



OAK POINTE CHURCH JSP23-21

Oak Pointe Church JSP23-21

Approval of the request of Oak Pointe Church, JSP23-21: Preliminary Site Plan for a building addition with a children's play area totaling approximately 1,000 square feet, and a patio addition. The subject parcel is in Section 20 of the city, east of Napier Road, west of Wixom Road, and north of Ten Mile Road. The property is zoned RA, Residential Acreage and the initial multiple phase site plan for the property was approved in 2001.

Required Action

Approval of an addition for Oak Pointe Church exceeding 1,000 square feet.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	10-27-2023	Planning Commission approval for an addition exceeding 1,000 square feet
Engineering	Approval Recommended	10-25-2023	Comments to be addressed by the applicant on the Final Site Plan
Façade	Approval Recommended	10-27-2023	Comments to be addressed by the applicant on the Final Site Plan
Landscape	Approved with Conditions	10-13-2023	Comments to be addressed by the applicant on the Final Site Plan
Fire	Approved with Conditions	10-18-2023	Comments to be addressed by the applicant on the Final Site Plan

MOTION SHEET

Approval –Preliminary Site Plan

In the matter of Oak Pointe Church, JSP23-21, motion to **approve** the Preliminary Site Plan based on and subject to the following:

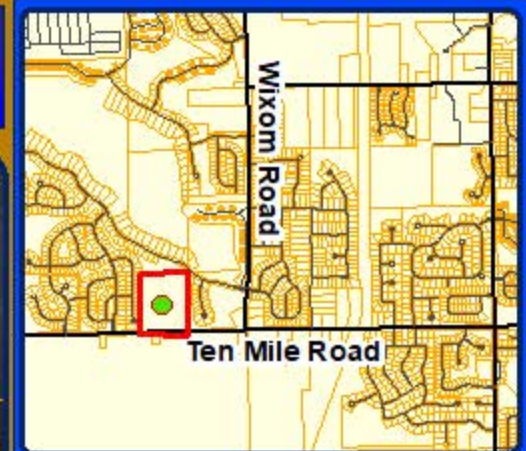
- a. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4 and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)


MAPS
Location
Zoning
Future Land Use
Natural Features

Oak Pointe Church Addition

LOCATION



LEGEND

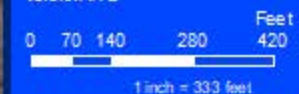
 Subject Property



City of Novi

Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Heather Zeigler
Date: 11/1/2023
Project: OAK POINTE CHURCH ADDITION
Version #: 1



MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

Oak Pointe Church Addition

ZONING



LEGEND

	R-A: Residential Acreage
	R-1: One-Family Residential District
	R-3: One-Family Residential District
	R-4: One-Family Residential District
	RM-1: Low-Density Multiple Family
	RM-2: High-Density Multiple Family
	MH: Mobile Home District
	B-1: Local Business District
	OSC: Office Service Commercial

City of Novi
Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Heather Zeigler
Date: 11/1/2023
Project: OAK POINTE CHURCH ADDITION
Version #: 1

0 70 140 280 420 Feet
1 inch = 333 feet

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy in information related to this map.

Oak Pointe Church Addition

FUTURE LAND USE



LEGEND

- Single Family
- Multiple-Family Residential
- Manufactured Home Residential
- Suburban Low-Rise
- Office Commercial
- Local Commercial
- Educational Facility
- Public
- Public Park
- Private Park
- Utility



City of Novi

Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Heather Zeigler
Date: 11/1/2023
Project: OAK POINTE CHURCH ADDITION
Version #: 1



MAP INTERPRETATION NOTICE


Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.


Oak Pointe Church Addition

NATURAL FEATURES



LEGEND

-  WETLANDS
-  WOODLANDS



City of Novi
 Dept. of Community Development
 City Hall / Civic Center
 45175 W Ten Mile Rd
 Novi, MI 48375
cityofnovi.org

Map Author: Heather Zeigler
 Date: 11/1/2023
 Project: OAK POINTE CHURCH ADDITION
 Version #: 1

0 70 140 280 420 Feet
 1 inch = 333 feet



MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

SITE PLAN



1 PROPOSED SITE PLAN
A-101 1:200

ISSUED	DATE
SPA	11.01.23

S³
architecture
33610 grand river
farmington, mi 48335
s3architecture.com
tel. 248.427.0007

OAK POINTE CHURCH NOVI
50200 W 10 MILE RD, NOVI, MI 48374
ADDITION + CAFE PATIO

Date	11.02.23
Scale	AS NOTED
Drawn by	GA
Approved by	SS
Job	1820.1B
Sheet Name	PROPOSED SITE PLAN
Sheet No.	A-101

OWNER:

OAK POINTE CHURCH

50200 W 10 MILE RD
NOVI, MI 48374
(248) 912-0043

ARCHITECT:

S3ARCHITECTURE, PLLC

33610 GRAND RIVER AVE
FARMINGTON, MI 48335
(248) 427-0007

CONSTRUCTION
MANAGER:

SUMMIT COMPANY

13191 WAYNE ROAD
LIVONIA, MI 48150
(734) 261-3500

STRUCTURAL
ENGINEER:

IMEG

33533 TWELVE MILE ROAD SUITE 200
FARMINGTON HILLS, MI 48331
(248) 847-3241

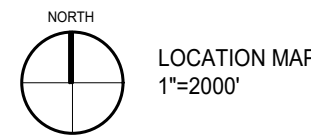
MECH/ELEC
ENGINEER:

MA ENGINEERING

180 S. HIGH OAK ROAD
BLOOMFIELD HILLS, MI 48304
(248) 258-1610

OAK POINTE CHURCH NOVI - RENOVATIONS & ADDITION

50200 W. TEN MILE ROAD, NOVI MI 48374



INDEX OF DRAWINGS	
NO.	SHEET TITLE
SPA-1	TITLE SHEET & DRAWING INDEX
SPA-2	CODE COMPLIANCE
SPA-3	SITE PLAN
SPA-4	ENLARGED SITE PLAN
SPA-5	LANDSCAPING PLAN
SPA-6	DEMOLITION AND PROPOSED PLANS
SPA-7	ELEVATIONS
●	SHEET ISSUED
○	SHEET ISSUED FOR REFERENCE ONLY

ABBREVIATIONS			
AFF	ABOVE FINISHED FLOOR	LAV	LAVATORY
AHJ	AUTHORITIES HAVING JURISDICTION	MANUF	MANUFACTURER
AJS	ALL JOIST SYSTEM	MAX	MAXIMUM
BO	BOTTOM OF	MDF	MEDIUM DENSITY FIBERBOARD
BOF	BOTTOM OF FOOTING	MECH	MECHANICAL
BOS	BOTTOM OF STEEL	MEZZ	MEZZANINE
CFMF	COLD FORMED METAL FRAMING	MIN	MINIMUM
CLO	CLOSET	MISC	MISCELLANEOUS
CM	CONSTRUCTION MANAGER	MO	MASONRY OPENING
CMU	CONCRETE MASONRY UNITS	NCM	NON COMBUSTIBLE MATERIAL
CONC	CONCRETE	NIC	NOT IN CONTRACT
CONT	CONTINUOUS	NTS	NOT TO SCALE
CONTR	CONTRACTOR	OC	ON CENTER
CORR	CORRIDOR	OPP	OPPOSITE
CPT	CARPET	OSB	ORIENTED STRAND BOARD
DEMO	DEMOLITION	PLAM	PLASTIC LAMINATE
DIA	DIAMETER	PT	PRESSURE TREATED
ELEV	ELEVATION	PTD	PAINTED
EMER	EMERGENCY	R	RISERS
EQ	EQUAL	REQ	REQUIRED
EQUIP	EQUIPMENT	RS	ROOF SUMP
EW	EACH WAY	SF	SQUARE FEET
EW	ELECTRIC WATER COOLER	SIM	SIMILAR
EXIST	EXISTING	SPECS	SPECIFICATIONS
EXT	EXTERIOR	T&G	TONGUE AND GROOVE
FD	FLOOR DRAIN	TEMP	TEMPERED
FF	FINISHED FLOOR	TME	TO MATCH EXISTING
FRT	FIRE RETARDANT TREATED	TO	TOP OF
GA	GAUGE	TOF	TOP OF FOOTING
GALV	GALVANIZED	TOS	TOP OF STEEL
GC	GENERAL CONTRACTOR	TOW	TOP OF WALL
GYP. BD.	GYPSON BOARD	TYP	TYPICAL
HM	HOLLOW METAL	UND	UNLESS NOTED OTHERWISE
HOR.	HORIZONTALLY	US	UNDERSIDE
HVAC	HEATING, VENTILATING, AIR CONDITIONING	VCT	VINYL COMPOSITION TILE
INSUL	INSULATION	VERT	VERTICALLY
JC	JANITOR'S CLOSET	VIF	VERIFY IN FIELD
		WWF	WELDED WIRE FABRIC

ABBREVIATIONS			
LAV	LAVATORY	LP	LOW POINT
MANUF	MANUFACTURER	MAX	MAXIMUM
MDF	MEDIUM DENSITY FIBERBOARD	MISC	MISCELLANEOUS
MECH	MECHANICAL	MIN	MINIMUM
MO	MASONRY OPENING	NCM	NON COMBUSTIBLE MATERIAL
NIC	NOT IN CONTRACT	NTS	NOT TO SCALE
OC	ON CENTER	OPP	OPPOSITE
OSB	ORIENTED STRAND BOARD	PLAM	PLASTIC LAMINATE
PTD	PAINTED	R	RISERS
REIN	REINFORCING	REQ	REQUIRED
RS	ROOF SUMP	RS	ROOF SUMP
SF	SQUARE FEET	SIM	SIMILAR
SPECS	SPECIFICATIONS	T&G	TONGUE AND GROOVE
TME	TO MATCH EXISTING	TEMP	TEMPERED
TO	TOP OF	TOW	TOP OF WALL
TOF	TOP OF FOOTING	TYP	TYPICAL
TOS	TOP OF STEEL	UND	UNLESS NOTED OTHERWISE
TOW	TOP OF WALL	US	UNDERSIDE
TYP	TYPICAL	VCT	VINYL COMPOSITION TILE
UND	UNLESS NOTED OTHERWISE	VERT	VERTICAL
US	UNDERSIDE	VIF	VERIFY IN FIELD
VCT	VINYL COMPOSITION TILE	W	WITH
VERT	VERTICAL	WWF	WELDED WIRE FABRIC
VIF	VERIFY IN FIELD		
W	WITH		
WWF	WELDED WIRE FABRIC		

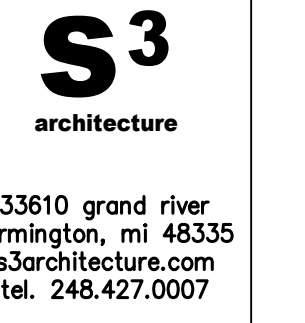


1
SPA-1
1/64" = 1'-0"

GENERAL NOTES

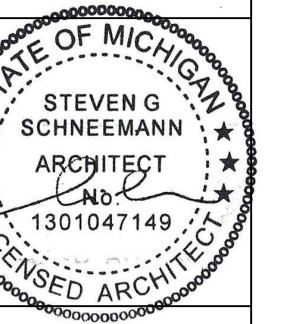
- LIGHT GAUGE STEEL FRAMING TO CONFORM TO ASTM STANDARDS C-845 AND C-754.
- ALL DIMENSIONS ARE FROM FINISH FACE OF DRYWALL TO FINISH FACE OF DRYWALL OR FACE OF EXTERIOR WALL SHEATHING UNO.
- ALL CONSTRUCTION TO CONFORM TO APPLICABLE STATE AND LOCAL CODES.
- CONTRACTOR IS RESPONSIBLE FOR ALL APPLICABLE BUILDING INSPECTIONS.
- ALTHOUGH EVERY EFFORT HAS BEEN MADE TO REFERENCE EACH PARTICULAR CONSTRUCTION ISSUE THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT THE ENTIRE PROJECT IS COMPLETED IN A MANNER THAT IS IN ACCORDANCE TO THE INTENT OF THE DRAWINGS AND FULLY COMPLIES WITH ALL APPLICABLE CODES, REGULATIONS, AND MANUFACTURER SPECIFICATIONS AND RECOMMENDATIONS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INVESTIGATE AND CONFIRM ALL EXISTING CONDITIONS AND TO NOTIFY THE OWNER AND ARCHITECT OF EXISTING CONDITIONS THAT ARE UNFORESEEN OR ARE DIFFERENT FROM CONDITIONS THAT ARE DEPICTED IN THE CONTRACT DOCUMENTS.
- DO NOT SCALE DRAWINGS. CONTACT ARCHITECT FOR DIMENSIONAL CLARIFICATIONS.
- THE CONTRACTOR IS REQUIRED TO MAINTAIN A SAFE, CLEAN, AND ORDERLY WORK ENVIRONMENT DURING ALL PHASES OF CONSTRUCTION.
- ALL PRODUCTS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS AND AS RECOMMENDED BY RECOGNIZED INDUSTRY AND TRADE STANDARDS.
- ALL GYPSUM PRODUCTS SHALL BE INSTALLED PER THE MANUFACTURER'S WRITTEN INSTRUCTIONS AND THE GUIDELINES AND SPECIFICATIONS PUBLISHED BY THE 'GYPSUM ASSOCIATION'.
- ALL OUTSIDE GYP. BD. CORNERS SHALL RECEIVE 'NO-COAT' DRYWALL CORNER BEAD.
- ALL GYP. BD. SHALL RECEIVE A LEVEL 4 FINISH (BASED ON 'USG' GUIDELINES) FOR A SMOOTH MONOLITHIC APPEARANCE.
- ALL GYP. BD. SHALL BE ATTACHED TO FRAMING AS OUTLINED:
 - ADHERED WITH A CONT. BEAD OF DRYWALL ADHESIVE TO EACH FRAMING MEMBER. ADHESIVE SHALL MEET ASTM C557 STANDARDS AND BE INSTALLED PER THE ADHESIVE MANUFACTURER AND 'USG' RECOMMENDATIONS.
 - MECHANICALLY FASTENED WITH 1-5/8" TYPE 'S' BUGLE HEAD SCREWS.
 - GYP. BD. SHALL BE APPLIED PERPENDICULAR TO WALL AND CEILING FRAMING WITH SCREWS AT 16" OC AT ENDS, AT EACH FRAMING MEMBER ALONG EDGES, AND WITH ONE FIELD SCREW PER FRAMING MEMBER.
- ALL CEILING SYSTEMS SHALL BE INSTALLED PER THE MANUFACTURER'S WRITTEN INSTRUCTIONS AND THE 'CEILING SYSTEMS HANDBOOK', LATEST EDITION PUBLISHED BY THE 'CEILINGS & INTERIOR SYSTEMS CONSTRUCTION ASSOCIATION (CISCA)'. ALL INTERIOR AND EXTERIOR PAINT SHALL BE FURNISHED AND INSTALLED PER THE 'ARCHITECTURAL PAINTING SPECIFICATION MANUAL', LATEST EDITION, PUBLISHED BY THE 'MASTER PAINTERS INSTITUTE'.
- ALL SEALANTS SHALL COMPLY WITH AND BE INSTALLED TO COMPLY WITH THE RECOMMENDATIONS IN 'ASTM C 1193' AS APPLICABLE TO THE MATERIALS, APPLICATIONS, AND CONDITIONS BEING USED.
- CONTRACTOR TO CAREFULLY REVIEW DRAWINGS AND REPORT ANY DISCREPANCIES TO ARCHITECT. THE CONTRACTOR SHALL ACCEPT RESPONSIBILITY FOR DISCREPANCIES IDENTIFIED AFTER AWARD OF THE CONTRACT AND THOSE DISCREPANCIES SHALL BE INTERPRETED PER THE SOLE DISCRETION OF THE ARCHITECT WITH NO ADVERSE IMPACT ON THE CONTRACT AMOUNT.
- THE GENERAL CONTRACTOR MAY SUBMIT SPECIFICATIONS FOR ALTERNATE MATERIALS AND FIXTURES FOR CONSIDERATION BY THE ARCHITECT FOR ALL SPECIFIED MATERIALS AND FIXTURES.
- EXIT DOORS SHALL BE IDENTIFIED WITH ACCESSIBLE SIGNAGE PER SECTION 110 MBC 2009 AND 703.4.5 ICC/ANSI - A117.1-2003
- ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS

ISSUED	DATE
SPA	11.06.23



33610 grand river farmington, mi 48335
s3architecture.com
tel. 248.427.0007

OAK POINTE CHURCH NOVI
50200 W 10 MILE RD, NOVI, MI 48374
ADDITION + CAFE PATIO



Date	10.31.23
Scale	AS NOTED
Drawn by	GA
Approved by	SS
Job	1820.1B
Sheet Name	TITLE SHEET AND NOTES
Sheet No.	SPA-1

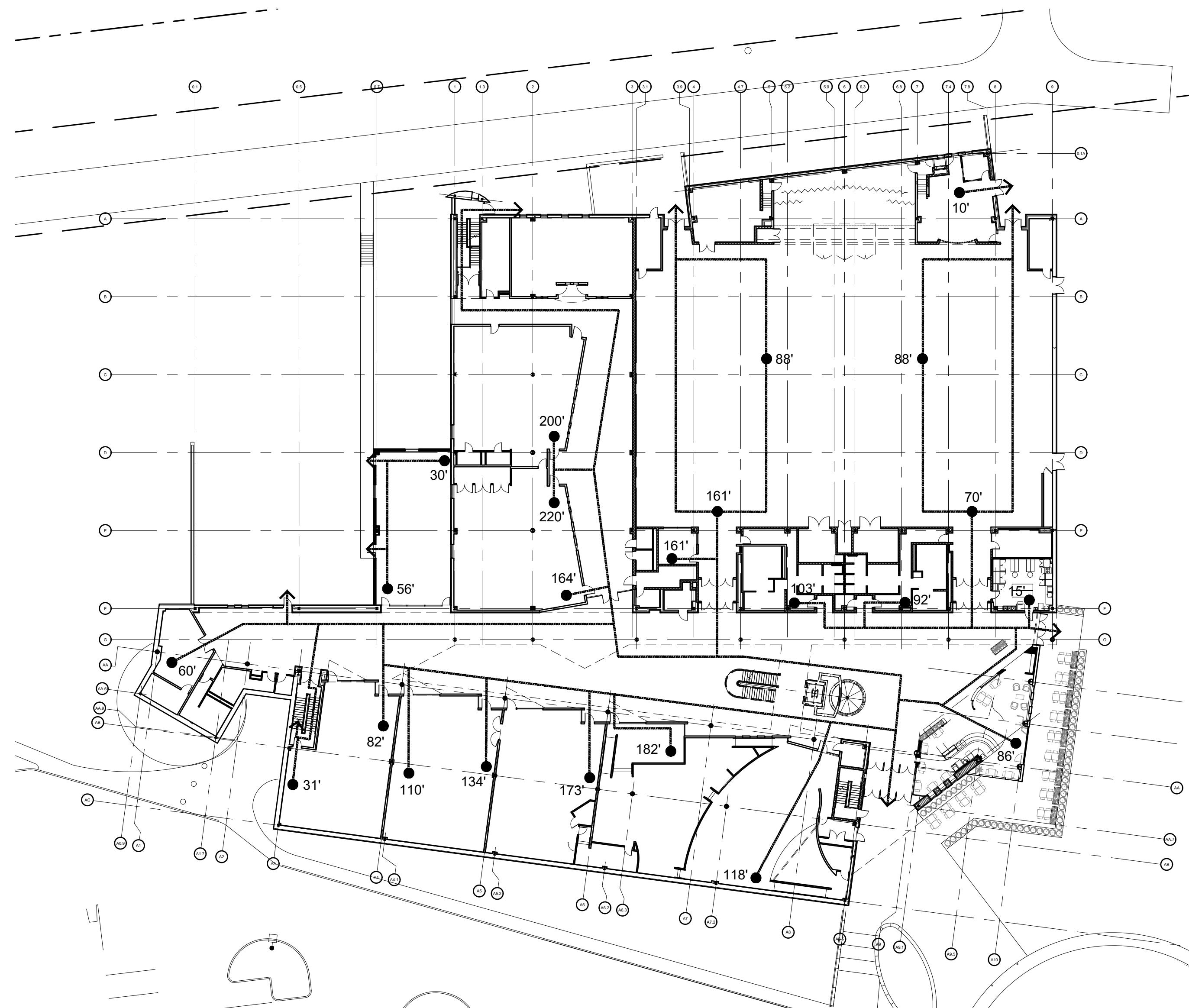
OCCUPANCY CHART

UPPER LEVEL			
ROOM/SPACE	AREA	LOAD FACTOR	OCCUPANT LOAD
CLASSROOM	600 SF	20 NET	30
CLASSROOM	600 SF	20 NET	30
CLASSROOM	580 SF	20 NET	29
CLASSROOM	600 SF	20 NET	30
CLASSROOM	660 SF	20 NET	33
CLASSROOM	660 SF	20 NET	33
CLASSROOM	580 SF	20 NET	29
CLASSROOM	540 SF	20 NET	27
CLASSROOM	600 SF	20 NET	30
CLASSROOM	600 SF	20 NET	30
CLASSROOM	680 SF	20 NET	34
CLASSROOM	1,220 SF	20 NET	61
UPPER GATHERING	980 SF	7 NET	140
OFFICE AREA / CONF. ROOM	8,300 SF	100 GROSS	83
			619

MAIN LEVEL

EAST GATHERING	6,518 SF	15 NET	435
WEST GATHERING	2,550 SF	15 NET	170
STAGE / BACKSTAGE	1,470 SF	15 NET	98
MULTI-PURPOSE ROOM	6,000 SF	5 NET	1,200
PRE-FUNCTION	587	15 NET	39
REHEARSAL	845	15 NET	57
CIRCULATION / BREAKOUT	490	7 NET	70
CLASSROOM / GAMES	3,920	20 NET	196
CLASSROOM	1,760 SF	20 NET	88
CLASSROOM	1,700 SF	20 NET	85
CLASSROOM	1,942 SF	20 NET	97
CLASSROOM	1,940 SF	20 NET	97
CLASSROOM	1,960 SF	20 NET	98
CLASSROOM	540 SF	20 NET	27
CLASSROOM	520 SF	20 NET	26
CRY ROOM	197 SF	7 NET	28
LOCKER ROOMS	428 SF	15 NET	29
PRAYER ROOM	238 SF	15 NET	16
CAFE	1,334 SF	15 NET	89
KITCHEN	455 SF	200 GROSS	3
PLAY AREA	1,781 SF	7 NET	255
			3,203

TOTAL BUILDING OCCUPANCY 3,822



1 FIRST FLOOR EGRESS PLAN
 SPA-2 SCALE: 1/32" = 1'-0"

CODE REVIEW

APPLICABLE CODE: MICHIGAN BUILDING CODE 2015		REDFORD TOWNSHIP DISTRICT LIBRARY PROJECT NO. - 20245	
		REQUIRED	PROPOSED
USE GROUP (SECTION 303.4)			A3 ASSEMBLY
CONSTRUCTION TYPE (TABLE 601)			1-B FULLY-SPRINKLERED
AREA LIMITATION (TABLE 506.2 + SECTION 506.3) $ALLOWABLE\ S.F. = \frac{F/P - 0.25}{30} \times W$ F = BUILDING PERIMETER ALONG PUBLIC WAY P = ENTIRE BUILDING PERIMETER W = WIDTH OF PUBLIC WAY (30' MAX.)		BASE S.F. = 28,500 S.F. PER TABLE 506.2 ALLOWABLE AREA: = UNLIMITED ACTUAL AREA: 127,792 S.F.	ALLOWED PER CODE TOTAL BUILDING AREA UNLIMITED 127,792 SF-EXISTING 3,570 SF-REMODEL
BUILDING HEIGHT LIMITATION (TABLE 504.3)		180 FEET	EXISTING TO REMAIN
MAXIMUM STORIES ABOVE GRADE PLANE (TABLE 504.4) ALLOWABLE MATERIALS (SECTION 602) INTERIOR WALLS EXTERIOR WALLS		12 STORY	EXISTING TO REMAIN 2 STORY
RATINGS REQUIRED (TABLE 601) FRAME - COLUMNS, BEAMS, GIRDERS, TRUSSES BEARING WALLS - INTERIOR BEARING WALLS - EXTERIOR NON-BEARING WALLS - INTERIOR NON-BEARING WALLS - EXTERIOR (TABLE 602) FLOOR CONSTRUCTION ROOF CONSTRUCTION REQUIRED FIRE SEPARATION FIRE WALLS (TABLE 706.4, NOTE A) SHAFT ENCLOSURE (SECTION 713.4) CORRIDORS - OCC LOAD > 30 (TABLE 1020.1) MINIMUM CEILING HT (SECTION 1003.2)			1B 2 HOUR 2 HOUR 2 HOUR 0 HOUR 0 HOUR 2 HOUR 1 HOUR N.A. 1 HOUR MINIMUM 0 HOUR FULLY SPRINKLED 7'-6" (6'-8" FOR STAIRS) 7'-6" MINIMUM
OCCUPANT LOAD (TABLE 1004.1.2) REFER TO OCCUPANCY CHART, THIS SHEET TRAVEL DISTANCE TRAVEL DISTANCE (TABLE 1017.2) MAX EXIT ACCESS TRAVEL DISTANCE			3,822 TOTAL 250'-0" 75'-0" COMPLIES COMPLIES
PLUMBING FIXTURES ASSEMBLY - CHURCHES MEN'S ROOM WOMEN'S ROOM OTHER FIXTURES		12 WATER CLOSETS 9 LAVATORY 23 WATER CLOSETS 9 LAVATORY 1 SERVICE SINK 6 DRINKING FOUNTAIN	16 WATER CLOSETS 10 URINAL 18 LAVATORY 34 WATER CLOSETS 27 LAVATORY 4 SERVICE SINK 10 DRINKING FOUNTAIN

LEGEND

EGRESS ROUTE FROM REMOTE POINT W/DIRECTION OF TRAVEL



APPLICABLE CODES

- 2015 MICHIGAN BUILDING CODE
- 2015 MICHIGAN MECHANICAL CODE
- 2018 MICHIGAN PLUMBING CODE
- 2017 NATIONAL ELECTRICAL CODE
- ICC ANSI 117.1 -2009
- CITY OF NOVI ORDINANCES
- MICHIGAN ENERGY CODE

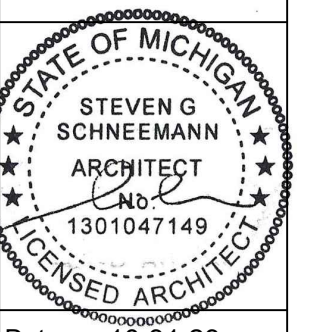
NOTES:

- ALL CONDITIONS AND DIMENSIONS ARE TO BE VERIFIED IN THE FIELD.
- ALIGN NOTES OVERRIDE ANY DIMENSION GIVEN ON THE DRAWINGS UNLESS OTHERWISE DIRECTED BY THE ARCHITECT.
- VERIFY AND COORDINATE WITH THE ARCHITECT WHEN DISCREPANCIES OCCUR.
- CONTRACTOR TO COORDINATE DEMOLITION WITH NEW WORK.
- THE EGRESS PLAN INCLUDES PATHS AND EXITS THAT ARE AFFECTED BY RENOVATIONS OR THE ADDITION

ISSUED	DATE
SPA	11.06.23

S³ architecture
 33610 grand river
 farmington, mi 48335
 s3architecture.com
 tel. 248.427.0007

OAK POINTE CHURCH NOVI
 50200 W 10 MILE RD, NOVI, MI 48374
 ADDITION + CAFE PATIO



Date	10.31.23
Scale	AS NOTED
Drawn by	GA
Approved by	SS
Job	1820.1B
Sheet Name	CODE COMPLIANCE
Sheet No.	SPA-2

ISSUED	DATE
SPA	11.06.23

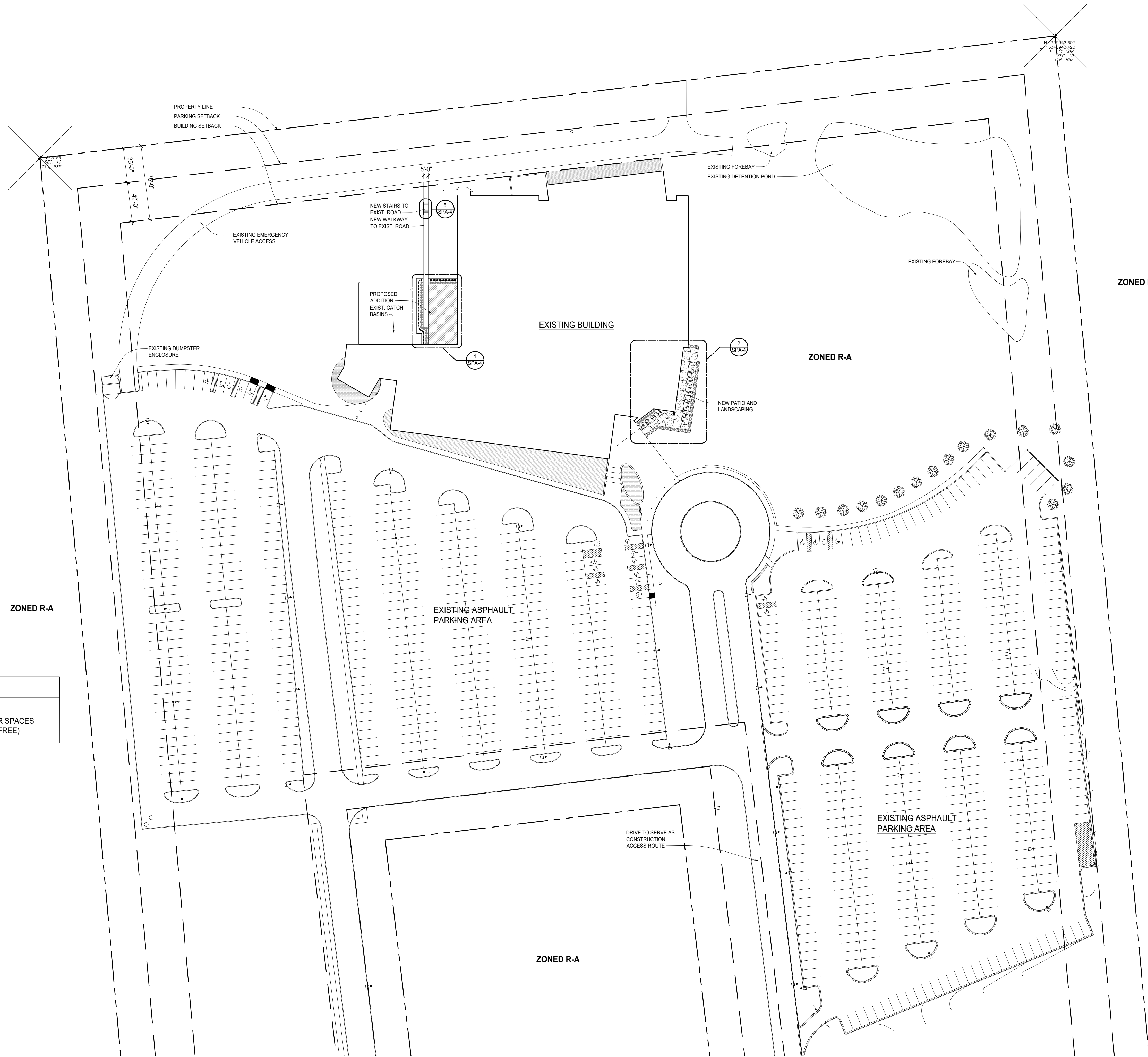


33610 grand river
farmington, mi 48335
s3architecture.com
tel. 248.427.0007

OAK POINTE CHURCH NOVI
50200 W 10 MILE RD, NOVI, MI 48374
ADDITION + CAFE PATIO



Date	11.01.23
Scale	1" = 50'-0"
Drawn by	GA
Approved by	SS
Job	1820.1B
Sheet Name	SITE PLAN
Sheet No.	SPA-3



PARKING CALCULATIONS:
REQUIRED: 1/3 SEATS X 1200 SEATS = 400 CAR SPACES
ACCESSORY: 1 SPACE FOR EVERY 70 SF GROSS = 47 CAR SPACES
EXISTING: 897 CAR SPACES (OF WHICH 20 ARE BARRIER FREE)

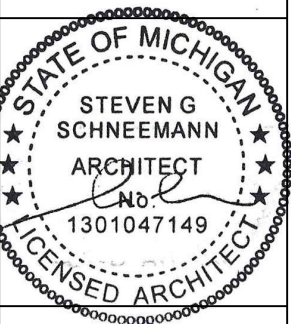
1 PRELIMINARY SITE PLAN
SPA-3 1" = 50'-0"

ISSUED	DATE
SPA	11.06.23

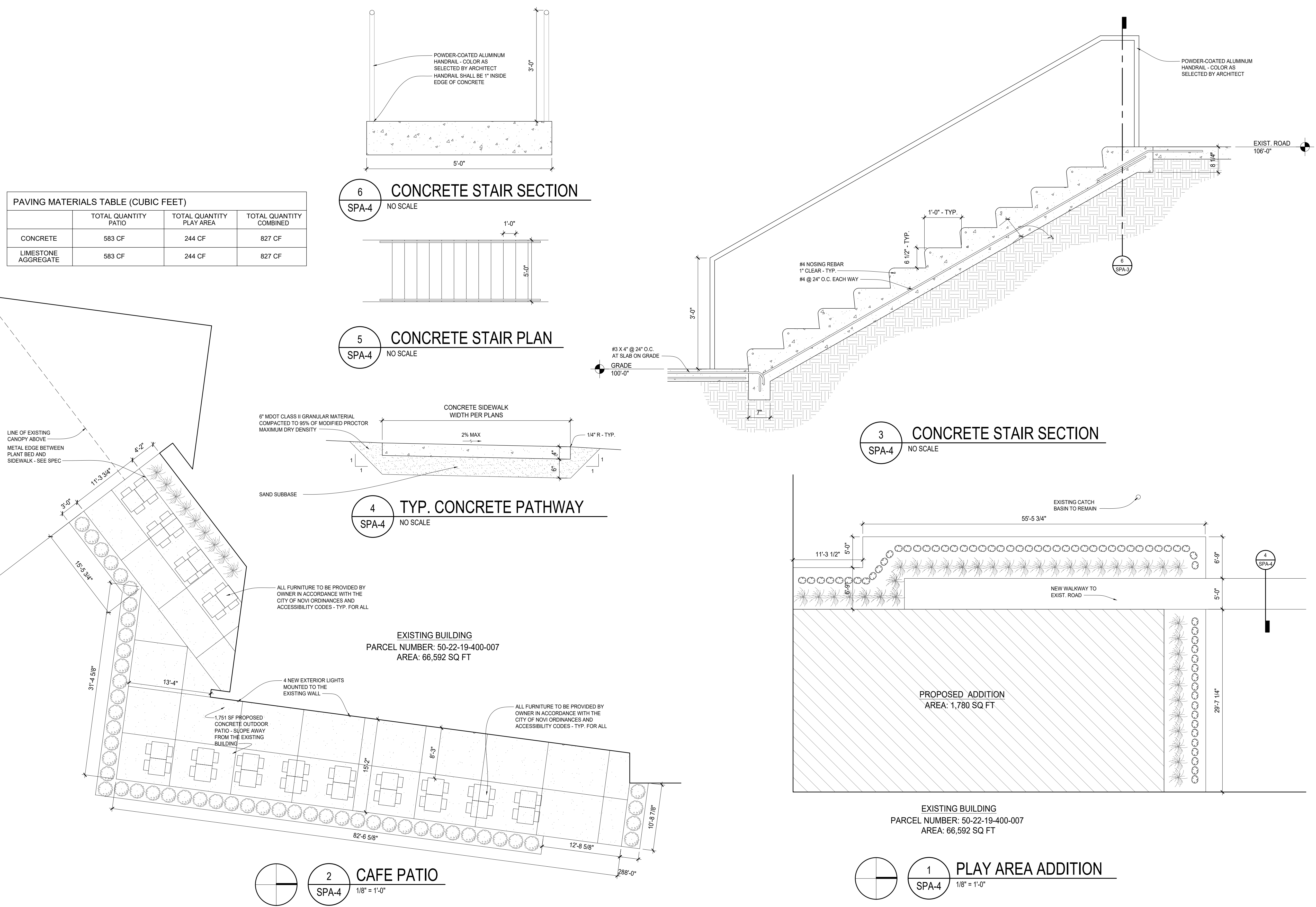


33610 grand river
farmington, mi 48335
s3architecture.com
tel. 248.427.0007

OAK POINTE CHURCH NOVI
50200 W 10 MILE RD, NOVI, MI 48374
ADDITION + CAFE PATIO



Date 11.01.23
Scale AS NOTED
Drawn by GA
Approved by SS
Job 1820.1B
Sheet Name ENLARGED SITE PLAN
Sheet No. SPA-4



2 CAFE PATIO
SPA-4 1/8" = 1'-0"

1 PLAY AREA ADDITION
SPA-4 1/8" = 1'-0"

6 CONCRETE STAIR SECTION
SPA-4 NO SCALE

5 CONCRETE STAIR PLAN
SPA-4 NO SCALE

3 CONCRETE STAIR SECTION
SPA-4 NO SCALE

4 TYP. CONCRETE PATHWAY
SPA-4 NO SCALE

LEGAL DESCRIPTION
 PART OF THE S. E. 1/4 SECTION 19, T. 1 N., R. 8 E., NOVI TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS COMMENCING AT THE S. E. CORNER OF SAID SECTION 19, THENCE S. 89° 24' W. ALONG THE CENTERLINE OF TEN MILE ROAD AND SOUTH LINE OF SAID SECTION, 1,319.2 FT. TO THE POINT OF BEGINNING; THENCE S. 89° 24' W. ALONG SAID LINE 437.78 FT.; THENCE N. 00° 36' W. 250.00 FT.; THENCE S. 89° 24' W. 300.00 FT.; THENCE S. 00° 36' E. 250.00 FT. TO THE SOUTH LINE OF SECTION; THENCE S. 89° 24' W. ALONG SAID LINE 303.62 FT.; THENCE N. 00° 58' 48" E. 1,327.19 FT.; THENCE N. 89° 24' E. 1,041.40 FT.; THENCE S. 00° 58' 48" W. 1,327.19 FT. TO POINT OF BEGINNING.
 THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 1.186, 138 SQUARE FEET OR 27.23 ACRES OF LAND.

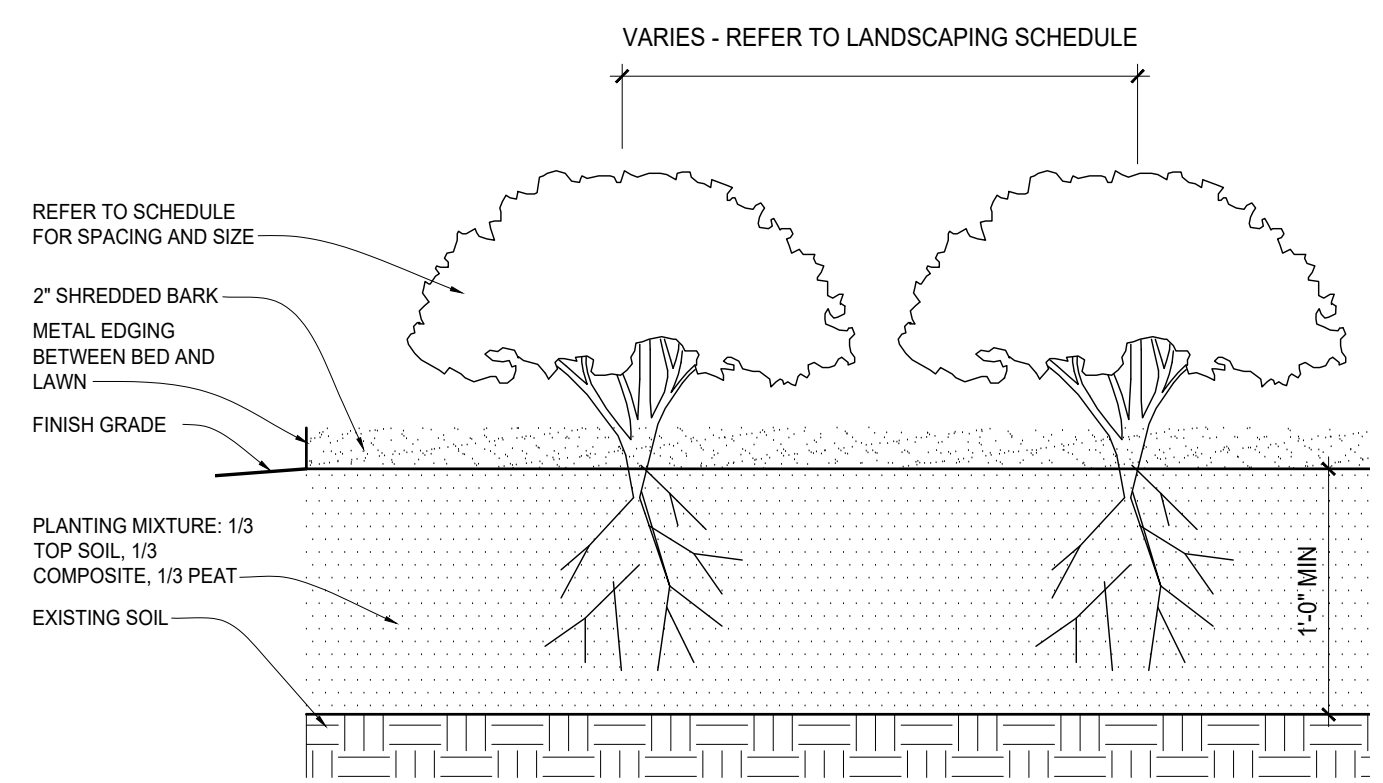
OWNER INFORMATION:
 OWNER: OAK POINTE CHURCH
 ADDRESS: 50200 W 10 MILE RD NOVI, MI 48374
 PHONE: (248) 912-0043

PHRAGMITES CONTROL:
 APPROXIMATELY 4,500-5,000 SQ FT OF PHRAGMITES WERE FOUND ON SITE NEAR THE FOREBAYS AND DETENTION BASINS. THE POPULATIONS OF PHRAGMITES WILL BE CHEMICALLY TREATED PER EGLE GUIDELINES AND REQUIREMENTS PRIOR TO CONSTRUCTION.

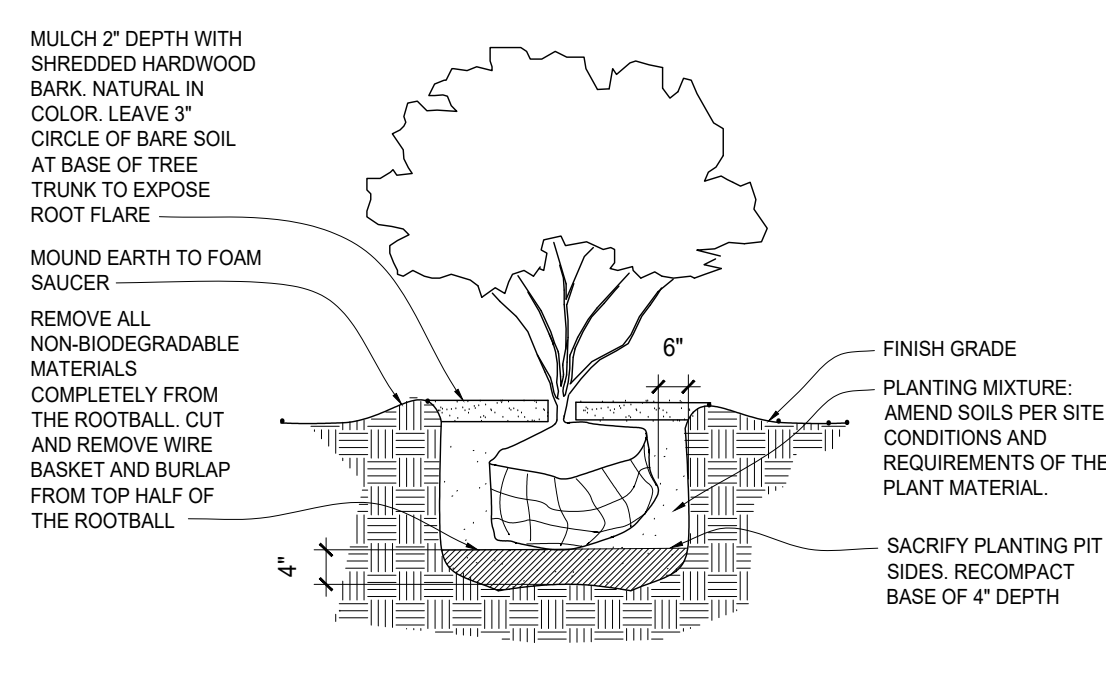
COST OF LANDSCAPING

	COST PER UNIT	TOTAL COST PATIO	TOTAL COST PLAY AREA
RED SWITCH GRASS	\$15	\$135	\$570
GREEN VELVET BOXWOOD	\$50	\$2,500	-
BUTTERFLY MILKWEED	\$15	-	\$960
MULCH	\$70 PER YARD	\$430.5	\$591.5
METAL EDGING	\$7.5 PER LINEAR FOOT	\$2,478.75 (330.5')	\$1,721.25 (229.5')
TOTAL COST OF LANDSCAPING		\$5,544.25	\$3,467.75

NOTES:
 REMOVE ALL TAGS, STRINGS, PLASTICS AND OTHER MATERIALS THAT ARE UNSIGHTLY OF COULD CAUSE GIRDLING.
 MULCH 3" DEPTH WITH SHREDDED HARDWOOD BARK. NATURAL IN COLOR. LEAVE 3" CIRCLE OF BARE SOIL AT BASE OF TREE TRUNK TO EXPOSE ROOT FLARE.
 REMOVE ALL NON-BIODEGRADABLE MATERIALS COMPLETELY FROM THE ROOTBALL. CUT AND REMOVE WIRE BASKET AND BURLAP FROM TOP HALF OF THE ROOTBALL.
 PLANTING MIXTURE, AMEND SOILS PER SITE CONDITIONS AND REQUIREMENTS OF THE PLANT MATERIAL.
 SCARIFY PLANTING PIT SIDES ONLY. RECOMPACT BASE TO 4" DEPTH.



5 PERENNIAL PLANTING DETAIL
 SPA-5 NO SCALE

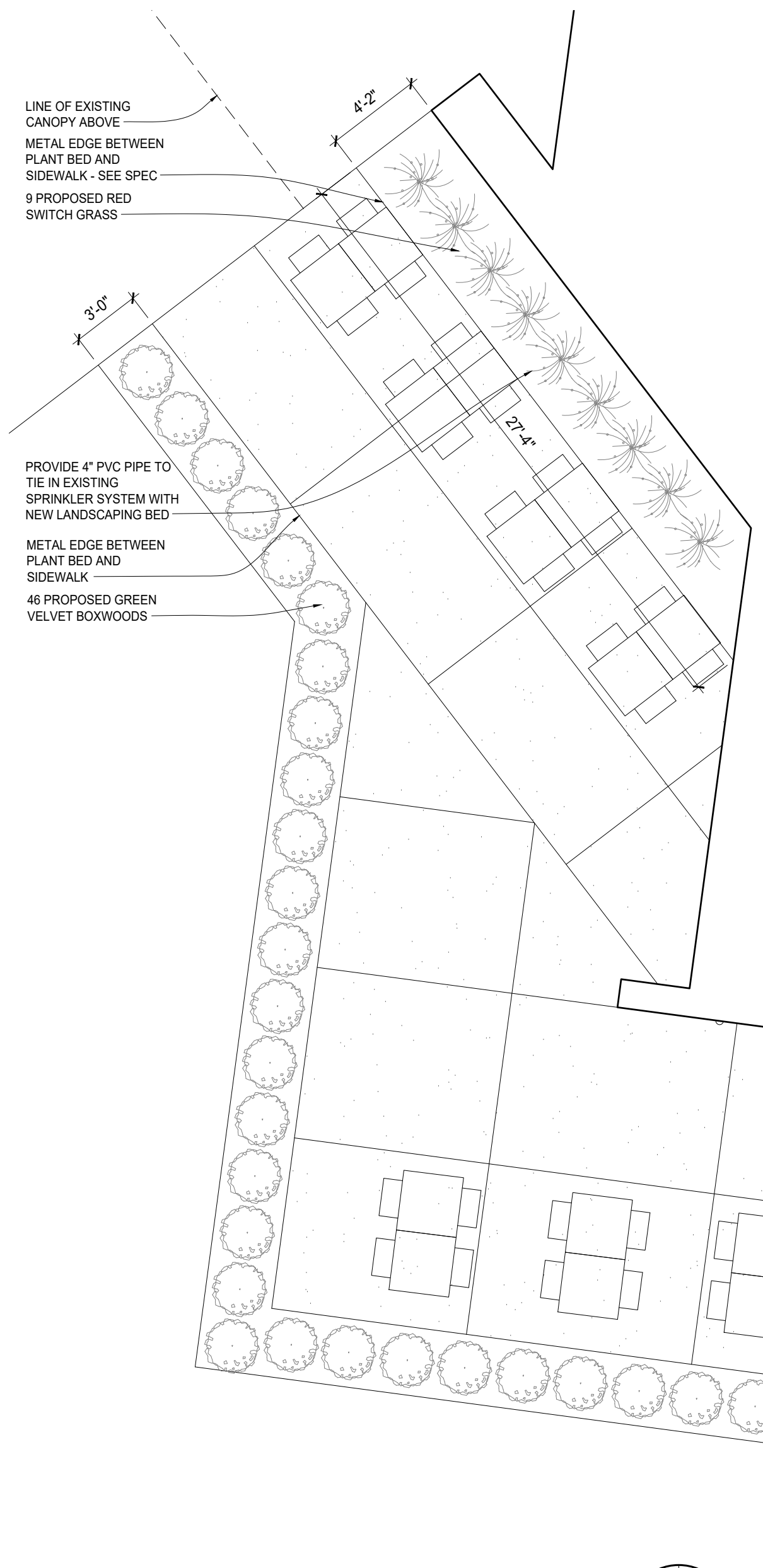


4 SHRUB PLANTING DETAIL
 SPA-5 NO SCALE

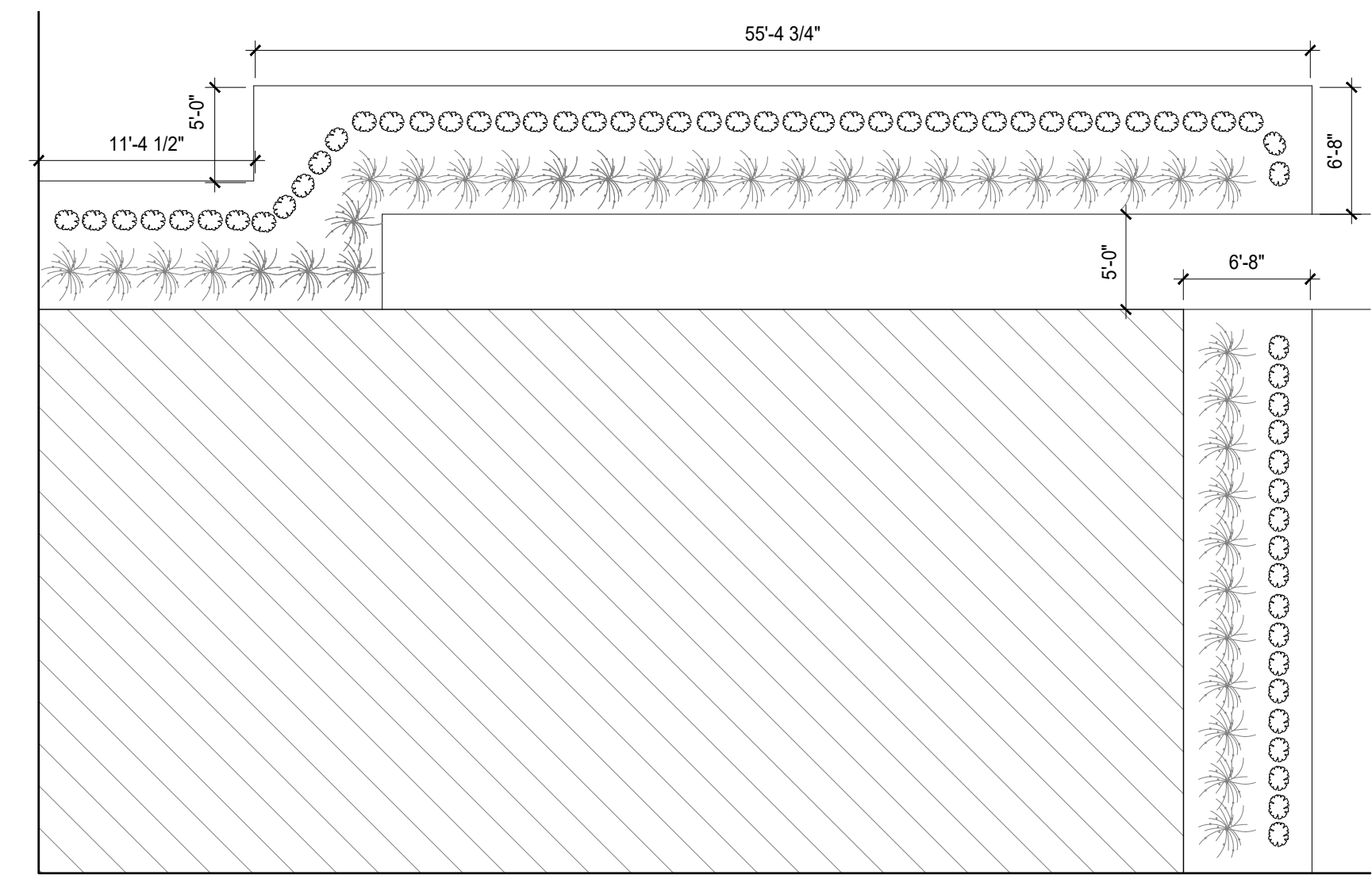
LANDSCAPING SCHEDULE

SYMBOL	QTY. (PATIO)	QTY. (PLAY AREA)	BOTANICAL/Common NAME	SIZE	SPACING	ROOT	MULCH	REMARKS
	9	38	PANCIUM VIRGATUM SHENANDOAH RED SWITCH GRASS	36" HT.	30"		2" HARDWOOD MULCH BED	
	-	64	ASCLEPIAS TUBEROSA L. BUTTERFLY MILKWEED	12" HT.	18"		2" HARDWOOD MULCH BED	
	50	-	BUXUS GREEN VELVET BOXWOOD	18" HT.	30"	B&B	2" HARDWOOD MULCH BED	TRIM TO CONT. BOX HEDGE @ 24" HT.

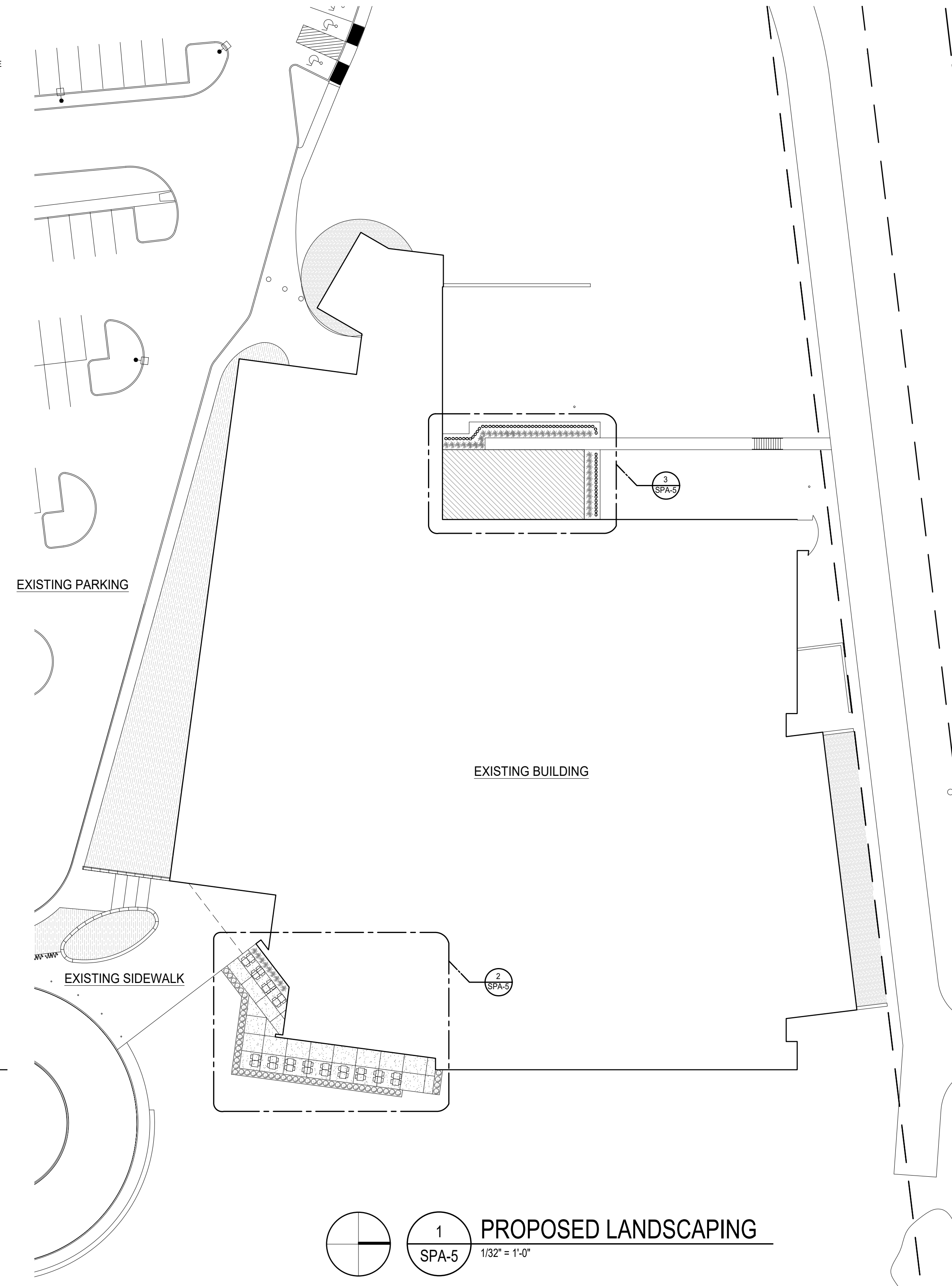
NOTES:
 1. ALL PLANTS SHALL BE MAINTAINED IN GOOD CONDITION FOR A MINIMUM OF 2 YEARS AS REQUIRED BY THE CITY OF NOVI LANDSCAPE DESIGN MANUAL
 2. ALL PLANTS TO BE UP-MIDWEST/GREAT LAKES GROWN AS REQUIRED BY THE CITY OF NOVI LANDSCAPE DESIGN MANUAL
 3. MULCH: DARK NATURAL COLOR, FINELY SHREDDED HARDWOOD MULCH - 2" DEEP
 4. PLANTING PERIOD SHALL BE: APRIL 1ST-NOVEMBER 15TH, ANTICIPATED 2020
 5. ANY AND ALL DEVIATIONS OR SUBSTITUTIONS SHALL BE APPROVED BY THE CITY PRIOR TO INSTALLATION
 6. SEE SURVEY/CIVIL PLANS FOR SOIL INFORMATION
 7. NO EXISTING LANDSCAPING WILL BE REMOVED
 8. MODIFY EXISTING IRRIGATION SYSTEM TO INCLUDE NEW PLANTINGS AS REQUIRED



2 ENLARGED LANDSCAPE PLAN
 SPA-5 1/8" = 1'-0"



3 ENLARGED LANDSCAPE PLAN
 SPA-5 1/8" = 1'-0"



1 PROPOSED LANDSCAPING
 SPA-5 1/32" = 1'-0"

ISSUED	DATE
SPA	11.06.23



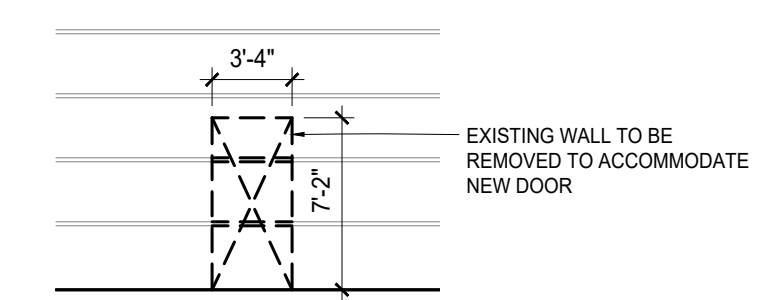
33610 grand river
farmington, mi 48335
s3architecture.com
tel. 248.427.0007

OAK POINTE CHURCH NOVI
50200 W 10 MILE RD, NOVI, MI 48374
ADDITION + CAFE PATIO

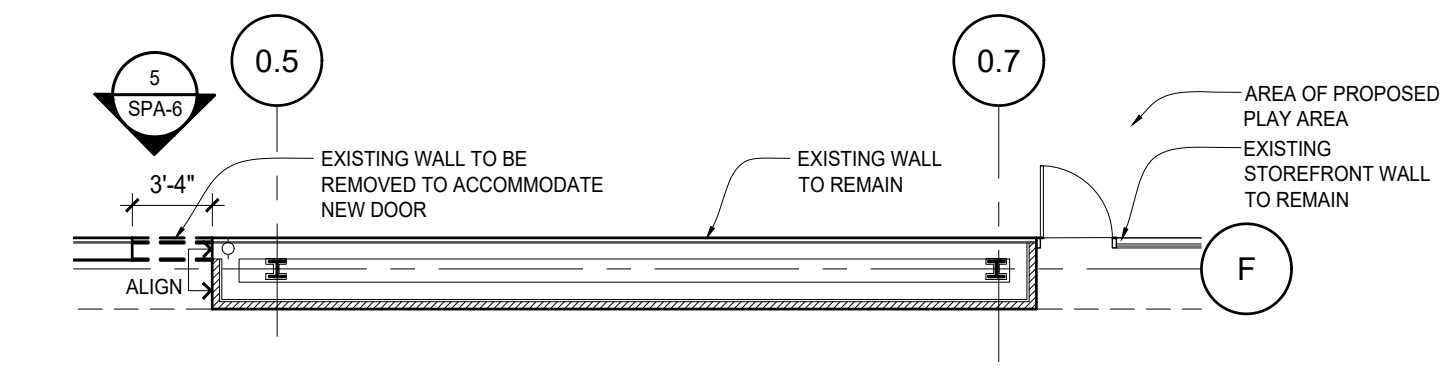


Date 11.01.23
Scale AS NOTED
Drawn by GA
Approved by SS
Job 1820.1B
Sheet Name
DEMOLITION AND PROPOSED PLANS
Sheet No.
SPA-6

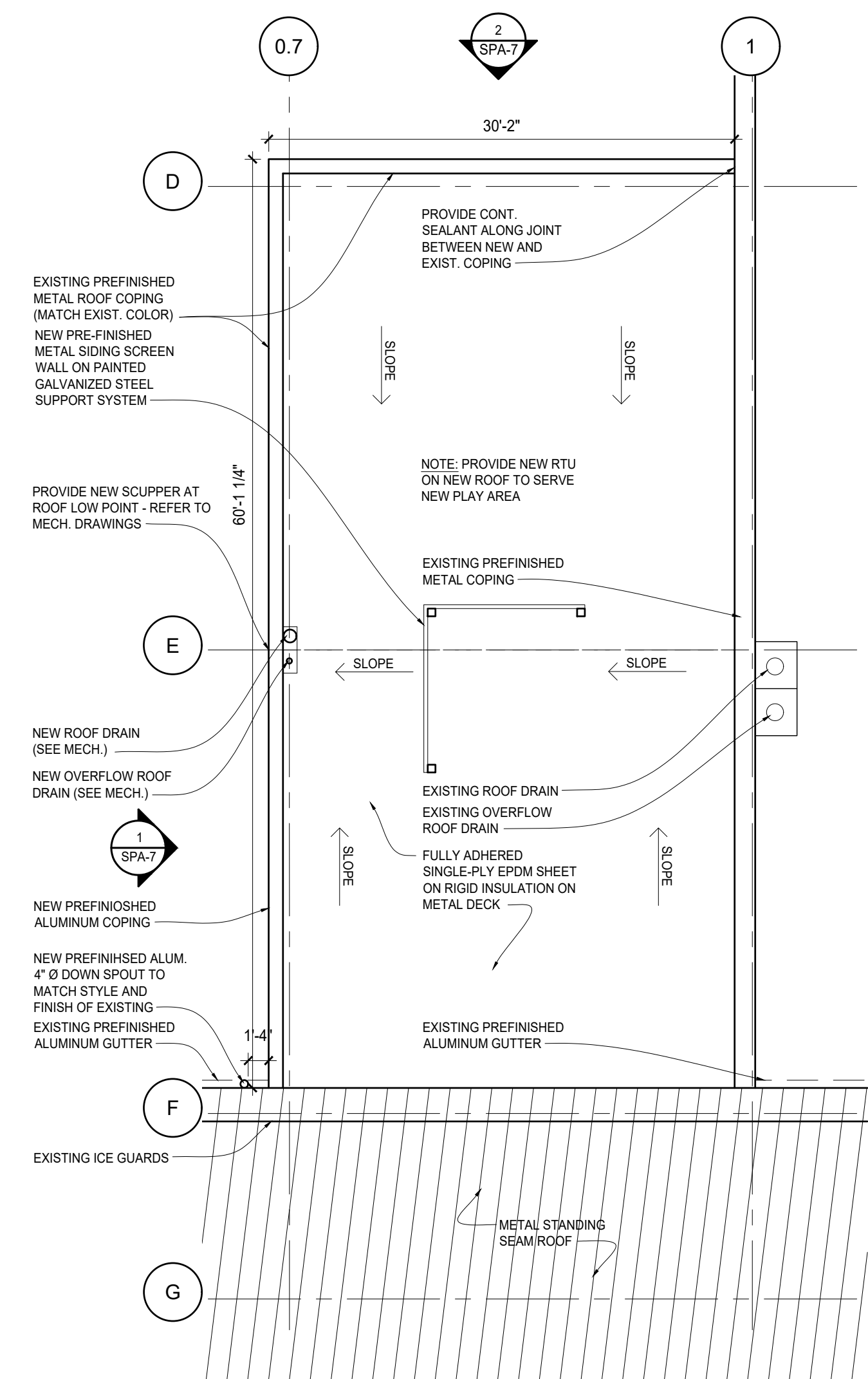
EXISTING CONSTRUCTION TO REMAIN
EXISTING CONSTRUCTION TO BE REMOVED



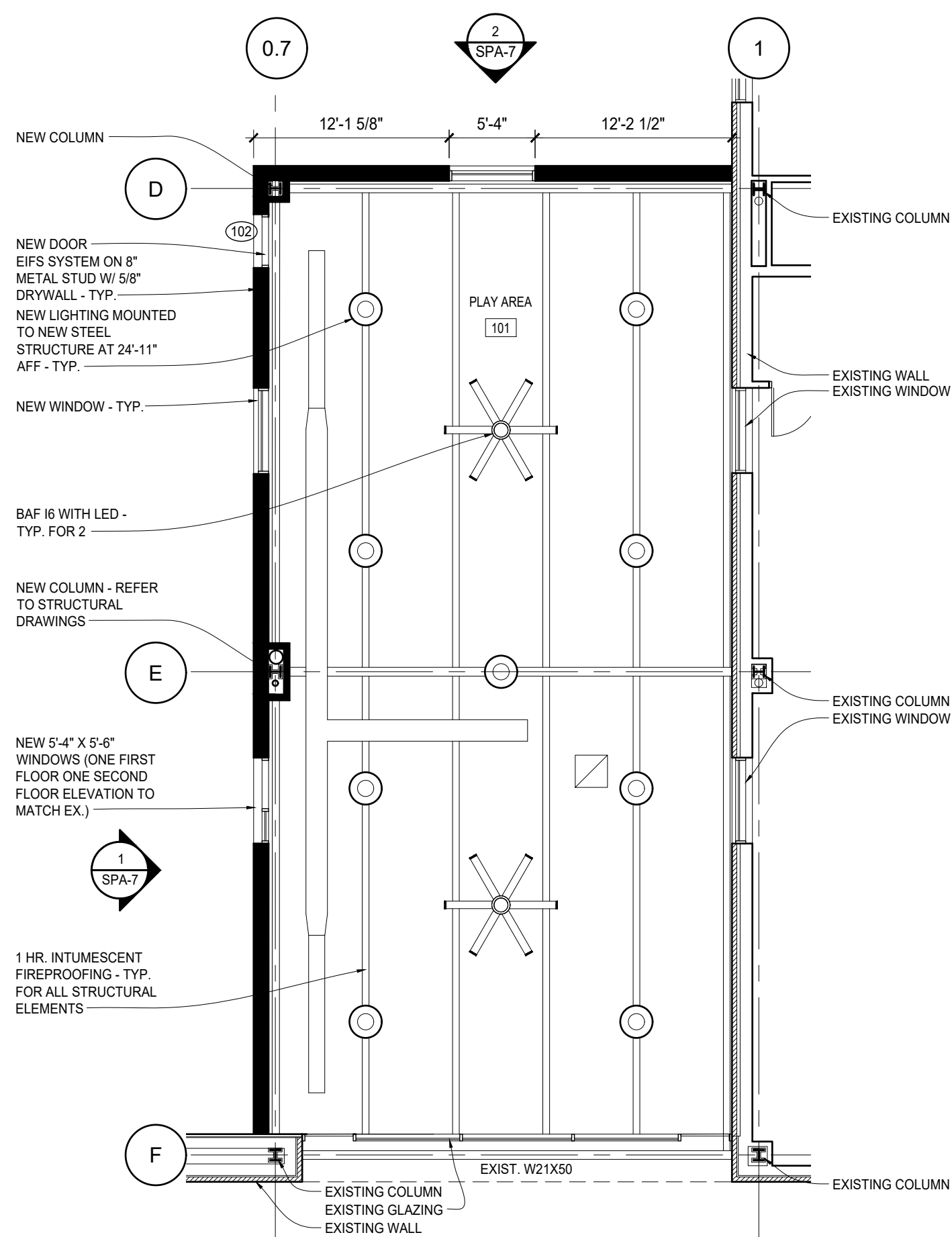
5 EGRESS DOOR DEMO. ELEV.
SPA-6 1/4" = 1'-0"



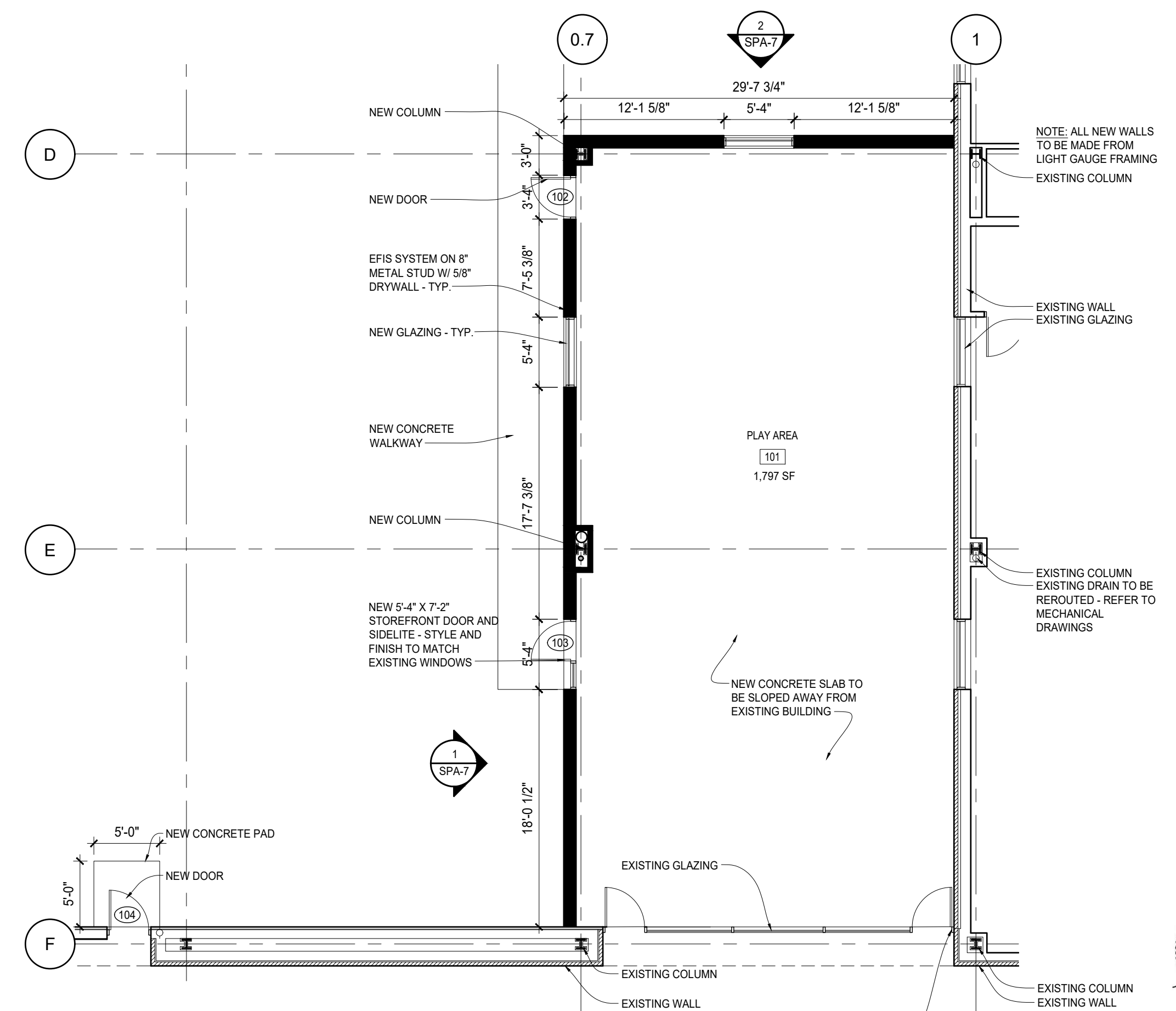
4 EGRESS DOOR DEMO. PLAN
SPA-6 1/4" = 1'-0"



3 PROPOSED PLAY AREA ROOF PLAN
SPA-6 1/8" = 1'-0"



2 PROPOSED PLAY AREA REFLECTED CEILING PLAN
SPA-6 1/8" = 1'-0"



1 PROPOSED PLAY AREA FLOOR PLAN
SPA-6 1/8" = 1'-0"

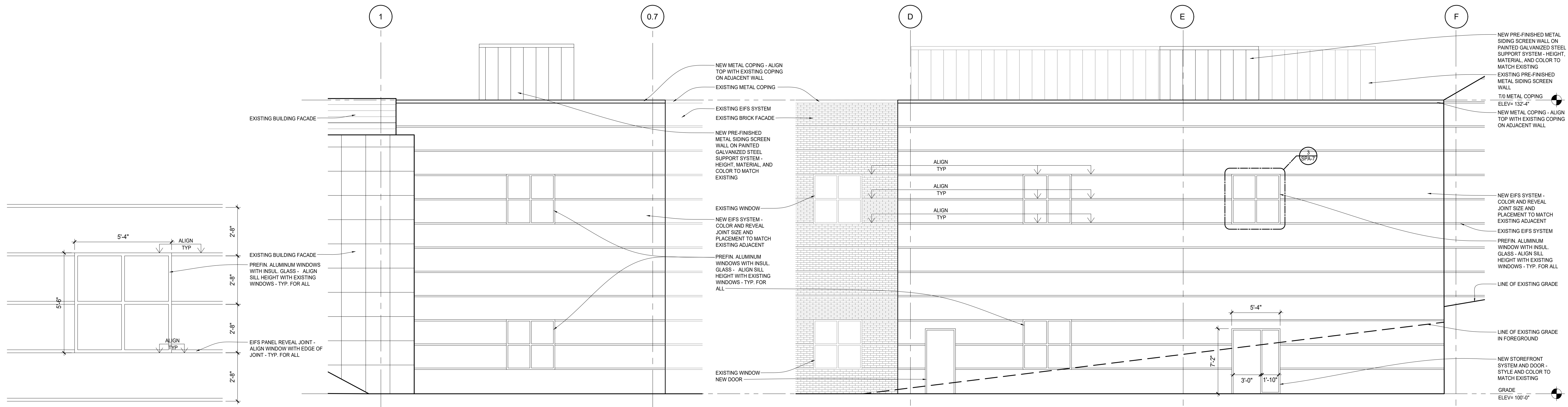
NEW PARTITION CONSTRUCTION
EXISTING CONSTRUCTION TO REMAIN

ISSUED	DATE
SPA	11.06.23



33610 grand river
farmington, mi 48335
s3architecture.com
tel. 248.427.0007

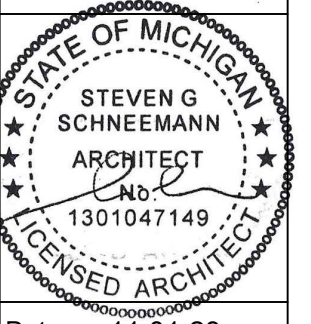
OAK POINTE CHURCH NOVI
50200 W 10 MILE RD, NOVI, MI 48374
ADDITION + CAFE PATIO



3
SPA-7
3/8" = 1'-0"
PROPOSED PLAY AREA WINDOW ELEVATION

2
SPA-7
3/16" = 1'-0"
PROPOSED PLAY AREA NORTH ELEVATION

1
SPA-7
3/16" = 1'-0"
PROPOSED PLAY AREA WEST ELEVATION



Date 11.01.23
Scale AS NOTED
Drawn by GA
Approved by SS
Job 1820.1B
Sheet Name ELEVATIONS
Sheet No. SPA-7

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

October 27, 2023

Planning Review

Oak Pointe Church Additions
JSP23-21

PETITIONER:

S3 Architecture | Oak Pointe Church

REVIEW TYPE:

Combined Preliminary Site Plan & Final Site Plan

PROPERTY CHARACTERISTICS

Section	20	
Site Location	50200 W Ten Mile Road, Novi Michigan	
Site School District	Novi Community School District	
Site Zoning	RA: Residential Acreage	
Adjoining Zoning	North	RA: Residential Acreage
	East	RA: Residential Acreage
	West	RA: Residential Acreage
	South	R-1: One-Family Residential
Current Site Use	Religious Institution	
Adjoining Uses	North	Residential
	East	Residential
	West	Residential
	South	Residential
Site Size	27.21 Acres	
Plan Date	06/01/2023	

PROJECT SUMMARY

The applicant is proposing to construct an addition to the previously approved structure- a 1,780 square-foot play area on the Northwest corner of the building, as well as a 1,751 square-foot patio and café area on the Southeast corner of the building. The playscape and the café are both intended for use by the church congregation members and their families only, to foster a sense of community within their church. Oak Pointe Church has put in writing that these amenities will not be advertised and encouraged to the public for general use. The original master plan for the property was approved in 2001. A smaller addition in the area identified as the approved Phase 5 is now proposed but does not impact the approved SLU.

The Future Land Use map indicates single family uses for the subject property surrounded by private parks and single family uses. There is a small area of wetland at the Northeast corner of the site with a stream running through the middle. There are no regulated woodlands on the property.

RECOMMENDATION

Approval of the Combined Preliminary and Final Plan is **currently recommended**. Please address the comments in this letter and in the attached letters from the other reviewers on a revised site plan.

ORDINANCE REQUIREMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. Items in **bold** must be addressed in the Revised Site Plan sets.

Outdoor Seating (Sec. 4.84.3)

Outdoor seating areas shall be located in a manner to maintain a minimum pathway width of six (6) feet (clear of structures such as light poles, trees and hydrants) along the sidewalk so as not to interfere with pedestrian traffic. Chairs and tables shall be of a quality durable material such as metal or wood. Waste receptacles shall be provided in instances where wait staff does not clear all tables. **Please provide additional details of the types of tables, chairs and waste receptacles that will be provided, if exterior lighting will be added, the dimensions of the clear pathways that are proposed, and whether the tables and chairs will be brought inside at the end of the season as required by the ordinance.**

Parking Requirements for Outdoor Seating (Sec. 4.84.6)

For plans showing more than twenty (20) occupants within the outdoor seating area, requirements for off-street parking for outdoor restaurants shall be computed according to the standards contained in Section 5.2, as indicated for restaurant use. **Please provide the parking calculations with the revised site plan submittal.**

Sec. 5.2.12.B - Institutional: Places of Worship: One (1) for each three (3) seats or persons permitted to capacity as regulated by local, county or state fire or building codes or six (6) feet of pews in the main unit of worship, whichever is the greater, plus parking for accessory uses, if determined necessary by the City. Approved site plan from 2014 shows a total of 935 approved spaces, all of which have been built.

The submitted set does not include a site plan according to the requirements of the city. Please provide a plan labeled Preliminary site Plan that is to the scale of no more than 1"=50". Please ensure that the sets contain all of the relevant details that are noted on the plans (some sheets were missing, such as sheet A-202, A-301, A-401, A-500, etc.)

On August 13, 2014 – PC approved parking lot expansion and indicated minor changes to phases or reordering of phases may be handled administratively.

OTHER REVIEWS

- a. Engineering Review: Approval Recommended - See attached review letter for details.
- b. Facade Review: Approval Recommended.
- c. Landscape Review: Approved with Conditions – See attached review letter for details.
- d. Fire Review: Approved with Conditions – See attached review letter for details.

NEXT STEP: PLANNING COMMISSION MEETING

Planning Commission approval of the site plan will be required as the addition exceeds 1,000 sf. Please provide the following via email one week prior to the meeting once this stage is reached:

- 1) Site Plan Submittal in PDF Format
- 2) A response letter addressing ALL comments from ALL reviewers and a request waivers/variances as you see fit.
- 3) A color rendering of the Site Plan (to be used in the Planning Commission Presentation).

Once you have received Planning Commission Approval; a revised final site plan should be submitted which addresses ALL comments made by reviewers.

STAMPING SET APPROVAL

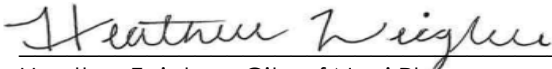
Stamping sets are still required for this project. After having received all the review letters from City staff, the applicant should make the appropriate changes on the plans and submit **8 size 24" x 36" copies with original signature and original seals**, to the Community Development Department for final Stamping Set approval.

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If you have any questions concerning the above review or the process in general, please do not hesitate to contact me at (248) 347-0579 or hzeigler@cityofnovi.org.

Sincerely,



Heather Zeigler – City of Novi Planner



PLANNING REVIEW CHART: RA- Residential Acreage & Special Land Use

Review Date: October 27, 2023
Review Type: Combined Preliminary and Final Site Plan
Project Name: **JSP23-21 OAK POINTE CHURCH ADDITION**
Plan Date: June 1, 2023
Prepared by: Heather Zeigler, Planner
Contact: **E-mail:** hzeigler@cityofnovi.org; **Phone:** (248) 347-0579

Bold To be addressed with the next submittal
Underline To be addressed with final site plan submittal
Bold and Underline Requires Planning Commission and / or City Council Approval
Italics Notes to be noted

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan <i>(adopted July 26, 2017)</i>	Single Family	Church	Yes	
Area Study	The site does not fall under any special category	NA	Yes	
Zoning <i>(Effective January 8, 2015)</i>	Residential Acreage (RA) Article 3	RA	Yes	
Uses Permitted (Sec 3.1.1.B & C)	Sec 3.1.1.B Principal Uses Permitted. Sec 3.1.1.C Special Land Uses	Places of Worship 1,760 building addition proposed, and expansion of concrete patio area at the front of the building with patio seating	Yes	<i>Planning Commission approval for Special Land Use for a Place of Worship was received 4/25/2001 and amended on 2/9/2005</i> <i>The original master plan for the property was approved in 2001. A smaller addition in the area identified as the approved Phase 5 are now proposed, but do not impact the approved SLU.</i>
Phasing	Phasing requires Planning Commission Approval		Yes	<i>On August 13, 2014 – PC approved parking lot expansion and indicated minor changes to phases or reordering of phases may be handled administratively.</i>

Item	Required Code	Proposed	Meets Code	Comments
Required Conditions: Places of Worship(Section 4.10)				
Minimum Site Size (Sec 4.10.1)	- 3 Acres	27.21 Acres	Yes	
Minimum Site Width (Sec 4.10.2)	- (200) feet along front yard	737 ft.	Yes	
Site Access (Sec 4.10.3)	- All access to the site shall be onto a Major Arterial, Arterial or Minor Arterial road as shown on the City's Thoroughfare Plan	Site is accessed off Ten Mile Road by 2 driveways	Yes	
Minimum Building Setbacks (Sec 4.10.4)	- Seventy-five (75) feet from all property lines.	All setbacks are min. 75 feet	Yes	
Parking in Front yard (Sec 4.10.5)	- There shall be no parking in front yard, - nor closer than twenty (20) feet from any side or rear lot line, except in those instances, where the lot abuts a residential lot and in those instances, no closer than thirty-five (35) feet on any side or rear yard	No additional parking is proposed	Yes	
Parking Lot Screening (Sec 4.10.6)	- Screening of vehicular parking areas shall be in conformity with requirements atSec5.5.3	Landscape plan previously approved and parking already installed	Yes	Landscaping around the building is proposed – see Landscape review for comments
Noise Impact Statement (Sec 4.10.7)	- A noise impact statement is required subject to the standards of Section 5.14.10.B	ZBA variance received previously 6/5/2001	NA	
Height, bulk, density and area limitations (Sec 3.1.1.E)				
Maximum % of Lot Area Covered (By All Buildings)	25%	Approx. 9%	Yes	
Building Height (Sec. 3.1.1.E)	35 feet or 2 ½ stories	43.5 feet	No?	ZBA variance received previously 6/5/2001
Building Setbacks (Sec 3.1.1.E)				
Front @ 10 Mile Road (Sec. 3.6.2.B)	For all non-residential uses:	> 75 ft	Yes	No change to existing setbacks
Side (east)	75 ft.	>300 ft	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Rear (north)		Approx. 82 ft (phase B)	Yes	
Parking Setback (Sec 3.1.1.E) Refer to applicable notes in Sec 3.6.2				
Front @ Taft Road (Sec. 3.6.2.B)	NO parking in front yard for churches	ZBA variance received previously 6/5/2001	NA	No change to parking proposed
Side (north and south)	20 ft. 35ft. (lot abuts a residential district)	No new parking proposed	NA	
Rear (west)	20 ft. 35ft. (lot abuts a residential district)	No new parking proposed	NA	
Note To District Standards (Sec 3.6.2)				
Area Requirements (Sec 3.6.2.A)	NA	Non-residential use	NA	
Parking Setbacks (Sec 3.6.2.B)	Refer to Sec 3.6.2 for more details	Minimum required setbacks are modified accordingly	Yes	
Building Setbacks (Sec 3.6.2.C)	Refer to Sec 3.6.2 for more details	Minimum required setbacks are modified accordingly	Yes	
Wetland/Watercourse Setback (Sec 3.6.2.M)	Refer to Sec 3.6.2 for more details	No wetlands	NA	
Parking, Loading and Dumpster Requirements (Sec. 5.2)				
Number of Parking Spaces (Sec. 5.2) Places of worship (Sec. 5.2.12.B)	1 for each 3 seats or persons permitted to capacity as regulated by local, county or state fire or building codes or 1 for 6 feet of pews in the main unit of worship, whichever is the greater, plus parking for accessory uses, if determined necessary by the City	Approved site plan from 2014 shows a total of 935 approved parking spaces, all have been built.	Yes?	Please confirm parking calculations given new seating areas for the café. See comment in Planning Letter for more information.
Shared Parking Study (Sec. 5.2.7)	One is required if the applicant is requesting reduction of parking space due to multiple uses on Site. This would require Planning Commission's approval		NA	
Parking Space Dimensions and Maneuvering Lanes (Sec. 5.3.2)	- 90° Parking: 9 ft. x 19 ft. - 24 ft. two way drives - 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4"	- All parking existing	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	curb at these locations and along landscaping			
Parking stall located adjacent to a parking lot entrance (public or private) <i>(Sec. 5.3.13)</i>	Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	NA	Yes	
End Islands <i>(Sec. 5.3.12)</i>	<ul style="list-style-type: none"> - End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance 	End Islands are existing – waiver granted by Planning Commission in 2014	Yes	
Barrier Free Spaces <i>Barrier Free Code</i>	Based on Total Parking required	20 spaces are existing	Yes	
Barrier Free Space Dimensions <i>Barrier Free Code</i>	<ul style="list-style-type: none"> - 8' wide with an 8' wide access aisle for van accessible spaces - 5' wide with a 5' wide access aisle for regular accessible spaces 	Two types of accessible spaces are provided	Yes	
Barrier Free Signs <i>Barrier Free Code</i>	One sign for each accessible parking space.	One sign is proposed for each space	Yes	
Minimum number of Bicycle Parking <i>Sec. 5.16.1</i>	Five (5) percent of required automobile spaces, minimum eight (8) spaces		Yes	
Bicycle Parking General requirements <i>Sec. 5.16</i>	<ul style="list-style-type: none"> - No farther than 120 ft. from the entrance being served - When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations - Spaces to be paved and the bike rack shall 	Not proposed at this time	Yes	No new bicycle parking to be provided

Item	Required Code	Proposed	Meets Code	Comments
	be inverted "U" design - Shall be accessible via 6 ft. paved sidewalk			
Bicycle Parking Lot layout Sec 5.16.6	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double	Not proposed at this time	Yes	
Loading Spaces Sec. 5.4.1	Required on all premises where receipt or distribution of materials or merchandise occurs and shall be separate from parking areas	Loading area previously constructed	NA	
Dumpster Sec. 4.19.2.F	<ul style="list-style-type: none"> - Located in rear yard - Attached to the building or - No closer than 10 ft. from building if not attached - Not located in parking setback - If no setback, then it cannot be any closer than 10 ft, from property line. - Away from Barrier free Spaces 	Existing	NA	
Dumpster Enclosure Sec. 21-145. (c)	<ul style="list-style-type: none"> - Screened from public view - A wall or fence 1 ft. higher than height of refuse bin - And no less than 5 ft. on three sides - Posts or bumpers to protect the screening - Hard surface pad. - Screening Materials: Masonry, wood or evergreen shrubbery 	Existing dumpster enclosure located on the west side of the parking lot.	NA	
Lighting and Other Equipment Requirements				
Exterior lighting Sec. 5.7	Photometric plan and exterior lighting details needed at time of Preliminary Site Plan submittal	A lighting plan previously approved – no changes proposed	NA	Please Confirm whether Additional lights will be provided on the Patio.

Item	Required Code	Proposed	Meets Code	Comments
Roof top equipment and wall mounted utility equipment Sec. 4.19.2.E.ii	All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	Roof top equipment is indicated	Yes	Roof Screening material and height will match existing- shown on sheet A-201.
Roof top appurtenances screening	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road or adjacent property.	Roof top equipment is indicated	Yes	Rooftop screening provided and in compliance with Ordinance. See Façade letter.
Sidewalk Requirements				
Article XI. Off-Road Non-Motorized Facilities	8 foot concrete path is required along 10 Mile Road	Has been constructed	Yes	
Pedestrian Connectivity	Assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets	Sidewalks are proposed at all building exits and a connection to 10 Mile Road is provided	Yes	
Building Code	Building exits must be connected to sidewalk system or parking lot.	Several exits do not appear to be connected to sidewalks or parking lot	Yes	Pathway provided connecting building exit in play area to drive area with sidewalk (Sheet A-100)
Other Permit and Legal Requirements				
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Legal descriptions for parcel shall be provided	No	

Item	Required Code	Proposed	Meets Code	Comments
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).	Mostly Provided	Yes	Refer to all review letters for additional information requested.
Community Impact Statement	<ul style="list-style-type: none"> - All non-residential projects over 30 acres for permitted use - All non-residential over 10 acres for special land use - All residential over 150 units 		NA	
Economic Impact	<ul style="list-style-type: none"> - Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied, if known) 	None provided	Yes	
Development/ Business Sign & Street addressing	<ul style="list-style-type: none"> - Signage if proposed requires a permit. - The applicant should contact the Building Division for an address prior to applying for a building permit. 	Signage is not proposed at the moment	Yes	If additional signage is <u>proposed contact Ordinance at 248-735-5678 for sign permit applications</u>
Project and Street naming	Some projects may need approval from the Street and Project Naming Committee.	This project does not need approval of the Project Name	NA	
Property Split	All property splits and combination must be submitted to the Assessing Department for approval.		NA	
Lighting and Photometric Plan (Sec. 5.7)				
Intent (Sec. 5.7.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary			

Item	Required Code	Proposed	Meets Code	Comments
	transmission of light into the night sky			
Lighting Plan (Sec. 5.7.A.i)	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures			
Building Lighting (Sec. 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.			
Lighting Plan (Sec.5.7.2.A.ii)	Specifications for all proposed & existing lighting fixtures			
	Photometric data			
	Fixture height			
	Mounting & design			
	Glare control devices			
	Type & color rendition of lamps			
	Hours of operation			
	Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties	Spillover not known		
Maximum Height (Sec. 5.7.3.A)	Height not to exceed maximum height of zoning district (or 25 ft. where adjacent to residential districts or uses			
Standard Notes (Sec. 5.7.3.B)	<ul style="list-style-type: none"> - Electrical service to light fixtures shall be placed underground - Flashing light shall not be permitted - Only necessary lighting for security purposes & limited operations shall be permitted after a site's hours of operation 			
Security Lighting (Sec. 5.7.3.H) Lighting for	<ul style="list-style-type: none"> - All fixtures shall be located, shielded, and aimed at the areas to be secured. 			

Item	Required Code	Proposed	Meets Code	Comments
security purposes shall be directed only onto the area to be secured.	- Fixtures mounted on the building and designed to illuminate the facade are preferred			
Average Light Levels (Sec.5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1			
Type of Lamps (Sec. 5.7.3.F)	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps			
Min. Illumination (Sec. 5.7.3.k)	Parking areas: 0.2 min			
	Loading & unloading areas: 0.4 min			
	Walkways: 0.2 min			
	Building entrances, frequent use: 1.0 min			
	Building entrances, infrequent use: 0.2 min			
Max. Illumination adjacent to Non-Residential (Sec. 5.7.3.K)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle			
Cut off Angles (Sec. 5.7.3.L)	When adjacent to residential districts - All cut off angles of fixtures must be 90° - maximum illumination at the property line shall not exceed 0.5 foot candle			

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4 and 5 of the zoning ordinance for further details
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

10/25/2023

Engineering Review

Oak Pointe Church
JSP23-0021

APPLICANT

S3 Architecture

REVIEW TYPE

Preliminary/ Final Site Plan

PROPERTY CHARACTERISTICS

- Site Location: North of W ten Mile Rd, South of Drakes Bay, West of Wixom Rd, East of Napier.
- Site Size: 31.28 acres, 4,091 SF disturbed Area.
- Plan Date: 10/4/2023
- Design Engineer: S3 Architecture

PROJECT SUMMARY

- Addition of a 1,751 SF patio, a 1780 SF slab, and a 560 SF Concrete Walk and stairs.
- No changes proposed to existing water and sanitary sewer main. No work proposed in the right-of-way.
- No changes proposed to the Storm water management system.

RECOMMENDATION

Approval of the Preliminary/Final Site Plan is recommended, with items to be addressed at Electronic Stamping Set submittal.

Comments:

The Preliminary/Final Site Plan meets the general requirements of [Chapter 11 of the City of Novi Code of Ordinances](#), the Storm Water Management Ordinance, and the [Engineering Design Manual](#) with the following exceptions, which can be addressed at Stamping Set submittal:

General

1. **Only at the time of the printed Stamping Set submittal**, provide the City's standard detail sheets for paving (2 sheets). The most updated details can be found on the City's website at this location: <https://cityofnovi.org/services/public-works/engineering-division/engineering-standards-and-construction-details>
2. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed.
3. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
4. The Patio and the slab must be sloped away from the building.

The following must be submitted with the Electronic Stamping Set submittal:

5. A letter from either the applicant or the applicant's engineer must be submitted with the Stamping Set highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**

The following must be addressed prior to construction:

6. Construction inspection fees in the amount of **\$3,850.00** must be paid to the Community Development Department.

The following must be addressed prior to issuance of building permits:

7. The amount of the incomplete site work performance guarantee for any outstanding site improvement items (limited to top course of pavement and other minor items), is calculated at 1.2 times the amount required to complete the site improvements (as specified in the Performance Guarantee Ordinance).

Prior to preparing stamping sets, the Applicant should submit the Electronic Stamping set to Planning for review, if any changes are proposed after Electronic Stamping set approval send revised sheets directly to Engineering for an informal review and approval.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Adam Yako at (248)735-5695 or email at ayako@cityofnovi.org with any questions.



Adam Yako,
Project Engineer

cc: Heather Zeigler Community Development
Angela Sosnowski, Community Development
Tina Glenn, Treasurers
Kristin Pace, Treasurers
Kevin Roby, Water & Sewer
Linda Slepetski, Water & Sewer
Humna Anjum, Engineering
Ben Croy, City Engineer
H. Gendron, T. Meadows, M. Freckelton, T. Reynolds; Spalding DeDecker

FAÇADE REVIEW



October 27, 2023

City of Novi Planning Department
45175 W. 10 Mile Rd.
Novi, MI 48375- 3024

Façade Review Status Summary:
**Approved, Full Compliance,
Administrative Approval Recommended.**

Re: **FACADE ORDINANCE REVIEW**
Oak Pointe Church Patio and Addition, JSP23-21
Façade Region: 1, Zoning District: RA

Dear Ms. McBeth;

The following is the Façade Review for the above referenced project based on the drawings and sample board prepared by S3 Architecture, dated 10/4/23. The proposed addition is consistent with Section 5.15.7 of the Façade Ordinance that allows a continuation of existing materials provided that the addition does not exceed 100% of the existing floor area and that the visual effect is to make the addition appear as part of the original building.

This application qualifies for administrative approval in accordance with Section 6.1.1.c.x. of the Zoning Ordinance, provided that all other requirements for administrative approval are met.

Notes to the Applicant:

1. Façade Ordinance requires façade inspection(s) for all projects. Inspections may be requested using the Novi Building Department’s Online Inspection Portal with the following link. Please click on “Click here to Request an Inspection” under “Contractors”, then click “Façade”.
<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.
2. All roof top equipment must be concealed from view from all vantage points both on-site and off-site using extended parapets or roof screens constructed of materials in compliance with the Façade Chart and harmonious with other façade materials.

If you have any questions regarding this review, please do not hesitate to call.

Sincerely,
DRN & Architects PC

Douglas R. Necci, AIA

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT
October 13, 2023
Oak Pointe Church Patio & Addition
Combined Preliminary & Final Site Plan – Landscaping Review

Review Type

Preliminary/Final Site Plan Landscape Review

Job #

JSP23-0021

Property Characteristics

- Site Location: 50200 W. Ten Mile Road
- Site Acreage: 31.28 ac.
- Site Zoning: R-A
- Adjacent Zoning: North, West, East: R-A; South: R-A/R-1
- Plan Date: 10/4/2023

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the Preliminary Site Plan submittal. Underlined items must be addressed on the Final Site Plans. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and is not intended to substitute for any Ordinance.

RECOMMENDATION:

This project **is recommended for approval for Preliminary Site Plan**, contingent on the applicant adding more foundation landscaping around the building addition. Other changes noted can be addressed on the revised final site plans.

LANDSCAPE DEVIATIONS THAT ARE REQUIRED FOR PROPOSED LAYOUT:

- Insufficient foundation landscaping around the addition – *not supported by staff*

PLEASE ADD THE CITY PROJECT NUMBER, JSP23-0021, TO THE BOTTOM RIGHT CORNER OF THE TITLE SHEET.

Ordinance Considerations

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. No existing landscaping is shown on the plans.
2. The response letter indicates that no existing landscaping will be removed. Please add that note to the plans.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

The project is adjacent to R-A property, but the large existing berms are not being changed.

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

The project is not near the right-of-way and all existing right-of-way landscaping is proposed to remain.

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

No new parking lot landscaping is required or proposed.

Building Foundation Landscaping (Zoning Sec. 5.5.3.D)

Building addition:

1. 668sf landscaping area is required around the foundation of the addition $(84.5)*8 = 676sf$, with a minimum width of 4 feet.
2. 256.5 sf is proposed and the landscape areas are only 3 feet wide. **This deficiency would require a landscaping waiver. It would not be supported by staff. Please add more area with a greater diversity of species used.**

Patio:

1. Landscaping is required adjacent to the patio.
2. A line of boxwoods is proposed around the patio. This is acceptable, but greater diversity of plantings would add more interest and beauty to the patio. Taller shrubs might create a better sense of privacy for the patio users too, but that is not required.

Plant List (LDM 4, 10)

1. Provided for the proposed boxwoods.
2. At least 50% of the species used must be native to Michigan. Please use a native shrub species for at least half of the shrubs shown on the plan. Flowering/fruited shrub species that provide food for pollinators and birds would be especially appreciated.

Planting Notations and Details (LDM 10)

A shrub planting detail is provided for the boxwoods. It would also apply for any other shrub used.

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

If the addition requires any changes to the existing pond, the required landscaping must be provided for the changed areas (seeding, shrubs and canopy trees)

Irrigation (LDM 10)

1. A plan for how the plantings will receive sufficient water for establishment and long-term survival must be provided.
2. If a new irrigation system will be added, it must meet the requirements listed below.
3. If an existing irrigation system will be modified to include the new plantings, a note indicating that should be added to the plans.
4. If other means of providing water will be used, a description of that must be provided.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader@cityofnovi.org.



Rick Meader – Landscape Architect

FIRE REVIEW



October 18, 2023

TO: Barbara McBeth - City Planner
Lindsay Bell - Plan Review Center
Ian Hogg – Plan Review Center
James Hill – Plan Review Center
Heather Zeigler – Plan Review Center
Diana Shanahan – Planning Assistant

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
Dave Staudt

Laura Marie Casey

Hugh Crawford

Justin Fischer

Brian Smith

Ericka Thomas

City Manager
Victor Cardenas

Director of Public Safety
Chief of Police
Erick W. Zinser

Fire Chief
John B. Martin

Assistant Chief of Police
Scott R. Baetens

Assistant Fire Chief

RE: Oak Pointe Church Patio & Addition

PSP# 23-0043
Pre-App23-0010

Project Description:

Addition to structure and Patio

Comments:

- **All** fire hydrants **MUST** be installed and operational prior to any combustible material is brought on site. **IFC 2015 3312.1**
- For new buildings and existing buildings, you **MUST** comply with the International Fire Code Section 510 for Emergency Radio Coverage. This shall be completed by the time the final inspection of the fire alarm and fire suppression permits.
- Fire apparatus access drives to and from buildings through parking lots shall have a minimum fifty (50) feet outside turning radius and designed to support a minimum of thirty-five (35) tons. **(D.C.S. Sec 11-239(b)(5))**
- No part of a commercial, industrial, or multiple residential area shall be more than 300 feet from a hydrant. **(D.C.S. Sec. 11-68 (f)(1)c.1)**
- Hydrants shall be spaced approximately three hundred (300) feet apart online in commercial, industrial, and multiple-residential areas. In cases where the buildings within developments are fully fire suppressed, hydrants shall be no more than five hundred (500) feet apart. The spacing of hydrants around commercial and/or industrial developments shall be considered as individual cases where special circumstances exist upon consultation with the fire chief. **(D.C.S. Sec. 11-68 (f)(1)c)**
- What is the occupant load for the new play scape addition? Only one exit exiting to the outside.

Novi Public Safety Administration
45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

Recommendation:

Approved with Conditions

Sincerely,

A handwritten signature in black ink, appearing to read 'KSP', with a long horizontal flourish extending to the right.

Kevin S. Pierce-Fire Marshal

City of Novi – Fire Dept.

cc: file

APPLICANT RESPONSE LETTER



33610 Grand River Ave.
Farmington, MI 48335
248.427.0007
S3architecture.com

11.06.23

Oak Pointe Church Novi Additions Site Plan Review - Response Letter

Oak Pointe Church - Addition and Renovations
50200 W 10 Mile Rd, Novi, MI 48374

Miscellaneous Items

Please provide a plan labeled Preliminary site Plan that is to the scale of no more than 1"=50"

- Scale of the provided site plan has been revised.

Please ensure that the sets contain all of the relevant details that are notes on the plans.

- Sheet numbering has been revised to remove unnecessary information that is not pertinent to site plan approval.

Outdoor Seating

Please Confirm whether Additional lights will be provided on the Patio.

- 4 total lights are being installed along the existing facade in the patio space.

Please provide additional details of the types of tables, chairs and waste receptacles.

- Furniture is to be provided by the owner in accordance with all City of Novi ordinances and relevant accessibility codes.
A note has been added to the drawings to reflect this.

Please provide the dimensions of the clear pathways that are proposed.

- Dimensions have been added to the patio plan.

Whether the tables and chairs will be brought inside at the end of the season as required by the ordinance.

- All outdoor furniture, including tables, chairs and waste receptacles, will be brought in and stored between December 1st and February 28th in accordance with the City of Novi ordinances.

Parking Requirements for Outdoor Seating

Please provide the parking calculations with the revised site plan submittal.

- Parking calculations have been added to the site plan. The existing parking is in compliance with the proposed cafe seating.

Engineering Review

Provide a construction materials table on the paving plan listing the quantity and material type for each pavement cross-section being proposed.

- Paving materials table has been added

Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.

- This note has been added to the general notes

The patio and the slab must be sloped away from the building.

- A note has been added to all paving to reflect this

Provide the City's standard detail sheet for paving

- This will be provided after the planning commission meeting, with the submission of the stamping set

A statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter

- This will be provided after the planning commission meeting, with the submission of the stamping set

Construction inspection fees in the amount of \$3,850.00 must be paid to the Community Development Department

- This has been relayed to the owner. They are processing this payment and it will be paid before construction begins.

Landscape Review

Please add the city project number, JSP23-0021 to the bottom right corner of the title sheet.

- The city's project number has been added to the bottom right corner of the title sheet.

The response letter indicates that no existing landscaping will be removed.

- Note has been added to the landscaping plan that no existing landscaping will be removed

Please add more area with a greater diversity of species used. (landscaping).

- Area has been increased to 685 SF to comply with requirements and landscaping has been revised to vary species.

At least 50% of the species used must be native to Michigan. Please use a native shrub species for at least half of the shrubs shown on the plan. Flowering/fruited shrub species that provide food for pollinators and birds would be especially appreciated.

- 100% of the plants surrounding the addition have been revised to be plants native to Michigan.

If the addition requires any changes to the existing pond, the required landscaping must be provided for the changed areas (seeding, shrubs and canopy trees).

- The addition requires no changes to the existing pond.

A plan for how the plantings will receive sufficient water for establishment and long-term survival must be provided.

If a new irrigation system will be added, it must meet the requirements listed below.

If an existing irrigation system will be modified to include the new plantings, a note indicating that should be added to the plans.

If other means of providing water will be used, a description of that must be provided.

- For the patio space, the existing irrigation system will be modified to provide adequate water for new plants. This note is included on the patio plan.
- For the building addition, drought resistant, native plants have been selected. No new irrigation system will be provided. The owner will provide adequate water as required for the new plants.

Fire Review

What is the occupant load for the new playscape addition?

- Code compliance sheet has been provided

All existing hydrants and the existing fire lane through the parking lot are in compliance with IFC 2015 3312.1, DCS Sec. 11-239(b)(5), DCS Sec. 11-68(f)(1)c.1, and DCS Sec. 11-68(f)(1)c.

ND OF RESPONSE LETTER