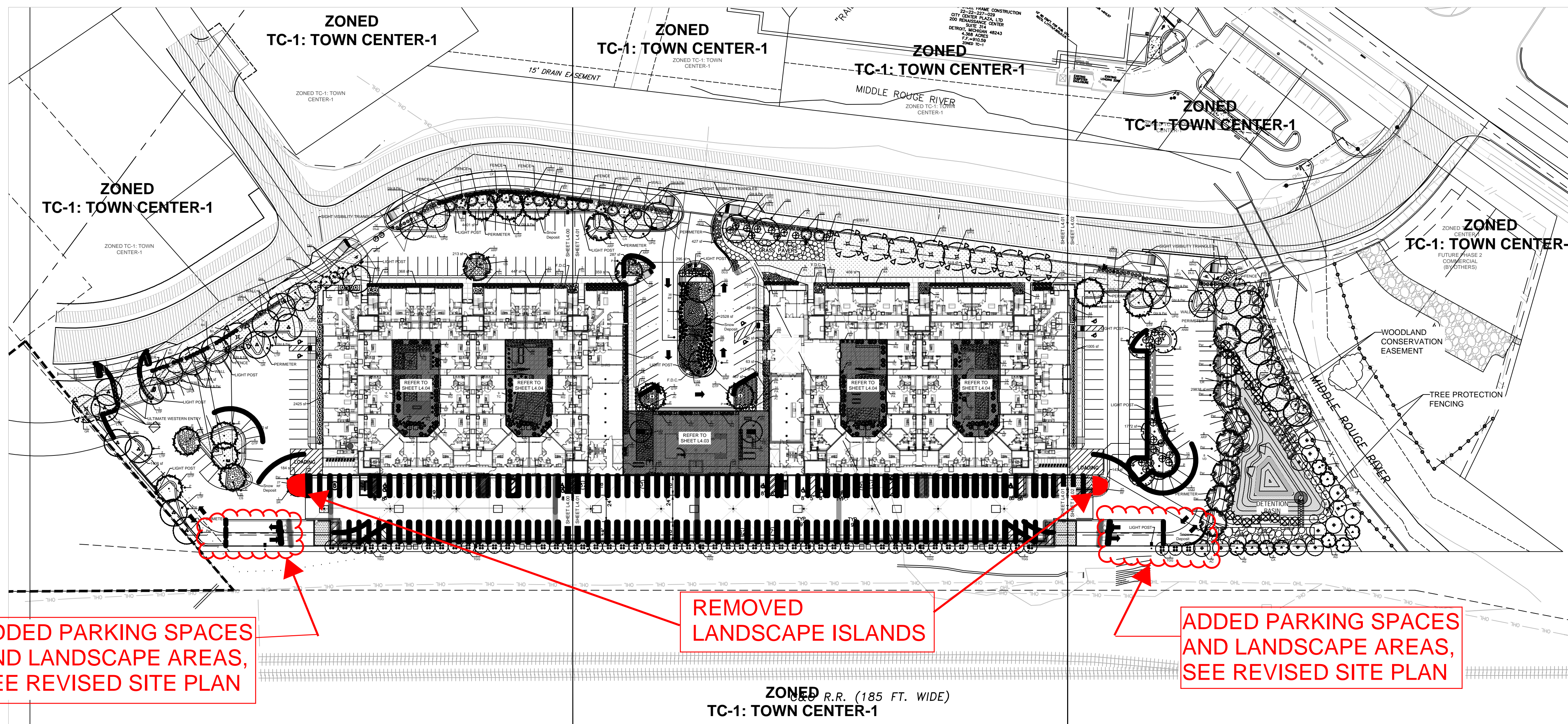


A414-ELEVATION COMPARATION

BUILDING TYPE I ELEVATIONS

December 18, 2023

**THE BOND**  
Novi, MI.  
HPA# 17659



LANDSCAPE ARCHITECTURAL SHEET INDEX

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DESIGNED BY: SPENCER J. OKESON  
 DRAWN BY: S.J.O. & I.K.  
 LAOR: DANIEL R. ERLANDSON  
 PLOT DATE: 06/25/2021

ISSUE FOR PRICING/BIDDING: 07/02/2019  
 ISSUE FOR PERMIT APPLICATION: 01/22/2021  
 ISSUE FOR CONSTRUCTION: 01/22/2021  
 ISSUE DATE:

REVISION SCHEDULE

NO.	DATE	DESCRIPTION:
A	08/14/2020	ADDENDUM B
C	09/25/2020	ADDENDUM C

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THE BOND OF NOVI  
 SECTION 22, TOWN 1 NORTH,  
 RANGE 8 EAST, CITY OF NOVI,  
 OAKLAND COUNTY, MICHIGAN  
 PROJECT #: 17659

LANDSCAPE ARCHITECTURAL SITE PLAN

PLANT PALETTE - OVERALL

GREENBELT				
NAME	QTY.	ROOT	CALIPER	UNIT PRICE/TOTAL
Malus 'Adirondack' ADIRONDACK CRABAPPLE (MAG)	13	B&B	2.5" CAL. MIN.	\$375.00/\$4,875.00
Ulmus x 'Pioneer' PIONEER ELM (UPG)	15	B&B	3" CAL. MIN.	\$400.00/\$6,000.00
Quercus rubra RED OAK (QR)	10	B&B	3" CAL. MIN.	\$400.00/\$4,000.00
Cornus florida FLOWERING DOGWOOD (CF)	11	B&B	3" CAL. MIN.	\$375.00/\$4,125.00
Quercus bicolor SWAMP WHITE OAK (SWO)	06	B&B	3" CAL. MIN.	\$400.00/\$2,400.00
Cornus alternifolia PAGODA DOGWOOD (CA)	04	B&B	3" CAL. MIN.	\$375.00/\$1,500.00
PARKING LOT AND PERIMETER TREES				
NAME	QTY.	ROOT	CALIPER	UNIT PRICE/TOTAL
Acer rubrum RED MAPLE (ANM)	05	B&B	3" CAL. MIN.	\$400.00/\$2,000.00
Acer rubrum 'October Glory' OCTOBER GLORY RED MAPLE (ARP)	11	B&B	3" CAL. MIN.	\$400.00/\$4,400.00
Betula nigra RIVER BIRCH - MULTI STEM (BNP)	04	B&B	N/A - 15' HEIGHT	\$400.00/\$1,600.00
Gleditsia triacanthos 'Shademaster' SHADEMASTER HONEY LOCUST (GTP)	12	B&B	3" CAL. MIN.	\$400.00/\$4,800.00
Liriodendron tulipifera TULIP TREE (LTP)	11	B&B	3" CAL. MIN.	\$400.00/\$4,400.00
Syringa reticulata JAPANESE TREE LILAC (SR)	01	B&B	2.5" CAL. MIN.	\$375.00/\$375.00
GENERAL LANDSCAPING				
NAME	QTY.	HEIGHT	ROOT	UNIT PRICE/TOTAL
Buxus x 'Green Velvet' GREEN VELVET BOXWOOD (BX)	148	36"		\$50.00/\$7,400.00
Taxus x media 'Hicksii' HICKS YEW (TH)	07	36"		\$50.00/\$350.00
Juniperus communis COMMON JUNIPER (JC)	37	6'	B&B	\$50.00/\$1,850.00
Calamagrostis x acutiflora 'Karl Foerster' KARL FORESTER GRASS (KF)	06	#2 CONT.		\$15.00/\$90.00
Pennisetum alopecuroides 'Hamelii' HAMELN FOUNTAIN GRASS (PA)	436	#2 CONT.		\$15.00/\$6,540.00
Rudbeckia fulgida 'Goldstrum' BLACK-EYED SUSAN (RF)	121	#2 CONT.		\$15.00/\$1,815.00
Hemerocallis 'Violet Light' VIOLET LIGHT DAYLILY (DLG)	186	#2 CONT.		\$15.00/\$2,790.00
Thuja 'Green Giant' GREEN GIANT ARBORVITAE (TGG)	51	6'	B&B	\$50.00/\$2,550.00
Leucanthemum x superbum 'Alaska' SHASTA DAISY ALASKA (CS)	121	#2 CONT.		\$15.00/\$1,815.00

NOTE: SCREENING SHRUBS TO BE MAINTAINED AS A CONTINUOUS HEDGE AT LEAST 3'-0" TALL

UNIT LANDSCAPING				
NAME	QTY.	HEIGHT	ROOT	UNIT PRICE/TOTAL
Picea glauca WHITE SPRUCE (AG)	09	8'	B&B	\$400.00/\$3,600.00
Abies concolor WHITE FIR (AC)	13	8'	B&B	\$400.00/\$5,200.00
DETENTION PLANTING				
NAME	QTY.	HEIGHT	ROOT	UNIT PRICE/TOTAL
Cornus amomum SILKY DOGWOOD (CA)	17	36"		\$50.00/\$850.00
Cornus rugosa ROUND-LEAVED DOGWOOD (CR)	17	36"		\$50.00/\$850.00
Viburnum dentatum ARROW-WOOD (VD)	17	36"		\$50.00/\$850.00
EMERGENT WETLAND SEED MIX (BY CARDNO JFNEW)				2,135 SF
39.8 LBS PER ACRE APPLICATION RATE				
2.2 LBS OF EMERGENT SEED MIX				
3"-6" OF TOPSOIL OR WETLAND MULCH SHALL BE PLACED IN THIS AREA. USE SEED MAT.				
STORMWATER SEED MIX (BY CARDNO JFNEW)				3,220 SF
32.6 LBS PER ACRE APPLICATION RATE				
2.3 LBS OF STORMWATER SEED MIX				
3"-6" OF TOPSOIL SHALL BE PLACED IN THIS AREA				
GRASS				
NAME	QUANTITY	UNIT PRICE/TOTAL		
KENTUCKY BLUE GRASS	22,378 SF	\$8.00(per sf)/\$179,024.00		
<b>TOTAL:</b>		<b>\$256,049.00</b>		

NOTE: NO TREE SHALL BE PLANTED CLOSER THAN 10 FEET FROM A HYDRANT OR OTHER UTILITY STRUCTURE, AND 5 FEET FROM AN UNDERGROUND UTILITY LINE. ALL TREES SHALL BE PLANTED AT LEAST 3 FEET BEHIND A CURB AND FEET AWAY FROM THE PROPERTY LINE.



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 1-800-482-7171

LANDSCAPE SUMMARY - MULTI-FAMILY

Existing Zoning	TC-1
<b>GREENBELT ("Gbt")</b>	
Street Frontage Adjacent to Pkg.	230'
Trees Required	10 Trees (230' / 25')
Trees Provided	17 Trees
Ornamental Trees Required	16 Trees (230' / 15')
Ornamental Trees Provided	16 Trees
Street Frontage not Adjacent to Pkg.	850'
Less Drive Openings	159'
Net Frontage	691'
Trees Required	23 Trees (691' / 30')
Trees Provided	24 Trees
Ornamental Trees Required	35 Trees (691' / 20')
Ornamental Trees Provided	09 Trees
<b>PARKING LOT LANDSCAPING ("P")</b>	
Vehicular Use Area (Exclusive of Deck)	68,138 SF
VUA up to 50,000 SF	3,750 SF (50,000 x 7.5%)
VUA Over 50,000 SF	181 SF (18,138 x 1%)
Landscape Area Required	3,931 SF
Landscape Area Provided	4,376 SF
Trees Required	20 Trees (734' / 35')
Trees Provided	21 Trees
<b>PARKING LOT PERIMETER LENGTH ("Per")</b>	
Parking Lot Perimeter Length	1,010 LF
Trees Required	29 Trees (1,010' / 35')
Trees Provided	30 Trees
<b>MULTI-FAMILY UNIT TREES TOTAL ("**")</b>	
Trees Required	171 Trees
Trees Provided	171 Trees

- Notes:
- Transformer to be screened per detail on sheet L-3 of preliminary landscape submittal by Allen Design.
  - Plantings shall be located to be closer than 4' to property lines.
  - Plantings shall be no closer than 10' to hydrants and utility structures.
  - No Japanese Knotweed is present on the site. Phragmites australis is found on site, refer to L4.06 for removal instructions and refer to LWP1.00 for approximate locations.
  - No replacement trees are proposed to be planted on site and a payment of \$77,200 (193 tree credits x \$400) will be paid into the City of Novi Tree Fund.

FOUNDATION LANDSCAPING - INCLUDING DECK	
Building Perimeter	2,072 LF
Landscape Required	16,576 SF (2,072' x 8')
Landscape Provided	16,645 SF
<b>MULTI-FAMILY REQUIREMENTS</b>	
Units Proposed	57 Units (Ground Floor)
Trees Required	171 Trees (57 x 3)
Trees Provided	171 Trees
<b>WOODLAND REPLACEMENT</b>	
Trees Required	193 Trees
Trees Provided	0 Trees
Trees to be Paid Into Fund	193 Trees
<b>DETENTION POND</b>	
High Water Length	411 LF
Plantings Required	288 LF (411' x 70%)
Plantings Provided	300 LF (73%)

WAIVERS GRANTED BY PLANNING COMMISSION ON 6/27/18:

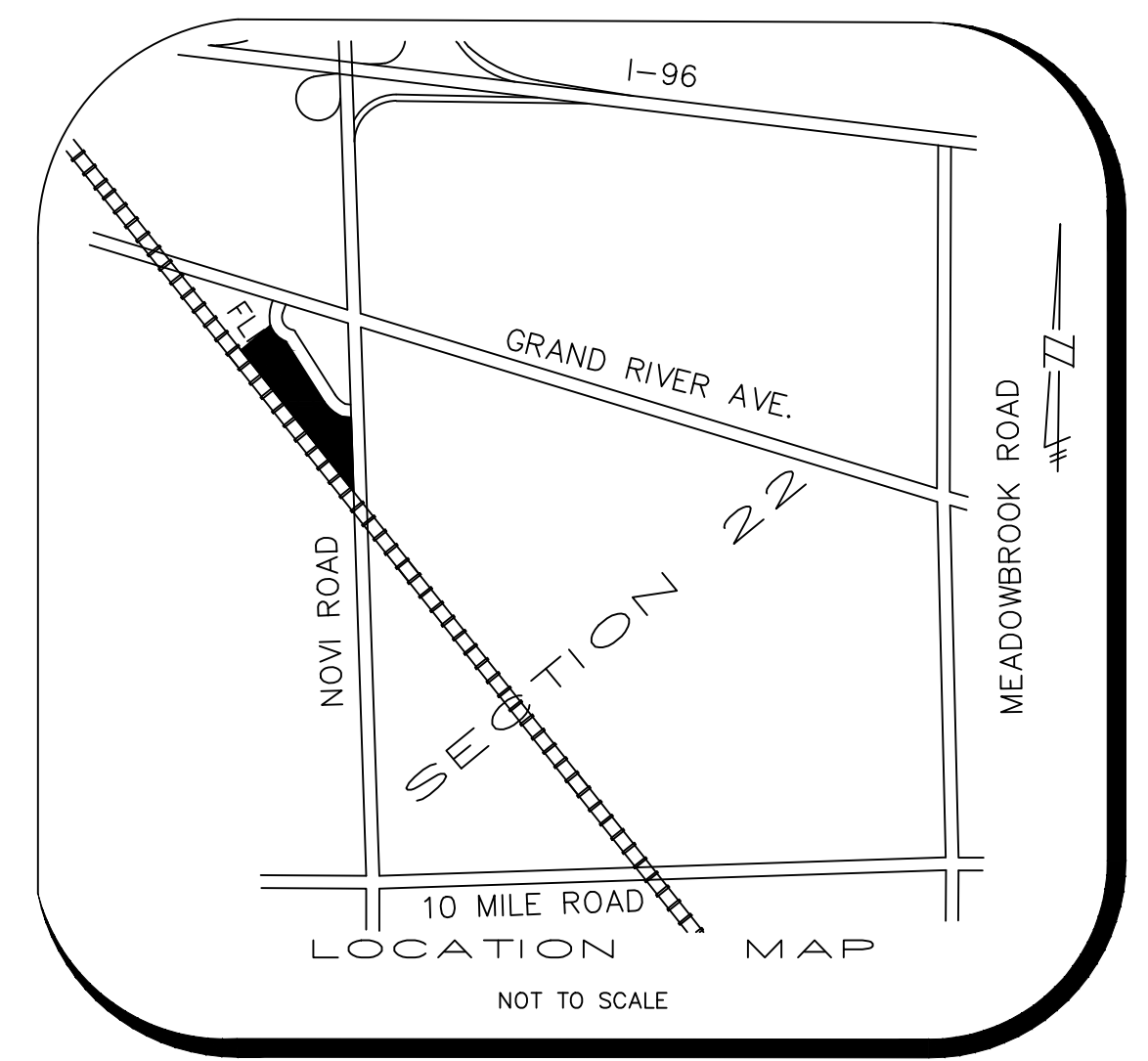
- Landscape waiver from Sec. 5.5.3.B(1) for the lack of a berm and screening as the applicant proposed a line of arborvitae along the property line to soften the view toward the railroad tracks and industrial site beyond in lieu of required landscape screening.
- Landscape waiver from Sec. 5.5.3.B(2) for the reduction in the required greenbelt width between the right-of-way and parking areas along Flint/Bond Street (20 ft. width required, a range of 10 ft. to 20 ft. provided). A 2.5 foot brick wall screening the parking and additional landscaping in the narrower areas help to compensate for the lack of space in the areas with just a 10 foot greenbelt.
- Landscape waiver from Sec. 5.5.3.F(1) for a reduction in the total number multifamily unit trees provided (147 trees required, 127 provided) as the reduction is only 14% from the total requirements and the site is otherwise well-landscaped.
- Landscape waiver from Sec. 5.5.3.F(2) for the reduction in the number of interior roadway perimeter trees provided (1 tree short) due to conflict with the access lane (grass pavers).
- Landscape waiver from Sec. 5.5.3.D for the deficiency in the foundation landscaping coverage around the parking deck due to limited space available along the southwest side, along the railroad. Large arborvitae are proposed in that area to help screen the view of the railroad and the industrial site.
- Landscape waiver from Sec. 5.5.3.C(3) that footnote for not proposing the required parking lot perimeter trees for the temporary gravel parking proposed to be constructed for use by visitors to Novi Cemetery in Phase 1 (11 trees required, 0 proposed) as the landscaping requirements will be met at the time of Phase 3 construction under a certain time mutually agreed between the applicant and the City.

ADDITIONAL LANDSCAPE WAIVERS APPROVED BY THE PLANNING COMMISSION ON 12/9/2020:  
 Revision of the landscape waiver from Sec. 5.5.3.F(1) for a deficiency in the number of total number multifamily unit trees provided (171 required, 129 provided) as the number of ground floor units has increased but the building footprint has not changed and the site is otherwise well-landscaped.

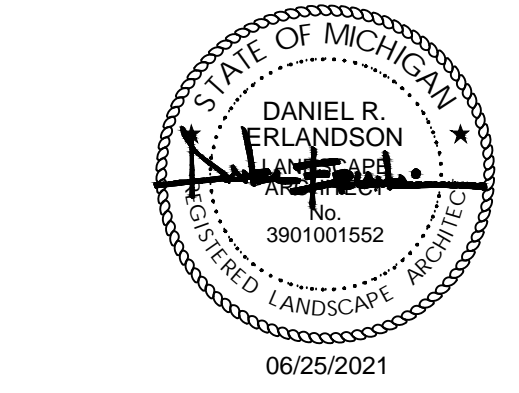


OPEN SPACE CALCULATIONS

<b>OPEN SPACE REQUIREMENTS:</b>	
TOTAL PARCEL X 15% = 6.87 AC X .15 =	1.03 AC
<b>OPEN SPACE PROVIDED:</b>	
EAST PARK AREA (AS SHOWN)	7,671 SF
SOUTH PARK AREA (AS SHOWN)	9,583 SF
POOL AREA (AS SHOWN)	8,956 SF
<b>ADDITIONAL OPEN SPACE:</b>	
<b>BUILDING 1</b>	
BALCONIES	7,690 SF
CLUB HOUSE (AS SHOWN)	7,127 SF
COURTYARDS (AS SHOWN)	6,752 SF
<b>BUILDING 2</b>	
BALCONIES	7,297 SF
FITNESS ROOM (AS SHOWN)	3,162 SF
COURTYARDS (AS SHOWN)	6,752 SF
<b>TOTAL:</b>	<b>64,990 SF = 1.49 AC</b>



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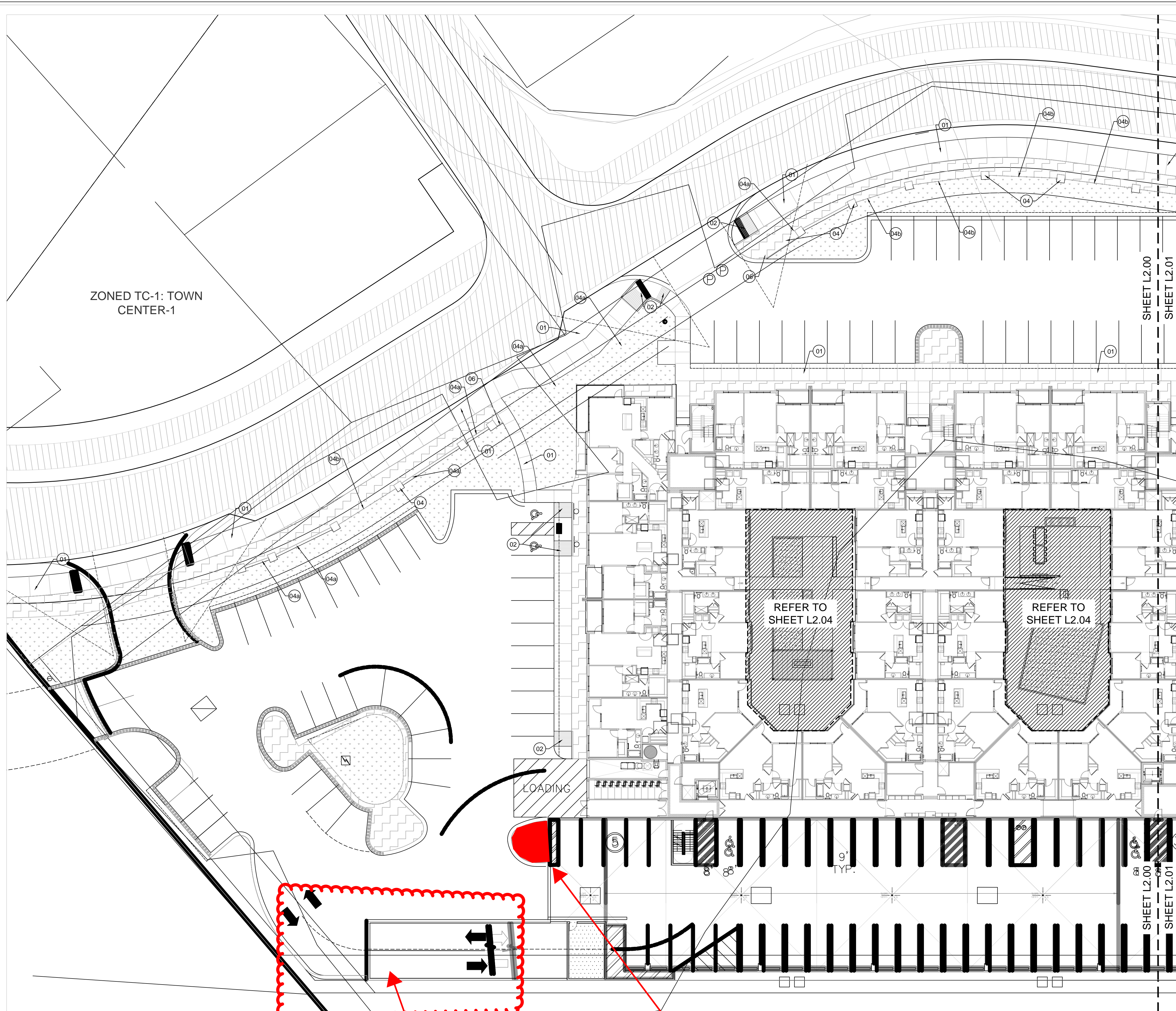
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SHEET TITLE  
 COVER SHEET

SHEET NUMBER  
 L1.00

SCALE: AS INDICATED  
 CITY JOB #: JSP18-0010



**HARDSCAPE LEGEND - SITE**

- 01 CONCRETE SIDEWALK (REFER TO DETAIL 01/L9.00)  
COLOR: STANDARD GRAY | FINISH: LIGHT BROOM  
SCORE SIZE: SEE PLAN
- 02 ACCESSIBLE CURB RAMP (REFER TO CIVIL DRAWINGS)
- 03 COLORED CONCRETE (REFER TO DETAIL 01/L9.00) 1,620 S.F.  
COLOR: SANDSTONE | FINISH: LIGHT BROOM | SCORE SIZE: SEE PLAN
- 04 SITE SCREEN WALL (REFER DETAIL 22/L9.04)  
-04a: MASONRY WALL SEGMENT 245 L.F.  
-04b: FENCE WALL SEGMENT 170 L.F.
- 05 MONUMENT SIGN (REFER TO DETAIL 23/L9.04)
- 06 PLASTIC LANDSCAPE EDGING (BY: SURELOCEDGING.COM) 880 L.F.  
PRODUCT: ELITE-EDGE | PRODUCT NUMBER: #PE6A

**NOTE: FOR ALL OUTDOOR FURNISHINGS, REFER TO INTERIOR ARCHITECTURE DRAWINGS**

SURFACE MATERIALS		QUANTITY
DESCRIPTION		
LAWN GRASS HYBRID (SEED)		22,810 S.F.
SHREDDED HARDWOOD MULCH IN ALL LANDSCAPE AREAS		24,175 S.F.

**NOTES:**  
 6" DEPTH PLANT MIX IN ALL PLANTING BEDS  
 4" DEPTH TOPSOIL IN ALL NEW LAWN AREAS (INCLUDES 3" DEPTH TOPSOIL AT COURTYARD AREAS)

DESIGNED BY: SPENCER J. OKESON  
 DRAWN BY: S.J.O. & I.K.  
 LAOR: DANIEL R. ERLANDSON  
 PLOT DATE: 06/25/2021

ISSUE FOR PRICING/BIDDING:  
 07/02/2019

ISSUE FOR PERMIT APPLICATION:  
 01/22/2021

ISSUE FOR CONSTRUCTION:  
 ISSUE DATE

**REVISION SCHEDULE**

NO.	DATE	DESCRIPTION
A	08/14/2020	ADDENDUM B
B	09/25/2020	ADDENDUM C

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SHEET TITLE  
**HARDSCAPE PLAN**

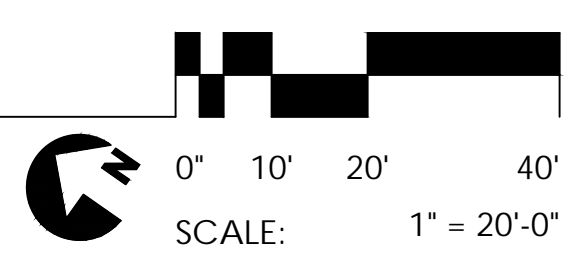
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SCALE: AS INDICATED  
 CITY JOB #: JSP18-0010

**HARDSCAPE PLAN**

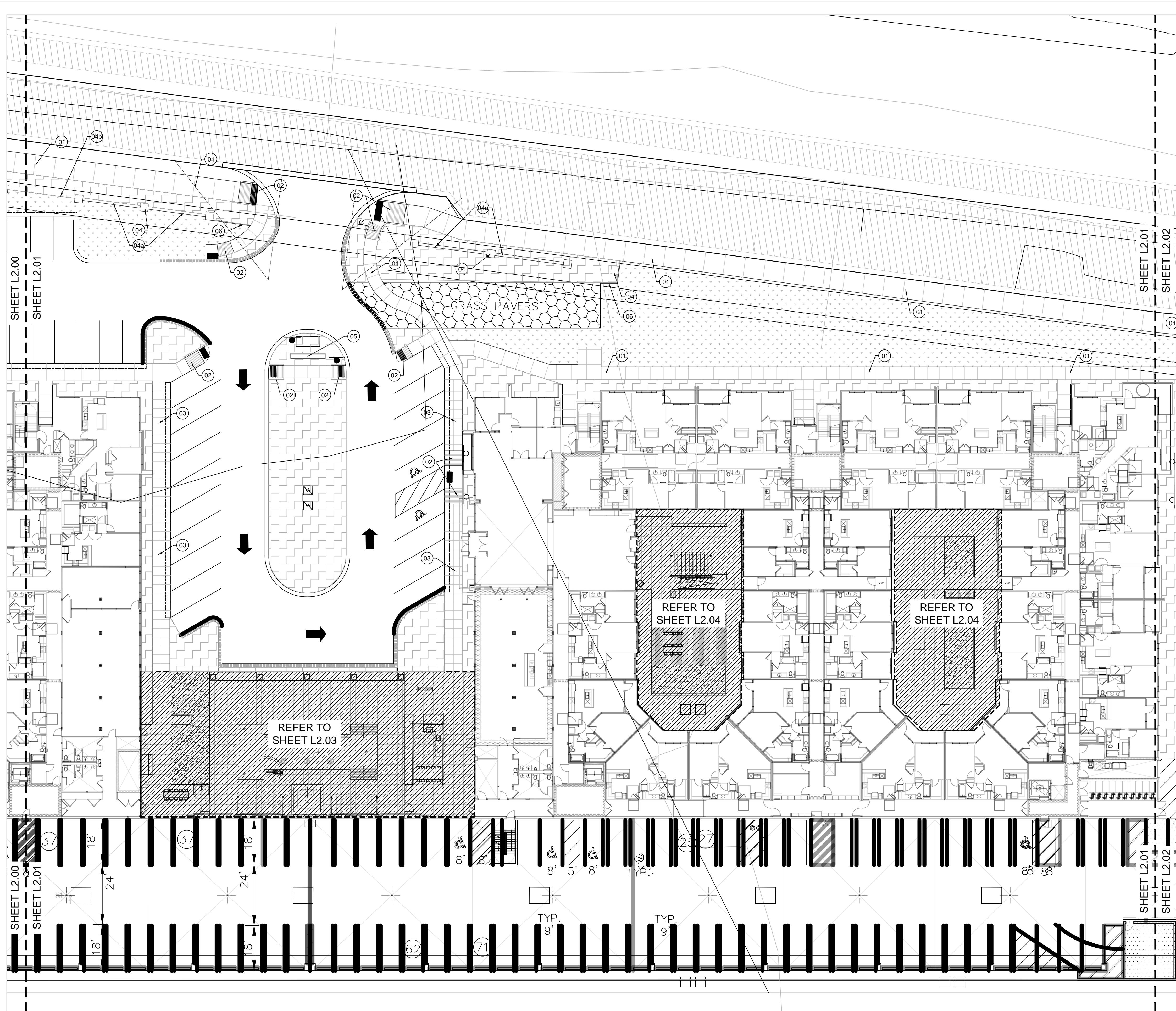
**SITE**

**ADDED PARKING SPACES AND LANDSCAPE AREAS, SEE REVISED SITE PLAN**



**REMOVED LANDSCAPE ISLAND**

REVISED PER CITY OF NOVI ELEC. STAMPING - 2021-JUNE-25



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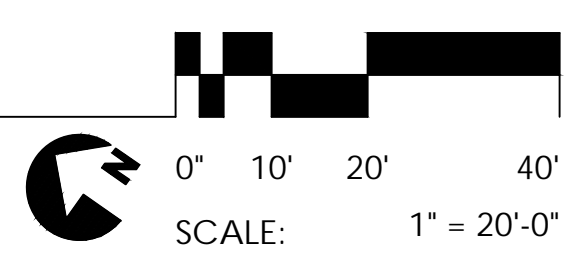
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**HARDSCAPE PLAN**

SHEET NUMBER  
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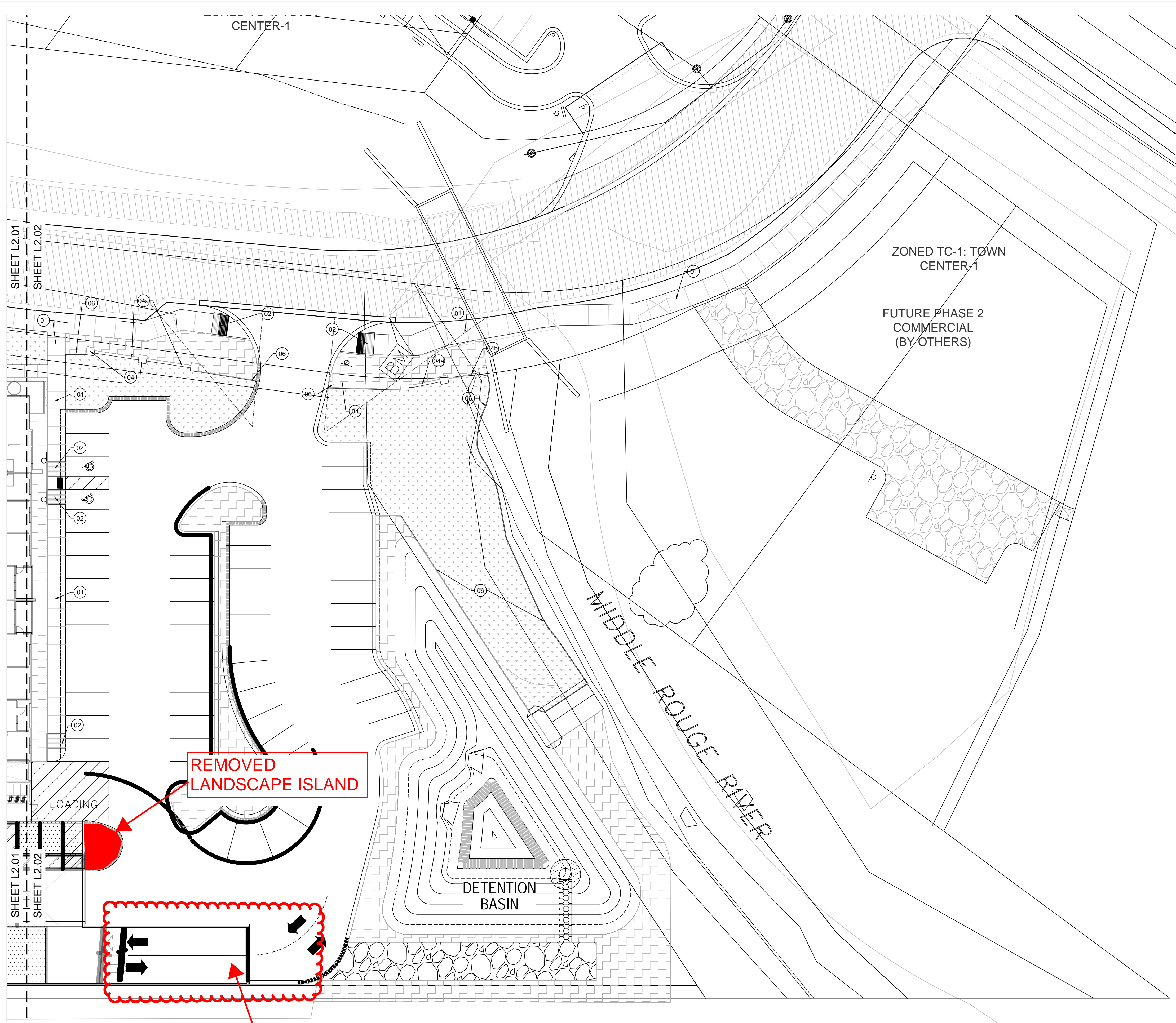
SCALE: AS INDICATED  
 CITY JOB #: JSP18-0010

**HARDSCAPE PLAN**

**SITE**



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**HARDSCAPE LEGEND - SITE**

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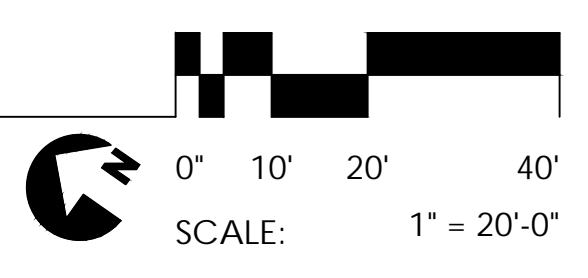
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**L2.02**

SCALE: AS INDICATED  
 CITY JOB #: JSP18-0010

**HARDSCAPE PLAN**

**SITE**

**ADDED PARKING SPACES AND LANDSCAPE AREAS, SEE REVISED SITE PLAN**



REVISED PER CITY OF NOVI ELEC. STAMPING - 2021-JUNE-25

DESIGNED BY: SPENCER J. OKESON  
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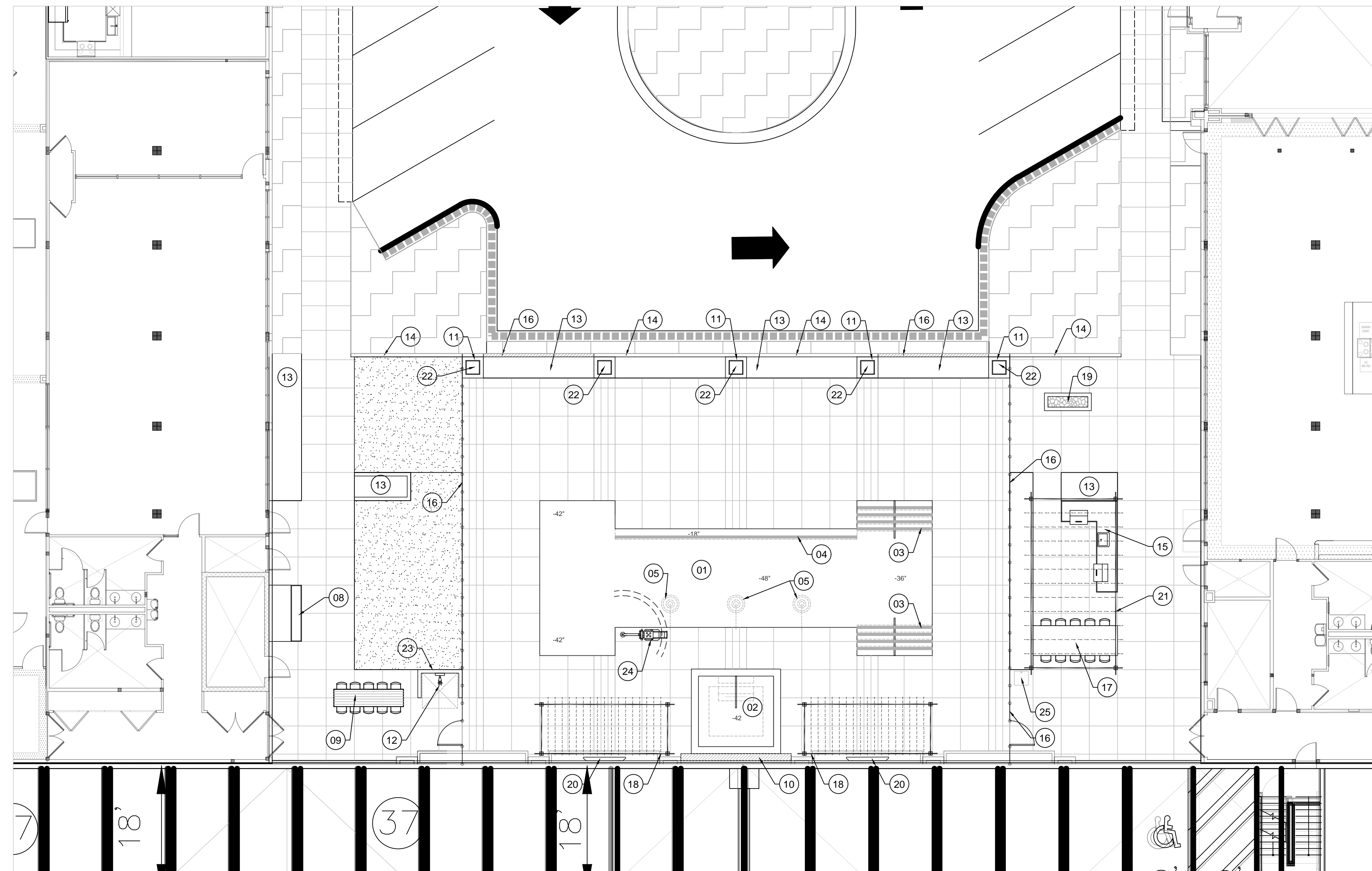
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 2502 LAKE LANSING RD  
 SUITE C,  
 LANSING, MI 48912

SHEET TITLE  
 HARDSCAPE PLAN

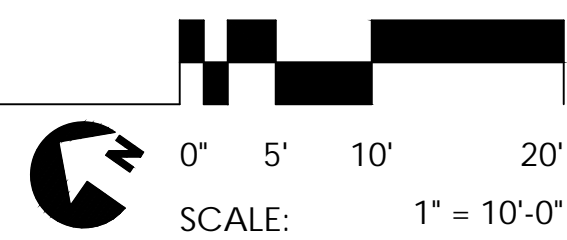
SHEET NUMBER  
 L2.03

SCALE: AS INDICATED  
 CITY JOB #: JSP18-0010

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HARDSCAPE PLAN  
 POOL AMENITY SPACE

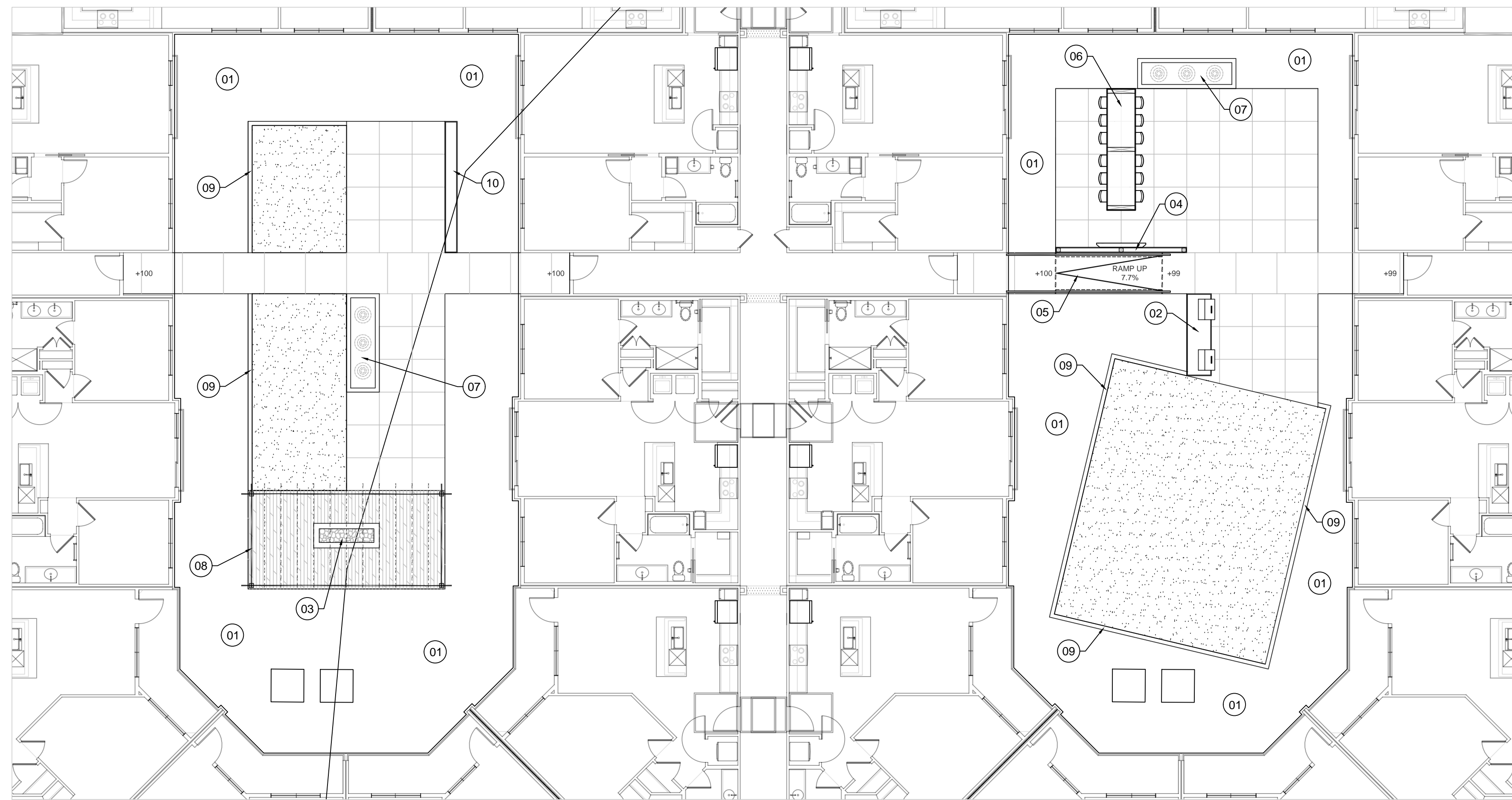


HARDSCAPE LEGEND - POOL AMENITY SPACE

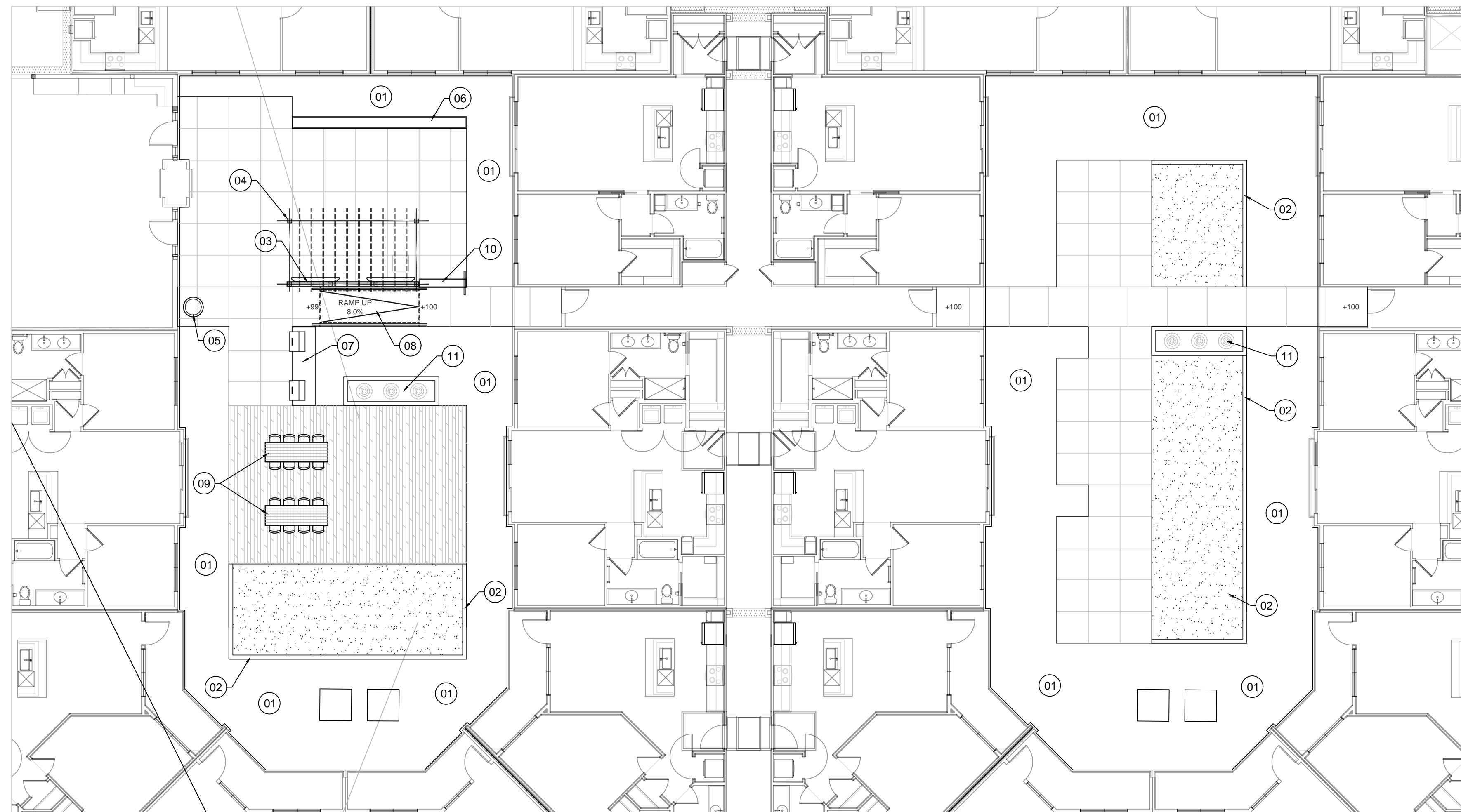
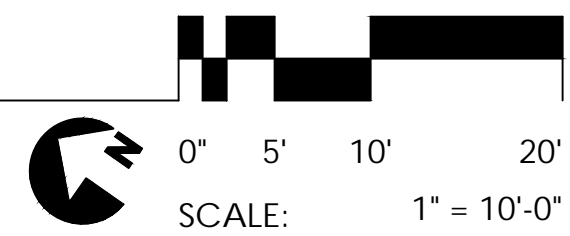
- 01 SWIMMING POOL (REFER TO POOL SHOP DRAWINGS) 945 S.F.  
 (1) INTERIOR FINISH: EXPOSED AGGREGATE POOL FINISH (BY: DIAMOND BRITE) | COLOR: COOL BLUE  
 (2) TILE LINE: 2' x 2' MOSAIC COLORBODY (BY: DAL TILE) | COLOR: 50% SEA SPEC (D372), 50% OCEAN BLUE (ABRASIVE)  
 (3) COPING: 12' x 24' BULLNOSED PAVER (BY: HANOVER) | COLOR: NATURAL | FINISH: GROUND FINISH  
 (4) IN-POOL LIGHTING: PENTAIRE GLOBERITE LED  
 (5) CAULKING OVER 3/8" TO 1/2" CLOSED CELL EXP JT - CONT.  
 (6) MIN. WATER DEPTH 3'-6"
- 02 18" RAISED HEATED SPA (REFER TO POOL SHOP DRAWINGS) 110 S.F.  
 (1) INTERIOR FINISH: EXPOSED AGGREGATE POOL FINISH (BY: DIAMOND BRITE) | COLOR: COOL BLUE  
 (2) TILE LINE: 2' x 2' MOSAIC COLORBODY (BY: DAL TILE) | COLOR: 50% SEA SPEC (D372), 50% OCEAN BLUE (ABRASIVE)  
 (3) COPING: 24' x 24' BULLNOSED PAVER (BY: HANOVER) | COLOR: NATURAL | FINISH: GROUND FINISH  
 (4) IN-POOL LIGHTING: PENTAIRE GLOBERITE LED  
 (5) CLEANING: SKIMMERS W/ DEDICATED LINE FOR CLEANER  
 (6) MIN. WATER DEPTH 3'-0"
- 03 POOL STEPS/HANDRAIL (REFER TO POOL SHOP DRAWINGS)
- 04 IN-POOL BENCH (REFER TO POOL SHOP DRAWINGS) 35 L.F.
- 05 DECK JETS (BY: JANDY.COM) QTY: 03  
 PRODUCT #: JDJ2004 | REFER TO POOL SHOP DRAWINGS
- 06 2' x 2' TILE (BY: DAL TILE) | TYPE: MOSAIC COLORBODY | COLOR: 50% SEA SPEC (D372), 50% OCEAN BLUE (ABRASIVE) 145 S.F.
- 07 NOT IN USE
- 08 CMU SEAT WALL (REFER TO DETAIL 02/L9.00) 8 L.F.
- 09 PREFAB COMMUNITY TABLE (INTERIOR DESIGNER TO COORDINATE PRODUCT INFO & COLORS W/ L.A. FOR APPROVAL) QTY: 01
- 10 FOCAL ARTWORK ON GARAGE WALL (BY OTHERS)
- 11 RAISED CMU PLINTH (REFER TO DETAIL 07/L9.00) QTY: 05
- 12 WALL MOUNTED POOL SHOWER (REF. TO POOL SHOP DWGS) QTY: 01  
 NOTE: INSTALL FLOOR DRAIN TO SANITARY SEWER
- 13 LANDSCAPE AREA (REFER TO LANDSCAPE PLANS)
- 14 5' WOOD SLAT FENCE (REFER TO DETAIL 08/L9.00) 80 L.F.
- 15 BBQ COUNTER (REFER TO DETAIL 09/L9.01)
- 16 48" WELDED WIRE MESH POOL FENCE/GATE (REFER TO DETAIL 10/L9.01) 135 L.F.
- 17 PREFAB COMMUNITY TABLE (INTERIOR DESIGNER TO COORDINATE PRODUCT INFO & COLORS W/ L.A. FOR APPROVAL) QTY: 01
- 18 CUSTOM SHADE STRUCTURE (BY OTHERS - FF&E) QTY: 02
- 19 FIRE TROUGH (REFER TO DETAIL 11/L9.01)
- 20 OUTDOOR RATED T.V. (BY OWNER) QTY: 02
- 21 SHADE STRUCTURE (BY OTHERS - FF&E)
- 22 LIGHT BOX (REFER TO LIGHTING PLANS) QTY: 05
- 23 CMU SHOWER ENCLOSURE (REFER TO DETAIL 12/L9.01)
- 24 ADA POOL LIFT (BY: SPECTRUM PRODUCTS) QTY: 01  
 MODEL: MOTION TREK ADA BARIATRIC POOL LIFT  
 SLEEVES TO BE PROVIDED AT TWO LOCATIONS SHOWN ON PLAN. SINGLE LIFT TO BE TRANSPORTED AS NEEDED FOR ACCESS TO POOL AND SPA
- 25 PILA FLOOR WASH (BY: CALAZZO.COM) QTY: 01  
 (FREE STANDING / SINGLE SUPPLY)

SURFACE MATERIALS

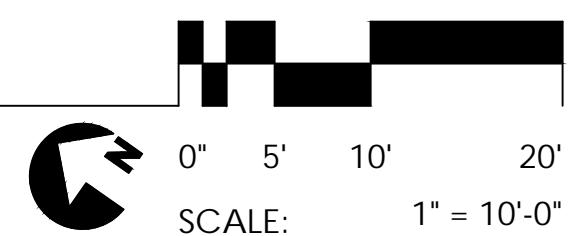
DESCRIPTION	QUANTITY
COLORED CONCRETE (BY: DAVIS) COLOR: SANDSTONE   FINISH: LIGHT BROOM SCORE SIZE: 1' x 4' SAW-CUT (REFER TO DETAIL 01/L9.00)	515 S.F.
COLORED CONCRETE (BY: DAVIS) COLOR: SANDSTONE   FINISH: LIGHT BROOM SCORE SIZE: 4' x 4' SAW-CUT (REFER TO DETAIL 01/L9.00)	2,100 S.F.
LAWN GRASS HYBRID (SOD)	400 S.F.
DECOMPOSED GRANITE (BY LOCAL SUPPLIER) COLOR: TBD   NOTE: INSTALL TO A MIN. 3" DEPTH	



**HARDSCAPE PLAN**  
**WEST COURTYARDS**



**HARDSCAPE PLAN**  
**EAST COURTYARDS**



**HARDSCAPE LEGEND - WEST COURTYARDS**

- 01 LANDSCAPE AREA (REFER TO LANDSCAPE PLANS)
  - 02 BARBECUE COUNTER (REFER TO DETAIL 18/L9.02)
  - 03 FIRE TROUGH (REFER TO DETAIL 11/L9.01)
  - 04 WOOD ACCENT WALL W/ OUTDOOR T.V. (T.V. - BY OWNER) (REFER TO DETAIL 19/L9.03)
  - 05 ADA ACCESSIBLE RAMP (REFER TO DETAIL 17/L9.02)
  - 06 PREFAB COMMUNITY TABLE (INTERIOR DESIGNER TO COORDINATE PRODUCT INFO & COLORS W/ L.A. FOR APPROVAL) QTY: 01
  - 07 FUTURE FOUNTAIN (TBD) QTY: 02
  - 08 SHADE STRUCTURE (BY OTHERS - FF&E)
  - 09 6" CAST CONCRETE LANDSCAPE HEADER (REFER TO DETAIL 03/L9.00) 160 L.F.
  - 10 CMU SEAT WALL (REFER TO DETAIL 02/L9.00) 16 L.F.
- NOTE: FOR ALL OUTDOOR FURNISHINGS, REFER TO INTERIOR ARCHITECTURE DRAWINGS**

**SURFACE MATERIALS**

DESCRIPTION	QUANTITY
COLORED CONCRETE (BY: DAVIS) COLOR: SANDSTONE   FINISH: LIGHT BROOM SCORE SIZE: 4' x 4' SAW-CUT (REFER TO DETAIL 01/L9.00)	1,775 S.F.
ARTIFICIAL TURF (BY: SYNTHETIC GRASS WAREHOUSE) TYPE: DIAMOND PRO FESCUE   COLOR: OLIVE GREEN (REFER TO DETAIL 03/L9.00)	1,300 S.F.
TREX DECKING (BY: TREX) TYPE: TRANSCEND   COLOR: SPICED RUM (REFER TO DETAIL 06/L9.00)	290 S.F.
3" DECOMPOSED GRANITE (BY LOCAL SUPPLIER) COLOR: TBD   NOTE: INSTALL TO A MIN. 3" DEPTH	

**HARDSCAPE LEGEND - EAST COURTYARDS**

- 01 LANDSCAPE AREA (REFER TO LANDSCAPE PLANS)
- 02 6" CAST CONCRETE LANDSCAPE HEADER (REFER TO DETAIL 03/L9.00) 130 L.F.
- 03 WOOD ACCENT WALL W/ OUTDOOR T.V. (T.V. - BY OWNER) (REFER TO DETAIL 16/L9.02)
- 04 SHADE STRUCTURE (BY OTHERS - FF&E)
- 05 30" DIA. ZENA COLLECTION POT (BY: TOURNESOL SITEWORKS) QTY: 07  
PRODUCT #: ZCS-3024 | COLOR: TBD | FINISH: TBD
- 06 CMU SEAT WALL (REFER TO DETAIL 02/L9.00) 25 L.F.
- 07 BARBECUE COUNTER (REFER TO DETAIL 18/L9.02)
- 08 ADA ACCESSIBLE RAMP (REFER TO DETAIL 17/L9.02)
- 09 PREFAB COMMUNITY TABLE (INTERIOR DESIGNER TO COORDINATE PRODUCT INFO & COLORS W/ L.A. FOR APPROVAL) QTY: 02
- 10 CAST CONCRETE STAIRS (REFER TO DETAIL 14/L9.02)
- 11 FUTURE FOUNTAIN (TBD) QTY: 02

**NOTE: FOR ALL OUTDOOR FURNISHINGS, REFER TO INTERIOR ARCHITECTURE DRAWINGS**

**SURFACE MATERIALS**

DESCRIPTION	QUANTITY
COLORED CONCRETE (BY: DAVIS) COLOR: SANDSTONE   FINISH: LIGHT BROOM SCORE SIZE: 4' x 4' SAW-CUT (REFER TO DETAIL 01/L9.00)	2,030 S.F.
ARTIFICIAL TURF (BY: SYNTHETIC GRASS WAREHOUSE) TYPE: DIAMOND PRO FESCUE   COLOR: OLIVE GREEN (REFER TO DETAIL 03/L9.00)	925 S.F.
TREX DECKING (BY: TREX) TYPE: TRANSCEND   COLOR: SPICED RUM (REFER TO DETAIL 06/L9.00)	600 S.F.
3" DECOMPOSED GRANITE (BY LOCAL SUPPLIER) COLOR: TBD   NOTE: INSTALL TO A MIN. 3" DEPTH	

DESIGNED BY: SPENCER J. OKESON  
DRAWN BY: S.J.O. & I.K.  
LAOR: DANIEL R. ERLANDSON  
PLOT DATE: 06/25/2021

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**REVISION SCHEDULE**

NO.	DATE	DESCRIPTION
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**THE BOND OF NOVI**  
SECTION 22, TOWN 1 NORTH,  
RANGE 8 EAST, CITY OF NOVI,  
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PROJECT #: 17659



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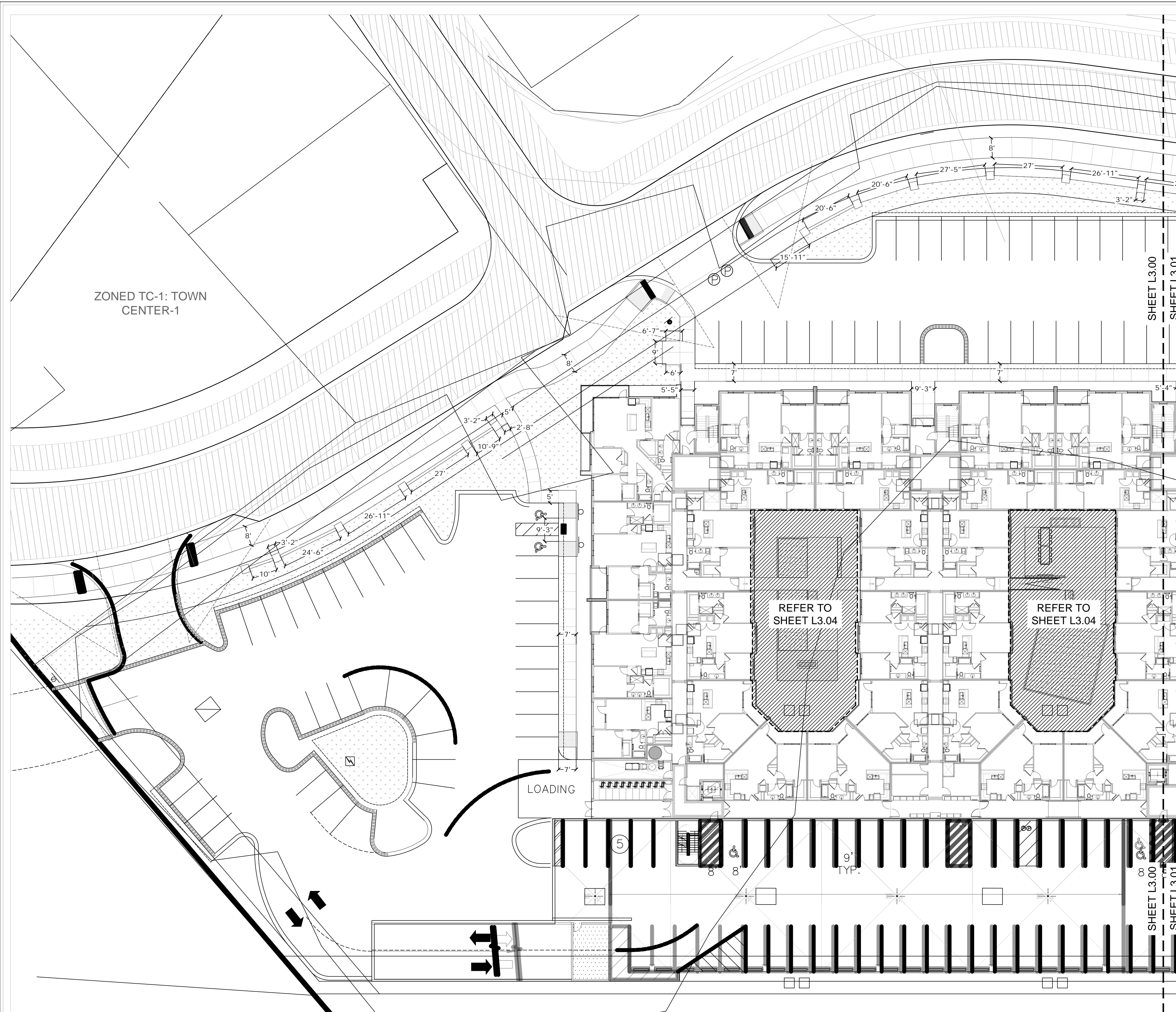
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**HARDSCAPE PLAN**

SHEET NUMBER  
**L2.04**

SCALE: AS INDICATED  
CITY JOB #: JSP18-0010

REVISED PER CITY OF NOVI ELEC. STAMPING - 2021-JUNE-25





DIMENSION PLAN

SITE

DESIGNED BY: SPENCER J. OKESON  
 DRAWN BY: S.J.O. & I.K.  
 LAOR: DANIEL R. ERLANDSON  
 PLOT DATE: 06/25/2021

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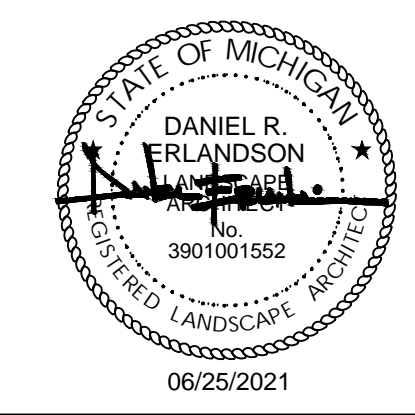
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THE BOND OF NOVI

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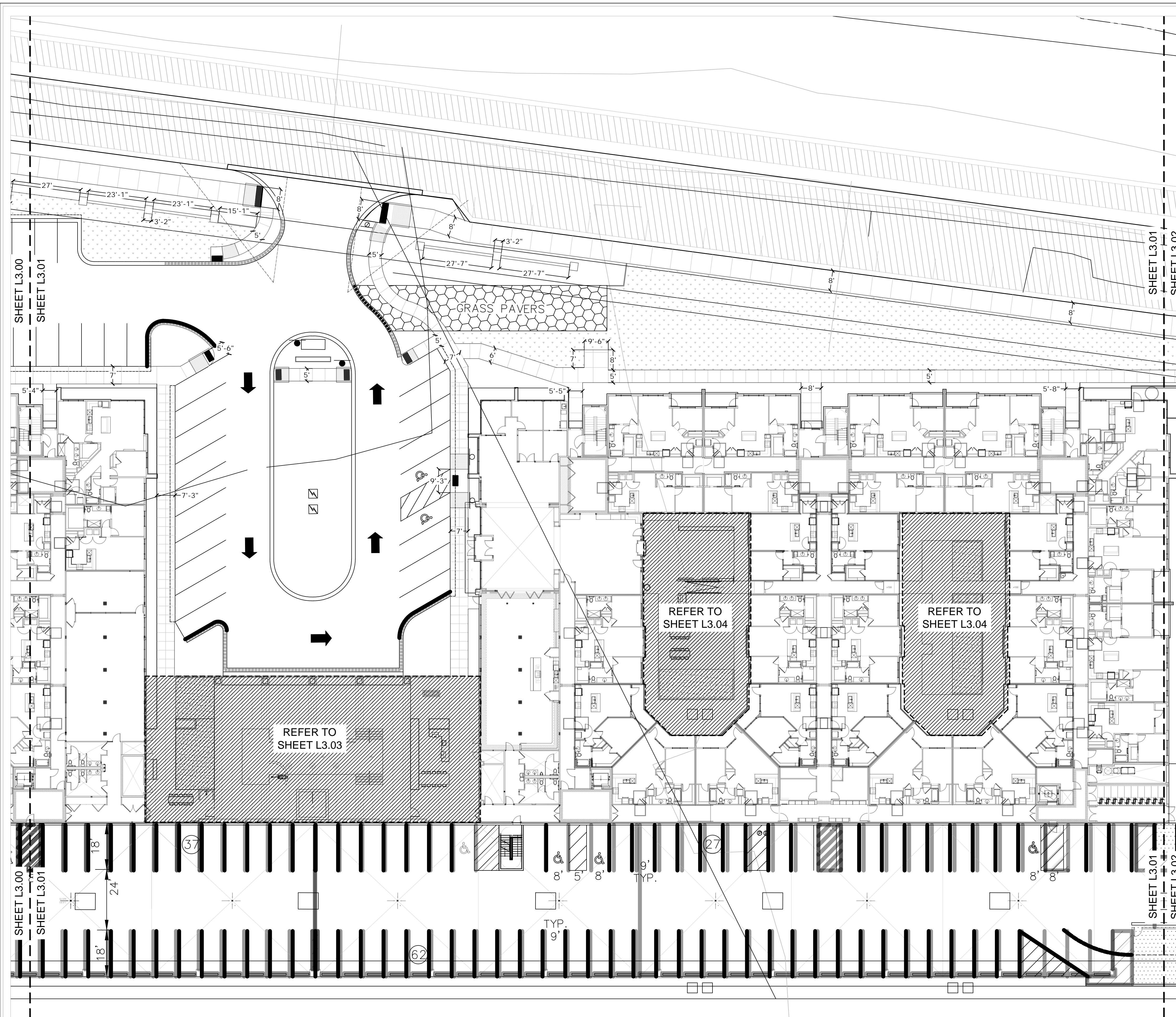
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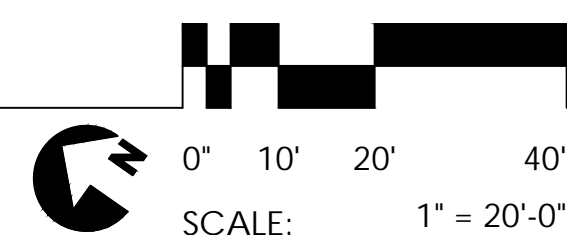
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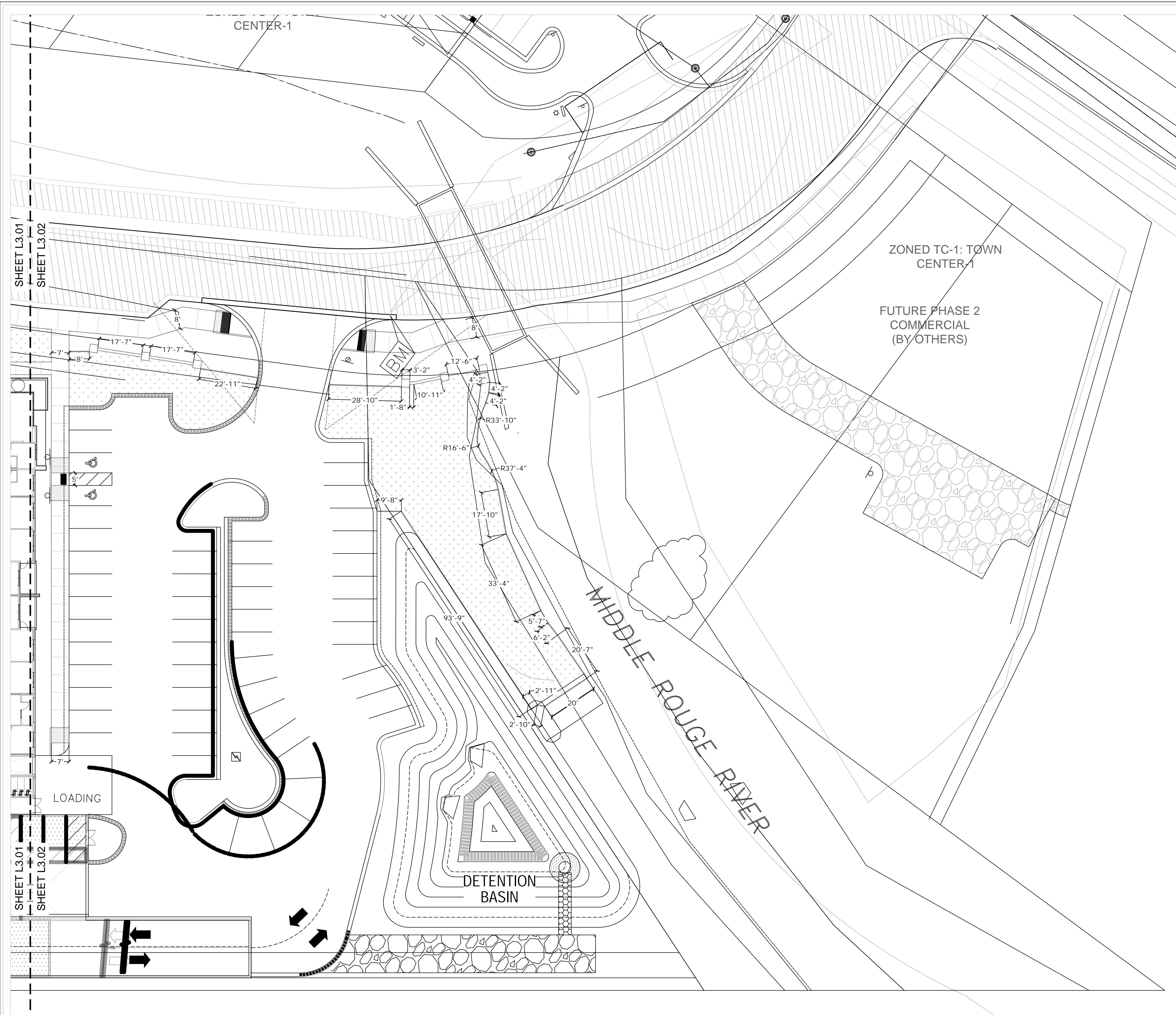
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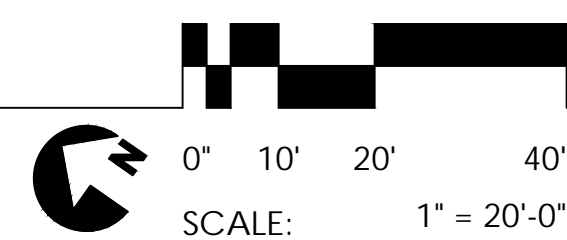
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DIMENSION PLAN

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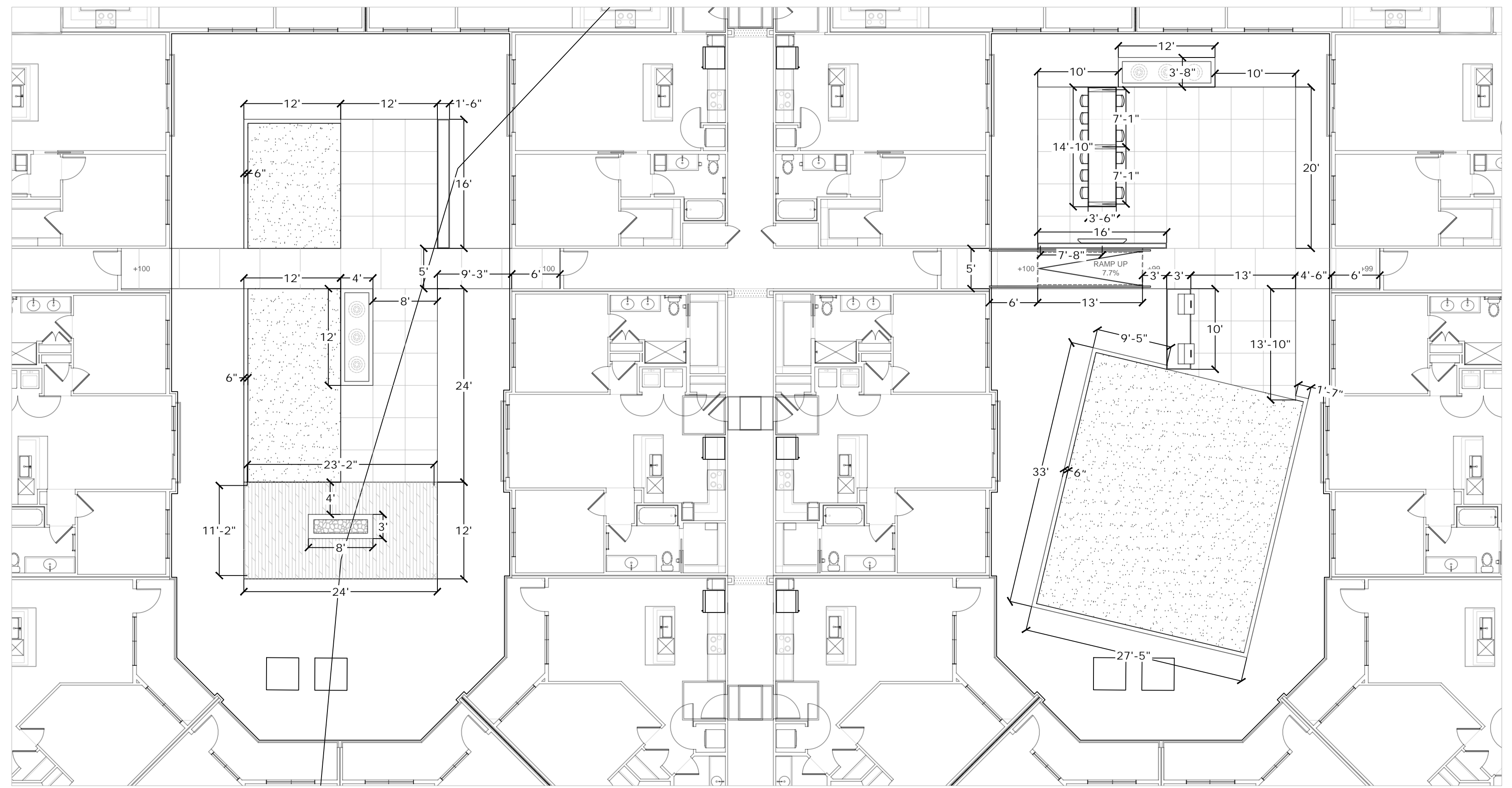
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SHEET NUMBER  
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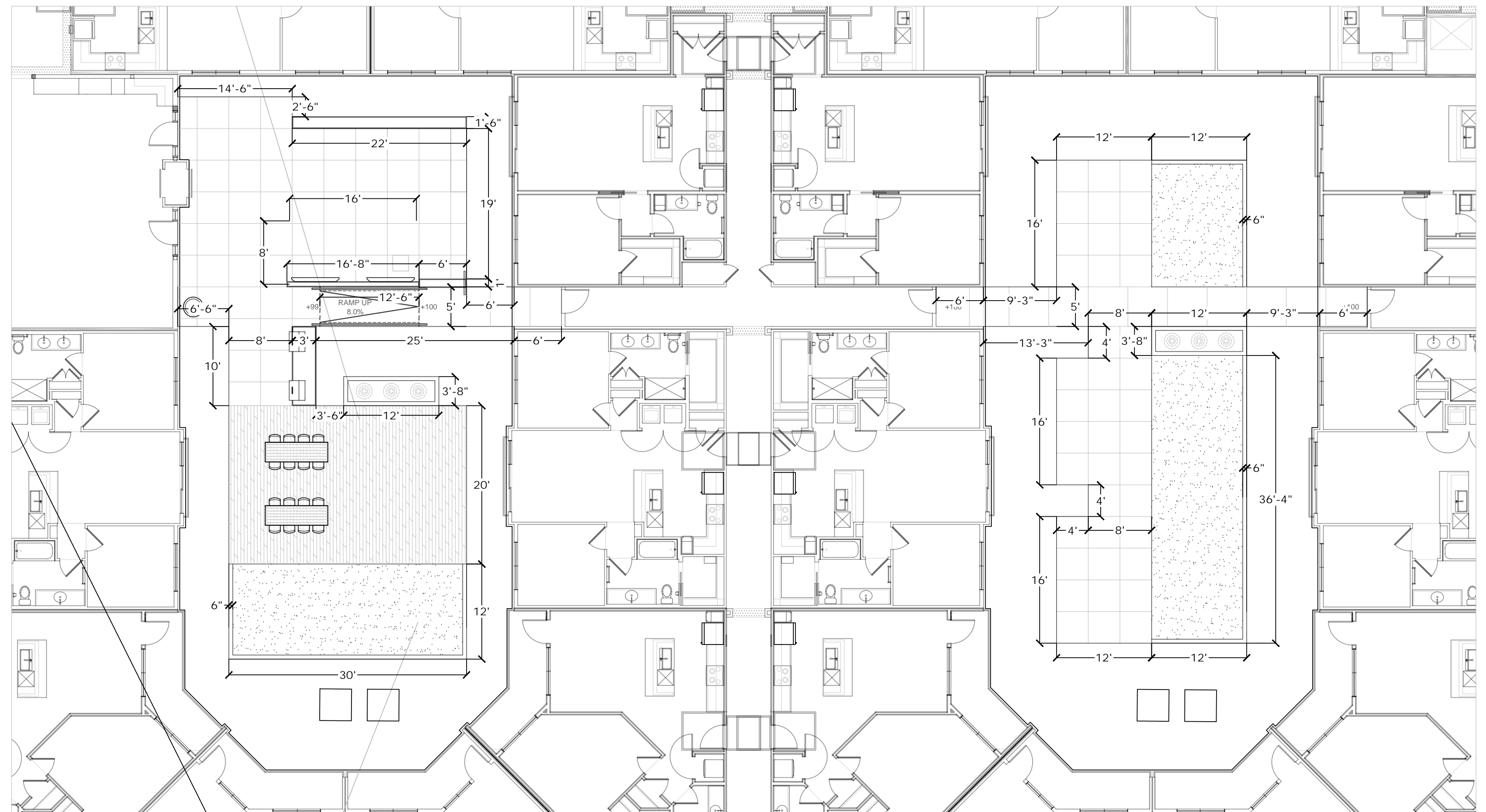
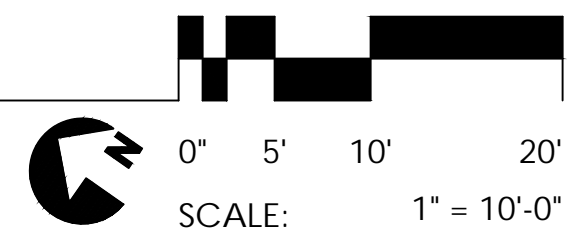
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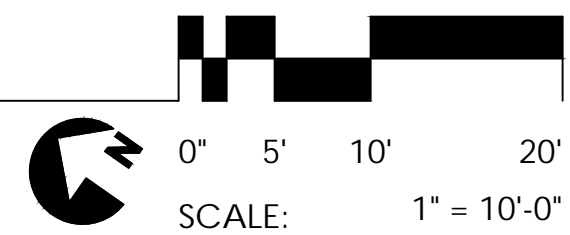
DIMENSION PLAN

WEST COURTYARDS



DIMENSION PLAN

EAST COURTYARDS



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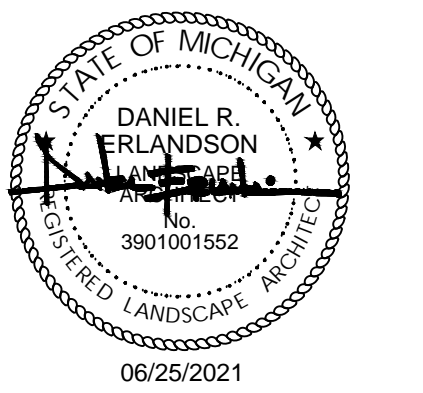
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SCALE: AS INDICATED  
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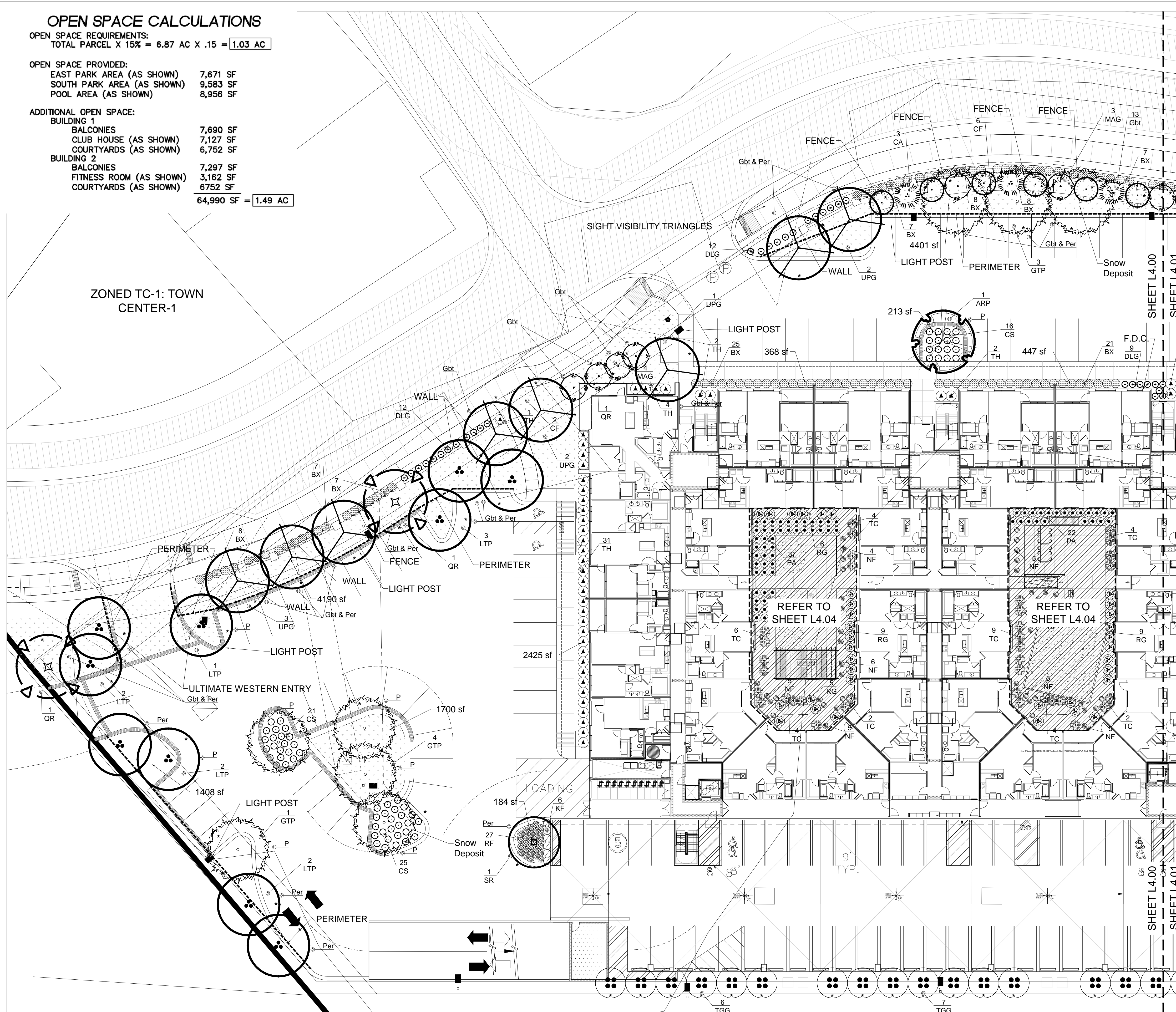
**OPEN SPACE CALCULATIONS**

OPEN SPACE REQUIREMENTS:  
TOTAL PARCEL X 15% = 6.87 AC X .15 = **1.03 AC**

OPEN SPACE PROVIDED:  
EAST PARK AREA (AS SHOWN) 7,671 SF  
SOUTH PARK AREA (AS SHOWN) 9,583 SF  
POOL AREA (AS SHOWN) 8,956 SF

ADDITIONAL OPEN SPACE:  
BUILDING 1  
BALCONIES 7,690 SF  
CLUB HOUSE (AS SHOWN) 7,127 SF  
COURTYARDS (AS SHOWN) 6,752 SF  
BUILDING 2  
BALCONIES 7,297 SF  
FITNESS ROOM (AS SHOWN) 3,162 SF  
COURTYARDS (AS SHOWN) 6,752 SF  
**64,990 SF = 1.49 AC**

ZONED TC-1: TOWN CENTER-1



**PLANT PALETTE - OVERALL**

**GREENBELT**

NAME	QTY.	ROOT	CALIPER	UNIT PRICE/TOTAL
<i>Malus 'Adirondack'</i> ADIRONDACK CRABAPPLE (MAG)	13	B&B	2.5" CAL. MIN.	\$375.00/\$4,875.00
<i>Ulmus x 'Pioneer'</i> PIONEER ELM (UPG)	15	B&B	3" CAL. MIN.	\$400.00/\$6,000.00
<i>Quercus rubra</i> RED OAK (QR)	10	B&B	3" CAL. MIN.	\$400.00/\$4,000.00
<i>Cornus florida</i> FLOWERING DOGWOOD (CF)	11	B&B	3" CAL. MIN.	\$375.00/\$4,125.00
<i>Quercus bicolor</i> SWAMP WHITE OAK (SWO)	06	B&B	3" CAL. MIN.	\$400.00/\$2,400.00
<i>Cornus alternifolia</i> PAGODA DOGWOOD (CA)	04	B&B	3" CAL. MIN.	\$375.00/\$1,500.00

**PARKING LOT AND PERIMETER TREES**

NAME	QTY.	ROOT	CALIPER	UNIT PRICE/TOTAL
<i>Acer rubrum</i> RED MAPLE (ANM)	05	B&B	3" CAL. MIN.	\$400.00/\$2,000.00
<i>Acer rubrum 'October Glory'</i> OCTOBER GLORY RED MAPLE (ARP)	11	B&B	3" CAL. MIN.	\$400.00/\$4,400.00
<i>Betula nigra</i> RIVER BIRCH - MULTI STEM (BNP)	04	B&B	N/A - 15' HEIGHT	\$400.00/\$1,600.00
<i>Gleditsia triacanthos 'Shademaster'</i> SHADEMASTER HONEY LOCUST (GTP)	12	B&B	3" CAL. MIN.	\$400.00/\$4,800.00
<i>Liriodendron tulipifera</i> TULIP TREE (LTP)	11	B&B	3" CAL. MIN.	\$400.00/\$4,400.00
<i>Syringa reticulata</i> JAPANESE TREE LILAC (SR)	01	B&B	2.5" CAL. MIN.	\$375.00/\$375.00

**GENERAL LANDSCAPING**

NAME	QTY.	HEIGHT	ROOT	UNIT PRICE/TOTAL
<i>Buxus x 'Green Velvet'</i> GREEN VELVET BOXWOOD (BX)	148	36"		\$50.00/\$7,400.00
<i>Taxus x media 'Hicksii'</i> HICKS YEW (TH)	07	36"		\$50.00/\$350.00
<i>Juniperus communis</i> COMMON JUNIPER (JC)	37	6'	B&B	\$50.00/\$1,850.00
<i>Calamagrostis x acutiflora 'Karl Foerster'</i> KARL FORESTER GRASS (KF)	06	#2 CONT.		\$15.00/\$90.00
<i>Pennisetum alopecuroides 'Hameln'</i> HAMELN FOUNTAIN GRASS (PA)	436	#2 CONT.		\$15.00/\$6,540.00
<i>Rudbeckia fulgida 'Goldsturm'</i> BLACK-EYED SUSAN (RF)	121	#2 CONT.		\$15.00/\$1,815.00
<i>Hemerocallis 'Violet Light'</i> VIOLET LIGHT DAYLILY (DLG)	186	#2 CONT.		\$15.00/\$2,790.00
<i>Thuja 'Green Giant'</i> GREEN GIANT ARBORVITAE (TGG)	51	6'	B&B	\$50.00/\$2,550.00
<i>Leucanthemum x superbum 'Alaska'</i> SHASTA DAISY ALASKA (CS)	121	#2 CONT.		\$15.00/\$1,815.00

**UNIT LANDSCAPING**

NAME	QTY.	HEIGHT	ROOT	UNIT PRICE/TOTAL
<i>Picea glauca</i> WHITE SPRUCE (AG)	09	8'	B&B	\$400.00/\$3,600.00
<i>Abies concolor</i> WHITE FIR (AC)	13	8'	B&B	\$400.00/\$5,200.00

**DETENTION PLANTING**

NAME	QTY.	HEIGHT	ROOT	UNIT PRICE/TOTAL
<i>Cornus amomum</i> SILKY DOGWOOD (CA)	17	36"		\$50.00/\$850.00
<i>Cornus rugosa</i> ROUND-LEAVED DOGWOOD (CR)	17	36"		\$50.00/\$850.00
<i>Viburnum dentatum</i> ARROW-WOOD (VD)	17	36"		\$50.00/\$850.00
EMERGENT WETLAND SEED MIX (BY CARDNO JFNEW) 39.8 LBS PER ACRE APPLICATION RATE 2.2 LBS OF EMERGENT SEED MIX 3'-6" OF TOPSOIL OR WETLAND MULCH SHALL BE PLACED IN THIS AREA. USE SEED MAT.				2,135 SF
STORMWATER SEED MIX (BY CARDNO JFNEW) 32.6 LBS PER ACRE APPLICATION RATE 2.3 LBS OF STORMWATER SEED MIX 3'-6" OF TOPSOIL SHALL BE PLACED IN THIS AREA				3,220 SF

**GRASS**

NAME	QUANTITY	UNIT PRICE/TOTAL
KENTUCKY BLUE GRASS	22,378 SF	\$8.00(per sf)/\$179,024.00
<b>TOTAL:</b>		<b>\$256,049.00</b>

NOTE: NO TREE SHALL BE PLANTED CLOSER THAN 10 FEET FROM A HYDRANT OR OTHER UTILITY STRUCTURE, AND 5 FEET FROM AN UNDERGROUND UTILITY LINE. ALL TREES SHALL BE PLANTED AT LEAST 3 FEET BEHIND A CURB AND FEET AWAY FROM THE PROPERTY LINE.

DESIGNED BY: SPENCER J. OKESON  
DRAWN BY: S.J.O. & I.K.  
LAOR: DANIEL R. ERLANDSON  
PLOT DATE: 06/25/2021

ISSUE FOR PRICING/BIDDING: 07/02/2019  
ISSUE FOR PERMIT APPLICATION: 01/22/2021  
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**REVISION SCHEDULE**

NO.	DATE	DESCRIPTION
B	08/14/2020	ADDENDUM B
C	09/25/2020	ADDENDUM C

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**THE BOND OF NOVI**  
SECTION 22, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN  
PROJECT #: 17659



**HUMPHREYS & PARTNERS LANDSCAPE ARCHITECTURE, L.L.C.**  
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LANSING, MI 48912

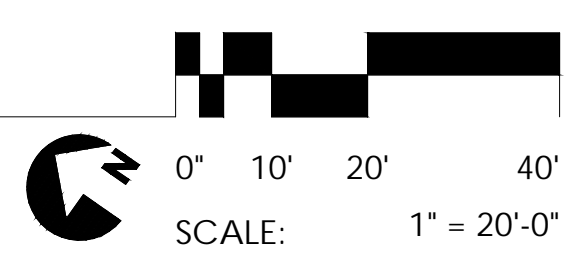
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**LANDSCAPE PLAN**

SHEET NUMBER  
**L4.00**

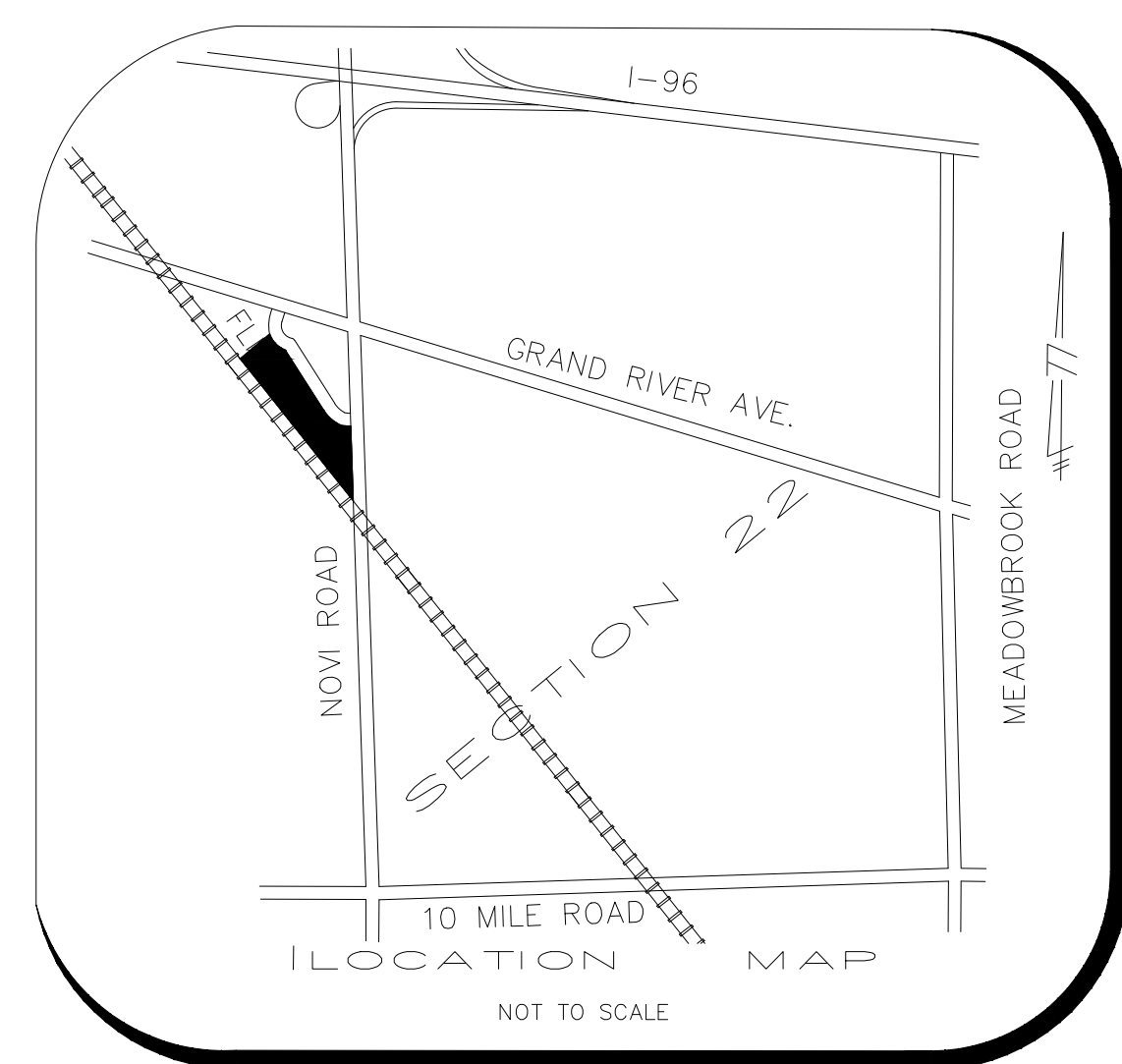
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CITY JOB #: JSP18-0010

**LANDSCAPE PLAN**

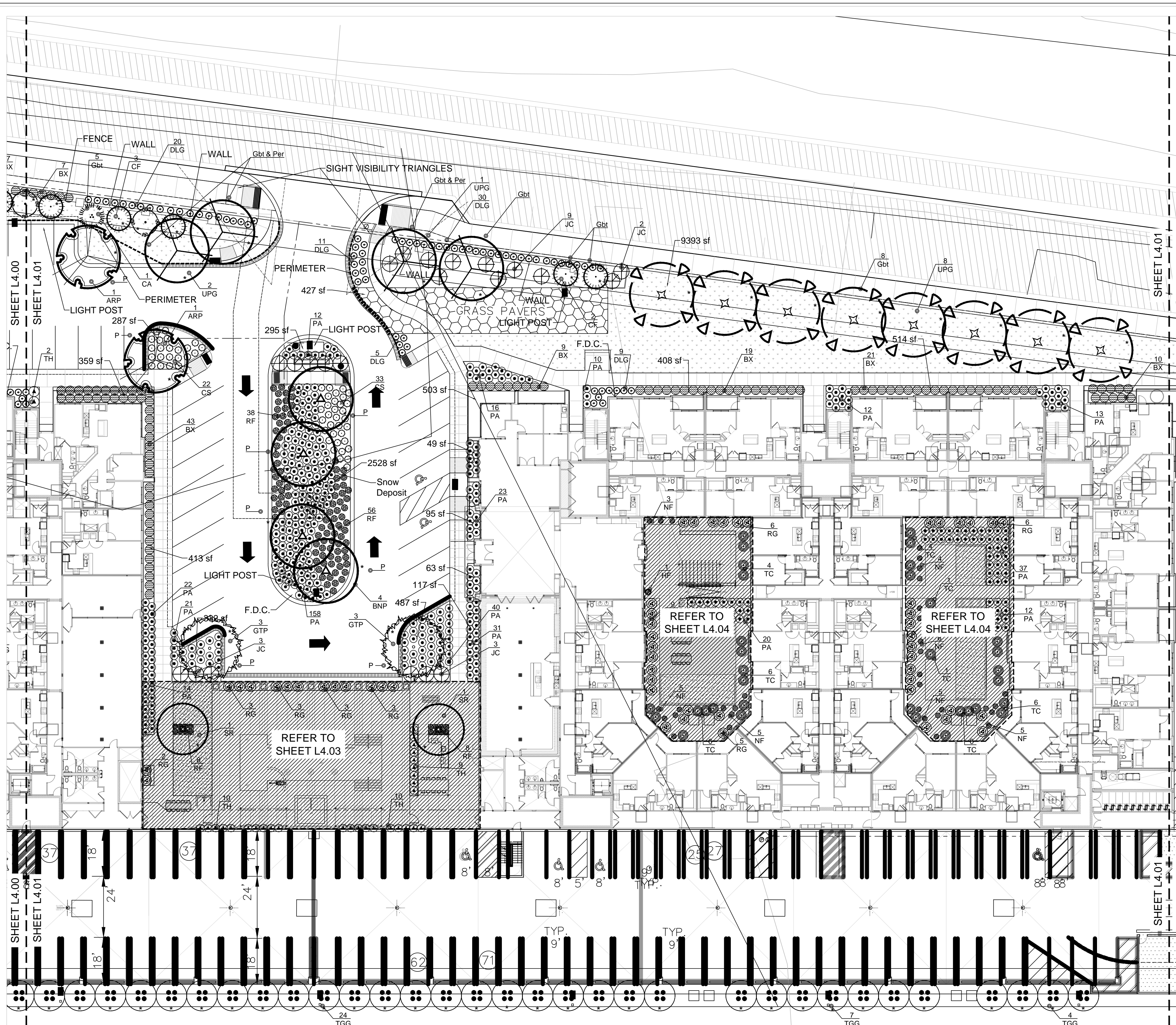
**SITE**



Call MISS DIG before digging  
1-800-482-7171



REVISED PER CITY OF NOVI ELEC. STAMPING - 2021-JUNE-25



**PLANT PALETTE - OVERALL**

**GREENBELT**

NAME	QTY.	ROOT	CALIPER	UNIT PRICE/ TOTAL
<i>Malus 'Adirondack'</i> ADIRONDACK CRABAPPLE (MAG)	13	B&B	2.5" CAL. MIN.	\$375.00/ \$4,875.00
<i>Ulmus x 'Pioneer'</i> PIONEER ELM (UPG)	15	B&B	3" CAL. MIN.	\$400.00/ \$6,000.00
<i>Quercus rubra</i> RED OAK (OR)	10	B&B	3" CAL. MIN.	\$400.00/ \$4,000.00
<i>Cornus florida</i> FLOWERING DOGWOOD (CF)	11	B&B	3" CAL. MIN.	\$375.00/ \$4,125.00
<i>Quercus bicolor</i> SWAMP WHITE OAK (SWO)	06	B&B	3" CAL. MIN.	\$400.00/ \$2,400.00
<i>Cornus alternifolia</i> PAGODA DOGWOOD (CA)	04	B&B	3" CAL. MIN.	\$375.00/ \$1,500.00

**PARKING LOT AND PERIMETER TREES**

NAME	QTY.	ROOT	CALIPER	UNIT PRICE/ TOTAL
<i>Acer rubrum</i> RED MAPLE (ANM)	05	B&B	3" CAL. MIN.	\$400.00/ \$2,000.00
<i>Acer rubrum 'October Glory'</i> OCTOBER GLORY RED MAPLE (ARP)	11	B&B	3" CAL. MIN.	\$400.00/ \$4,400.00
<i>Betula nigra</i> RIVER BIRCH - MULTI STEM (BNP)	04	B&B	N/A - 15' HEIGHT	\$400.00/ \$1,600.00
<i>Gleditsia triacanthos 'Shademaster'</i> SHADEMASTER HONEY LOCUST (GTP)	12	B&B	3" CAL. MIN.	\$400.00/ \$4,800.00
<i>Liriodendron tulipifera</i> TULIP TREE (LTP)	11	B&B	3" CAL. MIN.	\$400.00/ \$4,400.00
<i>Syringa reticulata</i> JAPANESE TREE LILAC (SR)	01	B&B	2.5" CAL. MIN. B&B	\$375.00/ \$375.00

**GENERAL LANDSCAPING**

NAME	QTY.	HEIGHT	ROOT	UNIT PRICE/ TOTAL
<i>Buxus x 'Green Velvet'</i> GREEN VELVET BOXWOOD (BX)	148	36"		\$50.00/ \$7,400.00
<i>Taxus x media 'Hicksii'</i> HICKS YEW (TH)	07	36"		\$50.00/ \$350.00
<i>Juniperus communis</i> COMMON JUNIPER (JC)	37	6"	B&B	\$50.00/ \$1,850.00
<i>Calamagrostis x acutiflora 'Karl Foerster'</i> KARL FORESTER GRASS (KF)	06	#2 CONT.		\$15.00/ \$90.00
<i>Pennisetum aloppecuroides 'Hamel'</i> HAMEL FOUNTAIN GRASS (PA)	436	#2 CONT.		\$15.00/ \$6,540.00
<i>Rubbeckia fulgida 'Goldstrum'</i> BLACK-EYED SUSAN (RF)	121	#2 CONT.		\$15.00/ \$1,815.00
<i>Hemerocallis 'Violet Light'</i> VIOLET LIGHT DAYLILY (DLG)	186	#2 CONT.		\$15.00/ \$2,790.00
<i>Thuja 'Green Giant'</i> GREEN GIANT ARBORVITAE (TGG)	51	6"	B&B	\$50.00/ \$2,550.00
<i>Leucanthemum x superbum 'Alaska'</i> SHASTA DAISY ALASKA (CS)	121	#2 CONT.		\$15.00/ \$1,815.00

NOTE: SCREENING SHRUBS TO BE MAINTAINED AS A CONTINUOUS HEDGE AT LEAST 3'-0" TALL

**UNIT LANDSCAPING**

NAME	QTY.	HEIGHT	ROOT	UNIT PRICE/ TOTAL
<i>Picea glauca</i> WHITE SPRUCE (AG)	09	8"	B&B	\$400.00/ \$3,600.00
<i>Abies concolor</i> WHITE FIR (AC)	13	8"	B&B	\$400.00/ \$5,200.00

**DETENTION PLANTING**

NAME	QTY.	HEIGHT	ROOT	UNIT PRICE/ TOTAL
<i>Cornus amomum</i> SILKY DOGWOOD (CA)	17	36"		\$50.00/ \$850.00
<i>Cornus rugosa</i> ROUND-LEAVED DOGWOOD (CR)	17	36"		\$50.00/ \$850.00
<i>Viburnum dentatum</i> ARROW-WOOD (VD)	17	36"		\$50.00/ \$850.00
EMERGENT WETLAND SEED MIX (BY CARDNO JFNEW) 39.8 LBS PER ACRE APPLICATION RATE 2.2 LBS OF EMERGENT SEED MIX 3'-6" OF TOPSOIL OR WETLAND MULCH SHALL BE PLACED IN THIS AREA. USE SEED MAT.				2,135 SF
STORMWATER SEED MIX (BY CARDNO JFNEW) 32.6 LBS PER ACRE APPLICATION RATE 2.3 LBS OF STORMWATER SEED MIX 3'-6" OF TOPSOIL SHALL BE PLACED IN THIS AREA				3,220 SF

**GRASS**

NAME	QUANTITY	UNIT PRICE/ TOTAL
KENTUCKY BLUE GRASS	22,378 SF	\$8.00(per sf)/ \$179,024.00
<b>TOTAL:</b>		<b>\$256,049.00</b>

NOTE: NO TREE SHALL BE PLANTED CLOSER THAN 10 FEET FROM A HYDRANT OR OTHER UTILITY STRUCTURE, AND 5 FEET FROM AN UNDERGROUND UTILITY LINE. ALL TREES SHALL BE PLANTED AT LEAST 3 FEET BEHIND A CURB AND FEET AWAY FROM THE PROPERTY LINE.

**OPEN SPACE CALCULATIONS**

OPEN SPACE REQUIREMENTS:  
TOTAL PARCEL X 15% = 6.87 AC X .15 = **1.03 AC**

OPEN SPACE PROVIDED:  
EAST PARK AREA (AS SHOWN) 7,671 SF  
SOUTH PARK AREA (AS SHOWN) 9,583 SF  
POOL AREA (AS SHOWN) 8,956 SF

ADDITIONAL OPEN SPACE:  
BUILDING 1  
BALCONIES 7,690 SF  
CLUB HOUSE (AS SHOWN) 7,127 SF  
COURTYARDS (AS SHOWN) 6,752 SF  
BUILDING 2  
BALCONIES 7,297 SF  
FITNESS ROOM (AS SHOWN) 3,162 SF  
COURTYARDS (AS SHOWN) 6,752 SF  
**64,990 SF = 1.49 AC**

DESIGNED BY: SPENCER J. OKESON  
DRAWN BY: S.J.O. & I.K.  
LAOR: DANIEL R. ERLANDSON  
PLOT DATE: 06/25/2021

ISSUE FOR PRICING/BIDDING: 07/02/2019  
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**REVISION SCHEDULE**

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A	08/14/2020	ADDENDUM B
B	09/25/2020	ADDENDUM C

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SECTION 22, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN  
PROJECT #: 17659



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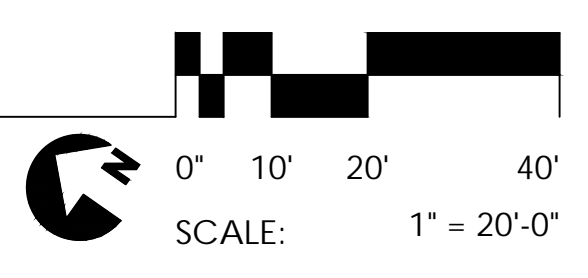
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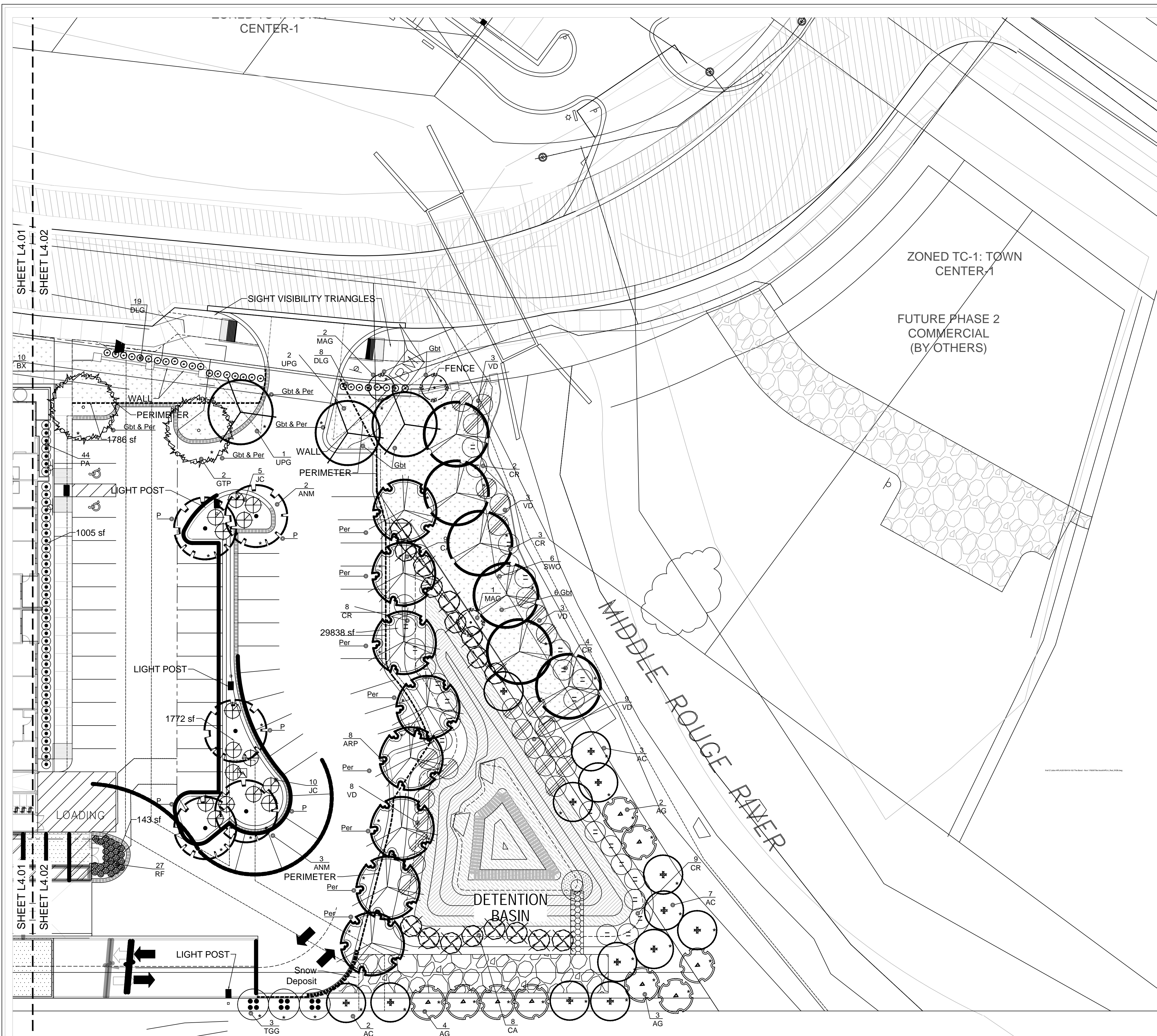
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CITY JOB #: JSP18-0010

**LANDSCAPE PLAN**

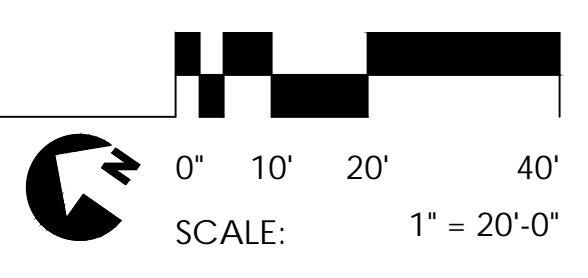
**SITE**



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LANDSCAPE PLAN  
SITE



**PLANT PALETTE - OVERALL**

GREENBELT				
NAME	QTY.	ROOT	CALIPER	UNIT PRICE/TOTAL
<i>Malus 'Adirondack'</i> ADIRONDACK CRABAPPLE (MAG)	13	B&B	2.5" CAL. MIN.	\$375.00/ \$4,875.00
<i>Ulmus x 'Pioneer'</i> PIONEER ELM (UPG)	15	B&B	3" CAL. MIN.	\$400.00/ \$6,000.00
<i>Quercus rubra</i> RED OAK (QR)	10	B&B	3" CAL. MIN.	\$400.00/ \$4,000.00
<i>Cornus florida</i> FLOWERING DOGWOOD (CF)	11	B&B	3" CAL. MIN.	\$375.00/ \$4,125.00
<i>Quercus bicolor</i> SWAMP WHITE OAK (SWO)	06	B&B	3" CAL. MIN.	\$400.00/ \$2,400.00
<i>Cornus alternifolia</i> PAGODA DOGWOOD (CA)	04	B&B	3" CAL. MIN.	\$375.00/ \$1,500.00

PARKING LOT AND PERIMETER TREES				
NAME	QTY.	ROOT	CALIPER	UNIT PRICE/TOTAL
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<i>Acer rubrum 'October Glory'</i> OCTOBER GLORY RED MAPLE (ARP)	11	B&B	3" CAL. MIN.	\$400.00/ \$4,400.00
<i>Betula nigra</i> RIVER BIRCH - MULTI STEM (BNP)	04	B&B	N/A - 15' HEIGHT	\$400.00/ \$1,600.00
<i>Gleditsia triacanthos 'Shademaster'</i> SHADEMASTER HONEY LOCUST (GTP)	12	B&B	3" CAL. MIN.	\$400.00/ \$4,800.00
<i>Liriodendron tulipifera</i> TULIP TREE (LTP)	11	B&B	3" CAL. MIN.	\$400.00/ \$4,400.00
<i>Syringa reticulata</i> JAPANESE TREE LILAC (SR)	01	B&B	2.5" CAL. MIN. B&B	\$375.00/ \$375.00

GENERAL LANDSCAPING				
NAME	QTY.	HEIGHT	ROOT	UNIT PRICE/TOTAL
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<i>Pennisetum alopecuroides 'Hameln'</i> HAEMELN FOUNTAIN GRASS (PA)	436	#2 CONT.		\$15.00/ \$6,540.00
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<i>Leucanthemum x superbum 'Alaska'</i> SHASTA DAISY ALASKA (CS)	121	#2 CONT.		\$15.00/ \$1,815.00

UNIT LANDSCAPING				
NAME	QTY.	HEIGHT	ROOT	UNIT PRICE/TOTAL
<i>Picea glauca</i> WHITE SPRUCE (AG)	09	8"	B&B	\$400.00/ \$3,600.00
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DETENTION PLANTING				
NAME	QTY.	HEIGHT	ROOT	UNIT PRICE/TOTAL
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GRASS		
NAME	QUANTITY	UNIT PRICE/TOTAL
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<b>TOTAL: \$256,049.00</b>		

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**OPEN SPACE CALCULATIONS**

OPEN SPACE REQUIREMENTS: TOTAL PARCEL X 15% = 6.87 AC X .15 = <b>1.03 AC</b>	
OPEN SPACE PROVIDED: EAST PARK AREA (AS SHOWN) 7,671 SF SOUTH PARK AREA (AS SHOWN) 9,583 SF POOL AREA (AS SHOWN) 8,956 SF	
ADDITIONAL OPEN SPACE: BUILDING 1 BALCONIES 7,690 SF CLUB HOUSE (AS SHOWN) 7,127 SF COURTYARDS (AS SHOWN) 6,752 SF BUILDING 2 BALCONIES 7,297 SF FITNESS ROOM (AS SHOWN) 3,162 SF COURTYARDS (AS SHOWN) 6,752 SF	
<b>64,990 SF = 1.49 AC</b>	

DESIGNED BY: SPENCER J. OKESON  
DRAWN BY: S.J.O. & I.K.  
LAOR: DANIEL R. ERLANDSON  
PLOT DATE: 06/25/2021

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07/02/2019

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01/22/2021

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REVISION SCHEDULE		
NO.	DATE	DESCRIPTION
A	08/14/2020	ADDENDUM B
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SECTION 22, TOWN 1 NORTH,  
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SHEET TITLE  
**LANDSCAPE PLAN**

SHEET NUMBER  
**L4.02**

SCALE: AS INDICATED  
CITY JOB #: JSP18-0010



REVISED PER CITY OF NOVI ELEC. STAMPING - 2021-JUNE-25



DESIGNED BY: SPENCER J. OKESON  
 DRAWN BY: S.J.O. & I.K.  
 LAOR: DANIEL R. ERLANDSON  
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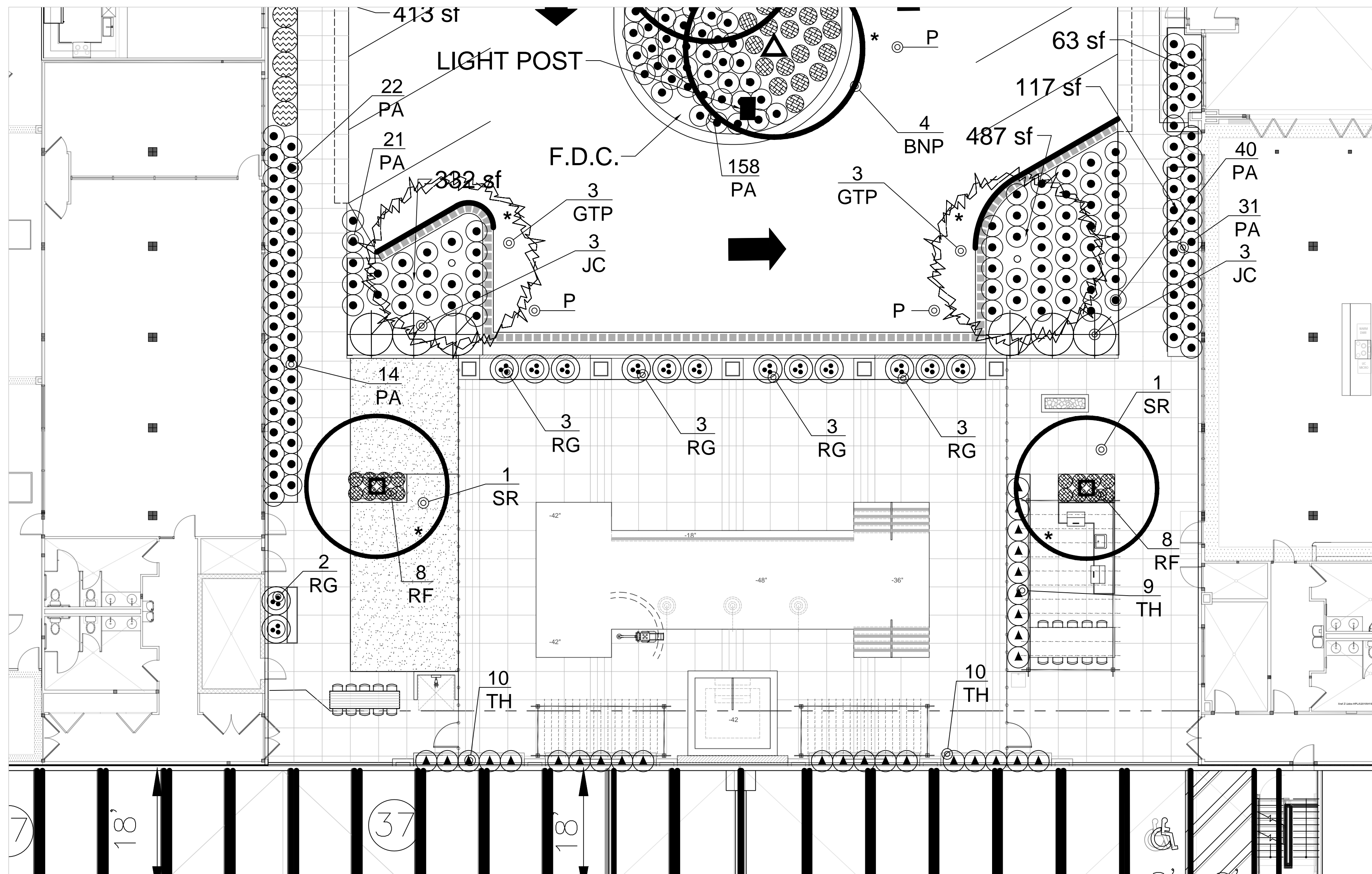
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REVISION SCHEDULE

NO.	DATE	DESCRIPTION
△	08/14/2020	ADDENDUM B
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PLANT PALETTE - POOL COURTYARD

ORNAMENTAL TREES

NAME	QTY.	SIZE	CALIPER	UNIT PRICE/TOTAL
<i>Syringa reticulata</i> JAPANESE TREE LILAC (SR)	02	36" BOX	2.5" CAL. MIN. B&B	\$375.00/ \$800.00

SHRUBS

NAME	QTY.	SIZE	HEIGHT	UNIT PRICE/TOTAL
<i>Taxus canadensis</i> CANADA YEW (RG)	14	#5 CONT.	MIN. 30" HT.	\$50.00/ \$700.00
<i>Pennisetum alopecuroides</i> 'Hamelii' HAMELII FOUNTAIN GRASS (PA)	14	#2 CONT.		\$15.00/ \$210.00
<i>Taxus x media</i> 'Hicksii' HICKS YEW (TH)	29	36"		\$50.00/ \$1,450.00

GROUNDCOVERS

NAME	QTY.	SIZE	HEIGHT	UNIT PRICE/TOTAL
<i>Rudbeckia fulgida</i> 'Goldstrum' BLACK-EYED SUSAN (RF)	16	#2 CONT.		\$15.00/ \$240.00

TOTAL: \$3,400.00

NOTE: NO TREE SHALL BE PLANTED CLOSER THAN 10 FEET FROM A HYDRANT OR OTHER UTILITY STRUCTURE, AND 5 FEET FROM AN UNDERGROUND UTILITY LINE. ALL TREES SHALL BE PLANTED AT LEAST 3 FEET BEHIND A CURB AND FEET AWAY FROM THE PROPERTY LINE.

THE BOND OF NOVI

SECTION 22, TOWN 1 NORTH,  
 RANGE 8 EAST, CITY OF NOVI,  
 OAKLAND COUNTY, MICHIGAN

PROJECT #: 17659



REVISED PER CITY OF NOVI ELEC. STAMPING - 2021-JUNE-25

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 LANDSCAPE ARCHITECTURE, L.L.C.  
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 DALLAS, TX 75240  
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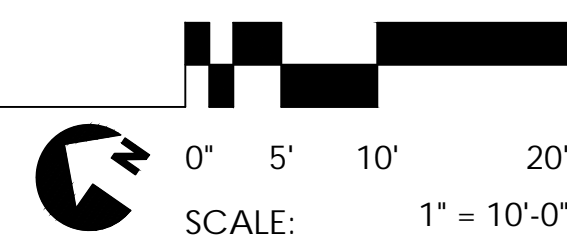
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SHEET NUMBER  
 L4.03

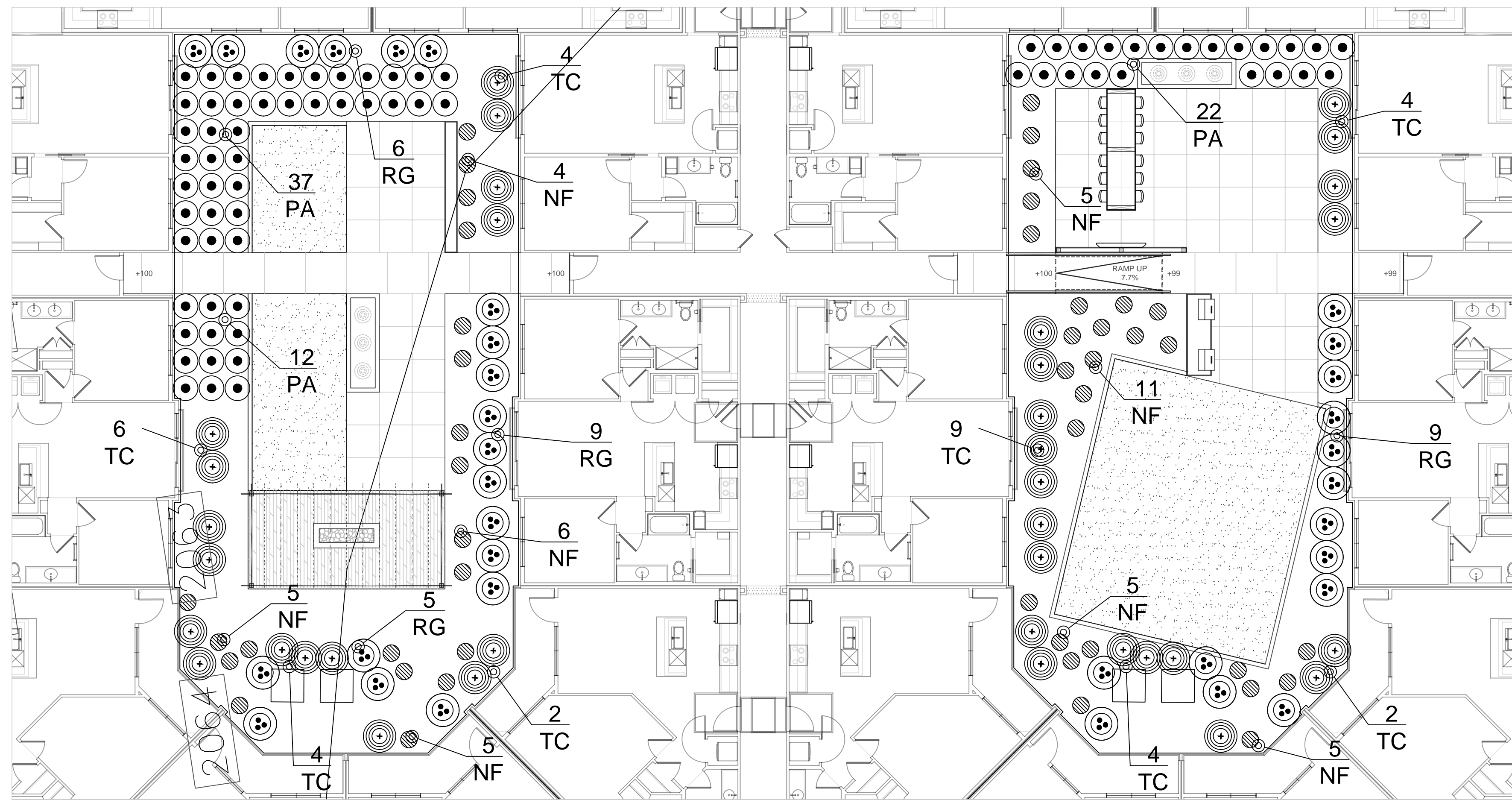
SCALE: AS INDICATED  
 CITY JOB #: JSP18-0010

LANDSCAPE PLAN

POOL AMENITY SPACE

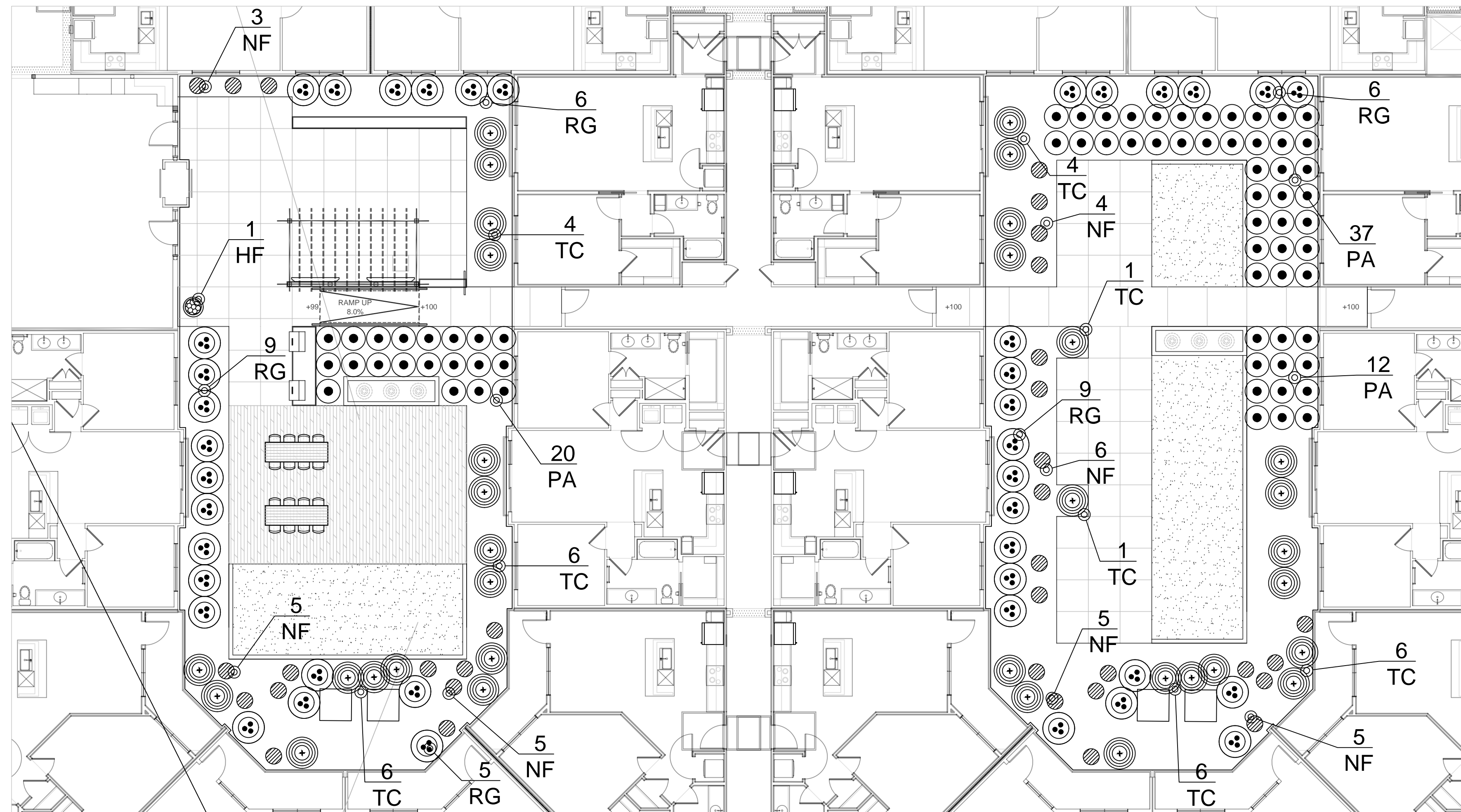
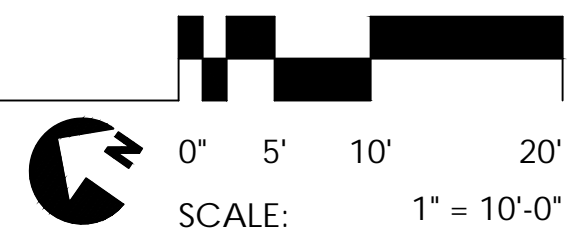


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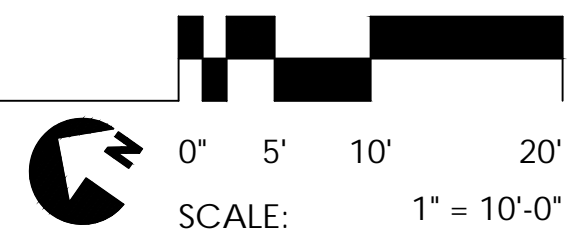
LANDSCAPE PLAN

WEST COURTYARDS



LANDSCAPE PLAN

EAST COURTYARDS



PLANT PALETTE - WEST COURTYARDS

SHRUBS		QTY.	SIZE	HEIGHT	UNIT PRICE/	TOTAL
	<i>Ilex glabra</i> INKBERRY (RG)	37	#5 CONT.	MIN. 30" HT.	\$50.00/	\$1,850.00
	<i>Taxus canadensis</i> CANADA YEW (TC)	35	#5 CONT.	MIN. 30" HT.	\$15.00/	\$525.00

ACCENTS		QTY.	SIZE	HEIGHT	UNIT PRICE/	TOTAL
	<i>Nepeta x faassenii</i> 'Walker's Low' WALKER'S LOW CATMINT (NF)	46	#3 CONT.		\$15.00/	\$690.00
	<i>Pennisetum alopecuroides</i> 'Hameln' HAMELN FOUNTAIN GRASS (PA)	71	#2 CONT.		\$15.00/	\$1,065.00

**TOTAL: \$4,130.00**

NOTE: NO TREE SHALL BE PLANTED CLOSER THAN 10 FEET FROM A HYDRANT OR OTHER UTILITY STRUCTURE, AND 5 FEET FROM AN UNDERGROUND UTILITY LINE. ALL TREES SHALL BE PLANTED AT LEAST 3 FEET BEHIND A CURB AND FEET AWAY FROM THE PROPERTY LINE.

PLANT PALETTE - EAST COURTYARDS

SHRUBS		QTY.	SIZE	HEIGHT	UNIT PRICE/	TOTAL
	<i>Ilex glabra</i> INKBERRY (RG)	40	#5 CONT.	MIN. 30" HT.	\$50.00/	\$2,000.00
	<i>Taxus canadensis</i> CANADA YEW (TC)	34	#5 CONT.	MIN. 30" HT.	\$15.00/	\$510.00

ACCENTS		QTY.	SIZE	HEIGHT	UNIT PRICE/	TOTAL
	<i>Hosta</i> 'Francee' FRANCEE HOSTA (HF)	01	#3 CONT.		\$15.00/	\$15.00
	<i>Pennisetum alopecuroides</i> 'Hameln' HAMELN FOUNTAIN GRASS (PA)	69	#2 CONT.		\$15.00/	\$1,035.00
	<i>Iris versicolor</i> BLUE FLAG IRIS (NF)	33	#3 CONT.		\$15.00/	\$495.00

**TOTAL: \$4,055.00**

NOTE: NO TREE SHALL BE PLANTED CLOSER THAN 10 FEET FROM A HYDRANT OR OTHER UTILITY STRUCTURE, AND 5 FEET FROM AN UNDERGROUND UTILITY LINE. ALL TREES SHALL BE PLANTED AT LEAST 3 FEET BEHIND A CURB AND FEET AWAY FROM THE PROPERTY LINE.

DESIGNED BY: SPENCER J. OKESON  
 DRAWN BY: S.J.O. & I.K.  
 LAOR: DANIEL R. ERLANDSON  
 PLOT DATE: 06/25/2021

ISSUE FOR PRICING/BIDDING:  
 07/02/2019

ISSUE FOR PERMIT APPLICATION:  
 01/22/2021

ISSUE FOR CONSTRUCTION:  
 ISSUE DATE

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
A	08/14/2020	ADDENDUM B
A	09/25/2020	ADDENDUM C

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SECTION 22, TOWN 1 NORTH,  
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THE BOND OF NOVI



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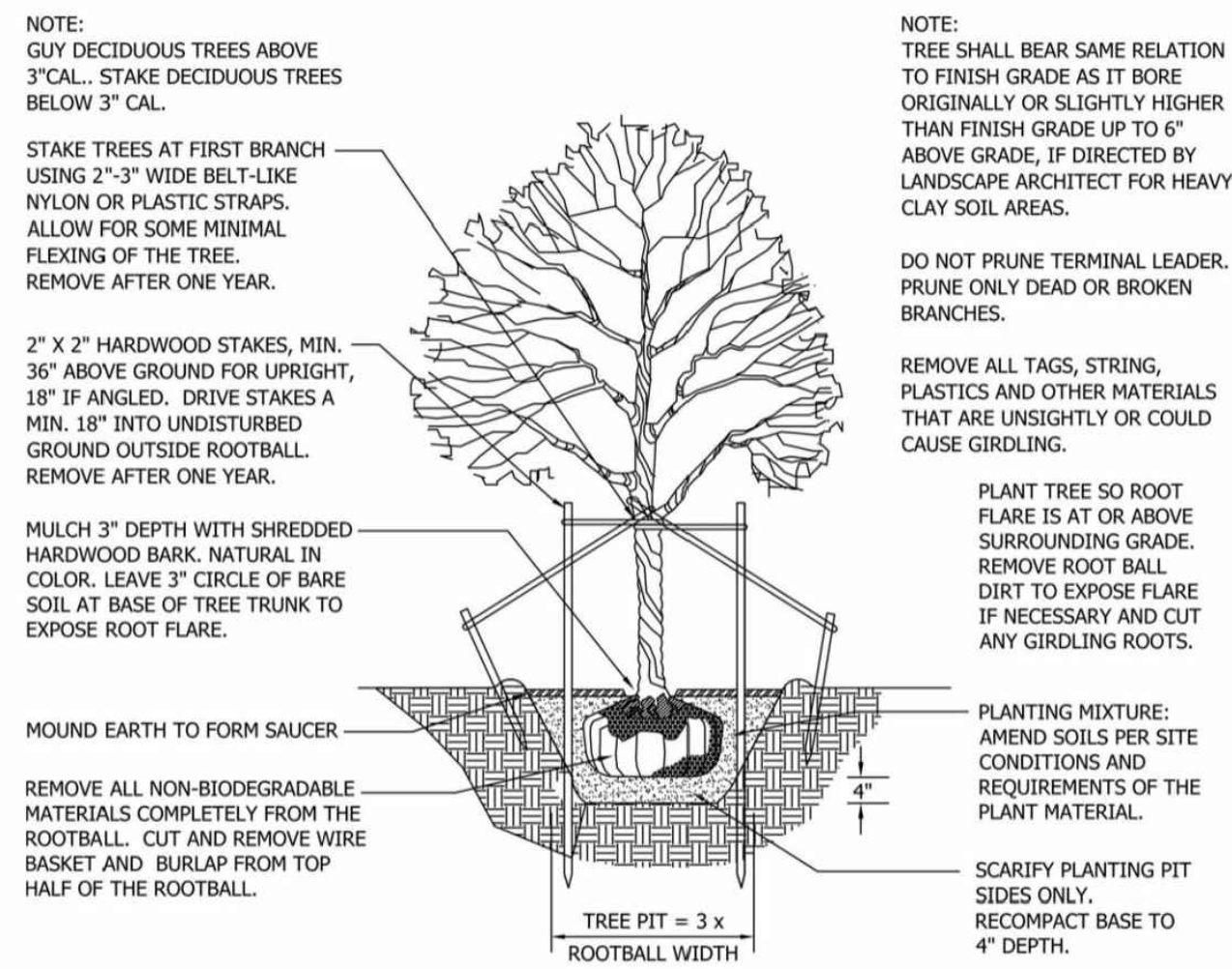
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SHEET NUMBER  
 L4.04

SCALE: AS INDICATED  
 CITY JOB #: JSP18-0010



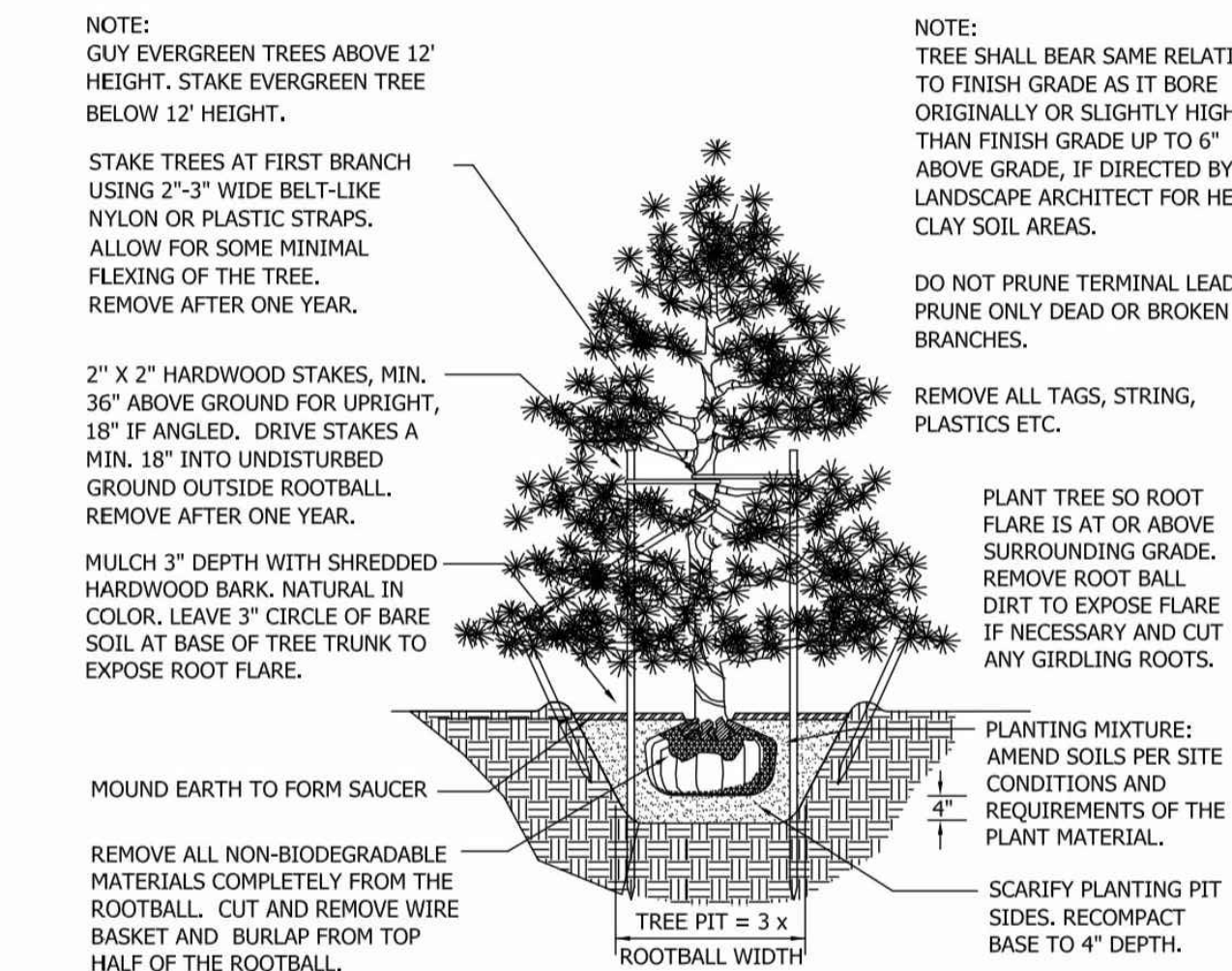
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**DECIDUOUS TREE PLANTING DETAIL**

Not to scale

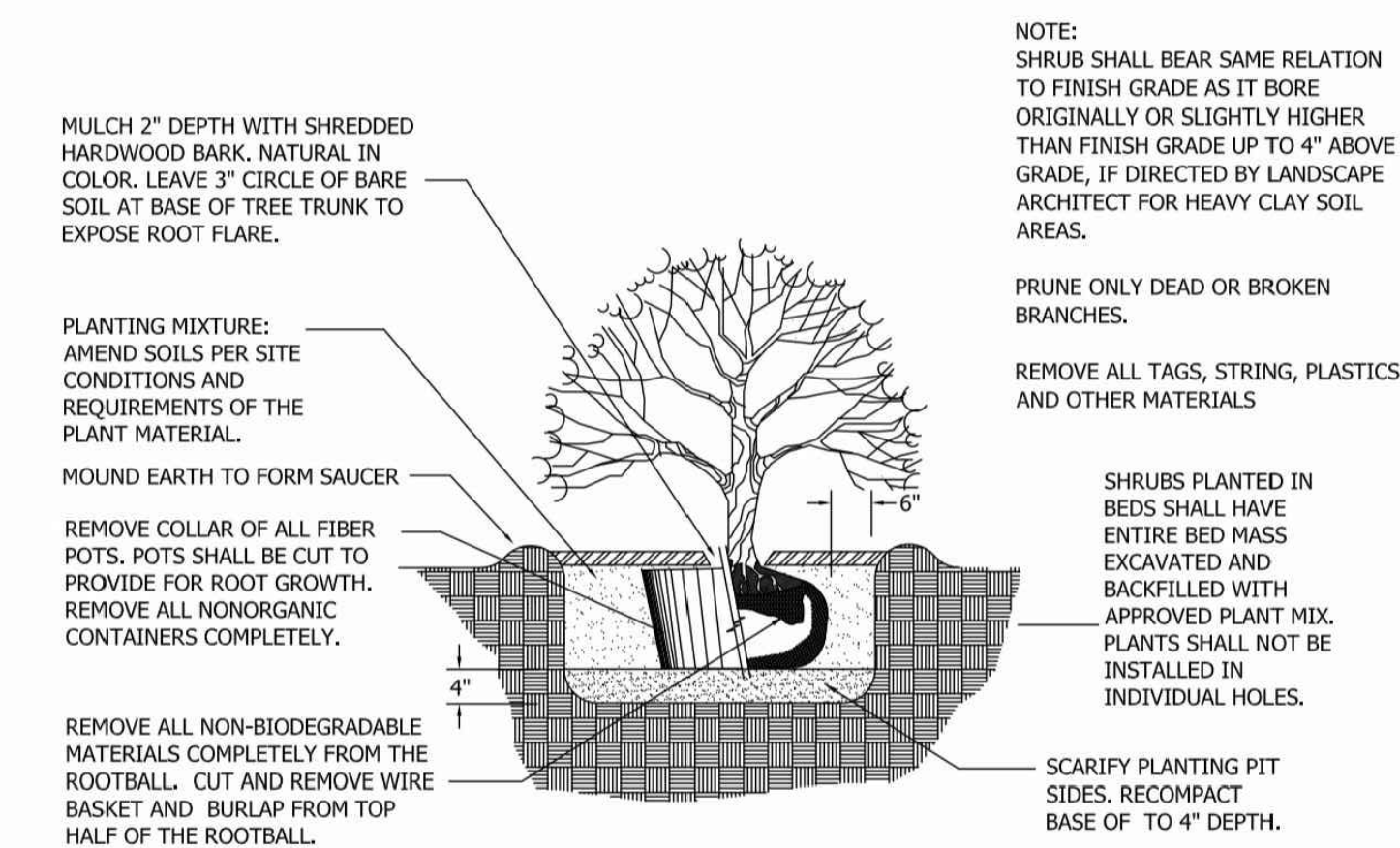
2-15-2016



**EVERGREEN TREE PLANTING DETAIL**

Not to scale

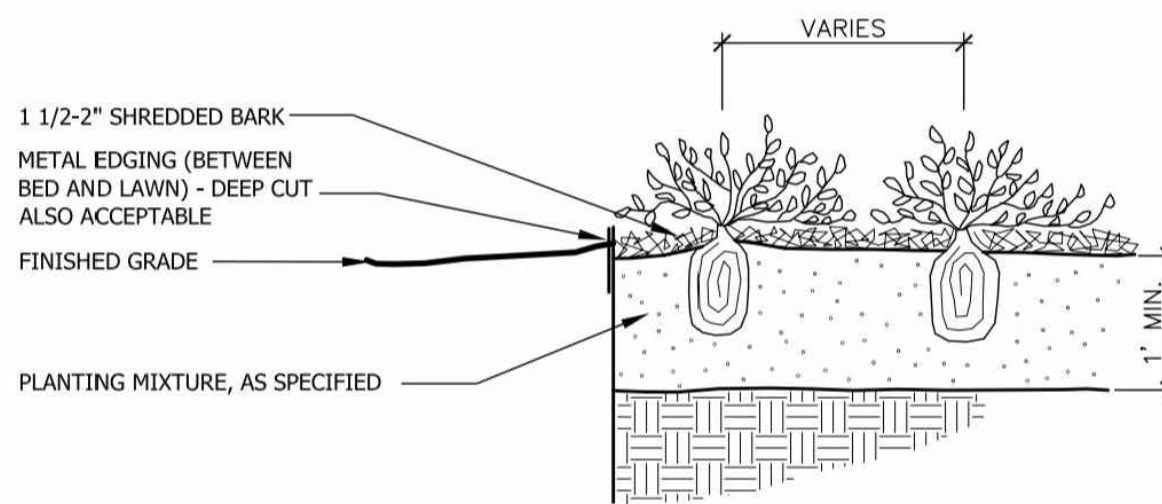
2-15-2016



**SHRUB PLANTING DETAIL**

NOT TO SCALE

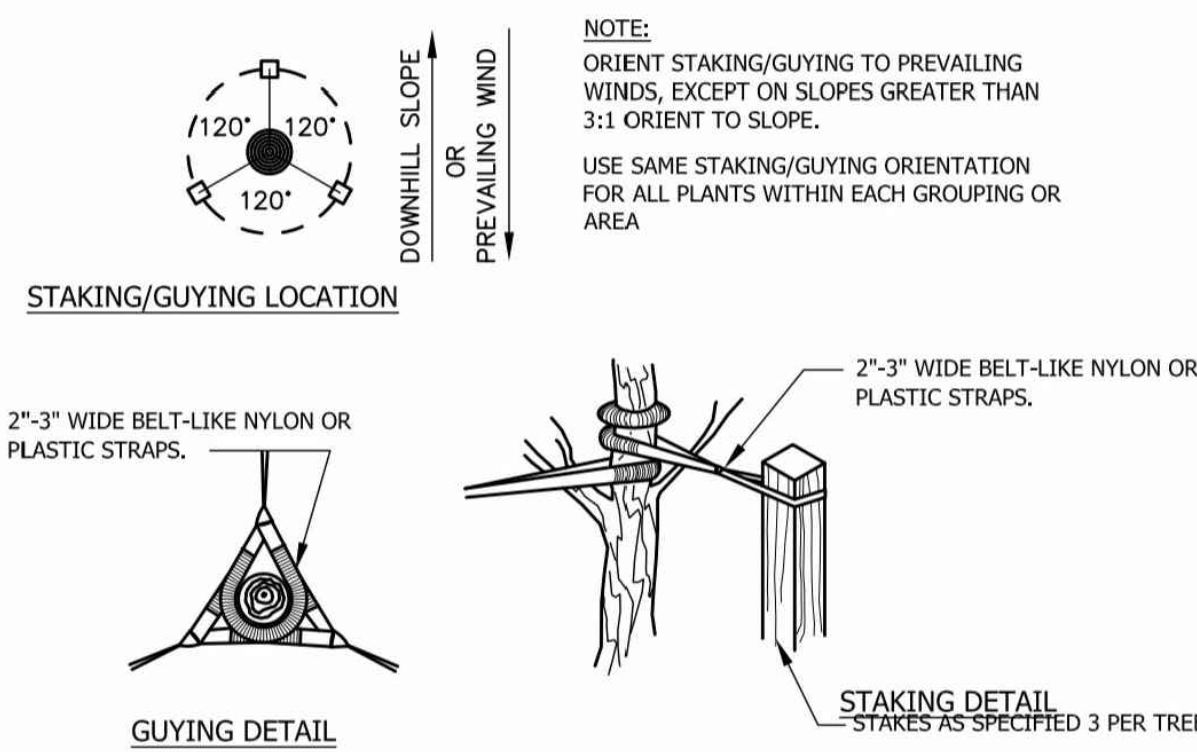
2-15-2016



**PERENNIAL PLANTING DETAIL**

Not to scale

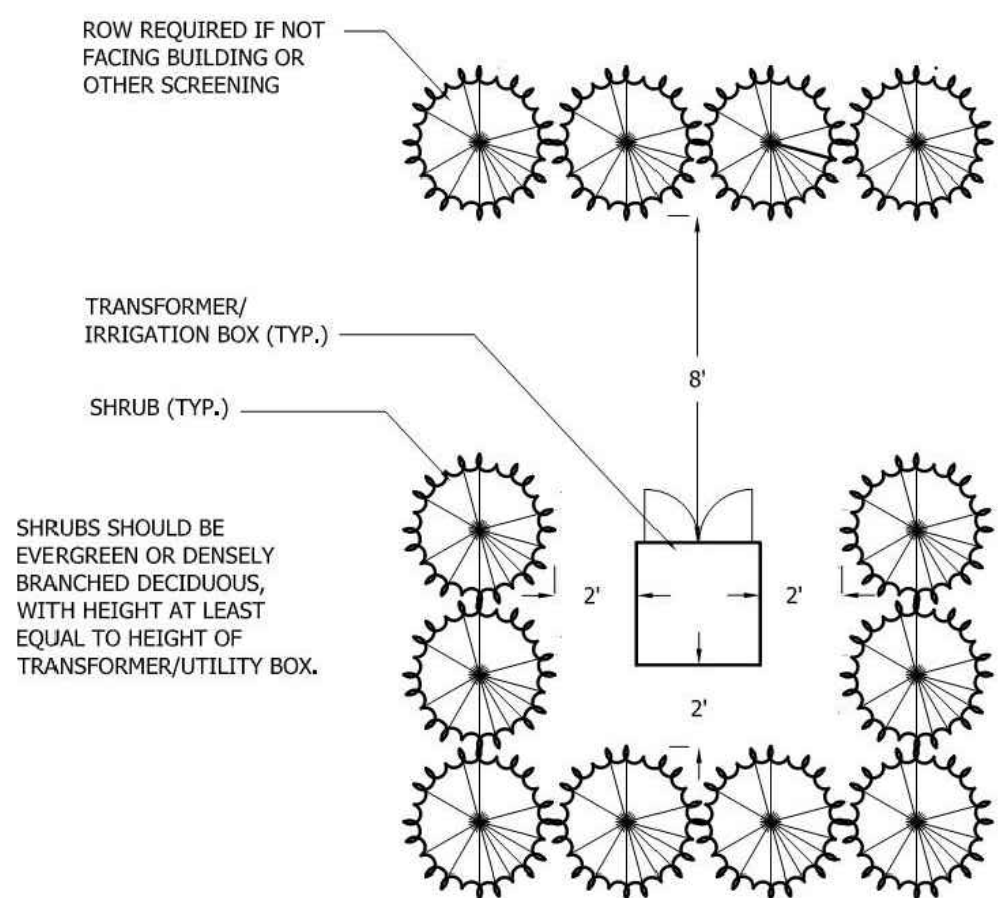
2-15-2016



**TREE STAKING DETAIL**

Not to scale

2-15-2016



**TRANSFORMER SCREENING DETAIL**

Not to scale

2-15-2016

**LANDSCAPE SUMMARY - MULTI-FAMILY**

Existing Zoning	TC-1
<b>GREENBELT ("Gbt")</b>	
Street Frontage Adjacent to Pkg.	230'
Trees Required	10 Trees (230' / 25')
Trees Provided	17 Trees
Ornamental Trees Required	16 Trees (230' / 15')
Ornamental Trees Provided	16 Trees
Street Frontage not Adjacent to Pkg.	850'
Less Drive Openings	159'
Net Frontage	691'
Trees Required	23 Trees (691' / 30')
Trees Provided	24 Trees
Ornamental Trees Required	35 Trees (691' / 20')
Ornamental Trees Provided	09 Trees
<b>PARKING LOT LANDSCAPING ("P")</b>	
Vehicular Use Area	68,138 SF
(Exclusive of Deck)	
VUA up to 50,000 SF	3,750 SF (50,000 x 7.5%)
VUA Over 50,000 SF	181 SF (18,138 x 1%)
Landscape Area Required	3,931 SF
Landscape Area Provided	4,376 SF
Trees Required	20 Trees (734' / 35')
Trees Provided	21 Trees
<b>PARKING LOT PERIMETER LENGTH ("Per")</b>	
Parking Lot Perimeter Length	1,010 LF
Trees Required	29 Trees (1,010' / 35')
Trees Provided	30 Trees
<b>MULTI-FAMILY UNIT TREES TOTAL ("**")</b>	
Trees Required	171 Trees
Trees Provided	171 Trees

**Notes:**

- Transformer to be screened per detail on sheet L-3 of preliminary landscape submittal by Allen Design.
- Plantings shall be located to be closer than 4' to property lines.
- Plantings shall be no closer than 10' to hydrants and utility structures
- No Japanese Knotweed is present on the site. Phragmites australis is found on site, refer to L4.06 for removal instructions and refer to LWP1.00 for approximate locations.
- No replacement trees are proposed to be planted on site and a payment of \$77,200 (193 tree credits x \$400) will be paid into the City of Novi Tree Fund.

**FOUNDATION LANDSCAPING - INCLUDING DECK**

Building Perimeter	2,072 LF
Landscape Required	16,576 SF (2,072' x 8')
Landscape Provided	16,645 SF

**MULTI-FAMILY REQUIREMENTS**

Units Proposed	57 Units (Ground Floor)
Trees Required	171 Trees (57 x 3)
Trees Provided	171 Trees

**WOODLAND REPLACEMENT**

Trees Required	193 Trees
Trees Provided	0 Trees
Trees to be Paid Into Fund	193 Trees

**DETENTION POND**

High Water Length	411 LF
Plantings Required	288 LF (411' x 70%)
Plantings Provided	300 LF (73%)

**WAIVERS GRANTED BY PLANNING COMMISSION ON 6/27/18:**

- Landscape waiver from Sec. 5.5.3.B.ii for the lack of a berm and screening as the applicant proposed a line of arbovitae along the property line to soften the view toward the railroad tracks and industrial site beyond in lieu of required landscape screening
- Landscape waiver from Sec. 5.5.3.B.ii for a reduction in the required greenbelt width between the right-of-way and parking areas along Flint/Bond Street (20 ft. width required, a range of 10 ft. to 20 ft. provided). A 2.5 foot brick wall screening the parking and additional landscaping in the narrower areas help to compensate for the lack of space in the areas with just a 10 foot greenbelt
- Landscape waiver from Sec. 5.5.3.F.ii.b(1) for a reduction in the total number multifamily unit trees provided (147 trees required, 127 provided) as the reduction is only 14% from the total requirements and the site is otherwise well-landscaped
- Landscape waiver from Sec. 5.5.3.F.ii.B(2) for the reduction in the number of interior roadway perimeter trees provided (1 tree short) due to conflict with fire access lane (grass pavers)
- Landscape waiver from Sec. 5.5.3.D. for the deficiency in the foundation landscaping coverage around the parking deck due to limited space available along the southwest side, along the railroad. Large arbovitae are proposed in that area to help screen the view of the railroad and the industrial site.
- Landscape waiver from Sec. 5.5.3.C.(3) Chart footnote for not proposing the required parking lot perimeter trees for the temporary gravel parking proposed to be constructed for use by visitors to Novi Cemetery in Phase 1 (11 trees required, 0 proposed) as the landscape requirements will be met at the time of Phase 3 construction within a certain time mutually agreed between the applicant and the City.

ADDITIONAL LANDSCAPE WAIVERS APPROVED BY THE PLANNING COMMISSION ON 12/9/2020:  
Revision of the landscape waiver from Sec. 5.5.3.F.ii.b(1) for a deficiency in the number of total number multifamily unit trees provided (171 required, 129 provided) as the number of ground floor units has increased but the building footprint has not changed and the site is otherwise well-landscaped

**Landscape Notes:**

- All plants shall be North Midwest American region grown, No. 1 grade plant materials, and shall be true to name, free from physical damage and wind burn.
- Plants shall be full, well-branched, and in healthy vigorous growing condition.
- Plants shall be watered before and after planting is complete.
- All trees must be staked, fertilized and mulched and shall be guaranteed to exhibit a normal growth cycle for at least (2) full years following city approval.
- All material shall conform to the guidelines established in the most recent edition of the American Standard for Nursery Stock.
- Provide clean backfill soil, using material stockpiled on site. Soil shall be screened and free of any debris, foreign material shall be added to the planting pits before being backfilled.
- "Agrifom" tabs or similar slow-release fertilizer shall be added to the planting pits before being backfilled.
- Amended planting mix shall consist of 1/3 screened topsoil, 1/3 sand and 1/3 compost, mixed well and spread to the depth as indicated in planting details.
- All plantings shall be mulched per planting details located on this sheet.
- The landscape contractor shall be responsible for all work shown on the landscape drawings and specifications.
- No substitutions or changes of location, or plant types shall be made without the approval of the landscape Architect.
- The City of Novi's Landscape Architect shall be notified of any discrepancies between the plans and field conditions prior to installation.
- The Landscape Contractor shall be responsible for maintaining all plant material in a vertical condition throughout the guaranteed period.
- The Landscape Architect shall have the right, at any stage of the installation, to reject any work or material that does not meet the requirements of the plans and specifications, if requested by owner.
- Contractor shall be responsible for checking plant quantities to ensure quantities on drawings and plant list are the same. In the event of a discrepancy, the quantities on the plans shall prevail.
- The Landscape Contractor shall seed and mulch or sod (as indicated on plans) all areas disturbed during construction, throughout the contract limits.
- A pre-emergent weed control agent, "Preen" or equal, shall be applied uniformly on top of all mulched in all planting beds.
- All landscape areas shall be provided with an underground automatic sprinkler system.
- Sod shall be two year old "Baron/Cheridelphi" Kentucky Blue Grass grown in a sod nursery on loam soil.

**City of Novi Notes:**

- All landscape islands shall be backfilled with a sand mixture to facilitate drainage.
- All proposed landscape islands shall be curbed.
- All proposed landscape areas shall be irrigated.
- Overhead utility lines and poles to be relocated as directed by utility company of record.
- Evergreen and canopy trees shall be planted a minimum of 10' from a fire hydrant, and manhole, 15' from overhead wires.
- All plant material shall be guaranteed for two (2) years after City Approval and shall be installed and maintained according to City of Novi standards. Failing material shall be replaced with 3 months, or the next appropriate time as determined by the City Landscape Architect.
- All proposed street trees shall be planted a minimum of 4' from both the back of curb and proposed walks.
- All tree and shrub planting beds shall be mulched with shredded hardwood bark, spread to minimum depth of 4". All lawn area trees shall have a 4' diameter circle of shredded hardwood mulch 3" away from trunk. All perennial, annual and ground cover beds shall receive 2" of dark colored bark mulch as indicated on the plant list. Mulch is to be free from debris and foreign material, and shall contain no pieces of inconsistent size.
- All substitutions or deviations from the Landscape Plan must be approved in writing by the City of Novi prior to their installation.

DESIGNED BY: SPENCER J. OKESON  
DRAWN BY: S.J.O. & I.K.  
LAOR: DANIEL R. ERLANDSON  
PLOT DATE: 06/25/2021

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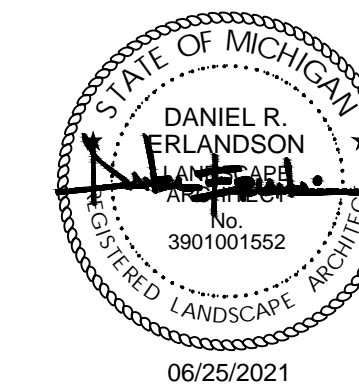
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SUITE C,  
LANSING, MI 48912

SHEET TITLE  
**LANDSCAPE PLAN**

SHEET NUMBER  
**L4.05**

SCALE: AS INDICATED  
CITY JOB #: JSP18-0010



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\*ALL TRANSFORMERS SHALL BE SCREENED PER THIS DETAIL

DESIGNED BY: SPENCER J. OKESON  
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Emergent Wetland Seed Mix		
Botanical Name	Common Name	PLS Ounces/Acre
<b>Permanent Grasses/Sedges/Rushes:</b>		
<i>Bolboschoenus fluviatilis</i>	River Bulrush	1.00
<i>Carex comosa</i>	Bristly Sedge	2.50
<i>Carex lacustris</i>	Common Lake Sedge	0.50
<i>Carex lurida</i>	Bottlebrush Sedge	4.00
<i>Carex stricta</i>	Common Tussock Sedge	1.00
<i>Carex vulpinoidea</i>	Brown Fox Sedge	2.00
<i>Eleocharis palustris</i>	Great Spike Rush	1.00
<i>Juncus effusus</i>	Common Rush	1.00
<i>Leersia oryzoides</i>	Rice Cut Grass	3.00
<i>Schoenoplectus acutus</i>	Hard-Stemmed Bulrush	2.50
<i>Schoenoplectus pungens</i>	Chairmaker's Rush	1.50
<i>Schoenoplectus tabernaemontani</i>	Great Bulrush	6.00
	<b>Total</b>	<b>26.00</b>
<b>Temporary Cover:</b>		
<i>Avena sativa</i>	Common Oat	360.00
<i>Lolium multiflorum</i>	Annual Rye	100.00
	<b>Total</b>	<b>460.00</b>
<b>Forbs:</b>		
<i>Acorus americanus</i>	Sweet Flag	1.00
<i>Alisma subcordatum</i>	Common Water Plantain	2.00
<i>Asclepias incarnata</i>	Swamp Milkweed	1.00
<i>Boehmeria cylindrica</i>	False Nettle	1.00
<i>Cephalanthus occidentalis</i>	Butterbush	6.00
<i>Decodon verticillatus</i>	Swamp Loosestrife	0.50
<i>Eutrochium maculatum</i>	Spotted Joe-Pye Weed	0.50
<i>Hibiscus spp.</i>	Rose Mallow Species	4.00
<i>Iris virginica v. shrevei</i>	Blue Flag	6.00
<i>Lobelia cardinalis</i>	Cardinal Flower	0.25
<i>Lobelia siphilitica</i>	Great Blue Lobelia	0.25
<i>Lycopus americanus</i>	Common Water Horehound	1.00
<i>Mimulus ringens</i>	Monkey Flower	1.00
<i>Peltandra virginica</i>	Arrow Arum	16.00
<i>Penthorum sedoides</i>	Ditch Stonecrop	0.50
<i>Persicaria spp.</i>	Pinkweed Species	2.00
<i>Pontederia cordata</i>	Pickereel Weed	4.00
<i>Sagittaria latifolia</i>	Common Arrowhead	2.00
<i>Sparganium eurycarpum</i>	Common Bur Reed	6.00
<i>Verbena hastata</i>	Blue Vervain	1.00
	<b>Total</b>	<b>56.00</b>

Mix Statistics				
Native Component	PLS lbs./Acre	PLS Seeds/Acre	PLS Seeds/Sq. Ft.	% of Native Mix
Forbs	1,354,097	31.09	34.63%	
Grasses	1.63	2,556,083	58.68	65.37%
Total Natives	5.13	3,910,179	89.77	100.00%
Cover	28.75	4,343,800	99.72	
Totals	33.88	8,253,979	189.49	

Prior to applying the detention basin seed, the contractor shall provide proof of the seed mix being used in the detention basin in the form of a photograph of the seed bag or invoice via email to Rick Meader at rmeader@cityofnovi.org

Stormwater Seed Mix		
Botanical Name	Common Name	PLS Ounces/Acre
<b>Permanent Grasses/Sedges/Rushes:</b>		
<i>Bolboschoenus fluviatilis</i>	River Bulrush	1.00
<i>Carex cristatella</i>	Crested Oval Sedge	0.50
<i>Carex lurida</i>	Bottlebrush Sedge	3.00
<i>Carex vulpinoidea</i>	Brown Fox Sedge	2.00
<i>Elymus virginicus</i>	Virginia Wild Rye	24.00
<i>Glyceria striata</i>	Fowl Manna Grass	1.00
<i>Juncus effusus</i>	Common Rush	1.00
<i>Leersia oryzoides</i>	Rice Cut Grass	1.00
<i>Panicum virgatum</i>	Switch Grass	2.00
<i>Schoenoplectus tabernaemontani</i>	Great Bulrush	3.00
<i>Scirpus atrovirens</i>	Dark Green Rush	2.00
<i>Scirpus cyperinus</i>	Wool Grass	1.00
	<b>Total</b>	<b>41.50</b>
<b>Temporary Cover:</b>		
<i>Avena sativa</i>	Common Oat	360.00
<i>Lolium multiflorum</i>	Annual Rye	100.00
	<b>Total</b>	<b>460.00</b>
<b>Forbs &amp; Shrubs:</b>		
<i>Alisma subcordatum</i>	Common Water Plantain	2.50
<i>Asclepias incarnata</i>	Swamp Milkweed	2.00
<i>Bidens spp.</i>	Bidens Species	2.00
<i>Eupatorium perfoliatum</i>	Common Boneset	1.00
<i>Helenium autumnale</i>	Shreezweed	2.00
<i>Iris virginica v. shrevei</i>	Blue Flag	4.00
<i>Lycopus americanus</i>	Common Water Horehound	0.50
<i>Mimulus ringens</i>	Monkey Flower	1.00
<i>Penthorum sedoides</i>	Ditch Stonecrop	0.50
<i>Persicaria spp.</i>	Pinkweed Species	2.00
<i>Rudbeckia subtomentosa</i>	Sweet Black-Eyed Susan	1.00
<i>Rudbeckia triloba</i>	Brown-Eyed Susan	1.50
<i>Sagittaria latifolia</i>	Common Arrowhead	1.00
<i>Senna hebecarpa</i>	Wild Senna	2.00
<i>Symphotrichum lanceolatum</i>	Panicked Aster	0.50
<i>Symphotrichum novae-angliae</i>	New England Aster	0.50
<i>Thalictrum dasycarpum</i>	Purple Meadow Rue	2.00
	<b>Total</b>	<b>26.00</b>

Mix Statistics				
Native Component	PLS lbs./Acre	PLS Seeds/Acre	PLS Seeds/Sq. Ft.	% of Native Mix
Forbs	1.63	1,334,949	30.65	32.19%
Grasses	2.59	2,812,650	64.57	67.81%
Total Natives	4.22	4,147,599	95.22	100.00%
Cover	28.75	4,343,800	99.72	
Totals	32.97	8,491,399	194.94	

Phragmites Removal Treatment:

Phragmites australis is a plant that grows in dense monocultures that will outcompete native vegetation. If Phragmites is not managed, they can restrict water flow, fish migration, and native plant growth. These plants can reach 20 feet in height. Nearly 80% of their yearly biomass is contained underground in the form of dense root mass and rhizomes. Mature plants can produce more than 2000 seeds a year. Rhizomes may exceed 60 feet in length and grow more than 6 feet per year. Herbicide treatment is the recommended management option to control Phragmites. After an herbicide treatment, using a prescribed fire is a great way to manage Phragmites duff and seed heads.

Apply a glyphosate after the plants are in full bloom in the late summer up until the first killing frost. The glyphosate can be applied by a backpack sprayer or hand swiping. When using a sprayer, use only on low wind days. Spray close to the leaves and use a flat fan nozzle to avoid non-target plants. The backpack sprayer is best used in scattered to dense stands. Hand swiping or wicking is covering each individual stem and leaf by applying herbicide to a cloth glove worn over a chemical resistant glove. This is best utilized when Phragmites is scattered or isolated. Also this method is preferred if there are areas of desirable, native plant species that must be avoided. The recommended herbicide rate is 1-2% (2 ounces per gallon). A blue dye (2 ounces per gallon) is recommended to identify the coverage and location of spraying. It may be necessary to retreat the following years because the herbicide may have not thoroughly transferred through the root system. The recommended glyphosate to use on Phragmites include Rodeo, Aquamaster, and AquaNeat.

Prescribed fire is an effective tool for the removal of Phragmites and may promote native vegetation growth. It is recommended to use prescribed fire where large, dense stands of Phragmites occur. The use of prescribed fire without first treating the area with herbicide does not control Phragmites. Prescribed fire should be conducted in the late summer of the following year after the herbicide treatment. This will allow some time for native vegetation to green-up before the first frost, kill any remaining Phragmites, and destroy seed heads and dead stems.

The ideal treatment plan is to use a glyphosate herbicide treatment in September the first year. A prescribed fire in July or August of year two would remove dead debris and seed heads. In September, a follow-up glyphosate treatment to spot treat remaining Phragmites plant. In year three, an additional September spot treatment may be needed if any Phragmites remain.

OPEN SPACE CALCULATIONS

OPEN SPACE REQUIREMENTS:  
 TOTAL PARCEL X 15% = 6.87 AC X .15 = 1.03 AC

OPEN SPACE PROVIDED:  
 EAST PARK AREA (AS SHOWN) 7,671 SF  
 SOUTH PARK AREA (AS SHOWN) 9,583 SF  
 POOL AREA (AS SHOWN) 8,956 SF

ADDITIONAL OPEN SPACE:  
 BUILDING 1  
 BALCONIES 7,690 SF  
 CLUB HOUSE (AS SHOWN) 7,127 SF  
 COURTYARDS (AS SHOWN) 6,752 SF  
 BUILDING 2  
 BALCONIES 7,297 SF  
 FITNESS ROOM (AS SHOWN) 3,162 SF  
 COURTYARDS (AS SHOWN) 6,752 SF  
 64,990 SF = 1.49 AC



Call MISS DIG before digging  
 1-800-482-7171

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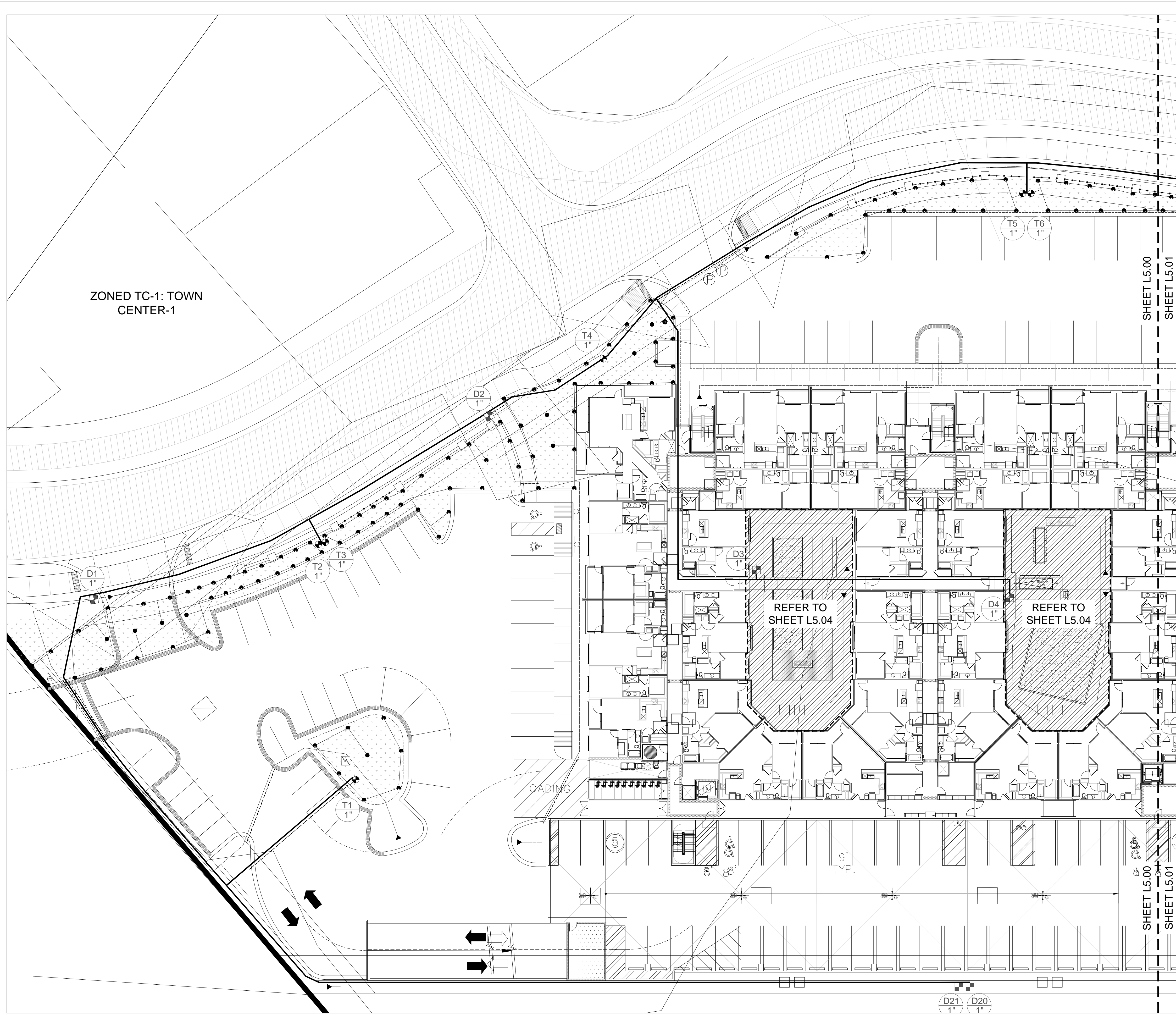
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 LANSING, MI 48912

SHEET TITLE  
 LANDSCAPE PLAN

SHEET NUMBER  
 L4.06

SCALE: AS INDICATED  
 CITY JOB #: JSP18-0010



**IRRIGATION LEGEND**

**EMITTER SCHEDULE**

PLANT TYPE	PLANT SIZE	GPH PER OUTLET	# OF OUTLET PER PLANT	TOTAL GPH
TREES	15 GAL.	2 GPH	3	6 GPH
TREES	24" BOX	2 GPH	4	8 GPH
TREES	36" BOX	2 GPH	5	10 GPH
TREES	48" BOX	2 GPH	6	12 GPH
SHRUBS/G.C.	5 GAL.	1 GPH	2	2 GPH
SHRUBS/G.C.	1 GAL.	1 GPH	1	1 GPH

**PIPE LEGEND**

1/2"	4.22 GPM	CLASS 200 PVC
3/4"	8 GPM	.5" MIN. LATERALS
1"	12 GPM	SCHED. 40 PVC
1-1/2"	30 GPM	1" MIN. MAINLINE
2"	50 GPM	SCHED. 40 PVC
		2" MIN. SLEEVE

D=DRIP VALVE SIZE

**DRIP EQUIPMENT**

RAIN BIRD XC2-100-PRB FLOW ZONE KIT	
RAIN BIRD VB-STD VALVE BOX	
PVC DRIP SYSTEM	
RAIN BIRD XQ DISTRIBUTION TUBING	
XB SERIES EMITTERS AND BUG CAPS (NOT SHOWN)	
EMITTERS PER TREE - EQUALLY SPACED	
RAIN BIRD EASY FLUSH CAP - MDCFAP	

**SPRAY HEADS**

RAIN BIRD 100-PEB-PRS-DIAL VALVE WITH PRESSURE REGULATION			
VALVE BOX BY RAIN BIRD - OR APPROVE EQUAL			
MFG.	BODY TYPE	GPM	PSI
RAIN BIRD	RD1800 SPRAY BODY		30
	MODEL RD-04-S-P30		
RAIN BIRD	HE-VAN SERIES SPRAY NOZZLES		
	45-270 DEGREE	.29-.278	30
	360 DEGREE	1.17-3.70	30
RAIN BIRD	3500 SERIES ROTORS		
	MODEL 3504-PC-SAM		
	40-360 DEGREE	.77-4.13	45
RAIN BIRD	3/4" 3RC QUICK COUPLER		

**EQUIPMENT**

(1) 1-1/2" WATER METER - INSTALL PER CIVIL PLAN AND ALL LOCAL CODES	
(1) FEBCO 825Y-BV 1-1/2" REDUCED PRESSURE BACKFLOW PREVENTER	
(1) RAIN BIRD ESP-LXME 12-STATION CONTROLLER BASE + (2) ESP-LXMS8 MODULES (28 AVAILABLE STATIONS TOTAL)	
(OPTIONAL ALTERNATIVE) RAIN BIRD ESP-12LXMEF BASE CONTROLLER WITH FLOW SMART MODULE	
(OPTIONAL OR IF REQUIRED) RAIN BIRD ESP-LXMM METAL CABINET AND LXMPED METAL PEDESTAL	
RAIN BIRD WR2-RFC RAIN + FREEZE COMBO SENSOR	
RECEIVER - R SENSOR/TRANSMITTER - S	
HAMMOND 567 1-1/2" BRASS GATE VALVE OR APPROVED EQUAL	
RAIN BIRD 3/4" 3RC QUICK COUPLER	

**NOTE:**

- ALL EMISSION POINTS TO BE LOCATED ON THE UPHILL SIDE OF PLANT MATERIAL. ONE EMISSION POINT TO BE LOCATED AT THE PLANT BALL, WITH THE ADDITIONAL POINTS WITHIN PLANT PIT PERIMETER.
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- BACKFLOW TESTER MUST HAVE ASSE 5110 CERTIFICATION

DESIGNED BY: SPENCER J. OKESON  
 DRAWN BY: S.J.O. & I.K.  
 LAOR: DANIEL R. ERLANDSON  
 PLOT DATE: 06/25/2021

ISSUE FOR PRICING/BIDDING: 07/02/2019

ISSUE FOR PERMIT APPLICATION: 01/22/2021

ISSUE FOR CONSTRUCTION: ISSUE DATE

**REVISION SCHEDULE**

NO.	DATE	DESCRIPTION
B	08/14/2020	ADDENDUM B
C	09/25/2020	ADDENDUM C

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**THE BOND OF NOVI**

SECTION 22, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

PROJECT #: 17659



**hpla studio**

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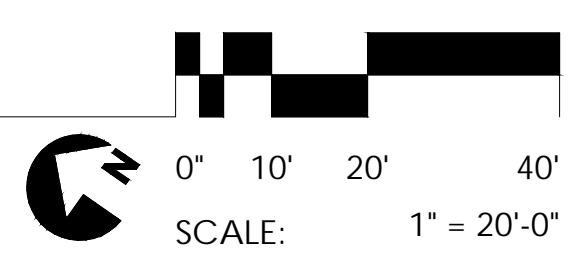
**CLIENT**  
 DTN MANAGEMENT  
 2502 LAKE LANSING RD  
 SUITE C,  
 LANSING, MI 48912

SHEET TITLE  
 IRRIGATION PLAN

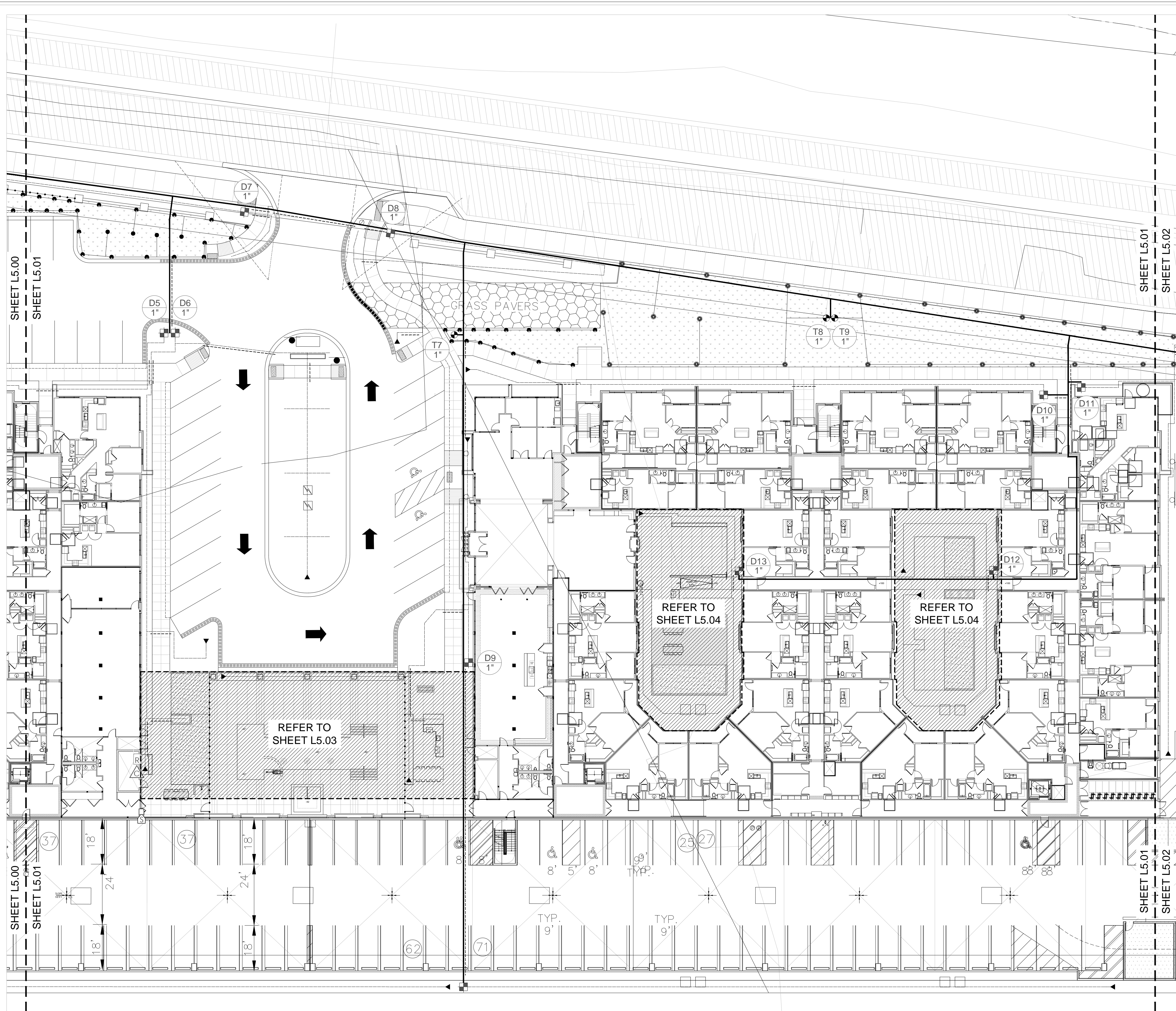
SHEET NUMBER  
**L5.00**

SCALE: AS INDICATED  
 CITY JOB #: JSP18-0010

IRRIGATION PLAN  
 SITE



REVISED PER CITY OF NOVI ELEC. STAMPING - 2021-JUNE-25



**IRRIGATION LEGEND**

**EMITTER SCHEDULE**

PLANT TYPE	PLANT SIZE	GPH PER OUTLET	# OF OUTLET PER PLANT	TOTAL GPH
TREES	15 GAL.	2 GPH	3	6 GPH
TREES	24" BOX	2 GPH	4	8 GPH
TREES	36" BOX	2 GPH	5	10 GPH
TREES	48" BOX	2 GPH	6	12 GPH
SHRUBS/G.C.	5 GAL.	1 GPH	2	2 GPH
SHRUBS/G.C.	1 GAL.	1 GPH	1	1 GPH

**PIPE LEGEND**

SIZE	GPM	TYPE
1/2"	4.22	CLASS 200 PVC
3/4"	8	.5" MIN. LATERALS
1"	12	SCHED. 40 PVC
1-1/2"	30	1" MIN. MAINLINE
2"	50	SCHED. 40 PVC 2" MIN. SLEEVE

D=DRIP VALVE SIZE

**DRIP EQUIPMENT**

- RAIN BIRD XC2-100-PRB FLOW ZONE KIT
- RAIN BIRD VB-STD VALVE BOX
- PVC DRIP SYSTEM
- RAIN BIRD XQ DISTRIBUTION TUBING
- XB SERIES EMITTERS AND BUG CAPS (NOT SHOWN)
- EMITTERS PER TREE - EQUALLY SPACED
- RAIN BIRD EASY FLUSH CAP - MDCFCAP

**SPRAY HEADS**

- RAIN BIRD 100-PEB-PRS-DIAL VALVE WITH PRESSURE REGULATION
- VALVE BOX BY RAIN BIRD - OR APPROVE EQUAL

MFG.	BODY TYPE	GPM	PSI
RAIN BIRD	RD1800 SPRAY BODY	30	
MODEL	RD-04-S-P30		
RAIN BIRD	HE-VAN SERIES SPRAY NOZZLES		
45-270 DEGREE		.29-.278	30
360 DEGREE		1.17-3.70	30
RAIN BIRD	3500 SERIES ROTORS		
MODEL	3504-PC-SAM		
40-360 DEGREE		.77-4.13	45
RAIN BIRD	3/4" 3RC QUICK COUPLER		

**EQUIPMENT**

- (1) 1-1/2" WATER METER - INSTALL PER CIVIL PLAN AND ALL LOCAL CODES
- (1) FBECO 825Y-BV 1-1/2" REDUCED PRESSURE BACKFLOW PREVENTER
- (1) RAIN BIRD ESP-LXME 12-STATION CONTROLLER BASE + (2) ESP-LXMS8 MODULES (28 AVAILABLE STATIONS TOTAL)
- (OPTIONAL ALTERNATIVE) RAIN BIRD ESP-12LXMEF BASE CONTROLLER WITH FLOW SMART MODULE
- (OPTIONAL OR IF REQUIRED) RAIN BIRD ESP-LXMM METAL CABINET AND LXMMPED METAL PEDESTAL
- RAIN BIRD WR2-RFC RAIN + FREEZE COMBO SENSOR
- RECEIVER - R SENSOR/TRANSMITTER - S
- HAMMOND 567 1-1/2" BRASS GATE VALVE OR APPROVED EQUAL
- RAIN BIRD 3/4" 3RC QUICK COUPLER

**NOTE:**

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- BACKFLOW TESTER MUST HAVE ASSE 5110 CERTIFICATION

DESIGNED BY: SPENCER J. OKESON  
 DRAWN BY: S.J.O. & I.K.  
 LAOR: DANIEL R. ERLANDSON  
 PLOT DATE: 06/25/2021

ISSUE FOR PRICING/BIDDING: 07/02/2019

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**REVISION SCHEDULE**

NO.	DATE	DESCRIPTION
B	08/14/2020	ADDENDUM B
C	09/25/2020	ADDENDUM C

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**THE BOND OF NOVI**

SECTION 22, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

PROJECT #: 17659



**hpla studio**

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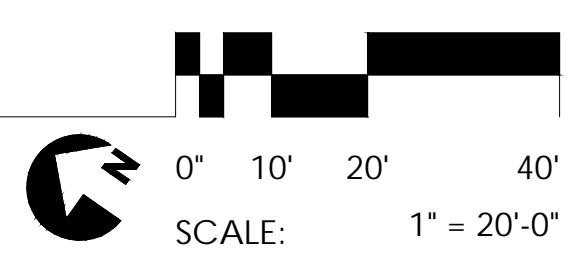
SHEET TITLE  
**IRRIGATION PLAN**

SHEET NUMBER  
**L5.01**

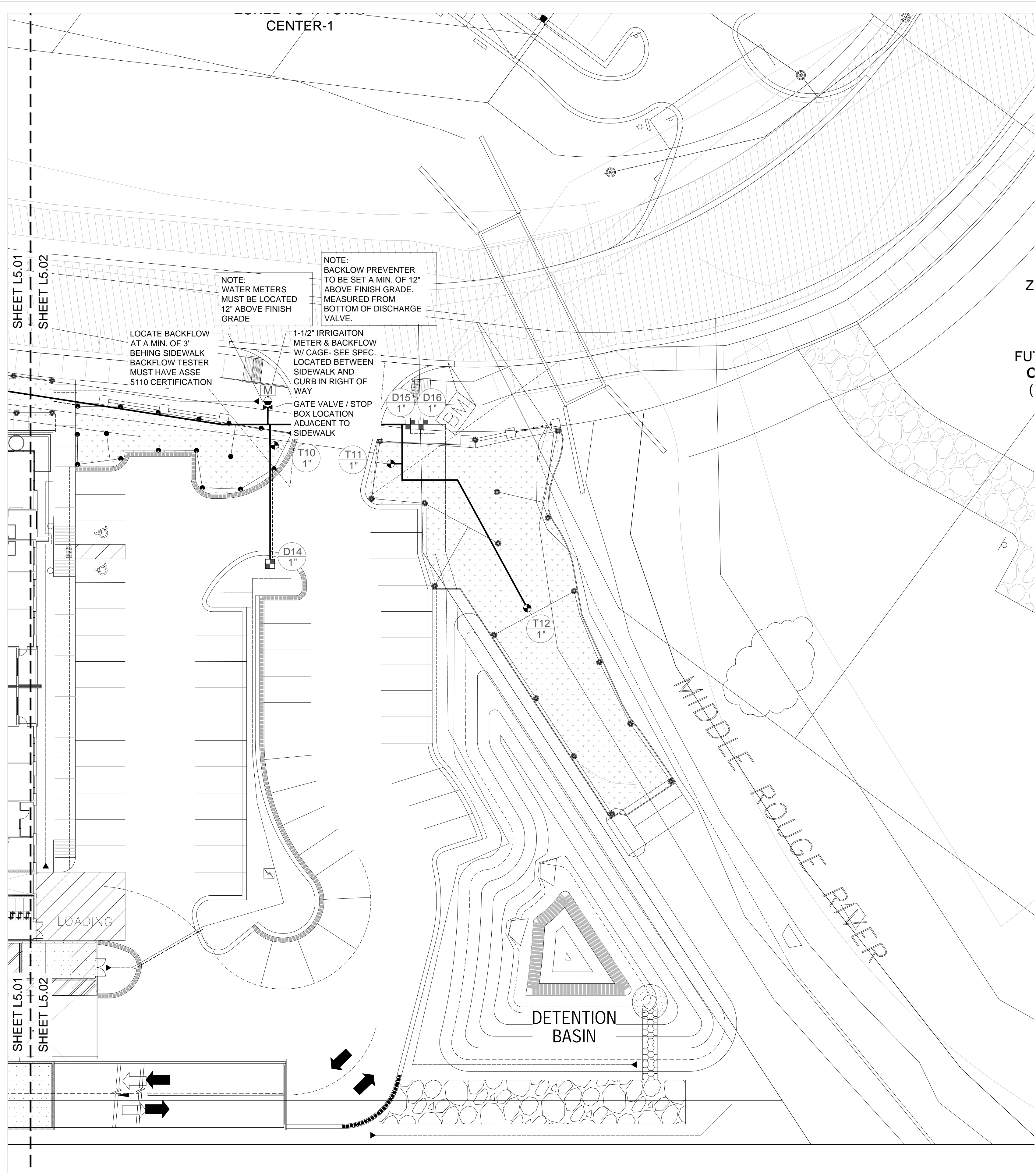
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 CITY JOB #: JSP18-0010

**IRRIGATION PLAN**

**SITE**



REVISED PER CITY OF NOVI ELEC. STAMPING - 2021-JUNE-25



**IRRIGATION LEGEND**

**EMITTER SCHEDULE**

PLANT TYPE	PLANT SIZE	GPH PER OUTLET	# OF OUTLET PER PLANT	TOTAL GPH
TREES	15 GAL.	2 GPH	3	6 GPH
TREES	24" BOX	2 GPH	4	8 GPH
TREES	36" BOX	2 GPH	5	10 GPH
TREES	48" BOX	2 GPH	6	12 GPH
SHRUBS/G.C.	5 GAL.	1 GPH	2	2 GPH
SHRUBS/G.C.	1 GAL.	1 GPH	1	1 GPH

**PIPE LEGEND**

1/2"	4.22	GPM	CLASS 200 PVC
3/4"	8	GPM	.5" MIN. LATERALS
1"	12	GPM	SCHED. 40 PVC
1-1/2"	30	GPM	1" MIN. MAINLINE
2"	50	GPM	SCHED. 40 PVC
			2" MIN. SLEEVE

D=DRIP VALVE SIZE

**DRIP EQUIPMENT**

- RAIN BIRD XC2-100-PRB FLOW ZONE KIT
- RAIN BIRD VB-STD VALVE BOX
- PVC DRIP SYSTEM
- RAIN BIRD XQ DISTRIBUTION TUBING
- XB SERIES EMITTERS AND BUG CAPS (NOT SHOWN)
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**SPRAY HEADS**

- RAIN BIRD 100-PEB-PRS-DIAL VALVE WITH PRESSURE REGULATION
- VALVE BOX BY RAIN BIRD - OR APPROVE EQUAL
- MFG. BODY TYPE GPM PSI
- RAIN BIRD RD1800 SPRAY BODY 30
- MODEL RD-04-S-P30
- RAIN BIRD HE-VAN SERIES SPRAY NOZZLES
- 45-270 DEGREE .29-.278 30
- 360 DEGREE 1.17-3.70 30
- RAIN BIRD 3500 SERIES ROTORS
- MODEL 3504-PC-SAM
- 40-360 DEGREE .77-4.13 45
- RAIN BIRD 3/4" 3RC QUICK COUPLER

**EQUIPMENT**

- (1) 1-1/2" WATER METER - INSTALL PER CIVIL PLAN AND ALL LOCAL CODES
- (1) FEBCO 825Y-BV 1-1/2" REDUCED PRESSURE BACKFLOW PREVENTER
- (1) RAIN BIRD ESP-LXME 12-STATION CONTROLLER BASE + (2) ESP-LXMSM8 MODULES (28 AVAILABLE STATIONS TOTAL)
- (OPTIONAL ALTERNATIVE) RAIN BIRD ESP-12LXMEF BASE CONTROLLER WITH FLOW SMART MODULE
- (OPTIONAL OR IF REQUIRED) RAIN BIRD ESP-LXMM METAL CABINET AND LXMPED METAL PEDESTAL
- RAIN BIRD WR2-RFC RAIN + FREEZE COMBO SENSOR
- RECEIVER - R SENSOR/TRANSMITTER - S
- HAMMOND 867 1-1/2" BRASS GATE VALVE OR APPROVED EQUAL
- RAIN BIRD 3/4" 3RC QUICK COUPLER

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DESIGNED BY: SPENCER J. OKESON  
 DRAWN BY: S.J.O. & I.K.  
 LAOR: DANIEL R. ERLANDSON  
 PLOT DATE: 06/25/2021

ISSUE FOR PRICING/BIDDING:  
 07/02/2019

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 01/22/2021

ISSUE FOR CONSTRUCTION:  
 ISSUE DATE

**REVISION SCHEDULE**

NO.	DATE	DESCRIPTION
B	08/14/2020	ADDENDUM B
C	09/25/2020	ADDENDUM C

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**THE BOND OF NOVI**

SECTION 22, TOWN 1 NORTH,  
 RANGE 8 EAST, CITY OF NOVI,  
 OAKLAND COUNTY, MICHIGAN

PROJECT #: 17659



**HUMPHREYS & PARTNERS**  
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SHEET TITLE  
 IRRIGATION PLAN

SHEET NUMBER  
**L5.02**

SCALE: AS INDICATED  
 CITY JOB #: JSP18-0010

**IRRIGATION PLAN**

**SITE**



REVISED PER CITY OF NOVI ELEC. STAMPING - 2021-JUNE-25

DESIGNED BY: SPENCER J. OKESON  
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THE BOND OF NOVI  
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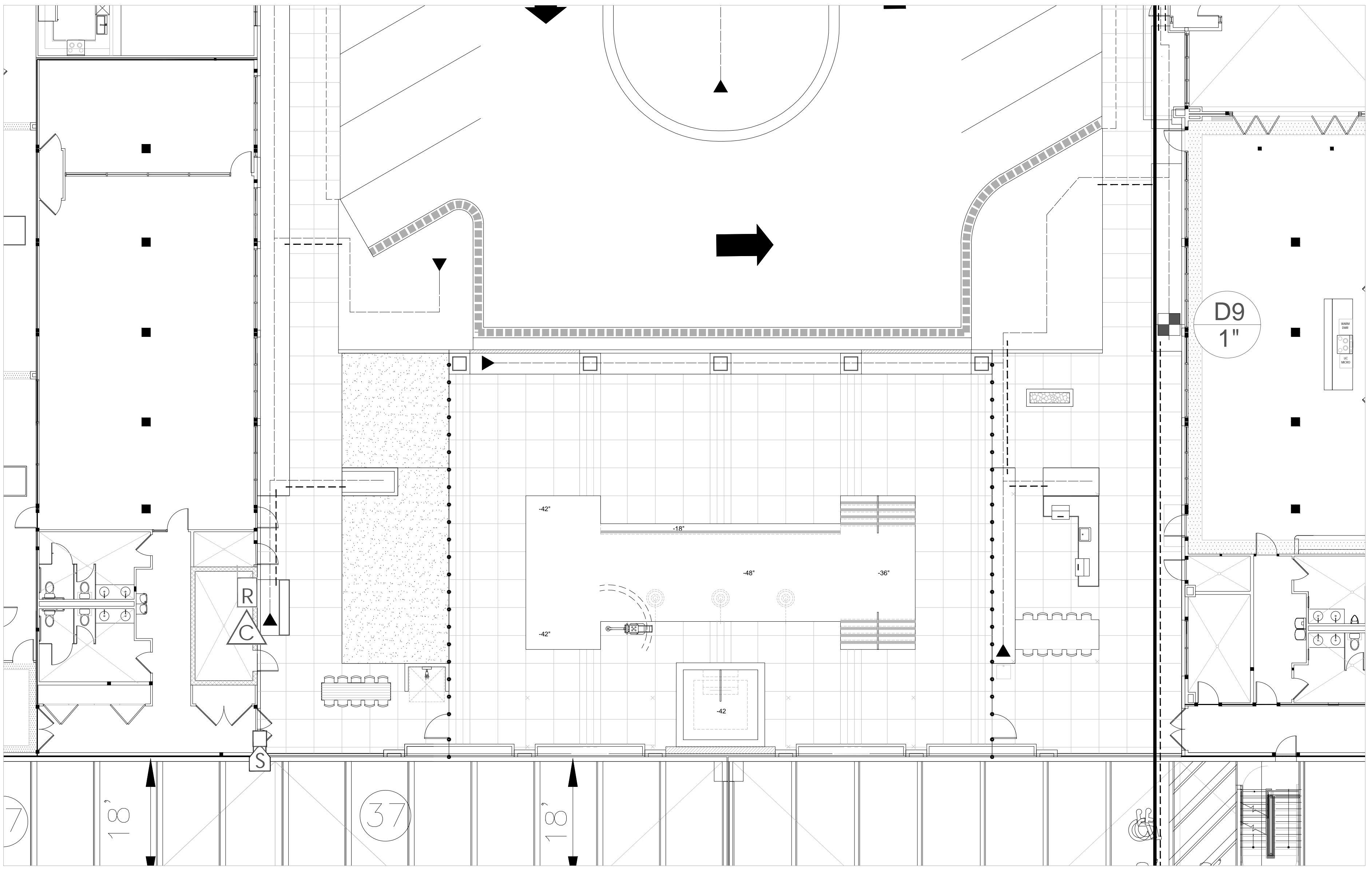
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 IRRIGATION PLAN

SHEET NUMBER  
**L5.03**

SCALE: AS INDICATED  
 CITY JOB #: JSP18-0010

REVISED PER CITY OF NOVI ELEC. STAMPING - 2021-JUNE-25



IRRIGATION LEGEND

EMITTER SCHEDULE

PLANT TYPE	PLANT SIZE	GPH PER OUTLET	# OF OUTLET PER PLANT	TOTAL GPH
TREES	15 GAL.	2 GPH	3	6 GPH
TREES	24" BOX	2 GPH	4	8 GPH
TREES	36" BOX	2 GPH	5	10 GPH
TREES	48" BOX	2 GPH	6	12 GPH
SHRUBS/G.C.	5 GAL.	1 GPH	2	2 GPH
SHRUBS/G.C.	1 GAL.	1 GPH	1	1 GPH

PIPE LEGEND

SIZE	GPM	TYPE
1/2"	4-22	CLASS 200 PVC
3/4"	8	5" MIN. LATERALS
1"	12	SCHED. 40 PVC
1-1/2"	30	1" MIN. MAINLINE
2"	50	SCHED. 40 PVC
		2" MIN. SLEEVE

DRIP EQUIPMENT

- RAIN BIRD XCZ-100-PRB FLOW ZONE KIT
- RAIN BIRD VB-STD VALVE BOX
- PVC DRIP SYSTEM
- RAIN BIRD XQ DISTRIBUTION TUBING
- XB SERIES EMITTERS AND BUG CAPS (NOT SHOWN)
- EMITTERS PER TREE - EQUALLY SPACED
- RAIN BIRD EASY FLUSH CAP - MDCFCAP

SPRAY HEADS

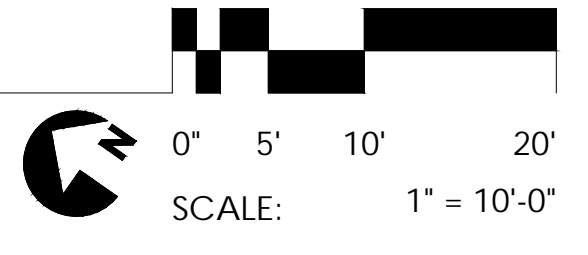
- RAIN BIRD 100-PEB-PRS-DIAL VALVE WITH PRESSURE REGULATION
- VALVE BOX BY RAIN BIRD - OR APPROVE EQUAL
- MFG. BODY TYPE GPM PSI
- RAIN BIRD RD1800 SPRAY BODY 30
- MODEL RD-04-S-P30
- RAIN BIRD HE-VAN SERIES SPRAY NOZZLES
- 45-270 DEGREE 29-278 30
- 360 DEGREE 1.17-3.70 30
- RAIN BIRD 3500 SERIES ROTORS
- MODEL 3504-PC-SAM
- 40-360 DEGREE 77-4.13 45
- RAIN BIRD 3/4" 3RC QUICK COUPLER

EQUIPMENT

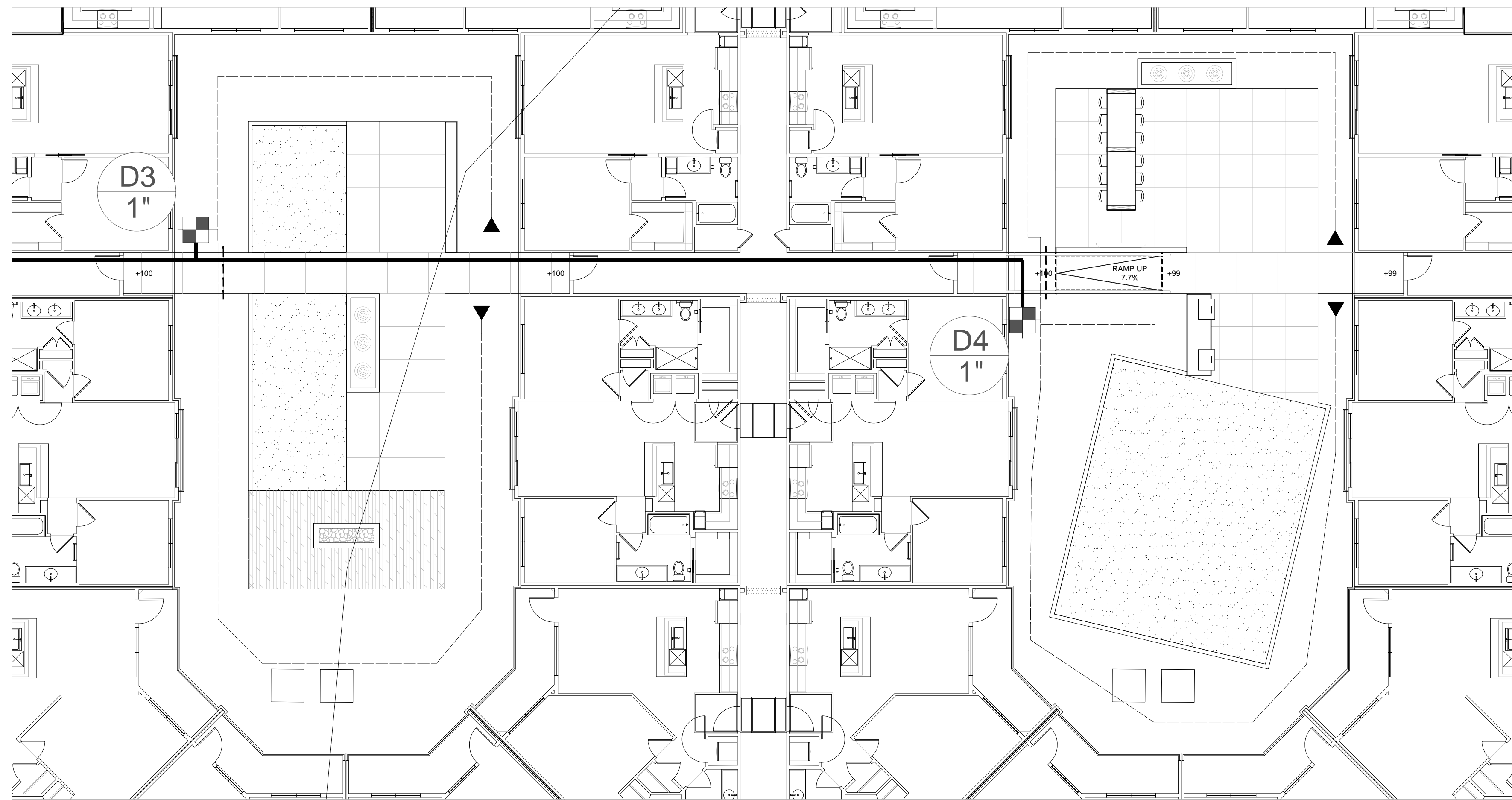
- (1) 1-1/2" WATER METER - INSTALL PER CIVIL PLAN AND ALL LOCAL CODES
- (1) FEBCO 825V-BV 1-1/2" REDUCED PRESSURE BACKFLOW PREVENTER
- (1) RAIN BIRD ESP-LXME 12-STATION CONTROLLER BASE + (2) ESP-LXMSM8 MODULES (28 AVAILABLE STATIONS TOTAL)
- (OPTIONAL ALTERNATIVE) RAIN BIRD ESP-12LXMEF BASE CONTROLLER WITH FLOW SMART MODULE
- (OPTIONAL OR IF REQUIRED) RAIN BIRD ESP-LXMM METAL CABINET AND LXMPED METAL PEDESTAL
- RAIN BIRD WR2-RFC RAIN + FREEZE COMBO SENSOR
- RECEIVER - R SENSOR/TRANSMITTER - S
- HAMMOND 667 1-1/2" BRASS GATE VALVE OR APPROVED EQUAL
- RAIN BIRD 3/4" 3RC QUICK COUPLER

- NOTE:
- ALL EMISSION POINTS TO BE LOCATED ON THE UPHILL SIDE OF PLANT MATERIAL ONE EMISSION POINTS TO BE LOCATED AT THE PLANT BALL, WITH THE ADDITIONAL POINTS WITHIN PLANT PIT PERIMETER.
  - A BACKFLOW SCREEN ENCLOSURE IS REQUIRED FOR THIS PROJECT. SPEC. TO BE GUARDSHACK AS MANUFACTURED BY BACKFLOW PREVENTION DEVICE ENCLOSURES INC. 602-788-5411 OR APPROVED EQUAL. FINISH: POWDER COAT COLOR: TBD. PROVIDE 4" THICK CONC. SLAB FOR ENCLOSURE FOUNDATION.
  - RAIN SENSOR (NOT ALLOWED ON FENCES): SELECT A MOUNTING LOCATION WHERE THE RAIN SENSOR WILL RECEIVE DIRECT RAINFALL. MAKE SURE THE SENSOR EXTENDS BEYOND THE ROOF LINE, TREE LIMBS AND ANY OTHER OBSTRUCTIONS. INSTALL THE RAIN SENSOR IN AN AREA THAT RECEIVES AS MUCH RAIN AND SUNLIGHT AS THE LANDSCAPE. BE SURE TO MOUNT THE SENSOR ABOVE SPRAY FROM THE SPRINKLERS.
  - BACKFLOW TESTER MUST HAVE ASSE 5110 CERTIFICATION

IRRIGATION PLAN  
 POOL AMENITY SPACE

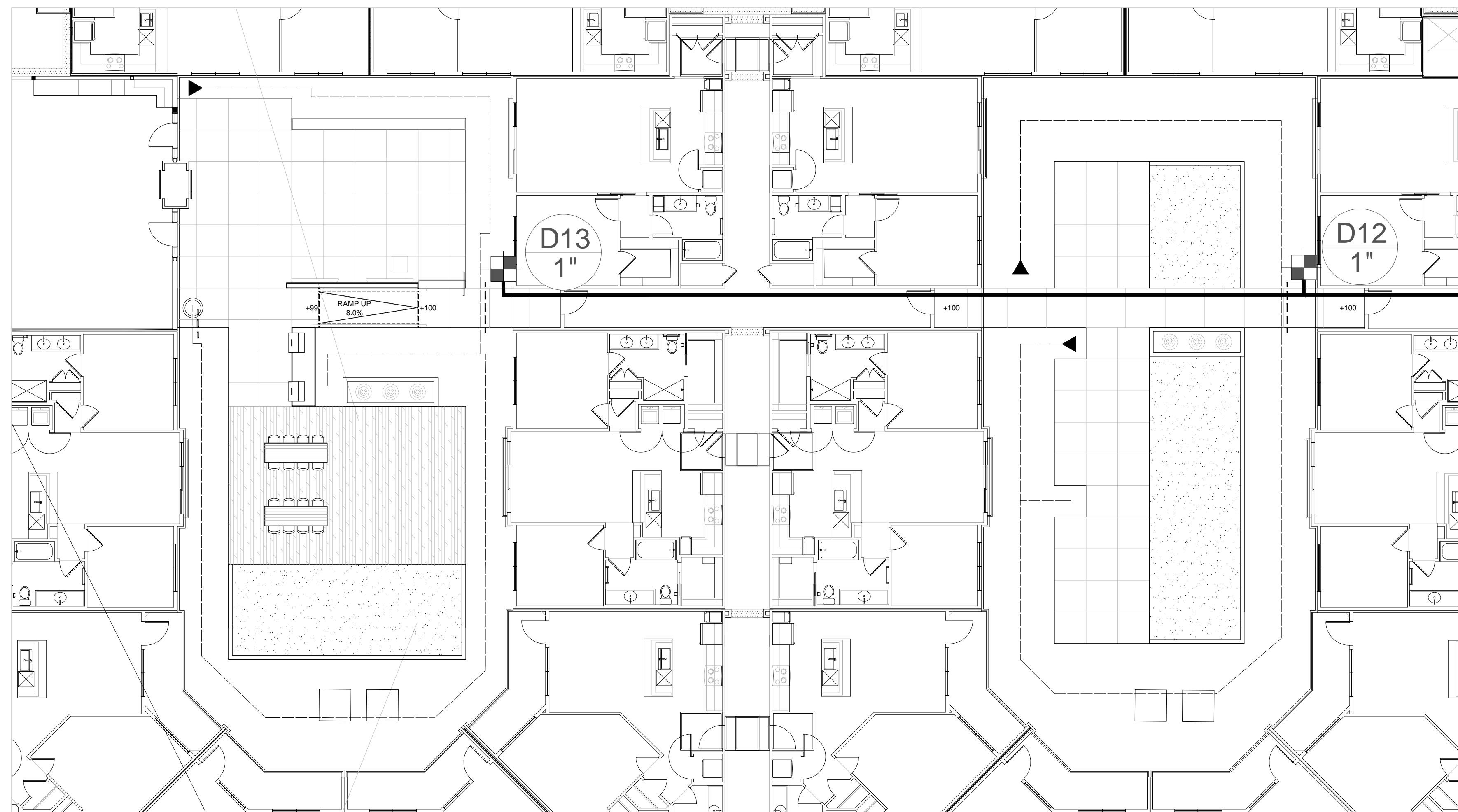
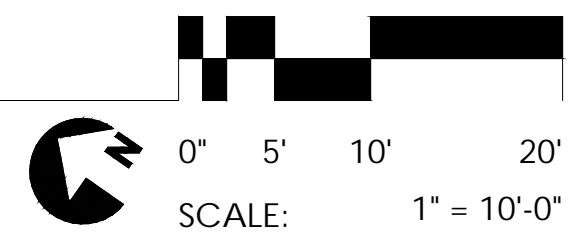






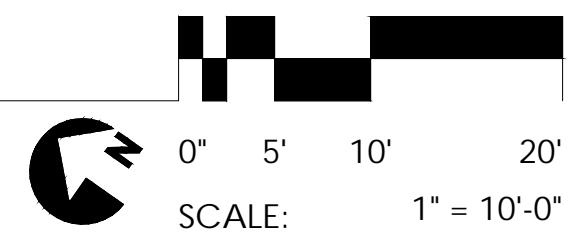
IRRIGATION PLAN

WEST COURTYARDS



IRRIGATION PLAN

EAST COURTYARDS



**IRRIGATION LEGEND**

**EMITTER SCHEDULE**

PLANT TYPE	PLANT SIZE	GPH PER OUTLET	# OF OUTLET PER PLANT	TOTAL GPH
TREES	15 GAL	2 GPH	3	6 GPH
TREES	24" BOX	2 GPH	4	8 GPH
TREES	36" BOX	2 GPH	5	10 GPH
TREES	48" BOX	2 GPH	6	12 GPH
SHRUBS/G.C.	5 GAL	1 GPH	2	2 GPH
SHRUBS/G.C.	1 GAL	1 GPH	1	1 GPH

**PIPE LEGEND**

SIZE	GPM	CLASS	MIN. LATERALS
1/2"	4.22	GPM	CLASS 200 PVC
3/4"	8	GPM	5" MIN. LATERALS
1"	12	GPM	SCHED. 40 PVC
1-1/2"	30	GPM	1" MIN. MAINLINE
2"	50	GPM	SCHED. 40 PVC
			2" MIN. SLEEVE

**DRIP EQUIPMENT**

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- RAIN BIRD VB-STD VALVE BOX
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**SPRAY HEADS**

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- VALVE BOX BY RAIN BIRD - OR APPROVE EQUAL
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- RAIN BIRD RD1800 SPRAY BODY MODEL RD-04-S-P30 29-278 30
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**EQUIPMENT**

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- RECEIVER - R SENSOR/TRANSMITTER - S
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- RAIN BIRD 3/4" 3RC QUICK COUPLER

**NOTE:**

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- BACKFLOW TESTER MUST HAVE ASSE 5110 CERTIFICATION

DESIGNED BY: SPENCER J. OKESON  
DRAWN BY: S.J.O. & I.K.  
LAOR: DANIEL R. ERLANDSON  
PLOT DATE: 06/25/2021

ISSUE FOR PRICING/BIDDING:  
07/02/2019

ISSUE FOR PERMIT APPLICATION:  
01/22/2021

ISSUE FOR CONSTRUCTION:  
ISSUE DATE

**REVISION SCHEDULE**

NO.	DATE	DESCRIPTION
B	08/14/2020	ADDENDUM B
C	09/25/2020	ADDENDUM C

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THE BOND OF NOVI  
SECTION 22, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN  
PROJECT #: 17659



REVISED PER CITY OF NOVI ELEC. STAMPING - 2021-JUNE-25



**HUMPHREYS & PARTNERS**  
**LANDSCAPE ARCHITECTURE, L.L.C.**  
5339 ALPHA ROAD SUITE 300  
DALLAS, TX 75240  
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F: (972) 701-9639  
W: www.hplastudio.com

**CLIENT**  
DTN MANAGEMENT  
2502 LAKE LANSING RD  
SUITE C,  
LANSING, MI 48912

SHEET TITLE  
IRRIGATION PLAN

SHEET NUMBER  
L5.04

SCALE: AS INDICATED  
CITY JOB #: JSP18-0010

DESIGNED BY: SPENCER J. OKESON  
 DRAWN BY: S.J.O. & I.K.  
 LAOR: DANIEL R. ERLANDSON  
 PLOT DATE: 06/25/2021

ISSUE FOR PRICING/BIDDING:  
 07/02/2019

ISSUE FOR PERMIT APPLICATION:  
 01/22/2021

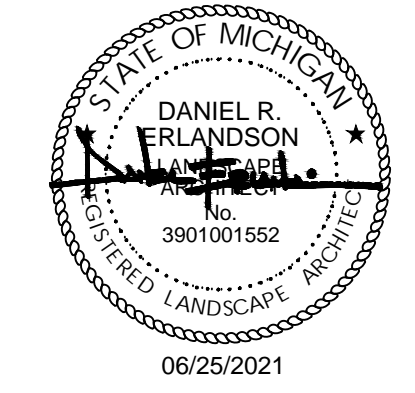
ISSUE FOR CONSTRUCTION:  
 ISSUE DATE

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION
△	08/14/2020	ADDENDUM B
△	09/25/2020	ADDENDUM C

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THE BOND OF NOVI  
 SECTION 22, TOWN 1 NORTH,  
 RANGE 8 EAST, CITY OF NOVI,  
 OAKLAND COUNTY, MICHIGAN  
 PROJECT #: 17859



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CLIENT  
 DTN MANAGEMENT  
 2502 LAKE LANSING RD  
 SUITE C,  
 LANSING, MI 48912

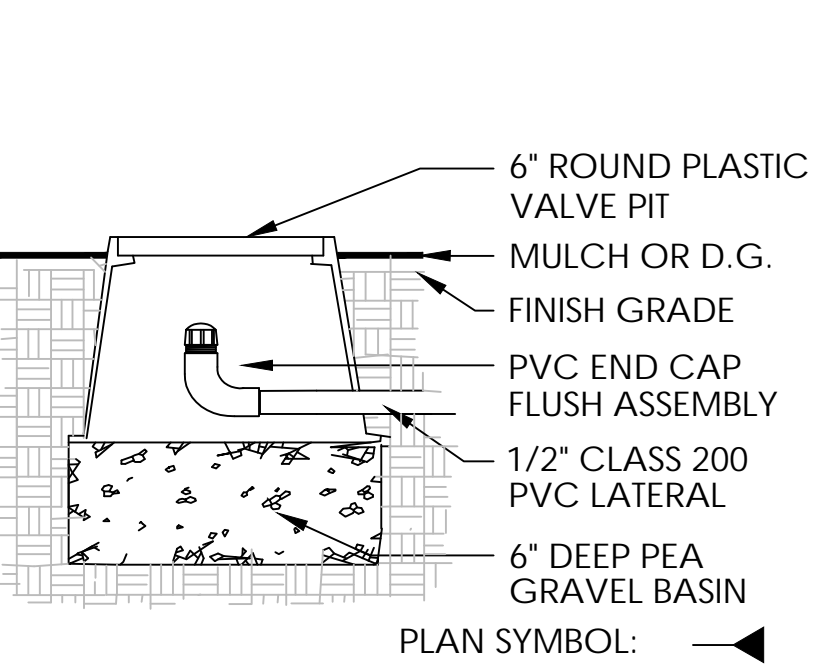
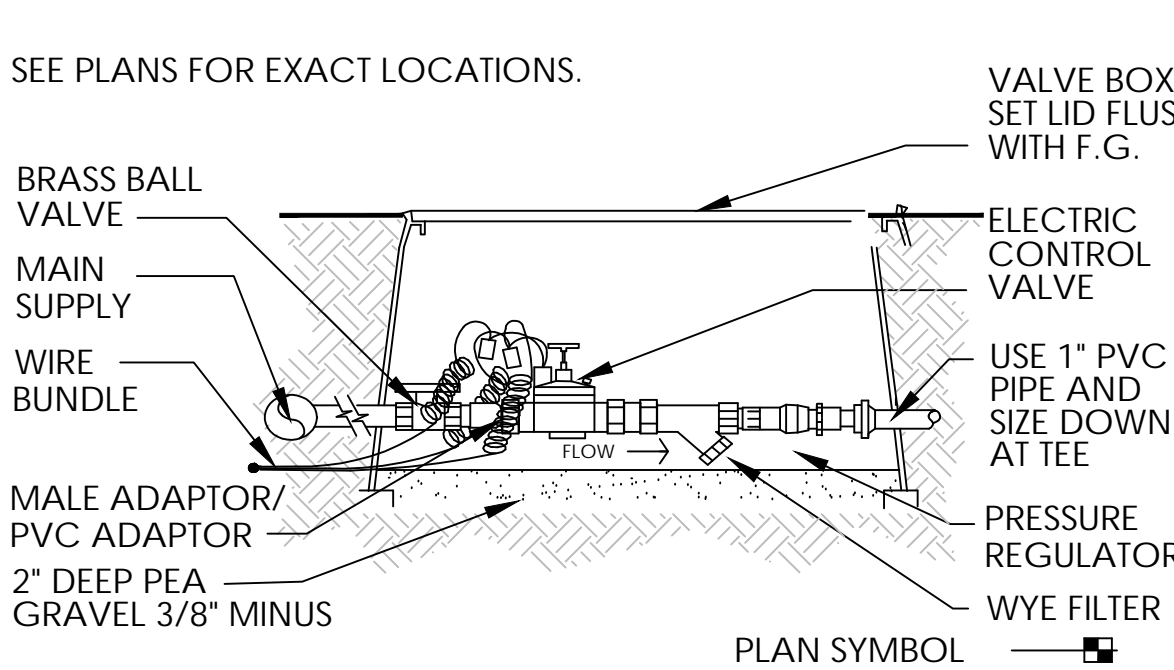
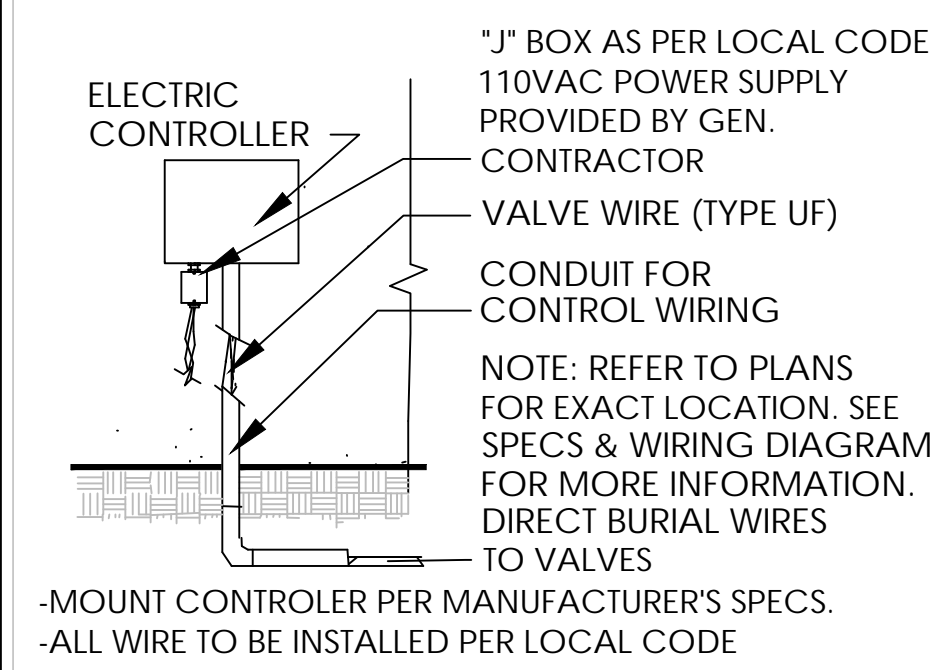
SHEET TITLE  
 GENERAL IRRIGATION  
 DETAILS

SHEET NUMBER  
**L6.00**

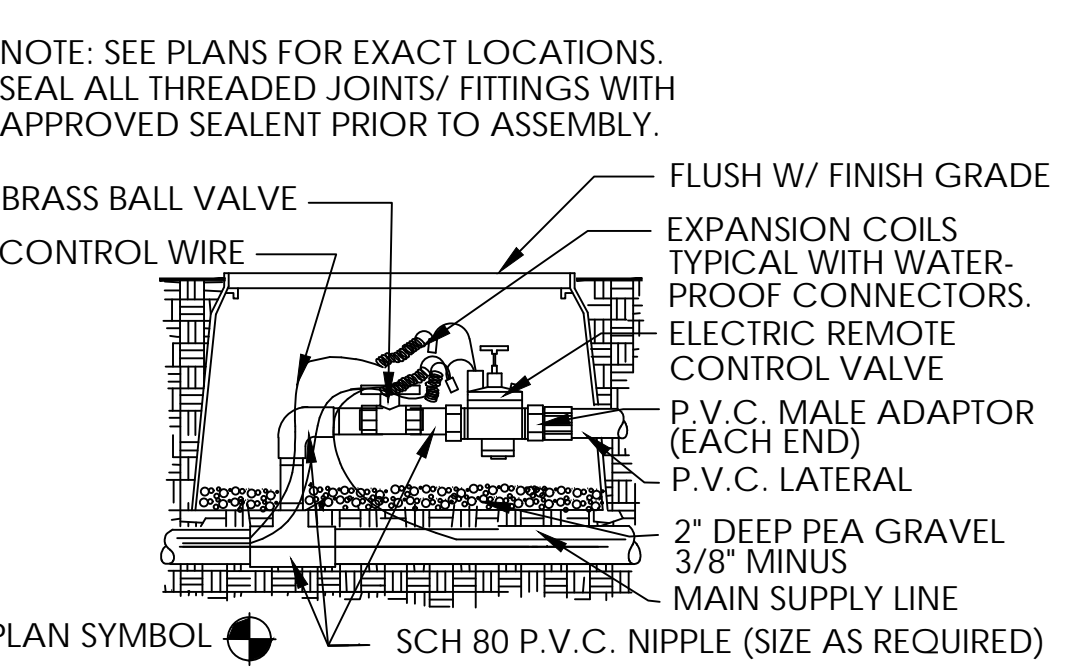
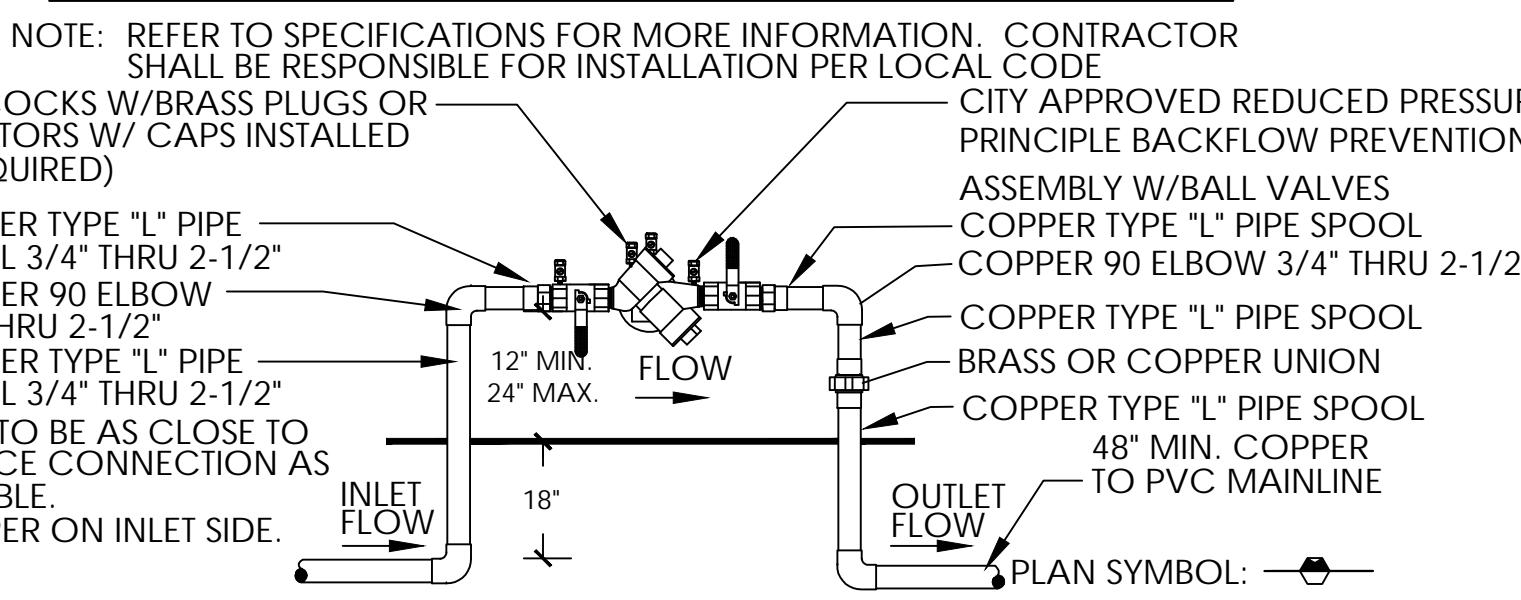
SCALE: AS INDICATED  
 CITY JOB #: JSP18-0010

REVISED PER CITY OF NOVI ELEC. STAMPING - 2021-JUNE-25

# IRRIGATION



NOTE: The installation of the backflow preventer must be in accordance with the 2015 Michigan Plumbing Code and Manufacturer installation instructions for winterization in a severe weather climate- provide test port (blowout) on downstream side and a drain on upstream side



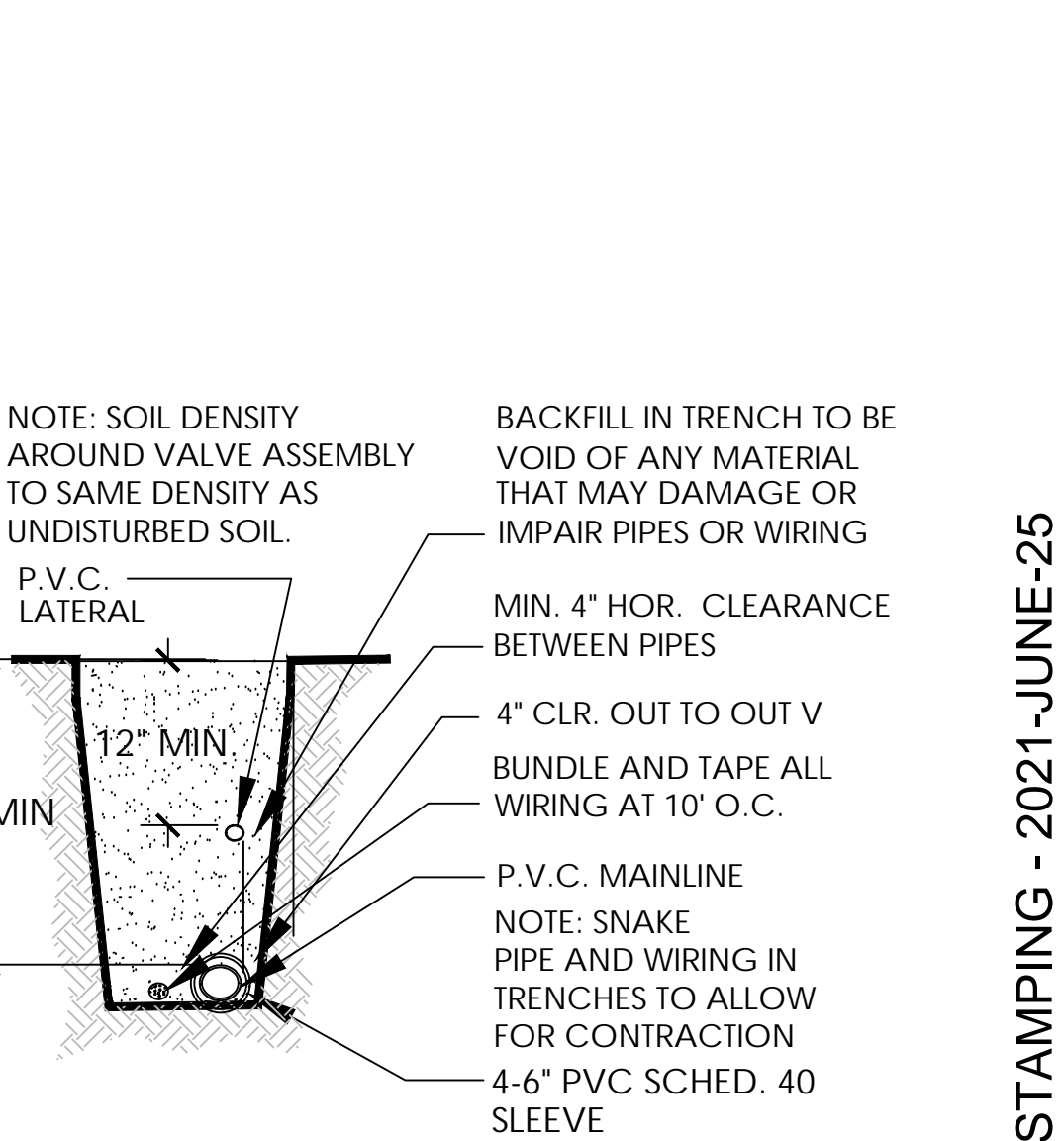
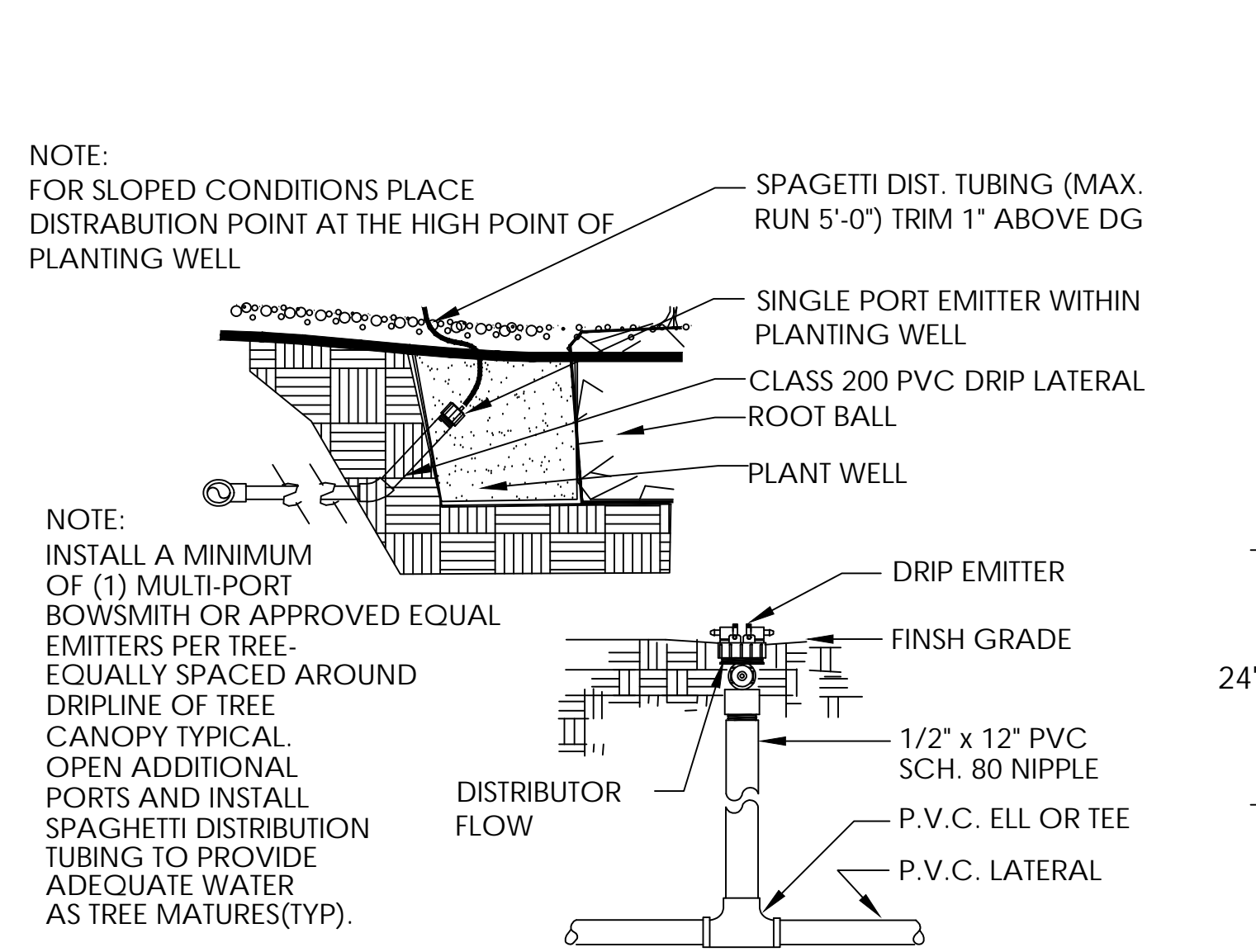
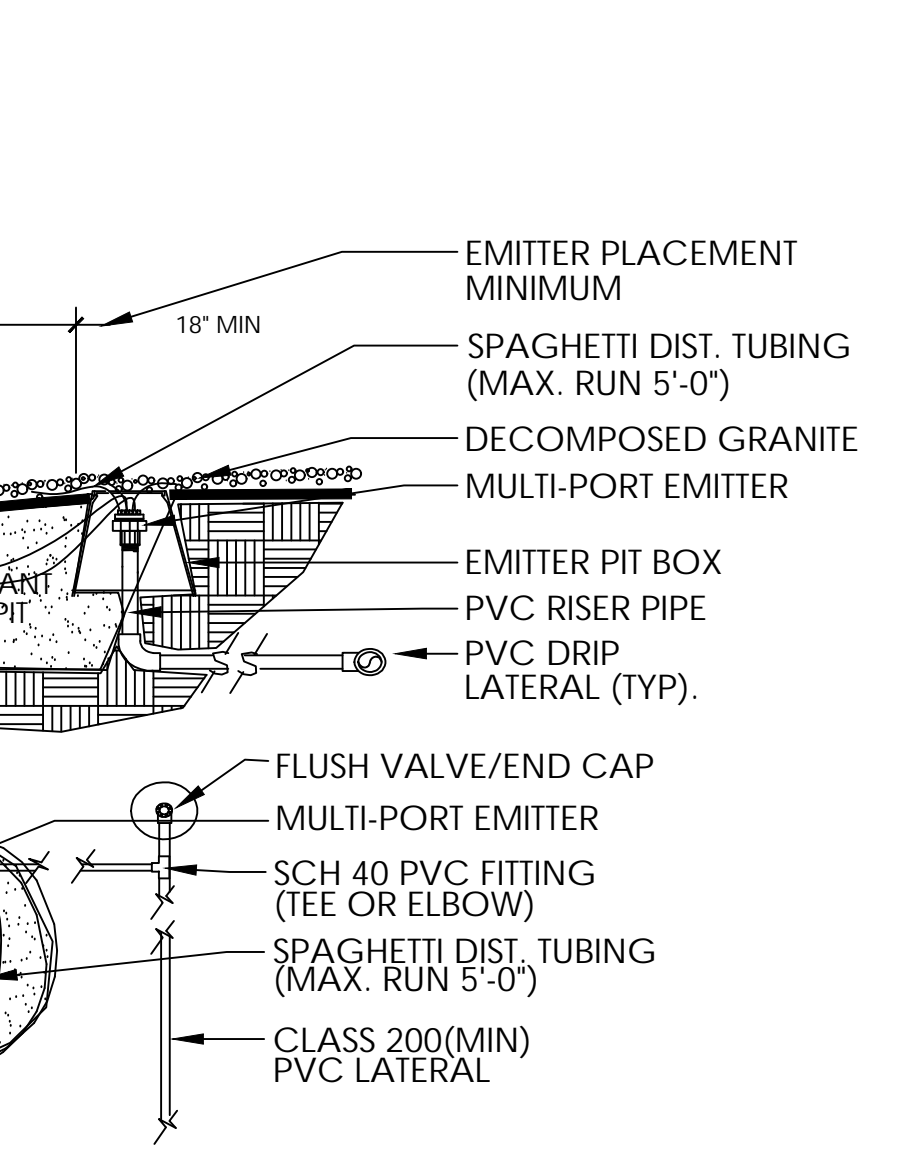
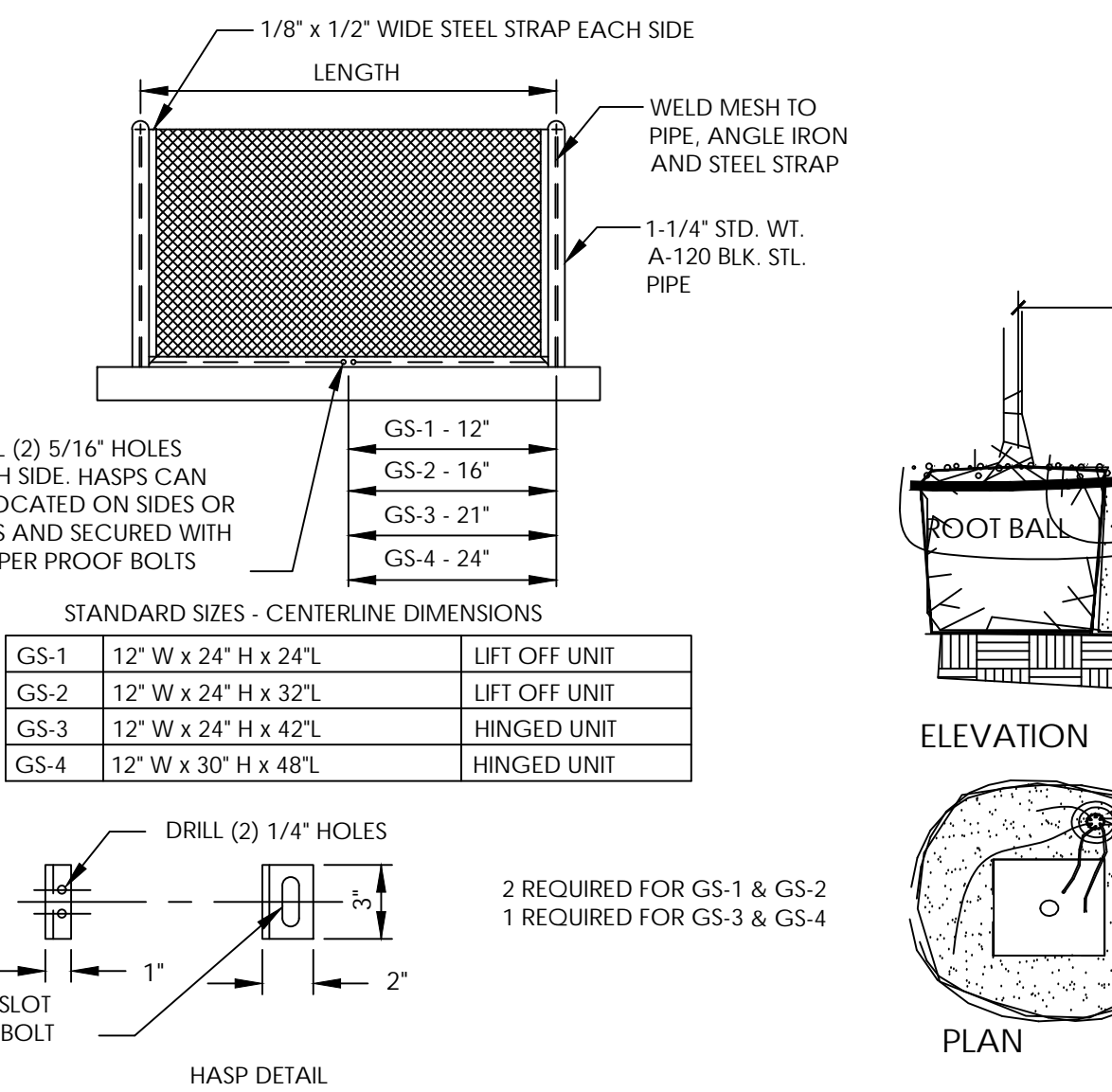
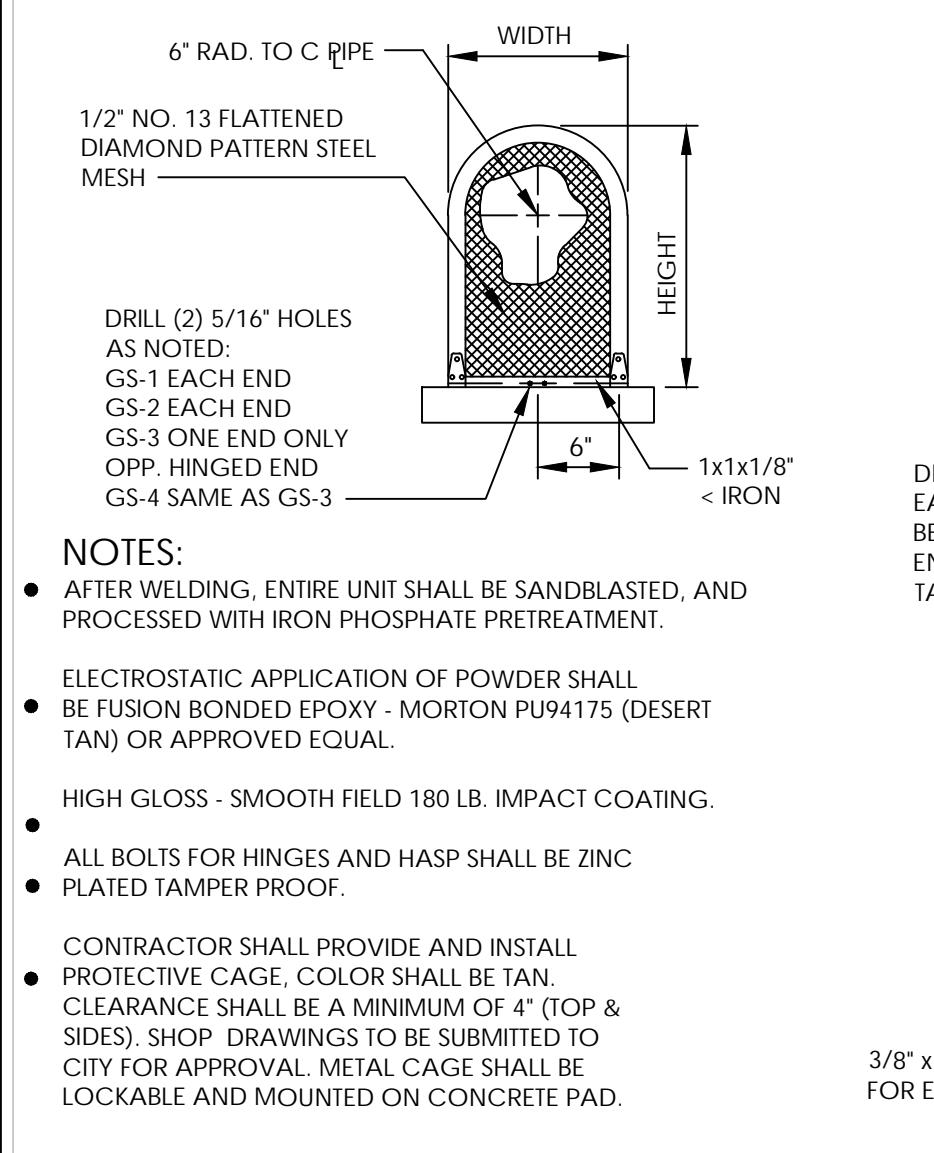
**ELECTRIC CONTROLLER**  
 NOT TO SCALE

**DRIP VALVE ASSEMBLY UNIT**  
 NOT TO SCALE

**FLUSH VALVE**  
 NOT TO SCALE

**BACKFLOW PREVENTION ASSEMBLY (3/4" THRU 2-1/2")**  
 NOT TO SCALE

**ELECTRIC REMOTE CONTROL VALVE**  
 NOT TO SCALE



**"GUARDSHACK" SECURITY CAGE**  
 NOT TO SCALE

**MULTI-PORT EMITTER & SINGLE-PORT EMITTER**  
 NOT TO SCALE

**TRENCHING**  
 NOT TO SCALE

DESIGNED BY: SPENCER J. OKESON  
 DRAWN BY: S.J.O. & I.K.  
 LAOR: DANIEL R. ERLANDSON  
 PLOT DATE: 06/25/2021

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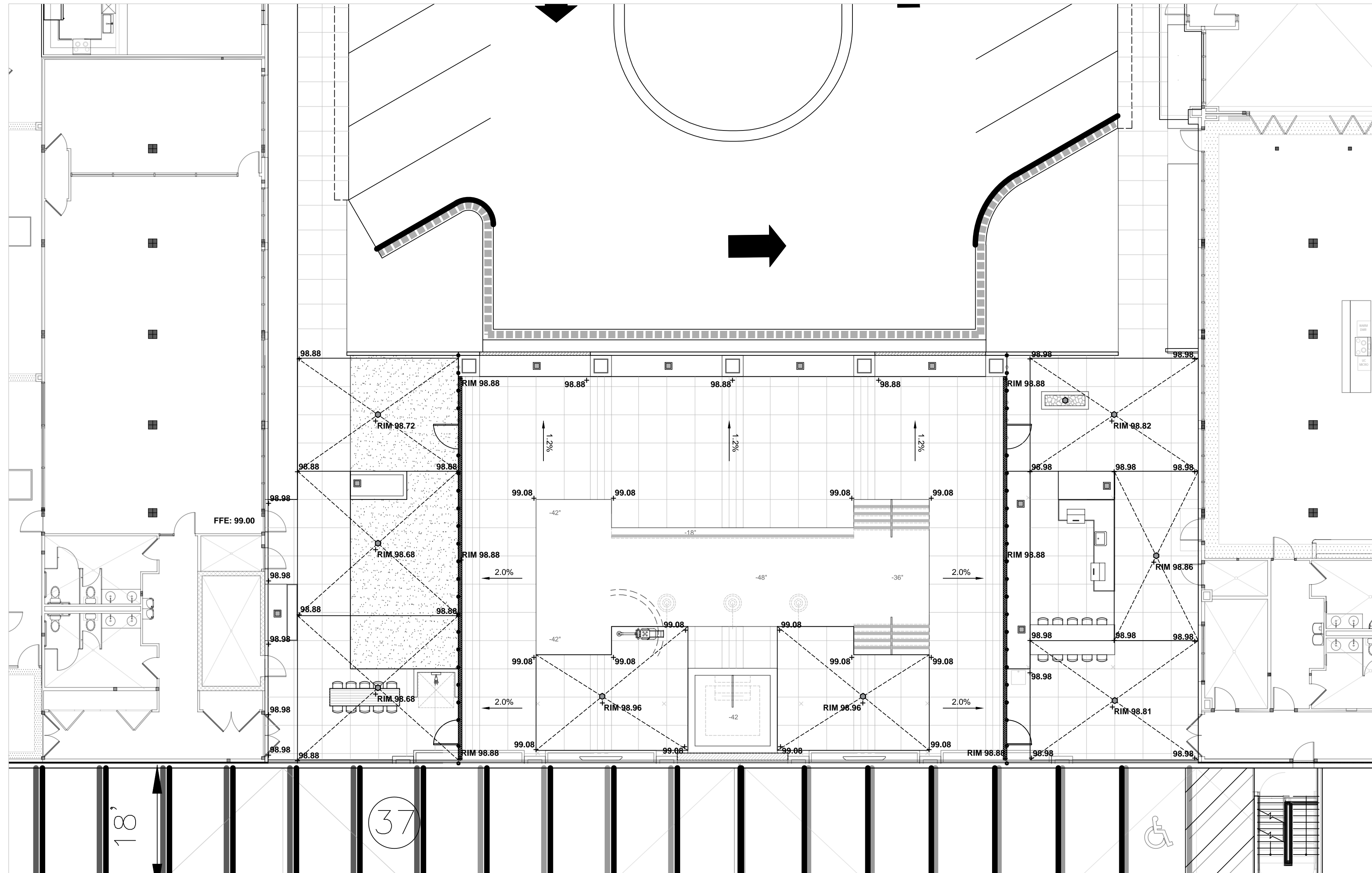
ISSUE FOR CONSTRUCTION:  
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REVISION SCHEDULE




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DRAINAGE LEGEND - POOL AMENITY SPACE

-  DRAIN INLETS (BY: RAINBIRD.COM)  
 TYPE: 9" SQUARE BASIN | MODEL #: DB9S2  
 9" SQUARE FLAT GRATE (GREEN) QTY: 09
-  7" DIAMETER, MEDIUM-DUTY DECK DRAIN W/  
 HEEL-PROOF GRATE, POLISHED BRONZE OR NICKEL TOP  
 (BY: WWW.ZURN.COM) PRODUCT #: Z507 - OR APPROVED EQUAL  
 NOTE: LOCATE DRAIN UNDERNEATH POT DRAINAGE OUTLETS QTY: 09
-  6" WIDE, FIBER REINFORCED POLYMER TRENCH DRAIN  
 SYSTEM, WITH DECORATIVE GRATE (P6-AWG)  
 (BY: WWW.ZURN.COM)  
 PRODUCT #: Z806 - OR APPROVED EQUAL 110 L.F.

- FFE - FINISHED FLOOR ELEVATION
- HP - HIGH POINT
- TOW - TOP OF WALL
- RIM - ELEVATION AT DRAIN RIM

NOTES:  
 -MAXIMUM CROSS SLOPE ALLOWED: 2%  
 -DRAINS TO BE SET FLUSH WITH DECK OR  
 STRUCTURAL SLAB (WHERE APPLICABLE)  
 -REFER TO MEP DRAWINGS FOR STRUCTURAL  
 SLAB PENETRATIONS

GRADING PLAN

POOL AMENITY SPACE



REVISED PER CITY OF NOVI ELEC. STAMPING - 2021-JUNE-25

THE BOND  
 OF NOVI  
 SECTION 22, TOWN 1 NORTH,  
 RANGE 8 EAST, CITY OF NOVI,  
 OAKLAND COUNTY, MICHIGAN  
 PROJECT #: 17659



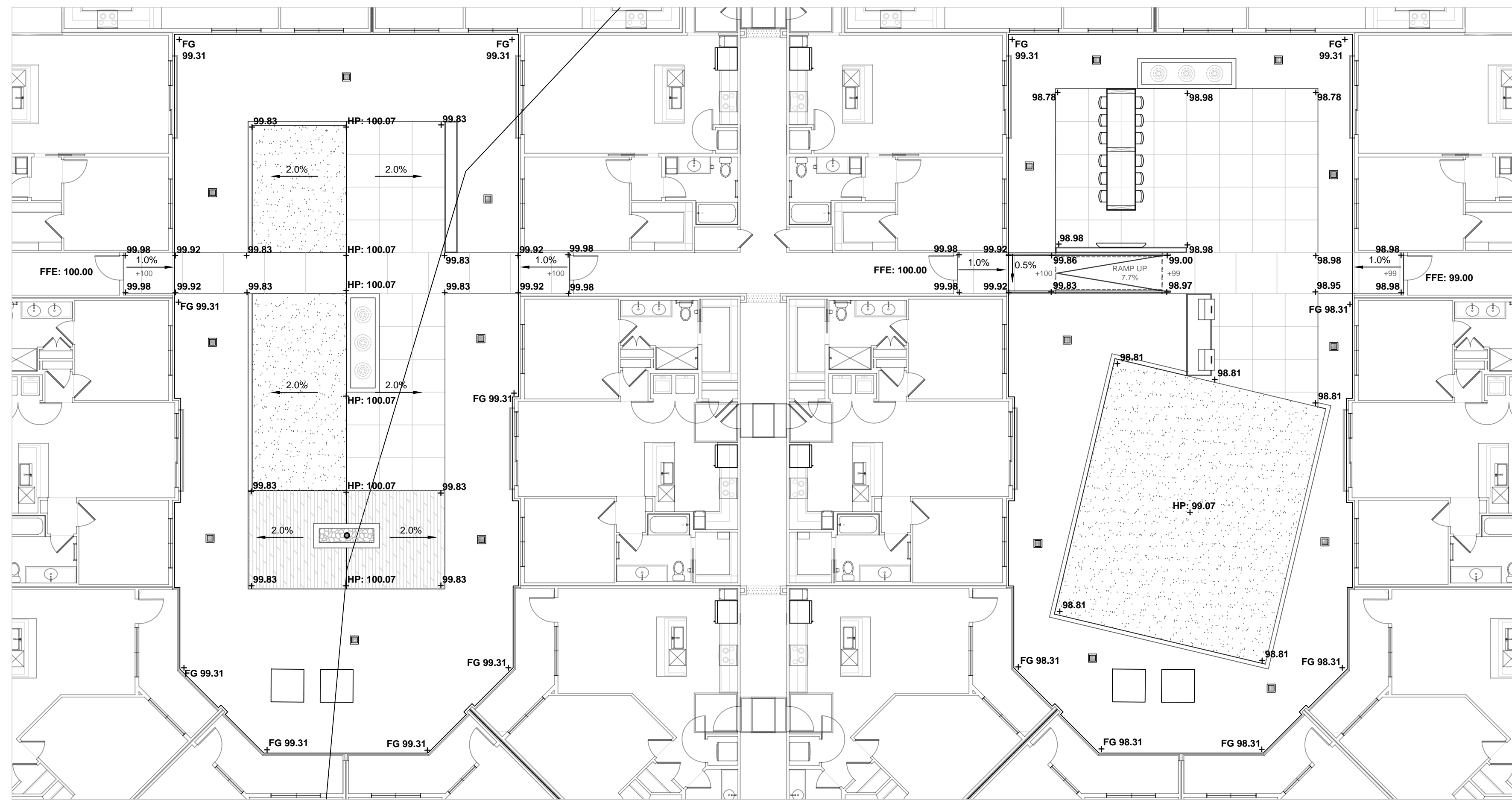
HUMPHREYS & PARTNERS  
 LANDSCAPE ARCHITECTURE, L.L.C.  
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 DALLAS, TX 75240  
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CLIENT  
 DTN MANAGEMENT  
 2502 LAKE LANSING RD  
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 LANSING, MI 48912

SHEET TITLE  
 GRADING PLAN

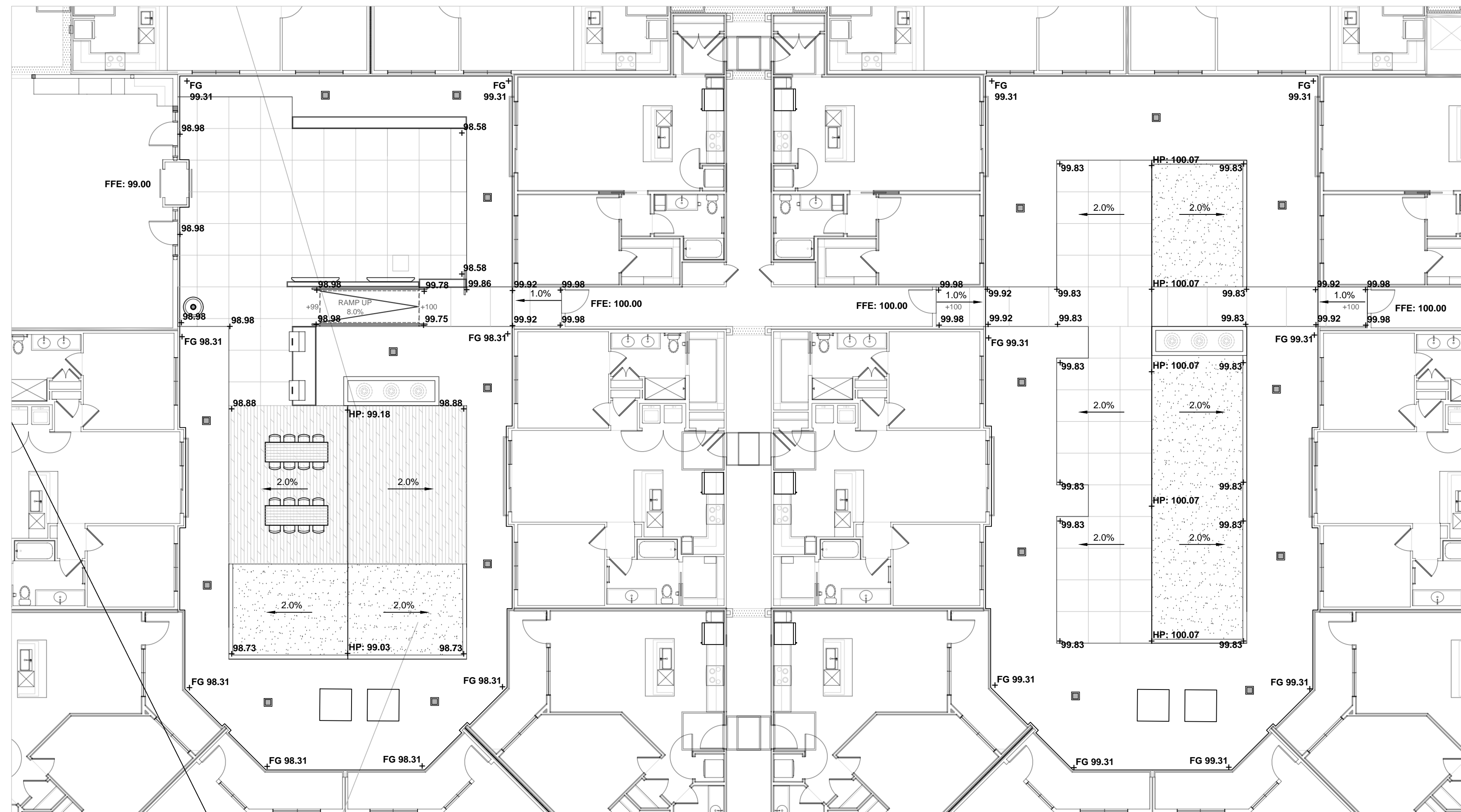
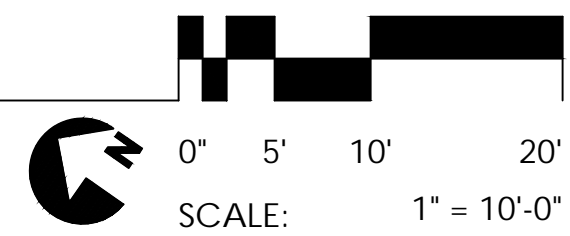
SHEET NUMBER  
 L7.00

SCALE: AS INDICATED  
 CITY JOB #: JSP18-0010



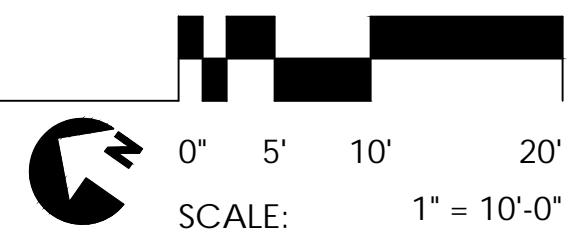
GRADING PLAN

WEST COURTYARDS



GRADING PLAN

EAST COURTYARDS



DRAINAGE LEGEND - WEST COURTYARDS

- DRAIN INLETS (BY: RAINBIRD.COM) TYPE: 9" SQUARE BASIN | MODEL #: DB9S2 9" SQUARE FLAT GRATE (GREEN) QTY: 22
- 7" DIAMETER, MEDIUM-DUTY DECK DRAIN W/ HEEL-PROOF GRATE, POLISHED BRONZE OR NICKEL TOP (BY: WWW.ZURN.COM) PRODUCT #: Z507 - OR APPROVED EQUAL NOTE: LOCATE DRAIN UNDERNEATH POT DRAINAGE OUTLETS QTY: 01
- FFE - FINISHED FLOOR ELEVATION
- HP - HIGH POINT
- TOW - TOP OF WALL
- RIM - ELEVATION AT DRAIN RIM

NOTES:  
 -MAXIMUM CROSS SLOPE ALLOWED: 2%  
 -DRAINS TO BE SET FLUSH WITH DECK OR STRUCTURAL SLAB (WHERE APPLICABLE)  
 -REFER TO MEP DRAWINGS FOR STRUCTURAL SLAB PENETRATIONS

DRAINAGE LEGEND - EAST COURTYARDS

- DRAIN INLETS (BY: RAINBIRD.COM) TYPE: 9" SQUARE BASIN | MODEL #: DB9S2 9" SQUARE FLAT GRATE (GREEN) QTY: 19
- 7" DIAMETER, MEDIUM-DUTY DECK DRAIN W/ HEEL-PROOF GRATE, POLISHED BRONZE OR NICKEL TOP (BY: WWW.ZURN.COM) PRODUCT #: Z507 - OR APPROVED EQUAL NOTE: LOCATE DRAIN UNDERNEATH POT DRAINAGE OUTLETS QTY: 01
- FFE - FINISHED FLOOR ELEVATION
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NOTES:  
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DESIGNED BY: SPENCER J. OKESON  
 DRAWN BY: S.J.O. & I.K.  
 LAOR: DANIEL R. ERLANDSON  
 PLOT DATE: 06/25/2021

ISSUE FOR PRICING/BIDDING: 07/02/2019  
 ISSUE FOR PERMIT APPLICATION: 01/22/2021  
 ISSUE FOR CONSTRUCTION: ISSUE DATE

REVISION SCHEDULE		
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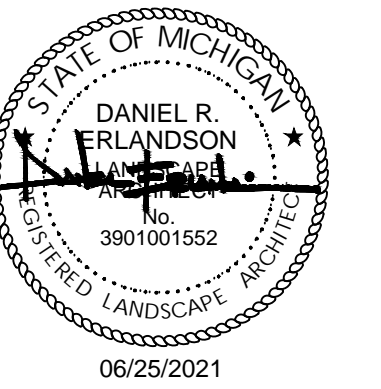
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THE BOND OF NOVI

SECTION 22, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

PROJECT #: 17659



**hpla studio**

HUMPHREYS & PARTNERS  
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 F: (972) 701-9639  
 W: www.hplastudio.com

CLIENT  
 DTN MANAGEMENT  
 2502 LAKE LANSING RD  
 SUITE C,  
 LANSING, MI 48912

SHEET TITLE  
 GRADING PLAN

SHEET NUMBER  
 L7.01

SCALE: AS INDICATED  
 CITY JOB #: JSP18-0010

REVISED PER CITY OF NOVI ELEC. STAMPING - 2021-JUNE-25

DESIGNED BY: SPENCER J. OKESON  
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 LAOR: DANIEL R. ERLANDSON  
 PLOT DATE: 06/25/2021

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ISSUE FOR PERMIT APPLICATION:  
 01/22/2021

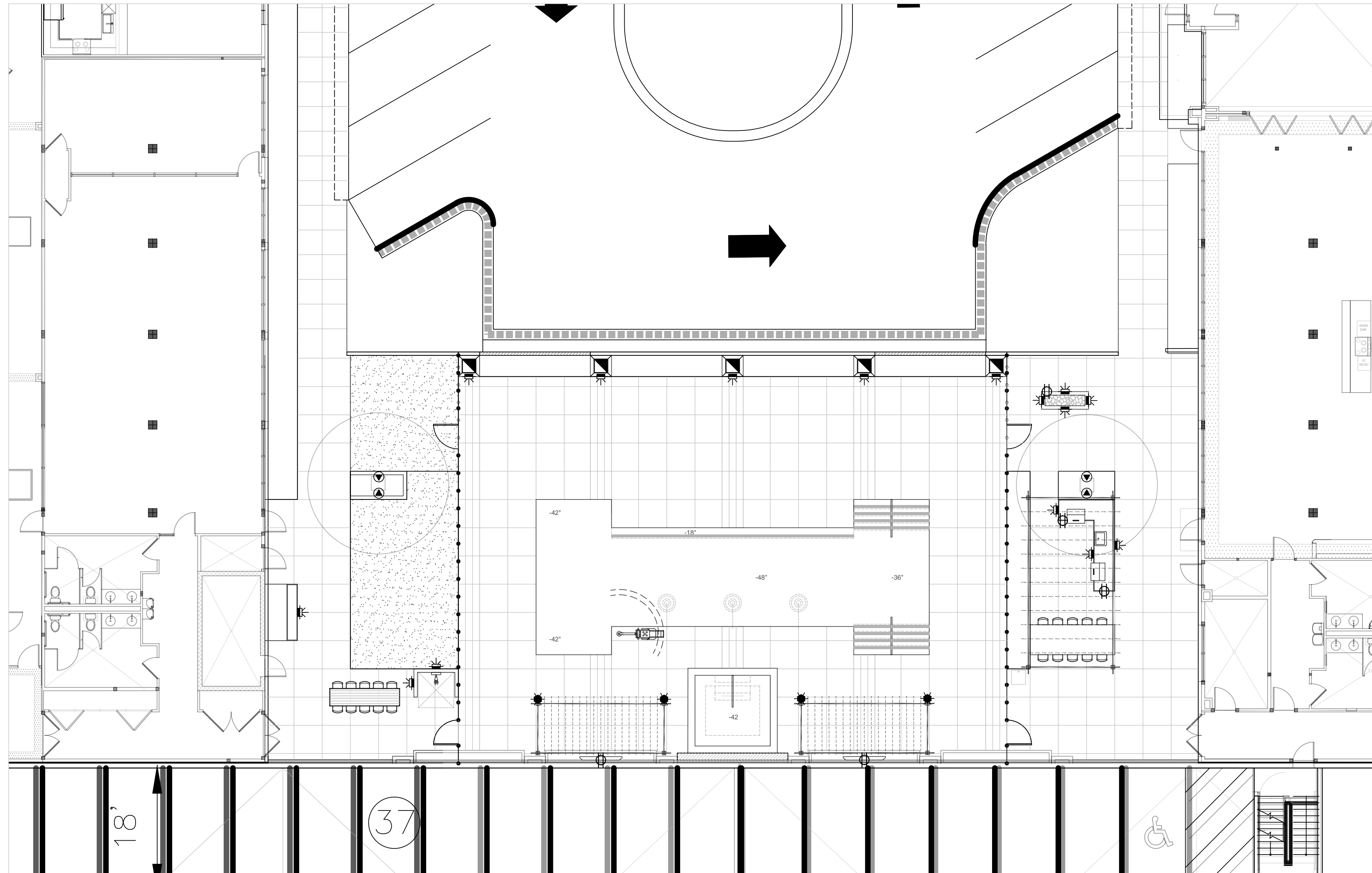
ISSUE FOR CONSTRUCTION:  
 ISSUE DATE

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
△	08/14/2020	ADDENDUM B
△	09/25/2020	ADDENDUM C

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LOW VOLTAGE LIGHTING - POOL COURTYARD

FIXTURE TYPE	DESCRIPTION	QUANTITY
LIGHT BOX	BERNINI ILLUMINATED CUBES BY: PLANTERS UNLIMITED   SIZE: 20" x 20" x 18"	QTY: 05
UPLIGHT	MODEL: MU-35 (MACCHIAULTIMO) COLOR: BLACK (BY: FXL.COM)	QTY: 04
WALL LIGHT	MODEL: FX LOUVER MASSIMO (BY: FXL.COM) PRODUCT #: LM-ZD-2LED-BLACK	QTY: 15
RECESSED FLOOR LIGHT	RECESSED FLOOR LIGHT (IN-GRADE) (BY: KIMLIGHTING.COM) PRODUCT #: LVT83FF-WW-12L5KUV-SR-RCA83	QTY: 04

NOTE: REFERENCE ELECTRICAL DRAWINGS FOR TRANSFORMER, JBOX/RECEPTACLE, AND ALL OTHER EQUIPMENT LOCATIONS

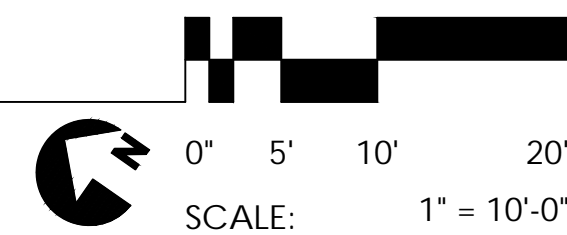
ELECTRICAL LEGEND

FIXTURE TYPE	DESCRIPTION	QUANTITY
ELECTRICAL JUNCTION BOX	MOUNTED IN-WALL (REFER TO PLAN FOR HEIGHTS)	QTY: 05

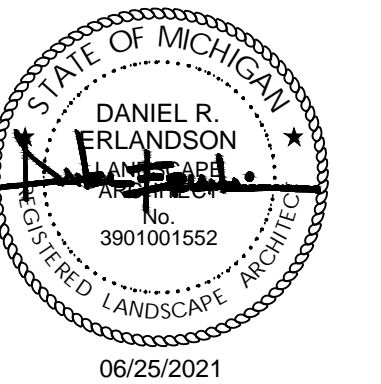
GENERAL NOTES:  
 -ALL LIGHTING TO BE LOW VOLTAGE WITH THE EXCEPTION OF BOLLARDS AND RECESSED FLOOR LIGHTS. REFERENCE ELECTRICAL PLANS FOR BOLLARD ELECTRICAL INFORMATION.  
 -LOW VOLTAGE TRANSFORMER TO PLUG INTO EXISTING ELECTRICAL OUTLET. REFERENCE ELECTRICAL DRAWINGS FOR LOCATION.  
 -ALL DATE PALMS (IF APPLICABLE) TO RECEIVE (1) TREE RING FIXED TO TRUNK WITH (2) DOWN-LIGHTS AND (2) UPLIGHTS ON EACH COLLAR

LIGHTING PLAN

POOL AMENITY SPACE



THE BOND OF NOVI  
 SECTION 22, TOWN 1 NORTH,  
 RANGE 8 EAST, CITY OF NOVI,  
 OAKLAND COUNTY, MICHIGAN  
 PROJECT #: 17659



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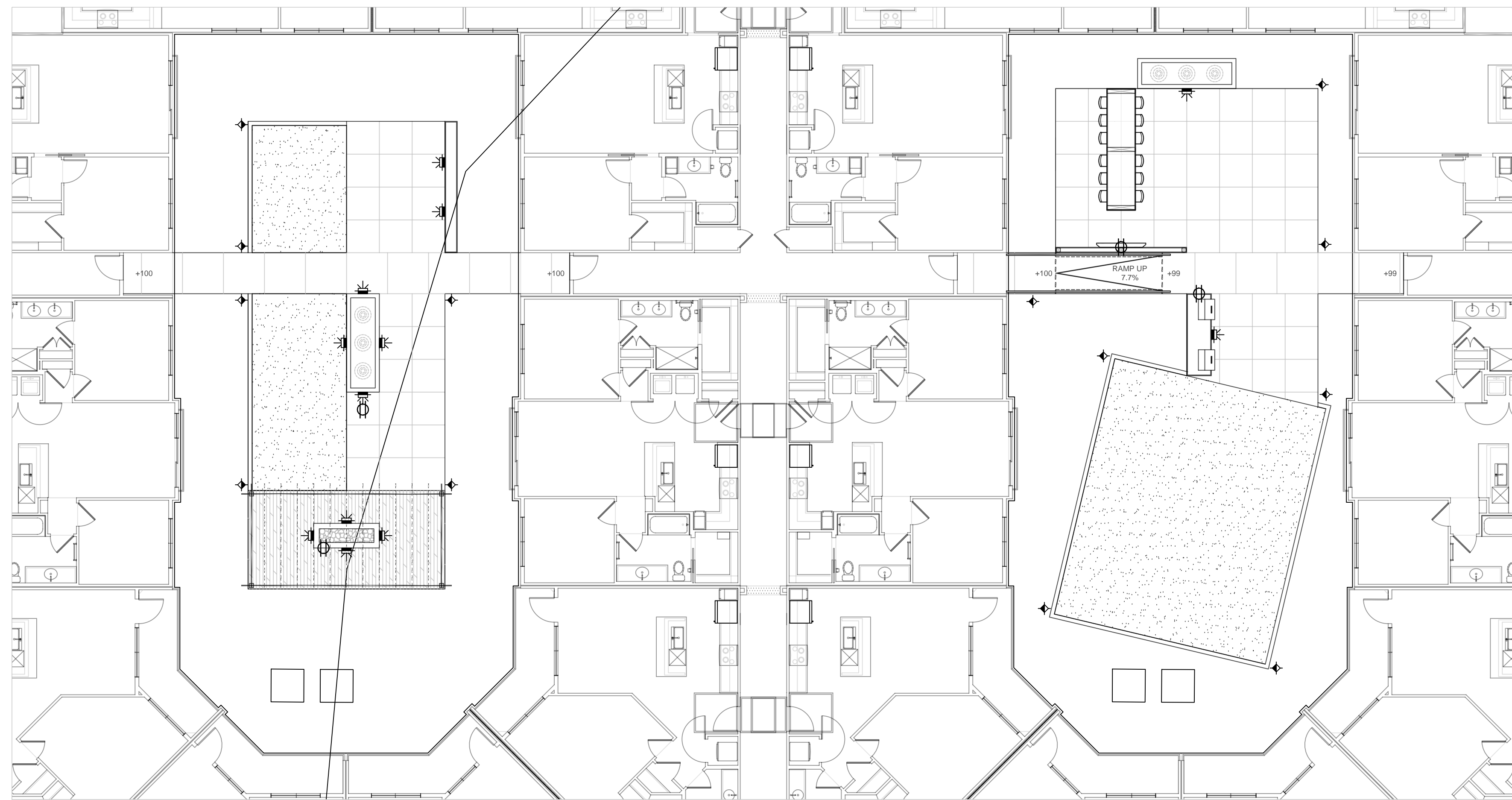
CLIENT  
 DTN MANAGEMENT  
 2502 LAKE LANSING RD  
 SUITE C,  
 LANSING, MI 48912

SHEET TITLE  
 LIGHTING PLAN

SHEET NUMBER  
 L8.00

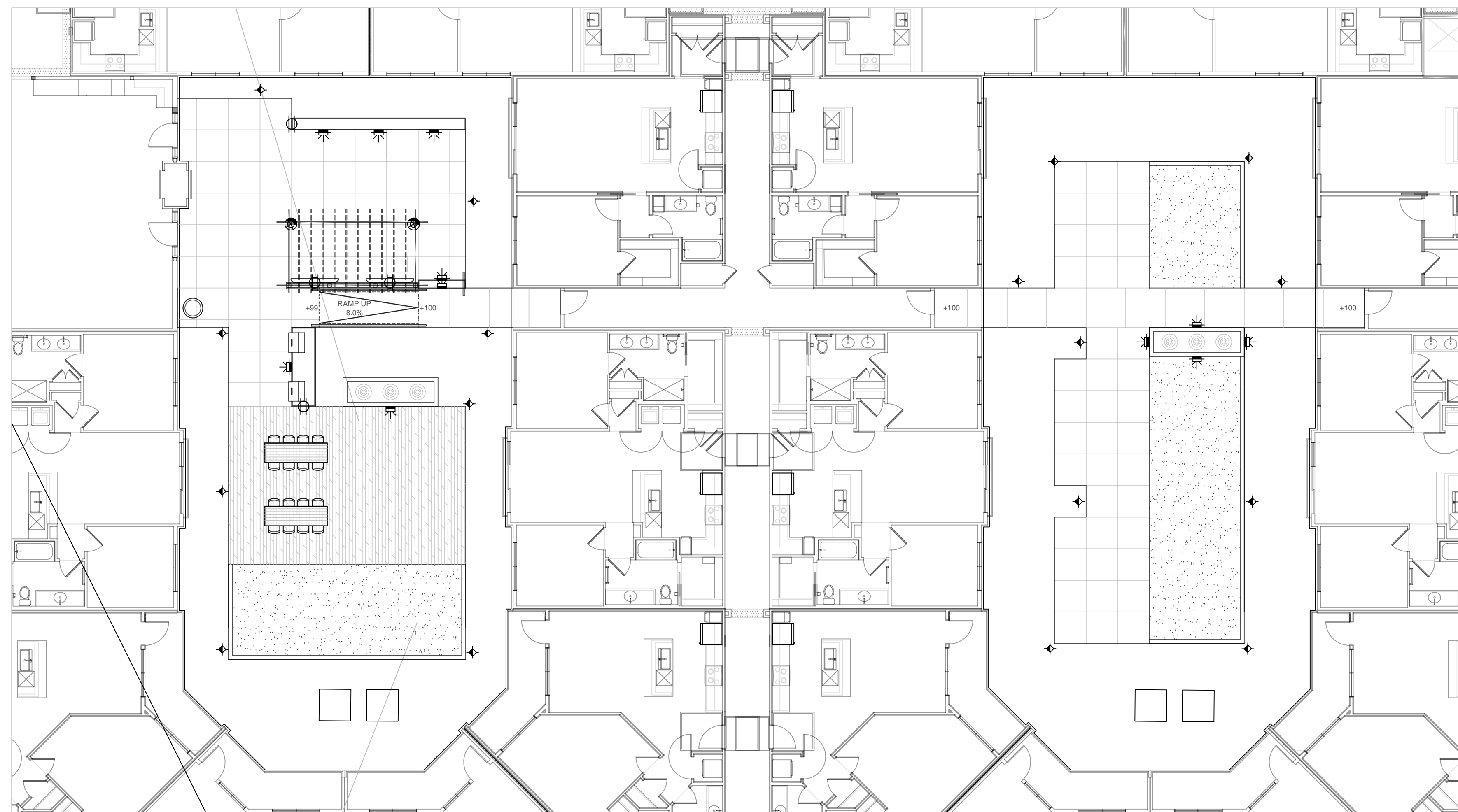
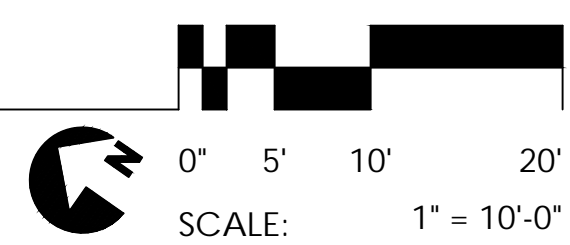
SCALE: AS INDICATED  
 CITY JOB #: JSP18-0010

REVISED PER CITY OF NOVI ELEC. STAMPING - 2021-JUNE-25



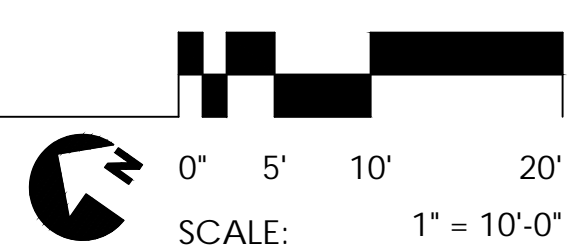
LIGHTING PLAN

WEST COURTYARDS



LIGHTING PLAN

EAST COURTYARDS



**LOW VOLTAGE LIGHTING - WEST COURTYARDS**

FIXTURE TYPE	DESCRIPTION	QUANTITY
WALL LIGHT	MODEL: FX LOUVER MASSIMO (BY: FXL.COM) PRODUCT #: LM-ZD-2LED-BLACK	QTY: 12
PATH LIGHT	aPILLAR (BY: HOLM LIGHTING) PRODUCT #: aPLR-3LED-FB	QTY: 13

NOTE: REFERENCE ELECTRICAL DRAWINGS FOR TRANSFORMER, JBOX/RECEPTACLE, AND ALL OTHER EQUIPMENT LOCATIONS

**ELECTRICAL LEGEND**

FIXTURE TYPE	DESCRIPTION	QUANTITY
ELECTRICAL JUNCTION BOX	MOUNTED IN-WALL (REFER TO PLAN FOR HEIGHTS)	QTY: 04

GENERAL NOTES:  
 -ALL LIGHTING TO BE LOW VOLTAGE WITH THE EXCEPTION OF BOLLARDS AND RECESSED FLOOR LIGHTS. REFERENCE ELECTRICAL PLANS FOR BOLLARD ELECTRICAL INFORMATION.  
 -LOW VOLTAGE TRANSFORMER TO PLUG INTO EXISTING ELECTRICAL OUTLET. REFERENCE ELECTRICAL DRAWINGS FOR LOCATION.  
 -ALL DATE PALMS (IF APPLICABLE) TO RECEIVE (1) TREE RING FIXED TO TRUNK WITH (2) DOWN-LIGHTS AND (2) UPLIGHTS ON EACH COLLAR

**LOW VOLTAGE LIGHTING - EAST COURTYARDS**

FIXTURE TYPE	DESCRIPTION	QUANTITY
DOWN-LIGHTS (SHADE STRUCTURE)	MODEL: MU-35 (MACCHIAULTIMO) COLOR: BLACK (BY: FXL.COM)	QTY: 02
PATH LIGHT	aPILLAR (BY: HOLM LIGHTING) PRODUCT #: aPLR-3LED-FB	QTY: 17
WALL LIGHT	MODEL: FX LOUVER MASSIMO (BY: FXL.COM) PRODUCT #: LM-ZD-2LED-BLACK	QTY: 11

NOTE: REFERENCE ELECTRICAL DRAWINGS FOR TRANSFORMER, JBOX/RECEPTACLE, AND ALL OTHER EQUIPMENT LOCATIONS

**ELECTRICAL LEGEND**

FIXTURE TYPE	DESCRIPTION	QUANTITY
ELECTRICAL JUNCTION BOX	MOUNTED IN-WALL (REFER TO PLAN FOR HEIGHTS)	QTY: 04

GENERAL NOTES:  
 -ALL LIGHTING TO BE LOW VOLTAGE WITH THE EXCEPTION OF BOLLARDS AND RECESSED FLOOR LIGHTS. REFERENCE ELECTRICAL PLANS FOR BOLLARD ELECTRICAL INFORMATION.  
 -LOW VOLTAGE TRANSFORMER TO PLUG INTO EXISTING ELECTRICAL OUTLET. REFERENCE ELECTRICAL DRAWINGS FOR LOCATION.  
 -ALL DATE PALMS (IF APPLICABLE) TO RECEIVE (1) TREE RING FIXED TO TRUNK WITH (2) DOWN-LIGHTS AND (2) UPLIGHTS ON EACH COLLAR

DESIGNED BY: SPENCER J. OKESON  
 DRAWN BY: S.J.O. & I.K.  
 LAOR: DANIEL R. ERLANDSON  
 PLOT DATE: 06/25/2021

ISSUE FOR PRICING/BIDDING:  
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**THE BOND OF NOVI**  
 SECTION 22, TOWN 1 NORTH,  
 RANGE 8 EAST, CITY OF NOVI,  
 OAKLAND COUNTY, MICHIGAN  
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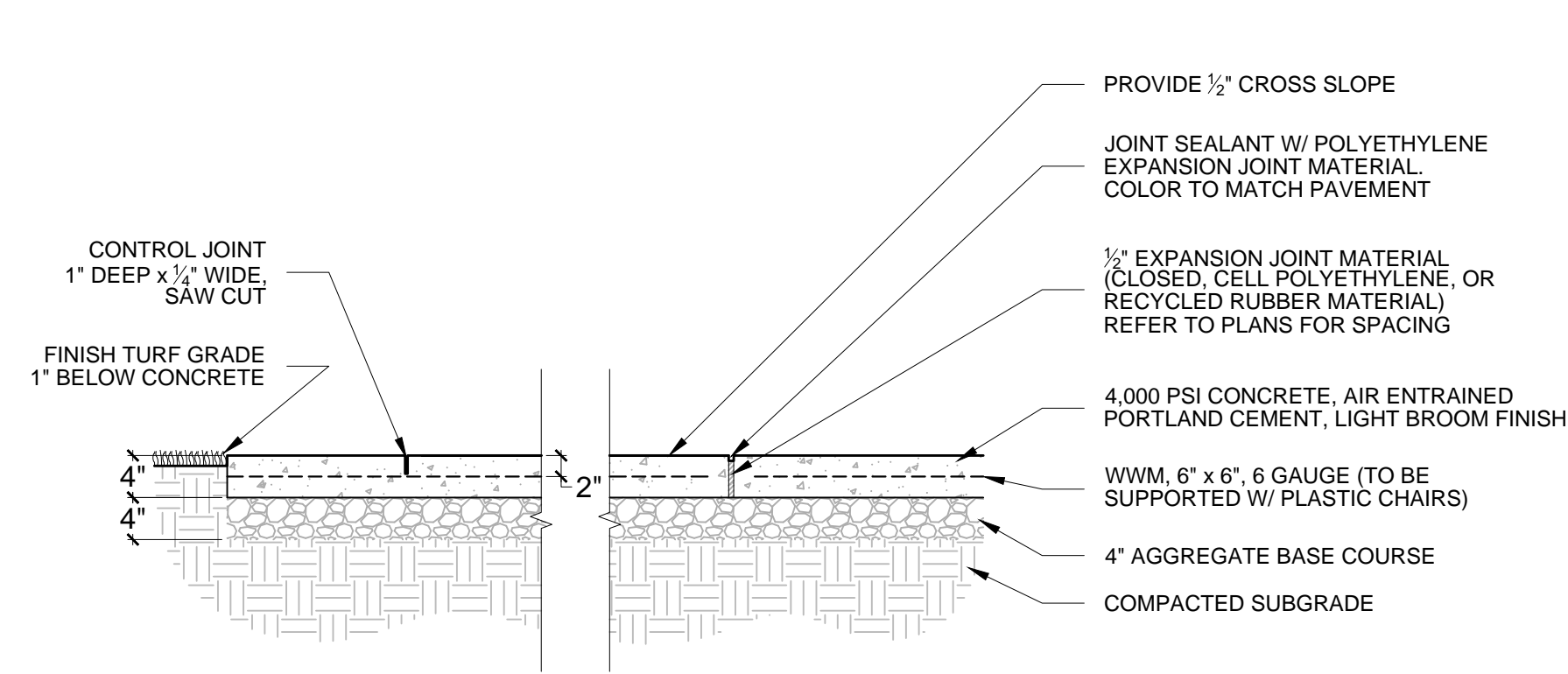
SHEET TITLE  
 LIGHTING PLAN

SHEET NUMBER  
 L8.01

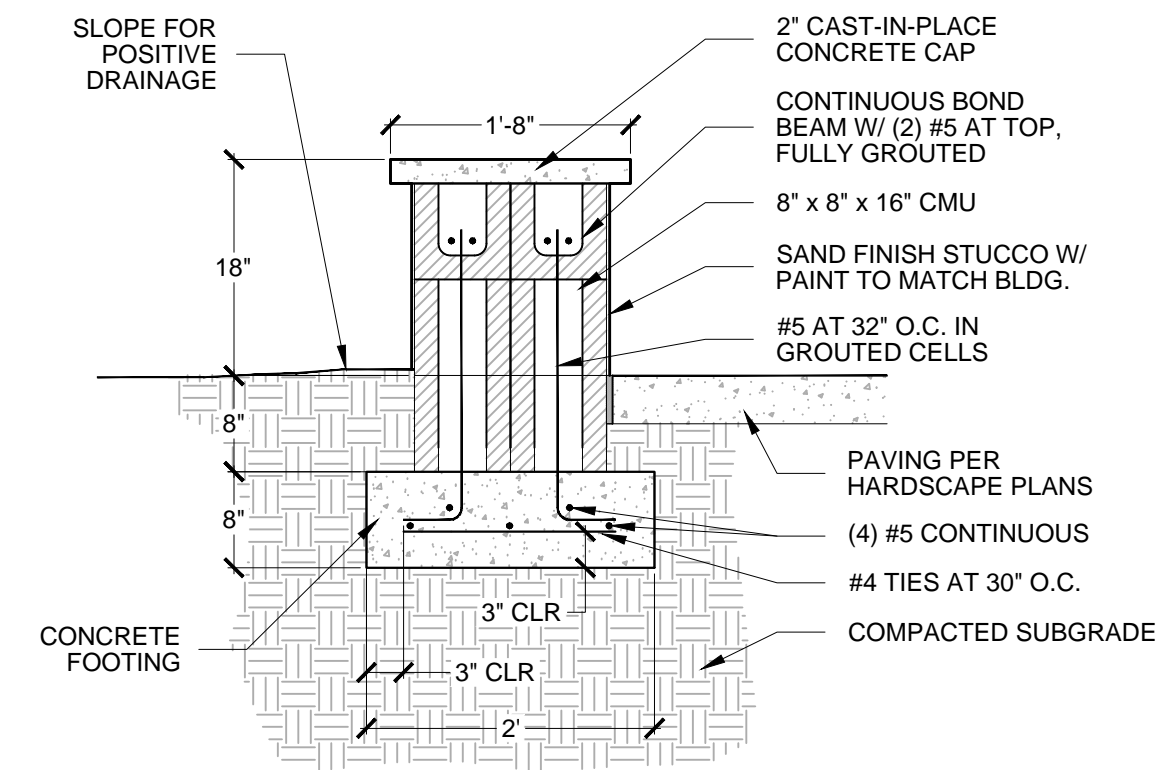
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 CITY JOB #: JSP18-0010

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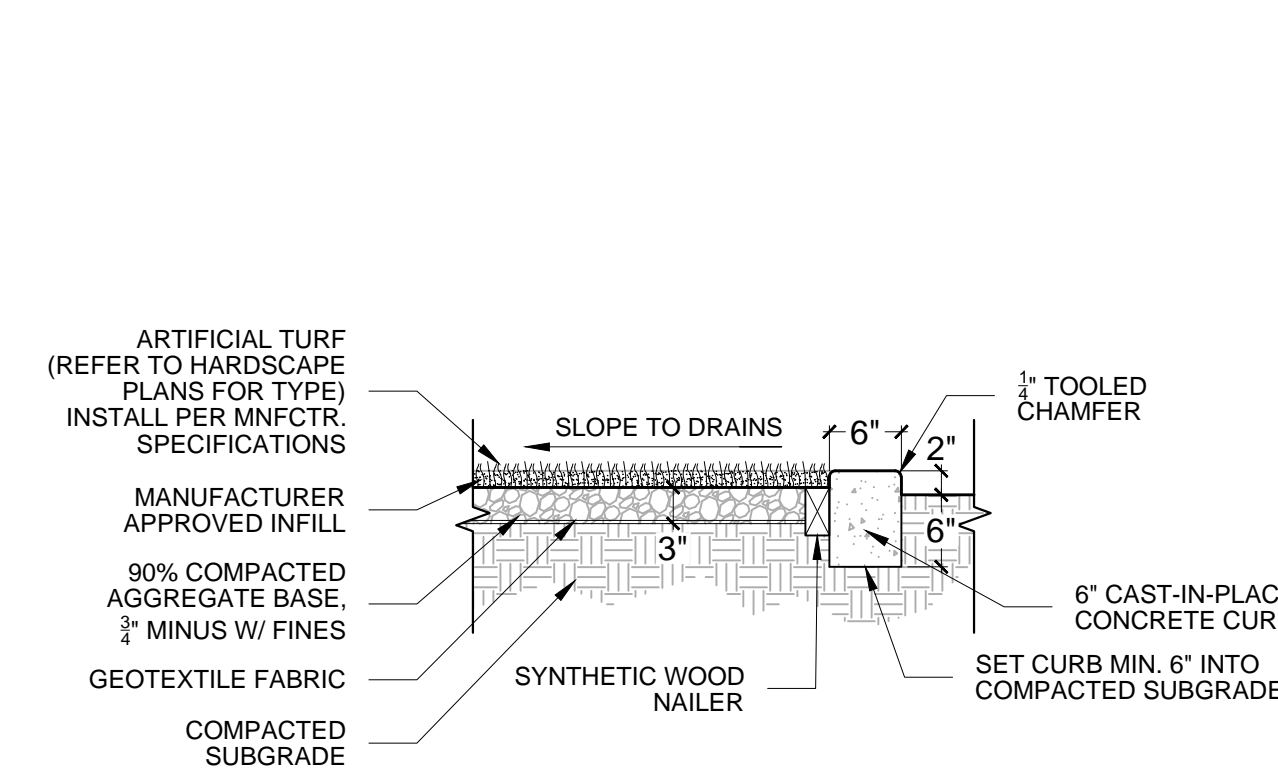
**01 CONCRETE SIDEWALK**  
SCALE: 3/4" = 1'-0"



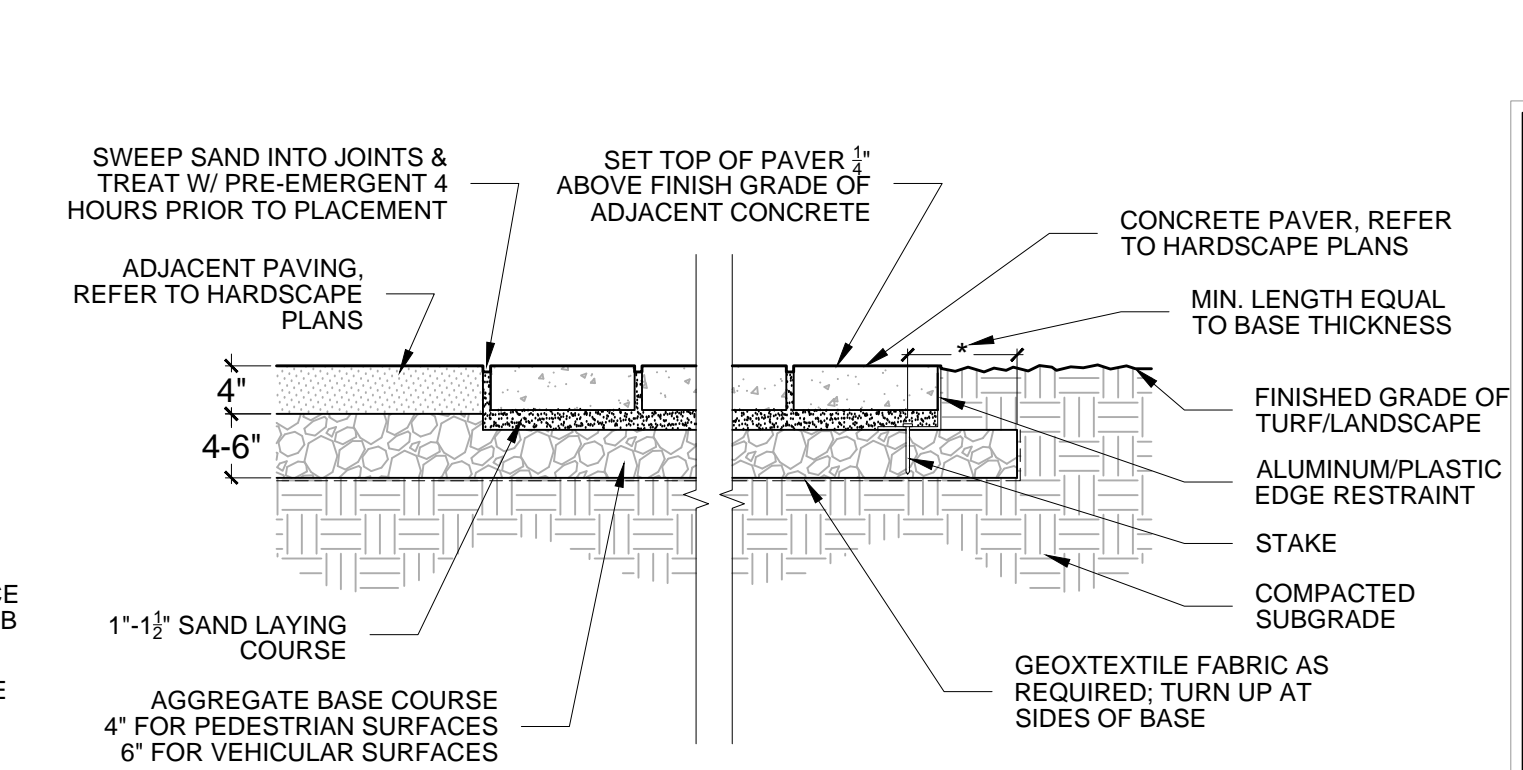
**02 CMU SEAT WALL**  
SCALE: 3/4" = 1'-0"



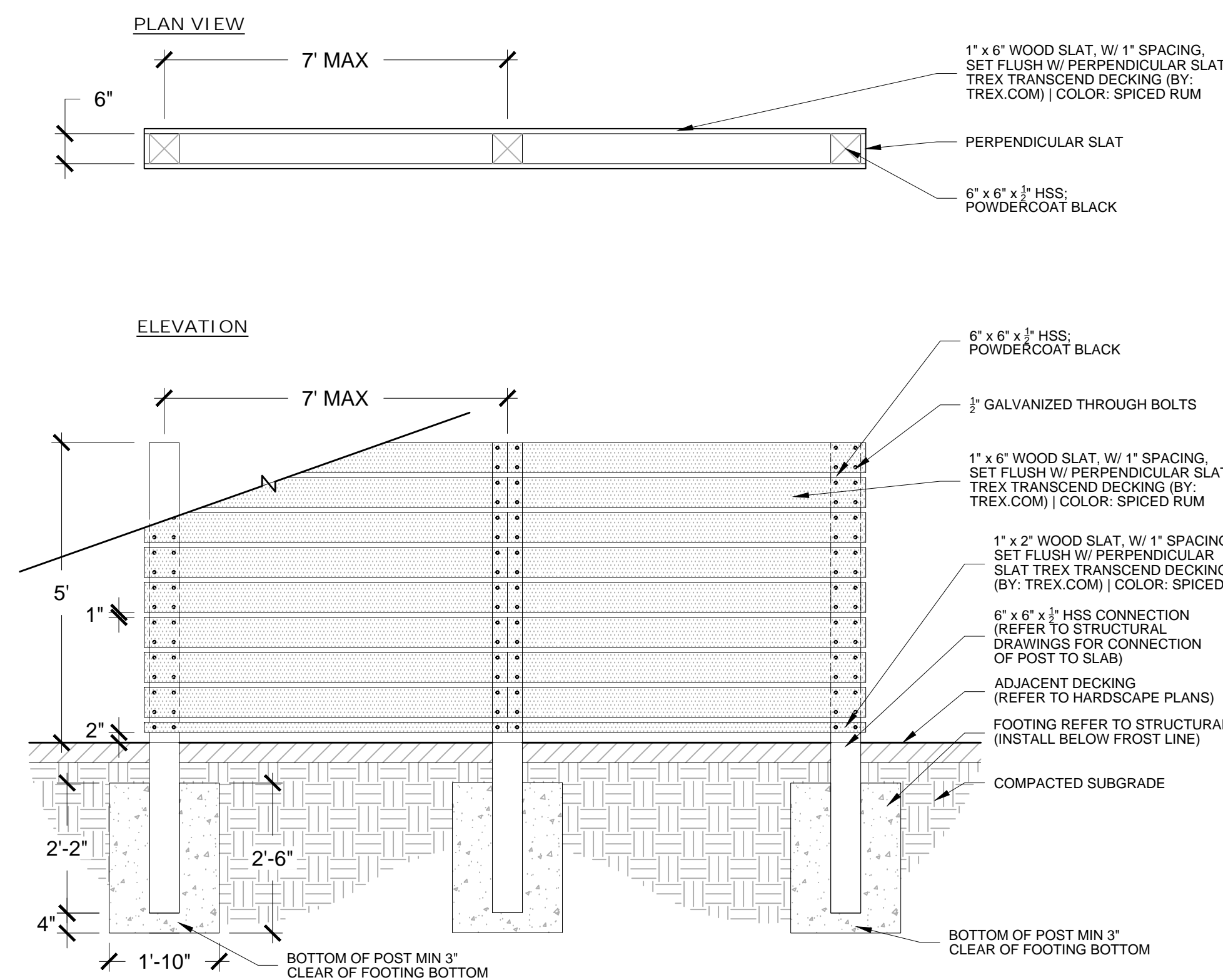
**03 6" CAST IN PLACE CONCRETE HEADER**  
SCALE: 3/4" = 1'-0"



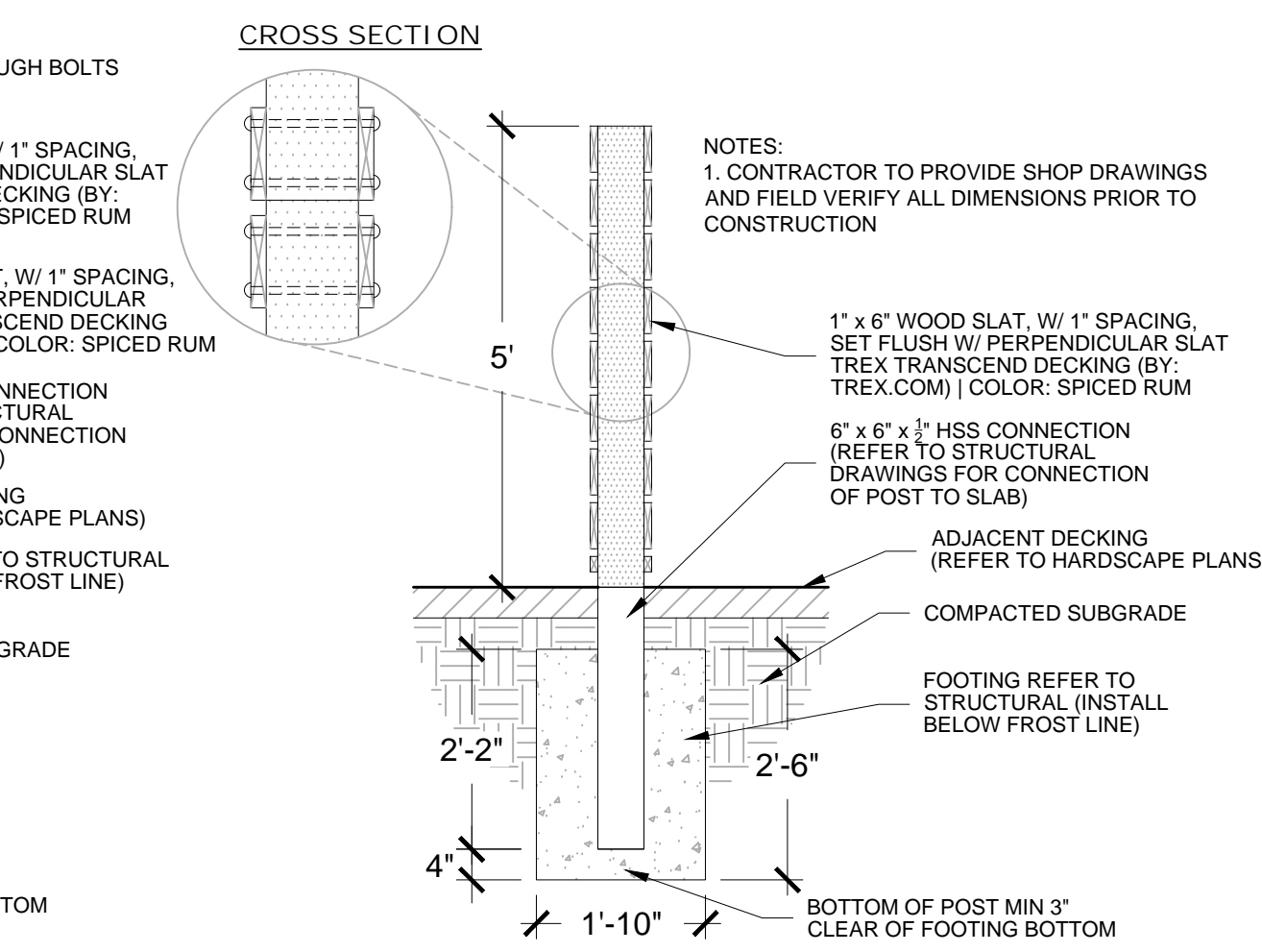
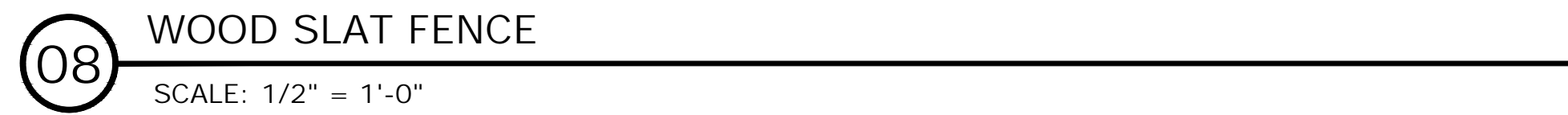
**05 PAVERS**  
SCALE: 3/4" = 1'-0"



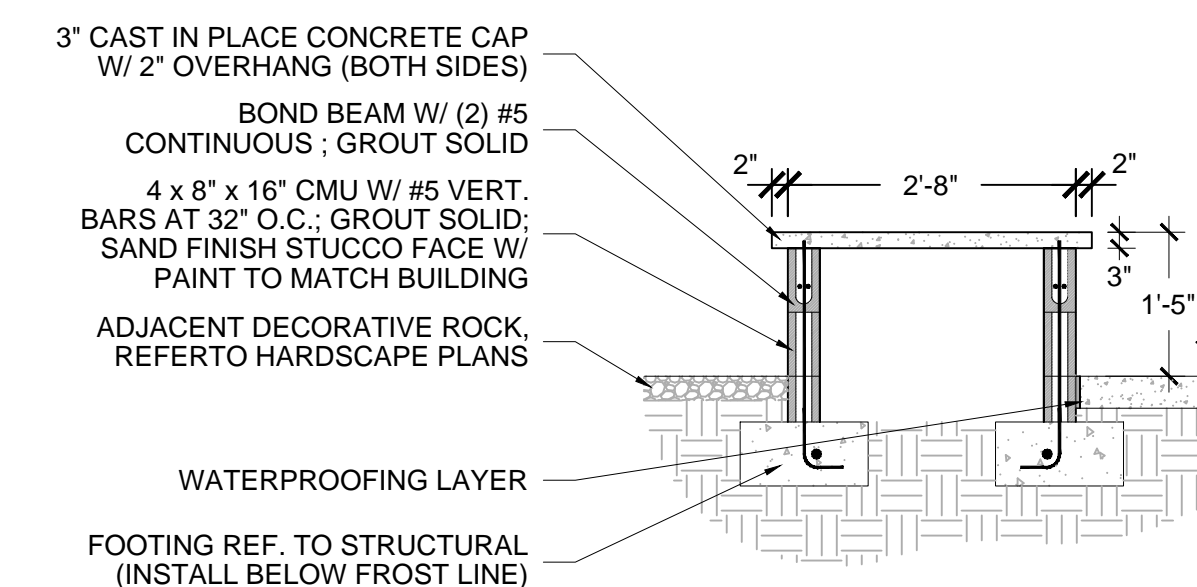
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SCALE: N/A



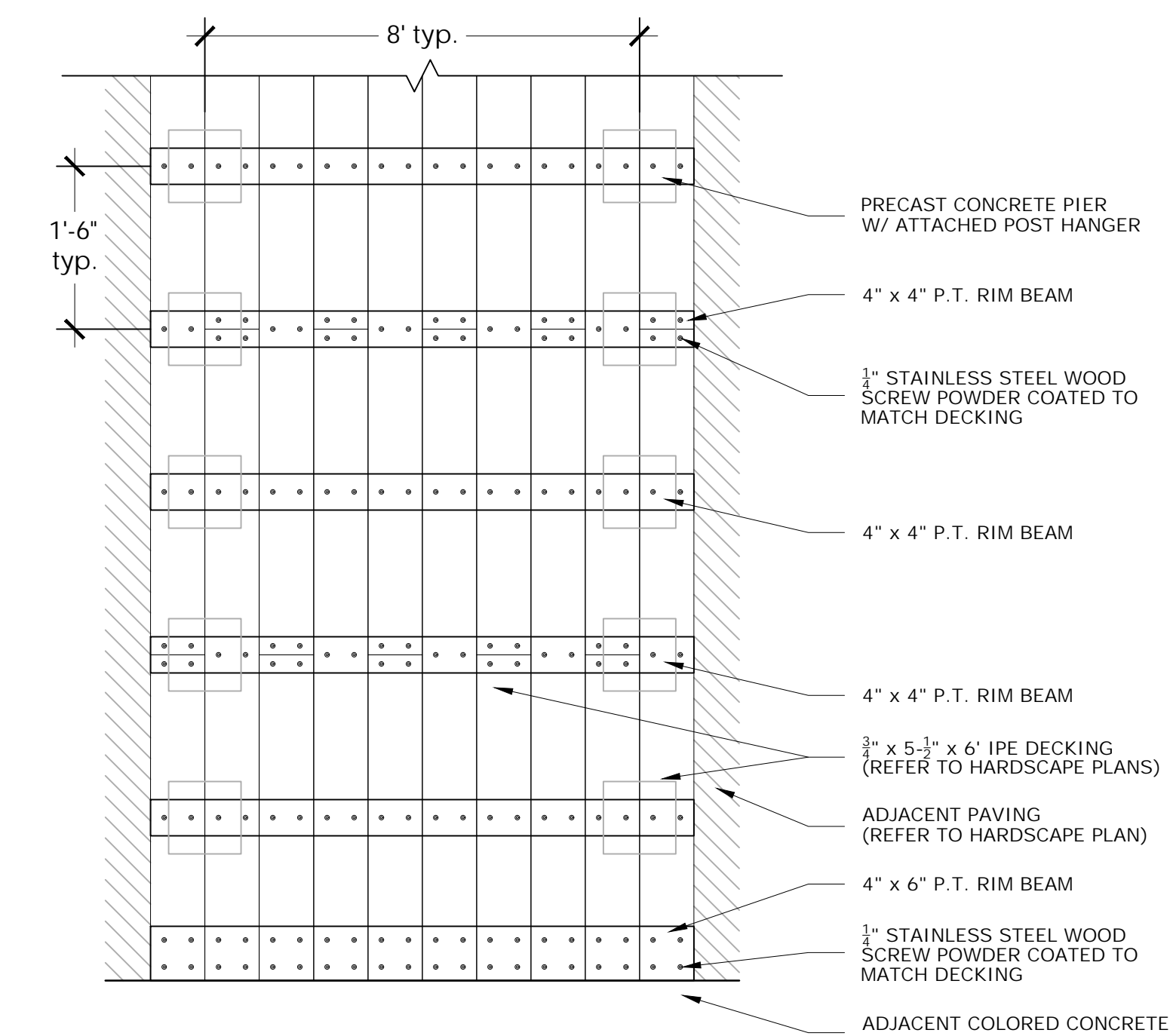
**08 WOOD SLAT FENCE**  
SCALE: 1/2" = 1'-0"



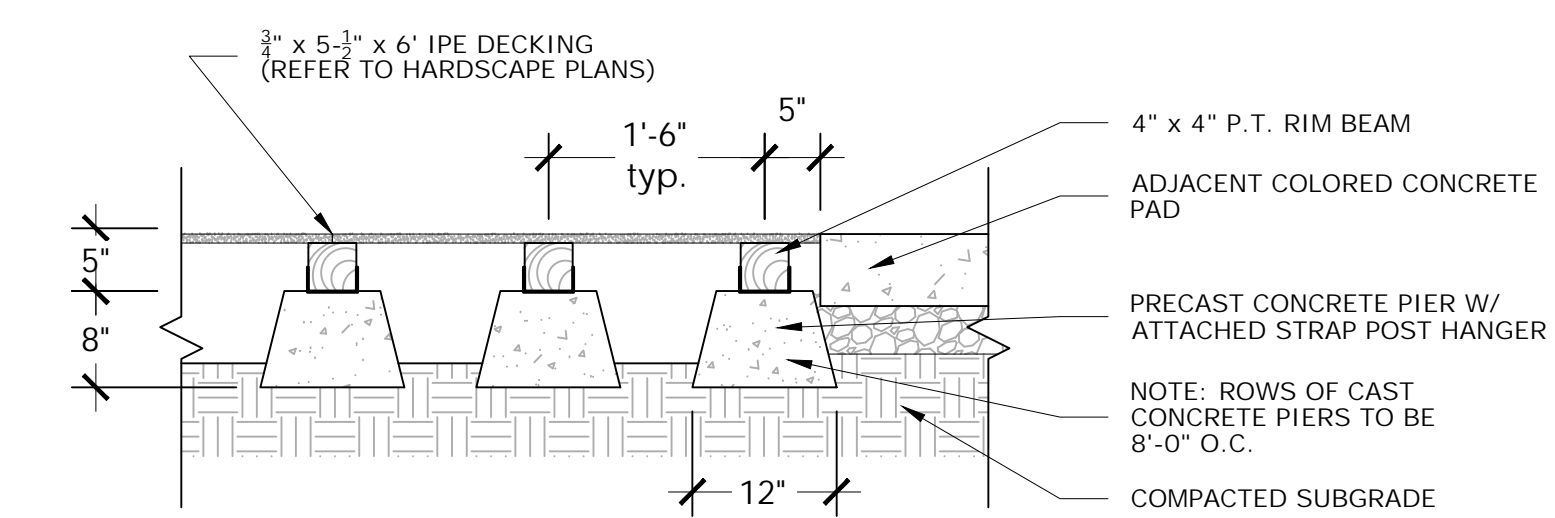
**07 CMU PLINTH**  
SCALE: 1/2" = 1'-0"



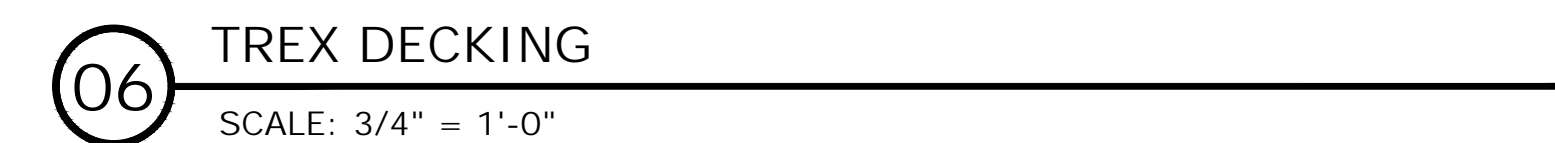
**PLAN**



**SECTION**



**06 TREX DECKING**  
SCALE: 3/4" = 1'-0"



DESIGNED BY: SPENCER J. OKESON  
DRAWN BY: S.J.O. & I.K.  
LAOR: DANIEL R. ERLANDSON  
PLOT DATE: 06/25/2021

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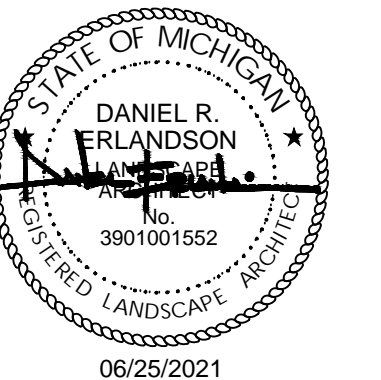
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**THE BOND OF NOVI**

SECTION 22, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

PROJECT #: 17659



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DTN MANAGEMENT  
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SUITE C,  
LANSING, MI 48912

**SHEET TITLE**  
SITE DETAILS

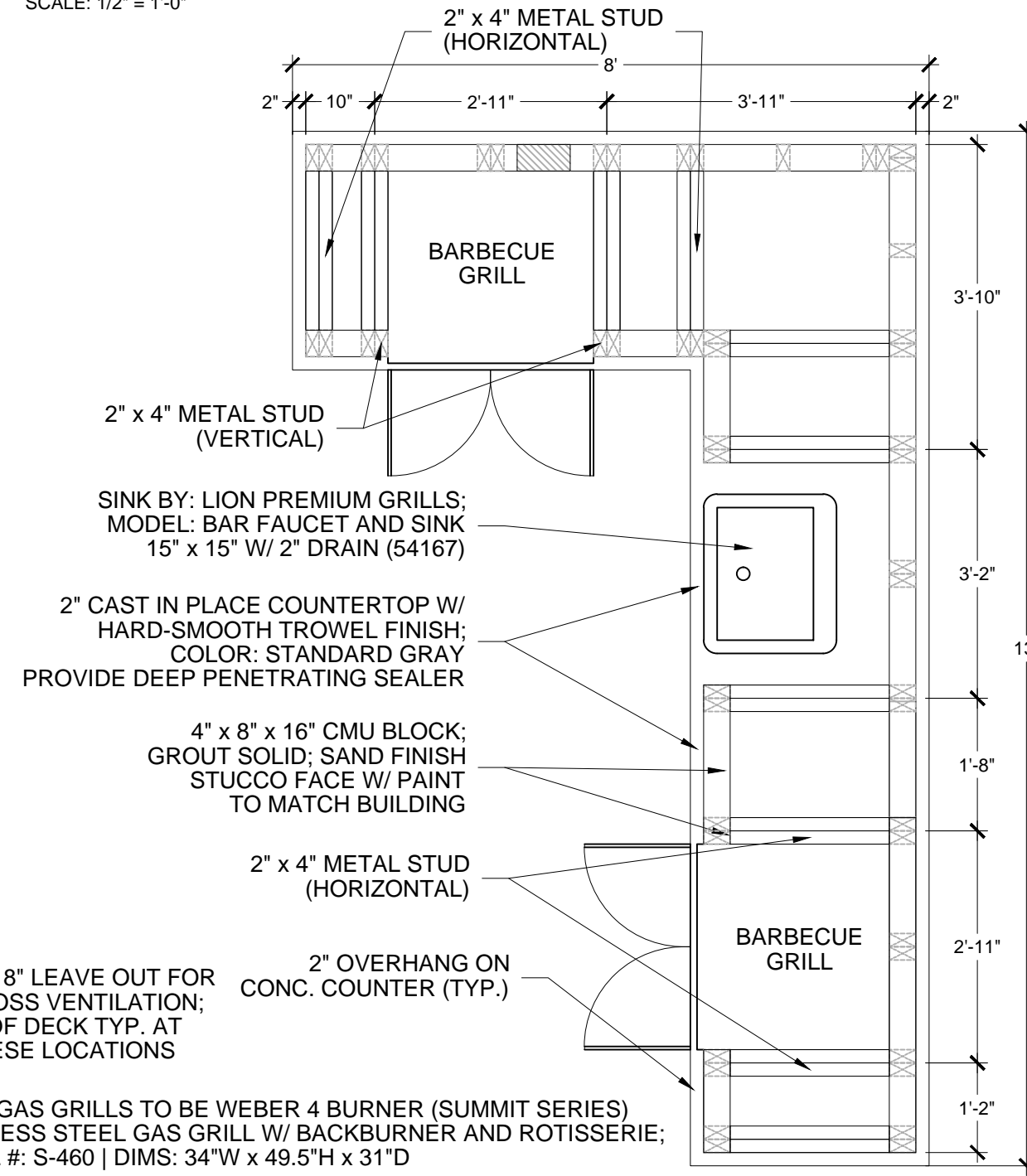
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L9.00

SCALE: AS INDICATED  
CITY JOB #: JSP18-0010

REVISED PER CITY OF NOVI ELEC. STAMPING - 2021-JUNE-25

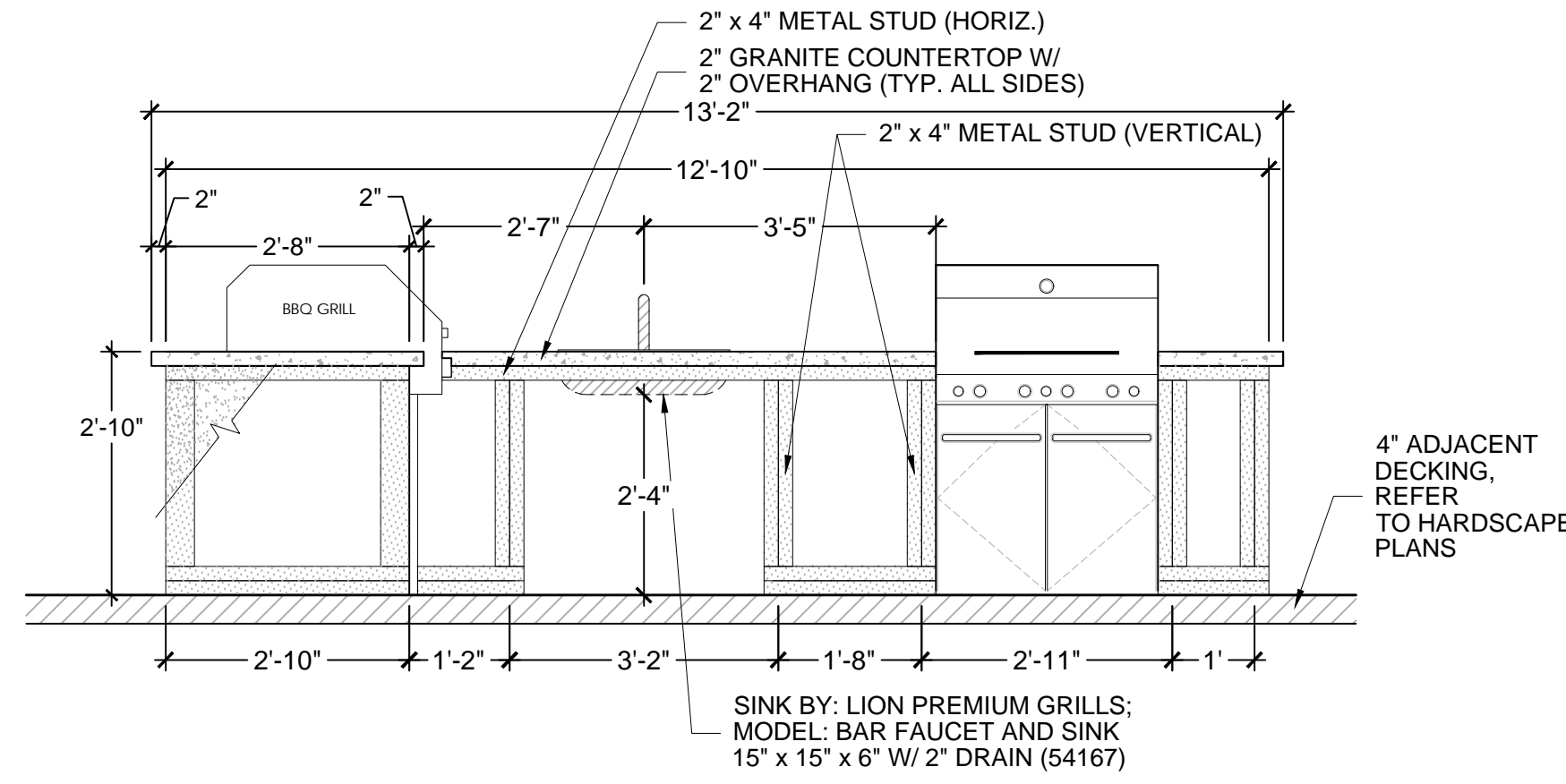
**PLAN VIEW - COUNTER & BARTOP**

SCALE: 1/2" = 1'-0"



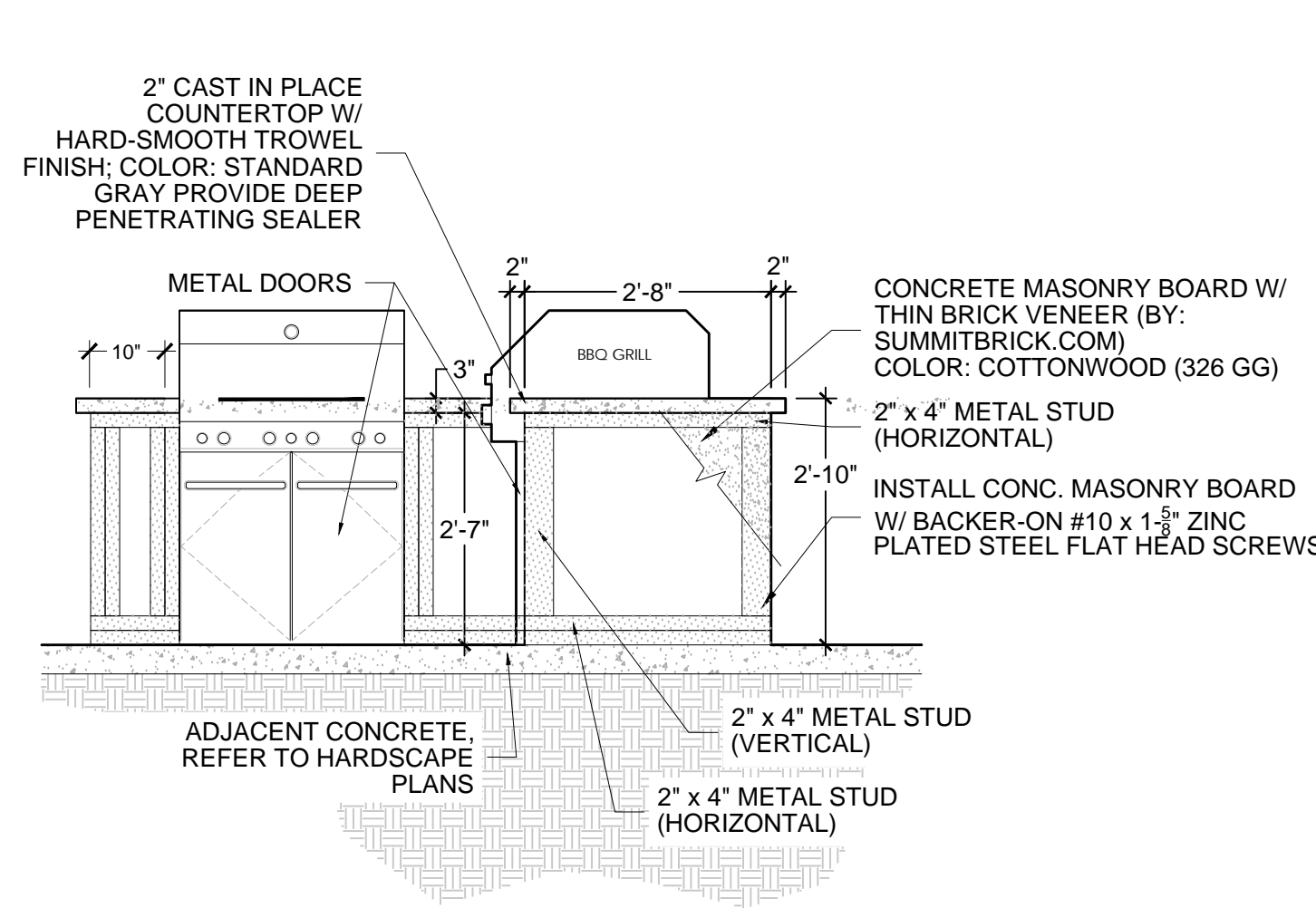
**CROSS SECTION - BBQ**

SCALE: 1/2" = 1'-0"



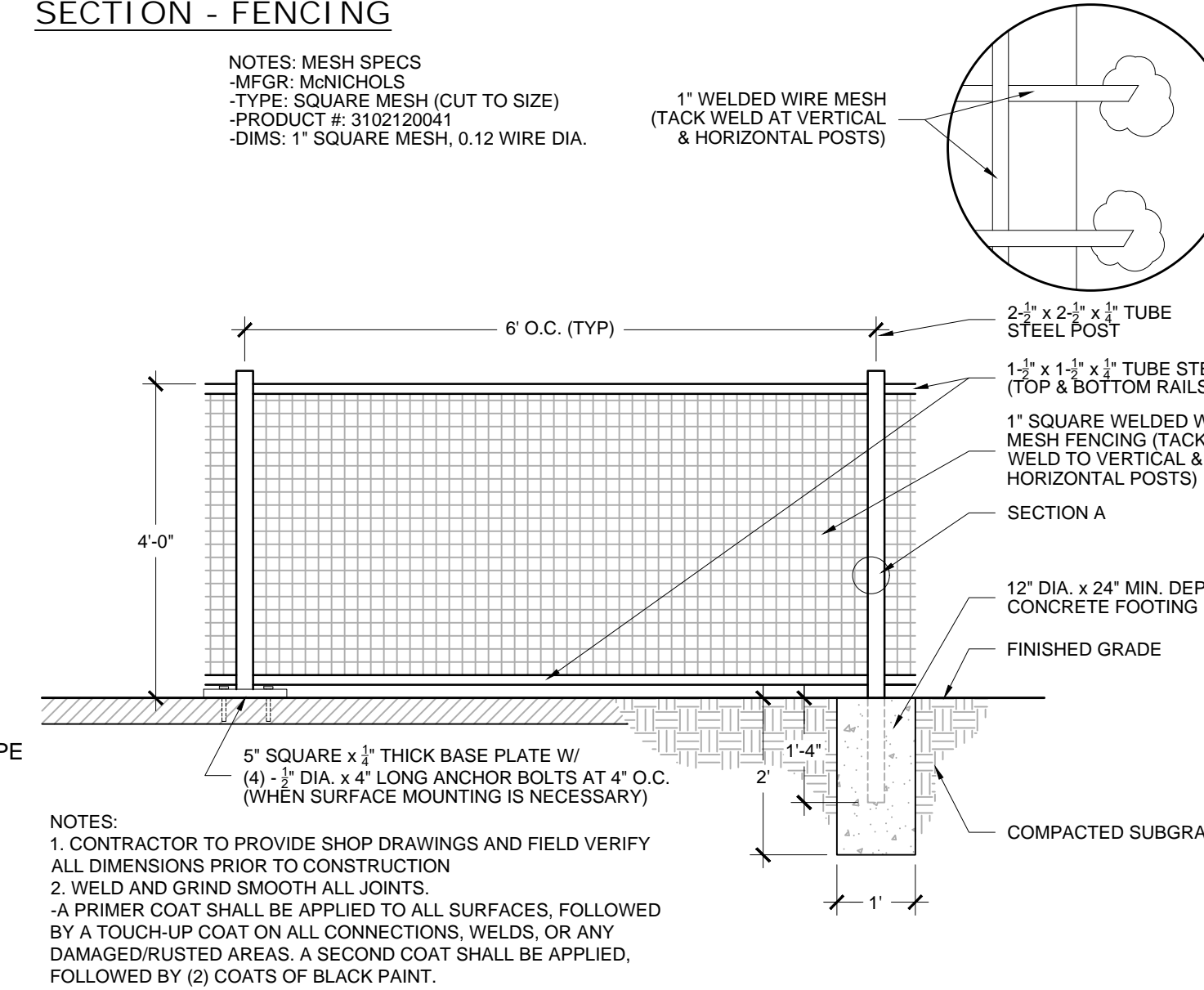
**CROSS SECTION - BBQ**

SCALE: 1/2" = 1'-0"



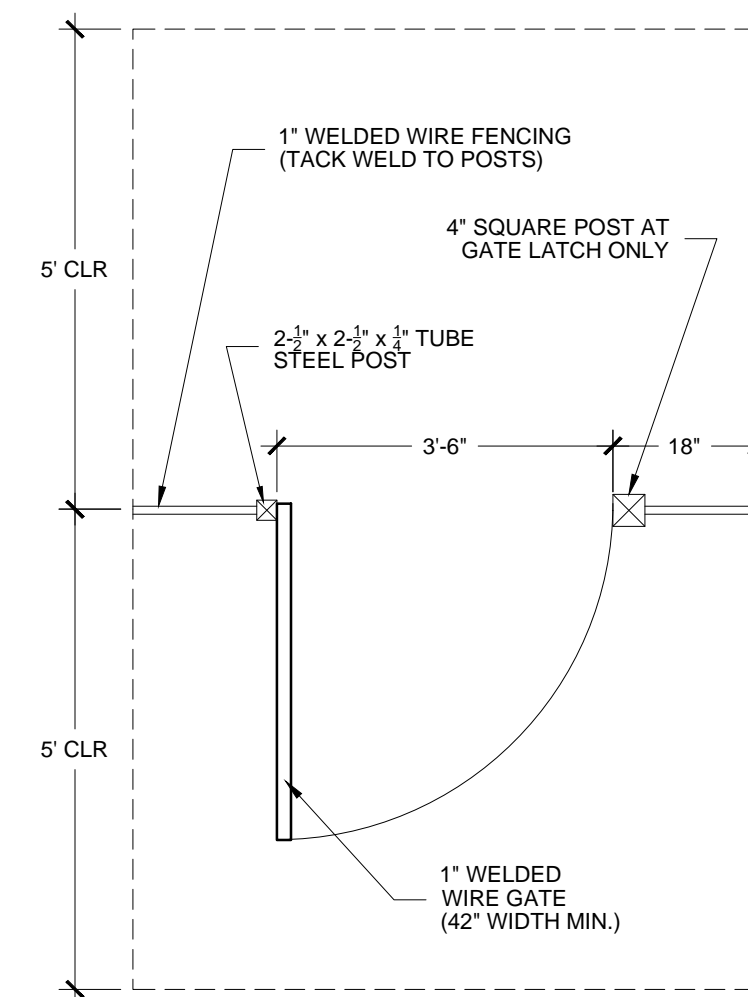
**SECTION - FENCING**

NOTES: MESH SPECS  
-MFR: M-NICHOLS  
-TYPE: SQUARE MESH (CUT TO SIZE)  
-PRODUCT #: 310212041  
-DIMS: 1" SQUARE MESH, 0.12 WIRE DIA.



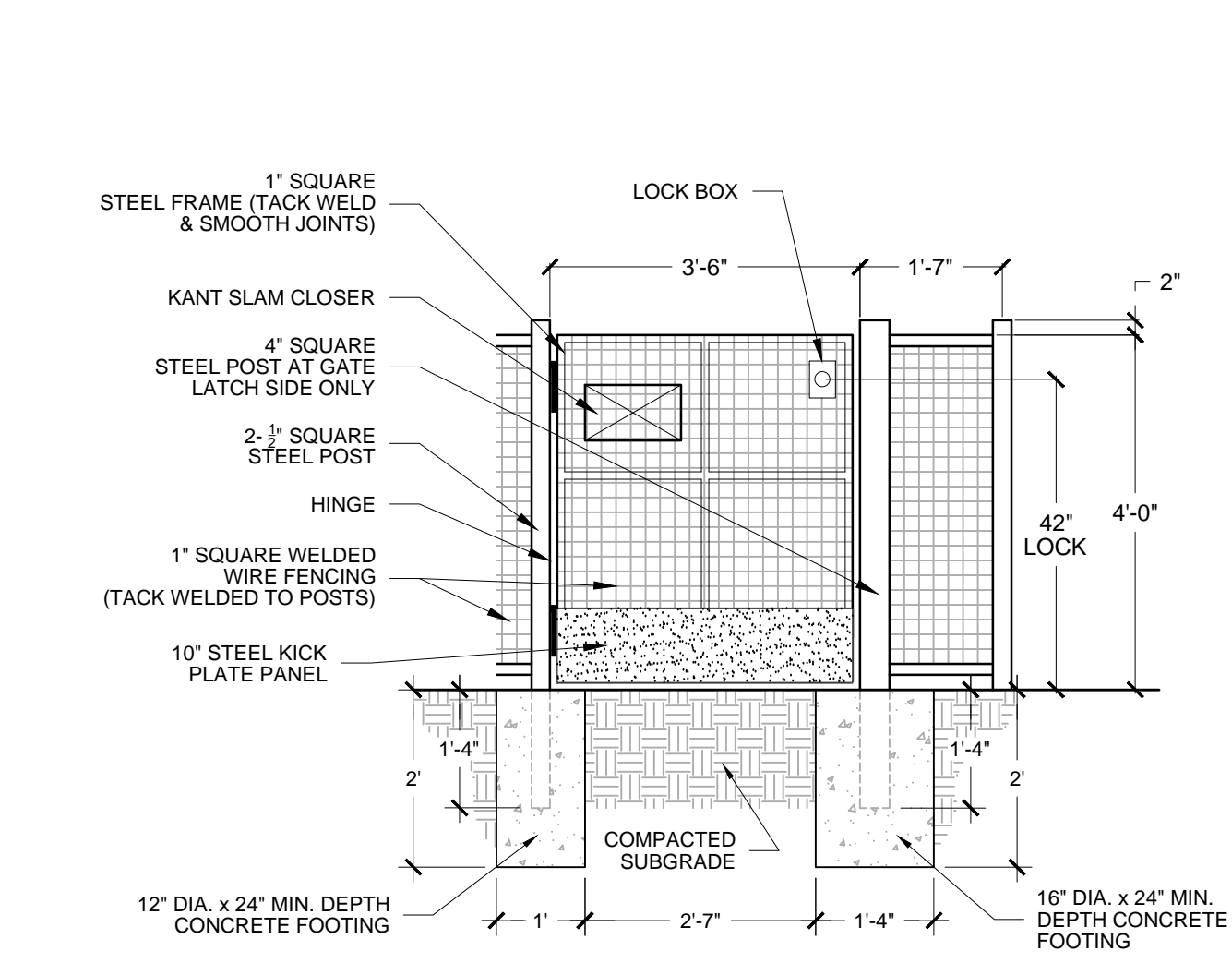
NOTES:  
1. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION  
2. WELD AND GRIND SMOOTH ALL JOINTS  
-A PRIMER COAT SHALL BE APPLIED TO ALL SURFACES, FOLLOWED BY A TOUCH-UP COAT ON ALL CONNECTIONS, WELDS, OR ANY DAMAGED/RUSTED AREAS. A SECOND COAT SHALL BE APPLIED, FOLLOWED BY (2) COATS OF BLACK PAINT.

**PLAN - GATE**



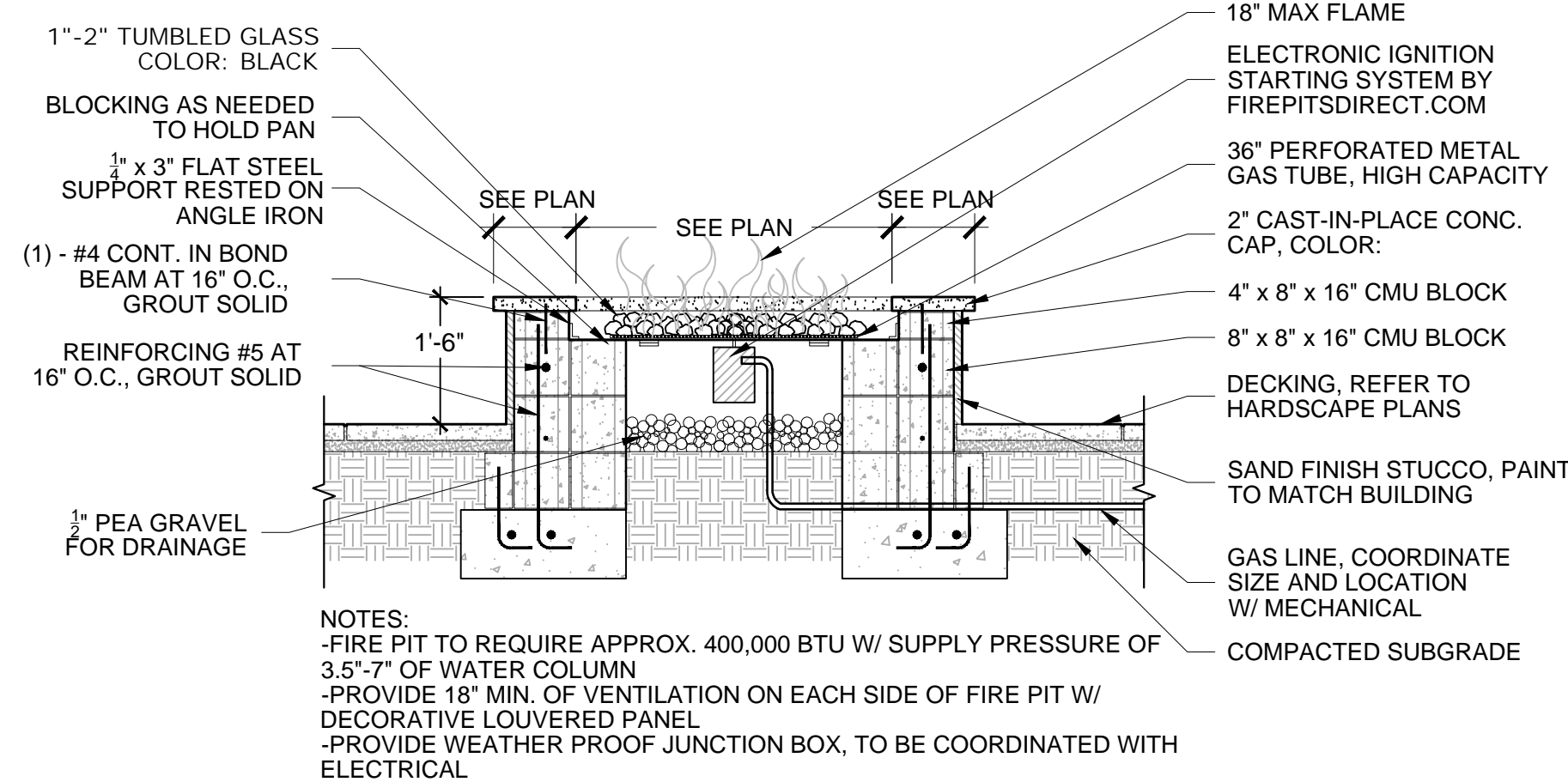
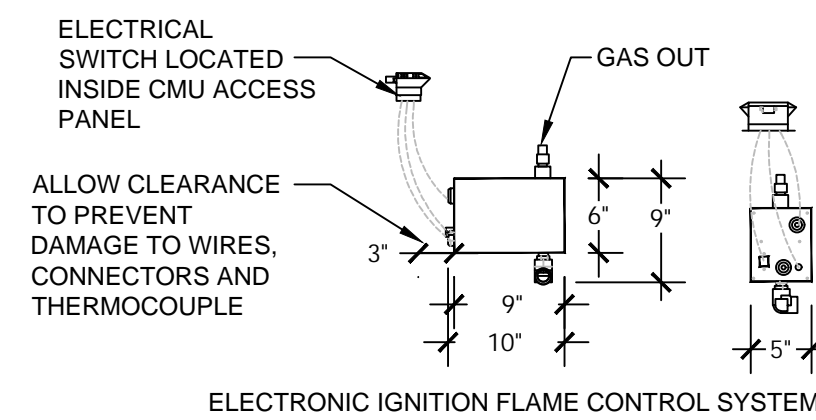
NOTES: GATE  
-GATES TO BE SIMILAR CONSTRUCTION AS FENCE DETAIL  
-FENCING & GATES SHALL MEET ALL CITY & COUNTY HEALTH DEPT. REQUIREMENTS FOR POOL BARRIER SAFETY CODES  
-WELD & GRIND SMOOTH ALL JOINTS.

**ELEVATION - GATE**



**09 OUTDOOR KITCHEN (POOL)**

SCALE: 1/2" = 1'-0"

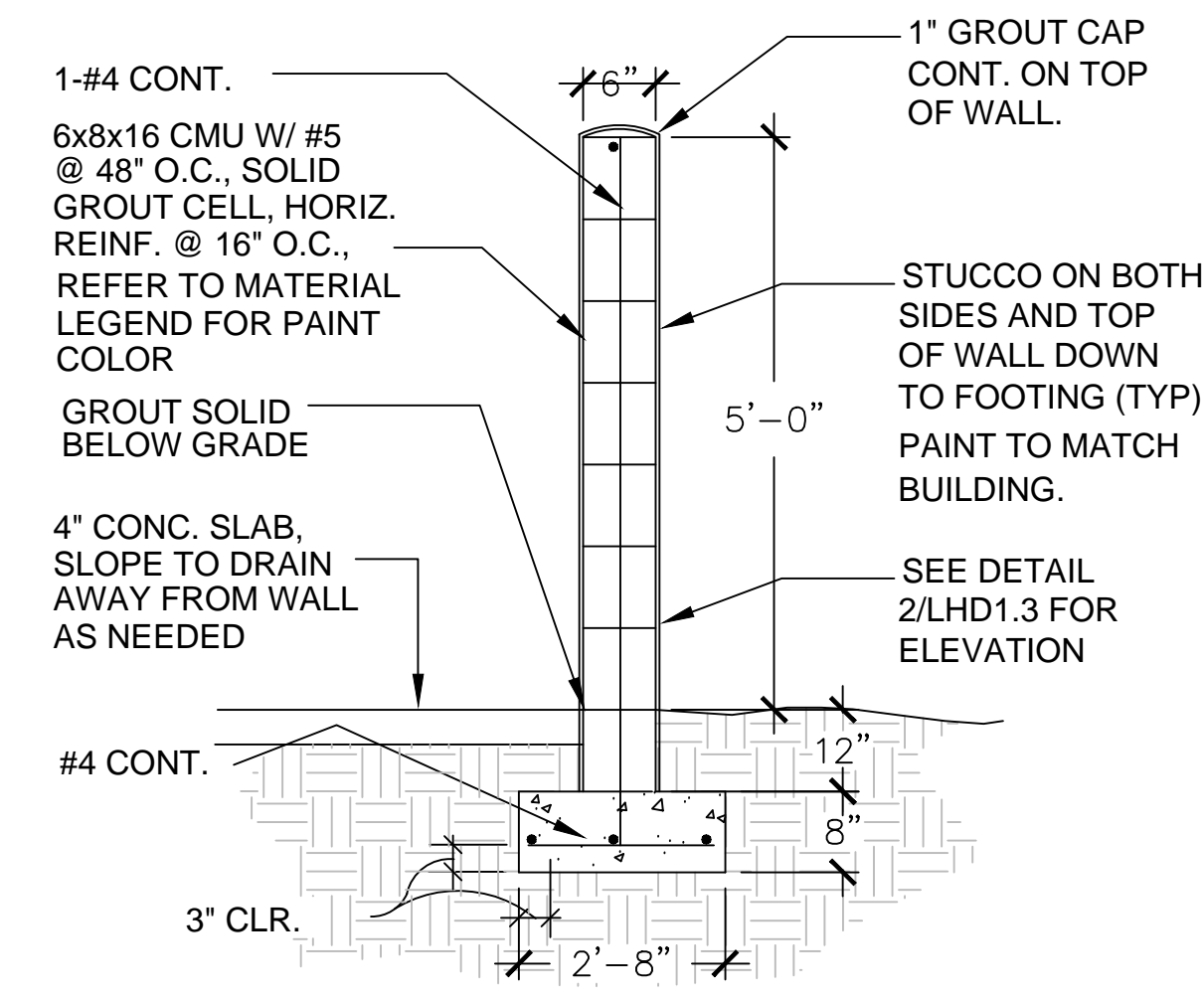


**11 FIRE TROUGH**

SCALE: 1/2" = 1'-0"

**12 CMU SHOWER ENCLOSURE**

SCALE: 1/2" = 1'-0"



**10 48" WELDED WIRE MESH POOL FENCE**

SCALE: 1/2" = 1'-0"

**13 NOT IN USE**

SCALE: N/A

DESIGNED BY: SPENCER J. OKESON  
DRAWN BY: S.J.O. & I.K.  
LAOR: DANIEL R. ERLANDSON  
PLOT DATE: 06/25/2021

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THE BOND OF NOVI

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REVISED PER CITY OF NOVI ELEC. STAMPING - 2021-JUNE-25

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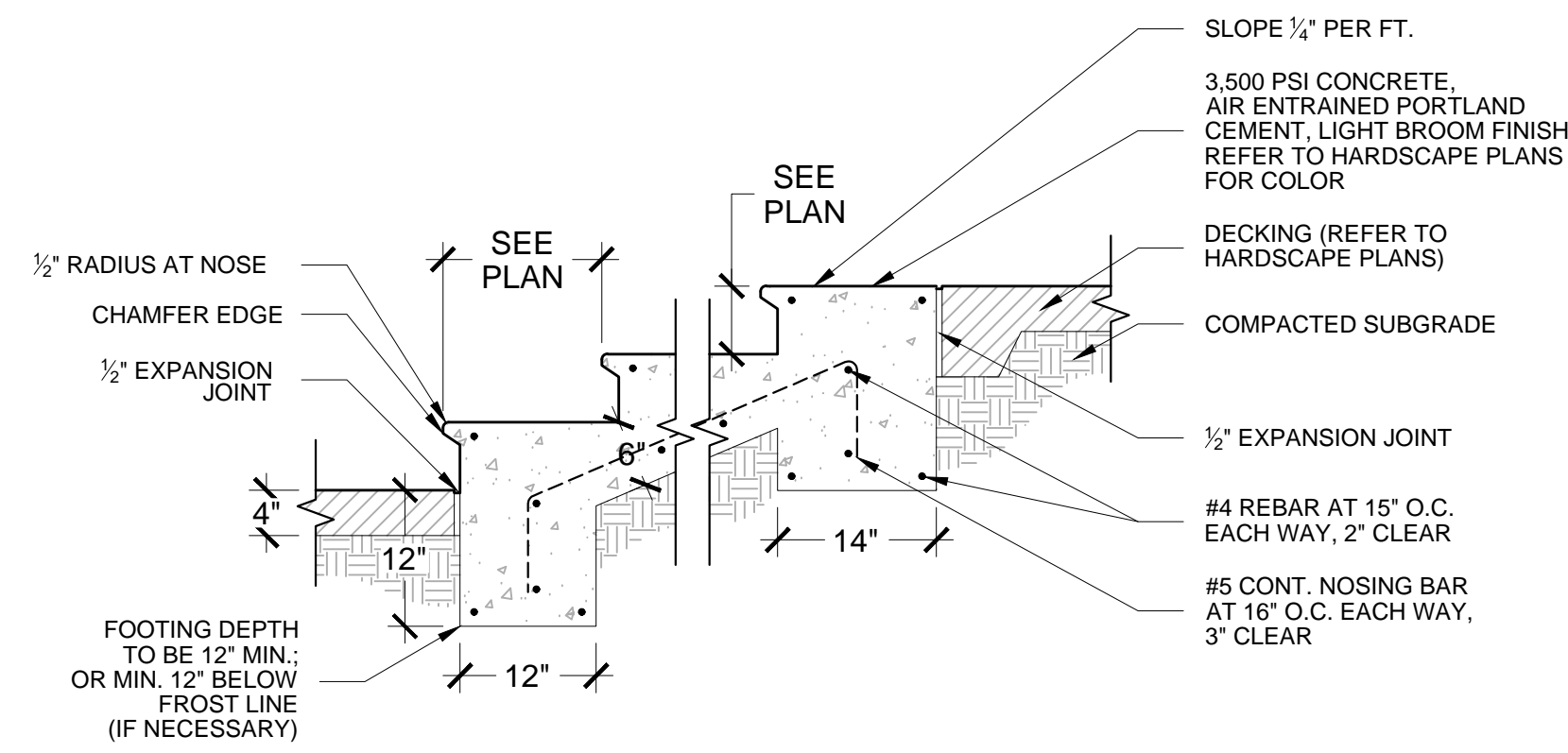
SHEET TITLE  
SITE DETAILS

SHEET NUMBER  
L9.01

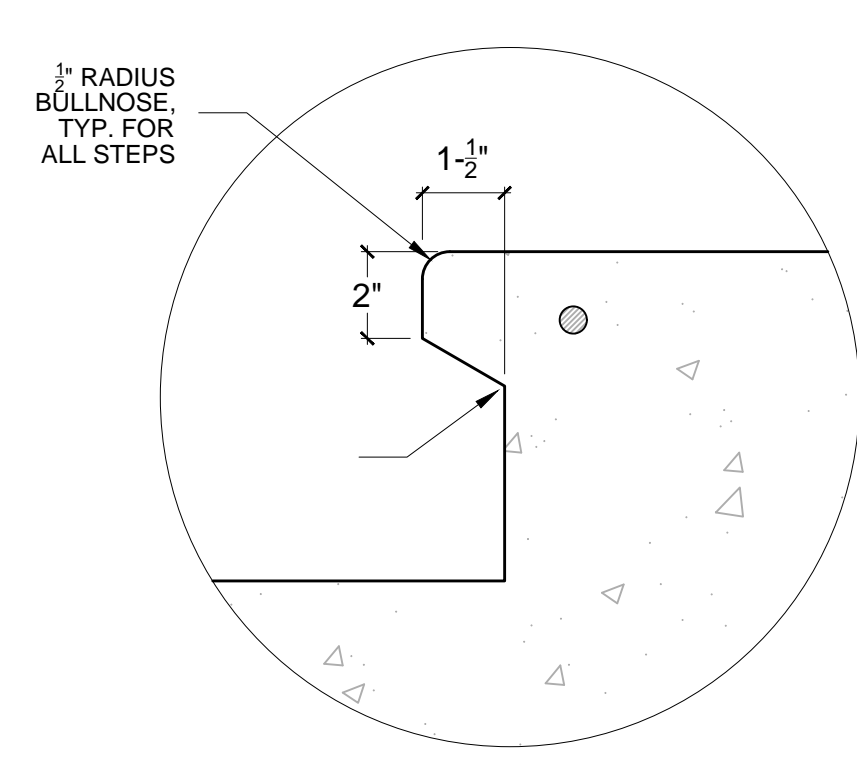
SCALE: AS INDICATED  
CITY JOB #: JSP18-0010



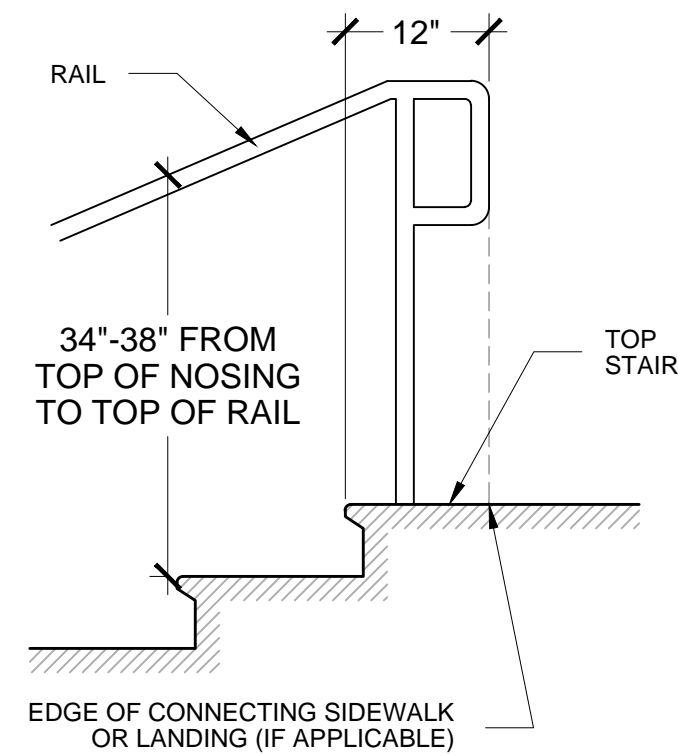
CROSS SECTION



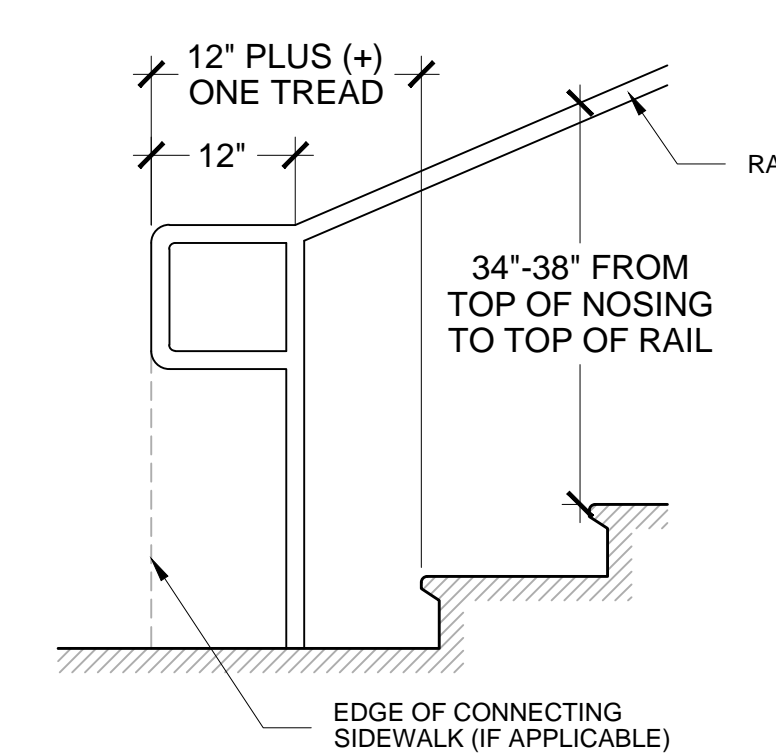
STAIR NOSING DIMENSIONS



RAIL EXTENSION AT TOP



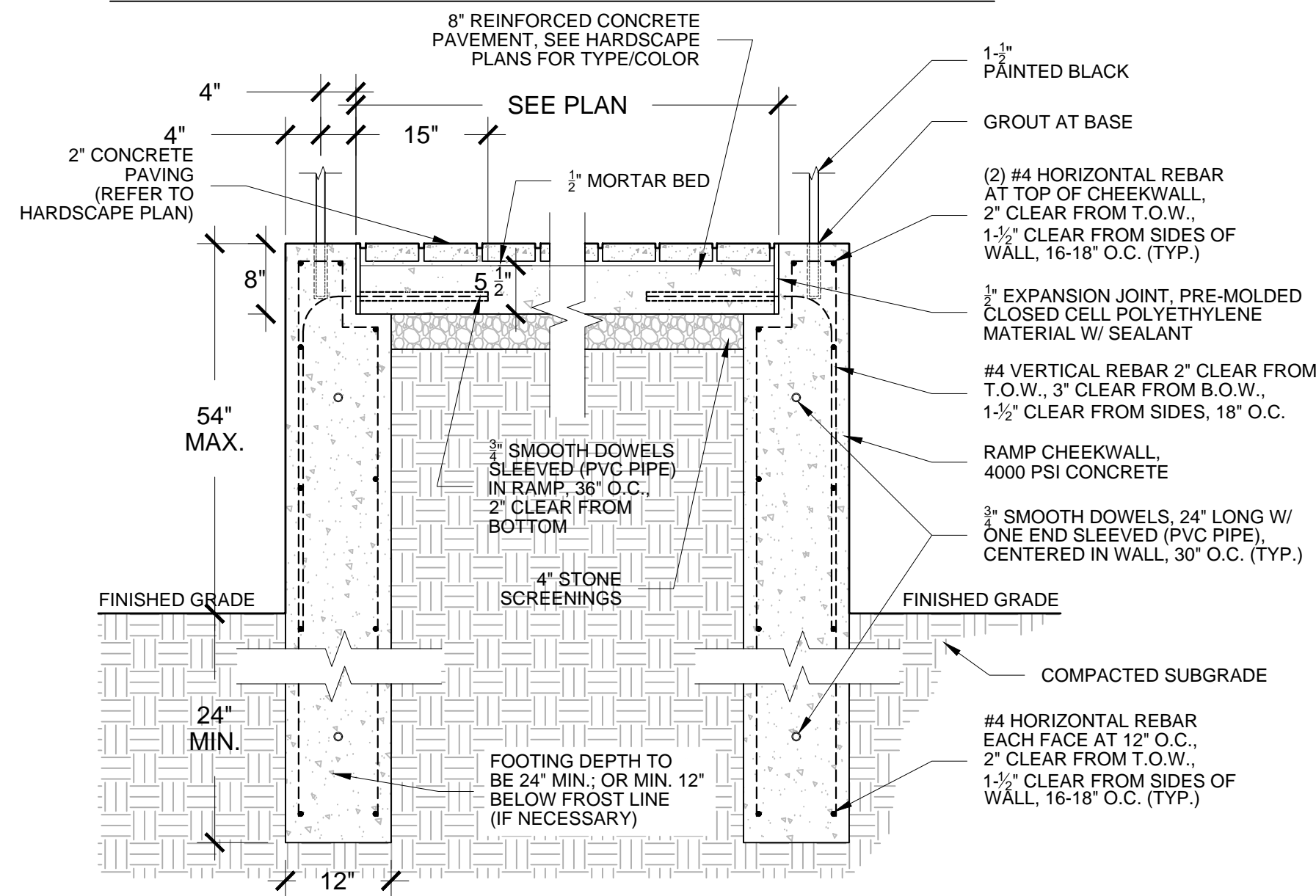
RAIL EXTENSION AT BOTTOM



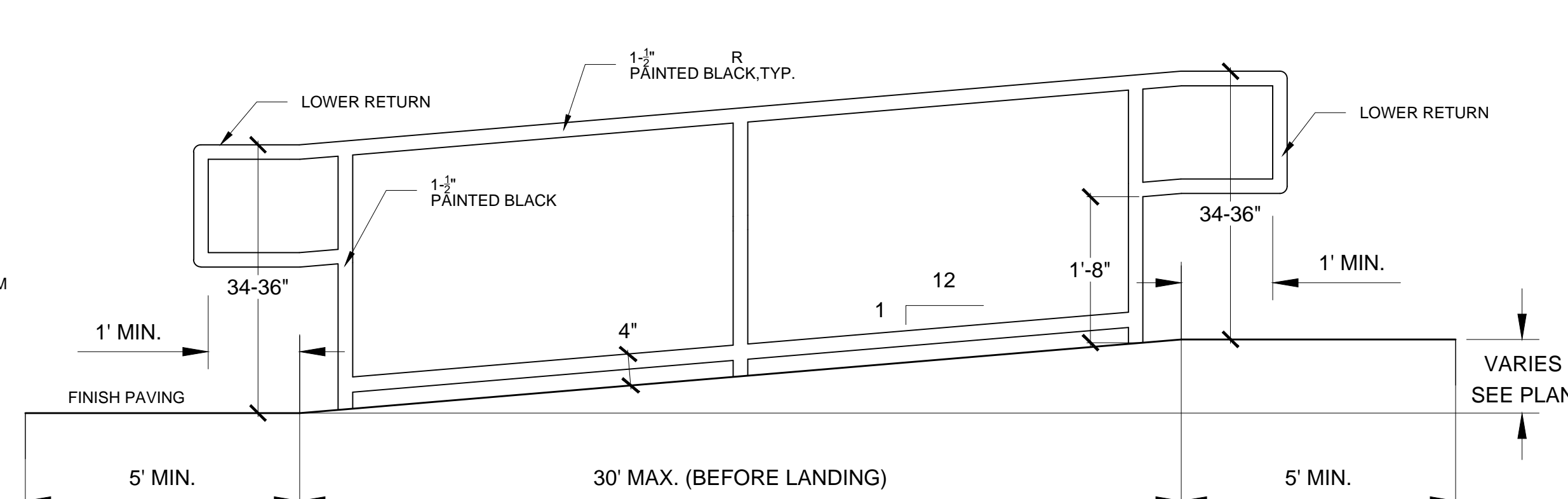
14 CAST CONCRETE STAIRS  
SCALE 3/4" = 1'-0"

15 NOT IN USE  
SCALE N/A

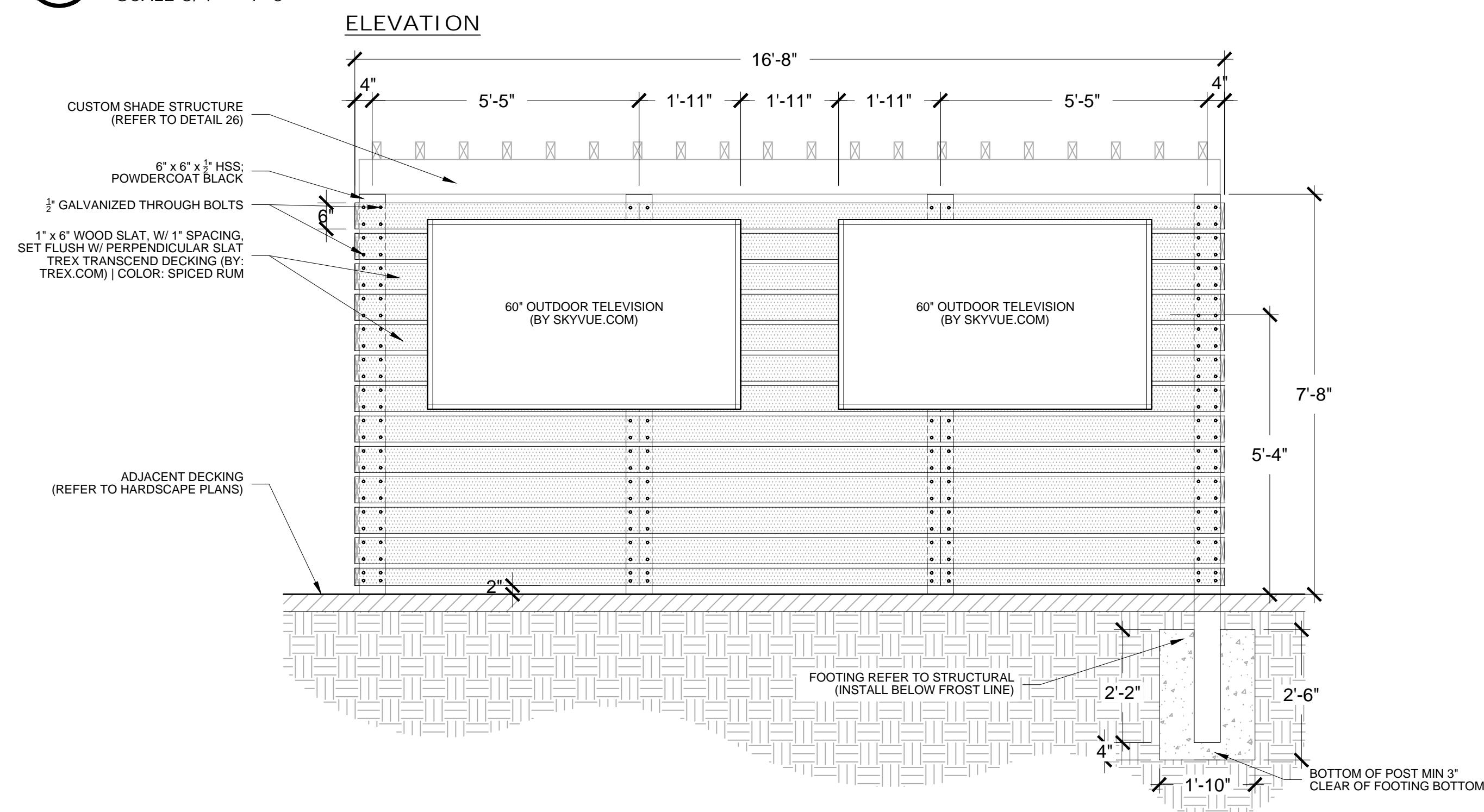
ACCESSIBLE RAMP - CROSS SECTION



ACCESSIBLE RAMP - ELEVATION VIEW



17 ACCESSIBLE RAMP  
SCALE 3/4" = 1'-0"



16 WOOD ACCENT WALL (EAST C.Y.)  
SCALE 1" = 1'-0"

DESIGNED BY: SPENCER J. OKESON  
DRAWN BY: S.J.O. & I.K.  
LAOR: DANIEL R. ERLANDSON  
PLOT DATE: 06/25/2021

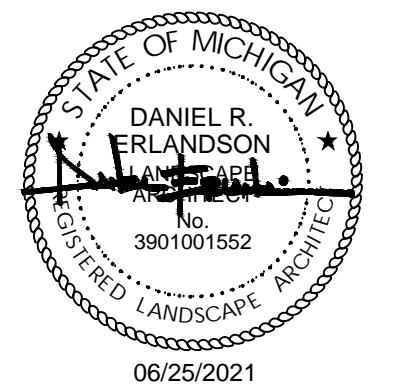
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SHEET TITLE  
SITE DETAILS

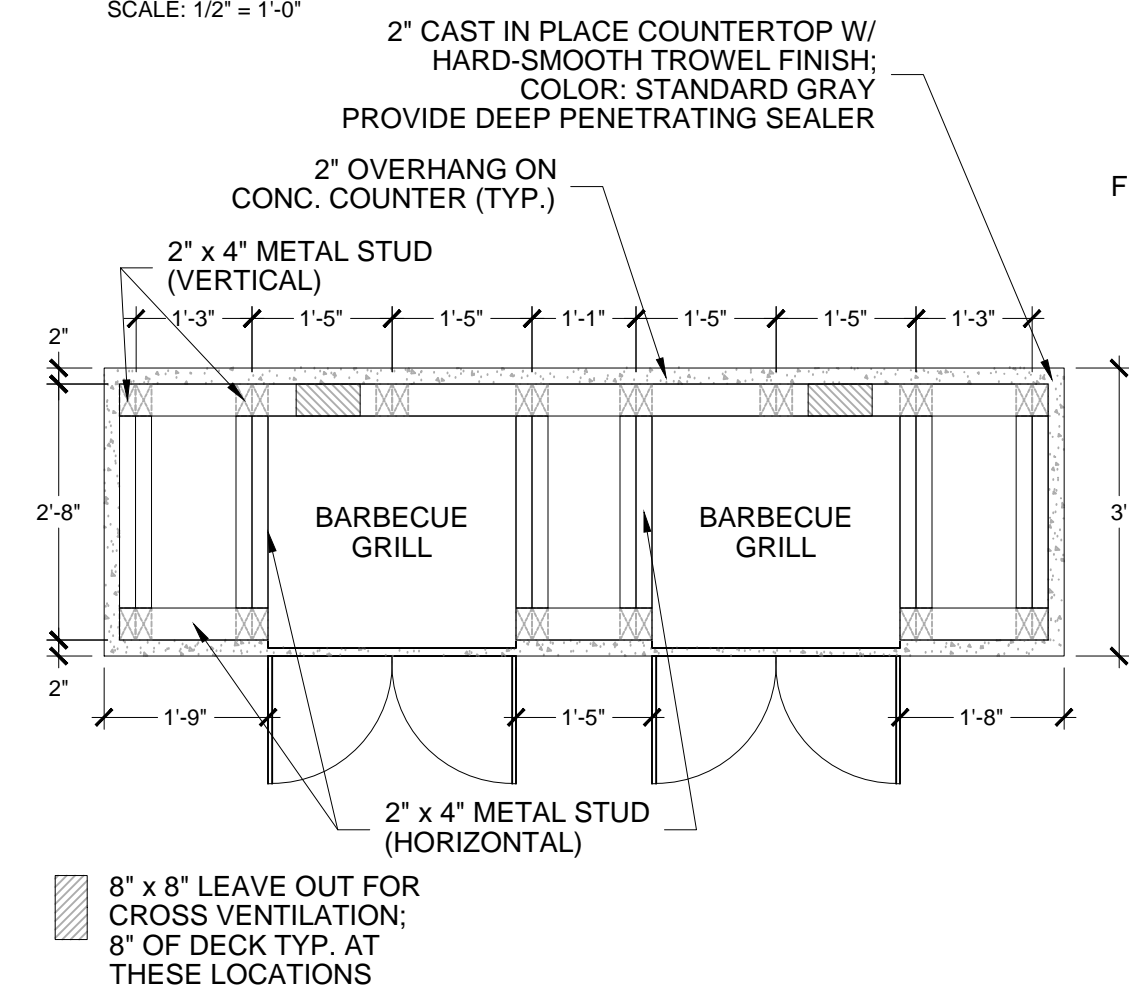
SHEET NUMBER  
L9.02

SCALE: AS INDICATED  
CITY JOB #: JSP18-0010

REVISED PER CITY OF NOVI ELEC. STAMPING - 2021-JUNE-25

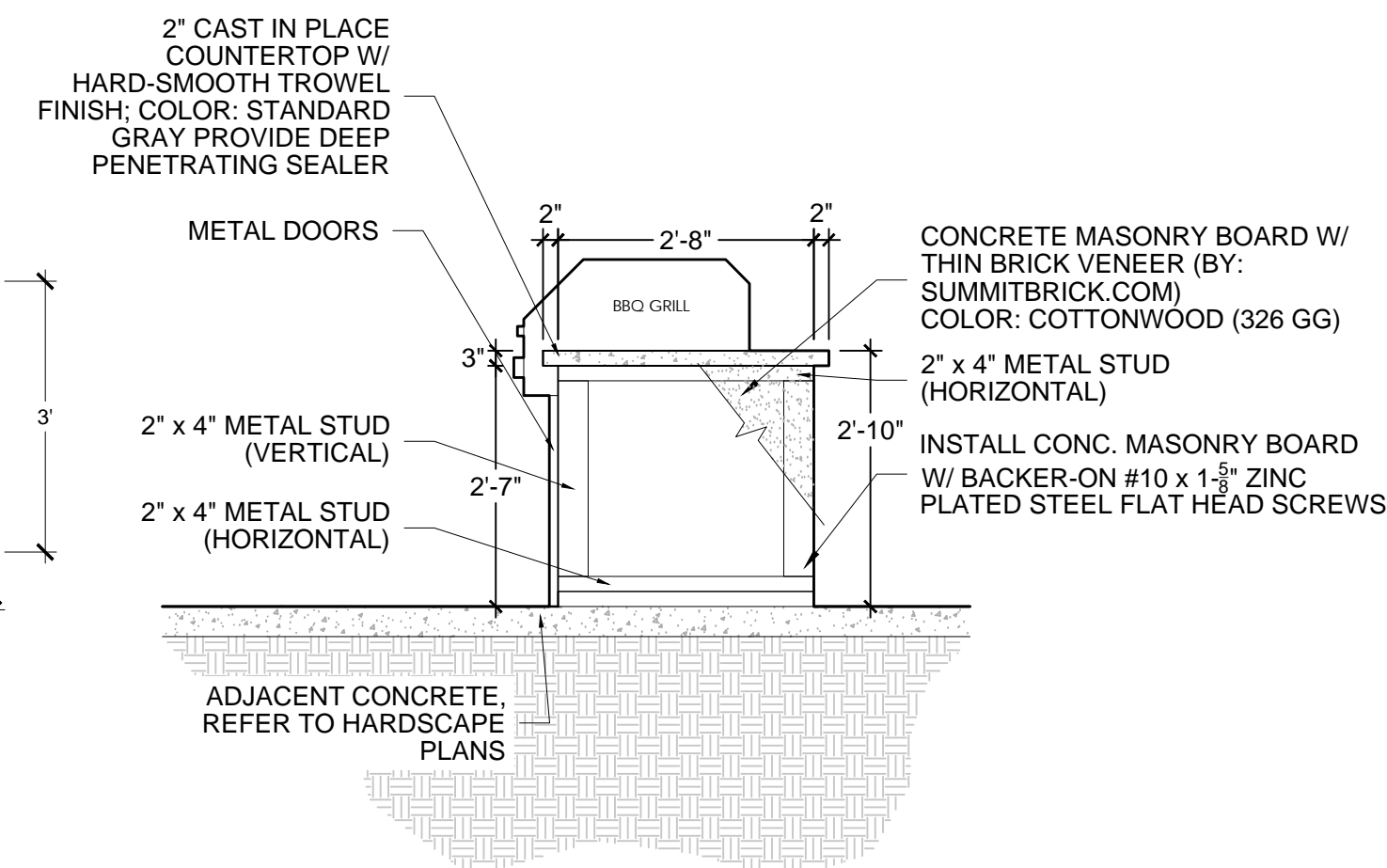
**PLAN VIEW - BBQ COUNTER**

SCALE: 1/2" = 1'-0"

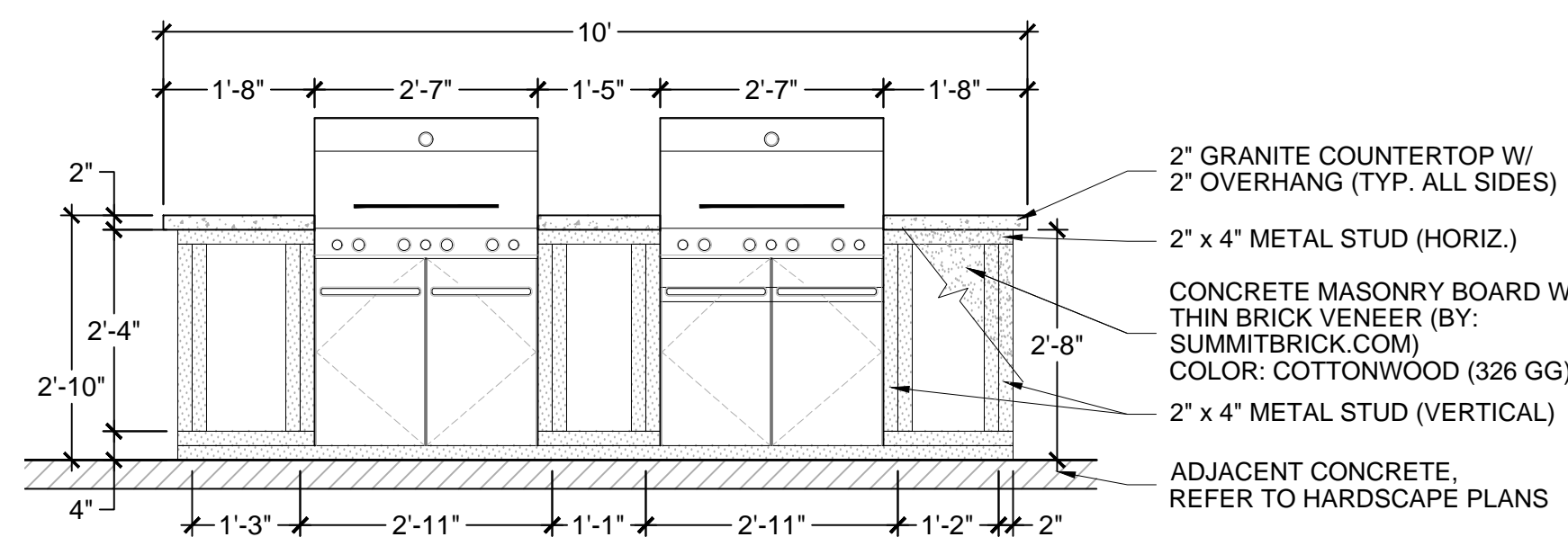


**CROSS SECTION - BBQ**

SCALE: 1/2" = 1'-0"



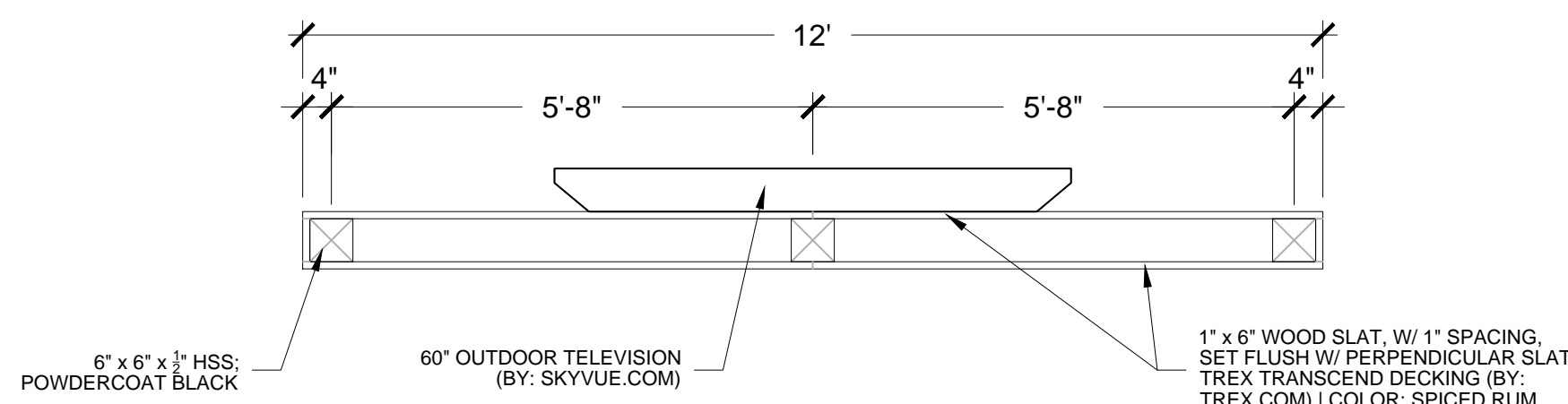
**CROSS SECTION**



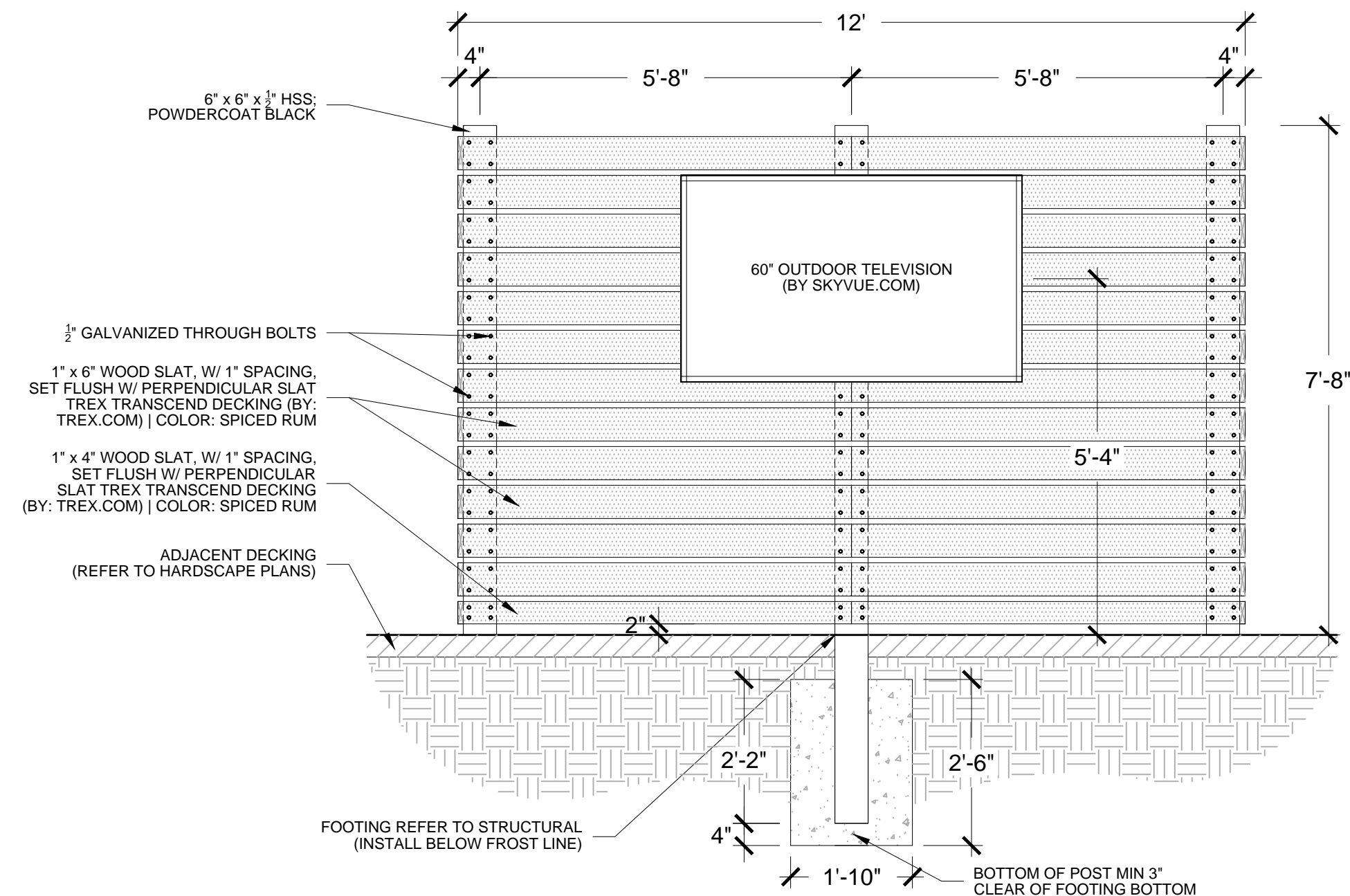
**18 BARBECUE COUNTER**

SCALE 1/2" = 1'-0"

**PLAN VIEW**



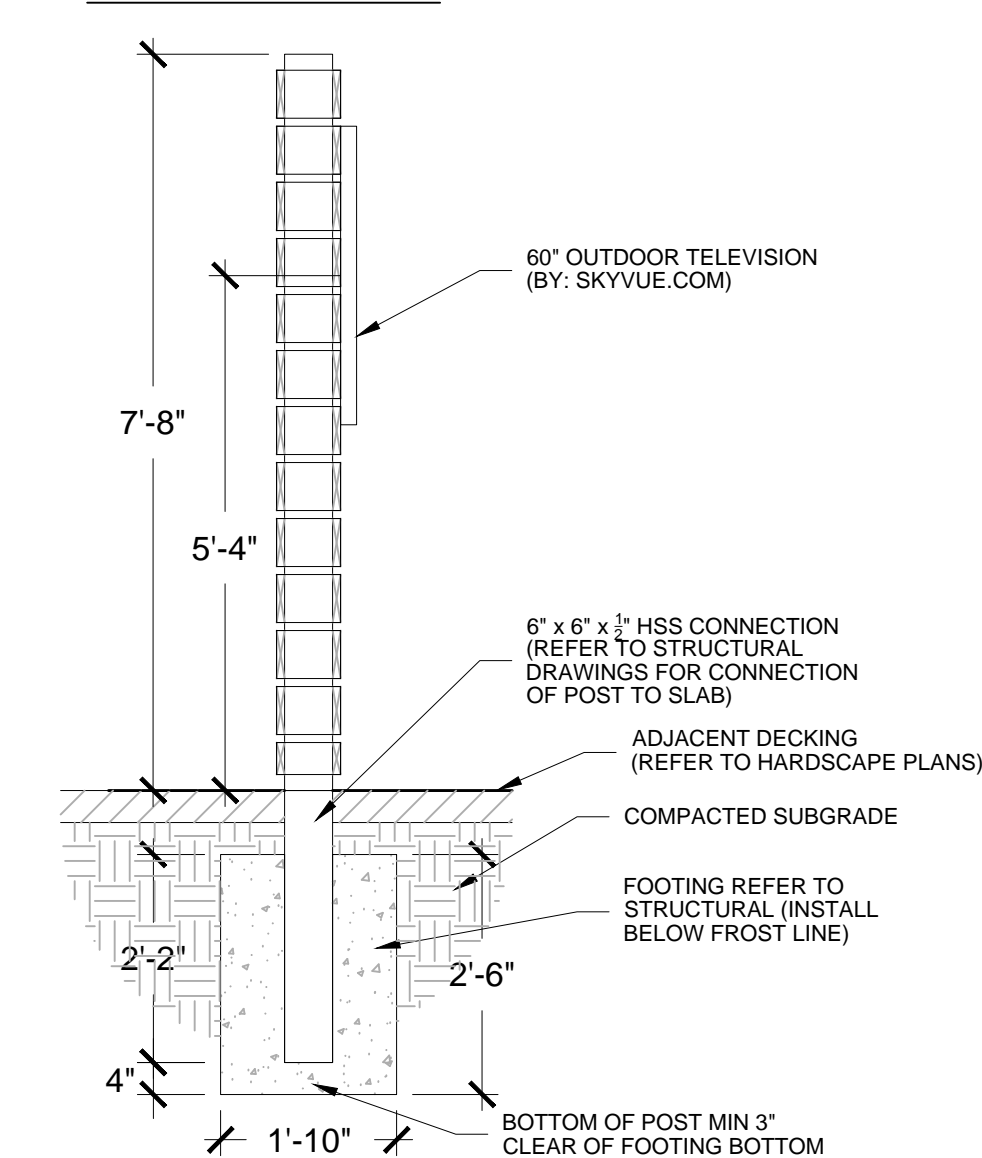
**ELEVATION**



**19 WOOD ACCENT WALL (WEST C.Y.)**

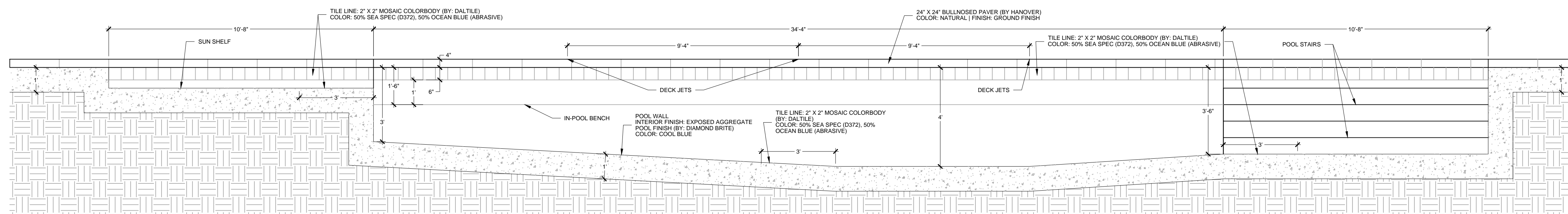
SCALE 1/2" = 1'-0"

**CROSS SECTION**



**20 NOT IN USE**

SCALE N/A



**21 POOL SECTION**

SCALE 3/8" = 1'-0"

DESIGNED BY: SPENCER J. OKESON  
DRAWN BY: S.J.O. & I.K.  
LAOR: DANIEL R. ERLANDSON  
PLOT DATE: 06/25/2021

ISSUE FOR PRICING/BIDDING: 07/02/2019  
ISSUE FOR PERMIT APPLICATION: 01/22/2021  
ISSUE FOR CONSTRUCTION: 01/22/2021  
ISSUE DATE

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION
B	08/14/2020	ADDENDUM B
C	09/25/2020	ADDENDUM C

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**THE BOND OF NOVI**

SECTION 22, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

PROJECT #: 17659



**HUMPHREYS & PARTNERS LANDSCAPE ARCHITECTURE, L.L.C.**  
5339 ALPHA ROAD SUITE 300  
DALLAS, TX 75240  
T: (972) 701-9636  
F: (972) 701-9639  
W: www.hplastudio.com

**CLIENT**  
DTN MANAGEMENT  
2502 LAKE LANSING RD  
SUITE C,  
LANSING, MI 48912

SHEET TITLE  
**SITE DETAILS**

SHEET NUMBER  
**L9.03**

SCALE: AS INDICATED  
CITY JOB #: JSP18-0010

REVISED PER CITY OF NOVI ELEC. STAMPING - 2021-JUNE-25

DESIGNED BY: SPENCER J. OKESON  
 DRAWN BY: S.J.O. & I.K.  
 LAOR: DANIEL R. ERLANDSON  
 PLOT DATE: 06/25/2021

ISSUE FOR PRICING/BIDDING:  
 07/02/2019

ISSUE FOR PERMIT APPLICATION:  
 01/22/2021

ISSUE FOR CONSTRUCTION:  
 ISSUE DATE

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
B	08/14/2020	ADDENDUM B
C	09/25/2020	ADDENDUM C

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THE BOND OF NOVI  
 SECTION 22, TOWN 1 NORTH,  
 RANGE 8 EAST, CITY OF NOVI,  
 OAKLAND COUNTY, MICHIGAN  
 PROJECT #: 17659



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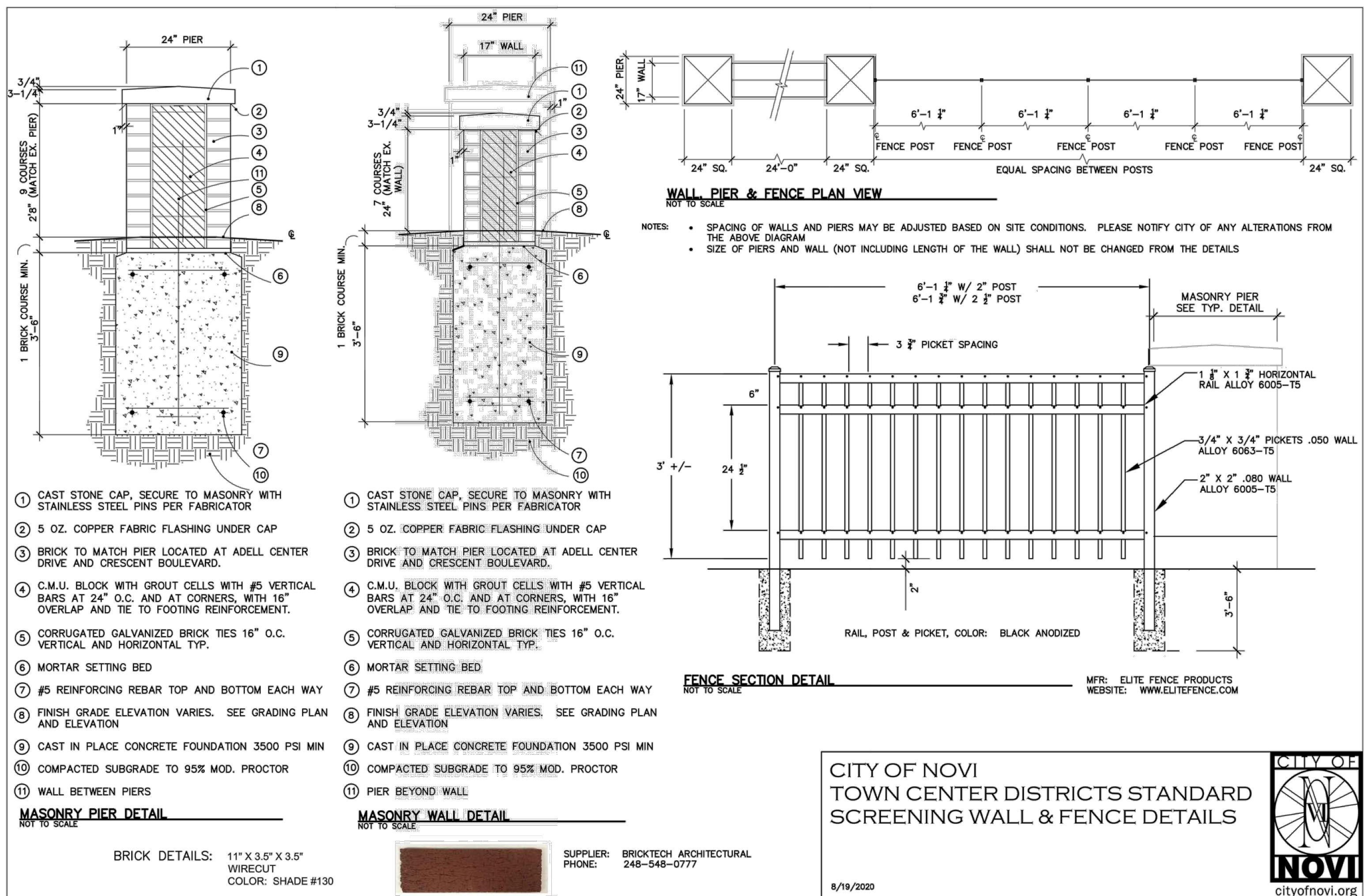
CLIENT  
 DTN MANAGEMENT  
 2502 LAKE LANSING RD  
 SUITE C,  
 LANSING, MI 48912

SHEET TITLE  
 SITE DETAILS

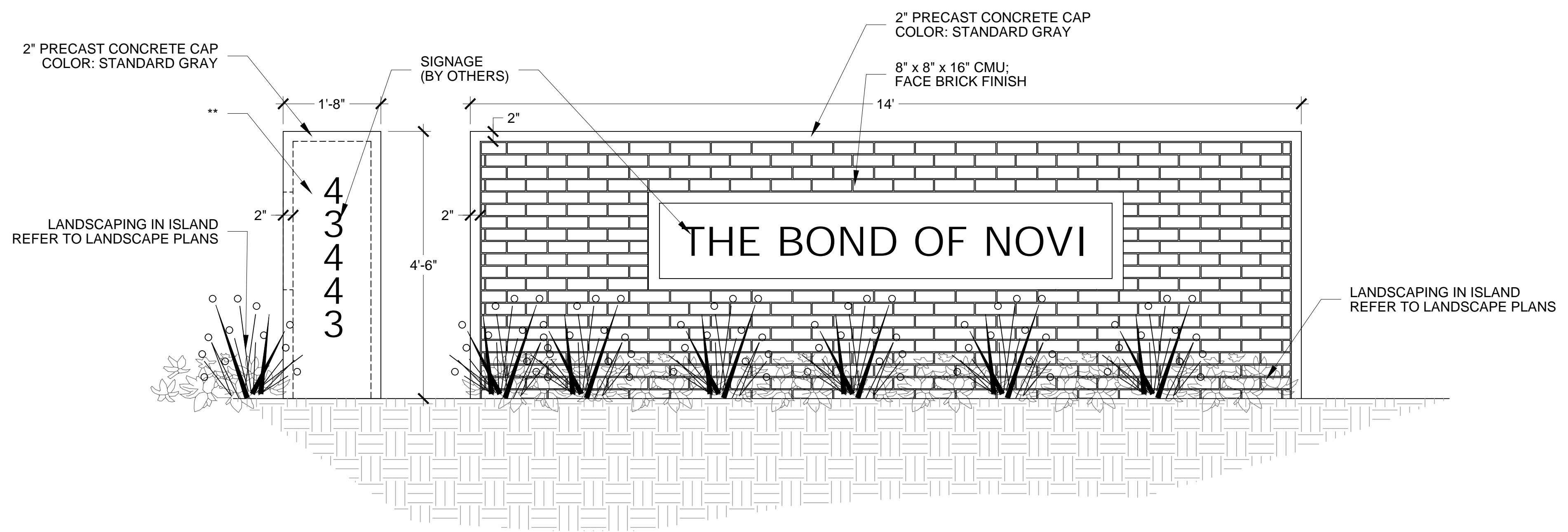
SHEET NUMBER  
 L9.04

SCALE: AS INDICATED  
 CITY JOB #: JSP18-0010

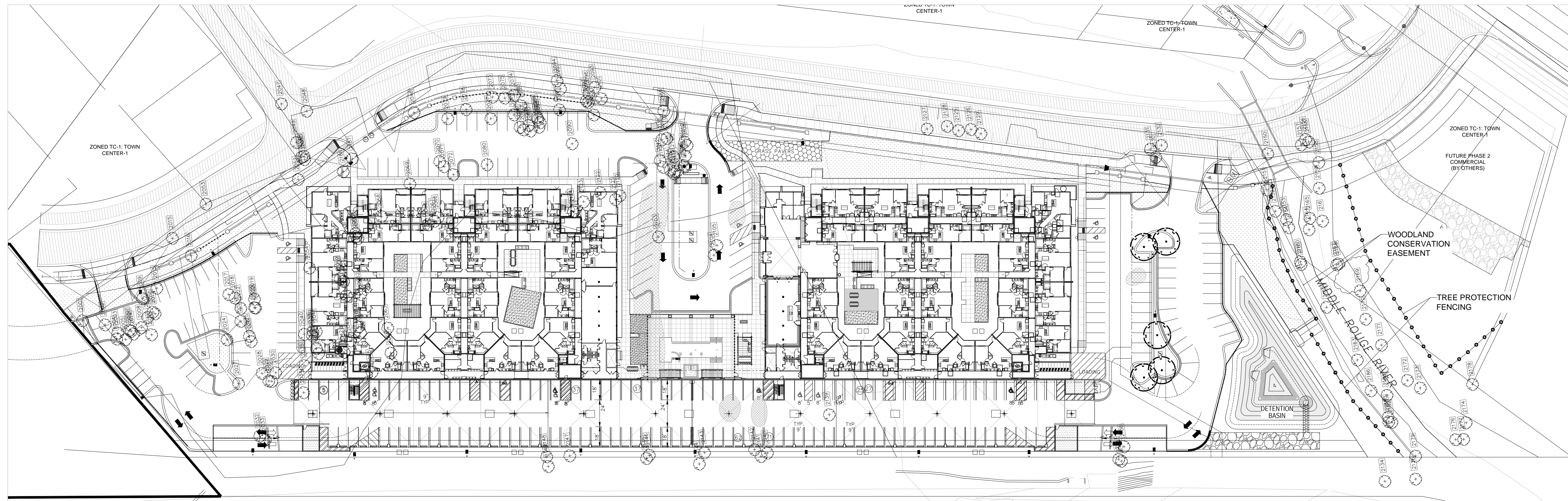
REVISED PER CITY OF NOVI ELEC. STAMPING - 2021-JUNE-25



22 SCREEN WALL

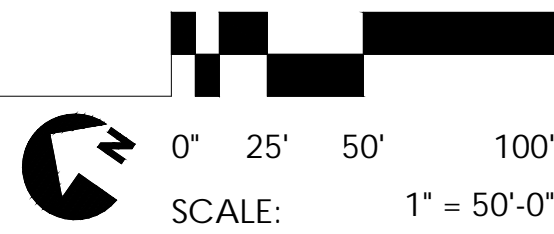


23 MONUMENT SIGN  
 SCALE 3/4" = 1'-0"



WOODLAND PLAN

SITE



DESIGNED BY: SPENCER J. OKESON  
 DRAWN BY: S.J.O. & I.K.  
 LAOR: DANIEL R. ERLANDSON  
 PLOT DATE: 06/25/2021

ISSUE FOR PRICING/BIDDING:  
 07/02/2019

ISSUE FOR PERMIT APPLICATION:  
 01/22/2021

ISSUE FOR CONSTRUCTION:  
 ISSUE DATE

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
B	08/14/2020	ADDENDUM B
C	09/25/2020	ADDENDUM C

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SECTION 22, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

PROJECT #: 17659

THE BOND OF NOVI

TAG NO.	DIAMETER	COMMON NAME	BOTANICAL NAME	CONDITION	REMARKS	REQUIRED REPLACEMENT	CREDITS
2001	15	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2002	11,12	Eastern Cottonwood	Populus deltoides	Good	Remove	3	
2003	11	Eastern Cottonwood	Populus deltoides	Good	Remove	1	
2004	11	Eastern Cottonwood	Populus deltoides	Good	Remove	1	
2005	13,14	Eastern Cottonwood	Populus deltoides	Good	Remove	4	
2006	8	Eastern Cottonwood	Populus deltoides	Good	Remove	1	
2007	8	Eastern Cottonwood	Populus deltoides	Good	Remove	1	
2008	14	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2009	11	Eastern Cottonwood	Populus deltoides	Good	Remove	1	
2010	8	Eastern Cottonwood	Populus deltoides	Good	Remove	1	
2011	14,14	Eastern Cottonwood	Populus deltoides	Good	Remove	4	
2012	8	Eastern Cottonwood	Populus deltoides	Good	Remove	1	
2013	16	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2014	12	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2015	12	Eastern Cottonwood	Populus deltoides	Good	In Public ROW		
2016	10	Black Willow	Salix nigra	Good	In Public ROW		
2017	9	Eastern Cottonwood	Populus deltoides	Good	Remove	1	
2018	17	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2019	16,16	Eastern Cottonwood	Populus deltoides	Good	Remove	4	
2020	12,14	Eastern Cottonwood	Populus deltoides	Good	Remove	4	
2021	10	Eastern Cottonwood	Populus deltoides	Good	Remove	1	
2022	13	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2023	13	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2024	12,13,14	Eastern Cottonwood	Populus deltoides	Good	Remove	3	
2025	22	Eastern Cottonwood	Populus deltoides	Good	Remove	3	
2026	16	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2027	19	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2028	9	Eastern Cottonwood	Populus deltoides	Good	Remove	1	
2029	17	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2030	15	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2031	22	Eastern Cottonwood	Populus deltoides	Good	Remove	3	
2032	19	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2033	12	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2034	Dead	Eastern Cottonwood	Populus deltoides	Good	Remove	0	
2035	8	Eastern Cottonwood	Populus deltoides	Good	Remove	1	
2036	21	Eastern Cottonwood	Populus deltoides	Good	Remove	3	
2037	13	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2038	8	Eastern Cottonwood	Populus deltoides	Good	Remove	1	
2039	13	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2040	13	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2041	13	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2042	8	Eastern Cottonwood	Populus deltoides	Good	Remove	1	
2043	15	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2044	11	Eastern Cottonwood	Populus deltoides	Good	Remove	1	
2045	9	Eastern Cottonwood	Populus deltoides	Good	Remove	1	
2046	8	American Elm	Ulmus americana	Good	Remove	1	
2047	16	Eastern Cottonwood	Populus deltoides	Good	In Public ROW	0	
2048	9	Eastern Cottonwood	Populus deltoides	Good	In Public ROW	0	
2049	10	Eastern Cottonwood	Populus deltoides	Good	In Public ROW	0	
2050	10	Eastern Cottonwood	Populus deltoides	Good	In Public ROW	0	
2051	7	Eastern Cottonwood	Populus deltoides	Good	In Public ROW	0	
2052	9	Eastern Cottonwood	Populus deltoides	Good	In Public ROW	0	
2053	14	Eastern Cottonwood	Populus deltoides	Good	In Public ROW	0	
2054	14	Black Walnut	Juglans nigra	Good	Remove	2	
2055	12	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2056	13	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2057	10,10,10,12	Eastern Cottonwood	Populus deltoides	Good	Remove	6	
2058	11	Black Willow	Salix nigra	Good	Remove	1	
2059	10	Eastern Cottonwood	Populus deltoides	Good	Remove	1	
2060	11	Eastern Cottonwood	Populus deltoides	Good	Remove	1	
2061	10	Eastern Cottonwood	Populus deltoides	Good	Remove	1	
2062	19	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2063	14	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2064	12	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2065	12,15	Eastern Cottonwood	Populus deltoides	Good	Remove	3	
2066	12	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2067	12	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2068	13	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2069	8	Eastern Cottonwood	Populus deltoides	Good	Remove	1	
2070	7,10	Eastern Cottonwood	Populus deltoides	Good	Remove	1	
2071	8	Eastern Cottonwood	Populus deltoides	Good	Remove	1	
2072	8,9	Eastern Cottonwood	Populus deltoides	Good	Remove	3	
2073	8,12	Eastern Cottonwood	Populus deltoides	Good	Remove	3	
2074	10,11,11,16	Eastern Cottonwood	Populus deltoides	Good	Remove	6	
2075	Dead	Eastern Cottonwood	Populus deltoides	Good	Remove	0	

TAG NO.	DIAMETER	COMMON NAME	BOTANICAL NAME	CONDITION	REMARKS	REQUIRED REPLACEMENT	CREDITS
2076	14	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2077	8	Eastern Cottonwood	Populus deltoides	Good	Remove	1	
2078	13	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2079	12	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2080	11	Eastern Cottonwood	Populus deltoides	Good	Remove	1	
2081	13,13	Eastern Cottonwood	Populus deltoides	Good	Remove	4	
2082	9,13,16	Eastern Cottonwood	Populus deltoides	Good	Remove	5	
2083	9	Eastern Cottonwood	Populus deltoides	Good	Remove	1	
2084	9	Eastern Cottonwood	Populus deltoides	Good	Remove	1	
2085	8	Eastern Cottonwood	Populus deltoides	Good	Remove	1	
2086	13	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2087	11	Eastern Cottonwood	Populus deltoides	Good	Remove	1	
2088	11,12	Eastern Cottonwood	Populus deltoides	Good	Remove	3	
2089	13	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2090	12,15,16	Eastern Cottonwood	Populus deltoides	Good	Remove	6	
2091	13,13	Eastern Cottonwood	Populus deltoides	Good	Remove	4	
2092	9	Eastern Cottonwood	Populus deltoides	Good	In Public ROW	0	
2093	11,15	Eastern Cottonwood	Populus deltoides	Good	In Public ROW	0	
2094	9,13,19	Eastern Cottonwood	Populus deltoides	Good	In Public ROW	0	
2095	10	Eastern Cottonwood	Populus deltoides	Good	In Public ROW	0	
2096	9,11	Eastern Cottonwood	Populus deltoides	Good	In Public ROW	0	
2101	10	American Elm	Ulmus americana	Good	In Public ROW	0	
2102	18	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2103	13	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2104	10	Eastern Cottonwood	Populus deltoides	Good	Exempt		
2105	8	Eastern Cottonwood	Populus deltoides	Good	Exempt		
2106	16	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2107	13	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2108	11	Eastern Cottonwood	Populus deltoides	Good	Remove	1	
2109	8	Eastern Cottonwood	Populus deltoides	Good	Remove	1	
2110	12	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2111	16	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2112	9,11,12	Eastern Cottonwood	Populus deltoides	Good	Remove	4	
2113	10	Eastern Cottonwood	Populus deltoides	Good	Remove	2	
2114	10	Eastern Cottonwood	Populus deltoides	Good	Remove	1	
2115	7,9	Eastern Cottonwood	Populus deltoides	Good	Remove	1	
2116	8	Eastern Cottonwood	Populus deltoides	Good	Remove	1	
2117	10	Eastern Cottonwood	Populus deltoides	Good	Remove	1	
2118	8	Eastern Cottonwood	Populus deltoides	Good	Remove	1	
2119	10	Eastern Cottonwood	Populus deltoides	Good	Remove	1	
2120	12,12	Black Locust	Robinia pseudoacacia	Good	Remove	3	
2121	11	American Elm	Ulmus americana	Good	Remove	1	
2122	8	Black Locust	Robinia pseudoacacia	Good	Remove	1	
2123	11	Black Locust	Robinia pseudoacacia	Good	Remove	1	
2124	8	Green Ash	Fraxinus pennsylvanica	Fair	Remove	1	
2125	12	Austrian Pine	Pinus nigra	Good	In Public ROW	0	
2126	17	Austrian Pine	Pinus nigra	Good	In Public ROW	0	
2127	19,19	Eastern Cottonwood	Populus deltoides	Good	In Public ROW	0	
2128	13	Austrian Pine	Pinus nigra	Good	In Public ROW	0	
2129	16	Austrian Pine	Pinus nigra	Good	In Public ROW	0	
2130	13	Austrian Pine	Pinus nigra	Good	In Public ROW	0	
2131	17	Austrian Pine	Pinus nigra	Good	In Public ROW	0	
2132	13	Austrian Pine	Pinus nigra	Good	In Public ROW	0	
2133	10,12	Box Elder	Acer negundo	Good	Off-site		
2134	8	Eastern Cottonwood	Populus deltoides	Good	Off-site		
2135	13	Box Elder	Acer negundo	Good	Off-site		
2136	6,7,12	Eastern Cottonwood	Populus deltoides	Good	Exempt		
2137	10	Eastern Cottonwood	Populus deltoides	Good	Exempt		
2138	10	Eastern Cottonwood	Populus deltoides	Good	Exempt		
2139	Dead	Eastern Cottonwood	Populus deltoides	Good	Remove	0	
2140	13	Eastern Cottonwood	Populus deltoides	Good	Exempt		
2141	21	Eastern Cottonwood	Populus deltoides	Good	Exempt		
2142	13	Eastern Cottonwood	Populus deltoides	Good	Exempt		
2143	11	Eastern Cottonwood	Populus deltoides	Good	Exempt		
2144	8	Eastern Cottonwood	Populus deltoides	Good	Exempt		
2145	17	Eastern Cottonwood	Populus deltoides	Good	Exempt		
2146	10	Eastern Cottonwood	Populus deltoides	Good	Exempt		
2147	11	Eastern Cottonwood	Populus deltoides	Good	Exempt		
2148	7	Eastern Cottonwood	Populus deltoides	Good	Exempt		
2149	9	Eastern Cottonwood	Populus deltoides	Good	Off-site		
2150	14,14	Eastern Cottonwood	Populus deltoides	Good	In Public ROW	0	
2151	8	Box Elder	Acer negundo	Fair	In Public ROW	0	
2152	9	Black Willow	Salix nigra	Good	Remove	2	
2153	8	Eastern Cottonwood	Populus deltoides	Good	REMOVE	2	
2154	9	Eastern Cottonwood	Populus deltoides	Good	REMOVE	2	
2155	Dead	Eastern Cottonwood	Populus deltoides	Good	In Public ROW	0	
2156	11	American Elm	Ulmus americana	Good	In Public ROW	0	
2157	Dead	Eastern Cottonwood	Populus deltoides	Good	In Public ROW	0	
2158	8	Eastern Cottonwood	Populus deltoides	Good	In Public ROW	0	

TAG NO.	DIAMETER	COMMON NAME	BOTANICAL NAME	CONDITION	REMARKS	REQUIRED REPLACEMENT	CREDITS
2159	8	Eastern Cottonwood	Populus deltoides	Good	REMOVE	2	
2160	10	Eastern Cottonwood	Populus deltoides	Good	REMOVE	2	
2161	10	Eastern Cottonwood	Populus deltoides	Good	REMOVE	2	
2162	8,9	American Elm	Ulmus americana	Good	REMOVE	2	
2163	8	Sugar Maple	Acer saccharum	Good	Credit		2
2164	7	Sugar Maple	Acer saccharum	Good	Credit		2
2165	7	American Elm	Ulmus americana	Good	REMOVE	2	
2166	7	American Elm	Ulmus americana	Good	REMOVE	2	
2167	8	American Elm	Ulmus americana	Good	REMOVE	2	
2168	8	Pin Cherry	Prunus pensylvanica	Good	Credit		2
2169	9	Eastern Cottonwood	Populus deltoides	Good	REMOVE	2	
2170	8	American Elm	Ulmus americana	Good	REMOVE	2	
2171	12	Eastern Cottonwood	Populus deltoides	Good	REMOVE	2	
2172	8	Eastern Cottonwood	Populus deltoides	Good	REMOVE	2	
2173	12	Eastern Cottonwood	Populus deltoides	Good	REMOVE	2	
2174	13	Quaking Aspen	Populus tremuloides	Good	REMOVE	3	
2176	8	Sugar Maple	Acer saccharum	Good	Credit		2
2177	17	Eastern Cottonwood	Populus deltoides	Good	REMOVE	3	
2178	23	Sugar Maple	Acer saccharum	Good	Credit		4
2179	11	Box Elder	Acer negundo	Fair	REMOVE	2	
2180	14	Box Elder	Acer negundo	Fair	REMOVE	3	
2181	8	Black Locust	Robinia pseudoacacia	Good	REMOVE	2	
2182	10	Box Elder	Acer negundo	Fair	REMOVE	2	
2183	13	Box Elder	Acer negundo	Fair	REMOVE	3	
2184	11	Black Locust	Robinia pseudoacacia	Good	REMOVE	2	
2185	10	American Elm	Ulmus americana	Good	REMOVE	2	
2186	9	American Elm	Ulmus americana	Good	REMOVE	2	
2187	8,12	Eastern Cottonwood</					