



COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals

ZONING BOARD APPEALS DATE: February 12, 2019

REGARDING: 2292 Austin Dr, Parcel # 50-22-10-227-018 (PZ18-0064)

BY: Larry Butler, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant

Christopher Leineke

Variance Type

Dimensional

Property Characteristics

Zoning District: Single Family Residential
Location: West of Old Novi Road and South of Thirteen Mile Road
Parcel #: 50-22-10-227-018

Request

The applicant is requesting variances from the Novi Zoning Ordinance Section 4.19G for a proposed accessory structure less than 10 feet away from garage, 10 feet minimum required; Section 3.1.5 for minimum side yard setback of 5 feet, 10 feet required, a lot coverage of 33%, 25% allowed, a proposed front yard setback from road of 25 feet, 30 feet minimum required. This property is zoned Single Family Residential (R-4).

II. STAFF COMMENTS:

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we **grant** the variance in Case No. **PZ18-0064**, sought by _____, for _____ because Petitioner has shown practical difficulty requiring _____.

 - (a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because _____.
 - (b) The property is unique because _____.
 - (c) Petitioner did not create the condition because _____.

_____.

(d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because_____.

_____.

(e) The relief if consistent with the spirit and intent of the ordinance because

_____.

_____.

(f) The variance granted is subject to:

1. _____.

2. _____.

3. _____.

4. _____.

2. I move that we **deny** the variance in Case No. **PZ18-0064**, sought by _____, for _____ because Petitioner has not shown practical difficulty requiring _____.

(a) The circumstances and features of the property including _____ are not unique because they exist generally throughout the City.

(b) The circumstances and features of the property relating to the variance request are self-created because _____.

(c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that _____.

(d) The variance would result in interference with the adjacent and surrounding properties by _____.

(e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to _____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Larry Butler
Deputy Director Community Development
City of Novi



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ZONING BOARD OF APPEALS APPLICATION

RECEIVED

DEC 21 2018

CITY OF NOVI
COMMUNITY DEVELOPMENT

APPLICATION MUST BE FILLED OUT COMPLETELY

I. PROPERTY INFORMATION (Address of subject ZBA Case)			
PROJECT NAME / SUBDIVISION <u>CHRIS LEINEKE / LEINEKE RESIDENCE</u>			
ADDRESS <u>2292 AUSTIN DRIVE</u>		LOT/SIUTE/SPACE #	
SIDWELL # <u>50-22-</u>		May be obtain from Assessing Department (248) 347-0485	
CROSS ROADS OF PROPERTY <u>OLD NOVI & AUSTIN DRIVE</u>			
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		REQUEST IS FOR: <input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE	
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input type="checkbox"/> NO			
II. APPLICANT INFORMATION			
A. APPLICANT		EMAIL ADDRESS	
NAME <u>CHRIS LEINEKE</u>		CELL PHONE NO. <u>734-476-7783</u>	
ORGANIZATION/COMPANY		TELEPHONE NO. <u>734-476-7783</u>	
ADDRESS <u>2297 AUSTIN DRIVE</u>		CITY <u>NOVI</u>	FAX NO.
		STATE <u>MI</u>	ZIP CODE <u>48377</u>
B. PROPERTY OWNER <input checked="" type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER			
Identify the person or organization that owns the subject property:		EMAIL ADDRESS	
NAME		CELL PHONE NO.	
ORGANIZATION/COMPANY		TELEPHONE NO.	
ADDRESS		CITY	FAX NO.
		STATE	ZIP CODE
III. ZONING INFORMATION			
A. ZONING DISTRICT			
<input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____			
B. VARIANCE REQUESTED			
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED: <u>Propose LESS THAN</u>			
1. Section	<u>4.19 G</u>	Variance requested	<u>MIN 10' AWAY FROM GARAGE 4.19 G</u>
2. Section	<u>3.1.5</u>	Variance requested	<u>MIN SIDE LOT LINE 5' 3.1.5</u>
3. Section	<u>3.1.5</u>	Variance requested	<u>MIN LOT COVERAGE 3.1.5</u>
4. Section	<u>3.1.5</u>	Variance requested	<u>MIN FRONT SETBACK 25' 3.1.5 FROM ROAD</u>
IV. FEES AND DRAWINGS			
A. FEES			
<input type="checkbox"/> Single Family Residential (Existing) \$200 <input type="checkbox"/> (With Violation) \$250 <input type="checkbox"/> Single Family Residential (New) \$250 <input type="checkbox"/> Multiple/Commercial/Industrial \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> Signs \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> House Moves \$300 <input type="checkbox"/> Special Meetings (At discretion of Board) \$600			
B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF			
<input type="checkbox"/> Dimensioned Drawings and Plans <input type="checkbox"/> Site/Plot Plan <input type="checkbox"/> Existing or proposed buildings or addition on the property <input type="checkbox"/> Number & location of all on-site parking, if applicable		<input type="checkbox"/> Existing & proposed distance to adjacent property lines <input type="checkbox"/> Location of existing & proposed signs, if applicable <input type="checkbox"/> Floor plans & elevations <input type="checkbox"/> Any other information relevant to the Variance application	



ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

DIMENSIONAL USE SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING ADDITION TO EXISTING HOME/BUILDING SIGNAGE
 ACCESSORY BUILDING USE OTHER TEAR DOWN EXISTING DO
TO SAFETY CONCERNS

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

Ch. [Signature]
Applicant Signature

12/21/18
Date

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

Ch. [Signature]
Property Owner Signature

12/21/18
Date

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

GRANTED DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

Chairperson, Zoning Board of Appeals

Date



Community Development Department

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**REVIEW STANDARDS
DIMENSIONAL VARIANCE**

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.
 Not Applicable Applicable If applicable, describe below:

LOT IS VERY NARROW AND NOT VERY DEEP

and/or

- b. Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.
 Not Applicable Applicable If applicable, describe below:

WE WERE UNDERWAY TO BUILD AN ADDITION
WHEN THE REST OF THE BUILDING STARTED TO FALL,
WE THEN NOTICED / DISCOVERED THERE IS NO FOUNDATION
and/or
WHAT SO EVER

- c. Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.
 Not Applicable Applicable If applicable, describe below:

NOT SURE

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

THE PROPERTY WAS BUILT WITH UTILITY TO NO FOUNDATION.
EXISTING BUILDING ON THE

THE BUILDING IS TOO UNSAFE AT THIS POINT TO REPAIR

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

LOT SIZE IS VERY SMALL, EVEN WITH
A SMALL HOUSE 30 X 45' IT BARELY FITS
ON THE LOT.

Standard #4. Minimum Variance Necessary.

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

ALLOWING THE TYPE OF BUILDING WE'VE SELECTED
WILL GREATLY IMPROVE THE AREA. THIS
IS A \$115,000.00 IMPROVEMENT. THIS BUILDING
REALLY FITS THE NEIGHBORHOOD.

Standard #5. Adverse Impact on Surrounding Area.

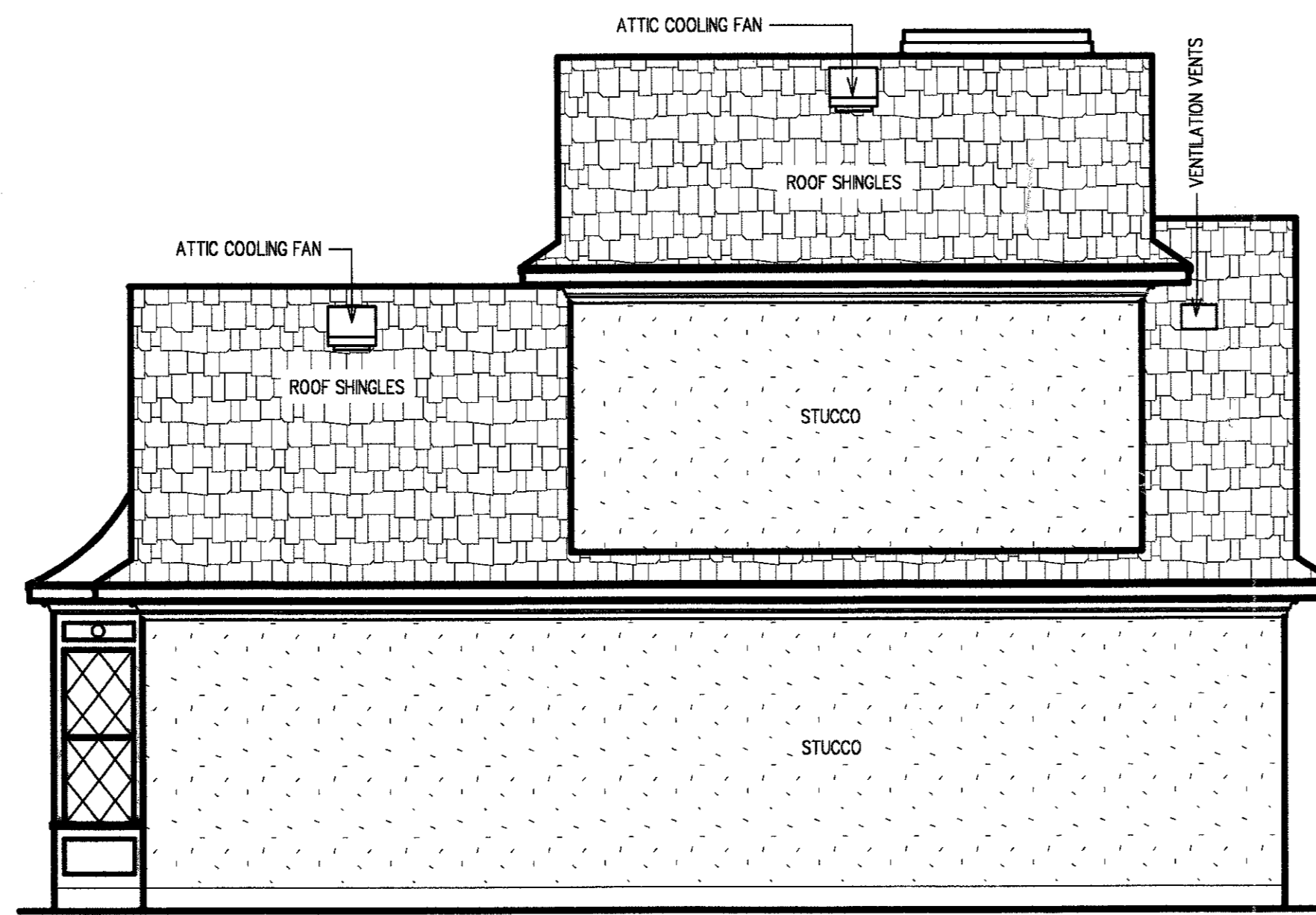
Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

THIS HAS NO NEGATIVE AFFECT ON THE ADJACENTS
OF THE NEIGHBORHOOD.



REAR ELEVATION

SCALE 1/4" = 1'-0"



RIGHT SIDE ELEVATION

SCALE 1/4" = 1'-0"

NOTE: DO NOT USE SYNTHETIC STUCCO



LEFT SIDE ELEVATION

SCALE 1/4" = 1'-0"

TEN STEPS YOU SHOULD DO BEFORE SUBMITTING YOUR PLANS FOR A PERMIT

1. CHECK YOUR PLANS TO MAKE SURE THAT YOU RECEIVED WHAT YOU ORDERED.

YOU SHOULD IMMEDIATELY CHECK YOUR PLANS TO MAKE SURE THAT YOU RECEIVED EXACTLY WHAT YOU ORDERED. ALL PLANS ARE CHECKED FOR CONTENT PRIOR TO SHIPPING, BUT MISTAKES DO HAPPEN. IF YOU FIND AN ERROR IN YOUR PLANS CALL 800-662-8262. ALL PLANS ARE DRAWN ON A PARTICULAR TYPE OF FOUNDATION AND ALL DETAILS OF THE PLAN WILL ILLUSTRATE THAT PARTICULAR FOUNDATION. IF YOU ORDERED AN ALTERNATE FOUNDATION TYPE, IT SHOULD BE INCLUDED IMMEDIATELY AFTER THE ORIGINAL FOUNDATION. TELL YOUR BUILDER WHICH FOUNDATION YOU WISH TO USE AND DISREGARD THE OTHER FOUNDATION.

IF YOU DISCOVER AN ERROR, CALL BRELAND & FARMER AT 800-662-8262. DO NOT CALL THE COMPANY WHERE YOU ORDERED THE PLANS.

2. CHECK TO MAKE SURE YOU HAVE PURCHASED THE PROPER PLAN LICENSE

IF YOU PURCHASED PRINTS, YOUR PLAN WILL HAVE A ROUND RED STAMP STATING "IF THIS STAMP IS NOT RED IT IS AN ILLEGAL SET OF PLANS. THIS LICENSE GRANTS THE PURCHASER THE RIGHT TO BUILD ONE HOME USING THESE CONSTRUCTION DRAWINGS. IT IS ILLEGAL TO MAKE COPIES, DOING SO IS ILLEGAL AND PUNISHABLE UP TO \$100,000 PER OFFENSE PLUS ATTORNEY FEES. IF YOU NEED MORE PRINTS, CALL 800-662-8262. THE HOME BUILDING INDUSTRY IS MONITORED FOR ILLEGAL PRINTS BY THE COUNCIL OF PUBLISHING HOME DESIGNERS.

IT IS ALSO ILLEGAL TO MODIFY OR REDRAW THE PLAN IF YOU PURCHASED A PRINT. IF YOU PURCHASED PRINTS AND NEED TO MODIFY THE PLAN, YOU CAN UPGRADE TO THE REPRODUCIBLE PLAN - CALL 800-662-8262

IF YOU PURCHASED A REPRODUCIBLE DRAWING, YOU HAVE THE RIGHT TO MODIFY THE PLAN AND MAKE UP TO 10 COPIES. A REPRODUCIBLE PLAN COMES WITH A LICENSE THAT YOU MUST SURRENDER TO THE PRINTER OR ARCHITECT MAKING YOUR CHANGES.

3. COMPLETE THE "OWNER SELECTION" PORTION OF THE PLAN

THE WORKING DRAWINGS ARE VERY COMPLETE BUT THERE ARE ITEMS THAT YOU MUST DECIDE UPON. EXAMPLE - THE PLANS SHOW A TOILET IN THE BATH ROOM BUT THERE ARE HUNDREDS OF MODELS TO CHOOSE FROM. YOUR INDIVIDUAL SELECTION SHOULD BE MADE BASED UPON THE COLOR, STYLE AND PRICE YOU WISH TO PAY. THIS SAME THING IS TRUE FOR ALL OF THE PLUMBING FIXTURES, LIGHT FIXTURES, APPLIANCES, INTERIOR FINISHES (FOR THE FLOORS, WALLS AND CEILINGS) AND THE EXTERIOR FINISHES. WE HAVE INCLUDED SCHEDULES TO MAKE THIS PROCESS AS EASY AS POSSIBLE. IT IS VITAL THAT YOU COMPLETE THE COST ALLOWANCE SCHEDULES IN ORDER TO OBTAIN ACCURATE COMPETITIVE BIDS FOR THE CONSTRUCTION OF YOUR HOME.

4. COMPLETE YOUR PERMIT PACKAGE BY ADDING OTHER DOCUMENTS THAT MAY BE REQUIRED

YOUR PERMIT DEPARTMENT, LENDER AND BUILDER WILL NEED OTHER DRAWINGS OR DOCUMENTS THAT MUST BE OBTAINED LOCALLY. THESE ITEMS ARE EXPLAINED BELOW.

5. OBTAIN A HEATING & COOLING CALCULATION AND LAYOUT

THE HEATING AND COOLING SYSTEM MUST BE CALCULATED AND DESIGNED FOR YOUR EXACT HOME AND YOUR LOCATION. EVEN THE ORIENTATION OF YOUR HOME CAN EFFECT THE SYSTEM SIZE. THIS SERVICE IS NORMALLY PROVIDED FREE OF CHARGE BY THE MECHANICAL COMPANY THAT IS SUPPLYING THE EQUIPMENT AND INSTALLATION. HOWEVER, TO GET AN UNBIASED CALCULATION AND EQUIPMENT RECOMMENDATION, WE SUGGEST EMPLOYING THE SERVICES OF A MECHANICAL ENGINEER.

6. OBTAIN A SITE PLAN

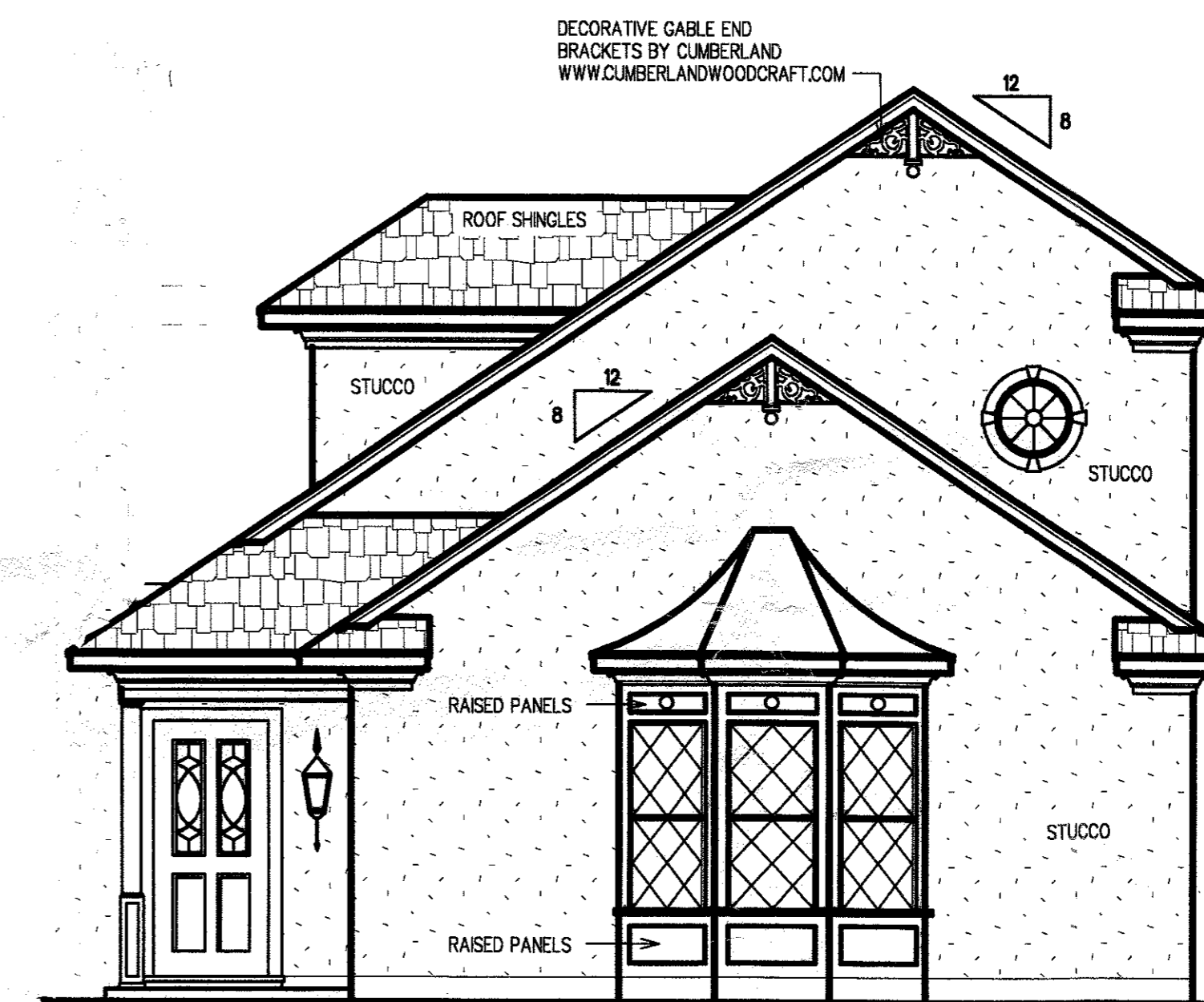
A SITE PLAN IS A DOCUMENT THAT SHOWS THE RELATIONSHIP OF YOUR HOME TO YOUR PROPERTY. IT MAY BE AS SIMPLE AS THE DOCUMENT YOUR SURVEYOR PROVIDES OR IT CAN BE A COMPLEX COLLECTION OF DRAWINGS SUCH AS THOSE PREPARED BY A LANDSCAPE ARCHITECT. TYPICALLY, THE DOCUMENT PREPARED BY A SURVEYOR WILL ONLY SHOW THE PROPERTY BOUNDARIES AND THE FOOTPRINT OF THE HOME. LANDSCAPE ARCHITECTS CAN PROVIDE PLANNING AND DRAWINGS FOR ALL SITE AMENITIES SUCH AS DRIVEWAYS AND WALKWAYS, OUTDOOR STRUCTURES SUCH AS POOLS, PLANTING PLANS, IRRIGATION PLANS AND OUTDOOR LIGHTING.

7. OBTAIN EARTHQUAKE OR HURRICANE ENGINEERING IF YOU ARE PLANNING TO BUILD IN A EARTHQUAKE OR HURRICANE ZONE.

IF YOU ARE BUILDING IN A EARTHQUAKE OR HURRICANE ZONE, YOUR PERMIT DEPARTMENT WILL MOST LIKELY REQUIRE YOU TO SUBMIT CALCULATIONS AND DRAWINGS TO ILLUSTRATE THE ABILITY OF YOUR HOME TO WITHSTAND THOSE FORCES. THIS INFORMATION IS NEVER INCLUDED WITH PRE-DRAWN PLANS BECAUSE IT WOULD FORMALIZE THE VAST MAJORITY OF PLAN PURCHASERS WHO DO NOT BUILD IN THOSE ZONES. THIS INFORMATION IS USUALLY PROVIDED BY A STRUCTURAL ENGINEER LICENSED BY THE STATE WHERE YOU ARE BUILDING.

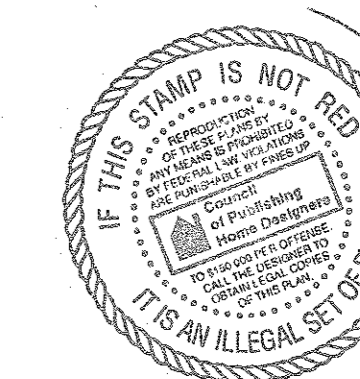
TERMS AND CONDITIONS FOR USE OF THIS PLAN

TERMS AND CONDITIONS: BRELAND & FARMER ASSUMES NO LIABILITY OR RESPONSIBILITY IN CONNECTION WITH THE BUILDING OF A HOME UTILIZING THIS PLAN EXCEPT WHEN THE DESIGNER IS EMPLOYED TO OVERSEE AND MANAGE THE ENTIRE BUILDING PROCESS TO INSURE THAT ALL ASPECTS OF THE CONSTRUCTION ARE IN ACCORDANCE WITH THE INTENTION OF THE DESIGNER. THIS SERVICE IS AVAILABLE TO ALL PURCHASERS OF THE PLAN FOR A FEE EQUIVALENT TO 12% OF THE COST OF BUILDING THE HOME. THE PURCHASER OF THE PLAN AGREES TO INDEMNIFY, DEFEND AND HOLD HARMLESS BRELAND & FARMER (INCLUDING BRELAND & FARMER'S DIRECTORS, OFFICERS, AGENTS AND REPRESENTATIVES) FROM AND AGAINST ANY AND ALL LIABILITY, LOSSES, DAMAGES, FINES, AWARDS, JUDGEMENTS AND CLAIMS (INCLUDING COUNSEL FEES AND EXPENSES) INCURRED AS A RESULT OF BUILDING A HOME USING THIS PLAN UNLESS BRELAND & FARMER IS RETAINED TO SUPERVISE THE ACTUAL CONSTRUCTION AS STATED ABOVE. USE OF THIS PLAN SHALL INDICATE THE ACCEPTANCE OF THIS LICENSE AGREEMENT.



FRONT ELEVATION

SCALE 1/4" = 1'-0"



B A HOME DESIGN BY BRELAND & FARMER DESIGNERS EDEL BRELAND, FAIBD

8. REVIEW YOUR PLAN TO SEE IF MODIFICATIONS ARE NEEDED

THESE PLANS HAVE BEEN DESIGNED TO ASSUMED CONDITIONS AND DO NOT ADDRESS THE INDIVIDUAL SITE WHERE YOU ARE BUILDING. CONDITIONS CAN VARY GREATLY INCLUDING SOIL CONDITIONS, WIND & SNOW LOADS AND TEMPERATURE. ANY ONE OF THESE CONDITIONS MAY REQUIRE SOME MODIFICATION OF YOUR PLAN. EXAMPLE - IF YOU LIVE IN AN AREA THAT RECEIVES SNOW, STRUCTURAL CHANGES MAY BE NECESSARY. WE SUGGEST:

1. HAVE YOUR SOIL TESTED BY A SOIL TESTING LABORATORY SO THAT SUB-SURFACE CONDITIONS CAN BE DETERMINED AT YOUR SPECIFIC BUILDING SITE. THE FINDINGS OF THE SOIL TESTING LABORATORY SHOULD BE REVIEWED BY A STRUCTURAL ENGINEER TO DETERMINE IF THE EXISTING PLAN FOUNDATION IS SUITABLE OF IF MODIFICATIONS ARE NEEDED.

2. HAVE YOUR ENTIRE PLAN REVIEWED BY YOUR BUILDER OR A STRUCTURAL ENGINEER TO DETERMINE IF OTHER DESIGN ELEMENTS, SUCH AS LOAD BEARING BEAMS, ARE SIZED APPROPRIATELY FOR THE CONDITIONS THAT EXIST AT YOUR SITE.

NOW THAT YOU HAVE THE COMPLETE PLAN, YOU MAY DISCOVER ITEMS THAT YOU WISH TO MODIFY TO SUIT YOUR OWN PERSONAL TASTE OR DECOR. TO CHANGE THE DRAWINGS, YOU MUST HAVE THE REPRODUCIBLE DRAWING (SEE ITEM 2). BRELAND & FARMER CAN MAKE THE CHANGES FOR YOU IF YOU PREFER. FOR COMPLETE INFORMATION REGARDING MODIFICATIONS, INCLUDING OUR FEES, GO TO WWW.BFLANS.COM AND CLICK ON THE WORD "MODIFICATIONS" LOCATED ON THE HOME PAGE.

9. RECORD YOUR BLUEPRINT LICENSE NUMBER

RECORD YOUR BLUEPRINT LICENSE NUMBER FOR EASY REFERENCE. IF YOU OR YOUR BUILDER SHOULD NEED TECHNICAL SUPPORT THE LICENSE NUMBER IS REQUIRED.

YOUR LICENSE NUMBER IS 52502005

10. KEEP ONE SET OF PLANS AS LONG AS YOU OWN THE HOME

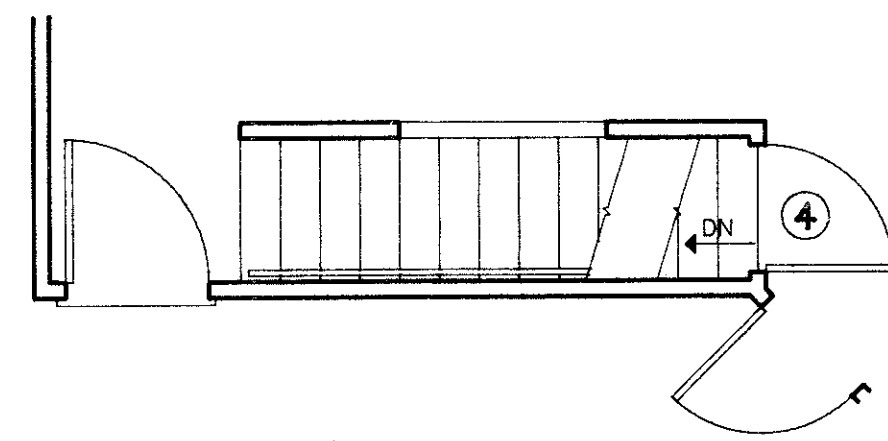
BE SURE TO FILE ONE COPY OF YOUR HOME PLAN AWAY FOR SAFE KEEPING. YOU MAY NEED A COPY IN THE FUTURE IF YOU REMODEL OR SELL THE HOME. BY FILING A COPY AWAY FOR SAFE KEEPING, YOU CAN AVOID THE COST OF HAVING TO PURCHASE PLANS LATER ON.

SHEET

1 OF 7

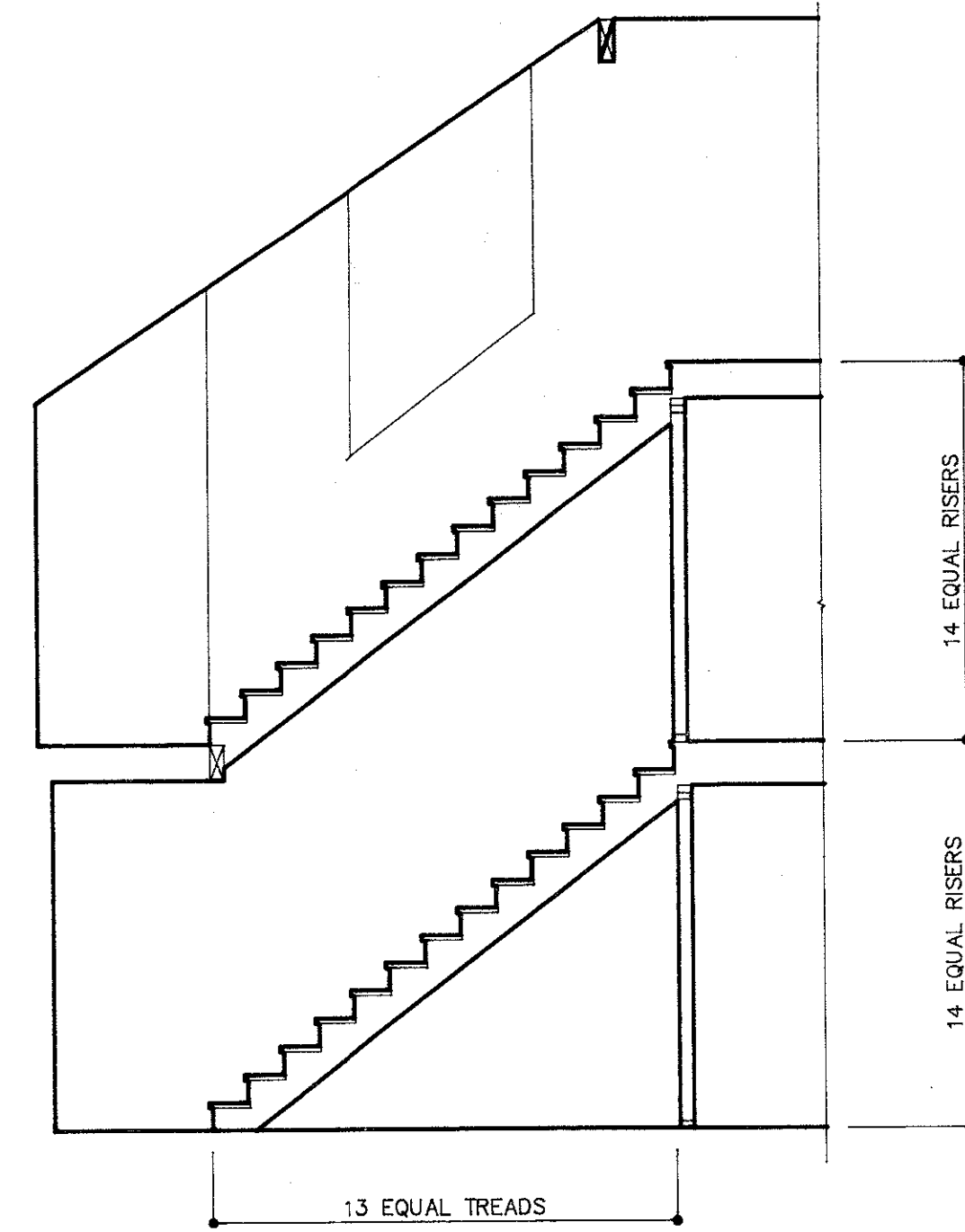
PLAN NUMBER

1002



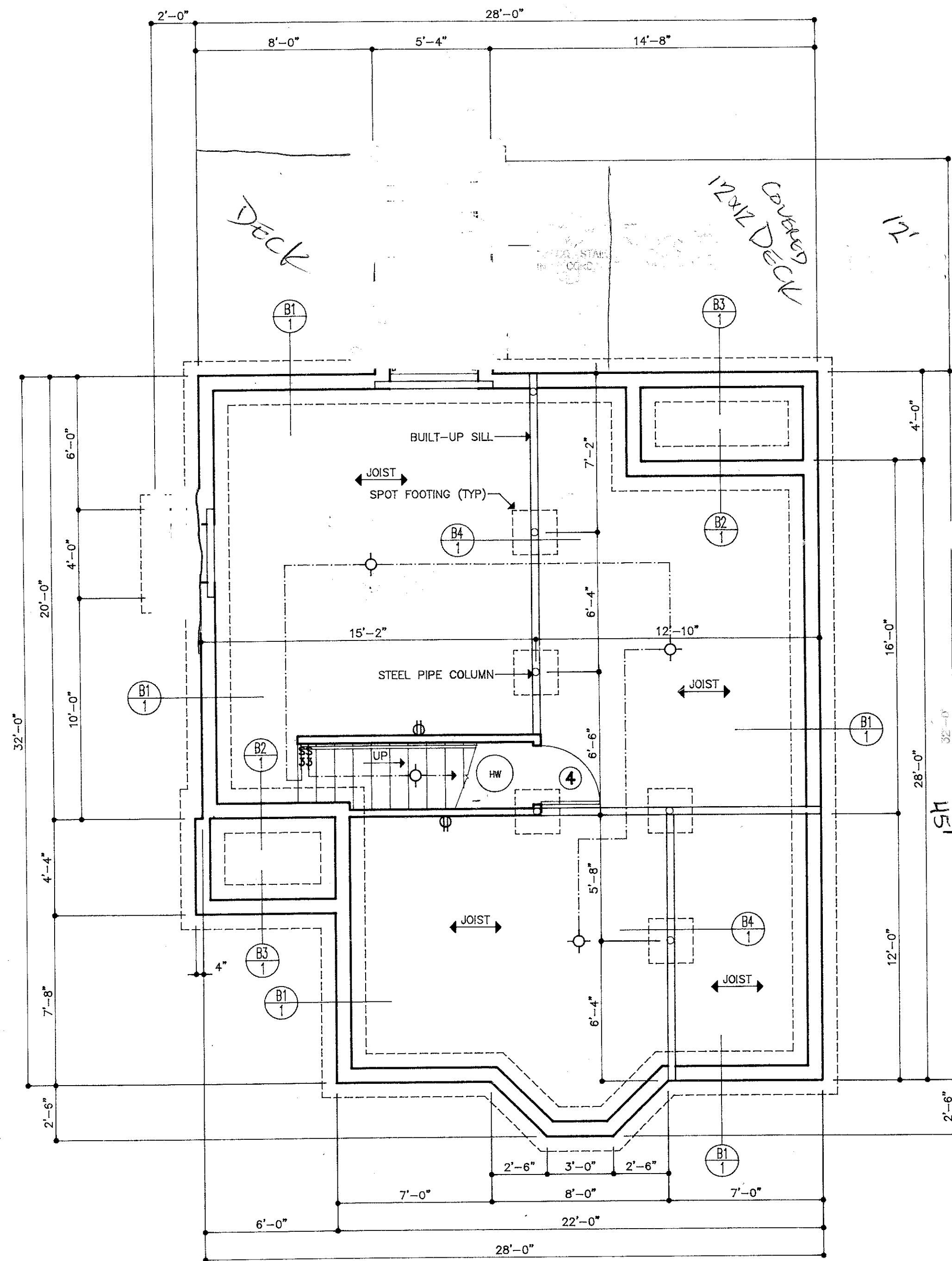
ALT. FLOOR PLAN @ STAIRS

SCALE: $\frac{1}{4}" = 1'-0"$



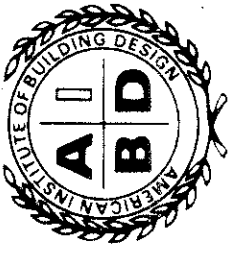
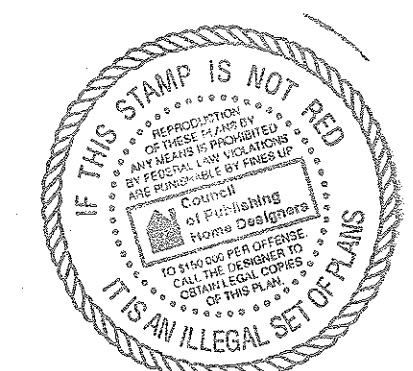
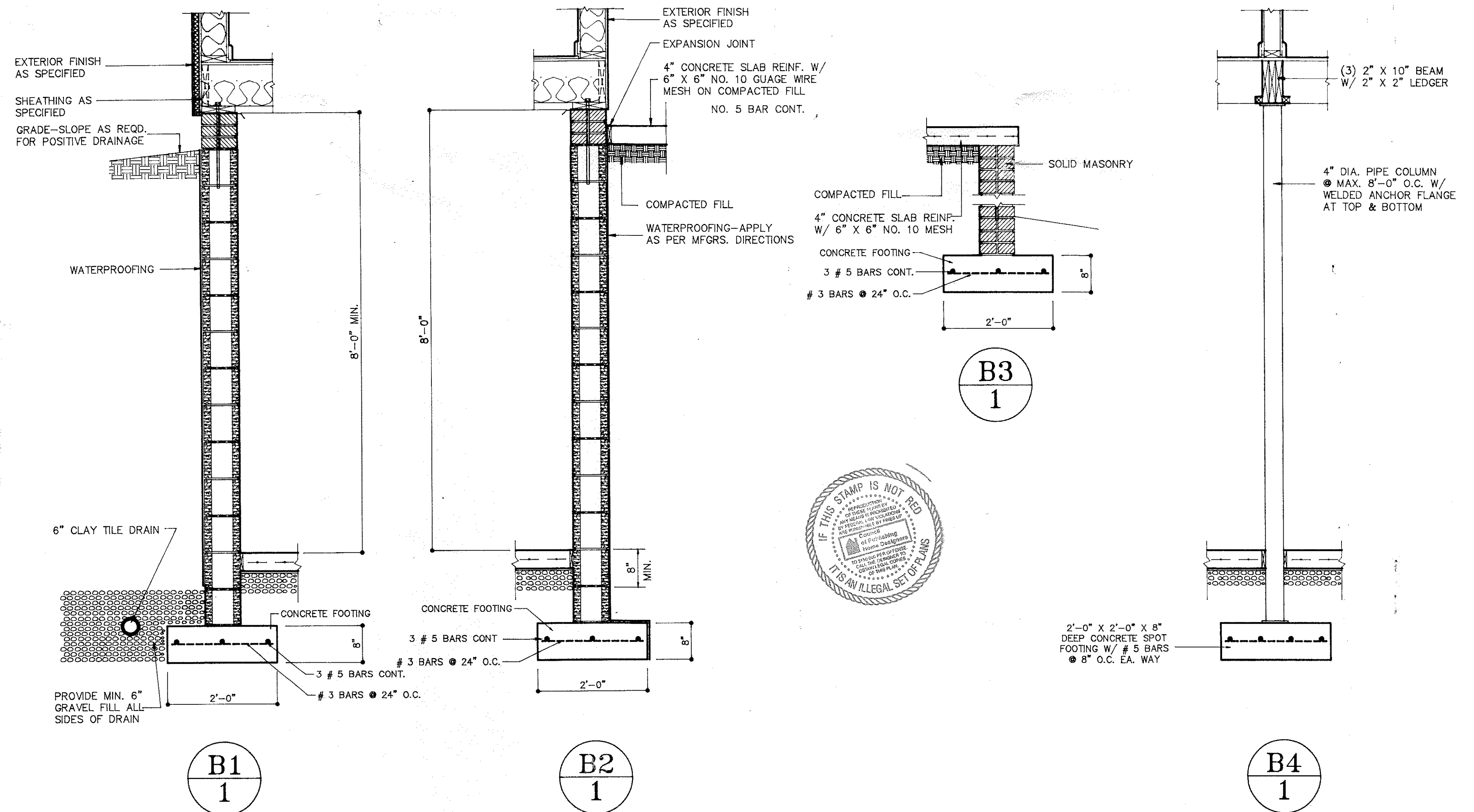
SECTION THRU STAIRS

SCALE: $\frac{1}{4}" = 1'-0"$



ALTERNATE BASEMENT PLAN

SCALE: $\frac{1}{4}" = 1'-0"$



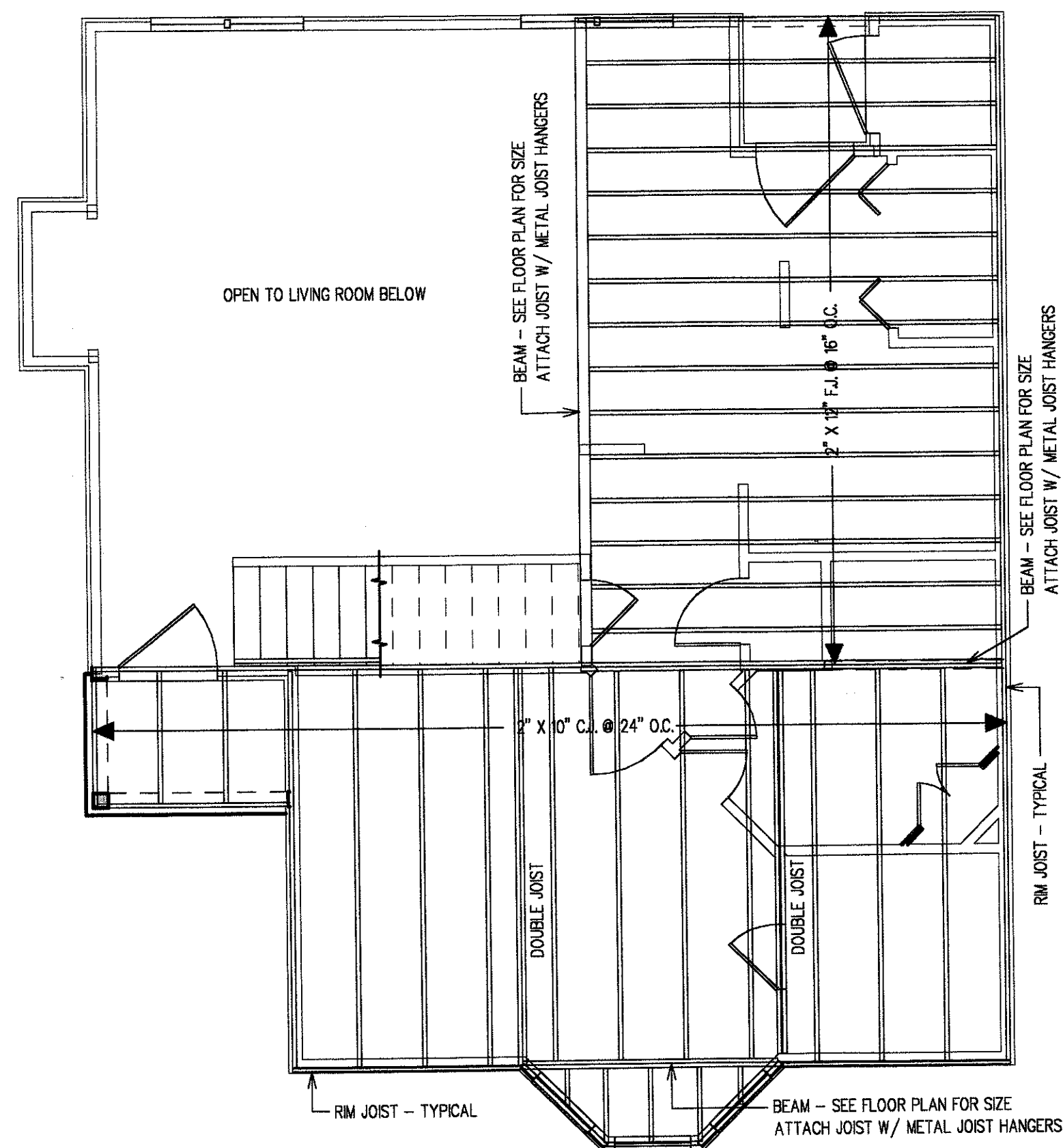
BRELAND & FARMER DESIGNERS, Inc.
 431 LAKELAND EAST DRIVE, JACKSON, MS 39208/PHONE (601) 932-3332
 FAX (601) 932-3333
 DIMENSIONS & CONDITIONS TO BE VERIFIED BY CONTRACTOR



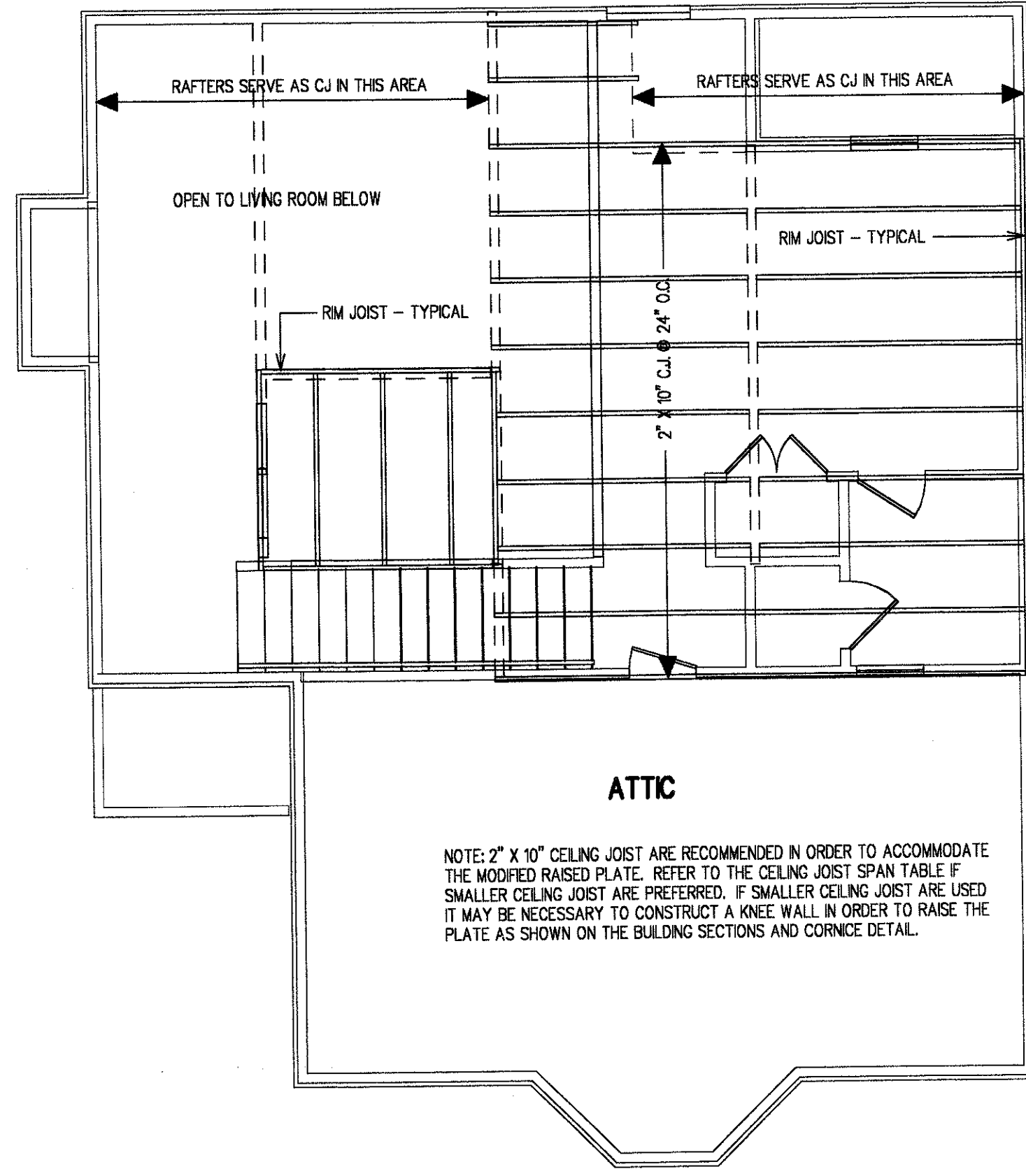
DATE	7-30-90
DRAWN BY	R. WELLS
CHECKED BY	
REVISIONS	

1	1
PLAN NO.	1002

MAIN LEVEL CEILING FRAMING PLAN AND UPPER LEVEL FLOOR FRAMING PLAN

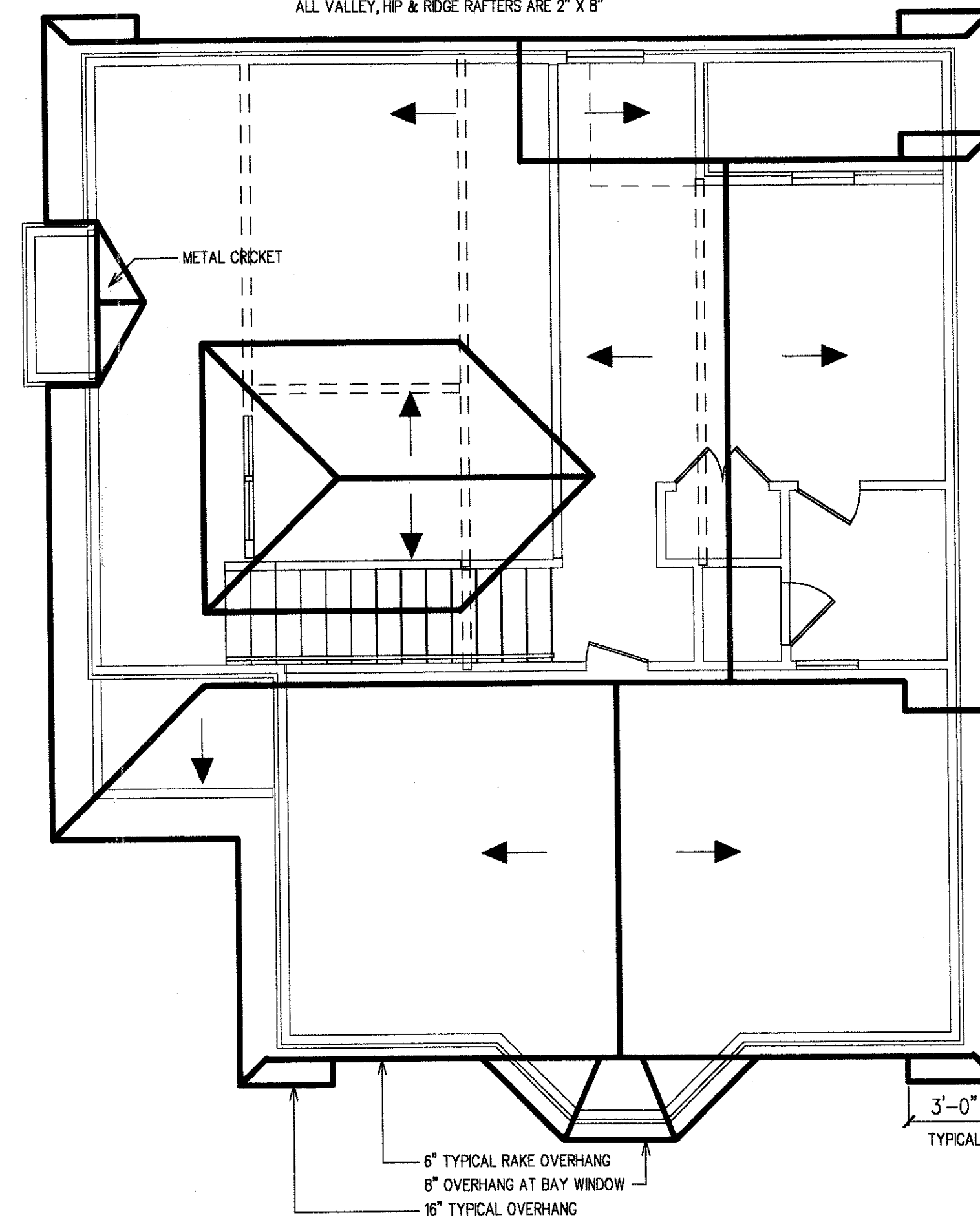


UPPER LEVEL CEILING FRAMING PLAN



ROOF FRAMING PLAN

ALL COMMON RAFTERS ARE 2" X 6" AT 24" O.C.
ALL VALLEY, HP & RIDGE RAFTERS ARE 2" X 8"



SIZE OF HEADER	SUPPORTING ROOF ONLY	1 STORY ABOVE	2 STORES	NONE
2" X 6"	6'	4'	-	-
2" X 8"	8'	6'	-	10'
2" X 10"	10'	8'	6'	12'
2" X 12"	12'	10'	8'	16'

SIZE	10/5 NO ATTIC STORAGE	20/10 LIMITED ATTIC STORAGE
2" X 6"	12' O.C.	16" O.C.
2" X 8"	15' O.C.	20" O.C.
2" X 10"	18' O.C.	24" O.C.
2" X 12"	21' O.C.	28" O.C.

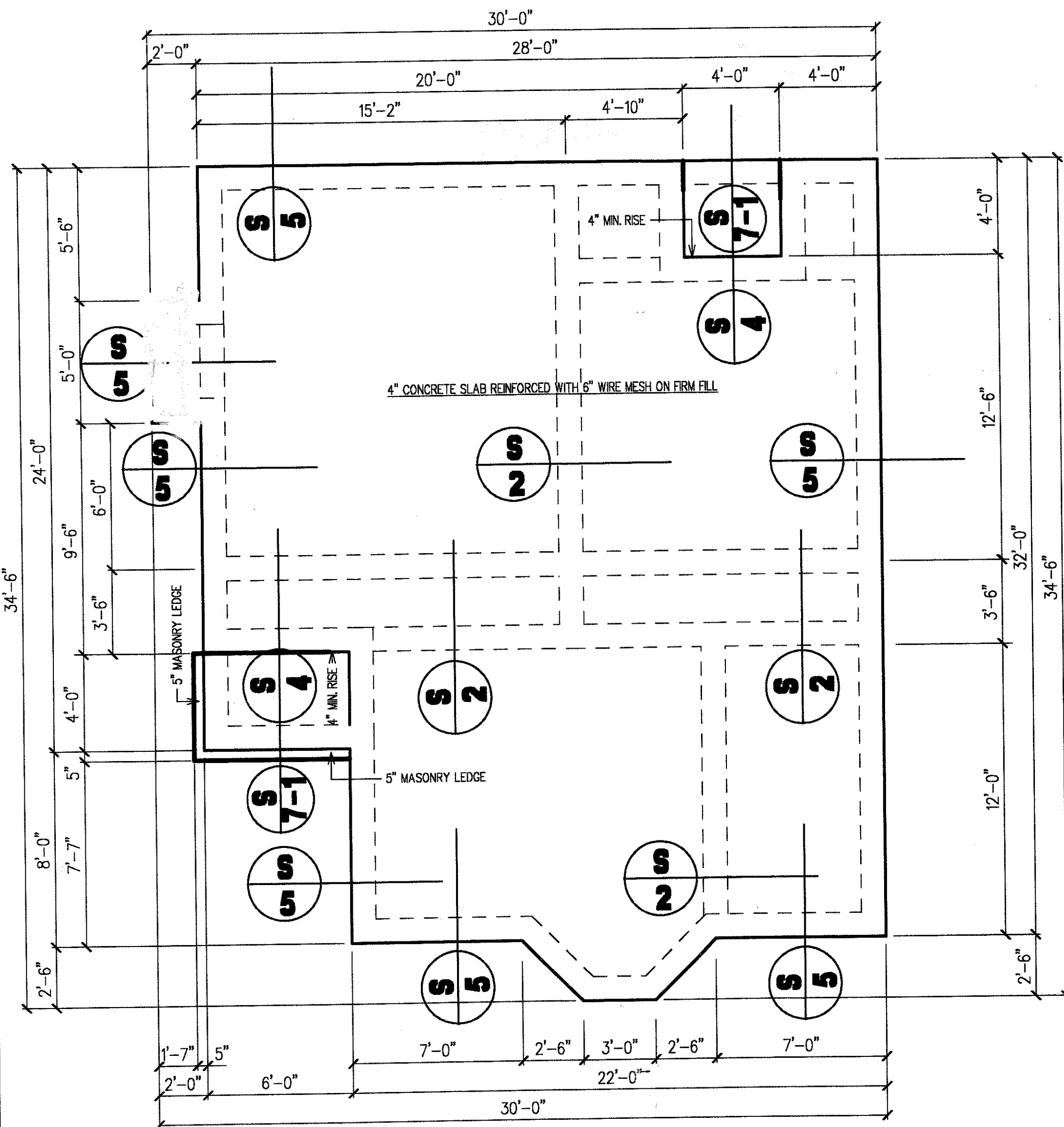
SIZE	30/10 SLEEPING ROOMS	40/10 ALL OTHER ROOMS
2" X 6"	11' O.C.	10' O.C.
2" X 8"	14' O.C.	12' O.C.
2" X 10"	17' O.C.	15' O.C.
2" X 12"	20' O.C.	18' O.C.

SIZE	20 PSF LIVE LOAD / 10 PSF DEAD LOAD
2" X 6"	15' O.C.
2" X 8"	20' O.C.
2" X 10"	25' O.C.
2" X 12"	30' O.C.

- GENERAL NOTES:**
- ALL EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF EXTERIOR STUDS
 - ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED
 - THESE PLANS WERE DESIGNED IN ACCORDANCE WITH GENERAL CONSTRUCTION PRACTICES OF THE AREA IN WHICH THEY WERE DESIGNED AND TO THE CURRENT CODES. DUE TO VARYING CONDITIONS AND TRADE PRACTICE, IT MAY BE NECESSARY TO MODIFY OR ADJUST THE PLAN TO MEET LOCAL CONDITIONS. CONSULT YOUR LOCAL PERMIT DEPARTMENT. IT IS THE RESPONSIBILITY OF THE PLAN PURCHASER OR CONTRACTOR TO VERIFY ALL DATA OF THE PLANS AND TO ADJUST PLAN AS NECESSARY TO MEET ALL FEDERAL, STATE AND LOCAL CODES.
 - THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES OR PROBLEMS OBSERVED PRIOR TO STARTING CONSTRUCTION.
 - DESIGN LOADS ARE AS FOLLOWS PER SQUARE FOOT:

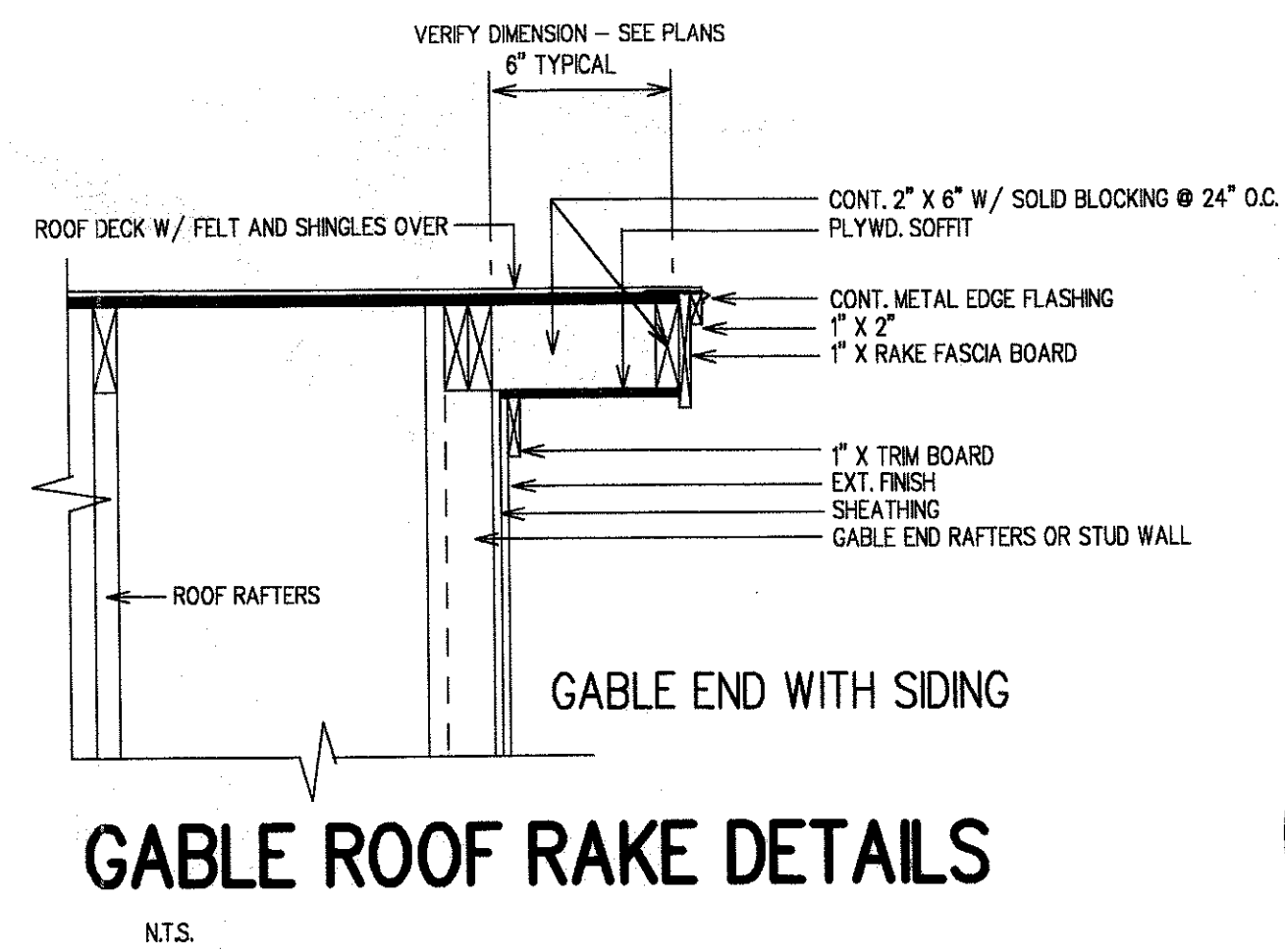
LOCATION	LIVE	DEAD
FLOOR (SLEEPING ROOMS)	30	10
FLOOR (OTHER ROOMS)	40	10
ATTIC W/ NO STORAGE	10	10
ATTIC W/ STORAGE	30	10
ROOF (NO CEILING)	20	10
ROOF WITH CEILING	20	15

 SNOW LOADS SP5F. RAFTER SIZES MAY NEED TO BE INCREASED FOR HIGHER SNOW LOADS.

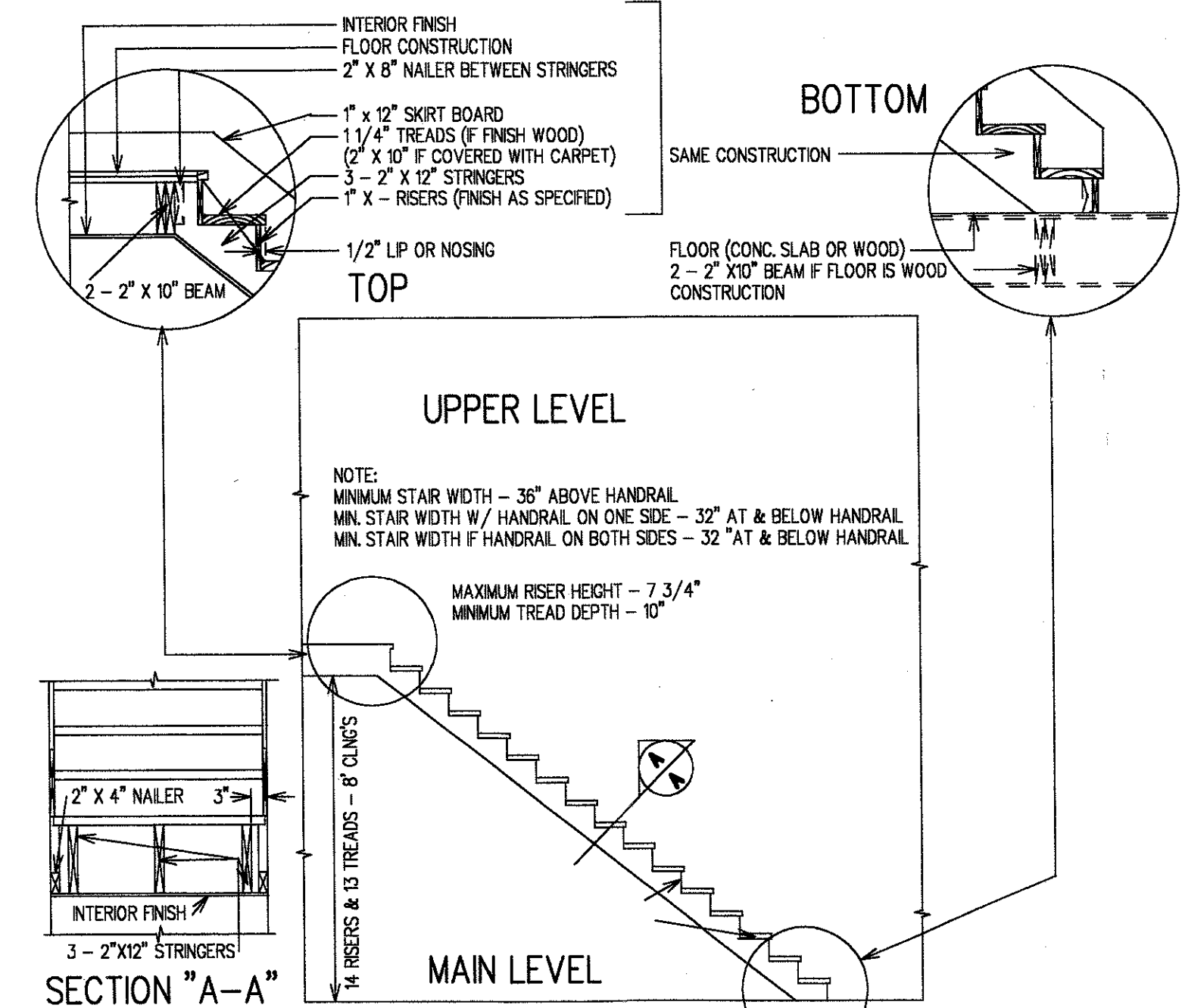


FOUNDATION PLAN FOR SLAB CONSTRUCTION

IMPORTANT NOTE: THIS FOUNDATION PLAN HAS BEEN DESIGNED FOR UNIVERSAL CONDITIONS AND DOES NOT ADDRESS A SPECIFIC SITE. IT IS RECOMMENDED THAT SOIL SAMPLES BE TAKEN AT THE SITE BY A COMPETENT SOIL TESTING LABORATORY. FOUNDATION SHOULD BE MODIFIED BY A LOCAL STRUCTURAL ENGINEER FAMILIAR WITH LOCAL CONDITIONS TO COMPLY WITH THE FINDINGS AND RECOMMENDATIONS OF THE SOIL TESTING LAB.



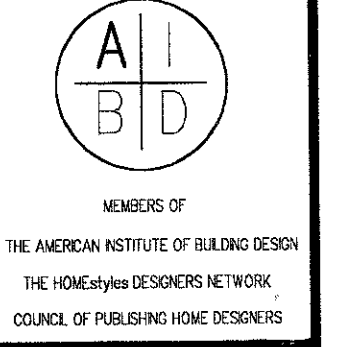
GABLE ROOF RAKE DETAILS



STAIR DETAILS

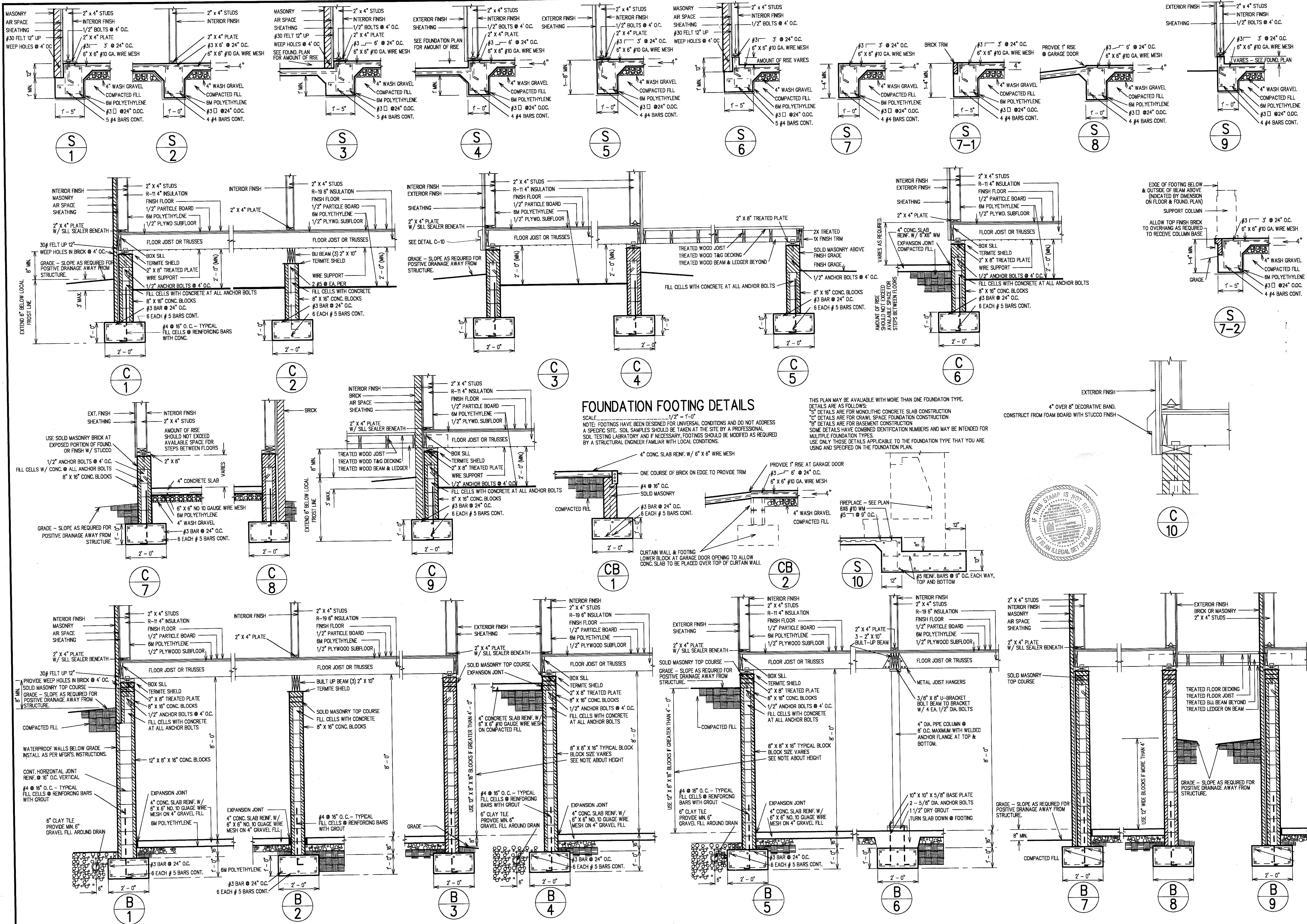
NTS

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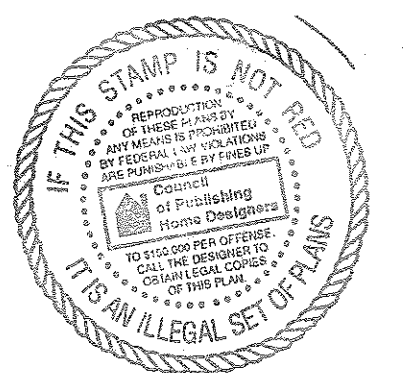
DATE	August 2010
DRAWN BY	EEB
CHECKED BY	
REVISIONS	
SHEETS	7
PLAN NUMBER	1002



FOUNDATION FOOTING DETAILS

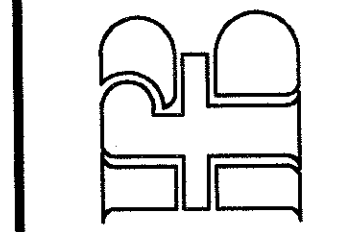
SCALE: 1/2" = 1'-0"
 NOTE: FOOTINGS HAVE BEEN DESIGNED FOR UNIVERSAL CONDITIONS AND DO NOT ADDRESS A SPECIFIC SITE. SOIL SAMPLES SHOULD BE TAKEN AT THE SITE BY A PROFESSIONAL SOIL TESTING LABORATORY AND IF NECESSARY, FOOTINGS SHOULD BE MODIFIED AS REQUIRED BY A STRUCTURAL ENGINEER FAMILIAR WITH LOCAL CONDITIONS.

THIS PLAN MAY BE AVAILABLE WITH MORE THAN ONE FOUNDATION TYPE. DETAILS ARE AS FOLLOWS:
 "S" DETAILS ARE FOR MONOLITHIC CONCRETE SLAB CONSTRUCTION
 "C" DETAILS ARE FOR CRAWL SPACE FOUNDATION CONSTRUCTION
 "B" DETAILS ARE FOR BASEMENT CONSTRUCTION
 SOME DETAILS HAVE COMBINED IDENTIFICATION NUMBERS AND MAY BE INTENDED FOR MULTIPLE FOUNDATION TYPES.
 USE ONLY THOSE DETAILS APPLICABLE TO THE FOUNDATION TYPE THAT YOU ARE USING AND SPECIFIED ON THE FOUNDATION PLAN.



IMPORTANT NOTES:
 BLUEPRINTS ARE REPRODUCTIONS OF AN ORIGINAL. ORIGINAL AND ALL REPRODUCTIONS ARE THE PROPERTY OF BRELAND & FARMER. THE BUYER USES BLUEPRINTS AT HIS OWN RISK. BRELAND & FARMER ASSUMES NO LIABILITY FOR THE CONSTRUCTION OF ANY WORK REPRODUCED FROM THESE BLUEPRINTS. THE BUYER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE LOCAL BUILDING DEPARTMENT. BRELAND & FARMER CAN MODIFY THE PLANS OR MAKE CHANGES TO A CHANGEBAR DRAWING. CALL (800) 532-5337 FOR FULL DETAILS.

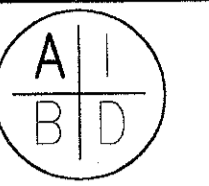
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DATE: August 2010
 DRAWN BY: EEB
 CHECKED BY:
 REVISIONS:

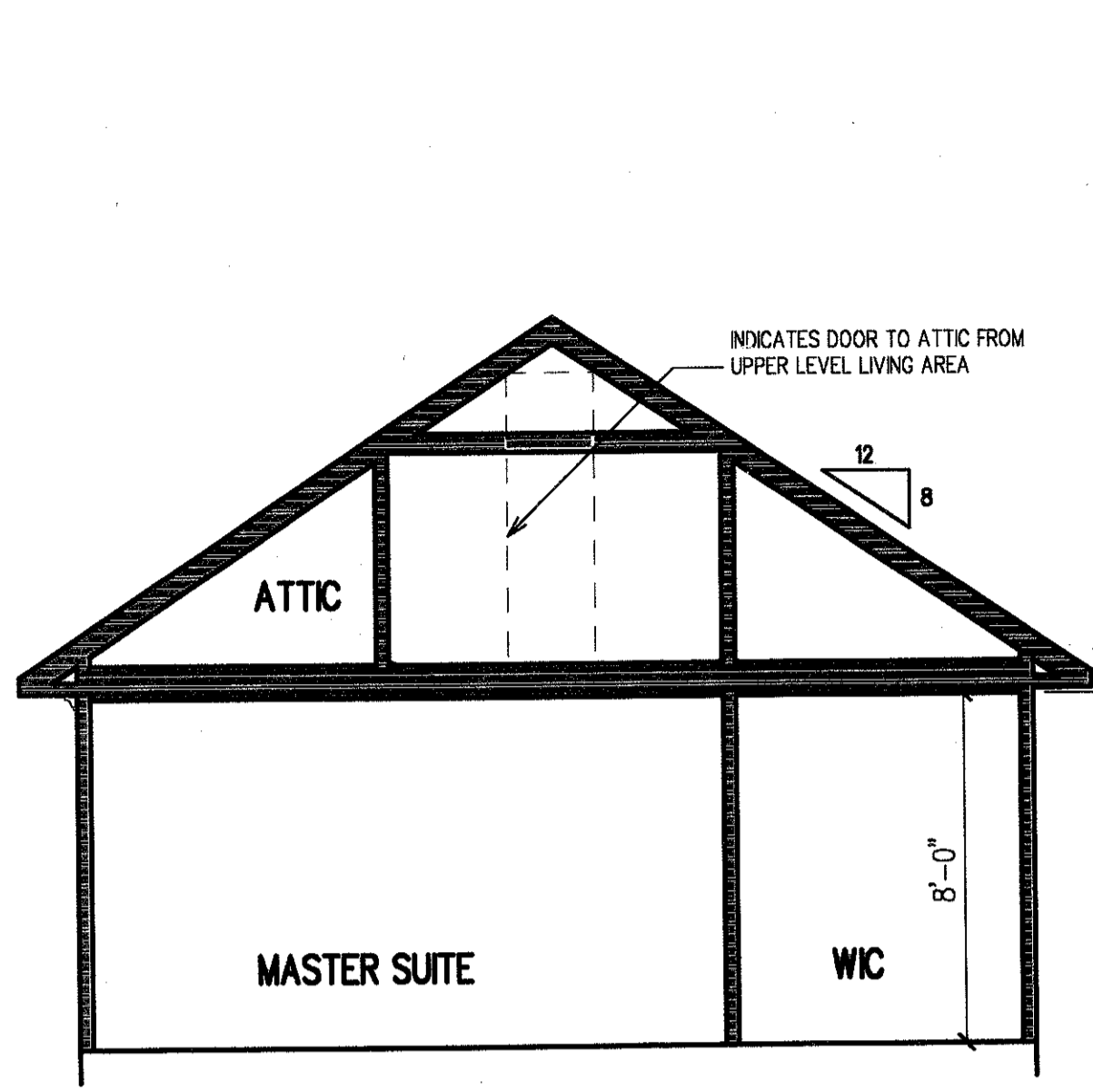
3 SHEETS OF 7
 1002

IMPORTANT NOTES:
 BLUEPRINTS ARE REPRODUCTIONS OF AN ORIGINAL DRAWING AND ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF BRELAND & FARMER DESIGNERS, INC. THE PURCHASER OF THIS SET OF BLUEPRINTS IS A LICENSEE THAT CANNOT BE TRANSFERRED TO ANY OTHER PARTY. THE CONSTRUCTION OF THIS HOME IS THE RESPONSIBILITY OF THE CONTRACTOR. BRELAND & FARMER DESIGNERS, INC. IS NOT RESPONSIBLE FOR ANY CHANGES OR MODIFICATIONS TO THIS PLAN. A CHANGE ORDER MUST BE OBTAINED FROM BRELAND & FARMER DESIGNERS, INC. BEFORE ANY CHANGES ARE MADE TO THIS PLAN. A CHANGE ORDER IS AVAILABLE FOR PURCHASE. CALL 800-662-8262 FOR FULL DETAILS.

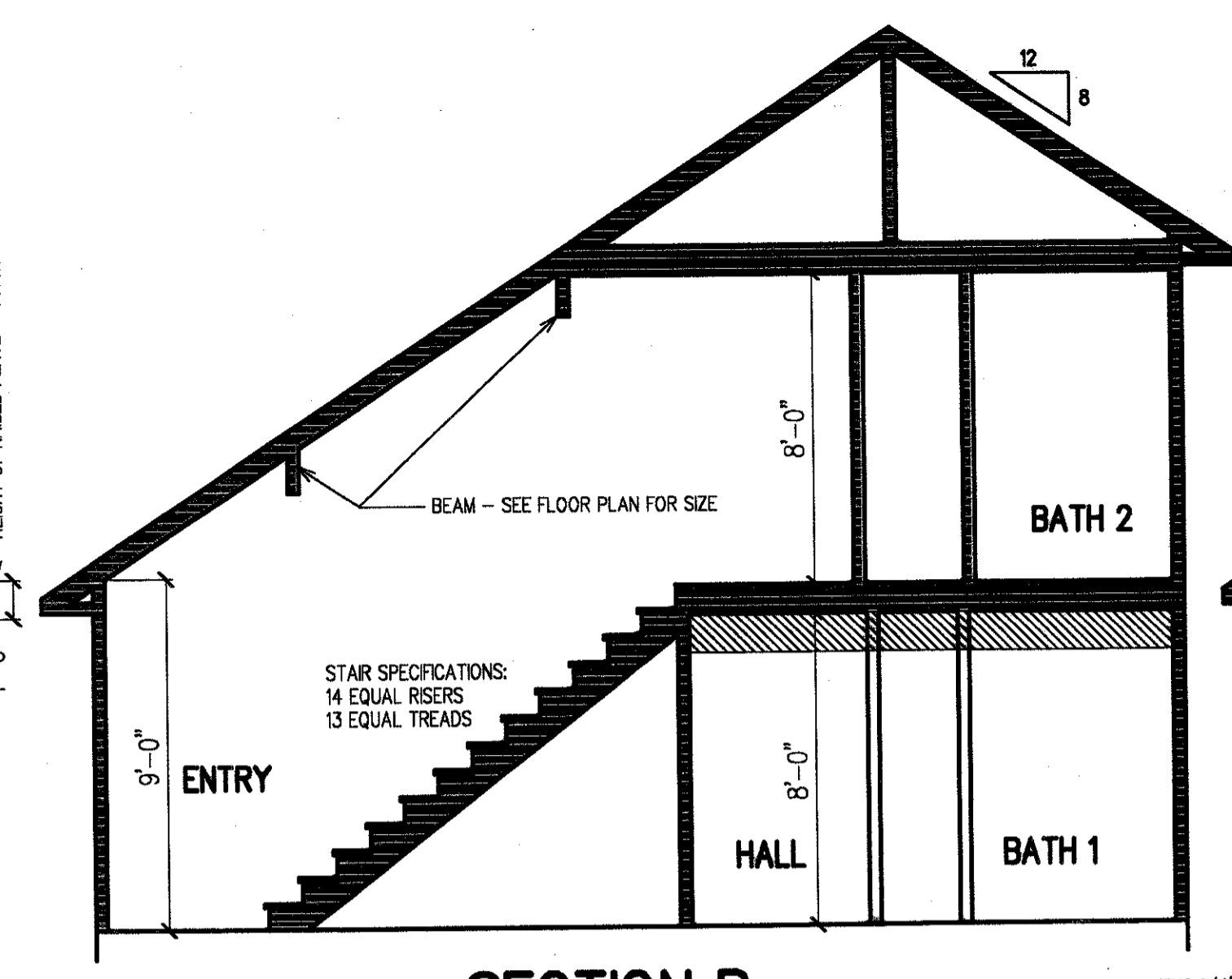


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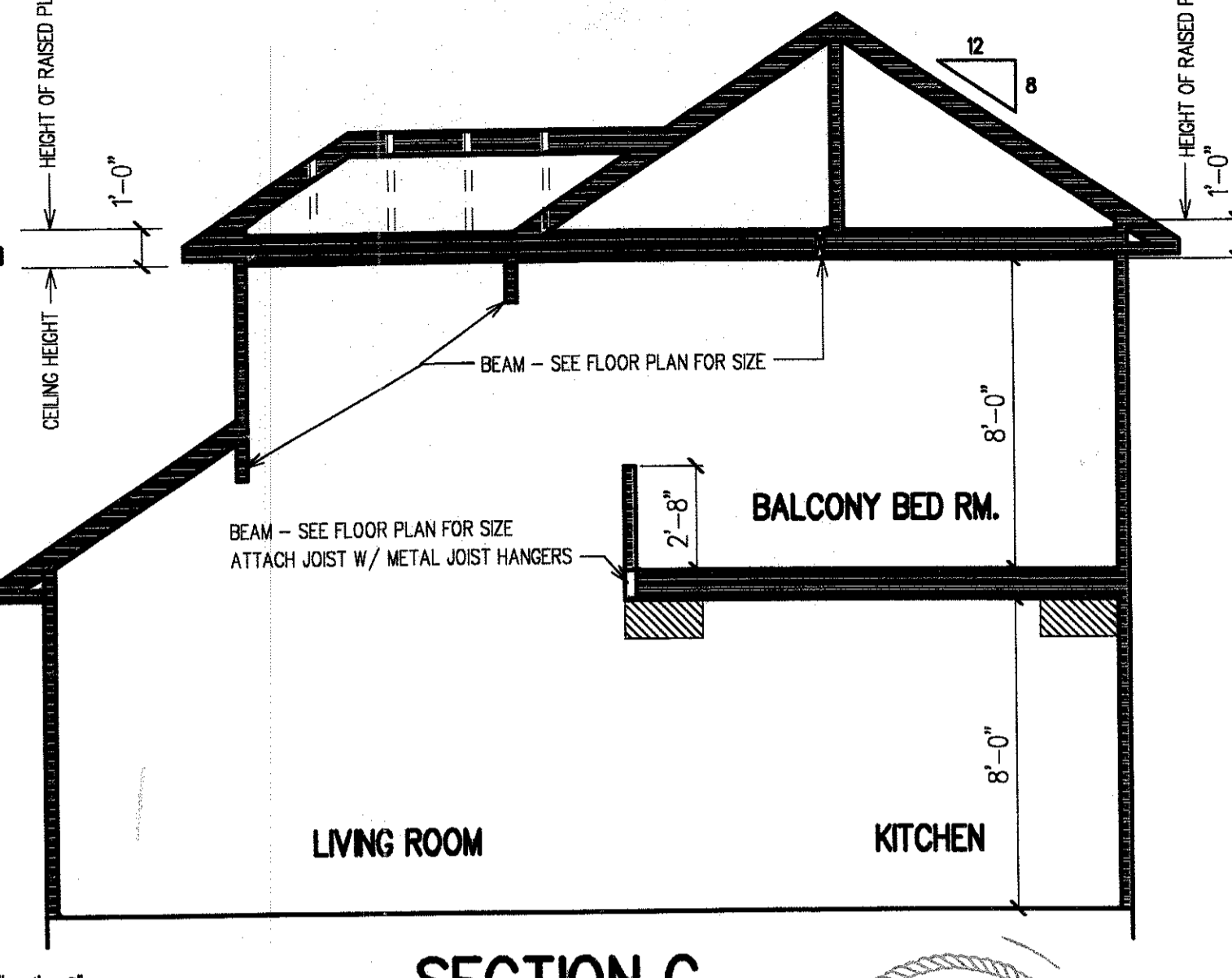
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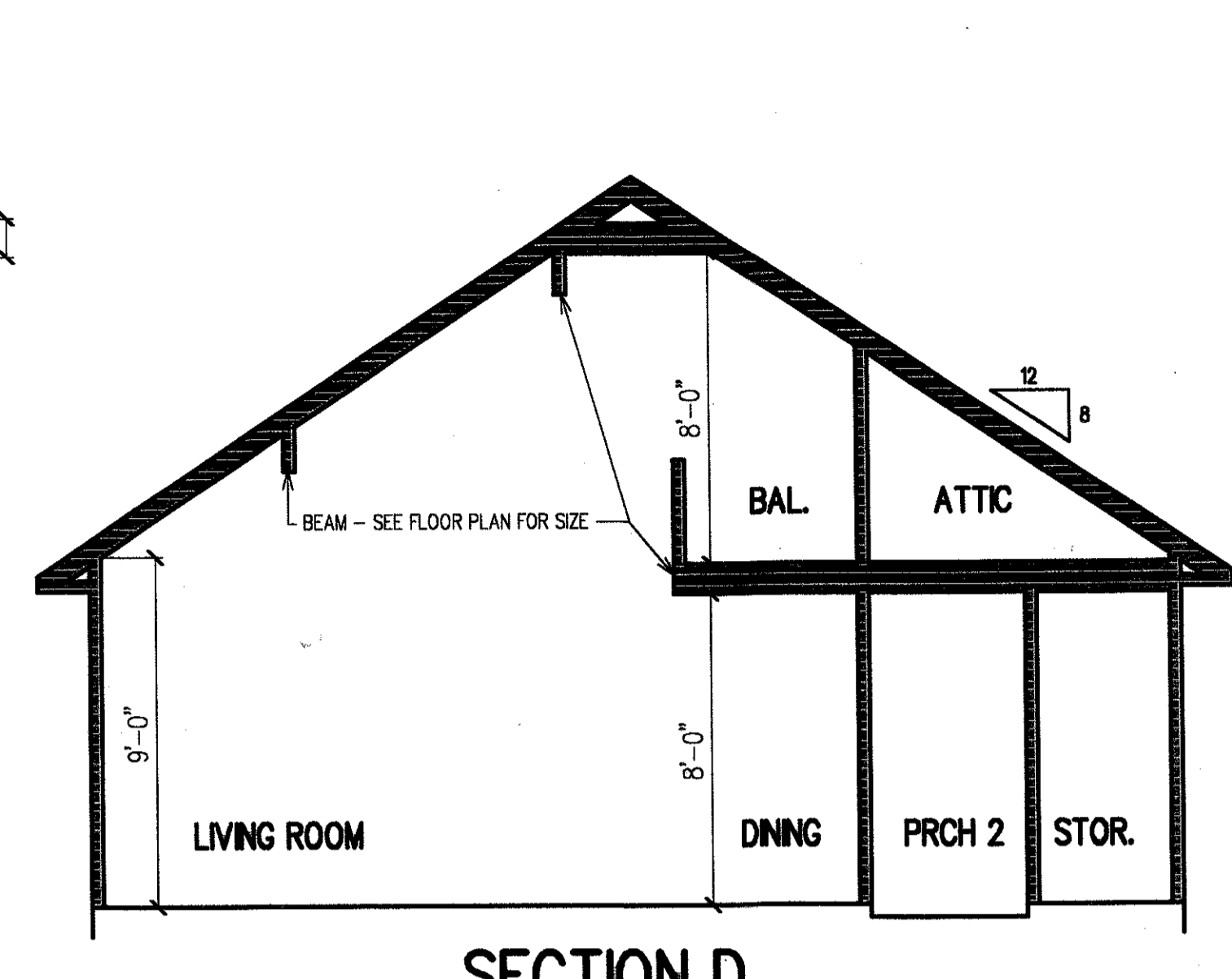
SECTION A



SECTION B

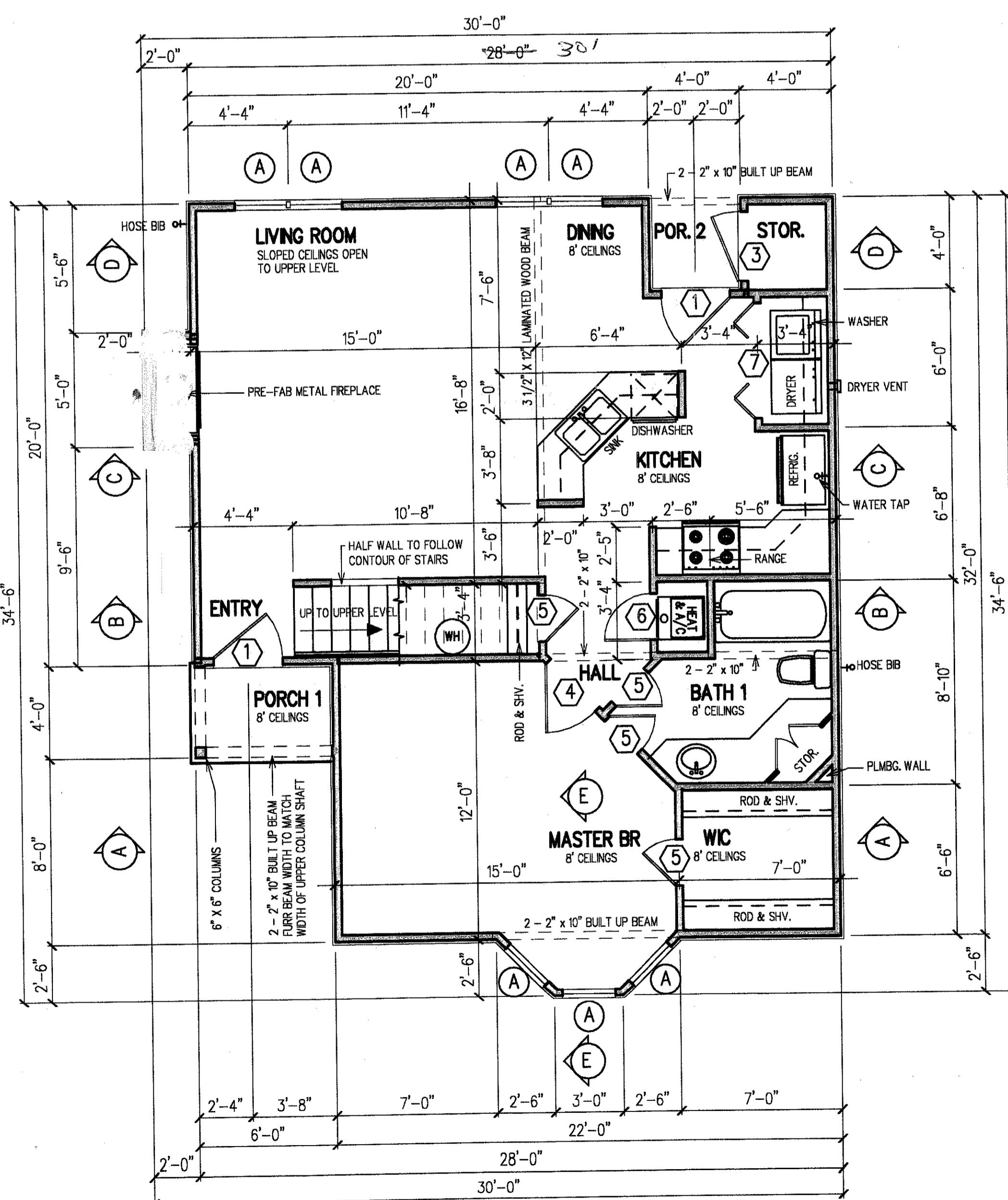
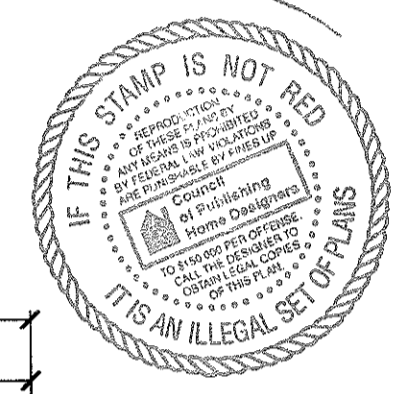


SECTION C



SECTION D

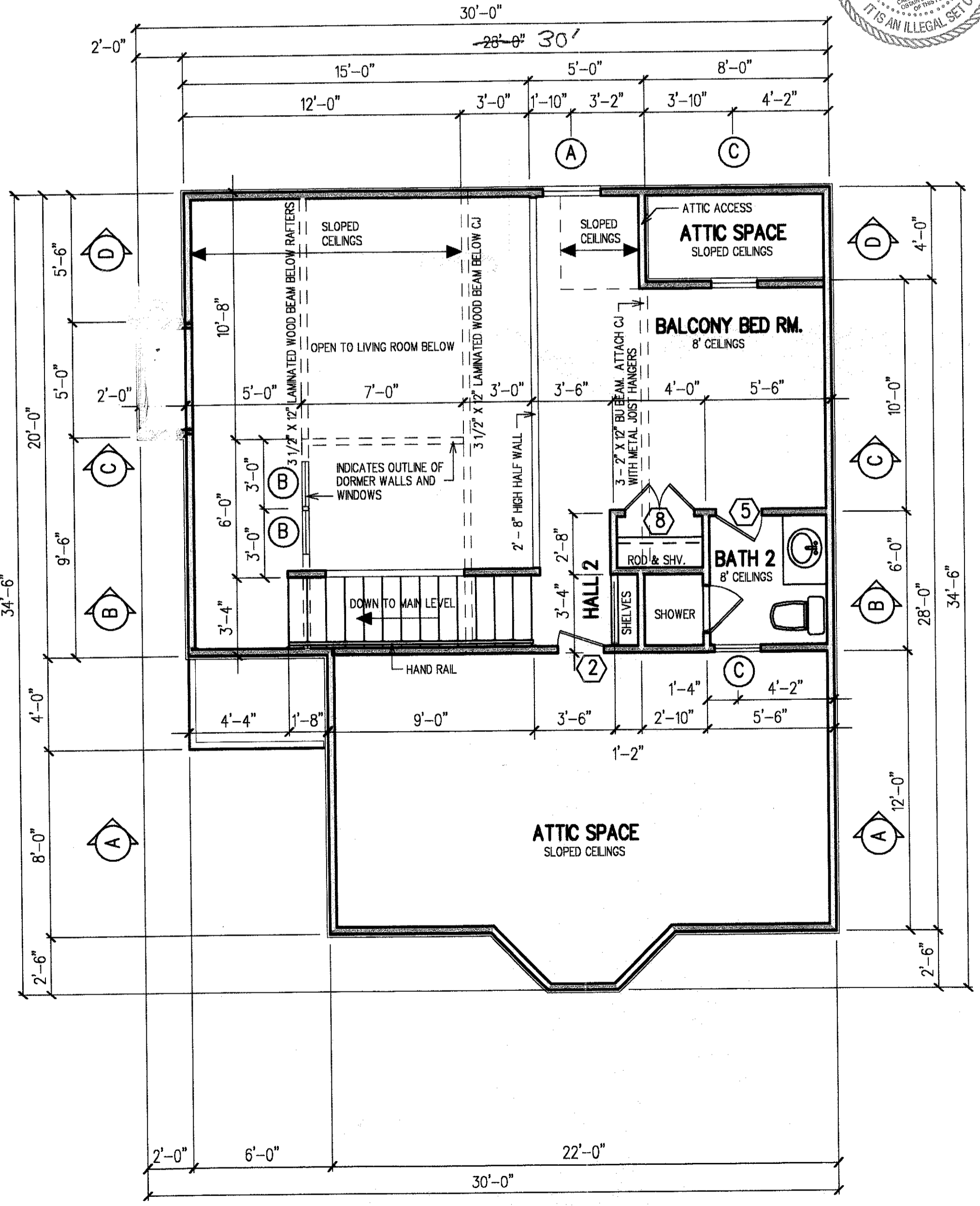
NOTE: SCALE OF ALL SECTIONS IS 1/4" = 1'-0".
 DUE TO VARIOUS TYPES OF FOUNDATIONS THAT
 MAY BE AVAILABLE WITH THIS PLAN, THE SECTIONS
 DO NOT SHOW ANY DETAIL BELOW THE MAIN FLOOR
 LEVEL. FOR FOUNDATION DETAILS, REFER TO THE
 FOUNDATION FOOTING DETAILS FOR THE PARTICULAR
 TYPE FOUNDATION THAT IS TO BE CONSTRUCTED.



LOWER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTE: A GARAGE PLAN IS AVAILABLE FOR
 THIS PLAN AND FEATURES TWO PARKING
 BAYS AND STORAGE ROOMS. CALL
 800-662-8262 TO ORDER.



UPPER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE				
MARK	WINDOW SIZE	DESCRIPTION	ROUGH OPENING	BRAND
A	2'-4" X 5'-0"	DOUBLE HUNG WINDOW WITH GRILL INSERT - SEE ELEVATIONS FOR GRILL PATTERN		
B	2'-0" X 3'-0"	DOUBLE HUNG WINDOW WITH GRILL INSERT - SEE ELEVATIONS FOR GRILL PATTERN		
C	2'-0" DIA.	ROUND WINDOW WITH GRILL INSERT		

NOTE: OWNER OR BUILDER TO INSERT ROUGH OPENING SIZE AND BRAND NAME OF WINDOW TO BE USED - SEE WINDOW ALLOWANCE SCHEDULE IN SPECIFICATIONS

NOTE: BECAUSE OF EXTREME VARIATIONS IN PRICE, THE WINDOW SCHEDULE ABOVE LIST SIZE AND DESCRIPTION ONLY. OWNER TO SELECT BRAND OF WINDOW ACCORDING TO ALLOWANCE (SEE SPECIFICATIONS) AND INSERT MANUFACTURER'S BRAND AND ROUGH OPENING SIZE.

DOOR SCHEDULE		
MARK	SIZE	DESCRIPTION
1	3'-0" X 6'-8"	EXTERIOR PANEL BOTTOM GLASS TOP DOOR
2	2'-0" X 6'-8"	EXTERIOR 6 PANEL ATTIC ACCESS DOOR
3	3'-0" X 6'-8"	EXTERIOR 6 PANEL DOOR
4	3'-0" X 6'-8"	INTERIOR 6 PANEL DOOR
5	2'-0" X 6'-8"	INTERIOR 6 PANEL DOOR
6	2'-0" X 6'-8"	INTERIOR FULL LOUVER DOOR
7	5'-0" X 6'-8"	INTERIOR FULL LOUVER BI-FOLDING DOOR
8	PAR 1'-6" X 6'-8"	INTERIOR 6 PANEL DOORS

ALL EXTERIOR DOORS TO BE METAL INSULATED UNLESS NOTED.
 ALL GLASS IN EXTERIOR DOORS TO BE INSULATED GLASS.

ALL EXTERIOR DOORS ARE 1 3/4" THICK UNLESS NOTED
 ALL INTERIOR DOORS ARE 1 3/8" THICK UNLESS NOTED

AREA SCHEDULE	
LIVING AREA - MAIN LEVEL	814
LIVING AREA - UPPER LEVEL	267
TOTAL LIVING AREA	1081
PORCHES	43
GARAGE AND STORAGE	16
TOTAL AREA UNDER ROOF	1140

GENERAL NOTES

- ALL DIMENSIONS ARE TO OUTSIDE OF STUDS OF EXTERIOR WALLS
- CONTRACTOR TO VERIFY ALL DATA AND CONDITIONS
- SEE FOUNDATION DETAILS FOR STUD SIZE AND SPACING
- INSTALL ATTIC COOLING FANS AS REQUIRED ON ROOF FOR ATTIC VENTILATION
- CAULK AROUND ALL EXTERIOR DOOR AND WINDOW FRAMES PRIOR TO INSTALLING INTERIOR FINISH
- VERIFY ALL BEAM SIZES AND STRUCTURAL MEMBERS AND ADJUST IF NECESSARY FOR LOCAL CONDITIONS AND CODE REQUIREMENTS
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED
- THESE PLANS WERE DESIGNED IN ACCORDANCE WITH GENERAL CONSTRUCTION PRACTICES OF THE AREA IN WHICH THEY WERE DESIGNED AND TO THE PREVAILING BUILDING CODES. DUE TO VARYING CONDITIONS AND TRADE PRACTICE, IT MAY BE NECESSARY TO MODIFY OR ADJUST THE PLAN TO MEET LOCAL CONDITIONS. CONSULT YOUR LOCAL PERMIT DEPARTMENT. IT IS THE RESPONSIBILITY OF THE PLAN PURCHASER OR CONTRACTOR TO VERIFY ALL DATA OF THE PLANS AND TO ADJUST PLAN AS NECESSARY TO MEET ALL FEDERAL, STATE AND LOCAL CODES.
- THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES OR PROBLEMS OBSERVED OR PERCEIVED PRIOR TO STARTING CONSTRUCTION.

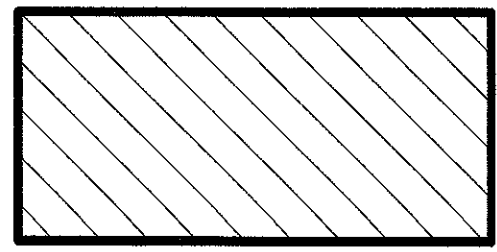
WALL LEGEND

- 2" X 4" WALL WITH SIDING OR STUCCO EXTERIOR - SEE ELEV.
- 2" X 4" INTERIOR WALL - SEE FINISH SCHEDULE FOR FINISH
- 3/4" PLYWOOD CABINET WALL

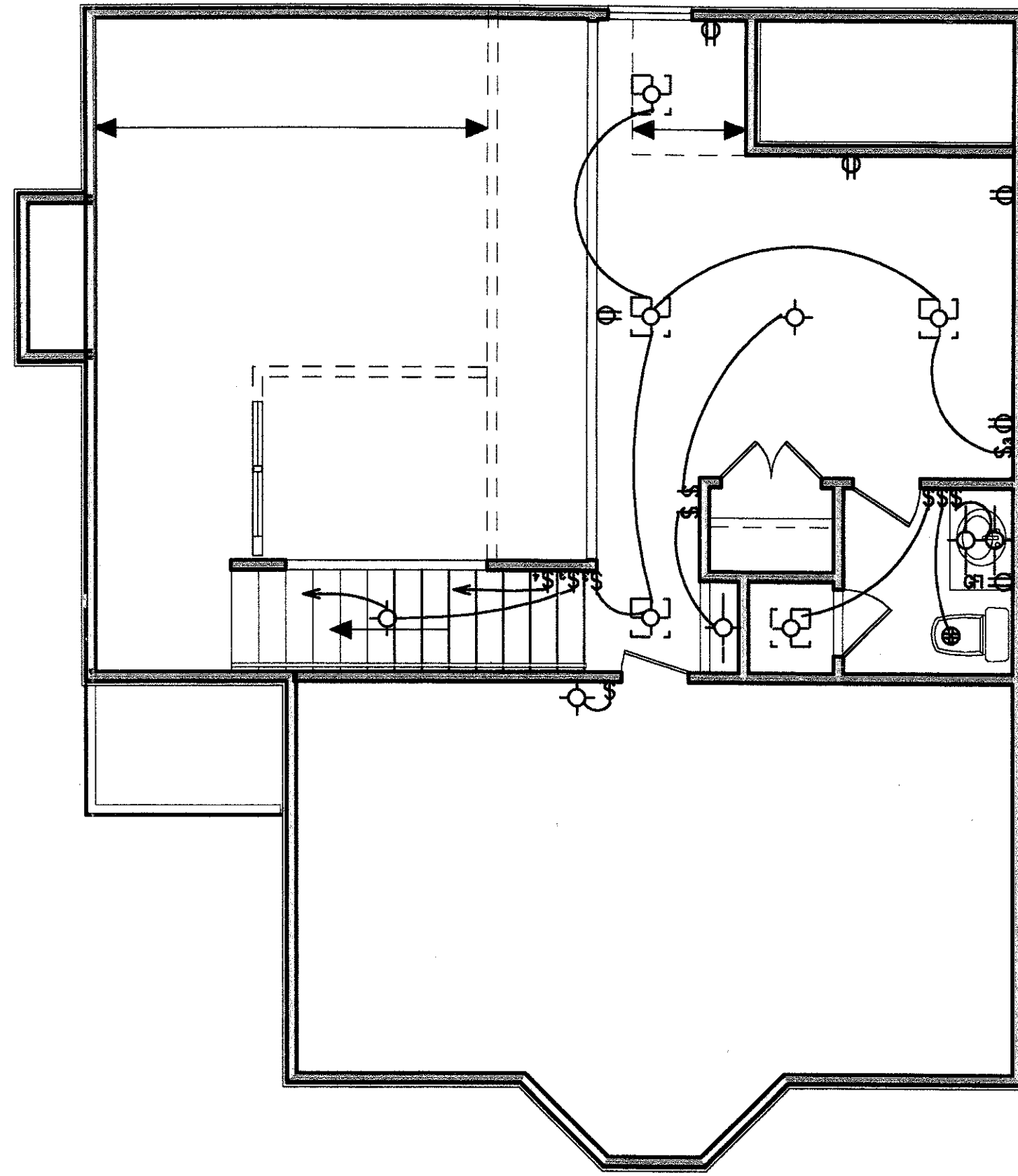
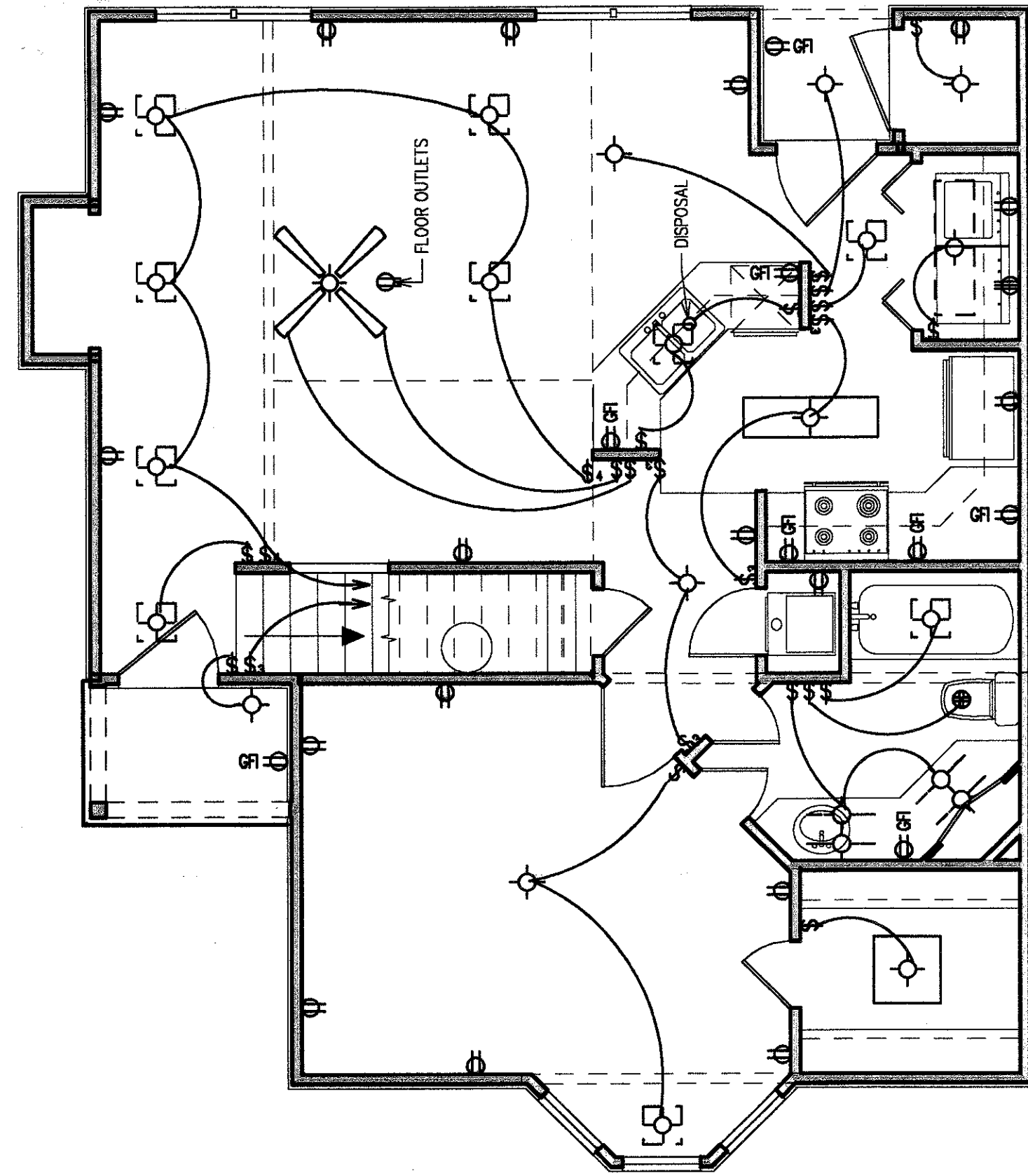
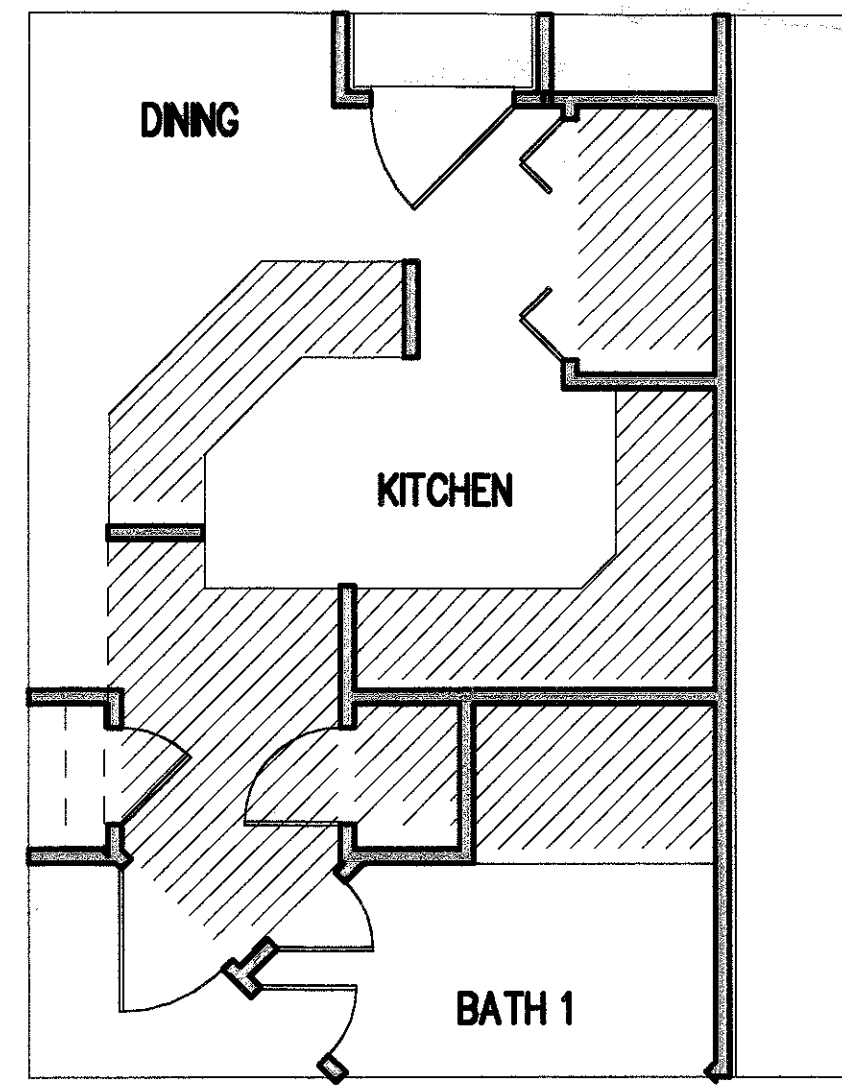
NOTE: INSULATION VALUES FOR INSULATED EXTERIOR WALLS:
 2" X 4" WALLS TO RECEIVE 4" (R-11) FIBERGLASS BATT

DATE: AUGUST 2010
 DRAWN BY: EEB
 CHECKED BY:
 SHEETS: 4 OF 7
 PLAN NUMBER: 1002

FURRED CEILING SCHEDULE



HEAT & AC DUCTS
SHADED AREA INDICATES SUGGESTED LOCATION FOR FURRED CEILINGS TO ACCOMMODATE HEATING AND AC DUCTS - SEE MECHANICAL PLANS BY OTHERS



MAIN FLOOR ELECTRICAL PLAN

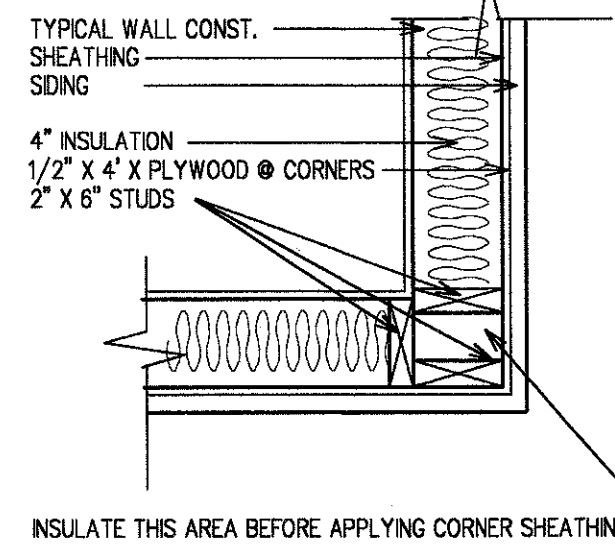
SCALE 1/4" = 1'-0"

UPPER FLOOR ELECTRICAL PLAN

SCALE 1/4" = 1'-0"

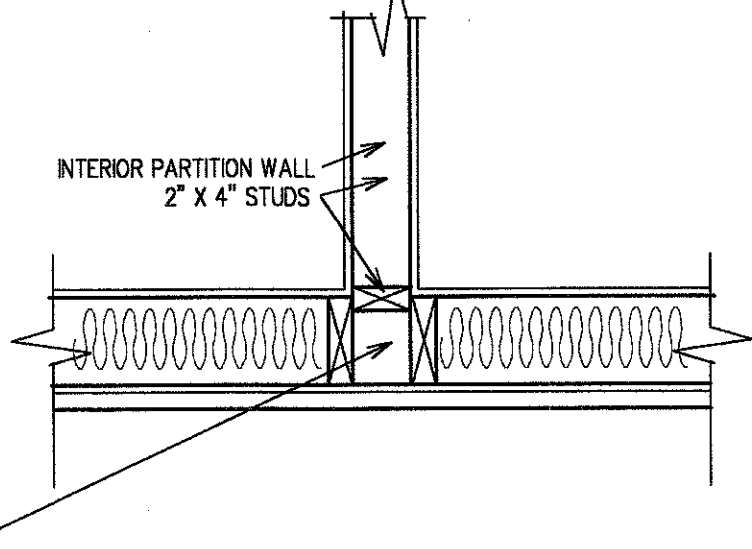
ELECTRICAL SYMBOLS

SYMBOL	DESCRIPTION
	CEILING LIGHT FIXTURE
	RECESSED LIGHT FIXTURE
	RECESSED SWIVEL LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	DOUBLE FLOOD LIGHT
	FLUORESCENT FIXTURE
	RECESSED MULTI-TUBE FLUORESCENT FIXTURE
	SURFACE MOUNTED MULTI-TUBE FLUORESCENT FIXTURE
	110V OUTLET
	220V OUTLET
	DUPLEX OUTLET WITH GROUND FAULT INTERRUPT
	CABLE OR TV OUTLET. OWNER TO PLACE THIS SYMBOL WHERE OUTLETS ARE DESIRED



CORNER DETAIL

2" x 4" EXT. WALLS WITH STUCCO FINISH

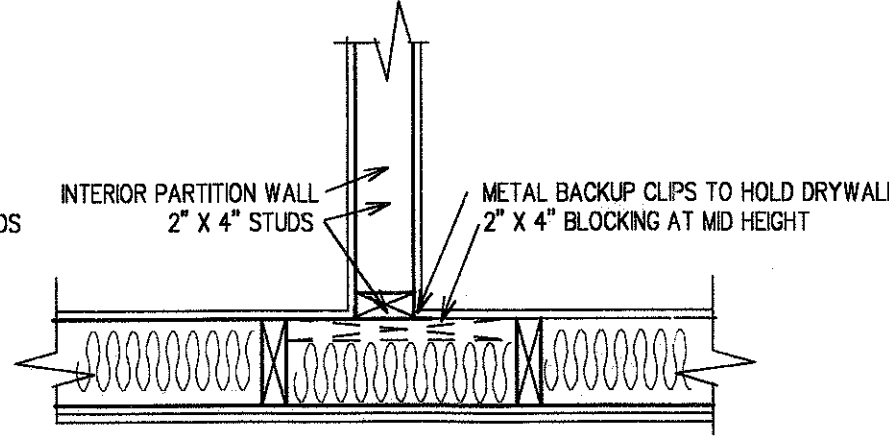
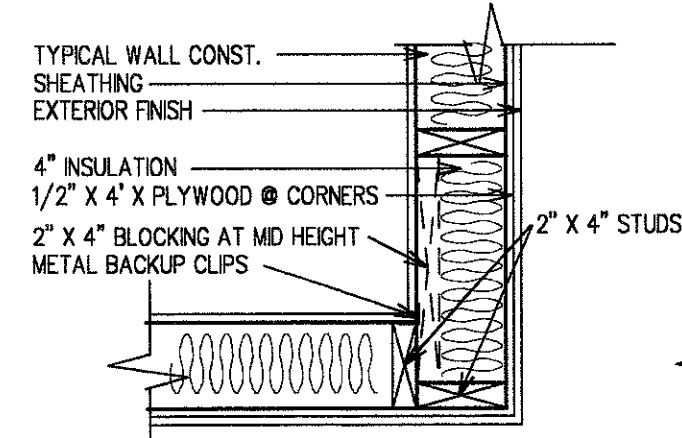


TEE DETAIL

2" x 4" INT. WALL & 2" x 4" EXT. WALLS WITH STUCCO FINISH

WALL CONSTRUCTION DETAILS

N.T.S.



CORNER DETAIL

2" x 6" EXT. WALLS WITH SIDING EXT.

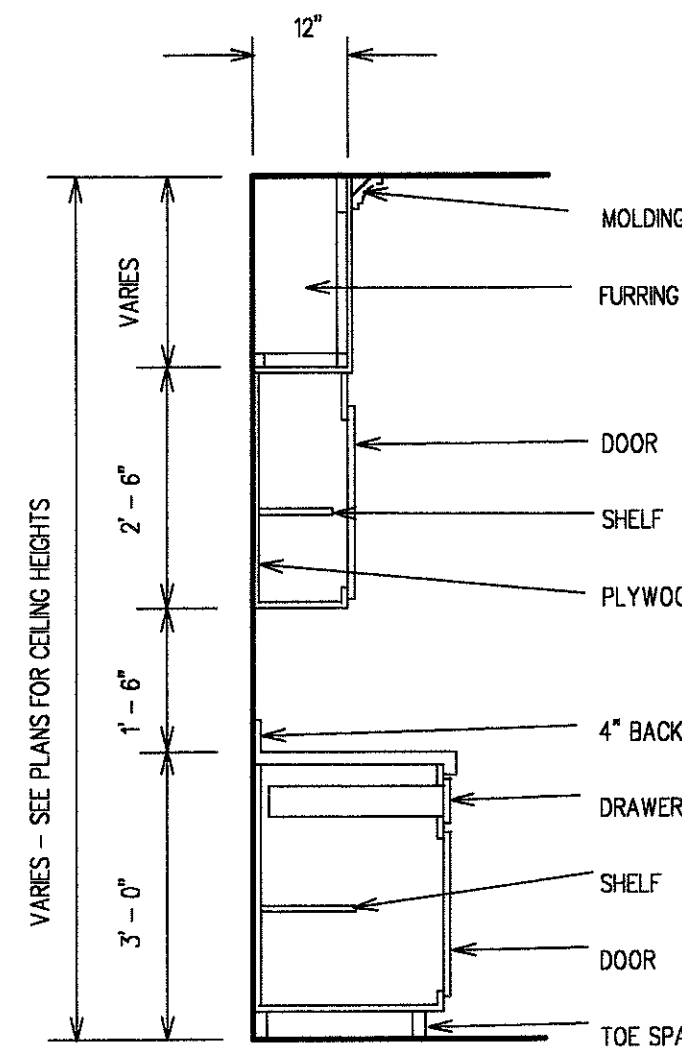
TEE DETAIL

2" x 4" INT. WALL & 2" x 6" EXT. WALLS WITH SIDING EXT.

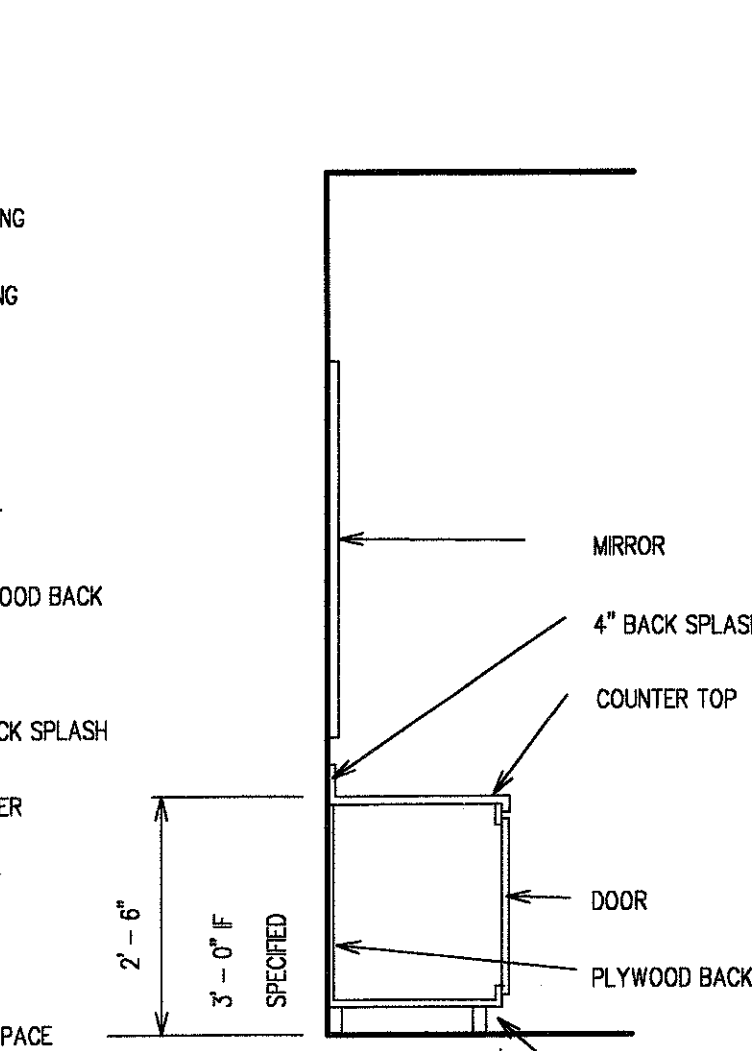
ENERGY EFFICIENT WALL CONSTRUCTION DETAILS

N.T.S.

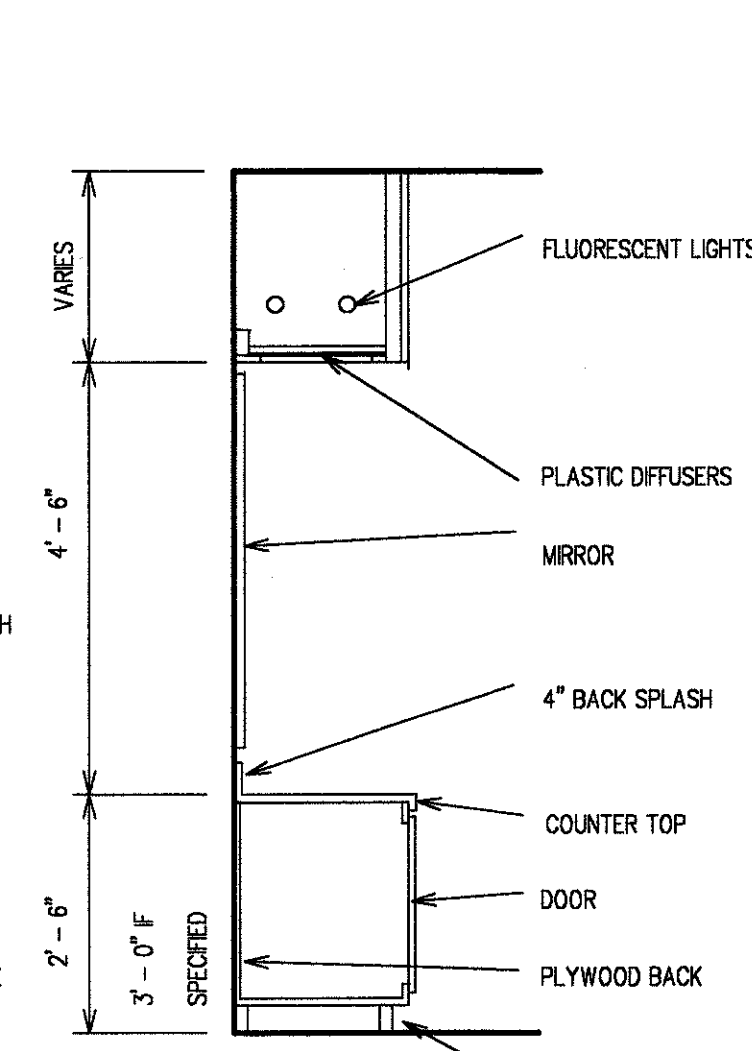
RECOMMENDED FOR MAXIMUM ENERGY EFFICIENCY - MAY NOT BE ACCEPTABLE BY SOME CODES



KITCHEN CABINET



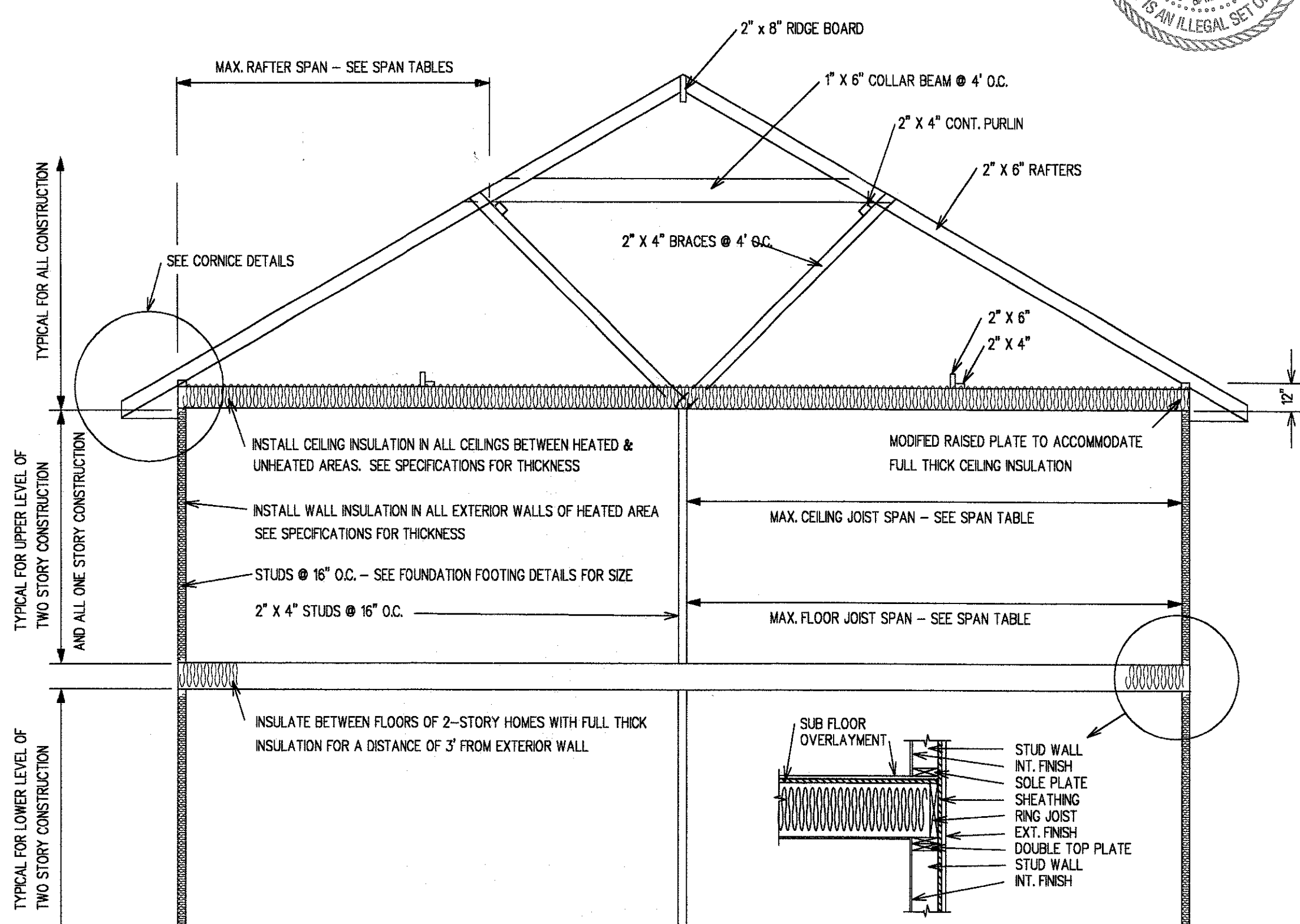
VANITY CABINET



VANITY CABINET
(WITH LIGHT FURR DOWN)

CABINET SECTIONS AND DETAILS

SCALE 1/2" = 1'-0"



TYPICAL FRAMING DETAIL

SCALE 1/4" = 1'-0"

	CEILING FAN OR CEILING FAN WITH LIGHT DUAL SWITCHES AND WIRING INDICATES FAN WITH LIGHT FIXTURE.
	CHANDELIER
	SMOKE DETECTOR
	VANITY LIGHTS
	TACK LIGHTS
	EXHAUST FAN
	EXHAUST FAN WITH HEATER
	SWITCH WITH DIMMER CONTROL
	SINGLE POLE SWITCH
	4 WAY SWITCH
	3 WAY SWITCH
	SINGLE POLE SWITCH
	TELEPHONE OUTLETS - OWNER TO PLACE SYMBOL WHERE OUTLETS ARE DESIRED

OTHER WIRING REQUIREMENTS NOT SHOWN INCLUDE ATTIC ROOF FANS, RANGE AND OVENS, VENT HOODS, HEAT & A/C BLOWER UNITS, A/C COMPRESSOR, DISHWASHER, DISPOSAL, WHIRLPOOL TUBS AND OTHER SIMILAR ITEMS.
EXTERIOR DUPLEX ELECTRICAL OUTLETS TO HAVE WEATHER PROOF COVERS.

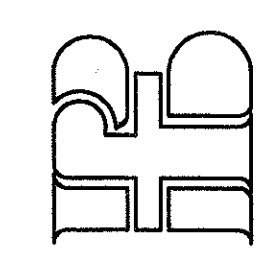
ELECTRICAL PLAN

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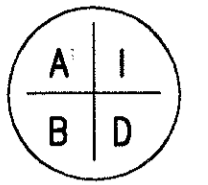
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REVISIONS _____
SHEETS 5 OF 7
PLAN NUMBER 1002

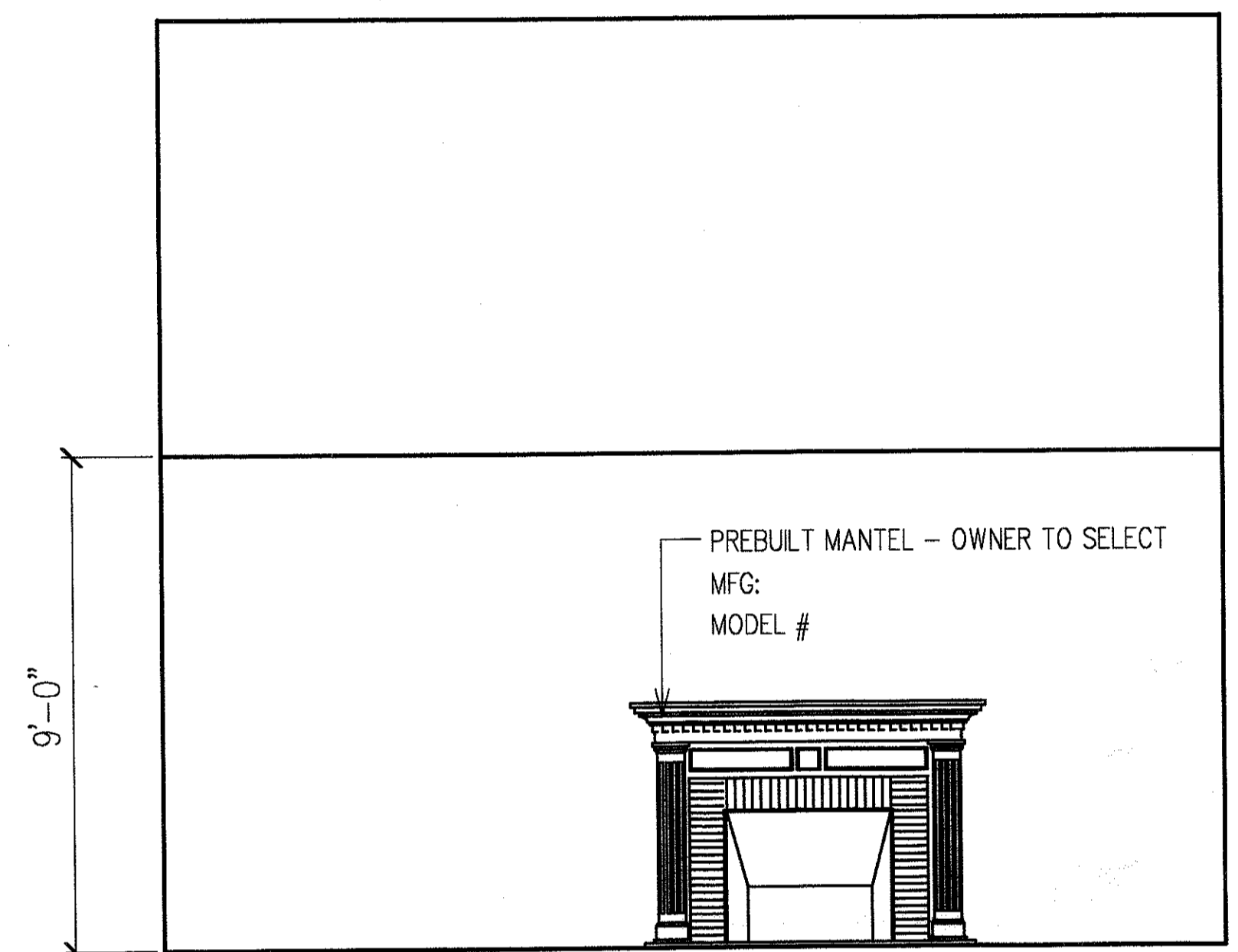
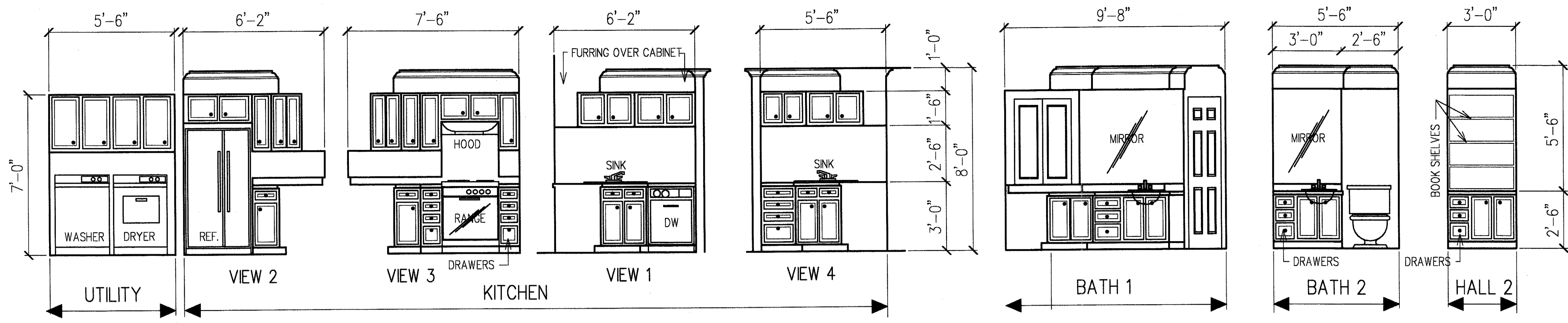
IMPORTANT NOTES:
 ALL DIMENSIONS ARE UNLESS OTHERWISE NOTED.
 ALL WORK IS TO BE ACCORDING TO THE 2000 INTERNATIONAL RESIDENTIAL CODE BOOK.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL STRUCTURAL MEMBERS.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING WALLS.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING DOORS AND WINDOWS.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING CEMENT FLOORS.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING CEILING JOISTS.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING RAFTERS.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING STUDS.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING BLOCKING.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING INSULATION.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING SHEATHING.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING FINISHES.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING CORNICES.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING MANTELS.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING STAIRS.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING ATTIC DOORS.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING HALF WALLS.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING STAIRS BEYOND.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING ROOFING SHINGLES.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING FELT.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING PLYWOOD.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING RAFTERS.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING BLOCKING.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING RIM JOISTS.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING INSULATION.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING CEILING JOISTS.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING INTERIOR FINISHES.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING PRECUT STUDS.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING CONT. SCREEN VENTS.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING OUTLOOKS.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING CROWN MOULDINGS.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING INSULATIONS.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING SHEATHINGS.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING EXTERIOR FINISHES.



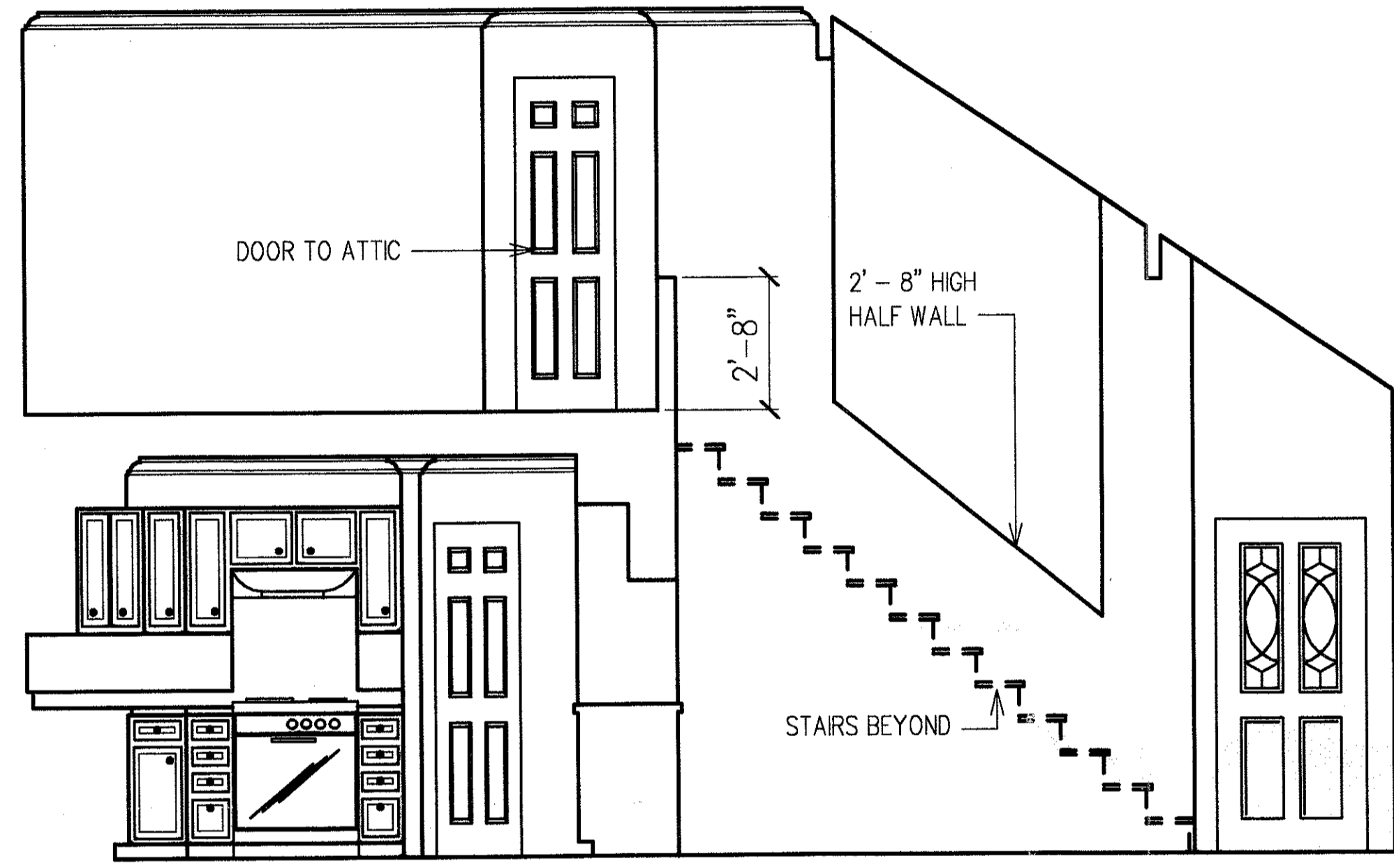
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CABINET ELEVATIONS

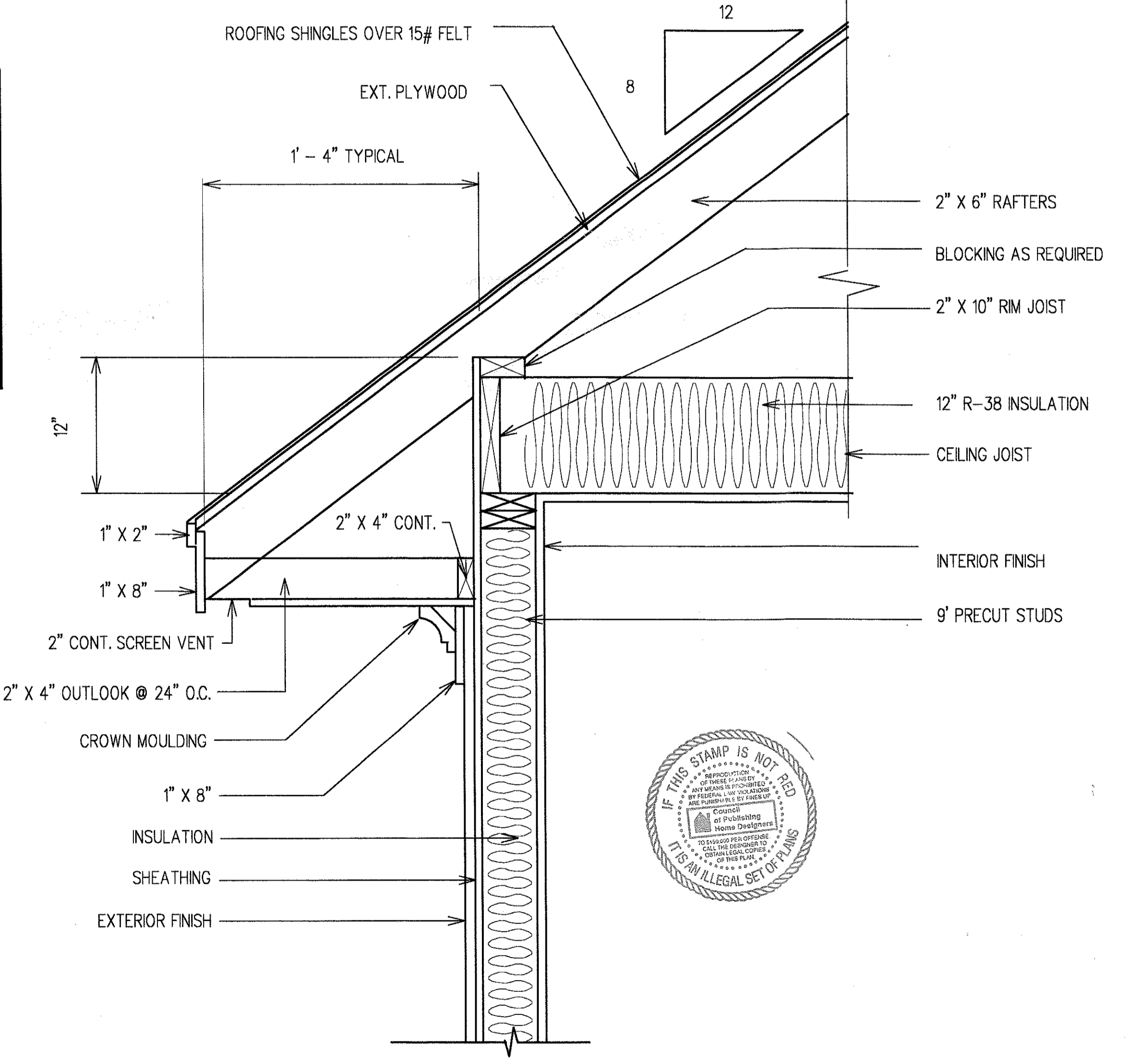
SCALE _____ 3/8" = 1'-0"



VIEW 5

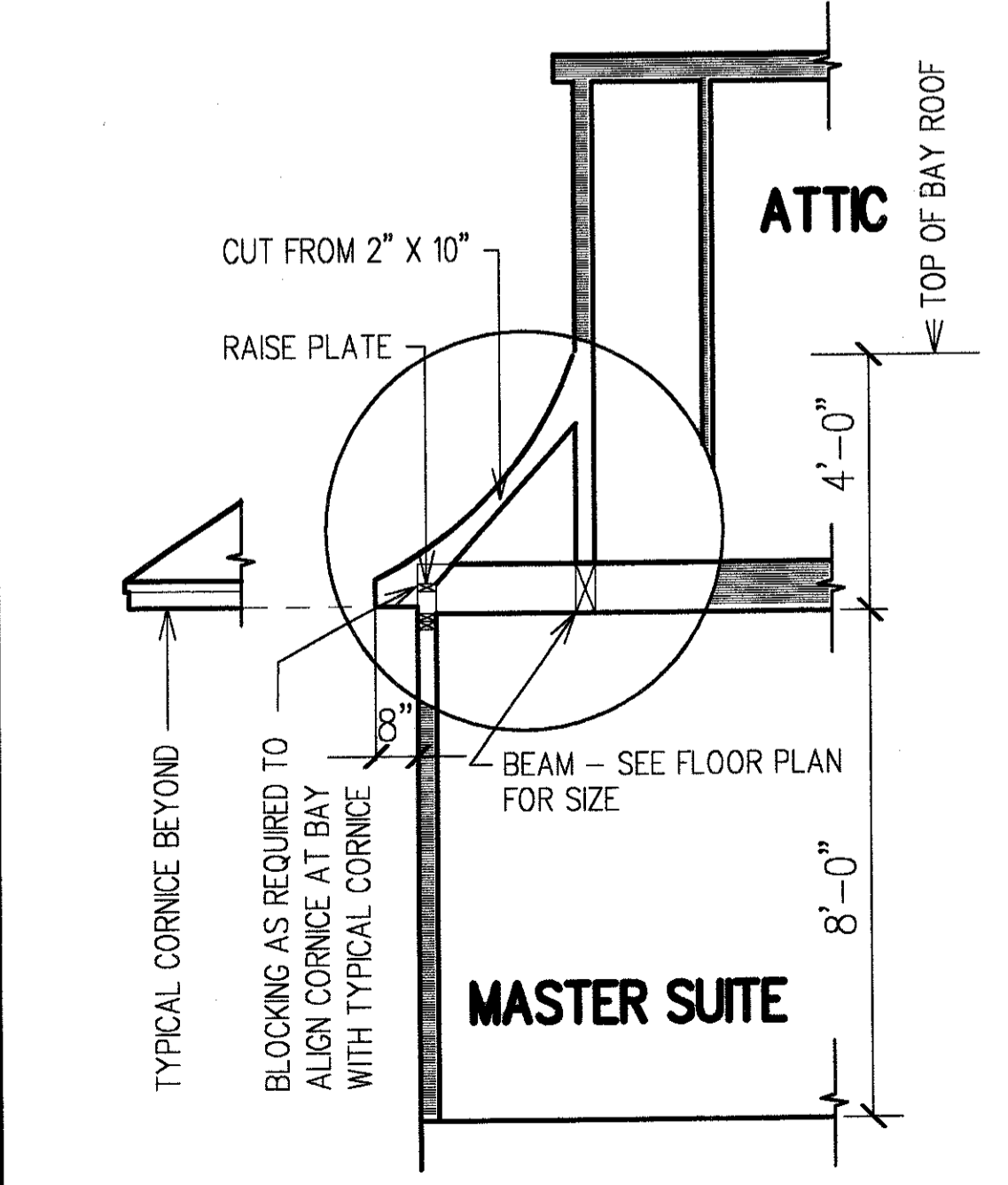
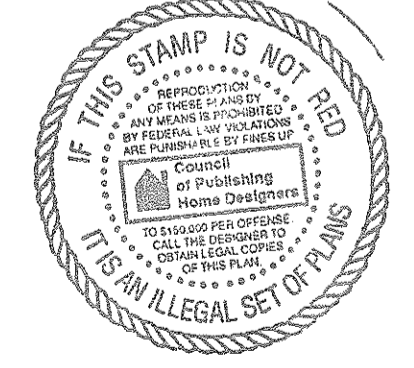


VIEW 6

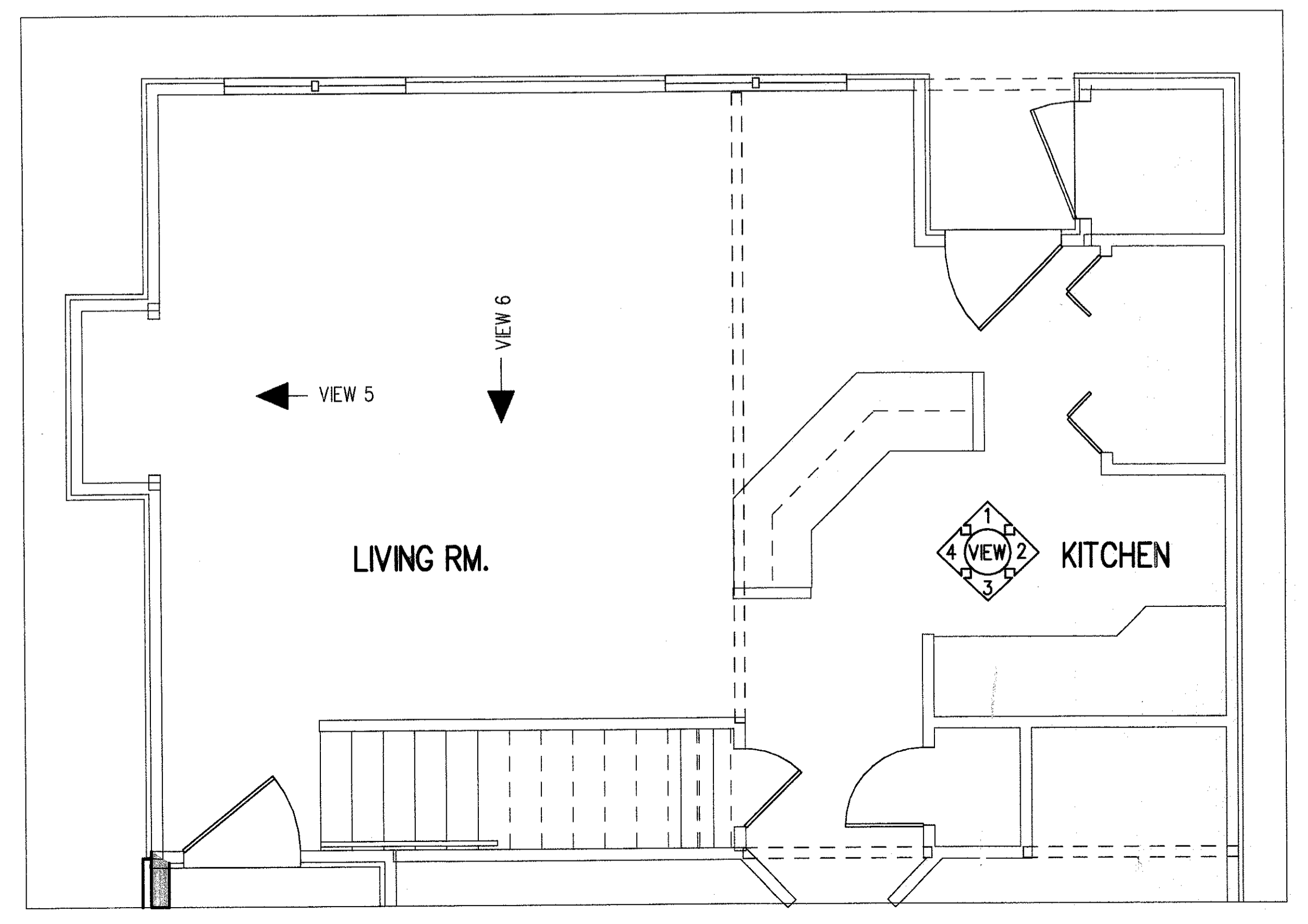


TYPICAL CORNICE DETAIL

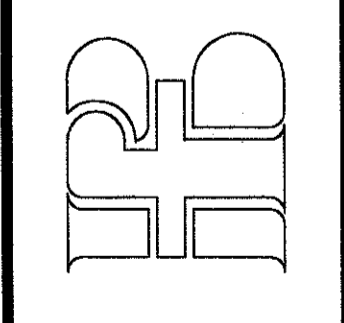
SCALE _____ 1-1/2" = 1'-0"



SECTION E



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DATE	
DRAWN BY	CHECKED BY
EEB	
REVISIONS	
6 SHEETS OF 7	
PLAN NUMBER	1002

SPECIFICATIONS

1. DETAILED DRAWINGS AND SPECIFICATIONS CONFLICT: Should a conflict occur in or between drawings and specifications, the order of precedence shall be as follows:

- The detailed specifications
- Large scale drawings
- Small scale drawings

2. MANUFACTURERS DIRECTIONS: All manufactured articles, material and equipment shall be applied, installed, connected, erected, cleaned, used and conditioned as directed by the manufacturer, unless herein specified to the contrary.

3. WORK AND MATERIALS NOT COVERED IN SPECIFICATIONS: Any item of work necessary to the proper construction which is not specifically mentioned or covered in the drawings and specifications shall be performed in a manner deemed good practice of the trade involved.

4. USE ONLY APPLICABLE ITEMS: Some items in these specifications may not apply to the working drawings. Use only those items that apply. Specifications address site, crawl space and basement construction because plans may be available with more than one foundation type.

DIVISION 1: GENERAL REQUIREMENTS

1. MEASUREMENTS & DIMENSIONS: Any discrepancies between drawings and/or specifications shall be referred to the designer for correction or adjustment. Builder or contractor shall check and verify all conditions and dimensions prior to construction and notify designer accordingly.

2. SPECIFICATIONS DIVISION: The separation of specifications into divisions is for the purpose of uniform coordination of the work of the different trades. Some mortgage lending institutions, such as FHA & VA, may require that specifications be submitted on a form unique to them. In such cases, the owner or contractor may be required to transfer the required information to the lender form.

DIVISION 2: SITEWORK

1. GENERAL: These construction documents are designed for universal conditions and do not address a specific site. We recommend that these drawings and specifications be supplemented with appropriate site plans and specifications.

DIVISION 3: CONCRETE

1. GENERAL: This division is intended to cover all concrete work and related items necessary to complete work shown on drawings and herein specified. However, these construction documents are designed for universal use and do not address specific site conditions. The foundation plans and specifications have been designed to meet typical soil conditions. We highly recommend that sub-surface conditions be explored by an appropriate testing laboratory and if necessary, foundation design be adjusted by a structural engineer familiar with local conditions.

2. MATERIALS: materials shall comply with the following requirements:

- Cement: Domestic Portland Cement, Type 1, conforming to ASTM C-150
- Concrete: 3000 PSI Ready Mix, 5" slump range, 124 mix #57 aggregate.
- Reinforcing Steel: Intermediate grade conforming to ASTM A15
- Expansion Joint Material: Asphalt mastic strips, install where shown on drawings.
- Vapor Barrier: install where shown on plans, 6m polyethylene.
- Gravel: Fill clean washed gravel, 3/4" - 1 1/2".
- Anchor Bolts: Set in ext walls, see plans for size & spacing.

3. PLACING VAPOR BARRIERS: Subgrade to be rolled and free of protrusions and treated for termites. Lap vapor barrier 6" min., use under all slabs.

7. CONCRETE FINISH:

- Basement Slabs: smooth metal trowel finish
- House, Garage & Porches: smooth finish
- Porches & areas with exposed concrete: See finish schedule

8. TERMITE TREATMENT: 25% Dieldrin in oil solution or water emulsion, apply as per mfg's directions for new home construction.

8. DRYWALL: Drywall to be 1/2" Gypsum Board. Float, Tape and sand smooth as per mfg's specifications. Install metal corner bead on all exterior corners of gypsum board.

9. CLOSET ROBS: 1" Diameter iron pipe w/ supports at 4' oc min.

10. WOOD FLOORING: See finish schedule for location - see cost allowance schedule for cost. Install as per mfg's specifications.

11. INSULATION:

A. Materials:

- Walls: 2" x 6" ext. walls - 6" Fiberglas batts (R-19) w/o vapor barrier. 2" x 4" walls - 4" Fiberglas batts (R-11) w/o vapor barrier
- Ceilings: 12" Fiberglas batts (R-36) w/o vapor barrier
- Floors: (wood floor framing) 6" Fiberglas batts (R-19)
- Sole Plate & Penetrations: Seal under sole plate and all penetrations with liquid expandable urethane.

B. Vapor Barrier: Install a 6m polyethylene vapor barrier on inside of all exterior walls and ceilings.

C. Installation: Install all insulation as per mfg's specifications.

DIVISION 7: MOISTURE PROTECTION

1. Asphalt Shingle Roof: Fiberglas, Class "A", #210 min. weight - see allowance schedule.

2. Slat Metal:

- Flashing: 24 gauge, best commercial grade
- Where dissimilar metals come in contact: apply a heavy coat of asphaltic paint to both surfaces
- Basement Walls Below Grade: grade with 1/2" thick layer of Portland Cement grout. After drying, mop 2 coats of hot asphaltic pitch over entire area.
- Skylights: See plans for size - install as per mfg's specifications.

DIVISION 8: WINDOWS & DOORS

1. Windows: See plans for size and type - see cost allowance schedule

2. Doors: See door schedule for size and type

3. Bath room mirrors: shall be 1/4" silvered plate glass with copper backing

DIVISION 9: FINISHES

1. Resilient Flooring: See finish & cost allowance schedules - install as per mfg's specifications.

2. Carpet: See cost allowance and finish schedules - install as per mfg's specifications.

3. Ceramic, Quarry & Marble Tile: See cost allowance & finish schedules. Install as per mfg's specifications.

4. Painting: All surfaces to be prepared and all paint to be applied as per mfg's specifications as follows:

- Interior:
 - Interior gypsum board - 1 coat primer and sealer, 2 coats flat latex
 - Interior walls at bath & kitchen - 1 coat enamel undercoat, 2 coats enamel
 - Cabinets & woodwork: Stained - 1 coat of base stain, 1 coat sealer, 1 coat of satin varnish
 - Painted - 1 coat enamel undercoat, 2 coat semi-gloss enamel
- Exterior: Painted - 1 coat of base undercoat, 2 coats of base point stained - 1 coat of base stain
- Cultured Marble: unless noted otherwise, install cultured marble surrounds at both tubs 6" high above tub. Install cultured marble vanity tops with integral bowls at all vanity tops. Owner to select color and lavatory bowl style.

DIVISION 10: SPECIALTIES

1. Kitchen Appliances: Install as per mfg's specifications - see cost allowance schedule.

2. Finish Hardware: See allowance schedule - allowance covers door handles, locks, drawer pulls, cabinet handles and hinges, drawer and door hardware, door tracks, and shower enclosures.

3. Metal Fireplaces: See plans for size. Unit shall be equal to Temco and shall have a zero-clearance rating. Firebox to be lined with approved refractory panel.

DIVISION 15: MECHANICAL

1. Plumbing:

- Drain, Waste and Vent Material: Pipe to be cast iron or schedule 40 pvc. Fittings to be cast iron or PVC /DWV.

COST ALLOWANCE SCHEDULE
INSERT PRICES AS DESIRED - ALL ALLOWANCES ARE CONTRACTOR PRICES

BRICK - ALLOWANCE PER THOUSAND TO PURCHASE	\$
ROOFING - ALLOWANCE PER SQUARE TO PURCHASE	\$
FLOORING	\$
CERAMIC TILE - ALLOWANCE PER SQ. FT. TO PURCHASE & INSTALL	\$
VINYL COMPOSITION TILE - ALLOWANCE PER SQ. YD. TO PURCHASE AND INSTALL	\$
SHEET VINYL - ALLOWANCE PER SQ. YD. TO PURCHASE & INSTALL	\$
CARPET - ALLOWANCE TO PURCHASE & INSTALL CARPET & PAD PER SQ. YD.	\$
KITCHEN APPLIANCES - ALLOWANCE TO PURCHASE, LUMP SUM	\$
HARDWARE - ALLOWANCE TO PURCHASE, LUMP SUM	\$
WINDOWS - ALLOWANCE TO PURCHASE, LUMP SUM	\$
LIGHTING FIXTURES - ALLOWANCE TO PURCHASE, LUMP SUM	\$
CEILING FANS - ALLOWANCE TO PURCHASE EACH ONE	\$
KITCHEN CABINETS - ALLOWANCE TO PURCHASE, LUMP SUM	\$
ALL OTHER CABINETS - ALLOWANCE TO PURCHASE, LUMP SUM	\$
OTHER ITEMS (LIST ITEM AND MEASUREMENT)	\$
OTHER ITEMS (LIST ITEM AND MEASUREMENT)	\$
OTHER ITEMS (LIST ITEM AND MEASUREMENT)	\$
OTHER ITEMS (LIST ITEM AND MEASUREMENT)	\$
OTHER ITEMS (LIST ITEM AND MEASUREMENT)	\$
OTHER ITEMS (LIST ITEM AND MEASUREMENT)	\$

INTERIOR FINISH LEGEND

FLOORS	WALLS	CEILING	REMARKS
1. CARPET & PAD	1. GYPSUM BOARD - PAINTED	1. GYPSUM BOARD WITH MEDIUM STIPPLE FINISH AND PAINTED	
2. CERAMIC TILE	2. GYPSUM BOARD - PRIMED WITH WALL COVERING APPLIED 5. CERAMIC TILE	2. GYPSUM BOARD WITH SMOOTH FINISH AND PAINTED	
3. SHEET COMPOSITION TILE	3. PREFINISHED PANELING	3. 1" X 4" RANDOM LENGTH BOARDS IN BEADED PATTERN	
4. VINYL VINYL	4. RAISED WOOD PANELS	4. 3/8" EXTERIOR PLYWOOD - STAINED	
5. HARDWOOD FLOORING	5. GYPSUM BOARD WITH MEDIUM STIPPLE FINISH AND PAINTED	5. 1" X 6" T & G, V-JOINT - PAINTED	
	6. WOOD WANSOT W/ PAINTED GYPSUM BOARD ABOVE	6. 1" X 6" T & G, V-JOINT - STAINED	
		7. 1" S4S BOARDS - SEE PLANS FOR WIDTH	
		BASE TRIM	REMARKS
		1. ROUND EDGE - WM-433 9/16" X 3 1/4"	
		2. COLONIAL - WM-444 1 1/16" X 3 1/2"	
		3. COLONIAL - LWM-444 1 1/16" X 4 1/4"	
		DOOR AND WINDOW TRIM	REMARKS
		1. TEARDROP - WM-324 1 1/16" X 2 1/4"	
		2. TEARDROP - WM-713 9/16" X 3 1/4"	
		3. COLONIAL - WM-351 1 1/16" X 2 1/2"	
		4. COLONIAL - WM-444 1 1/16" X 3 1/2"	
		5. 3-STEP 1 1/16" X 3 1/4"	
		6. 3-STEP 1 1/16" X 4 1/4"	
		7. ROUND EDGE - WM-433 9/16" X 3 1/4"	
		8. OTHER (GIVE DESCRIPTION)	
		CEILING MOLDING	REMARKS
		1. CROWN - WM-59 9/16" X 2 1/4"	
		2. CROWN - WM-49 9/16" X 3 5/8"	
		3. 2 PECE - CROWN (WM-59) OVER 1" X 4"	
		4. 3 PECE - CROWN (WM-49) OVER 1" X 6" OVER SCOTIA (WM-100 - 1 1/16" X 1 1/16"	
		5. OTHER (GIVE DESCRIPTION)	

PLUMBING FIXTURE SCHEDULE

NOTE: OWNER / CONTRACTOR TO COMPLETE PLUMBING SCHEDULE BY INSERTING MANUFACTURER NUMBER IN APPLICABLE LOCATION OF SCHEDULE

ITEM	DESCRIPTION	BATH 1	BATH 2	BATH 3	BATH 4	DRESS RM. 1	DRESS RM. 2	DRESS RM. 3
LAVATORY	MANUFACTURER #							
	COLOR							
	STYLE							
LAVATORY TRIM (FAUCETS)	MANUFACTURER #							
	COLOR							
	STYLE							
BATH TUB	MANUFACTURER #							
	COLOR							
	STYLE							
BATH TUB OR SHOWER TRIM (FAUCETS)	MANUFACTURER #							
	COLOR							
	STYLE							
WATER CLOSET (TOILET)	MANUFACTURER #							
	COLOR							
	STYLE							
BIBET	MANUFACTURER #							
	COLOR							
	STYLE							
SHOWER	MANUFACTURER #							
	COLOR							
	STYLE							

DIVISION 4: MASONRY

1. GENERAL: This section includes concrete block and brick walls as shown on drawings and specified herein.

- Work Related to other trades: Consult with other trades to insure the proper installation of all materials.
- Dur-O-Wall or equal masonry reinforcement shall be placed in block or brick work as specified.

2. MATERIALS:

- Concrete Block: Lightweight, manufactured from expanded shale aggregate by the rotary kiln method meeting requirements of ASTM C-900, Grade A
- Brick: By recognized manufacturer - see allowance schedule
- Mortar Mix: For laying brick & concrete block - 1 part cement, 1 part lime putty, and 6 parts sand.
- Stucco: Use 3 coat stucco application, 3/8" base coat, 3/8" scratch coat, 1/8" finish coat. DO NOT USE ANY FORM OF SYNTHETIC STUCCO.

3. WATERPROOFING CONCRETE BLOCK: See article 3, Division 7.

DIVISION 5: METALS

1. Structural Metals: provide size as indicated on drawing. All structural metal to be shop primed with red lead primer.

- Anchor Bolts: Comply with ASTM A-307 non leaded with hex nuts unless other wise indicated.
- Steel Basement Columns: 4" diameter with 3/8" x 4" x 6" welded cap & base
- Galvanized Basement Airway: "Slo" or equal - install as per manufacturers specifications.
- Aluminum Thresholds: Exterior weather seal type, install in all exterior entrances, anchor securely in bed of caulk.
- Termite Shields: shall be 24 gauge galv. sheet metal in 8' lengths. break metal to form a 2" flange at 45 degree angle. Seal all joints and apply mastic under holes for anchor bolts to form a tight barrier between masonry and wood.

DIVISION 6: CARPENTRY & MILLWORK

1. LUMBER GRADING REQUIREMENTS:

- Moisture Content: Framing lumber not to exceed 19% - finish lumber not to exceed 12%.
- Grade & Trade Mark: To be graded in accordance with latest grading rules of manufacturers association under which rules lumber is produced and bear the grade and trade mark of the association.
- Quality: Must be sound, free of warp that cannot be corrected.

2. GRADE & SPECS

- All Rough Framing Lumber except Studs & wall plates: #2 SYP - all wood in contact with concrete to be pressure treated.
- Studs, Soleplate and Double wall plates: #2 Spruce
- Bracing, Blocking, Furring, etc.: #2 SYP
- Sub-Flooring: APA rated Stur-D-Floor tongue & groove sized for spacing o.c. distance as recommended by APA. Use Exposure 1 in areas exposed to moisture such as bathrooms. Use Exterior where exposed to severe moisture. Install an additional layer of underlayment in areas to be finished with thin floor coverings such as vinyl tile. Fasteners to be 8d common at 6" oc at edges and 10" oc in field.
- Roof Decking: 1/2" x 4" x 8" APA Plywood, CD, Exterior. Install w/ surface grain at right angle to rafters, support all end joints on bearings and staggered with alt. course in line. Fasten with 8d nails 6" oc at edge and 12" at intermediate supports.
- Wall sheathing: Asphalt impregnated fiber board, intermediate grade 1/2" for typical construction. Where stucco occurs, install sheathing as specified by manufacturer.
- Siding: See finish schedule
- Exterior Trim: S4S Redwood, premium grade.
- Interior wood work: Painted: 15" or better, machine sanded at mill and hand sanded on job.
- Shelving: 3/4" fir AB interior.
- Laminated Plastic Cabinet tops: 1/16" high pressure plastic. Install as per manufacturers directions and specifications.

3. JOISTS: All joist shall be doubled under partitions and around stairwell.

4. CROSS BRACING: Joist over 8' spans shall be bridged with one row of 1" x 3 bridging cut on bevel and nailed tight after sub-floor has been installed.

5. WALL & PARTITION FRAMING: #2 Spruce

6. CEILING JOIST & RAFTERS: #2 SYP - see plans for size and spacing

7. BEAMS: see plans

B. Water Piping: Underground supply to be type "K" copper. Above ground can be type "M" copper. Sieve all pipe below concrete slab with plastic pipe liner.

C. Compliance with Codes: All plumbing to comply with local building codes.

D. Hangers & Supports:

- Cast iron soil, waste and vent piping shall be supported near or at each hub, not including the fittings at intervals not to exceed 5 feet.
- All copper tube lines shall be supported by means of copper tube hangers of size and type adequate support the lines, properly supported from the building construction. pipe 3/4" and smaller shall have hangers placed at intervals not to exceed 7'. Hangers supporting tubing 1" & larger shall be placed at interval not exceeding 5'. It is important that no galv. hangers be permitted with copper tubing lines.
- Pipe Insulation: All hot water piping and all water supply lines exposed located in unconditioned areas shall be insulated with a min. of 1" pipe insulation.

E. Domestic Water Heater: 40 gallon min., glass lined, electric, placed in a metal pan w/ 12" sides and drain to outside. Water heater to be wrapped with a insulation blanket as per mfg's specifications.

F. Heating & Air Conditioning Systems: These plans and specifications are designed for universal use and do not address a specific climate condition. Heat loss/gain calculations should be made by a mechanical engineer familiar with local climate conditions. Drawings should be prepared, based on the calculations, for the duct size and layout and equipment size and layout. Drawings should be used to supplement these working drawings.

3. Ventilation:

- Baths: install a "Nutone" model 8812 exhaust fan in each bath.
- Attics: install a "Nutone" RF-68 attic cooling fan on roof as recommended by mfg.

DIVISION 16: ELECTRICAL

1. All wiring to be done in strict accordance with the National Electric Code and all applicable state and local codes. All equipment to bear UL label of approval.

2. Service: The service supplied to the structure shall be 3 wire, 115/230 volt 60 cycle, single phase. Contractor to install meter, power company to bring service to meter.

3. Service Panel: The main service panel shall be required amp capacity with automatic circuit breakers. Panel shall include main circuit breaker having a grounded neutral and arranged for service specified.

4. Wiring: to be approved copper cable. Service entrance & feeder to panel shall be thick wall galv. conduit. Romex cable shall have grounding conductor.

5. Special Outlets: Special outlets may be required for ranges, dry, water heater, whirlpool etc. These outlets may not necessarily be shown on plans.

6. Boxes: To be galvanized steel or approved plastic installed as per electrical codes.

7. Receptacles and Switches: Receptacles and switches shall be installed as shown on drawings and wired to provide switch control as indicated. Receptacles shall be duplex type of Ivory Bakelite. Wall receptacles shall be placed 18" above floor, cabinet receptacles 42" above floor and above cabinets.

8. Telephone Wiring: install telephone wiring and outlets as per electrical plans.

9. Signal Chimes: Install in central location a set of chimes with a circuit connected to approved transformer and light circuit. Provide outside push button at each exterior door as per owners choice.

10. Lighting Fixtures: See allowance schedule

INTERIOR FINISH SCHEDULE

NOTE: OWNER / CONTRACTOR TO COMPLETE FINISH SCHEDULE BY INSERTING DESIRED FINISH FROM INTERIOR FINISH LEGEND

ROOM	FLOOR	BASE	DOOR/WIN. TRIM	CEILING MOLDING	WALLS	CEILING	REMARKS
GARAGE							
STORAGE							
SUNROOM							
KITCHEN							
UTILITY							
EATING							
DINING							
LIVING							
FOYER							
STUDY							
DEN							
STAIRS							
MASTER SUITE							
BED ROOM 2							
BED ROOM 3							
BED ROOM 4							
BATH 1							
BATH 2							
BATH 3							
BATH 4							
DRESS ROOM 1							
DRESS ROOM 2							
DRESS ROOM 3							
DRESS ROOM 4							
HALL 1							
HALL 2							
HALL 3							
HALL 4							
GAME ROOM							
BONUS ROOM							
OFFICE							
MEDIA ROOM							
OTHER							
OTHER							
OTHER							

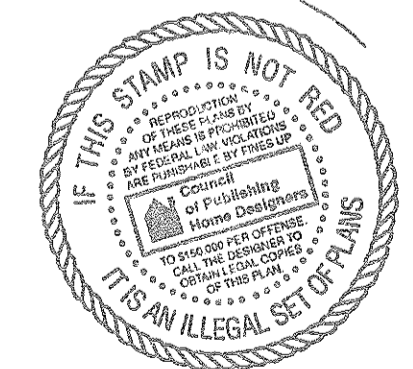
EXTERIOR FINISH SCHEDULE

NOTE: OWNER / CONTRACTOR TO COMPLETE FINISH SCHEDULE BY INSERTING DESIRED FINISH FROM EXTERIOR FINISH LEGEND

AREA	WALLS	CEILING	REMARKS
FRONT ELEVATION			
REAR ELEVATION			
RIGHT SIDE ELEVATION			
LEFT SIDE ELEVATION			
CARPENT			
GARAGE			
PORCH 1			
PORCH 2			
PORCH 3			

EXTERIOR FINISH LEGEND

WALLS	REMARKS
1. STUCCO	
2. BRICK	
3. 1" X 12" CEDAR BOARDS VERTICAL WITH 1" X 2" BATTIS	
4. MASONITE "X-90"	
5. HORIZONTAL VINYL SIDING	
6. REDWOOD HORIZONTAL BEVELED LAP SIDING	
7. REDWOOD VERTICAL 1" X 6", V-JOINT 1" X 8"	
8. REDWOOD DIAGONAL T & G, V-JOINT 1" X 8"	
10. CEDAR HORIZONTAL BEVEL LAP SIDING 1" X 8"	
11. FANCY CUT SHINGLES	
12. OTHER - DESCRIBE	
CEILING	
1. 3/8" EXTERIOR PLYWOOD - PAINTED	
2. 3/8" EXTERIOR PLYWOOD - STAINED	
3. 1" X 6" T & G, V-JOINT - PAINTED	
4. 1" X 6" T & G, V-JOINT - STAINED	
5. 1" S4S BOARDS - SEE PLANS FOR WIDTH	
6. VINYL SLATS	
7. OTHER - DESCRIBE	
8. OTHER - DESCRIBE	
9. OTHER - DESCRIBE	



LIGHTING FIXTURE SCHEDULE

NOTE: OWNER / CONTRACTOR TO COMPLETE LIGHTING SCHEDULE BY INSERTING MANUFACTURER NUMBER IN APPLICABLE LOCATION OF SCHEDULE

ROOM NAME	MANUFACTURER	LIGHT FIXTURE #	REMARKS
GARAGE			
STORAGE			
SUNROOM			
KITCHEN			
UTILITY			
EATING			
DINING			
LIVING			
FOYER			
STUDY			
DEN			
STAIRS			
MASTER SUITE			
BED ROOM 2			
BED ROOM 3			
BED ROOM 4			
BATH 1			
BATH 2			
BATH 3			
BATH 4			
DRESS ROOM 1			
DRESS ROOM 2			
DRESS ROOM 3			
DRESS ROOM 4			
HALL 1			
HALL 2			
HALL 3			
HALL 4			
GAME ROOM			
BONUS ROOM			
OFFICE			
MEDIA ROOM			
OTHER			
OTHER			
OTHER			

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DATE: August 2010
DRAWN BY: EEB
CHECKED BY:
REVISIONS:
SHEETS OF: 7
PLAN NUMBER: 1002



ZONING BOARD OF APPEALS ACTION SUMMARY
CITY OF NOVI
Regular Meeting
Tuesday, August 15, 2017
Council Chambers | Novi Civic Center | 45175 Ten Mile Rd
(248) 347-0415

Call to Order: 7:00pm

Roll call: Members Byrwa, Member Ferrell, Member Gronachan, Member Krieger, Member Montville, Member Nafso, Member Peddiboyina, and Chairperson Sanghvi

Present: Members Byrwa, Member Ferrell, Member Gronachan, Member Montville, Member Nafso, and Chairperson Sanghvi

Absent Excused: Member Krieger, Member Peddiboyina

Also Present: Larry Butler (Community Development Deputy Director) Beth Saarela (City Attorney), Katherine Oppermann (Recording Secretary)

Pledge of Allegiance

Approval of Agenda:

APPROVED

Approval of July 2017 Minutes:

APPROVED

Public Remarks:

None

Public Hearings:

- PZ17-0026 (Christopher Leineke) 2292 Austin Drive, South of Thirteen Mile Road and West of Old Novi Road, Parcel #50-22-10-227-018** The applicant is requesting a variance from the City of Novi Ordinance Section 3.1.5 and 4.19 for a 8.9 feet side yard, 15 feet allowed, 2 foot side yard setback, 10 feet allowed proposed lot coverage of 30 percent, 25 percent allowed, and a 1000 square feet garage, 850 allowed. This property is zoned Single Family Residential (R-4).

The motion to approve case PZ17-0026 requesting variance for side yard setback, increased lot coverage, and a 1000 square feet garage was approved. The property is unique due the limited size and odd shape of the lot. The petitioner did not create the condition because it has been an established property since approximately the 1940s and as such was built prior to the current ordinance.

Motion Maker: Member Gronachan

Seconded: Member Ferrell

Motion passed 6-0.

2. **PZ17-0028 (Kim T. Capello, Attorney) 47289 Sierra Dr. East of Beck Road and South of 11 Mile Road, Parcel # 50-22-21-101-001** The applicant is requesting a variance from the City of Novi Ordinance Section 5.11.2.A to install an interior side yard fence. This property is zoned Residential Acreage (R-A).

The motion to approve case PZ17-0028 requesting to install an interior side yard fence was approved. Without the variance the petitioner would be unreasonably prevented from fully ensuring the safety of their children and pets when using their yard. The Property is unique because it is along a Beck Road, a busy main street. The relief granted will not unreasonably interfere with adjacent or surrounding properties because the structure is within the property line and has the support of multiple neighbors.

*Motion Maker: Member Ferrell
Seconded: Member Gronachan
Motion passed 6-0.*

3. **PZ17-0030 (Ron Morelli/Benito's Pizza) 24270 Novi Road, East of Novi Road and North of 10 Mile Road, Parcel # 50-22-23-351-064** The applicant is requesting a variance from the City of Novi Ordinance Section 5.2.12 to allow for 30 additional parking spaces for proposed expansion, 89 parking spaces current, 114 required. This property is zoned General Business (B-3).

The motion to approve case PZ17-0030 requesting a variance of 30 parking spaces was approved. The property is unique due to the limited size of the existing parking area. The relief granted will not unreasonably interfere with adjacent or surrounding properties because it is a modification not an expansion. The relief is consistent with the spirit and intent of the ordinance because it will allow the restaurant to continue to stay in Novi to grow its business and improve the area.

*Motion Maker: Member Montville
Seconded: Member Gronachan
Motion passed 6-0.*

4. **PZ17-0031 (Ann Smith) 226 Henning Dr., West of Old Novi Road and South of South Lake Drive, Parcel # 50-22-03-376-004** The applicant is requesting a variance from the City of Novi Ordinance Section 3.32 for a front yard setback of 11 feet for construction of a new unenclosed porch, 30 feet allowed by code. This property is zoned Single Family Residential(R-4).

Case number PZ17-0031 requesting variance for a front yard setback was approved. Without the variance the petitioner would be unreasonably prevented from implementing the much need upgrades to her home. The relief granted will not unreasonably interfere with adjacent or surrounding properties because it will be an improvement to the property, is a minimal request, and has the support of several neighbors.

*Motion Maker: Member Montville
Seconded: Member Byrwa
Motion passed 6-0*

5. **PZ17-0032 (Kevin S. Choksi) 20970 Turnberry Blvd, West of Haggerty Road and North of Eight Mile Rd, Parcel # 50-22-36-451-008** The applicant is requesting a variance from the City of Novi Ordinance Section 3.1.3 of 3 feet to reduce the side yard setback to 22 feet, 25 feet minimum required by code. This property is zoned Residential Acreage (R-A).

The motion to approve case PZ17-0032 requesting variance for side yard setback was approved. The property is unique due to the lot being deep but narrow, limiting possibilities for the location of an addition. Without the variance the petitioner would be unreasonably prevented from being able to host his family members with physical limitations as there is no existing first floor bedroom. The relief granted will not unreasonably interfere with adjacent or surrounding properties because it will be located on the north side wooded area of the property and the petitioner has the support of their Homeowners Association.

*Motion Maker: Member Nafso
Seconded: Member Gronachan
Motion passed 6-0.*

6. **PZ17-0033 (Fountain Park of Novi LLC) 42101 Fountain Park Dr, East of Novi Road and South of Grand River Avenue, Parcel # 50-22-23-251-020** The applicant is requesting a variance from the City of Novi Code of Ordinance Section 28.5F3 and 28.5D to reconstruct one 10 by 7 foot square monument sign foot within 3 feet of the right-of-way and two 6 square foot ground signs, one sign is located in the right-of-way subject to Oakland County approval, one sign allowed by code. This property is zoned Low-Density Multiple-Family (RM-1)

The motion to approve case PZ17-0033 requesting a sign variance was approved. The petitioner has shown practical difficulty with visibility of their sign due to the changes in the area since the apartments were originally established. The property is unique due to the narrowness of the area given, and the view being obstructed by the wetlands to the east and a privacy fence to the west. The relief is consistent with the spirit and intent of the ordinance because it will allow the apartments to be easily identified by future clients.

*Motion Maker: Member Gronachan
Seconded: Member Montville
Motion passed 6-0.*

7. **PZ17-0034 (David Dismondy) 1181 West Lake Drive, East of Beck Road and South of W. Pontiac Trail, Parcel # 50-22-03-204-003** The applicant is requesting a variance from the City of Novi Ordinance Section 3.1.5 for a 11 foot aggregate side yard setback, 25 feet required, 2 feet for side yard setback 10 feet required, 28 feet rear yard setback, 35 feet required and a proposed lot coverage of 37 percent, 25 percent maximum allowed. This property is zoned Single Family Residential(R-4)

The motion to approve case PZ17-0034 requesting variance for side and rear yard setbacks was approved. The property is unique due to the nonconforming nature of the preexisting lot. The relief granted will not unreasonably interfere with adjacent or surrounding properties because it has the support of the surrounding neighbors.

*Motion Maker: Member Montville
Seconded: Member Gronachan
Motion passed 6-0.*

Meeting Adjournment: 8:37 PM

Zoning Ordinance, Section 3107. - Miscellaneous.

No order of the Board permitting the erection of a building shall be valid for a period longer than one (1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty (180) days unless such use is established within such a period; provided, however, where such use permitted is dependent upon the erection or alteration of a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one (1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

Such time limits shall be extended for those applicants requiring site plan review to a period of thirty (30) days after the date of final site plan approval has been given by the City.

(Ord. No. 18.226, 5-12-08; Ord. No. 10-18.244, Pt. VII, 11-8-10).