



LEGACY CHURCH FAÇADE JSP 15-66

LEGACY CHURCH FAÇADE JSP 15-66

Approval at the request of Connecting Spaces LLC for Preliminary Site Plan and Section 9 Façade Waiver. The subject property is located in Section 22, South of Eleven Mile Road and east of Taft Road, in the R-4, One Family Residential zone. The subject property is approximately 6.25 acres and the applicant is proposing to remodel the existing façade for Legacy Church along with modifications to the existing parking lot, internal sidewalks and remodel the interior of the school building.

Required Action

Approval of Preliminary Site Plan and a Section 9 Façade waiver

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval Recommended	10-12-15	<ul style="list-style-type: none"> Items to be addressed on the final site plan submittal
Engineering	Approval Recommended	10-29-15	<ul style="list-style-type: none"> Items to be addressed on the final site plan submittal
Landscape	Approval Recommended	10-15-15	<ul style="list-style-type: none"> Items to be addressed on the final site plan submittal
Facade	Approval Recommended	10-19-15	Section 9 Waiver is required for overage of single score CMU material on the all facades (existing)
Fire	Approval Recommended	10-20-15	<ul style="list-style-type: none"> No outstanding comments

Motion sheet

Approval – Legacy Church Façade

In the matter of Legacy Church Façade JSP 15-66, motion to **approve** the Preliminary Site Plan and a Section 9 Waiver, based on and subject to the following:

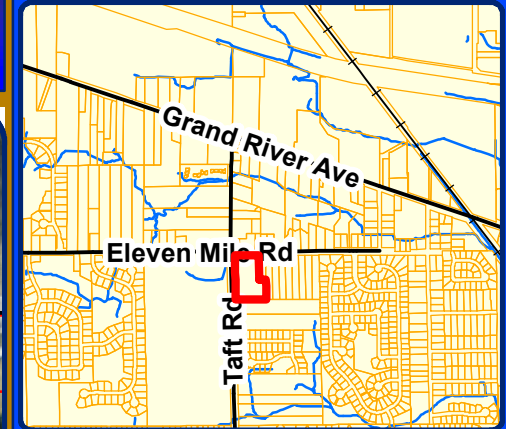
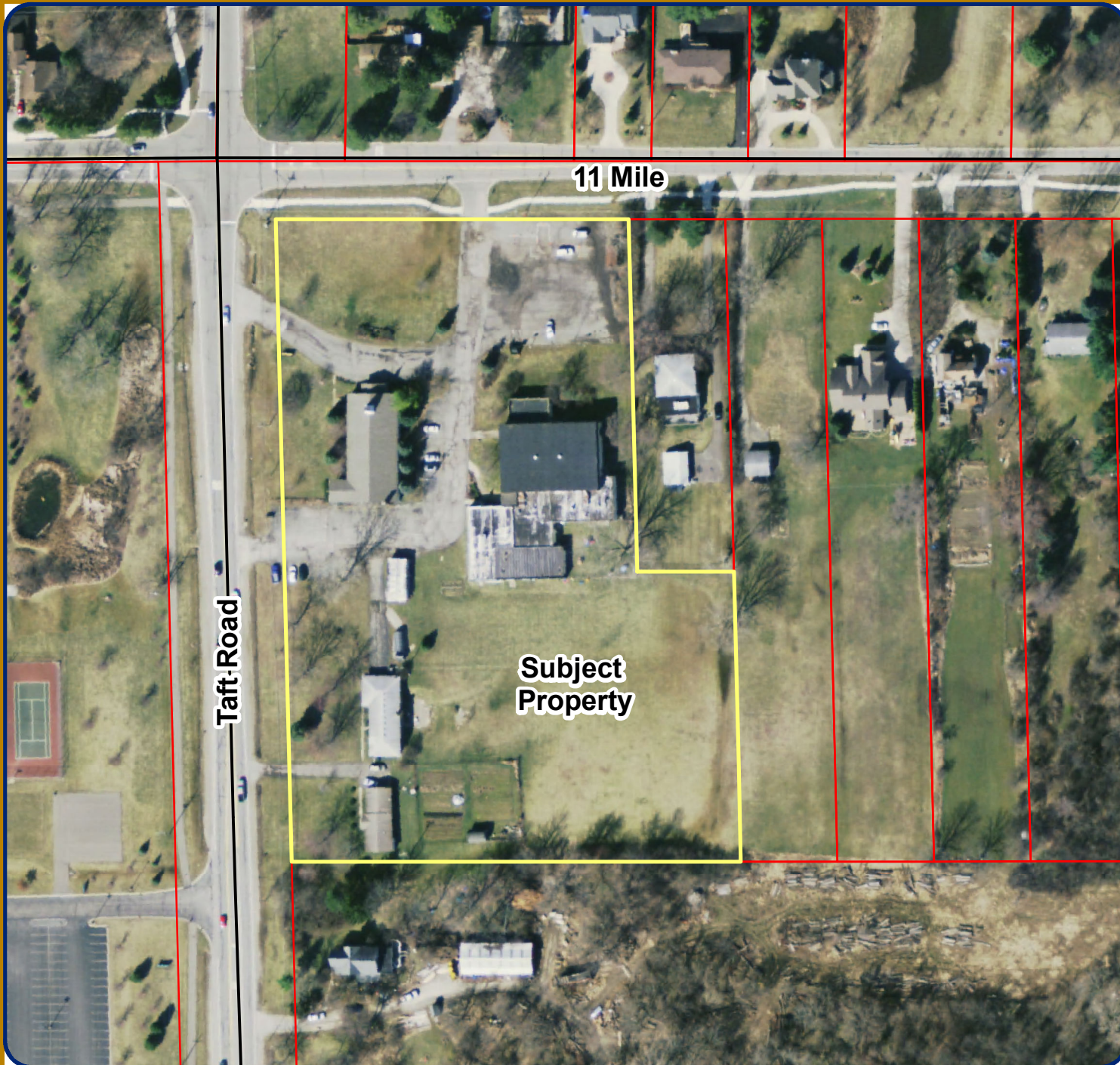
- a. To allow the overage of single score CMU material on all façades (25% allowed; 71%, 48%, 44% and 59% proposed) because the proposed alteration will significantly improve the overall appearance of the building and is consistent with the intent and purpose of the Façade Ordinance, which is hereby granted. The CMU block is existing but will be painted and complemented with additional materials.
- b. The findings of compliance with Ordinance standards in the staff review letter and the conditions and the items listed in that letter being addressed.

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4 Article 5 and Article 6 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

MAPS
Location
Zoning
Future Land Use
Natural Features

Legacy Church Facade - JSP 15-66

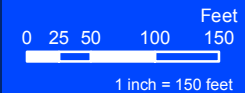
Location Map



City of Novi

Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Chris Gruba
Date: 10-28-15

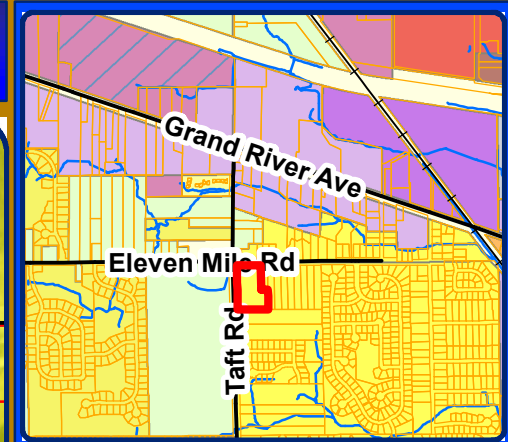
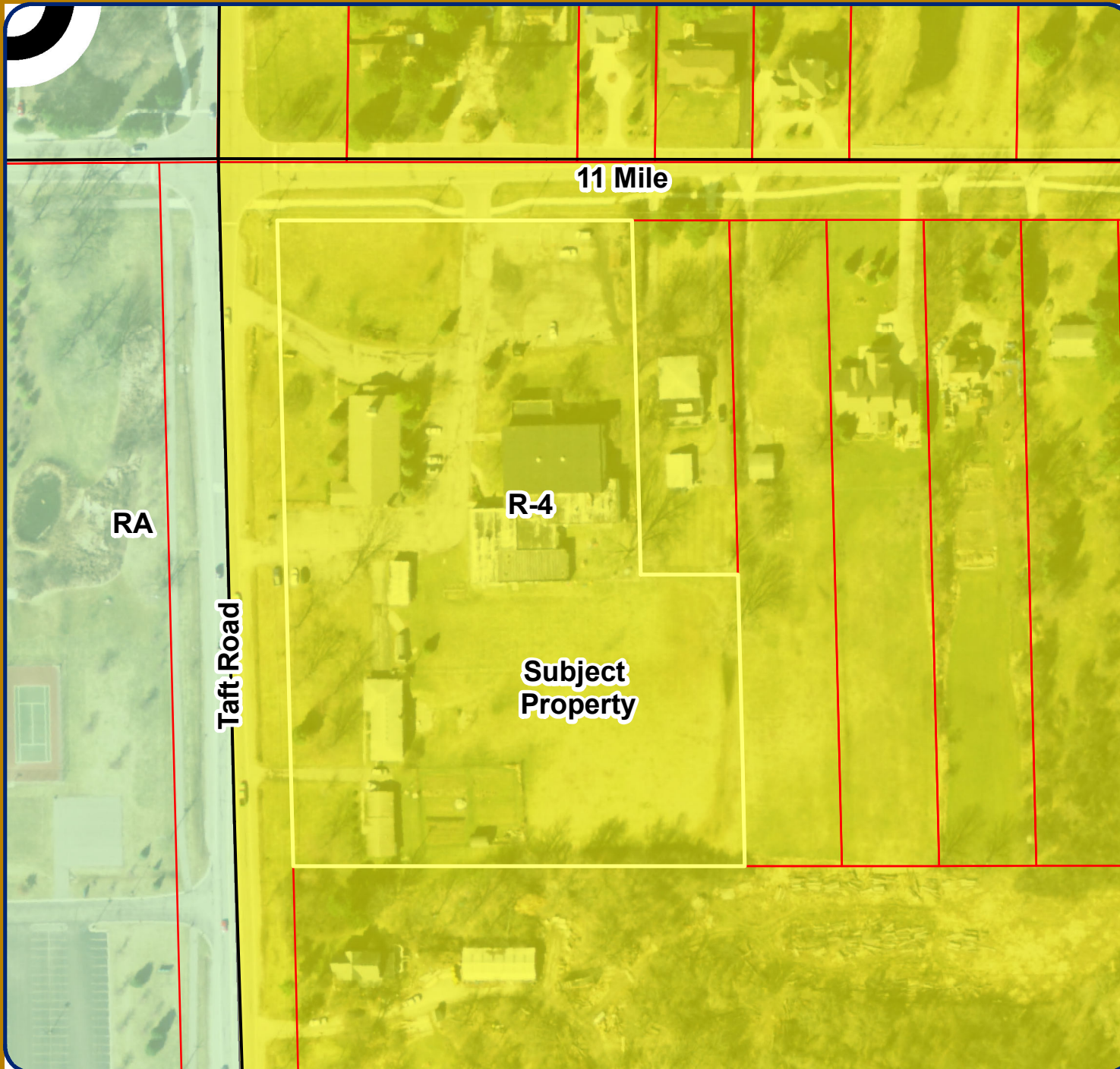


MAP INTERPRETATION NOTICE

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Legacy Church Facade - JSP 15-66

Zoning



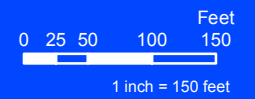
- R-A: Residential Acreage
- R-1: One-Family Residential District
- R-2: One-Family Residential
- R-4: One-Family Residential District
- C: Conference District
- EXO: OST District with EXO Overlay
- EXPO: EXPO District
- I-1: Light Industrial District
- I-2: General Industrial District
- OS-1: Office Service District
- OST: Office Service Technology
- RC: Regional Center District
- TC-1: Town Center -1 District



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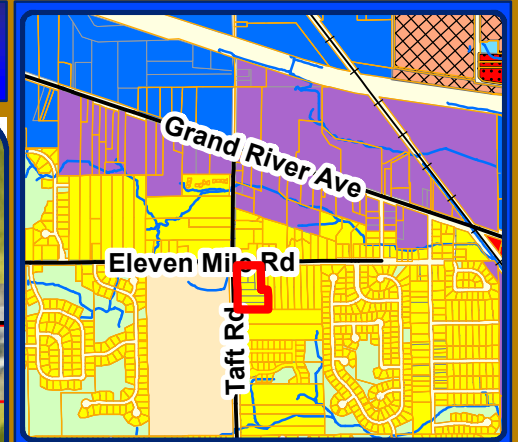
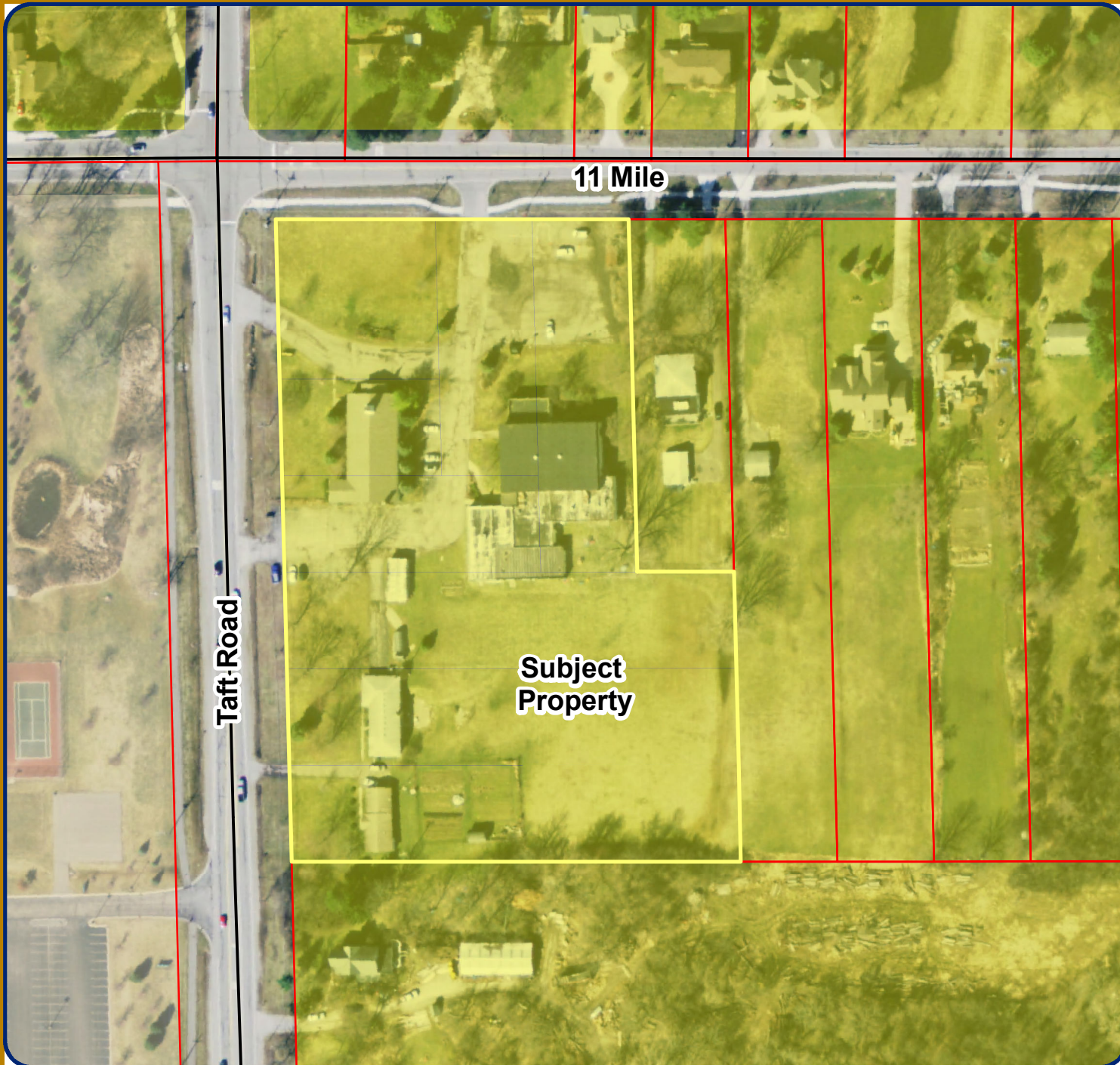


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Legacy Church Facade - JSP 15-66

Future Land Use



Legend

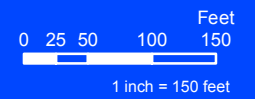
- SINGLE FAMILY
- OFFICE RES DEV TECH
- INDUSTRIAL RES DEV TECH
- REGIONAL COMMERCIAL
- TC COMMERCIAL
- PD2
- EDUCATIONAL FACILITY
- PUBLIC
- PRIVATE PARK



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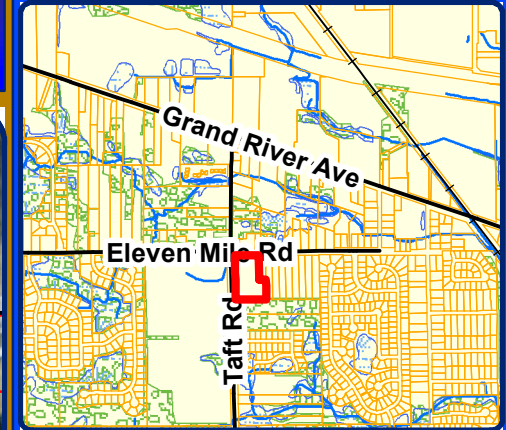
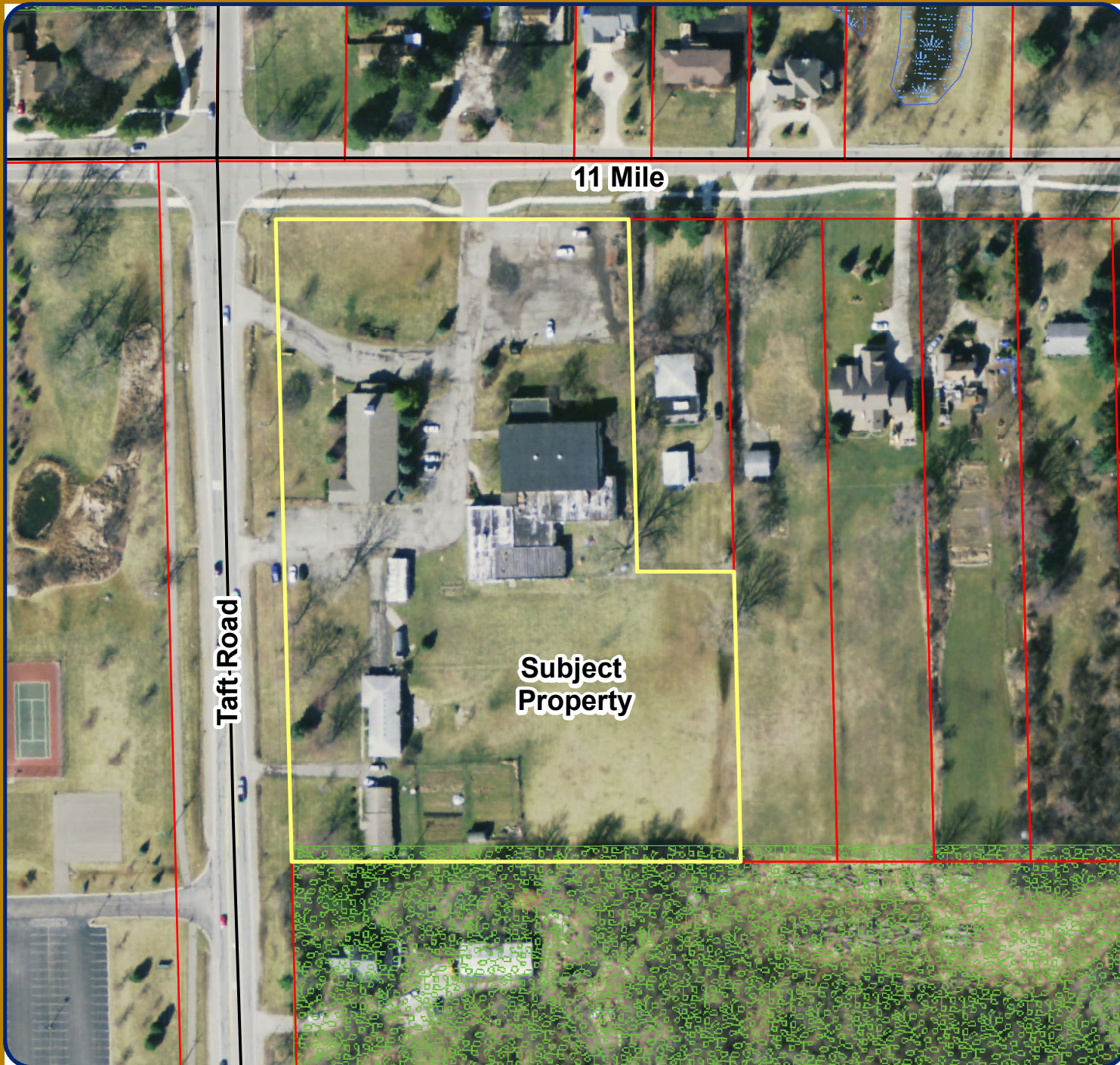


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Legacy Church Facade - JSP 15-66

Natural Features



Legend

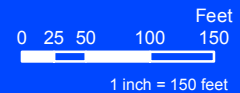
-  Wetlands
-  Woodlands



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SITE PLAN

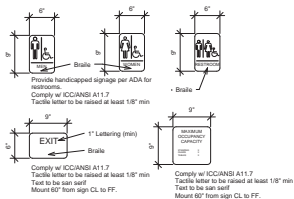
Legacy Church
45301 W 11 Mile Road
Novi, Michigan 48375

PROJECT TEAM

OWNER:
Legacy Church
45301 W 11 Mile Road
Novi, Michigan 48375
Jon Hix, Pastor
V (248) 349-5665
jon@legacychurch.us

CONTRACTOR:
Steven W. Moore
J L Moore, Inc
27102 Royalton Road
Columbia Station, OH 44028
V (440) 236-3589 ext 202
F (440) 236-5253
stevnm@jlmooresinc.com

REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE ARCHITECT:
ConnectingSpaces LLC
Donald A. Highlander
56 Millford Drive, Suite 2
Hudson, OH 44236
V (330) 653-5320
F (330) 653-3520
don@connectingspaces.com



Signs
1" = 1'-0"

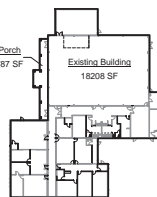
Signage Notes

- Signage shall comply with ICCANSI A11.7
- Material for signs shall be high pressure plastic laminate in finishes and color as selected from the manufacturer's standards.
- Signs shall be installed on the wall adjacent to the latch side of the door. Where there is no wall space to the latch side of the door, signs shall be placed on the nearest adjacent wall.
- Mounting height shall be 60" above finished floor to center of sign.
- Provide min. occupancy capacity signage for any room 50 capacity or over.

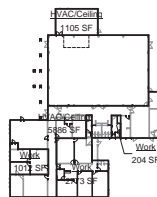


Room Occupancy Schedule						
Number	Name	Area	Room Function	SF Per Person	Net	Occupancy
105	Comstor	712 SF	N/A	1.5 SF	1	0
107	Comstor	602 SF	N/A	1.5 SF	1	0
110	Office	250 SF	Business	100 SF	1	0
110A	Mech	40 SF	Business	100 SF	1	0
111	Office	250 SF	Business	100 SF	1	0
112	Mech	221 SF	N/A	7.5 SF	1	0
113	Woman	278 SF	N/A	7.5 SF	1	0
114	Mech	220 SF	Necessary Storage	100 SF	1	1
115	Man	220 SF	Necessary Mechanical Equipment	100 SF	1	1
117	Elec	42 SF	Necessary Mechanical Equipment	300 SF	1	0
118	Stor	146 SF	Necessary Storage	300 SF	1	0
119	Stor	568 SF	Necessary Storage	115 SF	1	258
120	Mech	250 SF	Necessary Mechanical Equipment	100 SF	1	1
121	Ballroom	3461 SF	Assembly, Tables & Chairs	115 SF	1	2473
122	Storage	1100 SF	Necessary Storage	300 SF	1	3
130	Classroom	995 SF	Educational Classroom	20 SF	1	50
130A	Mech	41 SF	Educational Classroom	20 SF	1	0
131	Classroom	450 SF	Educational Classroom	20 SF	1	20
132	Classroom	275 SF	Educational Classroom	20 SF	1	12
133	Classroom	230 SF	Educational Classroom	20 SF	1	12
134	Conference	308 SF	Business	100 SF	1	0
135	Office	495 SF	Business	100 SF	1	0
140	Comstor	494 SF	N/A	1.5 SF	1	0
141	Reception	77 SF	Educational Classroom	20 SF	1	4
142	Classroom	532 SF	Educational Classroom	20 SF	1	17
143	Classroom	460 SF	Educational Classroom	20 SF	1	18
144	Classroom	377 SF	Educational Classroom	20 SF	1	19
145	Mech	69 SF	Business	120 SF	1	1
150	Classroom	445 SF	Educational Classroom	20 SF	1	22
151	Classroom	386 SF	Educational Classroom	20 SF	1	19
152	Class	34 SF	N/A	1.5 SF	1	0
Grand total						681

DRAWING INDEX	
Sheet Number	Sheet Name
G101	General
G102	Life Safety Plan
C101	Architectural Site Plan
E101	Foundation Plan
S200	Existing Structural Framing
S201	Structural Roof Framing
S202	Framing Details
E102	Existing Plans
A100	Demolition Plan
A101	Floor Plan
A104	Refractored Ceiling Plan
A107	Roof Plan
A201	Exteriors and Section
A202	Interior Elevations
A203	Interior Elevation
E103	Lighting Plan
E104	Power Plan
E201	Lighting Plan
E301	Electrical Panels
M101	Mechanical Plan
M102	Lavatory Plan
M103	Mechanical Plan
M104	Compsite Water Plan
M105	Neural Gas Plan
F101	Fire Penetrations
L101	Landscape Plan



Existing Building Area Schedule		
Name	Area	Comments
Existing Building	18208 SF	
Porch	787 SF	
Grand total:	18995 SF	



Renovation Area Plan
1" = 50'-0"

Renovation Area Plan	
Name	Area
HVAC Only	7083 SF
HVAC/Chiller	1105 SF
HVAC/Ceiling	5880 SF
Work	1012 SF
Work	2723 SF
Work	204 SF
Grand total	13808 SF

- Deferred Submittals**
- Fire alarm and Fire detection Drawings
 - Truss shop drawings
- Special Inspections**
- Special inspections for concrete and masonry

BUILDING CODE

Project Description:
Renovation of existing church building. No change of occupancy. Reconfiguring large existing classrooms into smaller classrooms. Replace HVAC equipment. Add trusses and metal roof over floor room areas except gym. Add new porch to west elevation.

2015 MICHIGAN DEMOLITION CODE FOR EXISTING BUILDINGS (MBC)

- MBC 302 - No hazard space addition, porch only
- MBC 301.1 - No change of occupancy
- MBC 701.3 All new construction elements, components, systems, and spaces shall comply with MBC 2009.
- MBC 704.2.2 The agitator required per Item 3, the building does NOT have a municipal water supply.
- MBC 701.1 - Assemblies do not require the entire building to be ICC compliant.

ADDITIONAL CODES

- Building Code - 2012 Michigan Building Code (MBC 2012)
- Structural Code - 2012 Michigan Building Code (MBC 2012)
- Plumbing Code - 2009 Michigan Mechanical Code (MBC 2009)
- Mechanical Code - 2009 Michigan Mechanical Code (MBC 2009)
- Electrical Code - Michigan Electrical Code based on 2014 NEC with part 8 State Amendments
- Fire/Life Safety Code - International Fire Code 2009
- Accessibility Code - ICCANSI A117.1 2009 & Michigan Barrier Free Design Law Public Act 1 of 1996 as amended
- Energy Code - Michigan Uniform Energy Code Rules Part 10 with ANSI/ASHRAE/IESNA Standard 90.1-2007
- Gas Code - International Fuel Gas Code 2012

2009 MICHIGAN BUILDING CODE

- Chapter 3: Use and Occupancy Classification**
- MBC 303.1 Use group A-3

Chapter 6: Types of Construction

- MBC 601 Type III-A, 4-Roor existing exterior wall, new wood truss roof.
- Table 601.1 The structural steeling requirements for building elements
- Table 601 Structural framing 0
- Table 601 Existing exterior wall
- Table 601 Existing walls-interior 0
- Table 602 Nonbearing wall and partitions, exterior: greater than or equal to 30" to property line: 0
- Table 601 Nonbearing wall and partitions, interior: 0
- Table 601 Floor construction: 0
- Table 601 Roof construction: 0

Chapter 8: Interior Finishes

- MBC 801 Interior wall and ceiling finishes shall comply:
 - Rooms - Class C
 - Corridors - Class C
- MBC 804 Decorations and trim shall comply

Chapter 9: Fire Protection System

- MBC 901.2.1 Existing fire alarm notification to be designed and installed by certified designer/installer and submitted under separate cover.

Chapter 10: Means of Egress

- MBC 1001.1 Means of egress illumination, see electrical plans
- MBC 1007.1 Not less than one means of egress shall be accessible
- MBC 1008.1 Means of egress door shall comply
- MBC 1008.1.8 Means of egress door hardware shall comply
- MBC 1011.1 Exit signs shall comply, see electrical plans

Chapter 11: Accessibility

- MBC 1101.3 Design compliance with MBC 1101 and ICC ANS 117.1 for new construction
- MBC 1109 Required accessible elements shall be identified

Chapter 20: Plumbing Systems

- MBC Table 2002.1 See table this sheet

Plumbing Fixtures Required	Plumbing Fixtures Required												
	Drinks	Wash Sinks	Wash Sinks	Wash Sinks	Wash Sinks	Wash Sinks	Wash Sinks	Wash Sinks	Wash Sinks	Wash Sinks	Wash Sinks		
Church - Male	374	150	3	1	2	1	4	300	2	2	1000	1	1
Church - Female	374	75	5	2	4	6	200	2	2	2	2	2	2

Legacy Church
Renovation
45301 W 11 Mile Rd
Novi, Michigan 48375



General

DATE: 5/5/2015
G101

Site Data

Legal Description: Lots 9 thru 16 of "Munro Subdivision" of W. 1/2 of 1/4 of Section 22, T.2N, R.6E, New Twp., City of Novi, Oakland County, Michigan, Liber 61, Page 26, O.C.R.

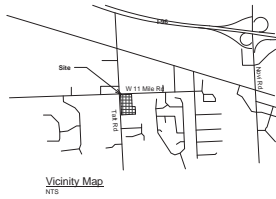
SID #: 50-22-22-100-001

Area of Site: 272,725 SF or 6.26 Acres

On Site parking: Space parking requirements:
Auditorium - 255 seats / 3.4 = 70 spaces
Employees - 212 Employees per space = 22 spaces
Total Required = 92 spaces
Parking provided = 85 spaces

Building SF: Church building = 11,054 SF (Two stories)
School building = 18,208 SF

Disturbed Site Area: Area around canopy = 1,470 SF
Parking area near 'A' = 2,827 SF



Site Notes

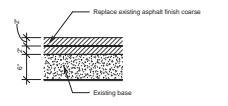
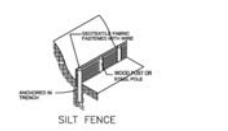
- Grade & accessibility to be 1:20 max
- Field verify the location of all utility and site dimensions
- 72 Existing parking spaces, 4 HC required
- No proposed site lighting. Utilize existing parking lighting
- All work shall conform to the current City of Novi standards and specifications
- A preconstruction meeting shall be scheduled prior to any site work being started, contact Sarah Marchioni in the Community Development Department.



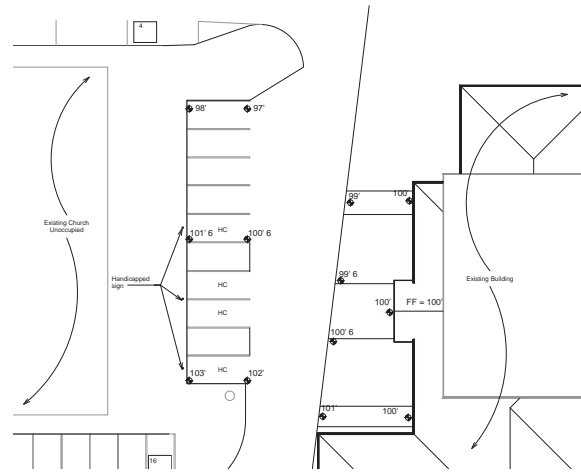
1 Isometric Ramp Detail
1/4" = 1'-0"



Handicapped sign
One sign per handicapped parking space, provide four.



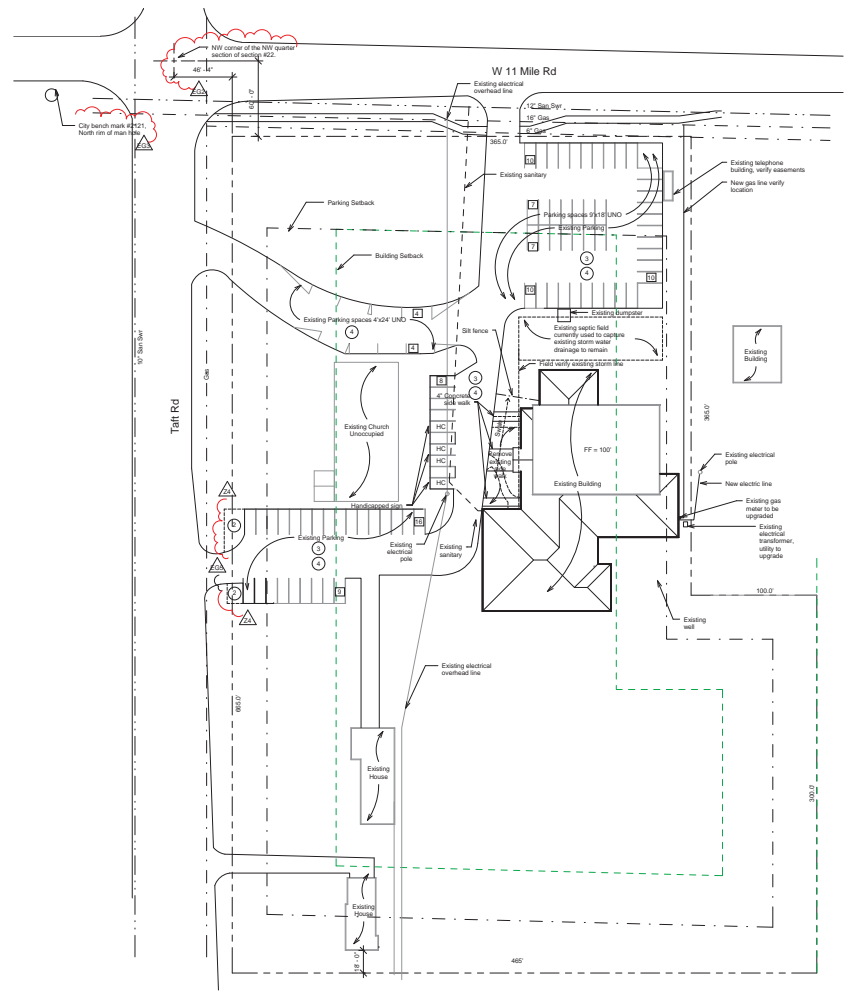
2 Asphalt Paving Detail
1" = 1'-0"



1 Grade and Accessibility
1/16" = 1'-0"

Grade and Accessibility Plan Notes

- Grade and accessibility 1:20 Max
- Field verify Elevations



Impervious Surface Calculations

Item	Quantity	Impervious Area (SF)	Permeable Area (SF)
House 1	2,250	2,250	0
House 2	1,125	1,125	0
Building 1	4,500	4,500	0
Building 2	15,000	15,000	0
Pavement & Sidewalk	49,819	49,819	0
Total Impervious	72,694	72,694	0
Previous surface	137,723	138,338	0
Existing % of impervious surface	27.6%	27.3%	

REVISION

NO.	DATE
1	5/29/2015
2	6/27/2015
3	10/29/2015

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ConnectingSpace, LLC.
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Legacy Church
Renovation
45301 W 11 Mile Rd
Novi, Michigan 48375



PLANNING REVIEW



PLAN REVIEW CENTER REPORT

October 20, 2015

Planning Review

Legacy Church – Façade Change, minor site improvements
JSP 15-66

Petitioner

Jon Hix

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: 45301 Eleven Mile Road
- Site School District: Novi Community Schools
- Site Zoning: R-4, One Family Residential
- Adjoining Zoning: R-4, One Family Residential
- Site Use(s): Church/School
- Adjoining Uses: North: single family residential; East: single family residential; West: Novi Community Schools; South: single family residential
- Site Size: 8.28 acres
- Building Size: Info needed
- Plan Date: 8-27-15

Project Summary

Legacy Church intends to change the façade of the existing school building and completely renovate the interior, and resurface and restripe the parking area. Minor changes are proposed for the sidewalks in front of the building facing Taft Road. New electric and gas lines are also proposed on site.

The applicant has stated that the existing church building will not be used, with the ultimate goal of demolishing the building. As such, the church building was not factored into the required parking for the site. The church building must remain unoccupied unless parking can be provided for it and for all uses on the property.

There are two existing homes on the property, which are occupied and will remain occupied.

Recommendation

Staff recommends approval of the Preliminary Site Plan, contingent upon the following comments.

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), Article 7.1 (Nonconformities) and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed prior to approval of the final site plan.

1. Nonconformities (Sec 7): It is the intent of this section to permit legal nonconforming lots, structure or uses to continue until they are removed but not to encourage their survival.

The proposed façade change and parking lot layout changes are not considered “encouraging” the legal nonconforming status. Rather, the changes can be considered as “repairs and maintenance”. However, the site is in non-compliance with the following:

- a) The two existing homes on the property are not located on individual parcels, as is required per Section 3.1.5 of the Zoning Ordinance (R-4 zone district). As such, the houses are considered existing, non-conforming structures. At this time, no changes are proposed for the two houses. However, any future changes to the houses may require that the homes be brought into compliance with Section 3.1.5.
 - b) The site is currently in non-compliance regarding greenbelt, parking lot and building façade landscaping as per Section 5.5.
2. **Sidewalks:** Traffic circulation features within the site and location of automobile parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets. Building exits must be connected to sidewalk system or parking lot. *Access to the building will be improved by ensuring ADA compliance. Sidewalks are currently lacking along Taft Road. Future changes to the site, such as enlarging the parking lot, may require the installation of a sidewalk along Taft Road.*
 3. **Parking requirements (Section 5.2.12 B):** Parking on the property was calculated per the requirements of a school use, although worship activities will periodically take place within the auditorium. The ordinance requires 1 parking space for every 3.4 seats in the auditorium plus 1 space for each two employees. The floor plan illustrates 260 seats in the auditorium, which equates to 76 parking spaces. The number of employees has not been identified on the plans or letter. The site plan illustrates 75 parking spaces, of which 5 will have to be removed from the Taft Road right-of-way, leaving 70 parking spaces provided. Therefore, parking on site is deficient by 5 spaces. The parking requirements can be met by decreasing the number of seats in the auditorium, or by expanding the parking lot, although site plan approval could be obtained faster by decreasing the number of seats. Please indicate the number of employees in the largest working shift, as well as the number of seats in the auditorium and whether they are fixed or movable.
 4. **Parking lot setbacks (Section 3.6.2B):** Church uses require that parking lots are set back at least 75' from the front property line. In this case there are two front yards, being Taft Road and Eleven Mile Road. Furthermore, parking lots for churches may not be located between the building and the street. It appears from the aerial photograph and from the previously approved site plan dated May 4, 1994, that part of the exiting parking lot along Taft Road is located within the road right-of-way. Per the old plans, the north row of parking should have 13 spaces, not 16. The 3 spaces furthest west should be removed from the right-of-way and sodded or reseeded. The south row of parking should have the two most western spaces removed as well. Please illustrate this on the plans and revise the western property line. The rest of the parking lot area outside of the right-of-way is considered existing, non-conforming and may remain.
 5. **Lighting (Sec 5.7):** The site plan illustrates new electrical lines. If no changes are proposed to the light poles or wall packs, please indicate on plans that the existing lighting will remain and utilized.
 6. **Misc.:** Please indicate the total square footage of the school building and church building.

Other Reviews:

- a. **Engineering Review:** Engineering does not recommend approval. Please see attached comment sheet.
- b. **Landscape Review:** Landscape architect recommends approval, please see attached comment sheet.
- c. **Facade Review:** Façade consultant recommends approval. Please see attached comment sheet which refers to the need to submit a sample materials board regarding the façade improvements.

Planning Commission Review

Please submit a letter from either the applicant or the applicant's representative addressing comments in this and other review letters is requested to be submitted with the submittal. Please also email Christopher Gruba a PDF of the site plan as it looked when you last submitted hard copies- no changes made. Please also email a color rendering of the building.

Chapter 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

Signage

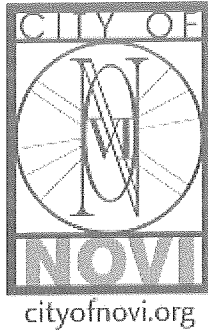
Exterior Signage is not regulated by the Planning Division or Planning Commission. Please contact Jeannie Niland (248.347.0438) for information regarding sign permits.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347-0586 or cgruba@cityofnovi.org.

Christopher Gruba – Planner

ENGINEERING REVIEW

MEMORANDUM



TO: BARBARA MCBETH; COMMUNITY DEVELOPMENT
FROM: JEREMY MILLER, E.I.T.; STAFF ENGINEER *JJM*
SUBJECT: JSP15-0066 LEGACY CHURCH PC UPDATE
DATE: OCTOBER 29, 2015

This memo is to provide an updated review for the above referenced project based on the applicant's response letter comments in the engineering review letter dated October 13, 2015

There were two items the review required revision on for approval. The applicant has provided a response letter with additional information to address those items. The applicant has provided details in their response letter and revised plans dated October 29 showing that the items listed in the review are existing conditions and will not be reviewed with this site plan. The revised preliminary site plans dated October 29, 2015 are approved with the additional comments to be addressed with the Final Site Plan.

cc: Brian Coburn, Engineering Manager
Christopher Gruba, Planner

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

October 15, 2015

Preliminary Site Plan

Legacy Church

Review Type

Preliminary Landscape Review

Job

JSP15-0066

Property Characteristics

- Site Location: Southeast corner of Taft and 11 Mile Road
- Site Zoning: R-4
- Adjacent Zoning: R-4 North, east and south, R-A west (across Taft Road)
- Plan Date: 8/27/2015

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the Preliminary Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance.

Recommendation:

This project is **recommended for approval** with the understanding that the items listed below will be addressed satisfactorily in the Final Site Plans.

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

All existing trees along the streets and in the immediate vicinity of the buildings and parking lots should be added to the plans. The tree identities (scientific names) and diameters should be included for each tree.

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Zoning Sec. 5.5.3.B.ii and iii, Zoning Section 3.21.2.A)

1. As no additions to parking and no significant changes are being made to the building, no additional greenbelt landscaping is required at this time.
2. If site changes or more significant building changes than are proposed on the plan dated 8/27/15 are made, additional landscaping to meet ordinance requirements may be required.

Street Tree Requirements (Zoning Sec. 5.5.3.E.i.c and LDM 1.d.)

1. As no additions to parking and no significant changes are being made to the building, no additional greenbelt landscaping is required at this time.
2. If site changes or more significant building changes than are proposed on the plan dated 8/27/15 are made, additional landscaping to meet ordinance requirements may be required.

Parking Lot Landscape (Zoning Sec. 5.5.3.C.)

1. As no additions to parking are being made, no additional parking lot landscaping is required at this time.

2. If parking lot additions are made, calculations for required parking lot landscaping will be required, and additional landscaping to meet ordinance requirements may be required.
3. The area of required pavement removals and proposed ground cover for those areas need to be called out on the plan (i.e. seed, sod, etc.)

Parking Lot Perimeter Canopy Trees (Zoning Sec. 5.5.3.C.(3) Chart footnote)

1. As no additions to parking are being made, no parking lot perimeter landscaping additions are required at this time.
2. If parking lot additions are made, calculations for required parking lot perimeter landscaping will be required, and additional landscaping to meet ordinance requirements may be required.

Building Foundation Landscape (Zoning Sec 5.5.3.D.)

1. As no significant building footprint changes are proposed, no additional foundation landscaping is required at this time.
2. If existing foundation landscaping is damaged or removed in the course of making the proposed improvements, that landscaping will need to be restored.
3. If more significant building changes than are proposed on the plan dated 8/27/15 are made, additional foundation landscaping to meet ordinance requirements may be required.

Plant List (LDM 2.h. and f.)

If any plantings are proposed, those new plantings need to be shown on the plans (if only a few, they can be on the site plan – if many, a separate landscape plan will be required). A plant list for all new plantings would also need to be added to the plans.

Planting Notations and Details (LDM)

If plantings are proposed, planting details for the proposed plants need to be added to the plans.

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 1.d.(3))

Not applicable

Irrigation (LDM 1.a.(1)(e) and 2.s)

Not applicable

Proposed topography. 2' contour minimum (LDM 2.e.(1))

No changes to existing topography are proposed.

Proposed trees to be saved (Sec 37 Woodland Protection 37-9, LDM 2.e.(1))

No existing landscaping is shown on the plan. If any changes to existing landscaping is proposed, the existing landscaping needs to be added to the plans and the changes proposed need to be called out.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or meader meader@cityofnovi.org.

FACADE REVIEW



October 19, 2015

Façade Review Status Summary:
Section 9 Waiver Recommended

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Re: **FACADE ORDINANCE - Final Site Plan**
Legacy Church, PSP15-0143
 Façade Region: 1, Zoning District: R-4

Dear Ms. McBeth;

The following is the Façade Review for Final Site Plan Approval of the above referenced project based on the drawings prepared by Connecting Spaces LLC, dated 8/27/15. The percentages of materials proposed for each façade are as shown below. The building is located in Zoning District R-4 and therefore falls within Façade Region 1. Materials that are in violation of the Ordinance, if any, are shown on bold.

Façade Region 1	North (Front)	South	West	East	Façade Ordinance Section 2520 Maximum (Minimum)
Brick	0%	0%	0%	0%	100% (30%MIN.)
Single Score CMU (existing)	71%	48%	44%	59%	25%
Standing Seam Metal	14%	33%	30%	19%	50%
Flat Metal Panels	14%	19%	25%	22%	50%
Cultured Stone	1%	0%	1%	0%	50%

This project consists of the alteration of an existing building as described in Section 5.15.6 of the Façade ordinance. No sample board was provided at the time of this review. Section 5.15.6 states that when new materials are proposed for an existing façade the entire façade shall be brought into compliance with the Façade Ordinance. As shown above the minimum amount of Brick is not provided and amount of Single Score CMU exceeds the maximum amount allowed by the Ordinance on all facades. It is assumed that the Scored CMU will be repainted. It should be noted that the Scored CMU represents an existing material. A Section 9 Waiver would be required for these deviations from the Façade Ordinance.

Recommendation – The proposed design includes the addition of a new roof line and colonnade on the west façade. This feature will delineate the west façade and provide emphasis of the main entrance. The overall design will significantly improve the overall appearance of the building as evidenced by the rendering provided. *Therefore, it is our recommendation that the design is consistent with the intent and purpose of the Façade Ordinance and that a Section 9 Waiver be granted for the underage of Brick and overage of existing Single Scored CMU.*

This recommendation is contingent upon the applicant providing a sample board showing carefully coordinated earth toned colors, including the color for repainting of the existing Scored CMU. The sample board should also indicate the exact type of metal panels to be used. It should be noted that flat metal panels (urethane backed) are required by the Façade Ordinance. Ribbed metal panels are not allowed.

Notes to the Applicant:

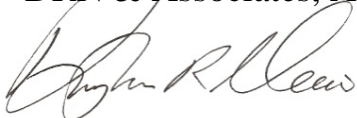
1. Inspections – The Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board will be compared to materials delivered to the site. It is the applicant’s responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department’s Online Inspection Portal with the following link. Please click on “Click here to Request an Inspection” under “Contractors”, then click “Façade”.

2. The Façade Ordinance requires screening of roof top equipment from all vantage points both on and off site. It is assumed that the parapets are raised sufficiently to screen any roof top equipment. If roof equipment screens are used they must be consistent with the Façade Ordinance.

<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

If you have any questions regarding this project please do not hesitate to call.

Sincerely,
DRN & Associates, Architects PC



Douglas R. Necci, AIA

RESPONSE LETTER



October 26, 2015

Christopher Gruba
City of Novi
Planning Department
45175 W. Ten Mile Rd.
Novi, MI 48375-3024

RE: Legacy Church
45301 W. Eleven Mile Road
Novi, MI 48775

To Whom It May Concern:

This letter serves as a request for a Section 9 Waiver to be granted for the proposed façade changes for the underage of Brick and overage of existing Single Scored CMU. As the reviewer comment stated, the proposed changes “will significantly improve the overall appearance of the building”.

Should you have any questions or concerns regarding this request, please do not hesitate to contact us. Thank you for your help in this matter.

Sincerely,

ConnectingSpaces LLC,

Donald A. Highlander, AIA
President

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October 26, 2015

Christopher Gurba
City of Novi, Building Department
45175 W. Ten Mile Rd.
Novi, MI 48375-3024

RE: Legacy Church
45301 W. Eleven Mile Road
Novi, MI 48775

Mr. Gruba:

This documents notes how the review comments from planning commission, engineering, landscape, and façade will be addressed.

PLANNING COMMISSION

Z1. Nonconformities (Sec 7): It is the intent of this section to permit legal nonconforming lots, structure or uses to continue until they are removed but not to encourage their survival.

The proposed façade change and parking lot layout changes are not considered “encouraging” the legal nonconforming status. Rather, the changes can be considered as “repairs and maintenance”. However, the site is in non-compliance with the following:

- a) The two existing homes on the property are not located on individual parcels, as is required per Section 3.1.5 of the Zoning Ordinance (R-4 zone district). As such, the houses are considered existing, non-conforming structures. At this time, no changes are proposed for the two houses. However, any future changes to the houses may require that the homes be brought into compliance with Section 3.1.5.
- b) The site is currently in non-compliance regarding greenbelt, parking lot and building façade landscaping as per Section 5.5.

So noted.

Z2. Sidewalks: Traffic circulation features within the site and location of automobile parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets. Building exits must be connected to sidewalk system or parking lot. *Access to the building will be improved by ensuring ADA compliance. Sidewalks are currently lacking along Taft Road. Future changes to the site, such as enlarging the parking lot, may require the installation of a sidewalk along Taft Road.*

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So noted.

Z3. Parking requirements (Section 5.2.12 B): Parking on the property was calculated per the requirements of a school use, although worship activities will periodically take place within the auditorium. The ordinance requires 1 parking space for every 3.4 seats in the auditorium plus 1 space for each two employees. The floor plan illustrates 260 seats in the auditorium, which equates to 76 parking spaces. The number of employees has not been identified on the plans or letter. The site plan illustrates 75 parking spaces, of which 5 will have to be removed from the Taft Road right-of-way, leaving 70 parking spaces provided. Therefore, parking on site is deficient by 5 spaces. The parking requirements can be met by decreasing the number of seats in the auditorium, or by expanding the parking lot, although site plan approval could be obtained faster by decreasing the number of seats. Please indicate the number of employees in the largest working shift, as well as the number of seats in the auditorium and whether they are fixed or movable.

The auditorium occupancy will be reduced so no new parking will be needed.

Z4. Parking lot setbacks (Section 3.6.2B): Church uses require that parking lots are set back at least 75' from the front property line. In this case there are two front yards, being Taft Road and Eleven Mile Road. Furthermore, parking lots for churches may not be located between the building and the street. It appears from the aerial photograph and from the previously approved site plan dated May 4, 1994, that part of the exiting parking lot along Taft Road is located within the road right-of-way. Per the old plans, the north row of parking should have 13 spaces, not 16. The 3 spaces furthest west should be removed from the right-of-way and sodded or reseeded. The south row of parking should have the two most western spaces removed as well. Please illustrate this on the plans and revise the western property line. The rest of the parking lot area outside of the right-of-way is considered existing, non-conforming and may remain.

Parking spaces will be removed from right-of-way.

Z5. Lighting (Sec 5.7): The site plan illustrates new electrical lines. If no changes are proposed to the light poles or wall packs, please indicate on plans that the existing lighting will remain and utilized.

No new parking will be provided. Existing site lighting will be utilized, no proposed site lighting.

Z6. Misc.: Please indicate the total square footage of the school building and church building.
a. Engineering Review: Engineering does not recommend approval. Please see attached comment sheet.



b. Landscape Review: Landscape architect recommends approval, please see attached comment sheet.

c. Façade Review: Façade consultant recommends approval. Please see attached comment sheet which refers to the need to submit a sample materials board regarding the façade improvements.

Total square footage of the school building and church building will be added.

Z7. Planning Commission Review

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

So noted.

Z8. Signage, Exterior signage is regulated by the planning Commission. Please contact Jeannie Niland for information regarding sign permits.

No new exterior signage is proposed, except HC parking sign, see sheet C101.

Engineering Comments

E1. Provide calculations and details showing that the, proposed septic field/storm detention meets the City of Novi underground detention and infiltration standards detailed in the Engineering Design Manual.

Impervious area will be reduced with proposed development.

E2. Clarify how storm water will be conveyed to septic field/storm detention. Additional Comments to be addressed prior to the Final Site Plan submittal):

The storm drainage current is piped into the existing septic field. No proposed change to current system.

General

EG1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.

Note will be added.

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EG2. Provide a minimum of two ties to established section or quarter section corners.

Ties will be added.

EG3. Revise the plan set to reference at least one city established benchmark. An interactive map of the City's established survey benchmarks can be found under the IMap Gallery' tab on www.cityofnovi.org.

City benchmark #2121 will be added..

EG4. A sheet index shall be provided on the cover sheet.

Sheet Index is provided on full set.

EG5. A right-of-way permit will be required from the City of Novi.

A right-of-way permit will be applied for.

EG6. Provide a note stating the size of the disturbed area.

Will be provided.

EG7. Provide a traffic control sign table listing the quantities of each sign type proposed for the development. Provide a note along with the table stating all traffic signage will comply with the current MMUTCD standards.

No new traffic control signage is planned.

EG8. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal. They can be found on the City website (www.cityofnovi.org/DesignManual).

Per our conversation, no City Standard Details are required.

Storm Sewer

EG9. Provide details for any proposed or existing storm sewer.

No proposed storm sewer additions or changes to existing storm sewer.

Storm Water Management Plan



EG10. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual.

- a. Provide runoff volume calculations.

No new storm water or storm sewer alterations proposed.

EG11. Provide calculations and details showing the detention volume provided.

N/A

EG12. Provide an access easement for maintenance over the storm water detention system and the pretreatment structure. Also, include an access easement to the detention area from the public road right-of-way.

N/A

EG13. Provide release rate calculations for the three design storm events (first flush, bank full, 100-year).

N/A

EG14. Provide supporting calculations for the runoff coefficient determination. ***NA***

EG15. A runoff coefficient of 0.35 shall be used for all turf grass lawns (mowed lawns).

N/A

Paving & Grading

EG16. Provide a cross-section for proposed paving.

The following must be provided at the time of Preliminary Site Plan resubmittal:

Detail will be provided.

EG17. A letter from either the applicant or the applicant's engineer must be submitted with the revised PSP highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.

We will provide.

EG18. An itemized construction cost estimate must be submitted to the Community

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Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

We will provide.

EG19. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.

N/A

EG20. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).

So noted.

EG21. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.

No regrading.

EG22. An NPDES permit must be obtained from the MDEQ because the site is over 5 acres in size. The MDEQ requires an approved plan to be submitted with the Notice of Coverage.

N/A, project less than 5 acres.

EG23. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.

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N/A, project less than 1 acre.

EG24. A permit for work within the right-of-way of Taft Rd. must be obtained from the City of Novi. The application is available from the City Engineering Department and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Department at 248-347-0454 for further information.

So noted.

EG25. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.

So noted.

EG26. An incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO at which time it may be reduced based on percentage of construction completed.

So noted.

EG27. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.

No new signage proposed.

Landscaping

L1. Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

All existing trees along the streets and in the immediate vicinity of the buildings and parking lots should be added to the plans. The tree identities (scientific names) and diameters should be included for each tree.

Existing trees will be located and identified.

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Zoning Sec. 5.5.3.B.ii and iii, Zoning Section 3.21.2.A)

L2.1. As no additions to parking and no significant changes are being made to the building, no additional greenbelt landscaping is required at this time.

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So noted.

L2.2. If site changes or more significant building changes than are proposed on the plan dated 8/27/15 are made, additional landscaping to meet ordinance requirements may be required.

So noted.

L3 Street Tree Requirements (Zoning Sec. 5.5.3.E.i.c and LDM 1.d.)

L3.1. As no additions to parking and no significant changes are being made to the building, no additional greenbelt landscaping is required at this time. ***So noted.***

L3.2. If site changes or more significant building changes than are proposed on the plan dated 8/27/15 are made, additional landscaping to meet ordinance requirements may be required.

So noted.

L4 Parking Lot Landscape (Zoning Sec. 5.5.3.C.)

L4.1. As no additions to parking are being made, no additional parking lot landscaping is required at this time.

So noted

L4.2. If parking lot additions are made, calculations for required parking lot landscaping will be required, and additional landscaping to meet ordinance requirements may be required.

No parking lot additions are being made.

L4.3. The area of required pavement removals and proposed ground cover for those areas need to be called out on the plan (i.e. seed, sod, etc.)

See sheet C101.

L5 Parking Lot Perimeter Canopy Trees (Zoning Sec. 5.5.3.C.(3) Chart footnote)

L5.1. As no additions to parking are being made, no parking lot perimeter landscaping additions are required at this time.

So noted.

L5.2. If parking lot additions are made, calculations for required parking lot perimeter

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landscaping will be required, and additional landscaping to meet ordinance requirements may be required.

So noted.

L6 Building Foundation Landscape (Zoning Sec 5.5.3.D.)

L6.1. As no significant building footprint changes are proposed, no additional foundation landscaping is required at this time.

So noted

L6.2. If existing foundation landscaping is damaged or removed in the course of making the proposed improvements, that landscaping will need to be restored.

So noted.

L6.3. If more significant building changes than are proposed on the plan dated 8/27/15 are made, additional foundation landscaping to meet ordinance requirements may be required.

So noted

L7 Plant List (LDM 2.h. and t.)

If any plantings are proposed, those new plantings need to be shown on the plans (if only a few, they can be on the site plan – if many, a separate landscape plan will be required). A plant list for all new plantings would also need to be added to the plans.

No proposed plantings.

L8 Planting Notations and Details (LDM)

If plantings are proposed, planting details for the proposed plants need to be added to the plans.

No proposed plantings.

L9 Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 1.d.(3))

Not applicable

N/A

L10 Irrigation (LDM 1.a.(1)(e) and 2.s)

Not applicable

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N/A

L11 Proposed topography. 2' contour minimum (LDM 2.e.(1))
No changes to existing topography are proposed.

No proposed changes to existing topography.

L12 Proposed trees to be saved (Sec 37 Woodland Protection 37-9, LDM 2.e.(1))
No existing landscaping is shown on the plan. If any changes to existing landscaping is proposed, the existing landscaping needs to be added to the plans and the changes proposed need to be called out.

No proposed changes to landscaping.

Facade Comments

We will request the supported variance.

Please let us know if there are any questions or additional information needed. Thank you for your help in this matter.

Sincerely,

ConnectingSpaces LLC,

Donald A. Highlander, AIA
President

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October 29, 2015

Christopher Gruba
City of Novi
Planning Department
45175 W. Ten Mile Rd.
Novi, MI 48375-3024

RE: Legacy Church
45301 W. Eleven Mile Road
Novi, MI 48375

Mr. Gruba:

Per your request we have attached a PDF of a revised site plan showing how we are addressing the comments from the Engineering Department. We have addressed below how the comments were addressed.

Engineering Comments

E1. Provide calculations and details showing that the, proposed septic field/storm detention meets the City of Novi underground detention and infiltration standards detailed in the Engineering Design Manual.

Impervious area will be reduced with proposed development. We have shown a table on the lower right area of sheet C101.

E2. Clarify how storm water will be conveyed to septic field/storm detention. Additional Comments lto be addressed prior to the Final Site Plan submittal):

The property is served by the city sanitary sewer system. When the switch to the sanitary system took place the roof storm drainage was piped into the old septic field. No additional parking to be added.

No change to current system is proposed. We have reworded the notes sheet C101.

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General

EG1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.

A note stating such has been added to “Site Notes” on the upper left corner of sheet C101.

EG2. Provide a minimum of two ties to established section or quarter section corners.

The quarter section is at the center of Taft Road and W. 11 Mile Road (northwest corner of the current property). The ties are added to the site plan on sheet C101.

EG3. Revise the plan set to reference at least one city established benchmark. An interactive map of the City's established survey benchmarks can be found under the IMap Gallery' tab on www.cityofnovi.org.

The city benchmark #2121 is near the southwest corner of the intersection of Taft Road and W. 11 Mile Road and is identified on the site plan on sheet C101.

EG4. A sheet index shall be provided on the cover sheet.

Sheet Index is provided on full set first sheet G101.

EG5. A right-of-way permit will be required from the City of Novi.

So noted. A right-of-way permit will be applied for.

EG6. Provide a note stating the size of the disturbed area.

Provided in the “Site Data” in upper left corner of sheet C101.

EG7. Provide a traffic control sign table listing the quantities of each sign type proposed for the development. Provide a note along with the table stating all traffic signage will comply with the current MMUTCD standards.

The only new signage is four handicapped parking signs. See detail on left side of sheet C101.

EG8. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal. They can be



found on the City website (www.cityofnovi.org/DesignManual).

Per our conversation, no City Standard Details are required.

Storm Sewer

EG9. Provide details for any proposed or existing storm sewer.

No proposed parking or storm sewer additions or changes to existing storm sewer system.

Storm Water Management Plan

EG10. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual.

- a. Provide runoff volume calculations.

No new storm water or storm sewer alterations proposed.

EG11. Provide calculations and details showing the detention volume provided.

N/A

EG12. Provide an access easement for maintenance over the storm water detention system and the pretreatment structure. Also, include an access easement to the detention area from the public road right-of-way.

N/A

EG13. Provide release rate calculations for the three design storm events (first flush, bank full, 100-year).

N/A

EG14. Provide supporting calculations for the runoff coefficient determination.

NA

EG15. A runoff coefficient of 0.35 shall be used for all turf grass lawns (mowed



lawns).

N/A

Paving & Grading

EG16. Provide a cross-section for proposed paving.

The following must be provided at the time of Preliminary Site Plan resubmittal:

Detail will be provided.

EG17. A letter from either the applicant or the applicant's engineer must be submitted with the revised PSP highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.

That is the purpose of this letter.

The following must be submitted at the time of Final Site Plan submittal:

EG18. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. ***The cost estimate must be itemized*** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

We will provide at the time of Final Site Plan submittal.

The following must be submitted at the time of Stamping Set submittal:

EG19. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.

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N/A

The following must be addressed prior to construction:

EG20. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).

So noted.

EG21. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.

No regrading.

EG22. An NPDES permit must be obtained from the MDEQ because the site is over 5 acres in size. The MDEQ requires an approved plan to be submitted with the Notice of Coverage.

N/A, project less than 5 acres.

EG23. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.

N/A, project less than 1 acre.

EG24. A permit for work within the right-of-way of Taft Rd. must be obtained from the City of Novi. The application is available from the City Engineering Department and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Department at 248-347-0454 for further information.

So noted.

EG25. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.

So noted.

EG26. An incomplete site work performance guarantee for this development will be



calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO at which time it may be reduced based on percentage of construction completed.

So noted.

EG27. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.

No new signage except handicapped parking signs proposed.

Please let us know if there are any questions or additional information needed. Thank you for your help in this matter.

Sincerely,

ConnectingSpaces LLC,

Donald A. Highlander, AIA
President

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September 10, 2015

To whom it may concern:

Regarding our renovation project at the Taft and 11 Mile Property, it is our intent not to use the old First Baptist Church building. In our investigation of it, we determined it would be too costly to renovate for our purposes.

Eventually, as finances allow, we will demolish said building and build a new worship center on the property, and also add the additional parking that will be required.

Until that time, we will be meeting at and worshipping in the Novi Christian Community Center once the renovation is complete.

Thank you and warm regards,

Jon Hix, Lead Pastor
Legacy Church

Web: www.legacychurch.us **Email:** jon@legacychurch.us

Address: 23455 Novi Rd / 45301 W. Eleven Mile Rd • Novi, Michigan 48375 **Phone:** (248) 349-5665

Sundays: Sunday School for All Ages, 9:45 am • Worship Service, 11 am

Wednesdays: Bible Study & Prayer, 7 pm