



HOLLY HILL FACADE JC13-209

HOLLY HILL FACADE, JC13-209

Approval of the request of Regency Capital Holdings of Novi for Final Site Plan and Section 9 Façade Waiver. The applicant is proposing to update the façades of the three existing office buildings located in Section 25 on the south side of Ten Mile Road, west of Haggerty Road in the OS-1 Office Service District.

REQUIRED ACTION

Approve the Final Site Plan and Section 9 Façade Waiver.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	5/15/14	No items need to be addressed
Facade	Approval recommended	5/15/14	<ul style="list-style-type: none">▪ Section 9 façade waiver to allow an overage of EIFS and painted brick▪ Items to address on the Stamping Set

Motion sheet

Approval:

In the matter of Holly Hill Facade, JC13-209, motion to approve the Final Site Plan and Section 9 façade waiver to allow an overage of EIFS and painted brick on the basis that the proposed alteration:

1. Represents an improvement in the existing façade that is compatible with the existing façade and with adjacent buildings, and
2. Is generally in keeping with the intent and purpose of Section 2520.

Maps
Location
Zoning

JC13-209 Holly Hill Facade

Location



Map Legend

 Subject Property



City of Novi
Planning Division
Community Development Dept.
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

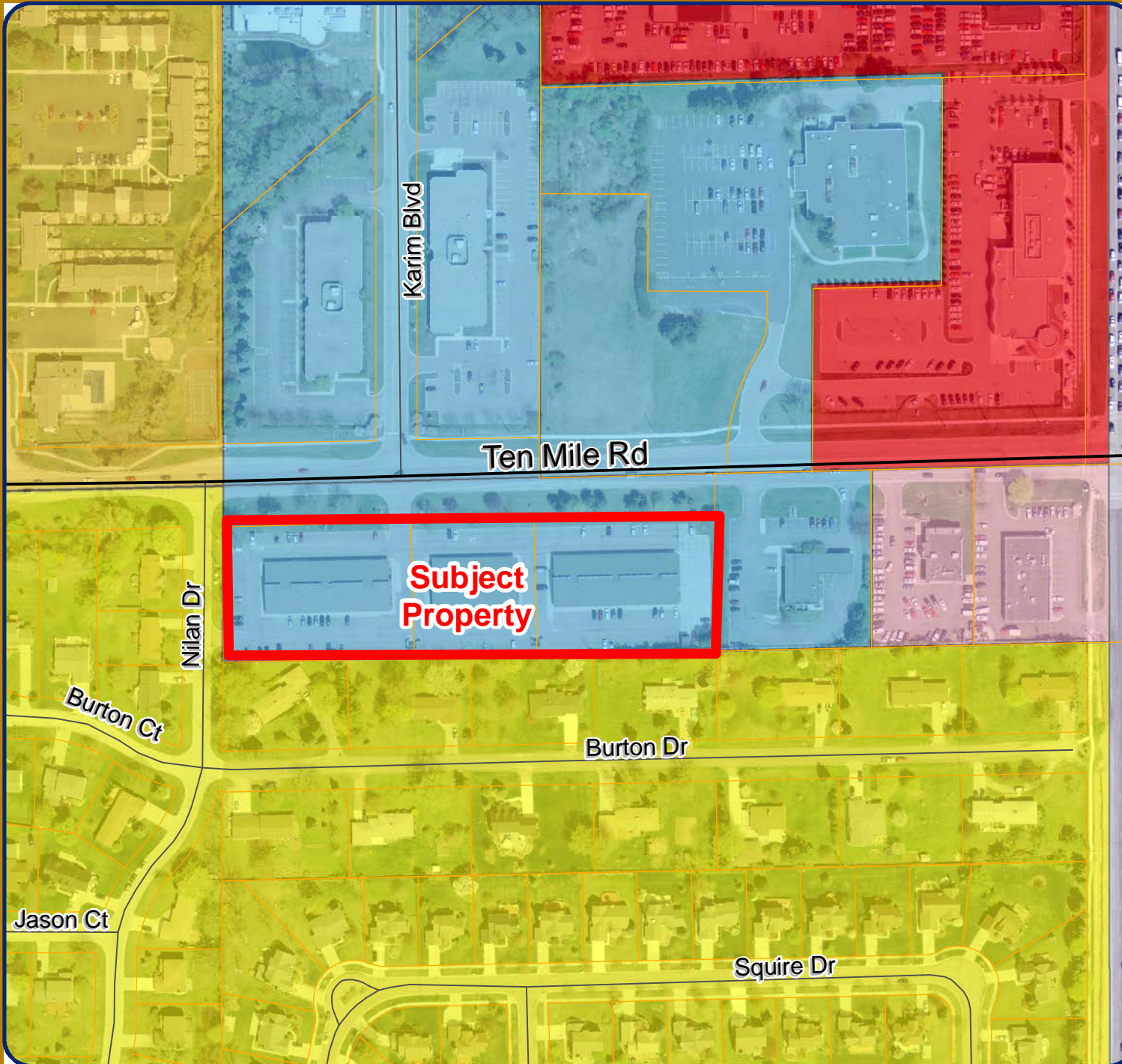
Map Author: Sara Roediger
Date: 05-19-14

MAP INTERPRETATION NOTICE







Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

JC13-209 Holly Hill Facade

Zoning



Map Legend

-  Subject Property
-  R-4: One-Family Residential
-  RM-1: Low-Density Multiple Family
-  B-1: Local Business
-  B-3: General Business
-  OS-1: Office Service



City of Novi
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Site Plan/Elevations

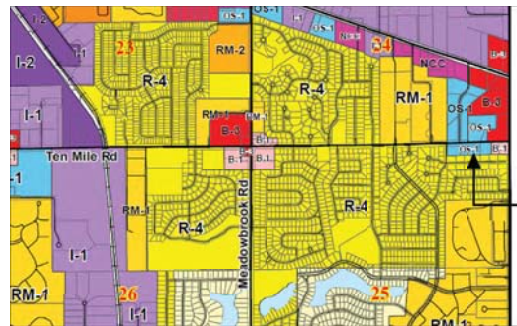
Holly Hill Professional Village

West Ten Mile Road, Novi, Michigan

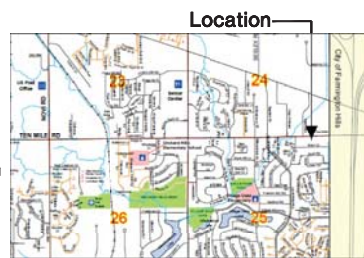
Proposed Facade Renovations



AERIAL SITE PLAN
 SCALE: 1" = 60'



ZONING MAP
 NO SCALE



LOCATION MAP
 NO SCALE

Project Information

Building Information:
 39555 West Ten Mile Road, Oakland County, Novi, Michigan 48375
 Parcel: 50-22-25-226-018
 Building Area: 12,600 sq.ft.
 39575 West Ten Mile Road, Oakland County, Novi, Michigan 48375
 Parcel: 50-22-25-226-016
 Building Area: 8,400 sq.ft.
 39595 West Ten Mile Road, Oakland County, Novi, Michigan 48375
 Parcel: 50-22-25-226-012
 Building Area: 12,600 sq.ft.

Zoning: OS-1, Office Service District

One story frame and brick veneer
 Type of Construction: Type V-B

Building Area Modifications - Frontage Increase
 Width Limits (weighted average 'W'):
 $W = N 67.5', S 70', E 57' \text{ and } W 24.68' / 4 = 52'$
 $I=[(F/P-0.25)W/30, (500/500'-0.25)30/30 = 0.75 \text{ or } 75\% \text{ Increase}$
 Allowable Building Area = $9,000 * (0.75) = 15,750 \text{ Sq.Ft.}$
 Existing Gross floor area: 12,600 sq.ft. (ok, code Section 506)

Building Codes and Ordinances:
 City of Novi, Michigan, Zoning Ordinance and Applicable Codes
 Based on the Michigan Building Code 2009 (incorporating the 2009 edition of the International Building Code)
 ICC/ANSI A117.1 2003 Edition
 Michigan Plumbing Code 2009
 Michigan Mechanical Code 2009
 Michigan Electrical Code based on '2008 N.E.C. with Part 8 State Amendments'

Index of Drawings

February 2014 - Planning Commission Review

TITLE Title Sheet and Aerial Site Plan
 A-1 Building 39555 - Building Plan and Exterior Elevations
 A-2 Building 39555 - Renderings
 A-3 Building 39575 - Building Plan and Exterior Elevations
 A-4 Building 39575 - Renderings
 A-5 Building 39595 - Building Plan and Exterior Elevations
 A-6 Building 39595 - Renderings

Consultants: Project / Tenant:
 Holly Hill Professional Village
 39555, 39575 and 39595 Ten Mile Road
 Novi, Michigan 48375
 Proposed Facade Renovations

Business Owner:
 Regency Capital Holdings of Novi
 3133 Union Lake Road
 Commerce Township, Mi. 48382

J L K Architects
 24141 Ann Arbor Trail
 Dearborn Heights, Michigan 48127
 voice: 313.359.9970
 email: jlk@jlkarchitect.com



Issue - Revisions

Date:	Description:
17 Sept. 2013	Application for Planning Commission Review
12 Feb. 2014	Application for Planning Commission Review

Sheet Title:
 Aerial Site Plan
 Project Rendering
 Project Information

Project Number:
 040113-1

Sheet Number:
 Title