

# MEMORANDUM



**TO:** PLANNING COMMISSION  
**FROM:** LINDSAY BELL, AICP, SENIOR PLANNER  
**THROUGH:** BARBARA MCBETH, AICP, CITY PLANNER  
**SUBJECT:** JSP 20-12 BECK NORTH UNIT 59  
PRELIMINARY SITE PLAN EXTENSION  
**DATE:** JULY 7, 2023

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The subject property is located in Section 4, south of Cartier Drive and west of Hudson Drive, in the Light Industrial (I-1) zoning district. The applicant received Preliminary Site Plan approval for a 31,617 square foot speculative warehouse/office building. The applicant is requesting an extension due to high material and labor costs, and soft demand for this type of building. The subject property is approximately 3.49 acres.

The Planning Commission held a public hearing and approved the Preliminary Site Plan Woodland Use Permit, and Storm Water Management Plan on August 12, 2020. This approval is valid for two years.

The applicant has received tentative Final Site Plan approval, but has yet to submit final stamping sets and legal documents for the project. The applicant is requesting a 2nd one-year extension of Preliminary Site Plan approval until **August 12, 2024**, as they are not yet ready to commence construction on the development. The Zoning Ordinance allows for three, one-year extensions of Preliminary and Final Site Plan approvals. This is the second requested extension.

At this time, the Planning staff is not aware of any changes to the ordinances, or surrounding land uses, which would affect the approval of the requested extension for one year. **Approval of the extension of Preliminary Site Plan is recommended by staff.**

Attachments:

1. Letter of request for extension dated July 6, 2023, from Glenn E. Jones, Dembs Development, Inc.
2. A copy of approved Preliminary Site Plan
3. Action Summary from August 12, 2020 Planning Commission meeting
4. Minutes from August 12, 2020 Planning Commission meeting

**REQUEST FOR  
ONE YEAR EXTENSION LETTER**

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**DEMBS**

Development Inc

27750 Stansbury, Suite 200  
Farmington Hills, Michigan 48334  
(248) 380-7100 • Fax (248) 560-3030

July 6, 2023

Ms. Lindsay Bell | Senior Planner  
**City of Novi**  
45175 Ten Mile Road  
Novi, MI 48375

Re: Beck North Unit 59/ JSP20-12

Dear Lindsay,

It has come to our attention that the process of our obtaining Preliminary Site Plan Approval with the City of Novi on the above referenced project is about to expire this coming August, 2023.

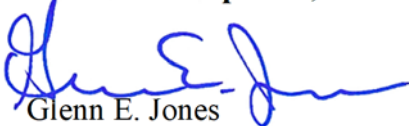
Due to the economies continued impact on the speculative commercial real estate market, along with the numerous material cost and labor cost increases we have been seeing in construction, the project has become cost prohibitive at this time. Therefore, we have chosen to further postpone the development of this project until things turn around or that of a specific user is identified for the building.

With this impact we are writing to formally request a 12-month extension on the completion of the Site Plan approval process for this project.

Thanks in advance for the understanding and continued cooperation.

Sincerely,

**Dembs Development, Inc.**



Glenn E. Jones

Director of Operations

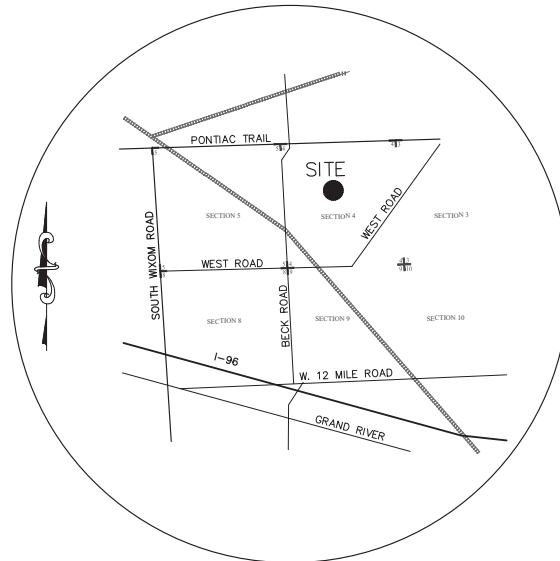
CC: Barb McBeth/ City of Novi  
Charles Boulard/ City of Novi

**APPROVED PRELIMINARY SITE PLAN**  
**(Full plan set available for viewing at the Community Development Department.)**

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# PROPOSED UNIT 59 (F.K.A. UNIT 4&52) OF BECK NORTH CORPORATE PARK

## PRELIMINARY SITE PLAN CITY OF NOVI, OAKLAND COUNTY



**LOCATION MAP**  
SCALE: 1" = ±2,500 FEET

**LEGEND:**

□	EX. CATCH BASIN	□	EX. SOIL BORING
⊙	EX. STORM MANHOLE	□	EX. MAILBOX
⊕	EX. END SECTION	⊙	EX. MONITOR WELL
⊕	EX. SANITARY MANHOLE	□	EX. AIR CONDITIONER
⊕	EX. CLEANOUT	⊕	EX. TRAFFIC SIGNAL
⊕	EX. WATER GATE VALVE	—/—	EX. FENCE
⊕	EX. COMMUNICATIONS MANHOLE	F.F.	PROP. FINISH FLOOR ELEVATION
⊕	EX. HYDRANT	—	PROP. CURB & GUTTER (PITCH IN)
⊕	EX. WATER VALVE	—	PROP. STORM SEWER
⊕	EX. WATER SHUTOFF	—	PROP. SANITARY SEWER
⊕	EX. GAS SHUTOFF	—	PROP. WATER MAIN
⊕	EX. GAS VENT	—	PROP. STRUCTURE
⊕	EX. ELECTRIC MANHOLE	■	PROP. END SECTION
⊕	EX. HANDHOLE	■	PROP. CLEAN-OUT
⊕	EX. PEDESTAL	■	PROP. HYDRANT
⊕	EX. TRANSFORMER	■	PROP. GATE VALVE
⊕	EX. LIGHTPOLE	■	PROP. CURB BOX
⊕	EX. UTILITY POLE	■	PROP. GUTTER ELEV.
⊕	EX. GUY ANCHOR	■	PROP. TOP OF CURB ELEV.
⊕	EX. COMMUNICATION MANHOLE	■	PROP. TOP OF WALK ELEV.
⊕	EX. GENERIC MANHOLE	■	PROP. TOP OF PAVEMENT ELEV.
⊕	EX. DECIDUOUS TREE WITH TREE TAG	■	PROP. FINISH GRADE AT TOP OF WALL
⊕	EX. CONIFEROUS TREE WITH TREE TAG	■	PROP. FINISH GRADE AT BOTTOM OF WALL
—	EX. TREE LINE	■	PROP. SPOT ELEV.
—	EX. SANITARY SEWER	→	PROP. DRAINAGE ARROW
—	EX. STORM SEWER	—	PROP. SILT FENCE
—	EX. WATER MAIN	—	PROP. TREE PROTECTION FENCE
—	EX. ELECTRIC CABLE	●	PROP. INLET FILTER
—	EX. COMMUNICATION	■	PROP. ASPHALT
—	EX. SIGN	■	PROP. CONCRETE
—	EX. POST/BOLLARD		
—	EX. FLAGPOLE		
—	EX. OVERFLOW STRUCTURE		
—	EX. WATER WELL		
—	EX. RAILROAD SIGNAL		

**BENCHMARKS:**  
 BM#1 - ARROW ON HYDRANT AT THE SOUTHEAST CORNER OF HUDSON DR. AND NAHLAN DR.  
 ELEVATION 956.57 NAVD88  
 BM#2 - ARROW ON HYDRANT ±150' WEST OF HUDSON DR., ±60' SOUTH OF SOUTH LINE OF UNIT 4.  
 ELEVATION 951.37 NAVD88  
 CITY OF NOVI BM#434 - "X" IN NINE FLANGE BOLT OF HYDRANT, EAST SIDE OF HUDSON DR., ±150' NORTH OF DRIVE TO #29895 HUDSON DR.  
 ELEVATION 955.39 NAVD88

**NOTICE:**  
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

**NOTE:**  
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

**OWNER/APPLICANT/DEVELOPER:**  
 OWNER: BECK NORTH CORP. PARK II LLC  
 APPLICANT/DEVELOPER: DEMBS DEVELOPMENT, INC.  
 27750 STANSBURY, SUITE 200  
 FARMINGTON HILLS, MI 48334  
 PHONE: (248) 380-7100  
 FAX: (248) 560-3030

**ARCHITECT:**  
 FAUDIE ARCHITECTURE  
 28261 EVERGREEN ROAD, SUITE 123  
 SOUTHFIELD, MI 48076  
 PHONE: (248) 619-2354

**LANDSCAPE ARCHITECT:**  
 ALLEN DESIGN  
 557 CARPENTER  
 NORTHVILLE, MI 48167  
 PHONE: (248) 467-4668

**SURVEYOR/ENGINEER:**  
 ALPINE ENGINEERING, INC.  
 46892 WEST ROAD, SUITE 109  
 NOVI, MI 48377  
 PHONE: 248-926-3701  
 FAX: 248-926-3765

**SHEET INDEX**

1	COVER SHEET
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4	GRADING PLAN
5	UTILITY PLAN
6	STORM WATER MANAGEMENT PLAN
7	DETAIL SHEET

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L-2	LANDSCAPE PLAN
L-3	LANDSCAPE DETAILS
	WOODLAND PLAN

FPF-2	FAUDIE ARCHITECTURE
PE-1	FLOOR PLAN, DUMPSTER ENCLOSURE DETAILS
ESP-1A	BUILDING ELEVATIONS
ESP-1B	PHOTOMETRIC SITE PLAN
	LIGHT DETAILS

**COMMERCIAL**  
 SITE PLANNING  
 SURVEYING  
 ALTA SURVEYS  
 BOUNDARY SURVEYS  
 TOPOGRAPHIC SURVEYS  
 INDUSTRIAL & MULTI-UNIT  
 CONSTRUCTION LAYOUT  
 CONSTRUCTION LAYOUT

**RESIDENTIAL**  
 SUBDIVISIONS  
 MULTI-FAMILY  
 CONSTRUCTION LAYOUT

46892 WEST ROAD  
 NOVI, MICHIGAN 48377  
 (248) 926-3701 (BUS)  
 (248) 926-3700 (OFFICE)  
 WWW.ALPINE-INC.COM

**ALPINE ENGINEERING, INC.**  
 CIVIL ENGINEERS & LAND SURVEYORS

**811**  
 Know what's Below  
 Call before you dig.

CLIENT: DEMBS DEVELOPMENT, INC.

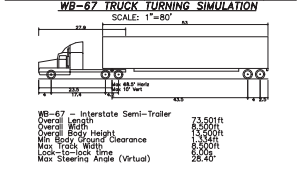
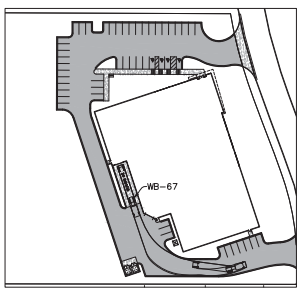
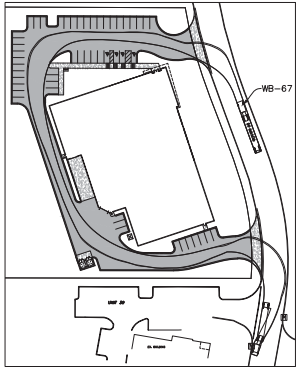
REVISED  
 2020-06-26 PSP APPROVAL

DATE: 2020-06-26  
 DRAWN BY: TG  
 CHECKED BY: SD/TG

SCALE: HORIZONTAL 1" = 50 FT. VERTICAL 1" = 10 FT.

14-307





**DESCRIPTION:**  
 PARCEL NO. 22-04-376-011:  
 T1N, R8E, SEC 4 OAKLAND COUNTY CONDOMINIUM PLAN NO 1759 BECK NORTH CORPORATE PARK UNIT 4

PARCEL NO. 22-04-376-017:  
 T1N, R8E, SEC 4 OAKLAND COUNTY CONDOMINIUM PLAN NO 1759 BECK NORTH CORPORATE PARK UNIT 52

OVERALL PARCEL: (AS SURVEYED)

COMMENCING AT THE SOUTH 1/4 CORNER OF SECTION 4, T1N-R8E, CITY OF NOV, OAKLAND COUNTY, MICHIGAN;  
 THENCE S87°22'41"W 504.00 FEET TO THE SOUTH LINE OF SAID SECTION 4; THENCE N03°14'09"W 1756.60 FEET;  
 THENCE S86°33'37"W 848.43 FEET; THENCE N54°56'16"W 60.01 FEET; THENCE N06°27'01"E 410.94 FEET; THENCE S62.27  
 FEET ALONG A 370.00 FOOT RADIUS CURVE TO THE LEFT, CHORD BEARING N03°38'30"E 36.26 FEET TO THE POINT OF  
 BEGINNING AT THE SOUTHWEST CORNER OF UNIT 4, OAKLAND COUNTY CONDOMINIUM PLAN NO. 1759, BECK NORTH  
 CORPORATE PARK, LIBER 52783, PAGE 115, OAKLAND COUNTY RECORDS; THENCE S86°39'41"W 446.30 FEET TO THE  
 SOUTHEAST CORNER OF SAID UNIT 4; THENCE N02°32'27"W 369.40 FEET TO THE NORTHEAST CORNER OF UNIT 52 OF  
 SAID BECK NORTH CORPORATE PARK; THENCE N86°47'47"E 359.01 FEET TO THE NORTHEAST CORNER OF SAID UNIT 52;  
 THENCE ALONG THE WEST LINE OF HUDSON DRIVE (60 FEET WIDE) THE FOLLOWING THREE (3) COURSES: (1) 118.09 FEET  
 ALONG A 630.00 FOOT RADIUS CURVE TO THE LEFT, CHORD BEARING S18°32'53"E 117.92 FEET, (2) S23°55'04"E 104.72  
 FEET, AND (3) 118.04 FEET ALONG A 370.00 FOOT RADIUS CURVE TO THE RIGHT, CHORD BEARING S17°02'02"E 104.60  
 FEET TO THE POINT OF BEGINNING, CONTAINING 3.49 ACRES OF LAND, MORE OR LESS AND SUBJECT TO RESTRICTIONS  
 AND EASEMENTS OF RECORD, IF ANY.

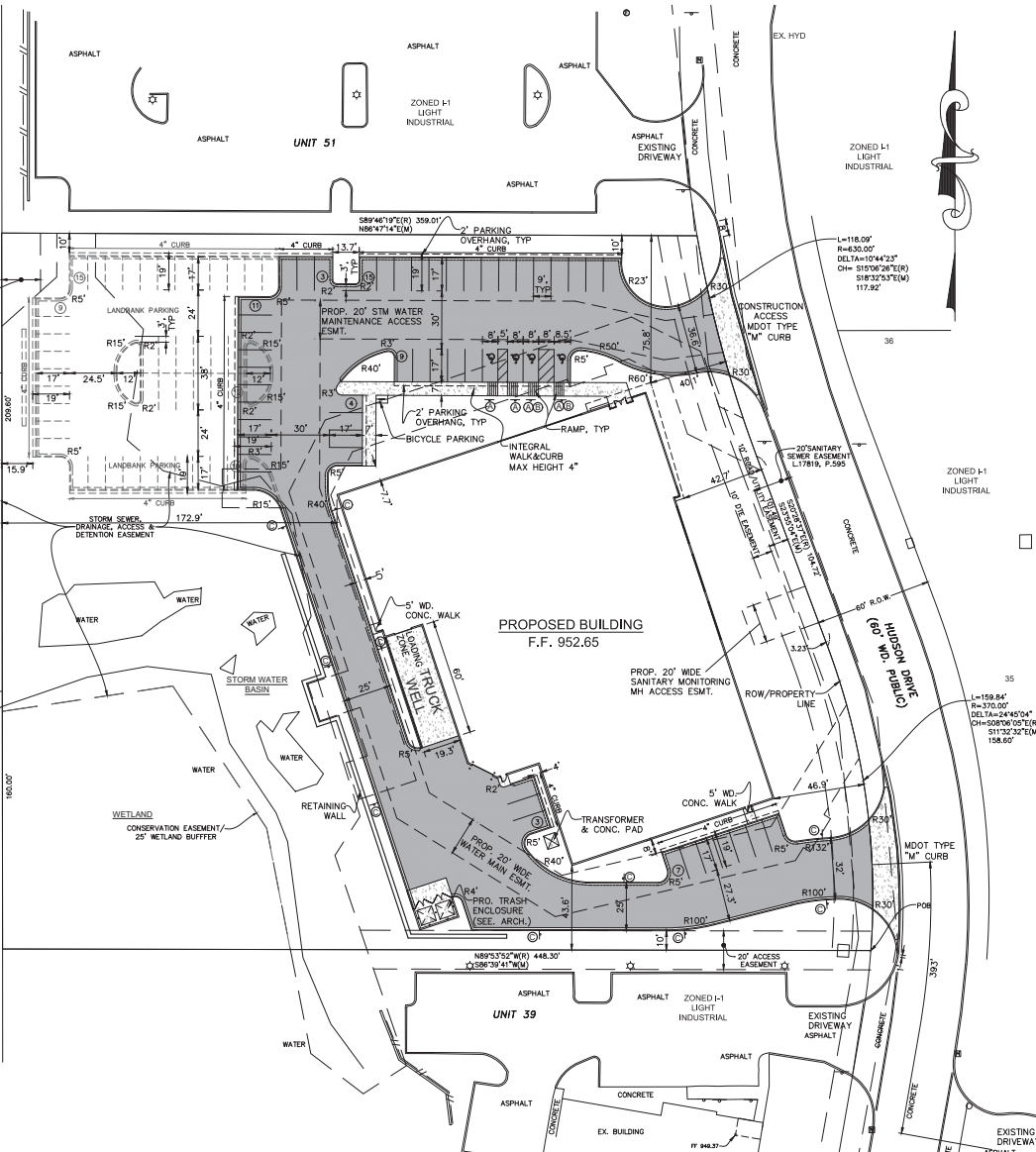
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**TRAFFIC SIGNING AND STRIPING REQUIREMENTS**

1. ALL PERMANENT AND TEMPORARY TRAFFIC SIGNAGE & STRIPING SHALL COMPLY WITH THE 2011 MUTCD.

2. SIGN POSTS ARE REQUIRED TO BE U-CHANNEL FOR ALL SIGNS. SIGN POSTS SHOULD BE TWO LB FOR SIGNS LESS THAN 12"x18". SIGN POSTS SHOULD BE THREE LB FOR SIGNS GREATER THAN 12"x18". FOR POSTS WITH MULTIPLE SIGNS, OR STREET NAME SIGNS.

3. STRIPING FOR HANDICAPPED PARKING SPACES SHALL BE BLUE AND MARKINGS FOR NON-HANDICAPPED PARKING SPACES SHALL BE WHITE. WHERE A HANDICAPPED PARKING SPACE ADJUTS A NON-HANDICAPPED SPACE, THE TWO SPACES SHALL BE SEPARATED BY ABUTTING BLUE AND WHITE STRIPES.

4. AN END PARKING SPACE ABUTTING A CURB OR WALK SHOULD BE 8 FEET WIDE IF DESIGNATED A HANDICAPPED SPACE OR 9 FEET WIDE IF NOT. THESE WIDTHS ARE REFERENCED TO THE FACE OF CURB OR WALK.

5. EACH INTERNATIONAL SYMBOL OF ACCESSIBILITY (WHEELCHAIR) TO BE PAINTED ON THE PAVEMENT SHALL BE WHITE.

6. ALL SIGNS ARE TO BE LOCATED AT LEAST 2 FEET FROM THE EDGE OF A CURB OR PEDESTRIAN TRAVEL WAY.

**TRAFFIC SIGNING REQUIREMENTS**

ITEM	MUTCD CODE	QUANTITY	SIZE	DESCRIPTION
(A)	R7-B	4	12"x18"	RESERVED PARKING ONLY
(B)	R7-BP	2	12"x6"	VAN ACCESSIBLE
(C)	R7-9A MOD	10	12"x18"	NO PARKING FIRE LANE

**SITE DATA:**  
 SITE AREA: 3.49 ACRES  
 PARCEL ID: 22-04-376-011 & 22-04-376-017  
 EXISTING/PROPOSED ZONING: L-1 LIGHT INDUSTRIAL  
 PROPOSED SPECULATIVE BUILDING SHELL:  
 11,017 S.F. OFFICE  
 20,600 S.F. WAREHOUSE  
 31,617 S.F. BUILDINGS TOTAL

REQUIRED BUILDING SETBACKS: 40' FRONT MINIMUM  
 20' EACH SIDE MINIMUM  
 20' REAR MINIMUM

REQUIRED PARKING:  
 OFFICE/WAREHOUSE: 28,455 S.F. (90% GROSS LEASABLE FLOOR AREA)  
 28,455 / 700 S.F. = 41.00 = 41 SPACES REQUIRED  
 52 TOTAL SPACES PROVIDED

84 TOTAL PARKING SPACES PROVIDED WITH LANDBANK PARKING (EXCLUDES 4 B.F. SPACES)

REQUIRED: 5% OF REQUIRED AUTO SPACES = 41 x .05 = 2 BICYCLE PARKING SPACES  
 PROVIDED: 2 BICYCLE PARKING SPACES

- GENERAL SITE NOTES:**
- ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOV STANDARDS AND SPECIFICATIONS.
  - STORM WATER OUTLETS TO BECK NORTH PHASE II DEVELOPMENT DISSIPATION BASINS AND ULTIMATELY INTO EXISTING WETLANDS.
  - ROOF TOP EQUIPMENT MUST BE SCREENED PER ORDINANCE REQUIREMENTS.
  - EXTERIOR LIGHTING MUST COMPLY WITH SECTION 2511 OF THE CITY OF NOV CODE.
  - RIGHT OF WAY PERMIT IS REQUIRED FROM THE CITY OF NOV FOR ANY WORK IN THE HUDSON DRIVE RIGHT-OF-WAY.
  - ALL SIGNS SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES (CHAPTER 28) OF THE CITY OF NOV, AND WHERE REQUIRED SHALL BE RENEWED AND APPROVED BY THE DEPARTMENT OF BUILDING AND SAFETY AND A PERMIT ISSUED. NO SIGNS (OTHER THAN TRAFFIC CONTROL SIGNS) ARE APPROVED AS PART OF THIS SITE PLAN APPROVAL. PRIOR TO ERECTION OF A SIGN, AN APPLICATION AND APPROPRIATE SUBMISSIONS SHALL BE MADE TO THE BUILDING DEPARTMENT FOR REVIEW, APPROVAL AND ISSUANCE OF A SIGN PERMIT.
  - ALL PARKING AND TRAFFIC CONTROL SIGNS SHALL COMPLY WITH THE DESIGN AND PLACEMENT REQUIREMENTS OF THE "2011 MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (2011 MUTCD)".
  - NOTIFY THE CITY OF NOV A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
  - CALL MISS DIG (811) A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
  - ALL SOIL EROSION AND SILT MUST BE CONTROLLED AND CONTAINED ON-SITE.
  - ALL EXCAVATION UNDER OR WITHIN A 10' ON 1' INFLUENCE OF PUBLIC PAVEMENT, EXISTING OR PROPOSED, SHALL BE BACKFILLED AND COMPACTED WITH SAND (CLASS II MDT).
  - THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES.
  - PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT, ENGINEERING SITE INSPECTION IS REQUIRED.
  - IF DETERMINED IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION THE CONTRACTOR IS REQUIRED TO SUBMIT A DEWATERING PLAN TO THE CITY ENGINEERING DIVISION FOR REVIEW.
  - ONLY NECESSARY LIGHTING FOR SECURITY PURPOSES AND LIMITED OPERATIONS SHALL BE USED AFTER THE SITE'S HOURS OF OPERATION.
  - NO FLASHING LIGHTING WILL BE USED ON THE SITE.
  - NO OUTSIDE STORAGE SHALL BE PERMITTED.
  - NO TRUCKS WILL BE CLEANED OR SERVICED OUTSIDE THE BUILDING.
  - AS REQUIRED BY THE CITY OF NOV, SOUND LEVELS OF BUILDING OCCUPANT OPERATIONS, INCLUDING THE OPERATION OF ROOF TOP MECHANICAL EQUIPMENT, SHALL NOT EXCEED 55 DECIBELS DURING NIGHT TIME HOURS AND 60 DECIBELS DURING DAY TIME HOURS. VERIFICATION OF THE PERFORMANCE MAY BE REQUIRED AT THE TIME OF OCCUPANCY.
  - REFUSE PICK-UP SHALL BE LIMITED TO THE HOURS OF 7:00 A.M. TO 5:00 P.M., PREVAILING TIME.
  - WINDOWS AND DOORS OF NON-OFFICE USE AREAS OF STRUCTURES IN AN I-1 DISTRICT MAY NOT BE LEFT OPEN.
  - TENANT SHOULD CHECK WITH THE PLANNING DEPARTMENT PRIOR TO LEASING SPACE TO ENSURE USE IS CONSISTENT WITH SPECIAL LAND USE CRITERIA.
  - UNLESS OTHERWISE PROVIDED, DEALING DIRECTLY WITH CONSUMER AT RETAIL IS PROHIBITED.
  - NO LONG TERM TRUCK PARKING ON SITE.
  - TENANTS SHALL COMPLY WITH THE CITY STORAGE AND/OR USE OF MATERIAL, REQUIREMENTS AND SUBMIT HAZARDOUS MATERIALS CHECKLIST.

**FIRE DEPARTMENT NOTES:**

- WATER MAINS AND FIRE HYDRANTS SHALL BE INSTALLED PRIOR TO CONSTRUCTION ABOVE FOUNDATION.
- THE BUILDING ADDRESS IS TO BE POSTED FACING THE STREET THROUGHOUT CONSTRUCTION. THE ADDRESS IS TO BE AT LEAST 3" HIGH ON A CONTRASTING BACKGROUND.
- FIRE APPARATUS ACCESS DRIVES TO AND FROM BUILDINGS THROUGH PARKING LOTS SHALL HAVE A MINIMUM FIFTY (50) FEET OUTSIDE TURNING RADIUS AND DESIGNED TO SUPPORT A MINIMUM OF THIRTY-FIVE (35) TONS.
- IMMEDIATE ACCESS TO FIRE DEPARTMENT CONNECTIONS SHALL BE MAINTAINED AT ALL TIMES AND WITHOUT OBSTRUCTION BY FENCES, BUSHES, TREES, WALLS OR ANY OTHER OBJECT FOR A MINIMUM OF 3 FEET.
- IN ANY BUILDING OR STRUCTURE REQUIRED TO BE EQUIPPED WITH A FIRE DEPARTMENT CONNECTION, THE CONNECTION SHALL BE LOCATED WITHIN ONE HUNDRED (100) FEET OF A FIRE HYDRANT.



**COMMERCIAL**  
 SITE PLANNING  
 SURVEYING  
 ALTA SURVEYS  
 TOPOGRAPHIC SURVEYS  
 INDUSTRIAL & MULTI-UNIT CONSTRUCTION LAYOUT

**RESIDENTIAL**  
 SUBDIVISIONS  
 MULTI-FAMILY  
 MULTI-UNIT CONSTRUCTION LAYOUT

**ALPINE ENGINEERING, INC.**  
 CIVIL ENGINEERS & LAND SURVEYORS

(248) 904-3701 (HQ)  
 NOV, MICHIGAN 48377  
 WWW.ALPINE-INC.COM

**811**  
 Know what's Below  
 Call before you dig.

**PRELIMINARY SITE PLAN**

PROPOSED UNIT 59 (UNIT 4 & 52) BECK NORTH CORPORATE PARK

SECTION 4  
 TOWNSHIP: 1N  
 RANGE: 8E  
 COUNTY: OAKLAND COUNTY, MICHIGAN

CLIENT: DEMES DEVELOPMENT, INC.

REVISED  
 2020-06-26 PSP APPROVAL

DATE: 2020-06-26

DRAWN BY: TG

CHECKED BY: SD/JTG

SCALE: 1/8" = 1'-0" (1/4" = 1'-0")

14-307

- ▷ EX. END SECTION
- ⊙ EX. OVERFLOW STRUCTURE
- ⊙ EX. CLEANOUT
- ⊙ EX. HYDRANT
- ⊙ EX. WATER SHUTOFF
- ⊙ EX. FIRE DEPT. CONNECTION
- ⊙ EX. WATER WELL
- ⊙ EX. LIGHTPOLE
- ⊙ EX. UTILITY POLE
- ⊙ EX. GUY ANCHOR
- ⊙ EX. TRAFFIC SIGNAL
- ⊙ EX. GAS SHUTOFF
- ⊙ EX. GAS VENT
- ⊙ EX. GAS VENT
- ⊙ EX. HANDHOLE
- ⊙ EX. REDESTAL
- ⊙ EX. TRANSFORMER
- ⊙ EX. GENERATOR
- ⊙ EX. GAS METER
- ⊙ EX. ELECTRIC METER
- ⊙ EX. UTILITY MARKER
- ⊙ EX. AIR CONDITIONER
- ⊙ EX. RAILROAD SIGNAL
- ⊙ EX. SIGN
- ⊙ EX. POST/BOLLARD
- ⊙ EX. FLAGPOLE
- ⊙ EX. MAILBOX
- ⊙ EX. PARKING METER
- ⊙ EX. SOL BURNING
- ⊙ EX. MONITOR WELL
- ⊙ FOUND IRON
- ⊙ SET IRON
- ⊙ EX. BOULDER
- ⊙ EX. TREE STUMP
- ⊙ EX. TREE

- ⊙ EX. TREE TAG & NUMBER
- EX. TREE LINE
- EX. FENCE
- EX. SANITARY SEWER
- EX. STORM SEWER
- EX. WATER MAIN
- EX. ELECTRIC CABLE
- EX. COMMUNICATION
- EX. GAS LINE
- EX. OVERHEAD LINE

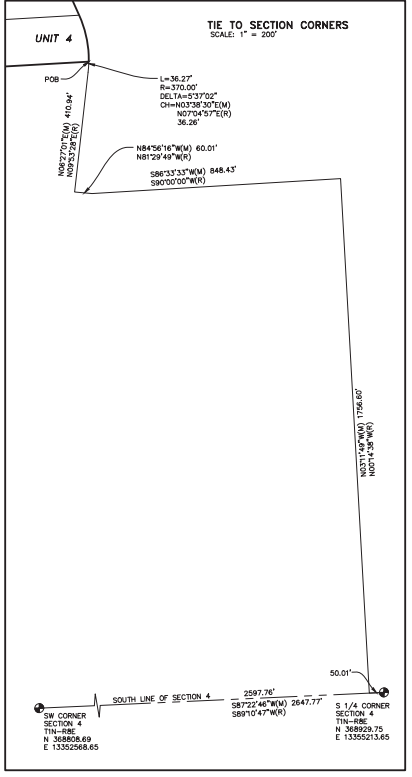


**DESCRIPTION:**  
 PARCEL NO. 22-04-376-011:  
 T1N, R8E, SEC 4 OAKLAND COUNTY CONDOMINIUM PLAN NO 1759 BECK NORTH CORPORATE PARK UNIT 4

PARCEL NO. 22-04-376-017:  
 T1N, R8E, SEC 4 OAKLAND COUNTY CONDOMINIUM PLAN NO 1759 BECK NORTH CORPORATE PARK UNIT 52

OVERALL PARCEL (AS SURVEYED):  
 COMMENCING AT THE SOUTH 1/4 CORNER OF SECTION 4, T1N-R8E, CITY OF NOV, OAKLAND COUNTY, MICHIGAN; THENCE S87°22'46"W 50.01 FEET ALONG THE SOUTH LINE OF SAID SECTION 4; THENCE N03°11'49"W 1756.60 FEET; THENCE S86°33'33"W 848.43 FEET; THENCE N84°56'18"W 60.01 FEET; THENCE N06°27'01"E 410.94 FEET; THENCE 36.27 FEET ALONG A 370.00 FOOT RADIUS CURVE TO THE LEFT, CHORD BEARING N03°38'30"E 36.25 FEET TO THE POINT OF BEGINNING AT THE SOUTHEAST CORNER OF UNIT 4, OAKLAND COUNTY CONDOMINIUM PLAN NO. 1759, BECK NORTH CORPORATE PARK, USER 52785, PAGE 119, OAKLAND COUNTY RECORDS; THENCE S86°39'41"W 448.30 FEET TO THE SOUTHWEST CORNER OF SAID UNIT 4; THENCE N03°50'25"W 389.60 FEET TO THE NORTHWEST CORNER OF UNIT 52 OF SAID BECK NORTH CORPORATE PARK; THENCE N86°71'4"E 359.01 FEET TO THE NORTHEAST CORNER OF SAID UNIT 52; THENCE ALONG THE WEST LINE OF HUDSON DRIVE (60 FEET WIDE) THE FOLLOWING THREE (3) COURSES: 1) 118.99 FEET ALONG A 630.00 FOOT RADIUS CURVE TO THE LEFT, CHORD BEARING S18°25'53"E 117.92 FEET, 2) S22°55'04"E 104.72 FEET, AND 3) 158.84 FEET ALONG A 370.00 FOOT RADIUS CURVE TO THE RIGHT, CHORD BEARING S11°32'32"E 158.60 FEET TO THE POINT OF BEGINNING, CONTAINING 3.49 ACRES OF LAND, MORE OR LESS AND SUBJECT TO RESTRICTIONS AND EASEMENTS OF RECORD, IF ANY.

**BENCHMARKS:**  
 BM#1 - ARROW ON HYDRANT AT THE SOUTHEAST CORNER OF HUDSON DR. AND SOUTH LINE OF UNIT 4, ELEVATION 956.57 NAVD88  
 BM#2 - ARROW ON HYDRANT ±150' WEST OF HUDSON DR., ±60' SOUTH OF SOUTH LINE OF UNIT 4, ELEVATION 951.57 NAVD88  
 CITY OF NOV BM#434 - 7" IN INFLANGE BOLT OF HYDRANT, EAST SIDE OF HUDSON DR., ±150' NORTH OF DRIVE TO ±28985 HUDSON DR., ELEVATION 962.39 NAVD88



**NOTICE:**  
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 SITE CONDOMINIUM  
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CLIENT: **PROPOSED UNIT 59 (UNIT 4 & 52) BECK NORTH CORPORATE PARK**  
 SECTION 4  
 CITY OF NOV  
 OAKLAND COUNTY  
 MICHIGAN

REVISED  
 2020-06-26 PSP APPROVAL

DATE: 2020-06-26  
 DRAWN BY: JG  
 CHECKED BY: TV

FBK:  
 CHF:

SCALE: HORIZONTAL 1" = 30 FT  
 VERTICAL 1" = 5 FT

3

**LEGEND**

- F.F. PROP. FINISH FLOOR ELEVATION
- PROP. CURB & GUTTER (PITCH IN)
- PROP. CURB & GUTTER (PITCH OUT)
- PROP. STORM SEWER
- PROP. SANITARY SEWER
- PROP. WATER MAIN
- PROP. STRUCTURE
- PROP. END SECTION
- PROP. CLEAN-OUT
- PROP. HYDRANT
- PROP. GATE VALVE
- PROP. CURB BOX
- PROP. GUTTER ELEV.
- PROP. TOP OF CURB ELEV.
- PROP. TOP OF WALK ELEV.
- PROP. TOP OF PAVEMENT ELEV.
- PROP. FINISH GRADE AT TOP OF WALL
- PROP. FINISH GRADE AT BOTTOM OF WALL
- PROP. SPOT ELEV.
- PROP. DRAINAGE ARROW
- PROP. ASPHALT
- PROP. CONCRETE



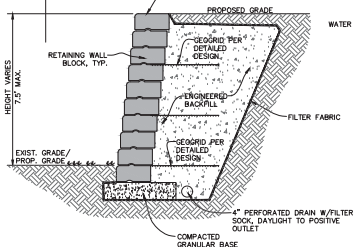
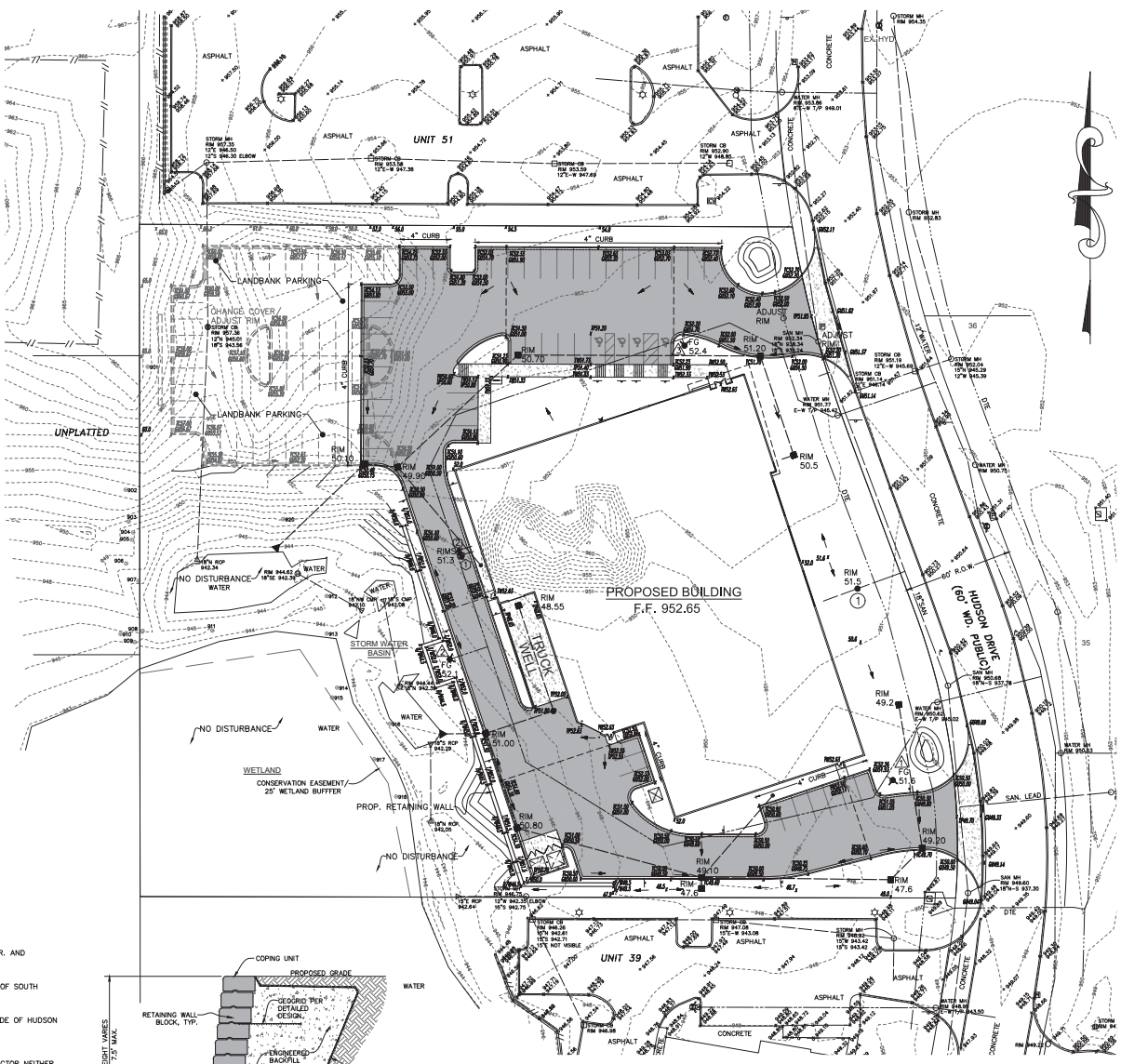
**EXISTING SOILS**  
(USDA WEB SOIL SURVEY)

SOIL TYPE: 188 - FOX SANDY LOAM  
119 - CHONG SANDY LOAM  
10C - MARLETTE SANDY LOAM  
27 - HOUGHTON AND KARNI MUCKS  
8m08 - BOUND LOAM

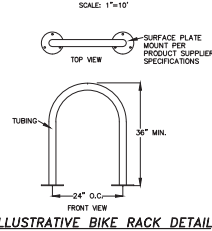
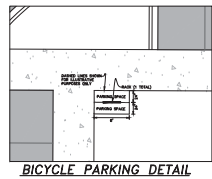
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ELEVATION 956.57 NAVD88  
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CITY OF NOVI BM#434 - "X" IN NINE FLANGE BOLT OF HYDRANT, EAST SIDE OF HUDSON DR.,  $\pm 150'$  NORTH OF DRIVE TO #28995 HUDSON DR.  
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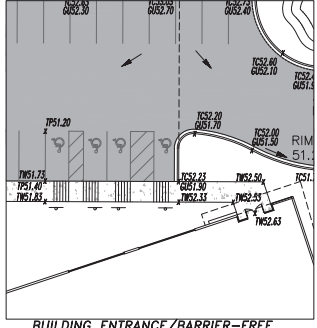
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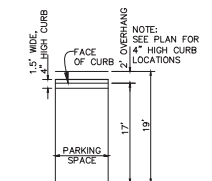
**RETAINING WALL NOTES**  
-ILLUSTRATIVE WALL SECTION IS PRELIMINARY. CONTRACTOR SHALL PROVIDE DETAILED DESIGN, DRAWINGS AND SPECIFICATIONS PRIOR TO CONSTRUCTION.  
-CONTRACTOR SHALL OBTAIN BUILDING PERMIT FOR RETAINING WALL FROM BUILDING DEPARTMENT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL PROVIDE RAILING DETAILS ADJACENT TO RETAINING WALLS AS REQUIRED BY BUILDING DEPARTMENT. RAILING DETAILS SHALL BE SUBMITTED TO BUILDING DEPARTMENT FOR APPROVAL.



**BICYCLE PARKING NOTES:**  
1. ALL BICYCLE PARKING SPACES SHALL BE PAVED AND ADJACENT TO A BICYCLE RACK OF THE INVERTED "U" DESIGN, THAT IS SECURE, CANNOT BE EASILY REMOVED WITH COMMON TOOLS, PROVIDES AT LEAST TWO (2) CONTACT POINTS FOR A BICYCLE, IS AT LEAST THREE (3) FEET IN HEIGHT, AND PERMITS THE LOADING OF A BICYCLE IN AN UPRIGHT POSITION. THE RACK SHALL BE SECURELY ANCHORED IN CONCRETE OR ASPHALT. ALTERNATE INSTALLATIONS AND DESIGNS MAY BE CONSIDERED IF THE PROPOSED RACK DESIGN FUNCTIONS SIMILAR TO THE INVERTED "U" DESIGN.  
2. ALL BICYCLE PARKING FACILITIES SHALL BE ACCESSIBLE FROM ADJACENT STREETS AND PATHWAYS) VIA A PAVED ROUTE THAT HAS A MINIMUM WIDTH OF SIX (6) FEET.  
3. ALL BICYCLE PARKING FACILITIES SHALL BE SEPARATED FROM AUTOMOBILE PARKING SPACES AND ACCESSIBLE BY A RAISED CURB, LANDSCAPE AREA, BENCHWALK, OR OTHER METHOD THAT COMPLES WITH ALL CITY ORDINANCES.



**NOTES:**  
1. ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.  
2. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS, INVERTS AND GRADES PRIOR TO THE START OF ANY WORK.  
3. RIGHT OF WAY PERMIT IS REQUIRED FROM THE CITY OF NOVI FOR ANY WORK IN THE HUDSON DRIVE RIGHT-OF-WAY.



**PARKING STALL DETAIL AT REDUCED DEPTH STALL LOCATIONS**  
NOT TO SCALE

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**GRADING PLAN**

**PROPOSED UNIT 59 (UNIT 4 & 52) BECK NORTH CORPORATE PARK**

SECTION 4

CITY OF NOVI  
TOWNSHIP, IN  
MICHIGAN

CLIENT: REVISED  
2020-06-26 PSP APPROVAL

DATE: 2020-06-26  
DRAWN BY: TG  
CHECKED BY: SD/JTG

SCALE: 1"=30' 1"=30' 1"=30'

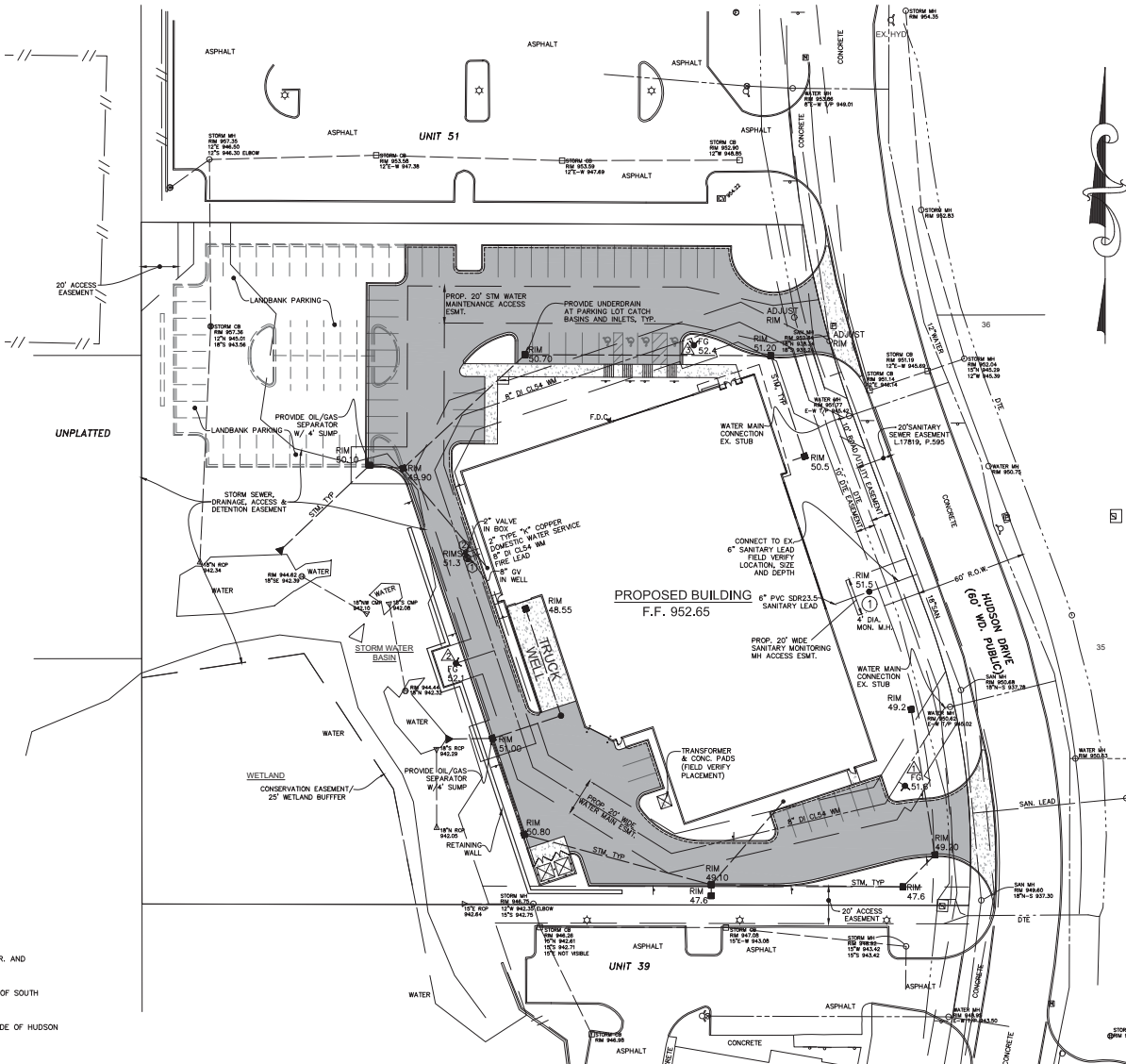
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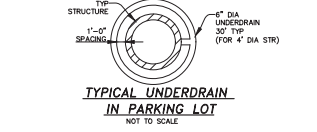
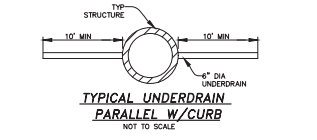
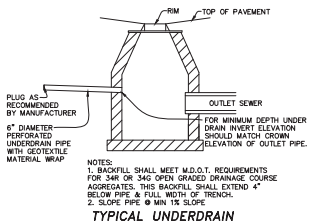
**LEGEND:**

- EX. CATCH BASIN
- EX. STORM MANHOLE
- ▷ EX. END SECTION
- EX. SANITARY MANHOLE
- EX. CLEANOUT
- EX. WATER GATE VALVE
- EX. COMMUNICATIONS MANHOLE
- EX. HYDRANT
- EX. WATER VALVE
- EX. WATER SHUTOFF
- EX. GAS SHUTOFF
- EX. GAS VENT
- EX. ELECTRIC MANHOLE
- EX. PEDESTAL
- EX. TRANSFORMER
- EX. COMMUNICATION MANHOLE
- EX. GENERIC MANHOLE
- EX. SANITARY SEWER
- EX. STORM SEWER
- EX. WATER MAIN
- EX. ELECTRIC CABLE
- EX. COMMUNICATION
- EX. SIGN
- PROP. FINISH FLOOR ELEVATION
- PROP. CURB & GUTTER (RITCH IN)
- PROP. CURB & GUTTER (RITCH OUT)
- PROP. STORM SEWER
- PROP. SANITARY SEWER
- PROP. WATER MAIN
- PROP. STRUCTURE
- PROP. END SECTION
- C.O. PROP. CLEAN-OUT
- PROP. HYDRANT
- PROP. GATE VALVE
- PROP. CURB BOX
- PROP. ASPHALT
- PROP. CONCRETE



**UTILITY NOTES:**

1. ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOV STANDARDS AND SPECIFICATIONS.
2. PROPOSED WATER MAIN SHALL HAVE AT LEAST 6 FEET OF COVER PER CITY OF NOV REQUIREMENTS.
3. COMPACTED SAND BACKFILL SHALL BE PROVIDED FOR ALL UTILITIES WITHIN THE INFLUENCE OF PAVED AREAS.
4. 18" MINIMUM VERTICAL CLEARANCE SHALL BE PROVIDED AT ALL UTILITY CROSSINGS. DIP WATER MAIN PER THE CITY OF NOV STANDARDS AND SPECIFICATIONS, AS NECESSARY.
5. PROPOSED SANITARY LEAD SHALL BE BURIED WITH AT LEAST 5 FEET WHEN UNDER INFLUENCE OF PAVEMENT.
6. 6-INCH SANITARY LEADS SHALL BE A MINIMUM PVC SDR 23.5, AND MAINS SHALL BE PVC SDR 26.
7. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS, INVERTS AND GRADES PRIOR TO THE START OF ANY WORK.



**BENCHMARKS:**

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ELEVATION 956.57 NAVD88

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**UTILITY PLAN**

PROPOSED UNIT 59 (UNIT 4 & 52) BECK NORTH CORPORATE PARK  
SECTION 4

REVISED  
2020-06-26 PSP APPROVAL

DATE: 2020-06-26

DRAWN BY: TG

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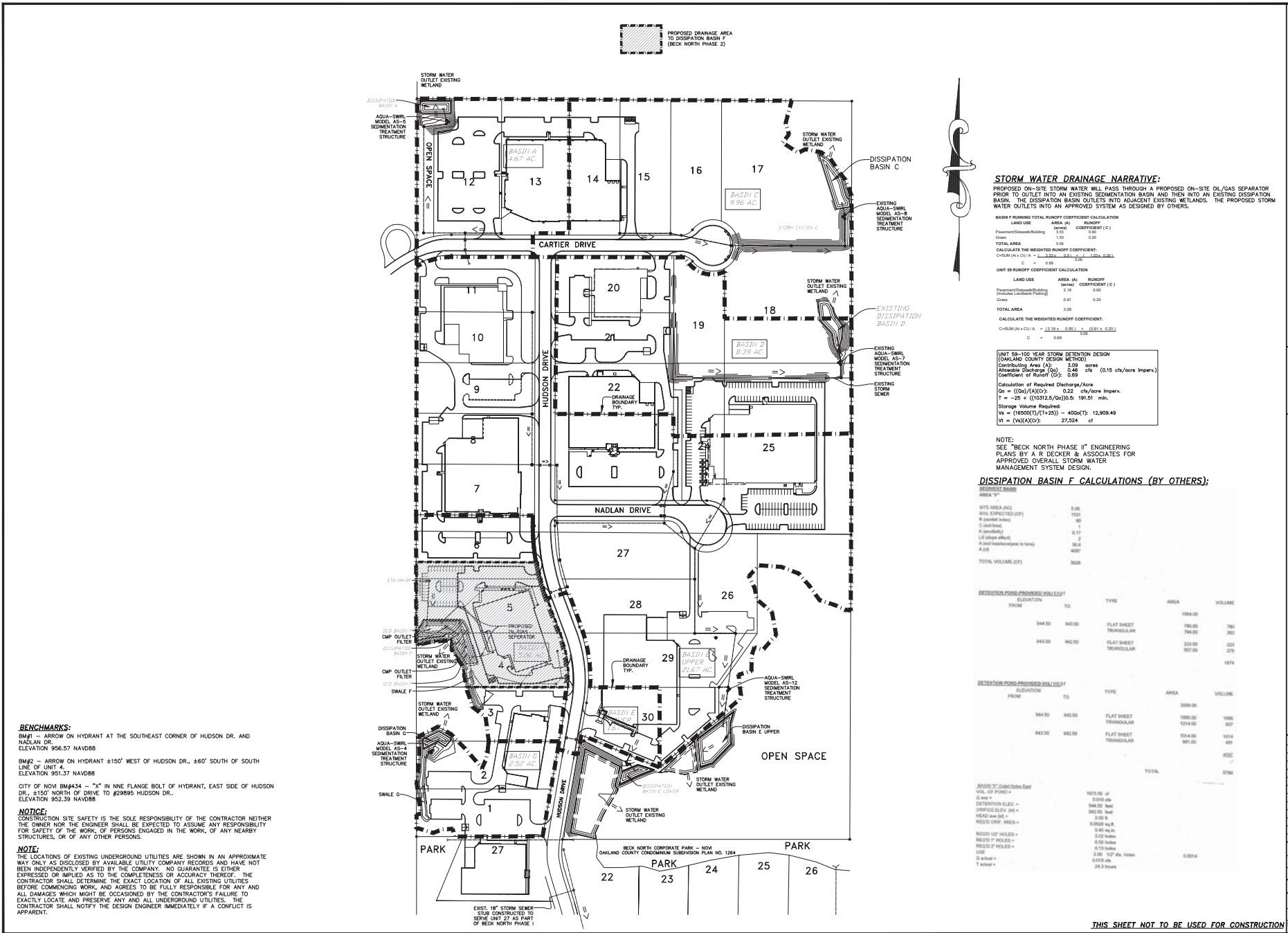
SCALE: HORIZONTAL - 1" = 30' FT.  
VERTICAL - 1" = 10' FT.

**5**

FRK:

CHP:

14-307



**STORM WATER DRAINAGE NARRATIVE:**  
 PROPOSED ON-SITE STORM WATER WILL PASS THROUGH A PROPOSED ON-SITE OIL/GAS SEPARATOR PRIOR TO OUTLET INTO AN EXISTING SEDIMENTATION BASIN AND THEN INTO AN EXISTING DISSIPATION BASIN. THE DISSIPATION BASIN OUTLETS INTO ADJACENT EXISTING WETLANDS. THE PROPOSED STORM WATER OUTLETS INTO AN APPROVED SYSTEM AS DESIGNED BY OTHERS.

**BASIN F RUNNING TOTAL RUNOFF COEFFICIENT CALCULATION**

LAND USE	AREA (A)	RUNOFF COEFFICIENT (C)
Permanently Sealed Building	1.00	0.90
Grass	1.00	0.20
<b>TOTAL AREA</b>	<b>2.00</b>	
CALCULATE THE WEIGHTED RUNOFF COEFFICIENT:		
$C = \frac{\sum(A \times C)}{\sum A} = \frac{1.00 \times 0.90 + 1.00 \times 0.20}{2.00}$		
<b>C = 0.55</b>		

**UNIT B9 RUNOFF COEFFICIENT CALCULATION**

LAND USE	AREA (A)	RUNOFF COEFFICIENT (C)
Permanently Sealed Building	2.10	0.90
Grass (Includes Landscape Parking)	0.91	0.20
<b>TOTAL AREA</b>	<b>3.00</b>	
CALCULATE THE WEIGHTED RUNOFF COEFFICIENT:		
$C = \frac{\sum(A \times C)}{\sum A} = \frac{2.10 \times 0.90 + 0.91 \times 0.20}{3.00}$		
<b>C = 0.69</b>		

**UNIT 59-100 YEAR STORM DETENTION DESIGN (OAKLAND COUNTY DESIGN METHOD)**  
 Contributing Area (A): 2.09 acres  
 Antecedent Discharge (Q<sub>AD</sub>): 0.46 cfs (0.15 cfs/acre Imperv.)  
 Coefficient of Runoff (C<sub>R</sub>): 0.69

Calculation of Required Discharge/Acre  
 $Q_R = (Q_{AD}/A)(C_R) = 0.22 \text{ cfs/acre Imperv.}$   
 $T = -25 + ((10312.5/Q_R)^{0.5}) = 191.51 \text{ min.}$   
 Storage Volume Required  
 $V_S = ((60)(Q_R)(T) - 205) = 400(17) = 12,800 \text{ gal}$   
 $V_L = (V_S)(C_R) = 27,524 \text{ gal}$

**NOTE:**  
 SEE "BECK NORTH PHASE II" ENGINEERING PLANS BY A R DECKER & ASSOCIATES FOR APPROVED OVERALL STORM WATER MANAGEMENT SYSTEM DESIGN.

**DISSIPATION BASIN F CALCULATIONS (BY OTHERS):**

**RETENTION POND PROVIDED VOLUME**

ELEVATION	FROM	TO	TYPE	AREA	VOLUME
844.00	843.00	842.00	FLAT SHEET TRIANGULAR	1094.00	760
843.00	842.50	842.00	FLAT SHEET TRIANGULAR	794.00	362
842.00	841.50	841.00	FLAT SHEET TRIANGULAR	552.00	279
841.00	840.50	840.00	FLAT SHEET TRIANGULAR	352.00	164
<b>TOTAL</b>					

**RETENTION POND PROVIDED VOLUME**

ELEVATION	FROM	TO	TYPE	AREA	VOLUME
844.00	843.00	842.00	FLAT SHEET TRIANGULAR	1094.00	1096
843.00	842.50	842.00	FLAT SHEET TRIANGULAR	794.00	407
842.00	841.50	841.00	FLAT SHEET TRIANGULAR	552.00	279
841.00	840.50	840.00	FLAT SHEET TRIANGULAR	352.00	164
<b>TOTAL</b>					

**MANHOLE COVER DATA**

VAL. OF POINT	TYPE	DEPTH
844.00	2' HOLES	0.00
843.00	2' HOLES	0.00
842.00	2' HOLES	0.00
841.00	2' HOLES	0.00
840.00	2' HOLES	0.00
839.00	2' HOLES	0.00
838.00	2' HOLES	0.00
837.00	2' HOLES	0.00
836.00	2' HOLES	0.00
835.00	2' HOLES	0.00
834.00	2' HOLES	0.00
833.00	2' HOLES	0.00
832.00	2' HOLES	0.00
831.00	2' HOLES	0.00
830.00	2' HOLES	0.00
829.00	2' HOLES	0.00
828.00	2' HOLES	0.00
827.00	2' HOLES	0.00
826.00	2' HOLES	0.00
825.00	2' HOLES	0.00
824.00	2' HOLES	0.00
823.00	2' HOLES	0.00
822.00	2' HOLES	0.00
821.00	2' HOLES	0.00
820.00	2' HOLES	0.00
819.00	2' HOLES	0.00
818.00	2' HOLES	0.00
817.00	2' HOLES	0.00
816.00	2' HOLES	0.00
815.00	2' HOLES	0.00
814.00	2' HOLES	0.00
813.00	2' HOLES	0.00
812.00	2' HOLES	0.00
811.00	2' HOLES	0.00
810.00	2' HOLES	0.00
809.00	2' HOLES	0.00
808.00	2' HOLES	0.00
807.00	2' HOLES	0.00
806.00	2' HOLES	0.00
805.00	2' HOLES	0.00
804.00	2' HOLES	0.00
803.00	2' HOLES	0.00
802.00	2' HOLES	0.00
801.00	2' HOLES	0.00
800.00	2' HOLES	0.00

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**DEMOS DEVELOPMENT, INC.**

**STORM WATER MANAGEMENT PLAN**

PROPOSED UNIT 59 (UNIT 4 & 52) BECK NORTH CORPORATE PARK  
 SECTION: 4  
 TOWNSHIP: 1N  
 RANGE: 8E  
 COUNTY: OAKLAND COUNTY  
 MICHIGAN

CLIENT: \_\_\_\_\_

REVISED \_\_\_\_\_

2020-06-26 PSP APPROVAL \_\_\_\_\_

DATE: 2020-06-26

DRAWN BY: TG

CHECKED BY: SD/JTG

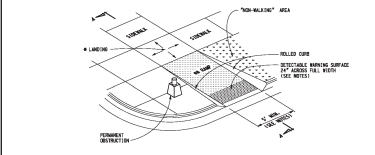
SCALE: HORIZ. 1"=120' VERT. 1"=10'

6

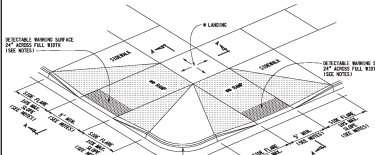
14-307

THIS SHEET NOT TO BE USED FOR CONSTRUCTION

MINIMUM LANDING SLOPE IS 2.0% IN EACH DIRECTION OF TRAVEL - LANDING WIDTH DIMENSION IS 4'-0" MINIMUM  
 MINIMUM RAMP CROSS SLOPE IS 2.0% RUNNING SLOPE IS 1% TO 1.5% MAXIMUM - SEE NOTES



SIDEWALK RAMP TYPE R (ROLLED CURB)



SIDEWALK RAMP TYPE P (FLUSH EDGE - THE RAMP'S DOWN)



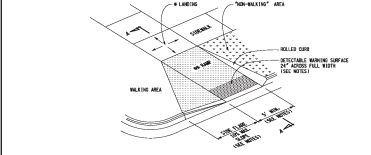
SIDEWALK RAMP TYPE F (FLUSH EDGE - THE RAMP'S DOWN)

MDOT MICHIGAN DEPARTMENT OF TRANSPORTATION  
 DIVISION OF DOCUMENT ENGINEERING PLAN FOR

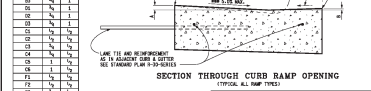
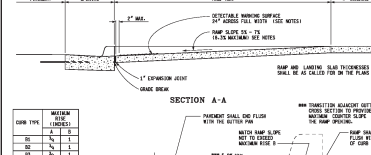
**SIDEWALK RAMP AND DETECTABLE WARNING DETAILS**

DESIGNED BY: TALEK JAVANEH	CHECKED BY: TALEK JAVANEH	DATE: 06/25/20	SHEET NO: R-28-J	TOTAL SHEETS: 4 OF 4
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MINIMUM LANDING SLOPE IS 2.0% IN EACH DIRECTION OF TRAVEL - LANDING WIDTH DIMENSION IS 4'-0" MINIMUM  
 MINIMUM RAMP CROSS SLOPE IS 2.0% RUNNING SLOPE IS 1% TO 1.5% MAXIMUM - SEE NOTES



SIDEWALK RAMP TYPE RF (ROLLED CURB)



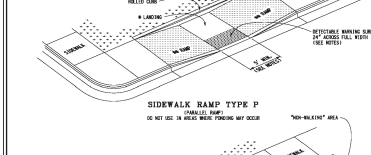
SECTION THROUGH CURB RAMP OPENING (TYPICAL A-A)

MICHIGAN DEPARTMENT OF TRANSPORTATION  
 DIVISION OF DOCUMENT ENGINEERING PLAN FOR

**SIDEWALK RAMP AND DETECTABLE WARNING DETAILS**

DESIGNED BY: TALEK JAVANEH	CHECKED BY: TALEK JAVANEH	DATE: 06/25/20	SHEET NO: R-28-J	TOTAL SHEETS: 4 OF 4
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MINIMUM LANDING SLOPE IS 2.0% IN EACH DIRECTION OF TRAVEL - LANDING WIDTH DIMENSION IS 4'-0" MINIMUM  
 MINIMUM RAMP CROSS SLOPE IS 2.0% RUNNING SLOPE IS 1% TO 1.5% MAXIMUM - SEE NOTES



SIDEWALK RAMP TYPE P (SMALL RAMP)



SIDEWALK RAMP TYPE C (CONTINUATION RAMP)



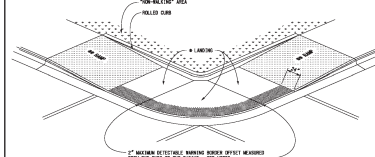
SIDEWALK RAMP TYPE M (MEDIAN RAMP)

MICHIGAN DEPARTMENT OF TRANSPORTATION  
 DIVISION OF DOCUMENT ENGINEERING PLAN FOR

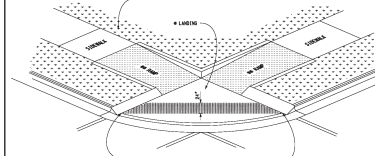
**SIDEWALK RAMP AND DETECTABLE WARNING DETAILS**

DESIGNED BY: TALEK JAVANEH	CHECKED BY: TALEK JAVANEH	DATE: 06/25/20	SHEET NO: R-28-J	TOTAL SHEETS: 4 OF 4
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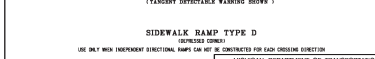
MINIMUM LANDING SLOPE IS 2.0% IN EACH DIRECTION OF TRAVEL - LANDING WIDTH DIMENSION IS 4'-0" MINIMUM  
 MINIMUM RAMP CROSS SLOPE IS 2.0% RUNNING SLOPE IS 1% TO 1.5% MAXIMUM - SEE NOTES



SIDEWALK RAMP TYPE D (TANGENT RAMP)



SIDEWALK RAMP TYPE D (TANGENT RAMP)

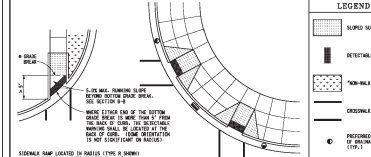


SIDEWALK RAMP TYPE D (TANGENT RAMP)

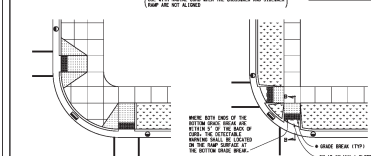
MICHIGAN DEPARTMENT OF TRANSPORTATION  
 DIVISION OF DOCUMENT ENGINEERING PLAN FOR

**SIDEWALK RAMP AND DETECTABLE WARNING DETAILS**

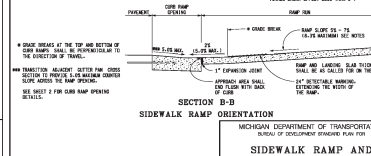
DESIGNED BY: TALEK JAVANEH	CHECKED BY: TALEK JAVANEH	DATE: 06/25/20	SHEET NO: R-28-J	TOTAL SHEETS: 4 OF 4
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SIDEWALK RAMP TYPE D (TANGENT RAMP)



SIDEWALK RAMP TYPE D (TANGENT RAMP)

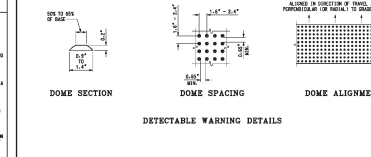


SECTION B-B

MICHIGAN DEPARTMENT OF TRANSPORTATION  
 DIVISION OF DOCUMENT ENGINEERING PLAN FOR

**SIDEWALK RAMP AND DETECTABLE WARNING DETAILS**

DESIGNED BY: TALEK JAVANEH	CHECKED BY: TALEK JAVANEH	DATE: 06/25/20	SHEET NO: R-28-J	TOTAL SHEETS: 4 OF 4
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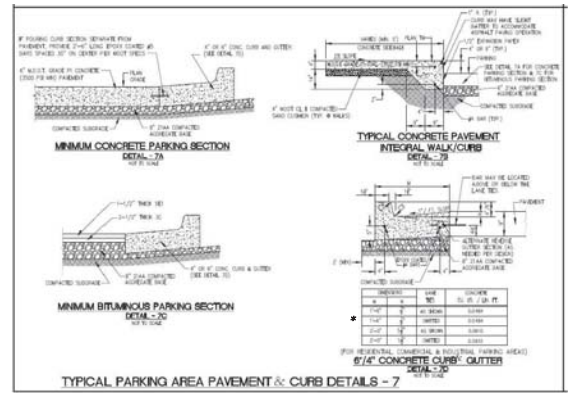
DOMES SECTION, SPACING, AND ALIGNMENT

NOTES:  
 DETAILS SPECIFIED ON THIS PLAN APPLY TO ALL CONSTRUCTION. THE DETECTABLE WARNING SHALL BE INSTALLED TO THE SURFACE OF THE CURB OR THE DETECTABLE WARNING SHALL BE INSTALLED TO THE SURFACE OF THE RAMP.  
 THE DETECTABLE WARNING SHALL BE INSTALLED TO THE SURFACE OF THE RAMP OR THE SURFACE OF THE CURB.  
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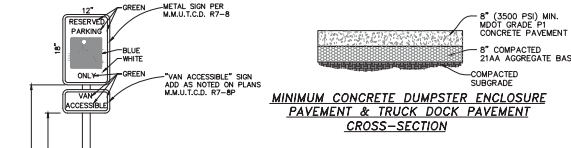
MICHIGAN DEPARTMENT OF TRANSPORTATION  
 DIVISION OF DOCUMENT ENGINEERING PLAN FOR

**SIDEWALK RAMP AND DETECTABLE WARNING DETAILS**

DESIGNED BY: TALEK JAVANEH	CHECKED BY: TALEK JAVANEH	DATE: 06/25/20	SHEET NO: R-28-J	TOTAL SHEETS: 4 OF 4
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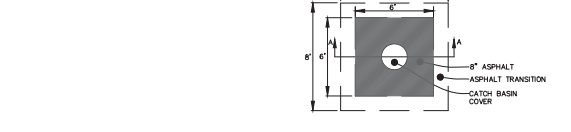
TYPICAL PARKING AREA PAVEMENT & CURB DETAILS - 7



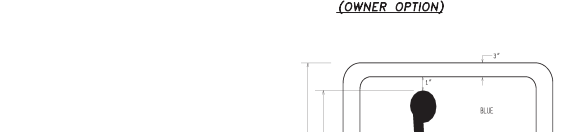
TYPICAL ON-SITE SIDEWALK CROSS-SECTION



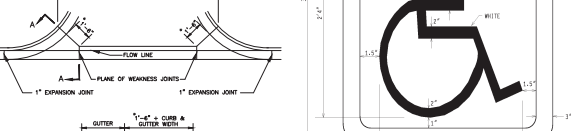
HANDICAP SIGN



ASPHALT APRON FOR CATCH BASIN IN PARKING LOT (OWNER OPTION)



ACCESSIBLE PAVEMENT MARKING SYMBOL



M.D.O.T. TYPE M DRIVEWAY OPENING

**COMMERCIAL**  
 SITE PLANNING  
 SURVEYING  
 ALTA SURVEYS  
 BOUNDARY SURVEYS  
 TOPOGRAPHIC SURVEYS  
 INDUSTRIAL & MULTI-UNIT  
 CONSTRUCTION LAYOUT  
 CONSTRUCTION LAYOUT  
 (248) 906-3707 (HQ)  
 (248) 906-3701 (MO)  
 NOV, MICHIGAN 48377  
 WWW.ALPIINE-INC.COM

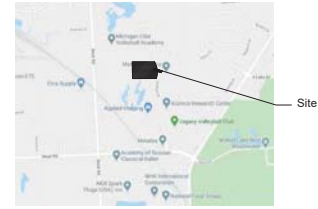
**RESIDENTIAL**  
 SUBDIVISIONS  
 ALTA SURVEYS  
 BOUNDARY SURVEYS  
 TOPOGRAPHIC SURVEYS  
 MULTI-FAMILY  
 CONSTRUCTION LAYOUT  
 CONSTRUCTION LAYOUT  
 CIVIL ENGINEERS & LAND SURVEYORS  
 48892 WEST ROAD  
 NOV, MICHIGAN 48377

**811**  
 Know what's Below  
 Call before you dig.

CUSTOMER: DEMES DEVELOPMENT, INC.  
 PROJECT: DETAIL SHEET  
 UNIT: 59 (UNIT 4 & 52) BECK NORTH CORPORATE PARK  
 TOWNSHIP: IN RANGE BE  
 CITY OF: ANTON OAKHURST  
 COUNTY: OAKLAND  
 STATE: MICHIGAN

REVISED: 2020-06-26  
 DATE: 2020-06-26  
 DRAWN BY: TG  
 CHECKED BY: SD/TG  
 SCALE: 1/8" = 1'-0"

**Location Map**



NOT TO SCALE

Seal:



Title:  
**Landscape Plan**

Project:  
**Beck North Unit 59  
Novi, Michigan**

Prepared for:  
Dems Development, Inc.  
27750 Stansbury, Suite 200  
Farmington Hills, MI 48334  
248.926.3701

Revision: Issued:  
Submission June 26, 2020

Job Number:  
20-026

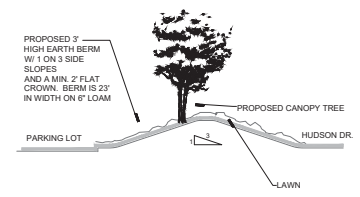
Drawn By: Checked By:  
jca jca



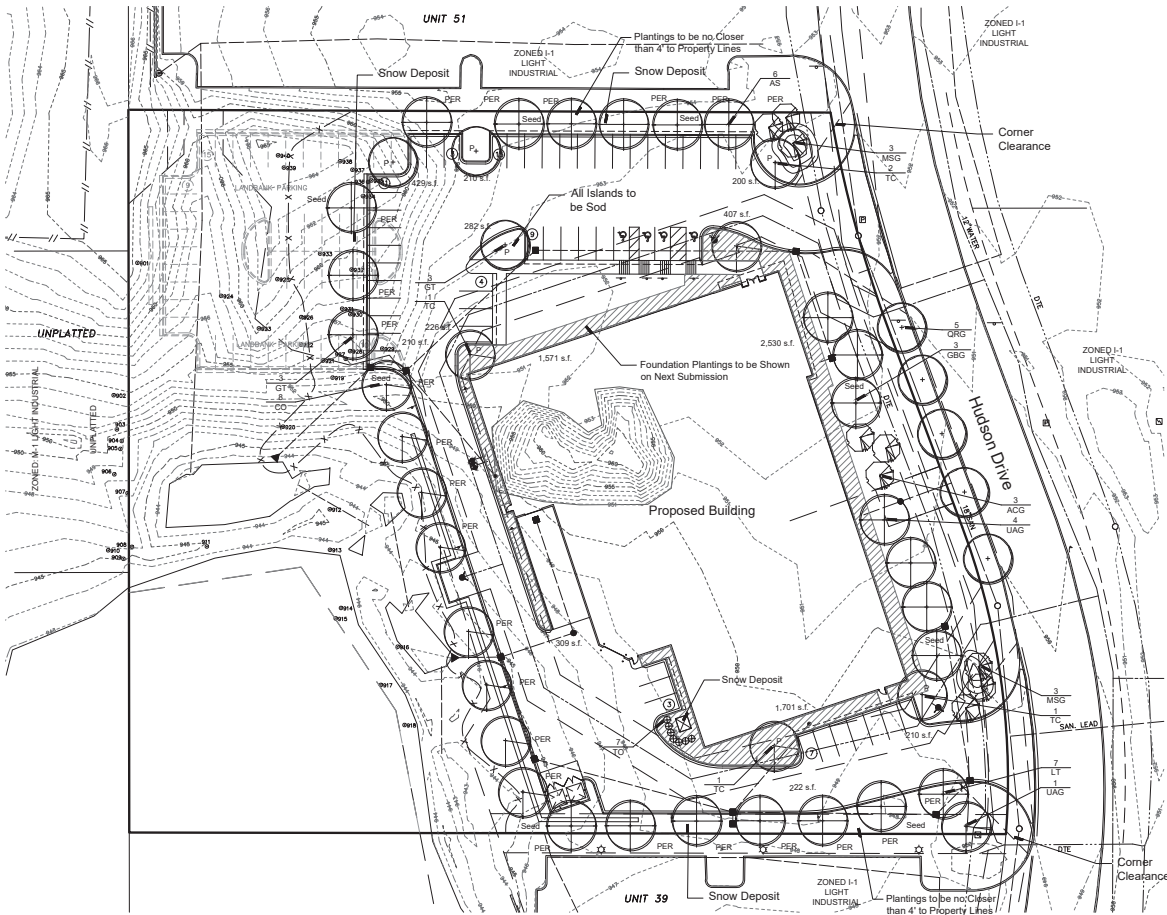
Sheet No.

L-1

**Berm Detail**



HORIZONTAL SCALE: 1"=10'



**Landscape Summary**

Existing Zoning	I-1	Street Lawn	
Parking Lot Landscaping		Street Frontage	235 Lf. (378' - 143' drive openings)
Vehicular Use Area	32,742 s.f.	Trees Required	5.2 Trees (235 Lf. / 45')
Landscape Area Required	1,637 s.f.	Trees Shown	5 Trees
32,742 s.f. x 5% = 1,637 s.f.		Woodland Replacement	
Landscape Area Shown	2,396 s.f.	Required Replacement	24 Trees
Canopy Trees Required	8.2 Trees (1,637 / 200)	Replacement Provided	0 Trees
Canopy Trees Shown	8 Trees	Trees Paid into Tree Fund	24 Trees
Parking Lot Perimeter		Notes:	
Perimeter	833 Lf.	1. Soils Information is Found on the Preliminary Storm Water Management Plan.	
Trees Required	24 Trees (833 Lf. / 35')	2. Trees Shall be Planted no Closer than 10' Utility Structure Including Hydrants.	
Trees Shown	24 Trees	3. Trees Shall not be Planted within 4' of Property Lines.	
Building Foundation Landscaping		4. Utility Boxes Shall be Screen per Detail on Sheet L-2.	
Perimeter of Building	754 Lf. (763 less 9' of Doors)	5. No Phragmites is Present on this Site.	
Landscape Area Required	6,032 s.f. (754 Lf. x 8')	6. No Overhead Power Lines are Present.	
Landscape Area Shown	6,111 s.f.		
Greenbelt Plantings			
Street Frontage	305 Lf. (378' - 73' drive openings)		
Trees Required	7.6 Trees (305 Lf. / 40')		
Trees Shown	8 Trees		
Sub-Canopy Trees Required	8.7 Trees (305 Lf. / 35')		
Sub-Canopy Trees Shown	9 Trees		

**Plant List**

Qty	Sp. #	Botanical Name	Common Name	Caliper	Spacing	Root Height	Price	Total	Species	Genus	Native	Total	
AS	6	Acer saccharum Green Mountain	Sugar Maple	3.0"	as shown	88.0	\$ 400.00	\$ 2,400.00	11%	11%	F	1	
CO	8	Celastrus occidentalis	Northern Hackberry	3.0"	as shown	88.0	\$ 400.00	\$ 3,200.00	19%	19%	F	1	
CF	6	Quercus bicolor var. prinus	Thornless Honeylocust	3.0"	as shown	88.0	\$ 400.00	\$ 2,400.00	11%	11%	F	1	
LT	7	Liquidambar styraciflua	Tulip Tree	3.0"	as shown	88.0	\$ 400.00	\$ 2,800.00	13%	13%	F	1	
TC	6	Tilia cordata 'Doreenpark'	Orangeburg Linden	3.0"	as shown	88.0	\$ 400.00	\$ 2,400.00	9%	9%	F	1	
<b>Street Lawn and Overhead</b>													
ACO	3	Ametantheres laevis	Shadbush	2.5"	as shown	88.0	\$ 250.00	\$ 750.00	6%	6%	F	1	
GRG	3	Georgina 'Goldspire'	Chickadee Geirg	3.0"	as shown	88.0	\$ 400.00	\$ 1,200.00	6%	6%	F	1	
MSG	6	Malva Spring Snow	Spring Snow Crab.	2.5"	as shown	88.0	\$ 400.00	\$ 2,400.00	11%	11%	F	1	
GRG	6	Quercus rubra	Red Oak	3.0"	as shown	88.0	\$ 400.00	\$ 2,400.00	9%	9%	F	1	
UAG	6	Ulmus 'Princeton'	Princeton Elm	3.0"	as shown	88.0	\$ 400.00	\$ 2,400.00	9%	9%	F	1	
54	Total Parking Lot, Perimeter, Street Lawn and Overhead												
<b>General Plantings</b>													
TD	7	Thuja occidentalis 'Tectry'	Tectry Arborvitae	as shown	88.0	5'	\$ 70.00	\$ 490.00			F	1	
											Total	7	11
											% Native	64%	
											irrigation	505	\$ 18,000.00
											2.000' Street w/ 4' Land	\$3.00	\$ 600.00
											212' Street w/ 4' Land	\$6.00	\$ 792.00
											Total		\$ 48,892.00



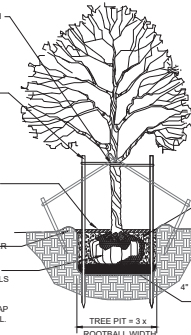
NOTE:  
GUY DECIDUOUS TREES ABOVE 3' CAL. STAKE DECIDUOUS TREES BELOW 3' CAL.

STAKE TREES AT FIRST BRANCH USING 2"-3" WIDE BELT-LIKE NYLON OR PLASTIC STRAPS. ALLOW FOR SOME MINIMAL FLEXING OF THE TREE. REMOVE AFTER ONE YEAR.

2" X 2" HARDWOOD STAKES. MIN. 36" ABOVE GROUND FOR UPRIGHT, 18" IF ANGLED. DRIVE STAKES A MIN. 18" INTO UNDISTURBED GROUND OUTSIDE ROOTBALL. REMOVE AFTER ONE YEAR.

MULCH 4" DEPTH WITH SHREDDED HARDWOOD BARK. NATURAL IN COLOR. LEAVE 3" CIRCLE OF BARE SOIL AT BASE OF TREE TRUNK.

MOUND EARTH TO FORM SAUCER. REMOVE ALL NON-BIODEGRADABLE MATERIALS COMPLETELY FROM THE ROOTBALL. CUT DOWN WIRE BASKET AND FOLD DOWN BURLAP FROM TOP 1/2 OF THE ROOTBALL.



NOTE:  
TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 6" ABOVE GRADE. IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.

DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES. REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE GIRDLING.

PLANTING MIXTURE: AMEND SOILS PER SITE CONDITIONS AND REQUIREMENTS OF THE PLANT MATERIAL. REMOVE DIRT FROM ROOT FLARE.

SCARIFY SUBGRADE AND PLANTING PIT SIDES. RECOMPACT BASE OF 10" X 4" DEPTH.

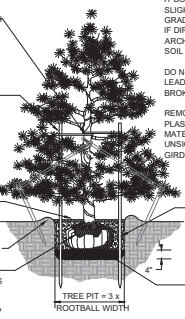
NOTE:  
GUY EVERGREEN TREES ABOVE 12' HEIGHT. STAKE EVERGREEN TREE BELOW 12' HEIGHT.

STAKE TREES AT FIRST BRANCH USING 2"-3" WIDE BELT-LIKE NYLON OR PLASTIC STRAPS. ALLOW FOR SOME MINIMAL FLEXING OF THE TREE. REMOVE AFTER ONE YEAR.

2" X 2" HARDWOOD STAKES. MIN. 36" ABOVE GROUND FOR UPRIGHT, 18" IF ANGLED. DRIVE STAKES A MIN. 18" INTO UNDISTURBED GROUND OUTSIDE ROOTBALL. REMOVE AFTER ONE YEAR.

MULCH 4" DEPTH WITH SHREDDED HARDWOOD BARK. NATURAL IN COLOR. LEAVE 3" CIRCLE OF BARE SOIL AT BASE OF TREE TRUNK. MOUND EARTH TO FORM SAUCER.

REMOVE ALL NON-BIODEGRADABLE MATERIALS COMPLETELY FROM THE ROOTBALL. CUT DOWN WIRE BASKET AND FOLD DOWN BURLAP FROM TOP 1/2 OF THE ROOTBALL.



NOTE:  
TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 6" ABOVE GRADE. IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.

DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.

REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE GIRDLING.

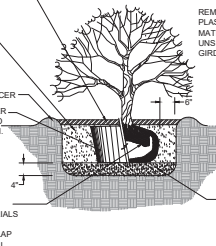
PLANTING MIXTURE: AMEND SOILS PER SITE CONDITIONS AND REQUIREMENTS OF THE PLANT MATERIAL. REMOVE DIRT FROM ROOT FLARE.

SCARIFY SUBGRADE AND PLANTING PIT SIDES. RECOMPACT BASE OF 10" X 4" DEPTH.

MULCH 3" DEPTH WITH SHREDDED HARDWOOD BARK. NATURAL IN COLOR.

PLANTING MIXTURE: AMEND SOILS PER SITE CONDITIONS AND REQUIREMENTS OF THE PLANT MATERIAL. REMOVE ALL NONORGANIC CONTAINERS COMPLETELY.

REMOVE ALL NON-BIODEGRADABLE MATERIALS COMPLETELY FROM THE ROOTBALL. FOLD DOWN BURLAP FROM TOP 1/2 OF THE ROOTBALL.



NOTE:  
TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 4" ABOVE GRADE. IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.

PRUNE ONLY DEAD OR BROKEN BRANCHES.

REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE GIRDLING.

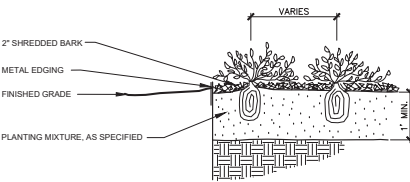
SCARIFY SUBGRADE AND PLANTING PIT SIDES. RECOMPACT BASE OF 10" X 4" DEPTH.

### DECIDUOUS TREE PLANTING DETAIL

### EVERGREEN TREE PLANTING DETAIL

### SHRUB PLANTING DETAIL

NOT TO SCALE

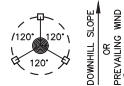


### PERENNIAL PLANTING DETAIL

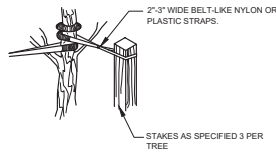
Not to scale

NOTE:  
ORIENT STAKING/GUYING TO PREVAILING WINDS, EXCEPT ON SLOPES GREATER THAN 3:1. ORIENT TO SLOPE. USE SAME STAKING/GUYING ORIENTATION FOR ALL PLANTS WITHIN EACH GROUPING OR AREA.

#### STAKING/GUYING LOCATION



2"-3" WIDE BELT-LIKE NYLON OR PLASTIC STRAPS.

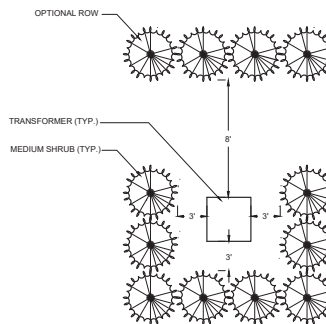


#### STAKING DETAIL

#### GUYING DETAIL

### TREE STAKING DETAIL

Not to scale



### TRANSFORMER SCREENING DETAIL

Not to scale

### LANDSCAPE NOTES

- All plants shall be north Midwest American region grown, No. 1 grade plant materials, and shall be true to name, free from physical damage and wind burn.
- Plants shall be full, well-branched, and in healthy vigorous growing condition.
- Plants shall be watered before and after planting is complete.
- All trees must be staked, fertilized and mulched and shall be guaranteed to exhibit a normal growth cycle for at least two (2) full years following City approval.
- All material shall conform to the guidelines established in the most recent edition of the American Standard for Nursery Stock.
- Provide green backfill soil, using material stockpiled on site. Soil shall be screened and free of any debris, foreign material, and stone.
- \*Agriform\* tabs or similar slow-release fertilizer shall be added to the planting pits before being backfilled.
- Amended planting mix shall consist of 1/3 screened topsoil, 1/3 sand and 1/3 compost, mixed well and spread to the depth as indicated in planting details.
- All plantings shall be mulched per planting details located on this sheet.
- The Landscape Contractor shall be responsible for all work shown on the landscape drawings and specifications.
- No substitutions or changes of location, or plant types shall be made without the approval of the Landscape Architect.
- The City of Novi's Landscape Architect shall be notified in writing of any discrepancies between the plans and field conditions prior to installation.
- The Landscape Contractor shall be responsible for maintaining all plant material in a vertical condition throughout the guaranteed period.
- The Landscape Architect shall have the right, at any stage of the installation, to reject any work or material that does not meet the requirements of the plans and specifications, if requested by owner.
- Contractor shall be responsible for checking plant quantities to ensure quantities on drawings and plant list are the same. In the event of a discrepancy, the quantities on the plans shall prevail.
- The Landscape Contractor shall seed and mulch or sod (as indicated on plans) all areas disturbed during construction, throughout the contract limits.
- A pre-emergent weed control agent, "Preem" or equal, shall be applied uniformly on top of all mulching in all planting beds.
- All landscape areas shall be provided with an underground automatic sprinkler system.
- Sod shall be two year old "Baron/Cherideleph" Kentucky Blue Grass grown in a sod nursery on loam soil.

### CITY OF NOVI NOTES

- All landscape islands shall be backfilled with a sand mixture to facilitate drainage.
- All proposed landscape islands shall be curbed.
- All landscape areas shall be irrigated.
- Overhead utility lines and poles to be relocated as directed by utility company of record.
- Evergreen and canopy trees shall be planted a minimum of 10' from a fire hydrant, and manhole, 15' from overhead wires.
- All plant material shall be guaranteed for two (2) years after City Approval and shall be installed and maintained according to City of Novi standards. Replace Failing Material within 3 Months of Discovering the Need for Replacement. One cultivation per month shall occur in July-August.
- All proposed street trees shall be planted a minimum of 4' from both the back of curb and proposed walks.
- All tree and shrub planting beds shall be mulched with shredded hardwood bark, spread to minimum depth of 4". All lawn area trees shall have a 4" diameter circle of shredded hardwood mulch 3" away from trunk. All perennial, annual and ground cover beds shall receive 2" of bark covered bark mulch as indicated on the plant list. Mulch is to be free from debris and foreign material, and shall contain no pieces of inconsistent size.
- All Substitutions or Deviations from the Landscape Plan Must be Approved in Writing by the City of Novi Prior to their Installation.

#### NOTES:

THE APPROXIMATE DATE OF INSTALLATION FOR THE PROPOSED LANDSCAPE WILL BE FALL OR SPRING OF 2020 or 2021.

THE SITE WILL BE MAINTAINED BY THE DEVELOPER IN ACCORDANCE WITH THE STANDARDS SET FORTH IN THE CITY OF NOVI ZONING ORDINANCE. THIS INCLUDES WEEDING AND WATERING AS REQUIRED BY NORMAL MAINTENANCE PRACTICES.

DEVELOPER SHALL BE RESPONSIBLE FOR REPLACING ANY TREES WITH UTILITY EASMENTS THAT ARE DAMAGED THROUGH NORMAL MAINTENANCE OR REPAIRS.

PLANT MATERIALS SHALL BE GUARANTEED FOR 2 YEARS AND SHALL BE MAINTAINED IN ACCORDANCE WITH CITY ORDINANCES. WARRANTY PERIOD BEGINS AT THE TIME OF CITY APPROVAL. WATERING AS NECESSARY SHALL OCCUR DURING THIS WARRANTY PERIOD.



Seal: \_\_\_\_\_



Title: \_\_\_\_\_  
Landscape Details

Project: \_\_\_\_\_

Beck North Unit 59  
Novi, Michigan

Prepared for: \_\_\_\_\_

Dems Development, Inc.  
27750 Stansbury, Suite 200  
Farmington Hills, Michigan 48334  
248.926.3701

Revision: \_\_\_\_\_ Issued: \_\_\_\_\_  
Submission: \_\_\_\_\_ June 26, 2020

Job Number: \_\_\_\_\_

20-025

Drawn By: \_\_\_\_\_ Checked By: \_\_\_\_\_

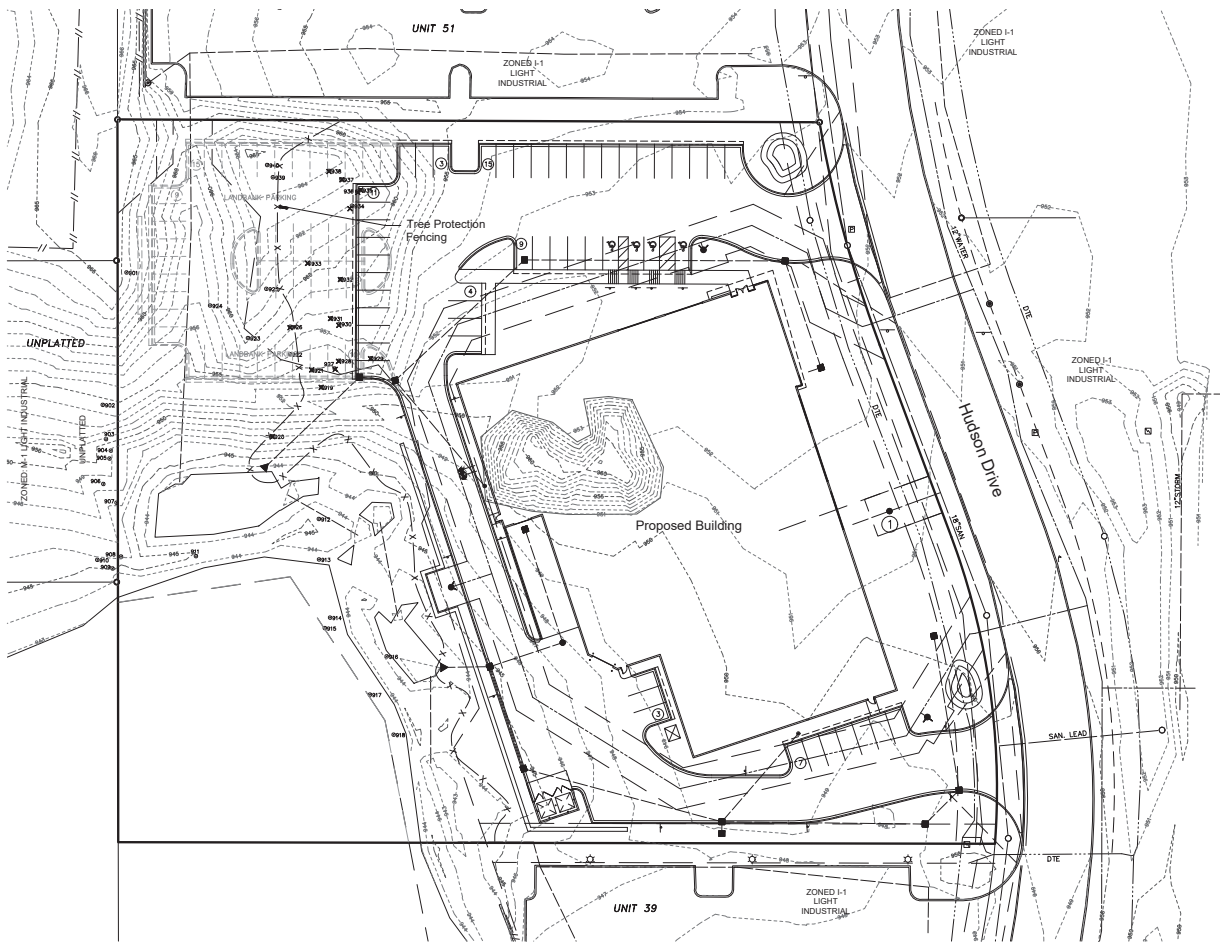
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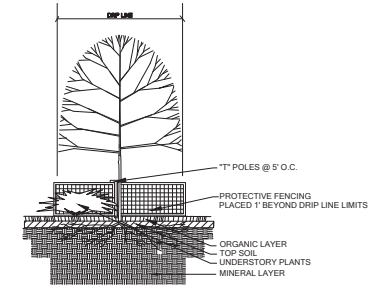


L-2



**Tree List**

TAG NO.	DIAMETER	COMMON NAME	BOTANICAL NAME	CONDITION	STATUS	Required Replacement
901	24	Shagbark Hickory	Carya ovata	Good	Save	
902	7	Shagbark Hickory	Carya ovata	Fair	Save	
903	7	Shagbark Hickory	Carya ovata	Good	Save	
904	11	Shagbark Hickory	Carya ovata	Good	Save	
905	7	Shagbark Hickory	Carya ovata	Fair	Save	
906	13	Shagbark Hickory	Carya ovata	Good	Save	
907	24	Northern Red Oak	Quercus rubra	Fair	Save	
908	15	Northern Red Oak	Quercus rubra	Fair	Save	
909	14	Hawley Maple	Acer pilatanoides	Good	Save	
910	8	Black Cherry	Prunus serotina	Good	Save	
911	30	Silver Maple	Acer saccharinum	Good	Save	
912	9	Quaking Aspen	Populus tremuloides	Good	Save	
913	7	Northern Red Oak	Quercus rubra	Good	Save	
914	4.6, 7.8, 9	Silver Maple	Acer saccharinum	Fair	Save	
915	9	Silver Maple	Acer saccharinum	Fair	Save	
916	4.6	American Elm	Ulmus americana	Fair	Save	
917	14	Silver Maple	Acer saccharinum	Good	Save	
918	9, 14	Silver Maple	Acer saccharinum	Good	Save	
919	9	American Elm	Ulmus americana	Fair	Remove	1
920	4.6	American Elm	Ulmus americana	Good	Exempt	0
921	16	Northern Red Oak	Quercus rubra	Good	Remove	2
922	9	Northern Red Oak	Quercus rubra	Good	Save	2
923	22	Silver Maple	Acer saccharinum	Poor	Save	
924	3.5, 6.6	American Elm	Ulmus americana	Good	Save	
925	13	Black Walnut	Juglans nigra	Good	Save	
926	7	Northern Red Oak	Quercus rubra	Fair	Exempt	0
927	8	Black Cherry	Prunus serotina	Poor	Remove	1
928	8	American Elm	Ulmus americana	Fair	Remove	1
929	9	American Elm	Ulmus americana	Fair	Remove	1
930	8	Shagbark Hickory	Carya ovata	Good	Remove	1
931	14	Northern Red Oak	Quercus rubra	Good	Remove	1
932	16, 17	Northern Red Oak	Quercus rubra	Good	Remove	4
933	13	Northern Red Oak	Quercus rubra	Fair	Remove	2
934	17	Northern Red Oak	Quercus rubra	Poor	Remove	2
935	8	Shagbark Hickory	Carya ovata	Fair	Remove	1
936	10	Shagbark Hickory	Carya ovata	Fair	Remove	1
937	21	Shagbark Hickory	Carya ovata	Fair	Remove	3
938	22	Shagbark Hickory	Carya ovata	Good	Remove	3
939	8	Northern Red Oak	Quercus rubra	Good	Save	
940	8	Northern Red Oak	Quercus rubra	Good	Save	



1. Either Plastic or Wood Chipper Shave Fencing Shall be Installed at or Beyond the Drip Line, Unless Otherwise Specified by the Engineer.
2. Shovel Shave Must Be Made "T" Poles Spaced no Further than 5' on Center.
3. General Excavation to be Reported to the City Within 24 Hours of the Date of These Trees to be Saved.
4. Fencing Shall be Erected Prior to Construction. The City Shall be Notified Once the Fencing is Installed for Inspection.
5. Under all Circumstances Shall the Protective Fencing be Removed Without Written Approval from the City.
6. No Excavation or Construction Shall be Permitted Within the Protected Area.
7. No Storage Materials or Construction Equipment Shall be Permitted Within the Protected Area.
8. No Removal of Vegetation from the Ground Up Without Permission from the Proper Planning Authority, including the Forestry Service Staff.
9. Any Proposed Excavation to be Done Within the Protected Area. Underwritten by the City of Farmington Hills, Michigan.
10. All Excavation or Removal of Vegetation Within the Protected Area, the Excavation Shall be Done Within 24 Hours of the Date of the Excavation.
11. Regulated (Protected or Regulated) Trees Adjacent to the Property are Also Required to be Protected (Whether or not they are shown on the Plan).

**TREE PROTECTION DETAIL**  
NO SCALE

**Woodland Summary**

Total Trees	40 Trees
Less Non - Regulated Trees:	
Non-Regulated Trees	8 Trees
Net Regulated Trees	32 Regulated Trees
Regulated Trees Removed	14 Trees
Replacement Required	
Trees 8" - 11"	8 Trees
Trees 11" - 20"	3 trees x 2= 6 Trees
Trees 20" - 30"	2 trees x 3= 6 Trees
Trees 30"+	0 trees x 4= 0 Trees
Multi-Stemmed Trees (1 Tree)	4 Trees
Replacement Required	24 Trees

- Key**  
 ✕ Removed Tree
- Remarks Key:**
- |        |  |
|--------|--|
| Save   | Regulated tree be saved                |
| Remove | Regulated Tree to be Removed           |
| Exempt | Tree Less than 8" and will be removed. |



Seal:



Title:  
**Woodland Plan**

Project:  
**Beck North Unit 59  
Novi, Michigan**

Prepared for:  
Dems Development, Inc.  
27750 Stansbury, Suite 200  
Farmington Hills, MI 48334  
248.926.3701

Revision: Issued:  
Submission: June 26, 2020

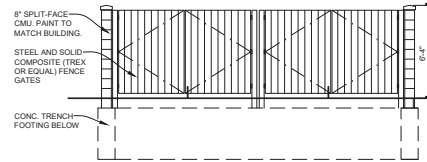
Job Number:  
20-026

Drawn By: Checked By:  
jca jca



Sheet No.

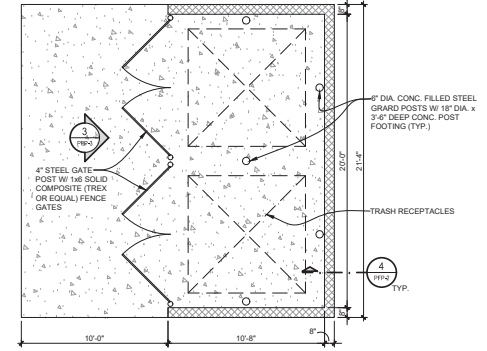




**DUMPSTER ENCLOSURE ELEVATION**

SCALE: 1/4" = 1'-0"

3

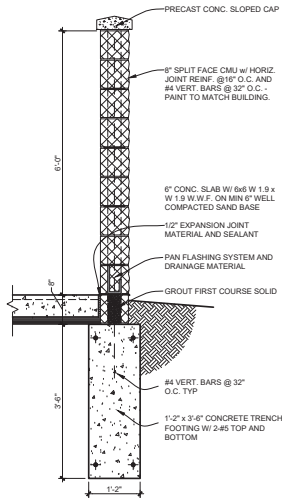


**DUMPSTER ENCLOSURE PLAN**

SCALE: 1/4" = 1'-0"



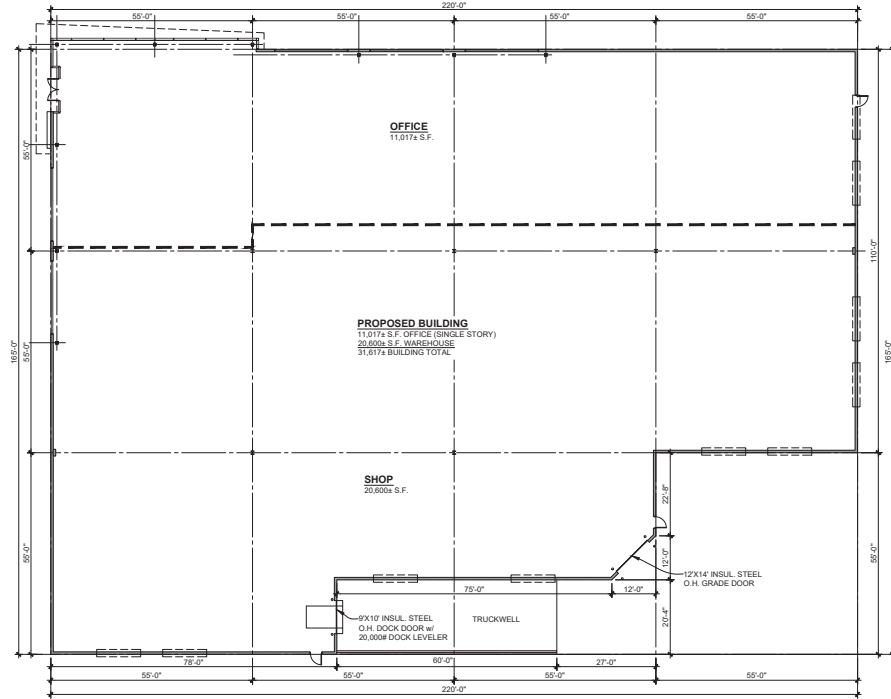
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**DUMPSTER ENCLOSURE ELEVATION**

SCALE: 3/4" = 1'-0"

4



**PRELIMINARY FLOOR PLAN**

SCALE: 1/16" = 1'-0"



1

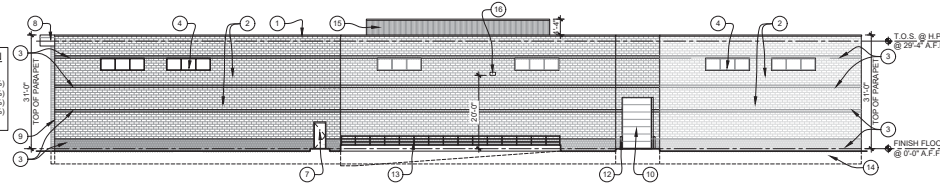


DATE:	3/1/20
DESIGNED BY:	SK
CHECKED BY:	SK
SCALE:	AS SHOWN
PROJECT NUMBER:	20012
SHEET NUMBER:	PPF-2

**BUILDING FAÇADE MATERIAL BREAKDOWN**

TOTAL MATERIAL SQUARE FOOTAGE = 6,483 S.F.  
 (EXCLUDES VISION GLASS & OPENINGS)

SPLIT-FACE C.M.U. = 5,452 S.F. (84.1%)  
 STRIATED C.M.U. = 961 S.F. (15.3%)  
 ACM = 12 S.F. (0.2%)  
 7.2 METAL PANEL = 28 S.F. (0.4%)



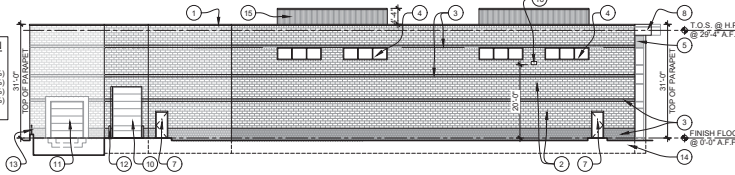
**WEST ELEVATION**  
 SCALE: 1/16" = 1'-0"

4

**BUILDING FAÇADE MATERIAL BREAKDOWN**

TOTAL MATERIAL SQUARE FOOTAGE = 4,736 S.F.  
 (EXCLUDES VISION GLASS & OPENINGS)

SPLIT-FACE C.M.U. = 4,002 S.F. (84.6%)  
 STRIATED C.M.U. = 702 S.F. (14.8%)  
 ACM = 21 S.F. (0.4%)  
 SPANDREL = 11 S.F. (0.2%)



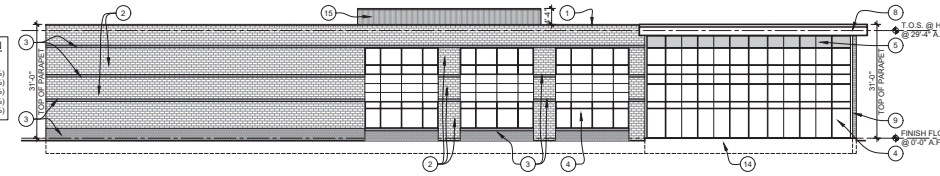
**SOUTH ELEVATION**  
 SCALE: 1/16" = 1'-0"

3

**BUILDING FAÇADE MATERIAL BREAKDOWN**

TOTAL MATERIAL SQUARE FOOTAGE = 4,619 S.F.  
 (EXCLUDES VISION GLASS & OPENINGS)

SPLIT-FACE C.M.U. = 3,127 S.F. (67.7%)  
 STRIATED C.M.U. = 639 S.F. (13.8%)  
 ACM = 627 S.F. (13.6%)  
 7.2 METAL PANEL = 28 S.F. (0.6%)  
 SPANDREL = 198 S.F. (4.3%)



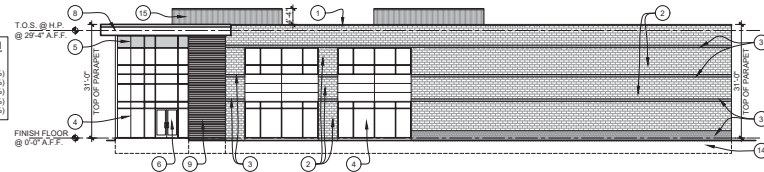
**EAST ELEVATION**  
 SCALE: 1/16" = 1'-0"

2

**BUILDING FAÇADE MATERIAL BREAKDOWN**

TOTAL MATERIAL SQUARE FOOTAGE = 4,037 S.F.  
 (EXCLUDES VISION GLASS & OPENINGS)

SPLIT-FACE C.M.U. = 2,831 S.F. (70.2%)  
 STRIATED C.M.U. = 456 S.F. (11.3%)  
 ACM = 400 S.F. (9.9%)  
 7.2 METAL PANEL = 280 S.F. (6.9%)  
 SPANDREL = 70 S.F. (1.7%)



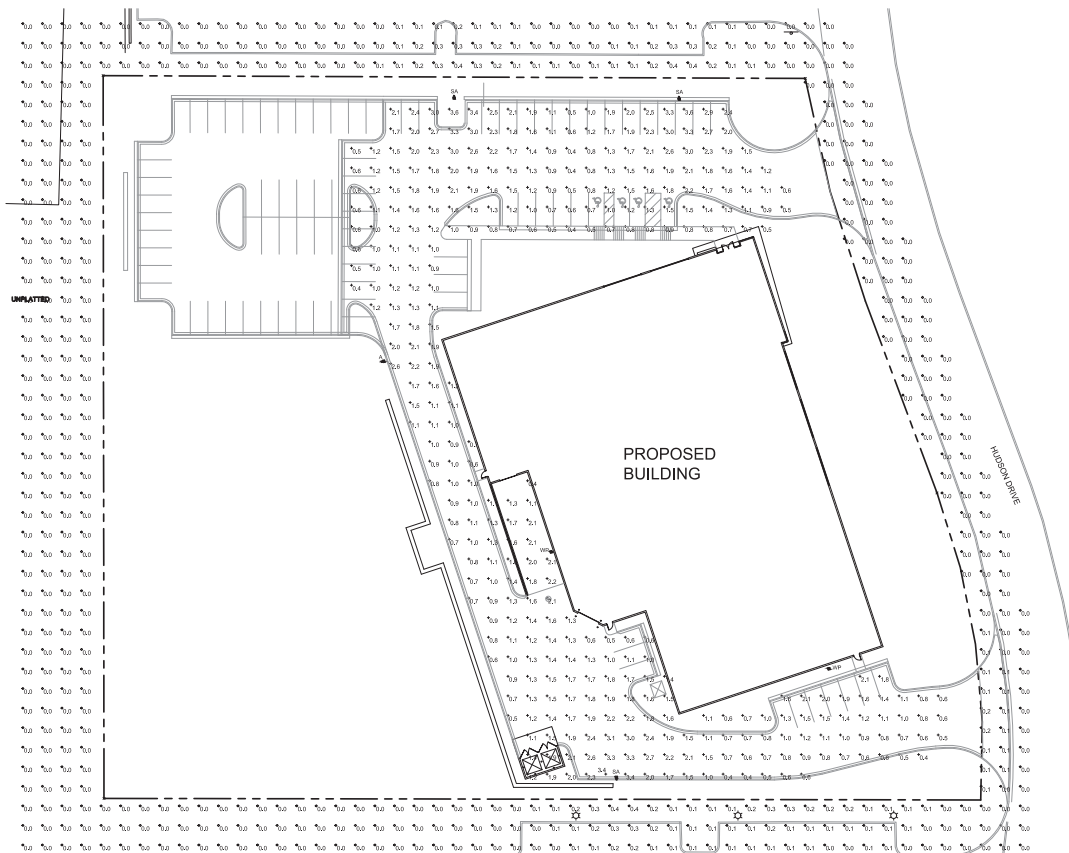
**NORTH ELEVATION**  
 SCALE: 1/16" = 1'-0"

1

**EXTERIOR MATERIAL SCHEDULE**

1	PREFINISHED METAL COPING
2	SMOOTH FACE C.M.U. BLOCK COLOR: TBD
3	SINGLE SCORE SMOOTH FACE C.M.U. BLOCK COLOR: TBD
4	1" GRAY TINTED LOW 'E' INSUL. VISION GLAZING IN CLEAR ANOD. ALUM. THERMAL BREAK FRAMES
5	1" TINTED INSULATED SPANDREL GLAZING IN CLEAR ANOD. ALUM. THERMAL BREAK FRAMES
6	6"x6" CLEAR ANOD. ALUM. ENTRY DOOR W/ GRAY TINTED TEMPERED GLASS
7	3'-0"x7'-0" HOLLOW METAL DOOR AND FRAME
8	ALUMINUM COMPOSITE METAL PANEL SYSTEM (A.C.M.)
9	7.2 METAL PANEL COLOR: TBD
10	12"x14" SECTIONAL INSULATED OVERHEAD GRADE DOOR W/ MOTOR OPERATED OPENER
11	9"x10" SECTIONAL INSULATED OVERHEAD TRUCK DOCK DOOR W/ DOCK LEVELER, & SHIELT/SEAL
12	6" DIA. CONC. FILLED STEEL GUARD POSTS
13	1/2" dia. PAINTED STEEL PIPE GUARDRAIL
14	CONC. TRENCH FOOTING BELOW
15	FLUSH METAL PANEL SIDING (RTU SCREWING)
16	HUBBEL LIGHTING WALL PACK





**PHOTOMETRIC SITE PLAN**  
SCALE: 1" = 30'

Symbol	Label	Quantity	Manufacturer	Catalog Number	Lumens Per Foot	Light Loss Factor	Wattage
■	SA	3	Hubbell Lighting Inc., also VFS-5-55L-130-8K7-4 Beacon Products		1557	0.95	135.583
■	WP	3	Hubbell Lighting Inc.	VFS-36L-80-4K7-4W-UV	885	0.95	85.5
■	A	1	Hubbell Lighting Inc., also VFS-5-36L-80-4K7-3 Beacon Products		926	0.95	81

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	
Calc Zone #1	A	2.4%	2.8%	2.4%	0.93	3.5	
Property Line		2.9%	3.4%	2.1%	1.62	4.6	

**HOURS OF OPERATION**

**BUILDING HOURS OF OPERATION**  
MONDAY - FRIDAY  
7:00am - 7:00pm

**SITE LIGHTING HOURS OF OPERATION**  
MONDAY - FRIDAY  
6:00pm DAWN & DUSK - 8:00pm

SITE LIGHTING IS TURNED OFF OTHER TIMES

**NOTE**  
THIS IS A SPEC BUILDING WITH NO TENANT. THEREFORE THERE IS NO SECURITY LIGHTING PROPOSED. ALL LIGHTING SHOWN IS FOR GENERAL ILLUMINATION AT SUCH TIME AS A NEW TENANT IS SECURED. ANY ADDITIONAL LIGHTING REQUIRED FOR SECURITY PURPOSES WILL COMPLY WITH SECTION 5.7.3H

**TARGET VALUES**

AVERAGE TO MINIMUM: 4:1 MAX

PARKING AREA: 0.2FC MIN

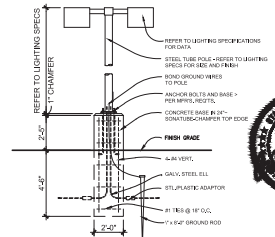
LOADING / UNLOADING: 0.4FC MIN

WALKWAYS: 0.2FC MIN

BUILDING ENTRANCES (FREQUENT USE): 1.0FC MIN

BUILDING ENTRANCES (INFREQUENT USES): 0.2FC MIN

PROPERTY LINE: 0.5FC MAX



**CONCRETE POLE BASE DETAIL**  
SCALE: 1/4" = 1'-0"

DATE	10/20/20
SCALE	AS SHOWN
PROJECT NO.	ESP-1A
DESIGNER	FAUDE ARCHITECTURE
CHECKER	FAUDE ARCHITECTURE
DATE	10/20/20

### VIPER S STRIKE

**BEACON**

**SPECIFICATIONS**

**Intended Use:** The Viper Strike is designed for use in areas where a high level of lighting is required. It is designed to provide a high level of lighting in areas where a high level of lighting is required.

**Construction:** The Viper Strike is constructed from die-cast aluminum. It is constructed from die-cast aluminum. It is constructed from die-cast aluminum.

**Dimensions:** 1200 mm H, 275 mm W, 100 mm D. 1200 mm H, 275 mm W, 100 mm D. 1200 mm H, 275 mm W, 100 mm D.

**Product Images:**

**Mounting Options:**

**CERTIFICATIONS LISTINGS:**

**Notes:** For more information, please contact your local distributor. For more information, please contact your local distributor.

### LITEPAK SERIES LNC3

**HUBBELL**

**SPECIFICATIONS**

**Intended Use:** The LitePak Series is designed for use in areas where a high level of lighting is required. It is designed to provide a high level of lighting in areas where a high level of lighting is required.

**Construction:** The LitePak Series is constructed from die-cast aluminum. It is constructed from die-cast aluminum. It is constructed from die-cast aluminum.

**Dimensions:** 1200 mm H, 275 mm W, 100 mm D. 1200 mm H, 275 mm W, 100 mm D. 1200 mm H, 275 mm W, 100 mm D.

**Product Images:**

**Mounting Options:**

**CERTIFICATIONS LISTINGS:**

**Notes:** For more information, please contact your local distributor. For more information, please contact your local distributor.

### KIM LIGHTING

**PA75 Pavilion "Bollard"**

**SPECIFICATIONS**

**Intended Use:** The Kim Lighting Pavilion "Bollard" is designed for use in areas where a high level of lighting is required. It is designed to provide a high level of lighting in areas where a high level of lighting is required.

**Construction:** The Kim Lighting Pavilion "Bollard" is constructed from die-cast aluminum. It is constructed from die-cast aluminum. It is constructed from die-cast aluminum.

**Dimensions:** 1200 mm H, 275 mm W, 100 mm D. 1200 mm H, 275 mm W, 100 mm D. 1200 mm H, 275 mm W, 100 mm D.

**Product Images:**

**Mounting Options:**

**CERTIFICATIONS LISTINGS:**

**Notes:** For more information, please contact your local distributor. For more information, please contact your local distributor.

### LITEPAK SERIES LNC4

**HUBBELL**

**SPECIFICATIONS**

**Intended Use:** The LitePak Series is designed for use in areas where a high level of lighting is required. It is designed to provide a high level of lighting in areas where a high level of lighting is required.

**Construction:** The LitePak Series is constructed from die-cast aluminum. It is constructed from die-cast aluminum. It is constructed from die-cast aluminum.

**Dimensions:** 1200 mm H, 275 mm W, 100 mm D. 1200 mm H, 275 mm W, 100 mm D. 1200 mm H, 275 mm W, 100 mm D.

**Product Images:**

**Mounting Options:**

**CERTIFICATIONS LISTINGS:**

**Notes:** For more information, please contact your local distributor. For more information, please contact your local distributor.



**AUGUST 12, 2020  
PLANNING COMMISSION MEETING MINUTES**

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**PLANNING COMMISSION**  
**MINUTES**  
CITY OF NOVI  
Regular Meeting  
**August 12<sup>th</sup>, 2020 7:00 PM**  
Remote Meeting  
45175 W. Ten Mile (248) 347-0475

In accordance with Executive Order 2020-154, this meeting was held remotely.

**CALL TO ORDER**

The meeting was called to order at 7:00 PM.

**ROLL CALL**

Present: Member Avdoulos, Member Dismondy, Member Ferrell, Member Gronachan, Member Lynch, Chair Pehrson

Absent: Member Maday

Staff: Barbara McBeth, City Planner; Lindsay Bell, Senior Planner; Christian Carroll, Planner; Madeleine Kopko, Planning Assistant; Rick Meader, Landscape Architect; Kate Richardson, Staff Engineer; Elizabeth Saarela, City Attorney; Pete Hill, City Environmental Consultant;

**PLEDGE OF ALLEGIANCE**

Chair Pehrson led the meeting attendees in the recitation of the Pledge of Allegiance.

**APPROVAL OF AGENDA**

Moved by Member Ferrell and seconded by Member Gronachan.

**VOICE VOTE TO APPROVE THE AUGUST 12, 2020 PLANNING COMMISSION AGENDA MOVED BY MEMBER FERRELL AND SECONDED BY MEMBER GRONACHAN.**

**Motion to approve the August 12, 2020 Planning Commission Agenda. Motion carried 6-0.**

**AUDIENCE PARTICIPATION**

No one in the audience wished to speak.

**CORRESPONDENCE**

There was no correspondence.

**COMMITTEE REPORTS**

There were no Committee reports.

**CITY PLANNER REPORT**

There was no City Planner report.

## **CONSENT AGENDA - REMOVALS AND APPROVALS**

There was nothing on the Consent Agenda.

### **PUBLIC HEARINGS**

#### **1. BECK NORTH UNITS 4 & 52, JSP 20-12**

Public hearing at the request of Dembs Development for Preliminary Site Plan, Woodland Permit and Storm Water Management Plan approval for a new 31,617 square foot speculative building for warehouse/office uses. The subject property is approximately 3.49 acres and is located in Section 4, north of West Road and west of Hudson Drive. The site is zoned I-1, Light Industrial District and is located in the Beck North Corporate Park.

Planner Bell said the subject property is in Section 4 north of West Road, on the west side of Hudson Drive. The parcel is approximately 3.5 acres and is currently vacant. The parcel is zoned I-1 Light Industrial as are the surrounding properties. Bordering the property to the west is the City of Wixom, and is also zoned for light industrial uses. The Future land use map indicates Industrial Research Development Technology for this area. There are some woodland and wetland areas present on the western portion of the site. There is an existing conservation easement protecting the wetland in the southwestern corner of the site as well as some woodland areas.

The applicant is proposing to construct a new building just over 31,600 square feet in floor area. The potential tenant is unknown at this time, but expected to be a warehouse use with accessory office. The site would have two driveways off of Hudson Drive. The applicant requests same-side driveway spacing waivers due to the proximity of the proposed driveways to existing driveways to the north and south. The site plan as proposed would require a total of 41 parking spaces. The applicant has proposed 52 spaces with a future parking expansion of 32 spaces shown if needed by a tenant.

Storm water would be collected by a single collection system and discharged into a previously constructed basin serving the corporate park properties. The plan will avoid impacts to the wetland area of the site. The tree survey provided indicates forty trees were surveyed, eight of which are less than eight inches in diameter and therefore not regulated. Twenty-four trees would be preserved while a total of sixteen regulated trees are proposed for removal. The applicant has indicated no credits would be planted on-site, but rather a payment into the City's Tree fund will be made for the required twenty-five woodland replacement credits.

Planner Bell continued to say the applicant has requested a Section 9 waiver for the overage of CMU on all facades. Our façade consultant supports the waiver request because the combination of materials will enhance the overall design of the building, and similar waivers have been approved for other projects in this area.

Landscape review identified a deficiency in parking lot perimeter trees. However the applicant indicates in their response letter that this will be corrected in the Final Site Plan.

The Planning Commission is asked tonight to hold the public hearing and approve or deny the Preliminary Site Plan, Woodland Permit and the Storm Water Management Plan. Representing the project tonight are Glenn Jones from Dembs Development and engineer Tom Gizoni from Alpine Engineering. Staff and environmental consultant Pete Hill are available to answer any questions.

Glenn Jones, Director of Development with Dembs Development, said the building is set up as a speculative construction project. We do have several parties interested in it, but unfortunately cannot mention names right now. The model for speculative buildings that we've been doing as of late seems to work very well. We just recently finished up Unit 54 which is around the corner from here and was also a speculative building. We brought a very good user for that building to Novi, Hexagon

Metrology, who's now moved into the building. The Section 9 waiver that we are applying for was pre-approved by the City's façade consultant and fits the model of the park and Beck North. The building is very complimentary to all the other facilities within our park. With that said I'll turn it back over to answer any questions you may have.

Chair Pehrson said this is a public hearing, if anyone would like to address the Planning Commission you may do so now.

Seeing no one in the audience wised to speak and there being no written correspondence, Chair Pehrson closed the audience participation and turned it over to the Planning Commission.

Member Avdoulos said this project is pretty straight forward and all the City Departments recommend approval so I would like to make a motion.

Motion made by Member Avdoulos and seconded by Member Ferrell.

**ROLL CALL VOTE TO APPROVE THE PRELIMINARY SITE PLAN FOR PROJECT JSP 20-12 BECK NORTH UNITS 4 & 52 MADE BY MEMBER AVDOULOS AND SECONDED BY MEMBER FERRELL.**

**In the matter of Beck North Units 4 & 52 JSP20-12, motion to approve the Preliminary Site Plan based on and subject to the following:**

- a. A waiver from Section 11-216.d.1.d of the Code of Ordinances to allow same-side driveway spacing less than 125 feet because *the lot configuration does not allow for alternative placement, which is hereby granted;***
- b. A Section 9 façade waiver is requested for the overage of CMU (75% maximum allowed, 98% on South, 98% on West, 81% on East and 81% on North façade proposed) because *the combination of materials proposed will enhance the overall design of the building, which is hereby granted;***
- c. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan.**

**This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance. *Motion carried 6-0.***

Motion made by Member Avdoulos and seconded by Member Gronachan.

**ROLL CALL VOTE TO APPROVE THE WOODLAND PERMIT FOR PROJECT JSP 20-12 BECK NORTH UNITS 4 & 52 MADE BY MEMBER AVDOULOS AND SECONDED BY MEMBER GRONAHCAN.**

**In the matter of Beck North Units 4 & 52 JSP20-12, motion to approve the Woodland Permit based on and subject to the following:**

- a. The regulated tree count shall be updated to reflect all trees determined to be subject to regulation under the Woodland Protection Ordinance by the City's environmental consultant as indicated in the applicant's response letter;**
- b. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan.**

**This motion is made because the plan is otherwise in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance. *Motion carried 6-0.***

Motion made by Member Avdoulos and seconded by Member Ferrell.

**ROLL CALL VOTE TO APPROVE THE STORM WATER MANAGEMENT PLAN FOR PROJECT JSP 20-12 BECK NORTH UNITS 4 & 52 MADE BY MEMBER AVDOULOS AND SECONDED BY MEMBER FERRELL.**

**In the matter of Beck North Units 4 & 52 JSP20-12, motion to approve the Stormwater Management Plan based on and subject to the findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan. This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance. Motion carried 6-0.**

**2. CASA LOMA, LOT 4, PSP20-0052**

Public hearing at the request of Compo Builders Inc. for consideration of a request for a Woodland Use Permit at 47685 Casa Loma Court. The property is known as Lot 4, Casa Loma Subdivision, which is located on the west side of Beck Road, north of Eight Mile Road in Section 32 of the City. The applicant is proposing to remove twenty-six woodland trees in order to construct a single family residential structure.

City Planner McBeth said as you know, the subdivision Casa Loma is located north of Eight Mile Road and west of Beck Road in Section 32. Unit 4 has submitted for building permits to the Building Department for a new construction for a residence. It is the last lot that is available in the development. The applicant's plans show the removals of twenty-six woodland trees in order to provide space to construct a single family residential structure, a swimming pool, a driveway, and other features. The memo included in the packet notes that twenty woodland trees are located within the building area shown on the overall development plan and six woodland trees are outside of the building area. However, those trees are located within areas of the property that need to be graded to allow for future construction of the proposed home and the swimming pool.

The City's Environmental consultant, Pete Hill, reviewed the request and prepared a review letter dated July 27, 2020. Two inspections were done of the lot on June 26, 2020 and then again on July 27, 2020 to compare information given by the applicant's engineer with the field conditions. Some woodland trees remain on the southern edge of the property, but the inspections reveal that the north part of the lot already has been cleared of the woodlands. The south side of the property contains a conservation easement that is shown on this exhibit and signs noting the buffer are also in place at this time.

The Planning Commission reviewed the plans for Casa Loma in 2005 and granted a woodland use permit which included the preservation of large portions of the existing woodlands in the open space particularly on the west side and in some instances on individual units within that subdivision. These areas would be addressed at the time of building permits as requested for the individual units. The approved plans for the Casa Loma Subdivision also include building areas identified for each unit. Generally, it's a rectangular area showing the required minimum building setback for the future placement of the home on each unit. Staff has completed an analysis of the trees recently removed from Unit 4 and found that twenty trees were within the identified building area and six trees have been removed outside of the building area.

City Planner McBeth continued to say staff finds that the Planning Commission should consider the removal of those six trees as authorized by the subject woodland permit and the remaining trees may be approved administratively. The applicant's plot plan indicated that the area outside of the previously identified building area is proposed to be graded in order to allow the construction of the home and the swimming pool on that unit. Staff provides a favorable recommendation to the Planning Commission for the woodland permit to authorize the removal of the trees the applicant is



## PRIMROSE DAYCARE AND SWIM SCHOOL JSP22-53

### **JSP22-53 PRIMROSE DAYCARE & SWIM SCHOOL**

Public Hearing at the request of EIG14T (Eight-Fourteen) NOVI MI LLC for approval of the Preliminary Site Plan, Special Land Use Permit, Stormwater Management Plan, and Woodland Permit. The subject property is approximately 5.59 acres. It is located south of Ten Mile Road on the west side of Novi Road, and it is in the OS-1 Office Service District. The applicant is proposing to demolish the existing building in the eastern portion of the site to build a 13,586 square foot daycare center and a 6,658 square foot swim school facility.

### **Required Action**

Approve/Deny the Special Land Use Permit, Preliminary Site Plan, Stormwater Management Plan, and Woodland Permit.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	6-12-23	<ul style="list-style-type: none"> <li>• <b>Special Land Use considerations</b></li> <li>• <b>Zoning Board of Appeals Variance from Section 4.12.2.i.a for insufficient outdoor recreation space</b> <i>(Supported due to staggered use of recreation areas)</i></li> <li>• <b>Zoning Board of Appeals Variance from Section 4.12.2.ii.c for having direct access onto 10 Mile Road</b> <i>(Supported since the site has been designed to mitigate the vehicle stacking to the extent possible)</i></li> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Engineering	Approval recommended	6-8-23	<ul style="list-style-type: none"> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Landscaping	Approval recommended	5-30-23	<ul style="list-style-type: none"> <li>• <b>Waiver for the lack of screening from the residential property to the west</b> <i>(Supported if the applicant provides evidence that screening is not necessary prior to the Public Hearing date)</i></li> <li>• <b>Waiver for the planting of street trees</b> <i>(Supported due to utility conflicts)</i></li> <li>• <b>Waiver for the lack of a berm, greenbelt plantings, and street trees in the wetland frontage</b> <i>(Supported to preserve the wetland)</i></li> </ul>



			<ul style="list-style-type: none"> <li>• <b>Waiver for insufficient landscaping of interior parking lot areas and trees</b> <i>(Supported since the site is otherwise heavily landscaped, and the deficiency is not apparent)</i></li> <li>• <b>Waiver for most of the daycare building's foundation landscaping being located away from the building</b> <i>(Supported since the alternate locations will be attractive, and the applicant has included landscaping along most of the building frontage facing 10 Mile Road).</i></li> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Traffic	Approval recommended	6-9-23	<ul style="list-style-type: none"> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Façade	Approval recommended	6-5-23	<ul style="list-style-type: none"> <li>• <b>Section 9 Façade Waiver for an overage of Cement Fiber Siding on both buildings.</b> <i>(Supported because the use of the materials will not be detrimental to the aesthetic value of the buildings, and the use of matching materials &amp; colors on both buildings enhances the overall project)</i></li> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Fire	Approval recommended	5-30-23	<ul style="list-style-type: none"> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Wetland	Approval recommended	3-27-23	<ul style="list-style-type: none"> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Woodland	Approval recommended	3-27-23	<ul style="list-style-type: none"> <li>• <b>City of Novi Woodland permit required</b></li> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>

## **MOTION SHEET**

### **Approval – Special Land Use Permit**

In the matter of Primrose Daycare and Swim School, JSP22-53, motion to **approve** the Special Land Use Permit based on the following findings:

- a. Relative to other feasible uses of the site:
  - i. The proposed use will not cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service. *(A Traffic Impact Study was submitted, and the City's Traffic Consultant determined that this proposal would not be detrimental to existing thoroughfares);*
  - ii. The proposed use will not cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area. *(There are no additional impacts on capabilities of public services);*
  - iii. The proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses, and wildlife habitats. *(The impacts to regulated woodlands and wetlands have been minimized to the extent possible);*
  - iv. The proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood. *(The proposed uses fit the character of the area and are compatible with the nearby commercial and office buildings);*
  - v. The proposed use is consistent with the goals, objectives, and recommendations of the City's Master Plan for Land Use. *(The proposed project complies with several goals of the Master Plan, including the protection and maintenance of the City's natural features, attracting new businesses to the City of Novi, and ensuring compatible development between residential and non-residential developments);*
  - vi. The proposed use will promote the use of land in a socially and economically desirable manner. *(Compared to other uses permitted as a special land use in the OS-1 district, a swim school and daycare center may bring more vehicular traffic to the site but will serve an important role to the community as a place of education and recreation);*
  - vii. The proposed use is listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this ordinance and is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.
- b. *(additional comments here if any)*

*(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, Article 5, and Article 6 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**- AND -**

**Approval – Preliminary Site Plan**

In the matter of Primrose Daycare and Swim School, JSP22-53, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. The Zoning Board of Appeals granting a variance from Section 4.12.2.i.a of the Zoning Ordinance for insufficient outdoor recreation space *because the applicant has indicated that children are released to the recreation area on a classroom-by-classroom basis, at separate times throughout the day;*
- b. The Zoning Board of Appeals granting a variance from Section 4.12.2.ii.c of the Zoning Ordinance for direct access to or from a major arterial or arterial road (Ten Mile Road) *because the site has been designed to mitigate the vehicle stacking to the extent possible and because the City's Traffic Consultant determined that this proposal would not be detrimental to existing thoroughfares based upon the Traffic Impact Statement submitted by the applicant;*
- c. Landscape waiver for the lack of screening from the residential property to the west *which is supported by staff if the applicant has provided evidence that screening is not necessary prior to this motion;*
- d. Landscape waiver for the planting of street trees *due to utility conflicts;*
- e. Landscape waiver for the lack of a berm, greenbelt plantings, and street trees in the wetland frontage *in order to preserve the wetland;*
- f. Landscape waiver for insufficient landscaping of interior parking lot areas and trees *because the site is otherwise heavily landscaped, and the deficiency is not apparent;*
- g. Landscape waiver for most of the daycare building's foundation landscaping being located away from the building *because the alternate locations will be attractive, and the applicant has included landscaping along most of the building frontage facing 10 Mile Road;*
- h. Section 9 Façade Waiver for an overage of Cement Fiber Siding on all elevations of both buildings (0% maximum allowed; ranges from 4% to 10% on the daycare building and 5%-22% on the swim school building) *because the use of the materials will not be detrimental to the aesthetic value of the buildings, the use of matching materials & colors on both buildings enhances the overall project, and the overall design is consistent with the intent and purpose of the Façade Ordinance, which is hereby granted;*
- i. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
- j. *(additional conditions here if any)*

*(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**- AND -**

**Approval – Woodland Permit**

In the matter of Primrose Daycare and Swim School, JSP22-53, motion to **approve** the Woodland Permit based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

*(This motion is made because the plan is otherwise in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

**- AND -**

**Approval – Stormwater Management Plan**

In the matter of Primrose Daycare and Swim School, JSP22-53, motion to **approve** the Stormwater Management Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

*(This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

**- OR -**

**Denial – Special Land Use Permit**

In the matter of Primrose Daycare and Swim School, JSP22-53, motion to **deny** the Special Land Use Permit... *(because the plan is not in compliance with Article 4, Article 5, and Article 6 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**- AND -**

**Denial – Preliminary Site Plan**

In the matter of Primrose Daycare and Swim School, JSP22-53, motion to **deny** the Preliminary Site Plan... *(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**- AND -**

**Denial- Woodland Permit**

In the matter of Primrose Daycare and Swim School, JSP22-53, motion to **deny** the Woodland Permit... *(because the plan is not in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

**- AND -**

**Denial – Stormwater Management Plan**

In the matter of Primrose Daycare and Swim School, JSP22-53, motion to **deny** the Stormwater Management Plan... *(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

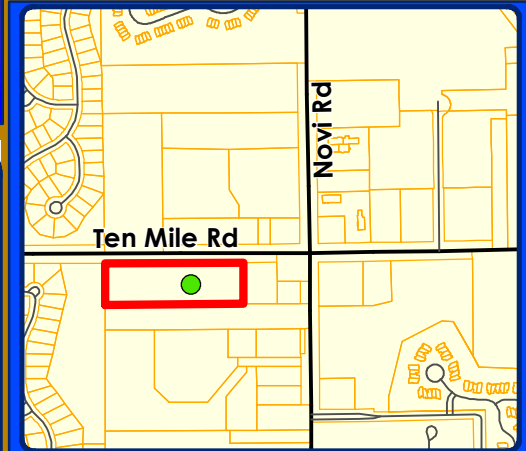
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**MAPS**  
**Location**  
**Zoning**  
**Future Land Use**  
**Natural Features**

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# JSP22-53 PRIMROSE DAYCARE & SWIM SCHOOL

## LOCATION



## LEGEND

 Subject Property



## City of Novi

Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
[cityofnovi.org](http://cityofnovi.org)

Map Author: Ben Peacock  
Date: 7/3/23  
Project: JSP22-53 PRIMROSE DAYCARE & SWIM SCHOOL  
Version #: 1

0 45 90 180 270 Feet

1 inch = 208 feet

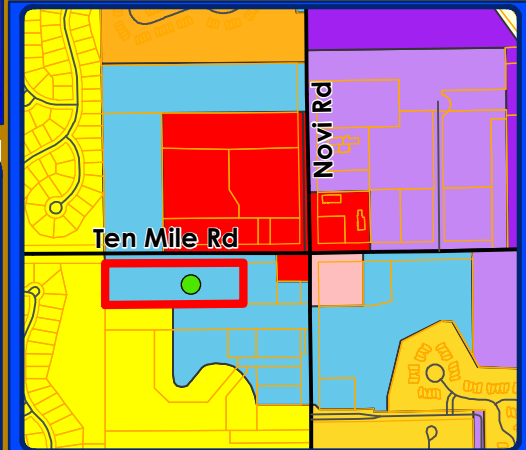
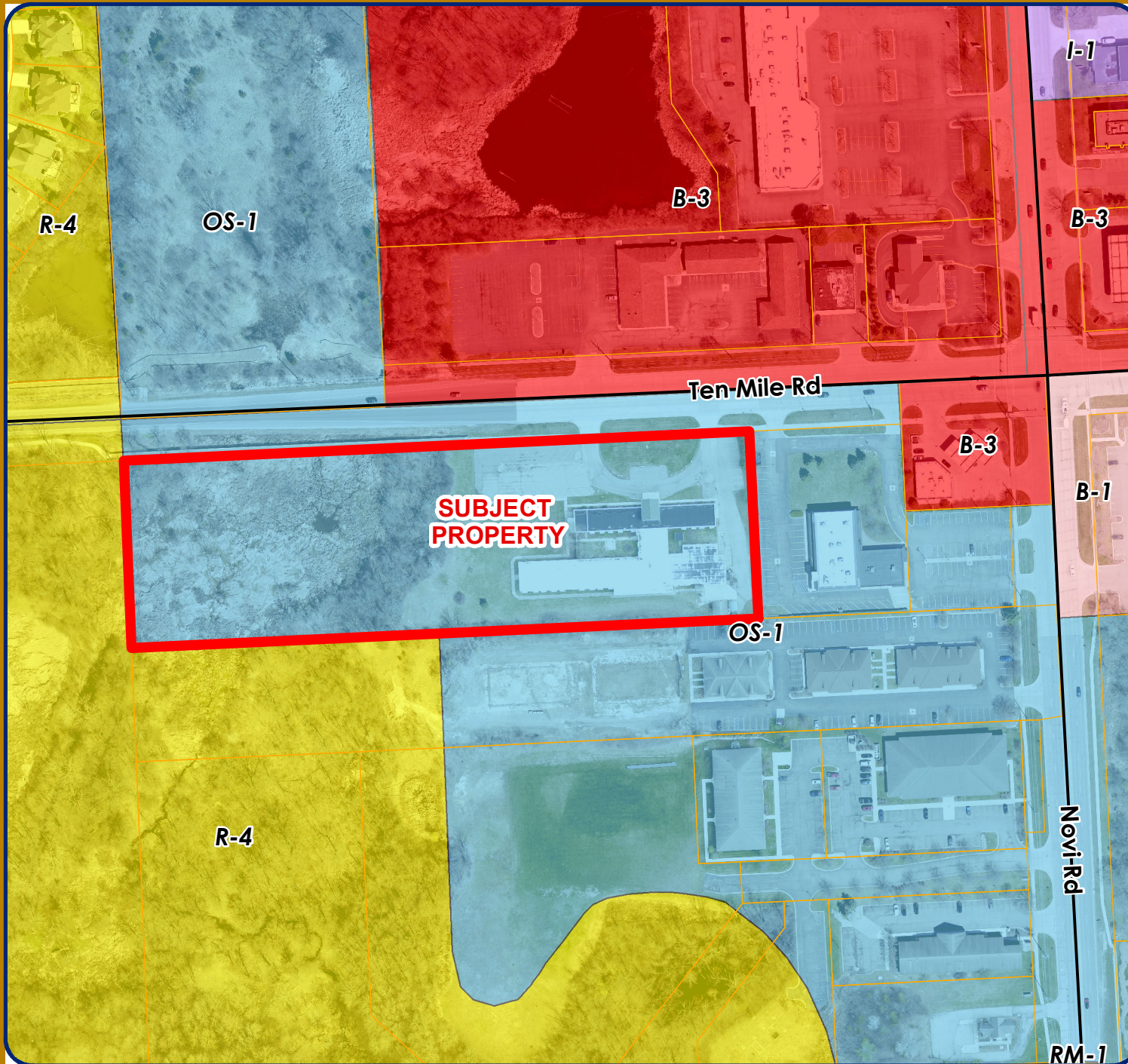


### MAP INTERPRETATION NOTICE

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# JSP22-53 PRIMROSE DAYCARE & SWIM SCHOOL

## ZONING



### LEGEND

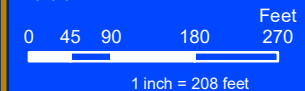
- Subject Property
- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- RM-2: High-Density Multiple Family
- B-1: Local Business District
- B-3: General Business District
- I-1: Light Industrial District
- I-2: General Industrial District
- OS-1: Office Service District



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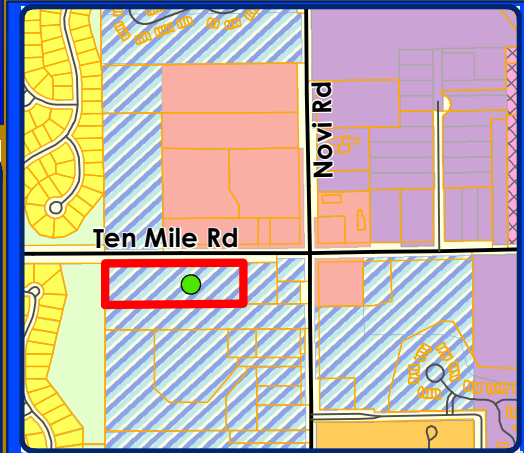
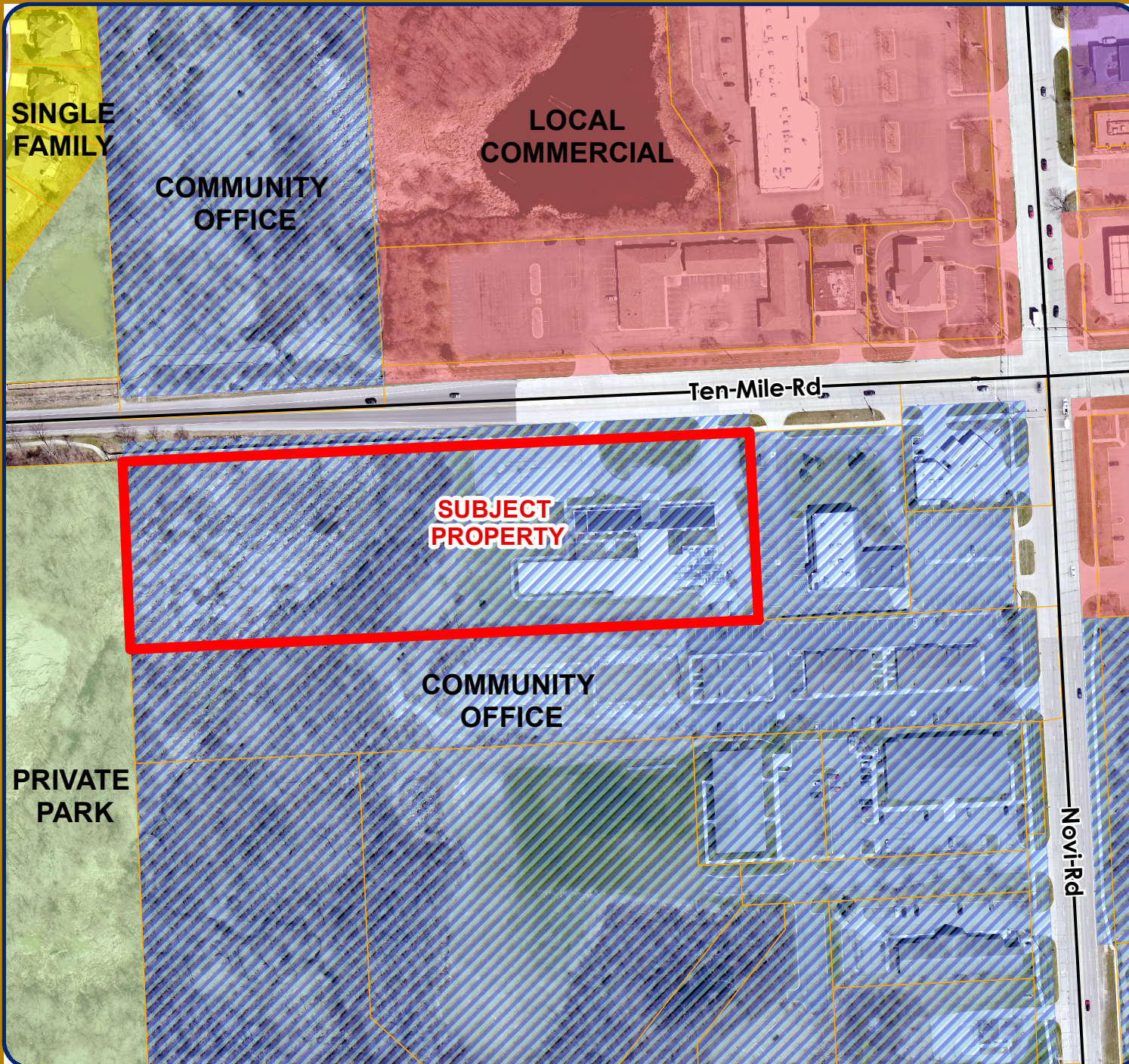
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# JSP22-53 PRIMROSE DAYCARE & SWIM SCHOOL

## FUTURE LAND USE



### LEGEND

- Subject Property
- Single Family
- Multiple-Family Residential
- Community Office
- Industrial, Research, Development and Technology
- Heavy Industrial
- Local Commercial
- Private Park



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1 inch = 208 feet



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