



## RAISING CANE'S JSP25-14

### JSP25-14 Raising Cane's

Public Hearing at the request of Raising Cane's Restaurant for Planning Commission's consideration of Preliminary Site Plan and Special Land Use Permit. The subject property, 26245 Novi Road, contains a 3,795 square foot building on a 1.28-acre parcel within the TC, Town Center Zoning District. The applicant is proposing to convert a former Wendy's drive-through restaurant to a Raising Cane's drive-through quick-serve restaurant including modifications to accommodate improved drive-through and by-pass lanes, modifications to the building façade, and providing a covered patio with 20 seats.

### Required Action

Approve/Deny the Special Land Use Permit, Preliminary Site Plan and Section 9 Façade Waiver

REVIEW	RESULT	DATE	COMMENTS
Planning	Approved with Conditions	8-8-2025	<ul style="list-style-type: none"> <li>• <b>Section 9 Façade Waiver</b></li> <li>• <b>Zoning Board of Appeals variance for the absence of a loading zone (supported by staff)</b></li> </ul>
Engineering	Approval Recommended	6-10-2025	Items to be addressed by the applicant at Electronic Stamping Set submittal
Landscape	Approved with Conditions	7-25-2025	<ul style="list-style-type: none"> <li>• <b>Landscape deviations for the following:</b> <ul style="list-style-type: none"> <li>◦ <b>Parking bay longer than 15 spaces</b> – supported by staff as an existing condition</li> <li>◦ <b>Deficiency in accessway perimeter trees along south accessway</b> – supported by staff as an existing condition where there is no room for the trees</li> <li>◦ <b>Deficiency in accessway perimeter trees along the cross accessway east of the building</b> – supported by staff as alternative attractive landscaping is proposed</li> <li>◦ <b>Less than 75% of the building foundation is landscaped</b> – supported by staff as an existing condition</li> </ul> </li> <li>• Items to be addressed on a revised Final Site Plan</li> </ul>
Traffic	Approval Recommended	8-4-2025	<ul style="list-style-type: none"> <li>• <b>A Drive-Thru Queuing Plan for Grand Opening Peak was requested and reviewed</b> – supported by the City's Traffic consultant</li> </ul>
Façade	Approval Recommended	8-5-2025	<ul style="list-style-type: none"> <li>• <b>Section 9 Façade Waiver is required for the "1" logo proposed on the side of the building</b> – supported by the City's façade consultant</li> </ul>
Fire	Approval Recommended	7-31-2025	

## **MOTION SHEET**

### **Approval – Special Land Use Permit**

In the matter of Raising Cane's, JSP25-14, motion to **approve** the Special Land Use Permit based on and subject to the following:

a. Relative to other feasible uses of the site:

1. The proposed use will not cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off street parking, off-street loading/unloading, travel times, and thoroughfare level of service *(as it is an existing building with a drive-thru queuing plan in place)*;
2. The proposed use will not cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal, and police and fire protection to serve existing and planned uses in the area *(no impacts to utilities are anticipated)*;
3. The proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses, and wildlife habitats *(no impacts to existing natural features are proposed)*;
4. The proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood *(the parcel borders other TC and TC-1 Town Center properties on all sides)*;
5. The proposed use is consistent with the goals, objectives, and recommendations of the City's Master Plan or Land Use *(as it fulfills one of the Master plan objectives to attract new businesses to the City of Novi)*;
6. The proposed use will promote the use of land in a socially and economically desirable manner *(as it fulfills one of the Master plan objectives to attract new businesses to the City of Novi)*; and,
7. The proposed use is listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

b. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the revised Final Site Plan submittal; and,

d. *(additional conditions here if any)*.

*(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance)*

**– AND –**

### **Approval – Preliminary Site Plan**

In the matter of Raising Cane's, JSP25-14, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. Zoning Board of Appeals variance for the absence of a loading zone.
  - b. Landscape waiver for parking bay longer than 15 spaces, and is supported by staff as an existing condition, which is hereby granted;
  - c. Landscape waiver for deficiency in accessway perimeter trees along south accessway, and is by staff as an existing condition where there is no room for trees, which is hereby granted;
  - d. Landscape waiver for deficiency in accessway perimeter trees along the cross accessway east of the building, and is supported by staff as alternative attractive landscaping is proposed in that area, which is hereby granted;
  - e. Landscape waiver for deficiency in building foundation landscaping, and is supported by staff as an existing condition, which is hereby granted;
  - f. Planning Commission Section 9 Façade Waiver for the "1" logo proposed on the side of the building, and is supported by the City's façade consultant, which is hereby granted;
  - g. Contingent on the applicant executing the proposed Drive-Thru Phased Queuing Plan for Grand Opening Peak, and is supported by staff, the Fire Marshal, and the City's traffic consultants;
- 
- h. The findings of compliance with Ordinance standards in the staff and consultant review letters and the remaining items listed in those letters being addressed on the revised Final Site Plan submittal; and,
  - i. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

**– OR –**

### **Denial – Special Land Use Permit**

In the matter of Raising Cane's, JSP25-14, motion to **deny** the Special Land Use Permit *(because the use is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**– AND –**

### **Denial – Preliminary Site Plan**

In the matter of Raising Cane's, JSP25-14, motion to **deny** the Preliminary Site Plan *(because the use is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

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**MAPS**

**Location**

**Zoning**

**Future Land Use**

**Natural Features**

# JSP25-14 Raising Cane's LOCATION


Crescent Boulevard

**SUBJECT  
PROPERTY**

Novi Road



## Legend

 Subject Area



**City of Novi**

Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
[cityofnovi.org](http://cityofnovi.org)

Map Author: Dan Commer

Date: 9/16/25

Project: JSP25-14 Raising Cane's

Version #: 1

0 25 50 100 150 Feet

1 inch = 125 feet



### MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

# JSP25-14 Raising Cane's ZONING

Crescent Boulevard

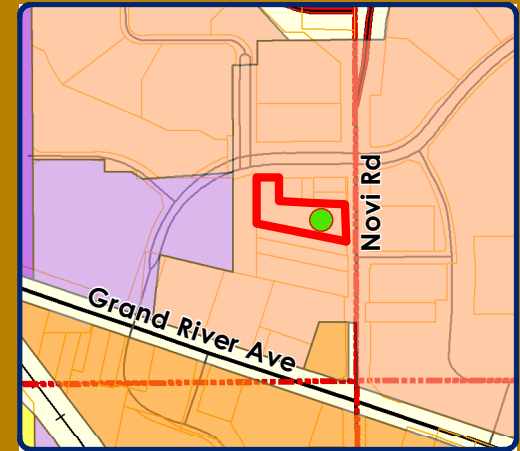
**SUBJECT  
PROPERTY**

TC

Novi Road

TC-1

I-1



## Legend

- I-1: Light Industrial District
- TC: Town Center District
- TC-1: Town Center -1 District
-  Subject Area



## City of Novi

Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
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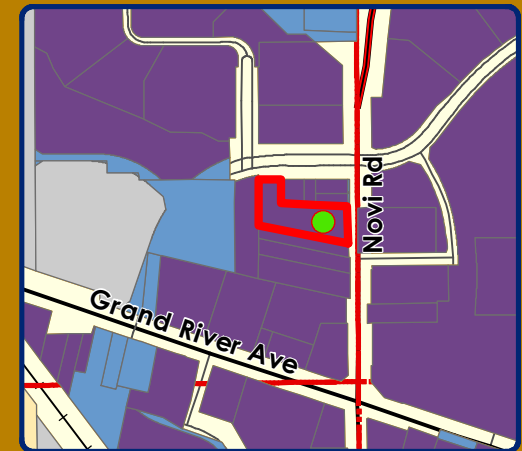
# JSP25-14 Raising Cane's FUTURE LAND USE

Crescent Boulevard




**SUBJECT  
PROPERTY**

**TOWN CENTER  
MIXED-USE**

Novi Road



## Legend

-  Public/Quasi-Public
-  Town Center Mixed-Use
-  Subject Area



## City of Novi

Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

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Date: 9/16/25

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# JSP25-14 Raising Cane's

## NATURAL FEATURES

Crescent Boulevard

**SUBJECT  
PROPERTY**

Novi Road



### Legend



Wetlands



Woodlands



Subject Area



**City of Novi**

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City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

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Date: 9/16/25

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## SITE PLAN

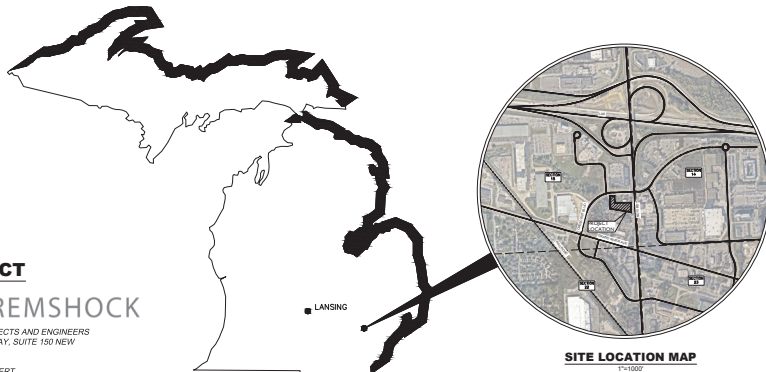
# FINAL CIVIL CONSTRUCTION PLANS FOR



## RAISING CANE'S C1317 26245 NOVI RD CITY OF NOVI OAKLAND COUNTY, MI 48375

### GOVERNMENT/UTILITY CONTACTS

PLANNING & DEVELOPMENT DEPARTMENT	COMMUNITY DEVELOPMENT CITY OF NOVI 45175 10 MILE ROAD NOVI, MI 48375
CONTACT: DAN COMMER	(248) 735-5607
STORM SEWER	PUBLIC WORKS DEPARTMENT CITY OF NOVI 26300 LEE BEGOLE NOVI, MI 48375
CONTACT: MILAD ALESMAIL	(248) 735-5695
SANITARY SEWER	PUBLIC WORKS DEPARTMENT CITY OF NOVI 26300 LEE BEGOLE NOVI, MI 48375
CONTACT: MILAD ALESMAIL	(248) 735-5695
WATER	PUBLIC WORKS DEPARTMENT CITY OF NOVI 26300 LEE BEGOLE NOVI, MI 48375
CONTACT: MILAD ALESMAIL	(248) 735-5695
POWER COMPANY	DTE ENERGY
CONTACT: PAUL GIENAPP	(313) 235-6370
NATURAL GAS COMPANY	CONSUMERS ENERGY
CONTACT: TBD	(800) 805-0490
TELEPHONE COMPANY	AT&T
CONTACT: TBD	(205) 336-6121



SITE LOCATION MAP  
1"=100'

### NOTES:

1. IF REPRODUCED, THE SCALES SHOWN ON THESE PLANS ARE BASED ON A 24"X 36" SHEET.
2. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO CONTRACT COMPLETION AND THE FINAL CONNECTION OF SERVICES.

### ENGINEER

**Kimley-Horn**  
of Michigan, Inc.  
3000 TOWN CENTER  
SUITE 2000  
SOUTHFIELD, MI 48075  
PH: (313) 461-7330  
CONTACT: TOM SZAFRANSKI, P.E.

### OWNER/DEVELOPER



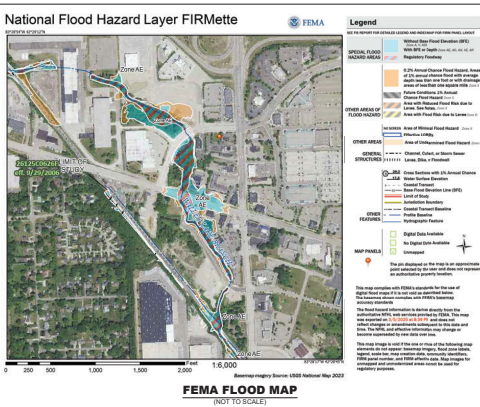
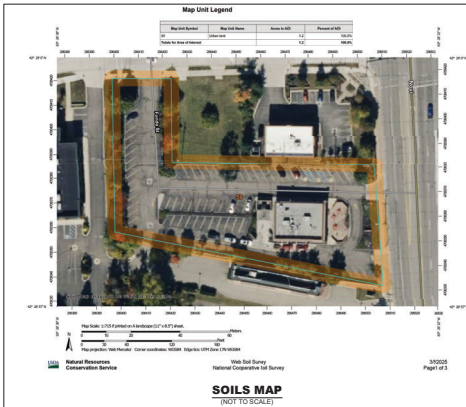
RAISING CANE'S RESTAURANTS, L.L.C.  
6800 BISHOP ROAD  
PLANO, TX 75024  
(972) 768-5100  
CONTACT: LUARON FOSTER

### ARCHITECT



SHREMSHOCK ARCHITECTS AND ENGINEERS  
7775 WALTON PARKWAY, SUITE 150 NW  
ALBANY, OH 43054  
(614) 645-4550 x127  
CONTACT: MIKE LAMBERT

Sheet List Table	
Sheet Number	Sheet Title
C1.0	COVER SHEET
C2.0	GENERAL NOTES
V0.0	ALTA SURVEY
C3.0	EROSION CONTROL PLAN & DETAILS
C3.1	EROSION CONTROL DETAILS
C4.0	DEMOLITION PLAN
C5.0	SITE KEYNOTE PLAN
C5.1	DIMENSION CONTROL PLAN
C5.2	STRIPING AND SIGNAGE PLAN
C6.0	GRADING PLAN
C7.0	UTILITY PLAN
C8.0	CONSTRUCTION DETAILS
C8.1	CITY OF NOVI DETAILS - PAVING
C8.2	CITY OF NOVI DETAILS - PAVING
C8.3	CITY OF NOVI DETAILS - SANITARY
C8.4	CITY OF NOVI DETAILS - STORM & WATER
C8.5	CITY OF NOVI DETAILS - WATER
C8.6	MDOT DETAILS



### BENCHMARKS

**SITE BENCHMARK #1**  
BACK WALL, IN WEST SIDE OF POWER POLE, AT EAST SIDE OF PROPERTY.  
ELEVATION = 922.80' (NAVD 88)

**SITE BENCHMARK #2**  
"X" ON SOUTH SIDE OF LIGHT POLE 47'± FROM NORTHWEST CORNER OF BUILDING.  
ELEVATION = 922.06' (NAVD 88)

### LEGAL DESCRIPTION

THE LAND IS DESCRIBED AS FOLLOWS: LAND IN THE CITY OF NOVI, OAKLAND COUNTY, MICHIGAN:

LOT 2, EXCEPT THE EASTERLY 7 FEET DEED TO THE MICHIGAN STATE HIGHWAY COMMISSION, AND EXCEPT BEGINNING AT A POINT LOCATED NORTH 86 DEGREES 59 MINUTES 00 SECONDS WEST 7.01 FEET ALONG THE NORTH LINE OF LOT 2 FROM THE NORTHEAST CORNER OF LOT 2, THENCE SOUTH 148.70 FEET, THENCE NORTH 01 DEGREE 43 MINUTES 06 SECONDS WEST 150.00 FEET TO THE NORTH LINE OF LOT 2, THENCE SOUTH 86 DEGREES 59 MINUTES 00 SECONDS EAST 4.50 FEET ALONG SAID NORTH LINE TO THE POINT OF BEGINNING, SUPERVISOR'S PLAT 4, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 544, PAGE 83, OF PLATS, OAKLAND COUNTY RECORDS.

AND

LOTS 10 AND 11, CHERRY GROVE SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 40 OF PLATS, PAGE 16, OAKLAND COUNTY RECORDS.



CALL 800-485-7171  
IN ADVANCE OF ANY CONSTRUCTION.



**NOT FOR CONSTRUCTION**

### PROFESSIONAL ENGINEER'S CERTIFICATION

I, THOMAS J. SZAFRANSKI, A LICENSED PROFESSIONAL ENGINEER OF KIMLEY-HORN OF MICHIGAN, INC., HEREBY CERTIFY THAT THIS SUBMISSION, PERTAINING ONLY TO THE "C" SERIES CIVIL SHEETS LISTED ABOVE, WAS PREPARED ON BEHALF OF RAISING CANE'S RESTAURANTS, L.L.C. BY KIMLEY-HORN OF MICHIGAN, INC. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS 15TH DAY OF JULY, A.D., 2025.

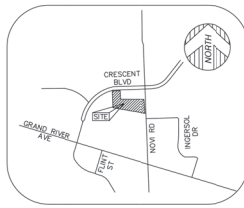
MI LICENSED PROFESSIONAL ENGINEER 6201314154  
MY LICENSE EXPIRES ON AUGUST 6, 2026.

NOVI PROJECT # JSP25-14



C1.0





VICINITY MAP  
(NOT TO SCALE)

#### PARKING

HANDICAP PARKING = 61 STALLS  
STANDARD PARKING = 3 STALLS

#### PARCEL AREA

56,422.8 SQUARE FEET = 1.304 ACRES

#### BASIS OF BEARING

SOUTH 070°01'00" EAST, (DUE SOUTH BEING THE  
WESTERLY LINE OF NOVI ROAD, AS PLATTED.)

#### BENCHMARK

**STB BENCHMARK #1**  
MID NAIL IN WEST SIDE OF POWER POLE, AT EAST  
SIDE OF PROPERTY.  
ELEVATION = 923.80' (NAVD 88)

**SLE BENCHMARK #2**  
7" ON SOUTH SIDE OF LIGHT POLE 47'4" FROM  
NORTHWEST CORNER OF BUILDING.  
ELEVATION = 922.00' (NAVD 88)

**CITY BENCHMARK #1542**  
7" ON NORTH RM OF SANITARY MANHOLE LOCATED  
25 FEET WEST OF EACH OF CURB AND 40 FEET  
SOUTH OF DRIVE #28179 NOVI ROAD.  
ELEVATION = 925.10' (NAVD 88)

#### FLOOD NOTE

SUBJECT PARCEL LIES WITHIN:

OTHER AREA (ZONE X). AREAS DETERMINED TO BE OUTSIDE  
OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.

AS SHOWN ON FLOOD INSURANCE RATE MAP: MAP NUMBER  
26125C0262F, DATED SEPTEMBER 25, 2006, PUBLISHED BY  
THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

#### LEGEND

●	FOUND MONUMENT (AS NOTED)
(R&M)	RECORD AND MEASURED DIMENSION
(I)	RECORD DIMENSION
(M)	MEASURED DIMENSION
○	GROUND ELEVATION
⊕	ELECTRIC METER
⊖	TRANSFORMER
○	UTILITY POLE
○	GVS METER
⊕	TRAFFIC SIGNAL MANHOLE
⊖	CLEANOUT
⊕	SANITARY MANHOLE
⊖	ROUND CATCH BASIN
⊕	SQUARE CATCH BASIN
⊖	STORM DRAIN MANHOLE
⊕	FIRE HYDRANT
⊖	WATER GATE MANHOLE
⊕	WATER VALVE
⊖	LEDPHOTO/LAMP POST
⊕	BILLBOARD
⊖	SINGLE POST SIGN
⊕	WINDUP PARKING
---	PARCEL BOUNDARY LINE
---	PLATTED LOT LINE
---	BUILDING
---	BUILDING OVERHANG
---	CONCRETE CURB
---	RUSSED CONCRETE
---	PARKING
---	EDGE OF CONCRETE (CONC.)
---	EDGE OF ASPHALT (ASPH.)
---	EDGE OF BRICK
---	WALL (AS NOTED)
---	TYPE / BRUSH LINE (AS NOTED)
---	OVERHEAD UTILITY LINE
---	ELECTRIC LINE
---	UNDERGROUND CABLE
---	GVS LINE
---	SANITARY LINE
---	STORM LINE
---	WATER LINE
---	MINOR CONTOUR LINE
---	MAJOR CONTOUR LINE
---	BUILDING AREA
---	ASPHALT
---	CONCRETE

#### SURVEYOR'S CERTIFICATION

TO RAISING CANE'S RESTAURANTS, L.L.C., A LOUISIANA LIMITED LIABILITY  
COMPANY; WEND-TREE INVESTMENTS, L.L.C., A MICHIGAN LIMITED LIABILITY  
COMPANY; GT MICHIGAN TITLE SERVICES, AND OLD REPUBLIC NATIONAL TITLE  
INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT  
IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD  
DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, IDENTIFY  
ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3,  
4, 5, 6, 7A, 7B, 8, 9, 10A, 11B, 13, AND 16 OF TABLE A, THEREOF. THE FIELD  
WORK WAS COMPLETED ON 11/11/24.

DATE OF PLAT OR MAP: 11/13/24

ANTHONY T. SYCKO, JR., P.S.  
PROFESSIONAL SURVEYOR  
MICHIGAN LICENSE NO. 47978  
22556 GRATIOT AVE., EASTPONTE, MI 48021  
TSycko@attentac-survey.com



#### TITLE NOTE

ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE GT MICHIGAN TITLE SERVICES  
COMMITMENT NO. M000570/7020244372, DATED JANUARY 27, 2023, AND  
RELISTED BELOW WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS  
RESEARCH WAS PERFORMED BY THE CERTIFYING SURVEYOR.

- 20. INTENTIONALLY DELETED
- 21. INTENTIONALLY DELETED

#### SURVEYOR'S NOTES

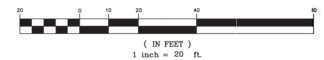
1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD  
SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO  
GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH  
UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR  
FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE  
IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY  
ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.  
THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES  
OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

2. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK,  
BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

3. SUBJECT PARCEL HAS DIRECT VEHICULAR ACCESS TO NOVI ROAD AND  
CRESCENT BOULEVARD, BOTH PUBLIC RIGHTS OF WAY.



GRAPHIC SCALE



#### PROPERTY DESCRIPTION

THE LAND IS DESCRIBED AS FOLLOWS: LAND IN THE CITY OF NOVI, OAKLAND  
COUNTY, MICHIGAN:

LOT 2, EXCEPT THE EASTERLY 7' FEET DEED TO THE MICHIGAN STATE  
HIGHWAY COMMISSION, AND EXCEPT BEGINNING AT A POINT LOCATED NORTH 86  
DEGREES 59' MINUTES 00' SECONDS WEST 7.01' FEET ALONG THE NORTH LINE  
OF LOT 2 FROM THE NORTHEAST CORNER OF LOT 2, THENCE SOUTH 143.70  
FEET; THENCE NORTH 01' DEGREE 43' MINUTES 08' SECONDS WEST 150.00' FEET  
TO THE NORTH LINE OF LOT 2; THENCE SOUTH 86 DEGREES 59' MINUTES 00'  
SECONDS EAST 450' FEET ALONG SAID NORTH LINE TO THE POINT OF  
BEGINNING, SURVEYOR'S PLAT #4, ACCORDING TO THE PLAT THEREOF AS  
RECORDED IN LIBER 54A, PAGE 83, OF PLATS, OAKLAND COUNTY RECORDS.

AND

LOTS 10 AND 11, CHERRY GROVE SUBDIVISION, ACCORDING TO THE PLAT  
THEREOF RECORDED IN LIBER 40 OF PLATS, PAGE 18, OAKLAND COUNTY  
RECORDS.

#### ALTA / NSPS LAND TITLE SURVEY

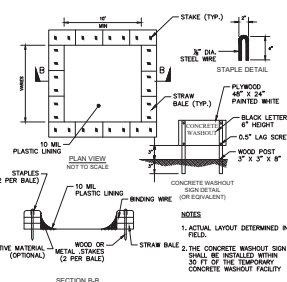
PREPARED FOR: KIMLEY-HORN  
20245 NOVI RD, NOVI, MICHIGAN  
PART OF SECTION 15,  
TOWN 1 NORTH, RANGE 8 EAST

NO.	DATE	DESCRIPTION
1	10/28/24	GIS
2	11/13/24	ATS
3	10/20/24	JO
4	10/20/24	JO
5	10/20/24	JO
6	10/20/24	JO
7	10/20/24	JO
8	10/20/24	JO
9	10/20/24	JO
10	10/20/24	JO
11	10/20/24	JO
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A	KENTUCKY BLUEGRASS 90 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 30 LBS/ACRE	C	SPRING OATS 100 LBS/ACRE	* WATERING NEEDED DURING JUNE AND JULY
		D	WHEAT OR CEREAL RYE 150 LBS/ACRE	** WATERING NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD
B	KENTUCKY BLUEGRASS 135 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 45 LBS/ACRE + 2 TONS STRAW MULCH/ACRE	E	SOD	
		F	STRAW MULCH 2 TONS/ACRE	

## CONCRETE WASHOUT



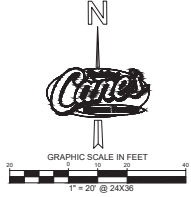
	PROPOSED EASEMENT LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED LIMITS OF DISTURBANCE
	PROPOSED CLOSED LOOP STORM STRUCTURE
	PROPOSED OPEN LOOP STORM STRUCTURE
	EXISTING STORM STRUCTURE
	EXISTING STORM STRUCTURE
	SALT FENCE. SEE EROSION CONTROL DETAILS.
	T-CHAIN LINK CONSTRUCTION FENCE.
	CONSTRUCTION EXIT. SEE EROSION CONTROL DETAILS.
	EROSION CONTROL BLANKET. SEE EROSION CONTROL DETAILS.
	PERMANENT STABILIZATION. REFER TO L2.0-LANDSCAPE PLAN
	PROPOSED GRADE INLET PROTECTION WITH OVERFLOW CAPABILITY. SEE EROSION CONTROL DETAILS.
	CONCRETE WASHOUT
	LOCATION DETERMINED BY CONTRACTOR. SEE EROSION CONTROL DETAILS.
	SAFETY INFORMATION SIGN
	TRUE PROTECTION FENCE. SEE LANDSCAPE PLANS FOR DETAIL. SYMBOL SHOWN FOR REFERENCE. DOES NOT PLACE FENCE FOR PROTECTION OUTSIDE OF PROPERTY LIMITS.

THE PROJECT SHALL BE IN GENERAL CONFORMANCE WITH THE FOLLOWING PHASING SCHEDULE. REFERENCE THE NDPS GENERAL PERMIT FOR DETAILED REQUIREMENTS.

PHASE 1 - DEMOLITION

- [illegible]

1. GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR SELECTION, IMPLEMENTATION, MAINTENANCE, AND EFFECTIVENESS OF ALL SWPPP CONTROL MEASURES SHOWN ON THIS SITE MAP ARE SUGGESTED CONTROLS ONLY.
2. GENERAL CONTRACTOR SHALL RECORD INSTALLATION, MAINTENANCE OR MODIFICATION, AND REMOVAL DATES FOR EACH BMP EMPLOYED (WHETHER CALLED OUT ON ORIGINAL SWPPP OR NOT) DIRECTLY ON THE SITE MAP.
3. DRAINAGE PATTERNS ARE SHOWN ON THIS PLAN BY PROPOSED AND EXISTING CONTOURS.
4. TEMPORARY AND PERMANENT STABILIZATION PRACTICES AND BMP'S SHALL BE INSTALLED AT THE EARLIEST POSSIBLE TIME DURING THE CONSTRUCTION SEQUENCE. AS AN EXAMPLE, PERIMETER BILT FENCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION OR EROSION CONTROL ACTIVITIES. OTHER BMP'S SHALL BE INSTALLED AS SOON AS PRACTICABLE AND SHALL BE MAINTAINED UNTIL FINAL SITE STABILIZATION IS ATTAINED.



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PROTOTYPE CONVERSION SCHEME A		
VERSION 2024-1.0		
<b>RAISING CANE'S</b> RESTAURANT NO.: C1317 26245 NOVI ROAD NOVI, MI 48375		
REV	DATE	DESCRIPTION
DRAWN BY:	A	
CHECKED BY:	TJ	
SEARCH PROJECT NO.	240386	
EROSION CONTROL PLAN		
& DETAILS		
C3.0		



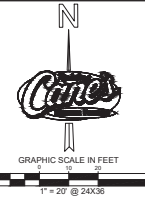
# DEMOLITION LEGEND

- (A) ITEM TO REMAIN, PROTECT DURING CONSTRUCTION
- (B) CURB REMOVAL
- (C) X - X - UTILITY REMOVAL (OR ABANDON FOR DRY UTILITIES)
- (D) X - X - ITEM TO BE REMOVED
- (E) SAWCUT LINE
- (F) FENCE REMOVAL
- (G) WALL REMOVAL
- (H) REMOVE AND RELOCATE
- (I) CONCRETE REMOVAL
- (J) PAVERS REMOVAL: PAVERS ALONG NOW ROAD TO BE REMOVED/REPLACED AS NEEDED FOR SIDEWALK RECONSTRUCTION. CONTRACTOR TO REPLACE ANY EXISTING MISSING PAVERS TO FULLY RESTORE THIS AREA.
- (K) FULL-DEPTH ASPHALT PAVEMENT REMOVAL
- (L) VARIABLE DEPTH ASPHALT MILL AND OVERLAY. SEE SHEET 04.0 - GRADING PLAN, EXISTING SUB GRADE & STONE TO REMAIN.
- FILL CONDITIONS: SCARFY EXISTING PAVEMENT AND OVERLAY.
- CUT CONDITIONS: MILL SHALL BE MINIMUM 2" BELOW PROPOSED GRADES.

NOTE:  
SEE SHEET 11.01 FOR DETAILS ON TREE REMOVAL/PRESERVATION

# GENERAL DEMOLITION NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
2. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
3. THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR SHALL NOT DEMOLISH ANYTHING OTHER THAN THE OWNERS LEASE/PROPERTY LINE UNLESS SPECIFICALLY MENTIONED ON THIS SHEET.
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
5. IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE ADJACENT PROPERTY OWNERS TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING MOOT APPROVED TRAFFIC BARRICADES, BARRIERS, AND/OR CONES. TEMPORARY STORAGE AND FLAGGING MAY BE ALSO NECESSARY.
6. QUANTITIES DERIVED ON THIS SHEET SHALL SERVE AS A GUIDE ONLY. CONTRACTOR TO VERIFY ALL DEMOLITION QUANTITIES.
7. REFER TO GEOTECHNICAL REPORT PROVIDED BY OTHERS FOR ALL SUBSURFACE INFORMATION.
8. CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
9. EROSION CONTROL MUST BE ESTABLISHED PRIOR TO ANY WORK ON SITE INCLUDING DEMOLITION.
10. THE EXTENT OF SITE DEMOLITION WORK IS AS SHOWN ON THE CONTRACT DOCUMENTS AND AS SPECIFIED HEREIN.
11. CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLE RIMS, ETC. AS NECESSARY TO MATCH FINISHED GRADE.
12. A CITY OF NOW RIGHT-OF-WAY PERMIT IS REQUIRED FOR WORK WITHIN ANY PUBLIC ROAD RIGHT-OF-WAY AND/OR CITY EASEMENT.
13. ASPHALT JOINTS ARE TO BE CRACK SEALED.



# DEMOLITION NOTES

THE EXTENT OF SITE DEMOLITION WORK IS AS SHOWN ON THE CONTRACT DOCUMENTS AND AS SPECIFIED HEREIN. THE ARCHITECTURAL DRAWINGS FOR LIMITS AND PROPER DEMOLITION OF EXISTING BUILDING, FURNISH ALL LABOR, MATERIALS, EQUIPMENT AND SERVICE NECESSARY TO COMPLETE THE WORK. DEMOLITION INCLUDES, BUT NOT LIMITED TO, REMOVAL AND DISPOSAL, OFFSITE OF THE FOLLOWING ITEMS:

- SIDEWALK AND ON-SITE PAVEMENT
- BUILDINGS, FOUNDATIONS, AND SUPPORTING WALLS AND SLABS
- DEBRIS AND FOUNDATIONS FROM ALL DEMOLISHED STRUCTURES
- ALL PAVEMENT TO BE REMOVED ADJACENT TO PAVEMENT THAT IS TO REMAIN SHALL BE SAWCUT FULL DEPTH AT THE EDGES PRIOR TO REMOVAL TO OBTAIN A "CLEAN" JOINT WHERE IT ABUTS NEW CURB OR PAVEMENT.

CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL.

DISPOSAL OF DEMOLISHED MATERIALS  
REMOVE FROM SITE DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. BURNING OF REMOVED MATERIALS FROM DEMOLISHED STRUCTURES WILL NOT BE PERMITTED ON SITE. REMOVED MATERIALS REMOVED FROM DEMOLISHED STRUCTURES AND DISPOSAL OF OFF SITE IN A LEGAL MANNER.

LANDSCAPE PROTECTION AND REMOVAL  
SEE LANDSCAPE PLANS FOR INFORMATION ON LANDSCAPE AND TREE PROTECTION, PRESERVATION AND REMOVAL.

UTILITY SERVICES  
EXISTING UTILITIES, WHICH DO NOT SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS. EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH F&-1 OR APPROVED EQUIV. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO BE BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER, TO A MINIMUM OF PROCTOR DENSITY WITHIN PAVED AREAS AND TO BOX OF MODIFIED PROCTOR DENSITY FOR GREEN SPACE AREAS, IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS. ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS.

UTILITY PROTECTION  
UNDERGROUND UTILITIES SHOWN ARE BASED ON ATLASSES AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR SHOULD CALL MISS-DIG SYSTEM, INC. (1-800-482-7171) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND AS DIRECTED BY THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. PROPER NOTIFICATION TO THE OWNER OF THE EXISTING UTILITIES SHALL BE MADE AT LEAST 48 HOURS BEFORE CONSTRUCTION COMMENCES.

POLLUTION CONTROLS  
USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST LEVEL COMPATIBLE WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. SEE EROSION CONTROL SHEETS FOR FURTHER EROSION CONTROL REQUIREMENTS.

FILLING BASEMENTS AND VOIDS  
COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM REMOVAL OF STRUCTURES TO THE FINAL LINES AND GRADES SHOWN ON THE CONTRACT DOCUMENTS. BACKFILL MATERIAL SHALL BE MOOT APPROVED CRUSHED Limestone OR APPROVED EQUIV. USE SATISFACTORY SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FIBROUS MATERIALS, ROOTS AND OTHER ORGANIC WASTE. PRIOR TO PLACEMENT OF FILL MATERIALS, ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH AND DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 8" IN LOOSE DEPTH. COMPACT EACH LAYER AT OPTIMUM MOISTURE CONTENT OF FILL MATERIAL TO 90% OF MODIFIED PROCTOR DENSITY UNLESS SUBSEQUENT EXCAVATION FOR NEW WORK IS REQUIRED.

CAUTION!!  
CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

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**Canes**  
PROTOTYPE/CONVERSION  
SCHEME A  
VERSION 2024-1.0

**RAISING CANES**  
RESTAURANT NO.: C1317  
26245 NOVI ROAD  
NOVI, MI 48375

REV	DATE	DESCRIPTION
1	11.15.23	FREE APPLICATION SUBMITTAL
2	11.15.23	PREPARED FOR SUBMITTAL
3	11.15.23	PREPARED FOR SUBMITTAL
4	11.15.23	PREPARED FOR SUBMITTAL

DRAWN BY: JH  
CHECKED BY: JH  
ARCH. PROJECT NO.:  
**240386**

SHEET NAME:  
**DEMOLITION PLAN**

SHEET NUMBER:  
**C4.0**

# SITE NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY & COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR SITE LIGHTING & ELECTRICAL PLAN.
- REFERENCE ARCHITECTURAL PLANS FOR DUMPER ENCLOSURE DETAILS.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COSTS SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, UNLESS OTHERWISE NOTED ON PLANS INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COSTS SHALL BE INCLUDED IN BASE BID.
- EXISTING SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY K&B, INC., DATED NOVEMBER 13, 2024.
- ALL PROPOSED PAVING IN CITY AND COUNTY R.O.W. AND EASEMENTS TO CONFORM TO CITY OF NOVI AND OAKLAND COUNTY STANDARDS, RESPECTIVELY.
- CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLE RIMS, ETC. AS NECESSARY TO MATCH FINISHED GRADE.
- REFERENCE LANDSCAPE PLANS FOR PROPOSED BUFFERS, SCREENING, AND PLANTING.
- THERE ARE EXISTING TREES ON-SITE. REFER TO LANDSCAPE PLAN AND TREE PRESERVATION PLAN FOR TREES TO REMAIN.
- CONTRACTOR SHALL SMOOTH ALONG ALL EXISTING PAVEMENT TO PROVIDE CLEAN UNIFORM SURFACE TO TIE INTO PROPOSED PAVEMENT.
- A CITY OF NOVI RIGHT-OF-WAY PERMIT IS REQUIRED FOR WORK WITHIN ANY PUBLIC ROAD RIGHT-OF-WAY AND/OR CITY EASEMENT.
- ASPHALT JOINTS ARE TO BE CRACK SEALED.

## SITE PAVING LEGEND

- 1 INTEGRAL COLORED 850 GRAPHITE (IRON OVER) MEDIUM DUTY CONCRETE PAVEMENT. REFER TO PAVEMENT SECTION ON CONSTRUCTION DETAILS SHEET (15,705 SF).
- 2 STANDARD DUTY CONCRETE FOR SIDEWALKS. REFER TO PAVEMENT SECTION ON CONSTRUCTION DETAILS SHEET (13,385 SF).
- 3 COLORED PATIO INTEGRAL COLOR BROWNSTACK 102. REFER TO PAVEMENT SECTION ON CONSTRUCTION DETAILS SHEET (465 SF).
- 4 HEAVY DUTY CONCRETE PAVEMENT. REFER TO THE CITY OF NOVI'S DUMPER PAD DETAIL (B) ON SHEET CS-2 (855 SF).
- 5 CONCRETE PAVEMENT MATCH EXISTING PAVEMENT SECTION (1,800 SF).
- 6 ASPHALT VARIABLE DEPTH OVERLAY (2" MIN) REFER TO PAVEMENT SECTION ON CONSTRUCTION DETAILS SHEET (11,635 SF).
- 7 ASPHALT PAVEMENT REFER TO PAVEMENT SECTION ON CONSTRUCTION DETAILS SHEET (15,445 SF).
- 8 CURB ARMOR.
- 9 EXISTING BRICK PAVERS TO BE REMOVED/REPLACED AS NEEDED FOR SIDEWALK RECONSTRUCTION. CONTRACTOR TO REPLACE ANY EXISTING MISSING PAVERS TO FULLY RESTORE THIS AREA.
- 10 VEGETATION.

## SITE ITEM LEGEND

- PROPERTY/EASE/LOT LINE
- ADJACENT PROPERTY LINE
- BUILDING SETBACK
- LANDSCAPE SETBACK
- EASEMENT
- PROPOSED CONCRETE CURB & GUTTER
- EXISTING CURB & GUTTER
- DEPRESSED CURB & GUTTER
- REVERSE PITCH CURB & GUTTER
- PROPOSED PARKING COUNT

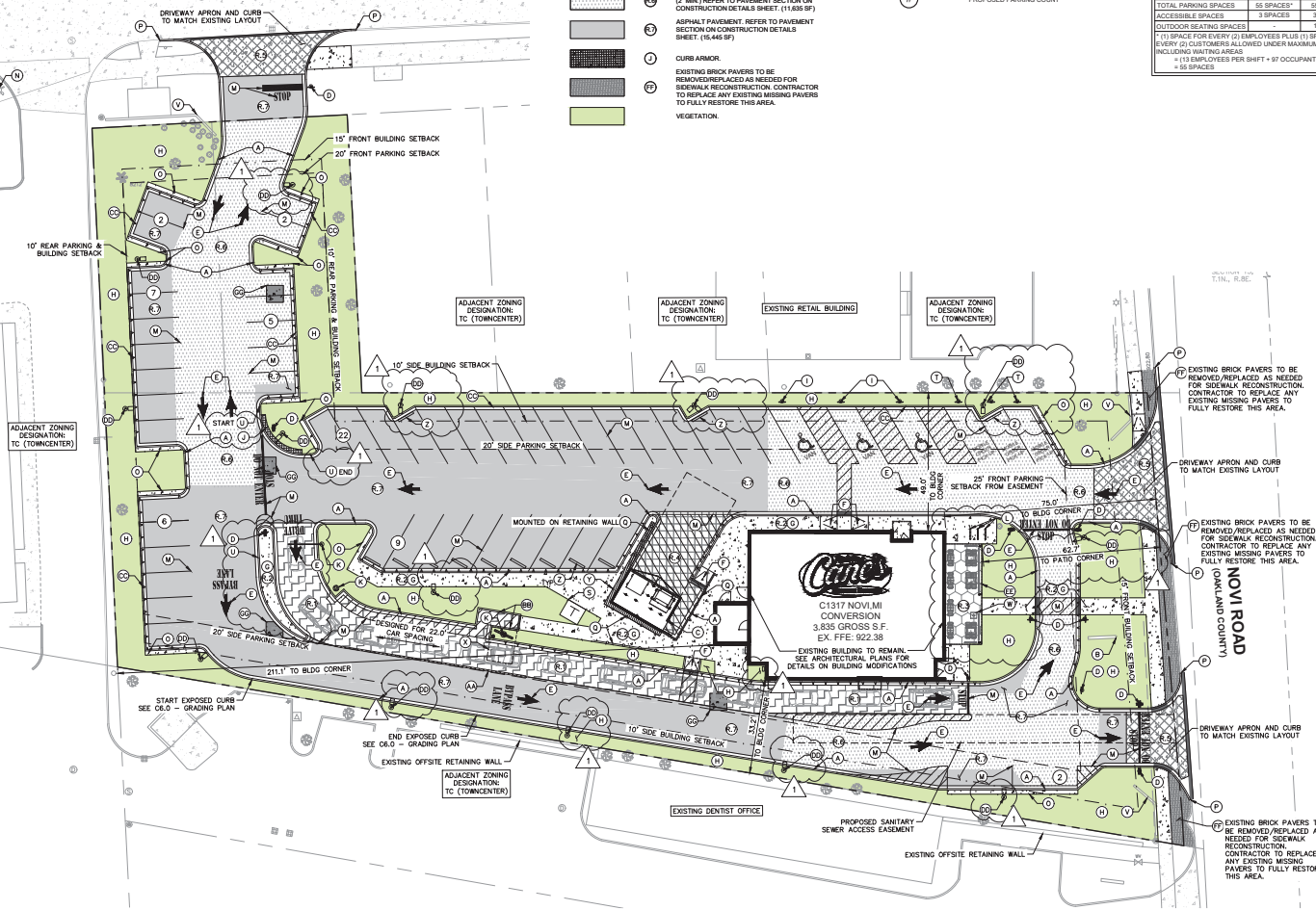
## SITE ANALYSIS TABLE

EXISTING ZONING	TC (TOWN CENTER)
PROPOSED USE	RESTAURANT W/ DRIVE THRU
LOT AREA	56,452 SF (1.35 AC)
PROPOSED OPEN SPACE	2,470 SF (0.06)
REQUIRED OPEN SPACE	13,385 SF (0.31%)
PARCEL IDENTIFICATION NO.	22-15-476-049
OWNER OF RECORD	WEND-TREE INVESTMENTS LLC
EXISTING GROSS BUILDING AREA	3,795 SF
PROPOSED BUILDING FOOTPRINT	3,665 SF
UNCONDITIONED CORRAL	170 SF
PROPOSED GROSS BUILDING AREA	3,835 SF
REQUIRED	PROVIDED
TOTAL PARKING SPACES	15 SPACES
ACCESSIBLE SPACES	3 SPACES
OUTDOOR SEATING SPACES	12 SEATS
(1) SPACE FOR EVERY (1) EMPLOYEE PLUS (1) SPACE FOR EVERY (2) CUSTOMERS ALLOWED UNDER MAXIMUM CAPACITY INCLUDING WAITING AREAS	
(115 EMPLOYEES PER SHIFT + 97 OCCUPANTS) / 2	+ 55 SPACES

## SITE LEGEND

- 1 8" BARRIER CURB AND GUTTER. SEE CONSTRUCTION DETAILS.
- 2 EXISTING MONUMENT SIGN TO BE REFACED. SEE BRANDBOOK (BY AG) FOR DETAILS.
- 3 RECYCLING/TRASH DUMPER LOCATION. SEE ARCHITECTURAL PLANS FOR DETAILS OF SCREENING, GATES, BOLLARDS AND MASONRY.
- 4 SITE DIRECTIONAL SIGN. SEE SHEET CS-2 - STRIPING AND SIGNAGE PLAN.
- 5 DIRECTIONAL PAVEMENT MARKING. SEE SHEET CS-2 - STRIPING AND SIGNAGE PLAN.
- 6 BARRIER FREE RAMP (PER STANDARD PLAN R-16).
- 7 CONCRETE SIDEWALK. SEE CONSTRUCTION DETAILS.
- 8 LANDSCAPE AREA. SEE LANDSCAPE PLANS FOR DETAILS.
- 9 ACCESSIBLE PARKING SIGN. SEE SHEET CS-2 - STRIPING AND SIGNAGE PLAN.
- 10 CURB ARMOR.
- 11 DRIVE THRU ORDER BOARD, PRE-ORDER BOARD OR HEIGHT DETECTOR. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 12 BIKE RACK. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 13 PAVEMENT STRIPING. SEE SHEET CS-2 - STRIPING AND SIGNAGE PLAN.
- 14 EXISTING FIRE HYDRANT.
- 15 INSTALL 18" WIDE 8" CONCRETE STRIP ADJACENT TO PARKING STALL CURB. INSTALL EROSION MATERIAL BETWEEN THIS AND CURB.
- 16 THE PROPOSED CURB AND GUTTER TO EXISTING CURB & GUTTER WITH SMOOTH, CONTINUOUS TRANSITION.
- 17 PAVING. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 18 MEDIUM DUTY INTEGRAL COLORED CONCRETE PAVEMENT. SEE CONSTRUCTION DETAILS.
- 19 STANDARD DUTY CONCRETE PAVEMENT FOR SIDEWALK. SEE CONSTRUCTION DETAILS.
- 20 PATIO AREA PAVING. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 21 HEAVY DUTY INTEGRAL COLORED CONCRETE PAVEMENT AT TRASH ENCLOSURE. SEE CONSTRUCTION DETAILS.
- 22 CONCRETE PAVEMENT MATCH EXISTING PAVEMENT SECTION.
- 23 ASPHALT PAVEMENT OVERLAY OF VARIABLE DEPTH. REFER TO CS-3 - GRADING PLAN AND CONSTRUCTION DETAILS.
- 24 ASPHALT PAVEMENT REFER TO CS-3 - GRADING PLAN AND CONSTRUCTION DETAILS.
- 25 TRANSFORMER PAD LOCATION. SEE ELECTRICAL PLANS FOR DETAILS.
- 26 MOBILE ORDER PICKUP SIGN. SEE SHEET CS-2 - STRIPING AND SIGNAGE PLAN.
- 27 2' MOUNTABLE CURB WITH 12" GUTTER (MOD. TYPE 17). SEE CONSTRUCTION DETAILS.
- 28 TRASH RECEPTACLE. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 29 DRIVE THRU CANOPY (DETACHED/ACCESSORY STRUCTURE). SEE ARCHITECTURAL PLANS FOR DETAILS.
- 30 RETAINING WALL.
- 31 WHEEL STOP. SEE CONSTRUCTION DETAILS.
- 32 ROADSIDE TUFF CURB LANE SEPARATOR (OR APPROVED EQUAL).
- 33 8" BARRIER CURB. SEE CONSTRUCTION DETAILS.
- 34 8" BARRIER CURB & GUTTER ALONG HEADIN PARKING STALLS. SEE CONSTRUCTION DETAILS.
- 35 PROPOSED LIGHT POLE. SEE PHOTOMETRIC PLANS (BY OTHERS).
- 36 COVERED PATIO. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 37 EXISTING BRICK PAVERS TO BE REMOVED/REPLACED AS NEEDED FOR SIDEWALK RECONSTRUCTION.
- 38 CONCRETE COLLAR. SEE CONSTRUCTION DETAILS.

## CRESCENT BOULEVARD (CITY OF NOVI)



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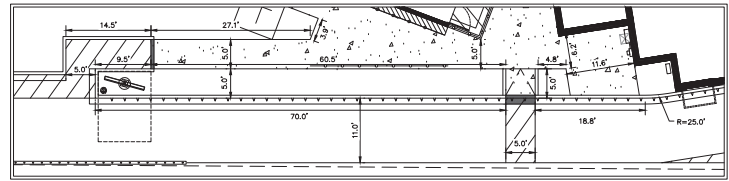
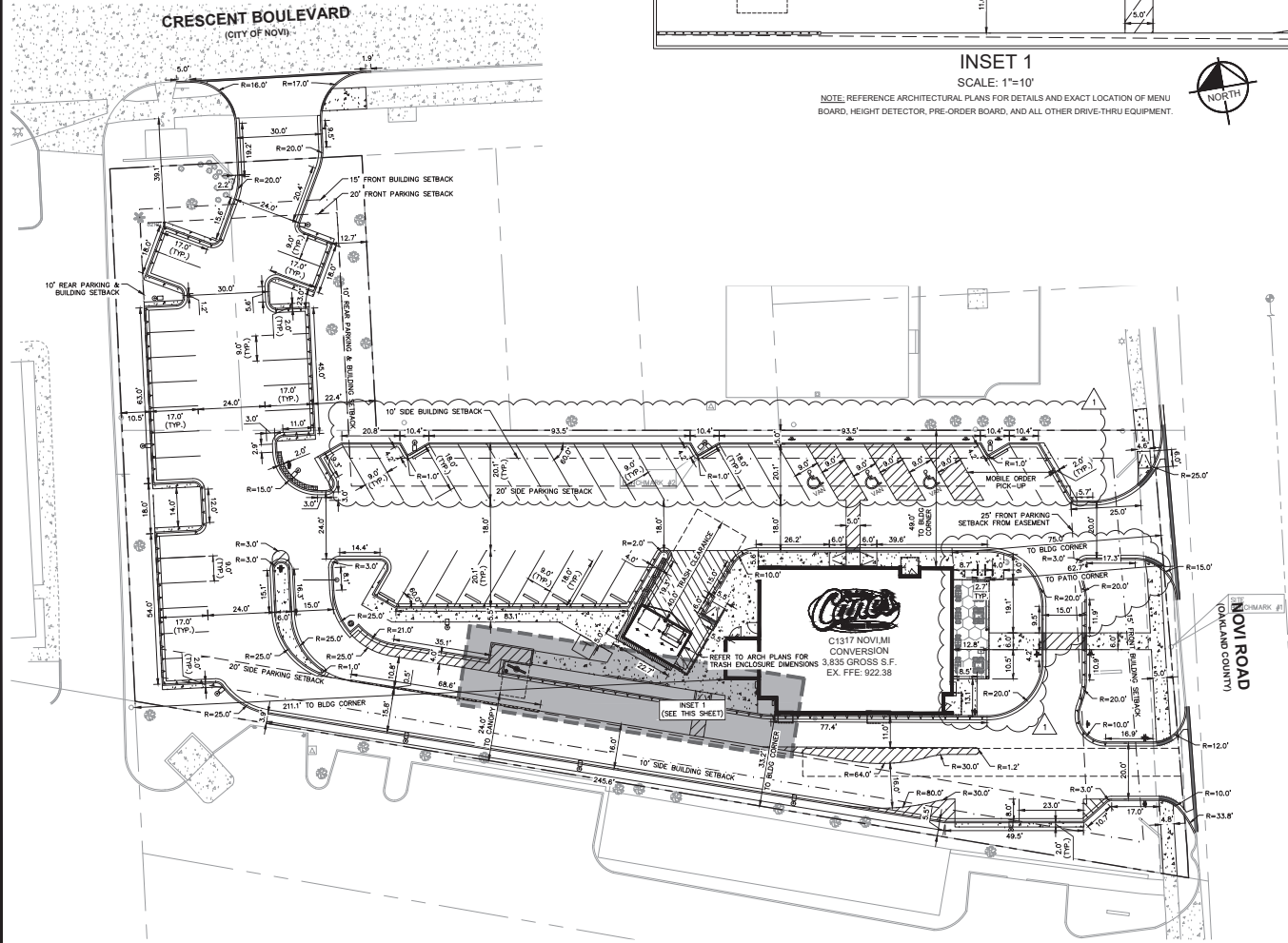
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**RAISING CANE'S**  
RESTAURANT NO.: C1317  
26245 NOVI ROAD  
NOVI, MI 48235  
PROTOTYPE/CONVERSION  
SCHEME A  
VERSION 2024-1.0

REV	DATE	DESCRIPTION
1	08.13.23	PRELIMINARY SUBMITTAL
2	02.14.24	PRELIMINARY/SCHEME DEVELOPMENT
3	07.15.24	FINAL PRELIMINARY SUBMITTAL

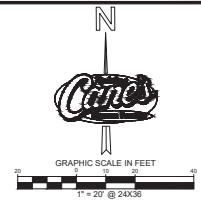
DRAWN BY: JH  
CHECKED BY: JH  
ARCH. PROJECT NO.:  
240386  
SHEET NAME:

**SITE KEYNOTE  
PLAN**  
SHEET NUMBER:  
**C5.0**



INSET 1  
SCALE: 1"=10'

NOTE: REFERENCE ARCHITECTURAL PLANS FOR DETAILS AND EXACT LOCATION OF MENU BOARD, HEIGHT DETECTOR, PRE-ORDER BOARD, AND ALL OTHER DRIVE-THRU EQUIPMENT.



LEGEND

- PROPERTY/EA/LOT LINE
- ADJACENT PROPERTY LINE
- BUILDING SETBACK
- LANDSCAPE SETBACK
- PROPOSED CONCRETE CURB & GUTTER
- EXISTING CURB & GUTTER
- DEPRESSED CURB & GUTTER
- REVERSE PITCH CURB & GUTTER

DIMENSION NOTES

- ALL CURB RADI ARE TO BE 3' ADJACENT TO PARKING STALLS UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL CURBS SHALL BE 6" STANDARD EXCEPT WHERE OTHERWISE NOTED ON PLANS. SEE SHEET C5.0 - SITE KEYNOTE PLAN AND C5.1 - GRADING PLAN.
- REFERENCE LANDSCAPE PLANS FOR PROPOSED BUFFERS, SCREENING, AND PLANTING.

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**Cane's**  
PROTOTYPE/CONVERSION  
SCHEME A  
VERSION 2024-1.0

**RAISING CANE'S**  
RESTAURANT NO.: C1317  
26245 NOVI ROAD  
NOVI, MI 48375

REV	DATE	DESCRIPTION
1	10.12.23	PRELIMINARY SUBMITTAL
2	10.12.23	PRELIMINARY SUBMITTAL
3	10.12.23	PRELIMINARY SUBMITTAL
4	10.12.23	PRELIMINARY SUBMITTAL
5	10.12.23	PRELIMINARY SUBMITTAL
6	10.12.23	PRELIMINARY SUBMITTAL
7	10.12.23	PRELIMINARY SUBMITTAL
8	10.12.23	PRELIMINARY SUBMITTAL
9	10.12.23	PRELIMINARY SUBMITTAL
10	10.12.23	PRELIMINARY SUBMITTAL

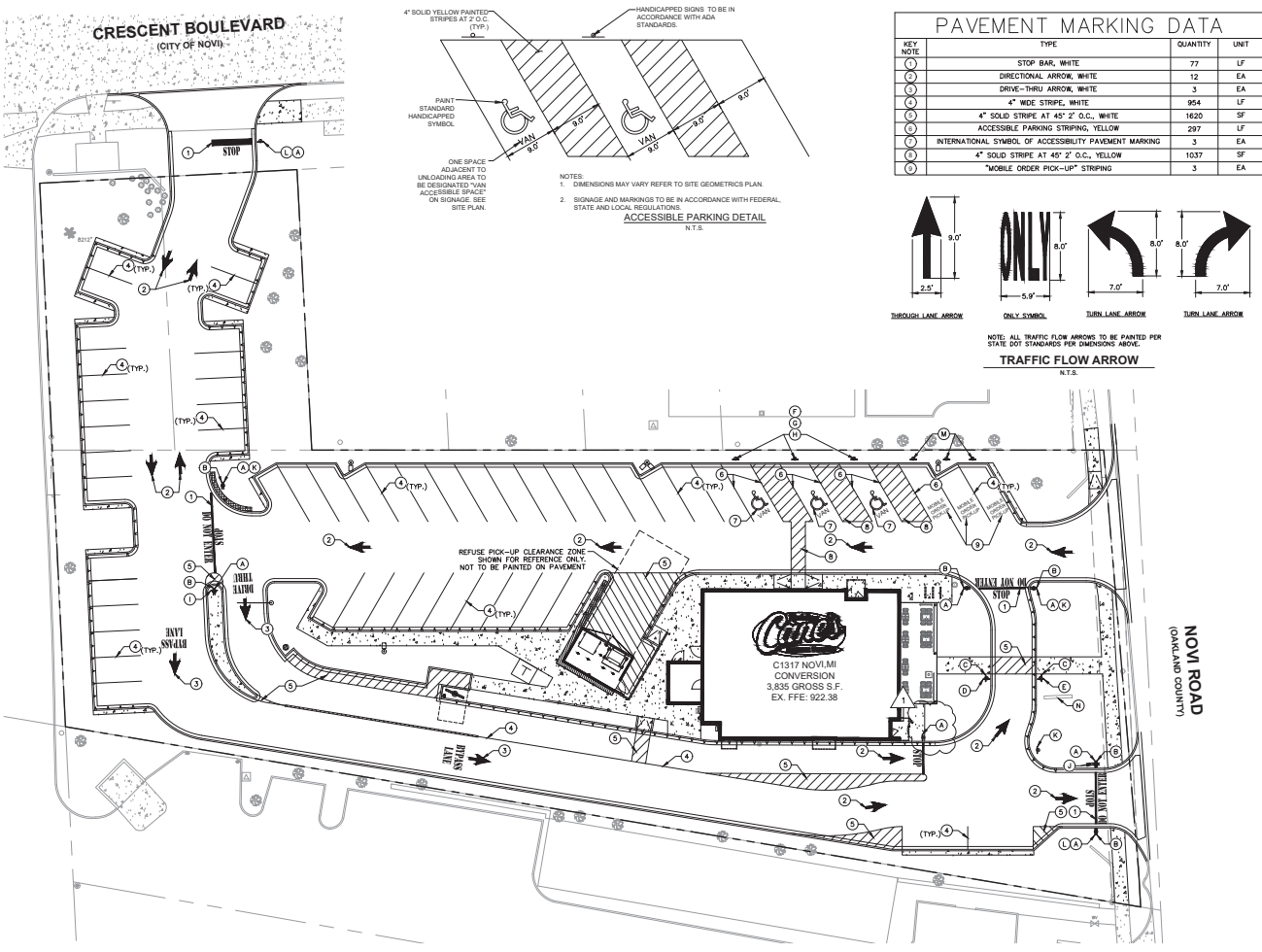
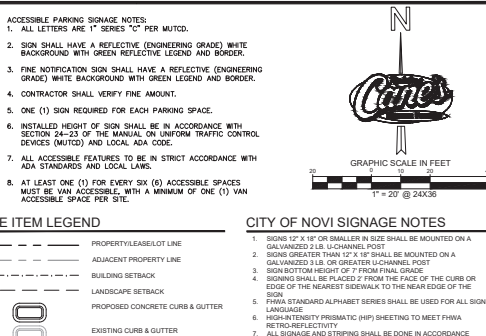
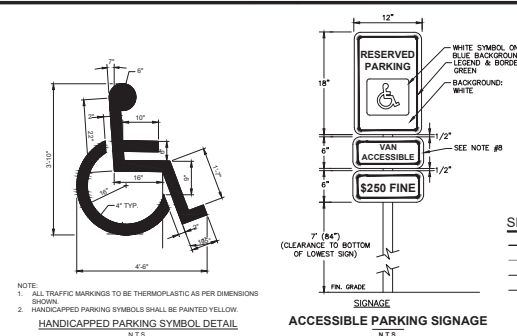
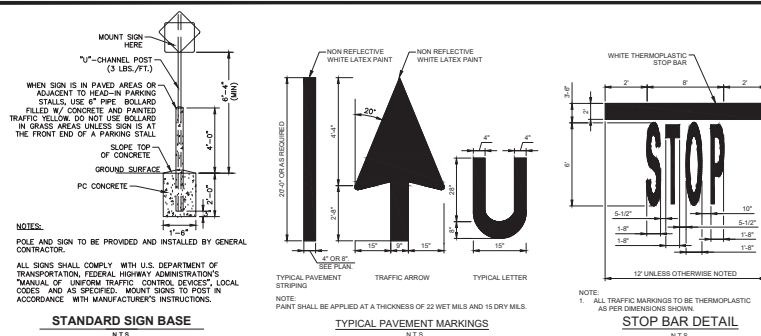
DRAWN BY: JH  
CHECKED BY: TJA

ARCH. PROJECT NO.: 240386

SHEET NAME: DIMENSION CONTROL PLAN

SHEET NUMBER: C5.1





KEY NOTE	MARKED	LEGEND	TYPE	QUANTITY	SIZE
1	R1-1	STOP	STOP SIGN	8	30"x30"
2	R5-1	DO NOT ENTER	DO NOT ENTER SIGN	6	30"x30"
3	C	WATCH FOR CARS EXITING DRIVE-THRU	"WATCH FOR CARS EXITING DRIVE-THRU" SIGN	2	12"x18"
4	R1-5a	YIELD FOR PEDESTRIANS SIGN, RIGHT	YIELD FOR PEDESTRIANS SIGN, RIGHT	1	30"x30"
5	R1-5b	YIELD FOR PEDESTRIANS SIGN, LEFT	YIELD FOR PEDESTRIANS SIGN, LEFT	1	30"x30"
6	R7-8	RESERVED PARKING	RESERVED PARKING SIGN USE STANDARD SIGN BASE WITH BOLLARD	3	12"x18"
7	R7-8a	VAN ACCESSIBLE	VAN ACCESSIBLE SIGN	3	12"x6"
8		\$250 FINE	\$250 FINE SIGN	3	12"x6"
9		DRIVE-THRU	DRIVE-THRU DIRECTIONAL SIGN	1	12"x18"
10		RELOCATED ONE WAY SIGN	RELOCATED ONE WAY SIGN	2	EXISTING
11		RELOCATED "TO N.B." NOW ROAD" SIGN	RELOCATED "TO N.B." NOW ROAD" SIGN	3	EXISTING
12		RELOCATED "TURN RIGHT ONLY" SIGN	RELOCATED "TURN RIGHT ONLY" SIGN	2	EXISTING
13		MOBILE ORDER PICK-UP SIGN	MOBILE ORDER PICK-UP SIGN USE STANDARD SIGN BASE WITH BOLLARD	3	12"x18"
14		EXISTING MONUMENT SIGN TO BE REFACED	EXISTING MONUMENT SIGN TO BE REFACED	1	EXISTING

**CAUTION!!**  
CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

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**RAISING CANE'S**  
RESTAURANT NO. C1317  
26245 NOVI ROAD  
NOVI, MI 48375

PROTOTYPE/CONVERSION  
SCHEME A  
VERSION 2024-1-10

**REV. DATE. DESCRIPTION**

1	08.12.23	PRELIMINARY SUBMITTAL
2	09.14.23	PRELIMINARY SUBMITTAL
3	07.15.23	FINAL PLAN SUBMITTAL

DRAWN BY: JH  
CHECKED BY: JH  
MARCH, PROJECT NO.: 240386  
SHEET NAME: STRIPING AND SIGNAGE PLAN  
SHEET NUMBER: C5.2



# PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
AB	Tilia americana	American Beeswood	5	3" cal.	B&B, 12" ht., 4" spread, 4' branching ht., matching
CO	Quercus muhlenbergii	Chinkapin Oak	4	3" cal.	B&B, 12" ht., 4" spread, 4' branching ht., matching
RO	Cercis canadensis	Eastern Redbud	1	2" cal.	B&B, 8" ht., 3" spread min.
WH	Quercus rubra	Red Oak	4	3" cal.	B&B, 12" ht., 4" spread, 4' branching ht., matching
	Crataegus phaenopyrum	Washington Hawthorn	6	2" cal.	B&B, 8" ht., 3" spread min.
AFD	SHRUBS/GROUNDCOVER				
BC	Cornus sericea 'Variegata'	Artic Fire Dogwood	70	5 gal.	container full, 20" spread, 36" o.c.
COT	Palmetto	Bush Cissampelos	50	1 gal.	container full, 24" o.c.
FS	Cotoneaster dammeri 'Coral Beauty'	Cotoneaster 'Coral Beauty'	70	3 gal.	container full, 24" o.c.
HY	Rhus aromatica	Fragrant Sumac	70	5 gal.	container full, 20" spread, 36" o.c.
IB	Taxus media 'Hicksii'	Hicks Yellow	6	0 gal.	container full, 20" spread, 36" o.c.
LB	Ilex glabra	Inkberry	80	5 gal.	container full, 20" spread, 36" o.c.
SC	Andropogon scoparius	Little Bluestem	30	3 gal.	container (3) 12" runners min., 12" o.c.
SOD	Poa pratensis	Seasonal Color	60	1" pots	solid sod, refer to Solid Sod Notes
TJ	Juncus horizontalis	Kentucky Bluegrass	70	1 gal.	container full, 24" o.c.
RR	MISCELLANEOUS				
	Landscape Boulder		7		native boulder, irregular finish; smooth and weathered edges; 1.5-ton min. 2" x 4" dia., 4" depth

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.  
PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN.  
ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.

# LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- TOP OF MULCH SHALL BE 12" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL LAWN AREAS SHALL BE SOLID SOD KENTUCKY BLUEGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

# GENERAL LAWN NOTES

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLOCS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, WEEDING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

# CITY OF NOVI LANDSCAPE NOTES

- THE PROPOSED ESTIMATED PLANTING DATES SHOULD BE BETWEEN MARCH 15 AND NOVEMBER 15.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR 2 YEARS FROM THE DATE OF ACCEPTANCE AND ALL SUCH LANDSCAPED AREAS SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THIS ORDINANCE.
- ALL PLANTS SHOULD BE UPPER MIDWEST/GREAT LAKES GROWN.
- THE PROPERTY'S LANDSCAPE WILL BE MAINTAINED PER THE APPROVED FINAL SITE PLAN IN PERPETUITY. PER ZONING ORDINANCE SECTION 8.5.7, INCLUDING REPLACEMENT OF ALL DEAD OR FAILING PLANT MATERIAL WITHIN THREE (3) MONTHS OF ITS DISCOVERY, OR THE NEXT APPROPRIATE TIME AS DETERMINED BY THE CITY LANDSCAPE ARCHITECT.
- ANY PLANT SPECIES SUBSTITUTIONS FROM THE APPROVED PLAN MUST BE APPROVED IN WRITING BY THE CITY LANDSCAPE ARCHITECT.

# SOLID SOD NOTES

- PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE. FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.

# MAINTENANCE NOTES

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
- ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
- CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

# EXISTING TREE LEGEND

- EXISTING TREE TO REMAIN

# LANDSCAPE TABULATIONS

THE CITY OF NOV, MICHIGAN

## SITE LANDSCAPE REQUIREMENTS

- Minimum of 25% of site area to be landscape.

Site Area: 56,485 s.f.	Required	Provided
8,472 s.f. (15%)	13,337 s.f. (24%)	

## R.O.W. ADJACENCY LANDSCAPE REQUIREMENTS

- One (1) tree per 30 l.f. of frontage.

Novi Road: 110 l.f.	Required	Provided
(4) trees, 3" cal.	(4) trees, 3" cal.	
Crescent Boulevard: 40 l.f.	Required	Provided
(2) trees, 3" cal.	(2) trees, 3" cal.	

## INTERIOR PARKING LOT REQUIREMENTS

- Minimum of 75% of parking area to be landscape.
- One (1) tree per 200 s.f. of required landscape area.

Parking Area: 32,542	Required	Provided
2,441 s.f. (7.5%)	2,456 s.f. (7.54%)	
(2) trees, 3" cal.	(2) ex. trees	
(10) trees, 3" cal.	(10) trees, 3" cal.	

## PARKING LOT PERIMETER REQUIREMENTS

- One (1) tree per fifteen (15) l.f. of parking perimeter.

Parking Perimeter: 295 l.f. (240 l.f. waiver)	Required	Provided
(8) trees, 3" cal.	(3) ex. tree	
(2) trees, 3" cal.	(2) trees, 3" cal.	
(6) ornamental trees	(6) ornamental trees	

## ACCESSWAY PERIMETER REQUIREMENTS

- One (1) tree per fifteen (15) l.f. of accessway perimeter.

North Accessway: 40 l.f.	Required	Provided
(1) tree, 3" cal.	(1) tree, 3" cal.	
Northeast Accessway: 85 l.f.	Required	Provided
(2) trees, 3" cal.	(2) trees, 3" cal.	
South Accessway: 95 l.f. (1,280 l.f. waiver)	Required	Provided
(3) trees, 3" cal.	(2) trees, 3" cal.	
(2) ornamental trees	(2) ornamental trees	

## FOUNDATION PLANTING REQUIREMENTS

- Min. 75% of building foundation shall provide min. 4" deep planting bed within 12" of building.

Building Foundation: 245 l.f.	Required	Provided
184 l.f.	70 l.f.	

# OWNER/DEVELOPER

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# CITY PROJECT NUMBER JSP25-0014

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# CONSULTANT:

7/11/25

**KORI ANN HAUG**  
LANDSCAPE ARCHITECT  
License No. 100000000  
7/11/25

**Canes**  
PROTOTYPE: CONVERSION  
VERSION 2024-1.0

**RAISING CANE'S**  
RESTAURANT NO.: C1317  
26245 NOVI ROAD  
NOVI, MI 48375

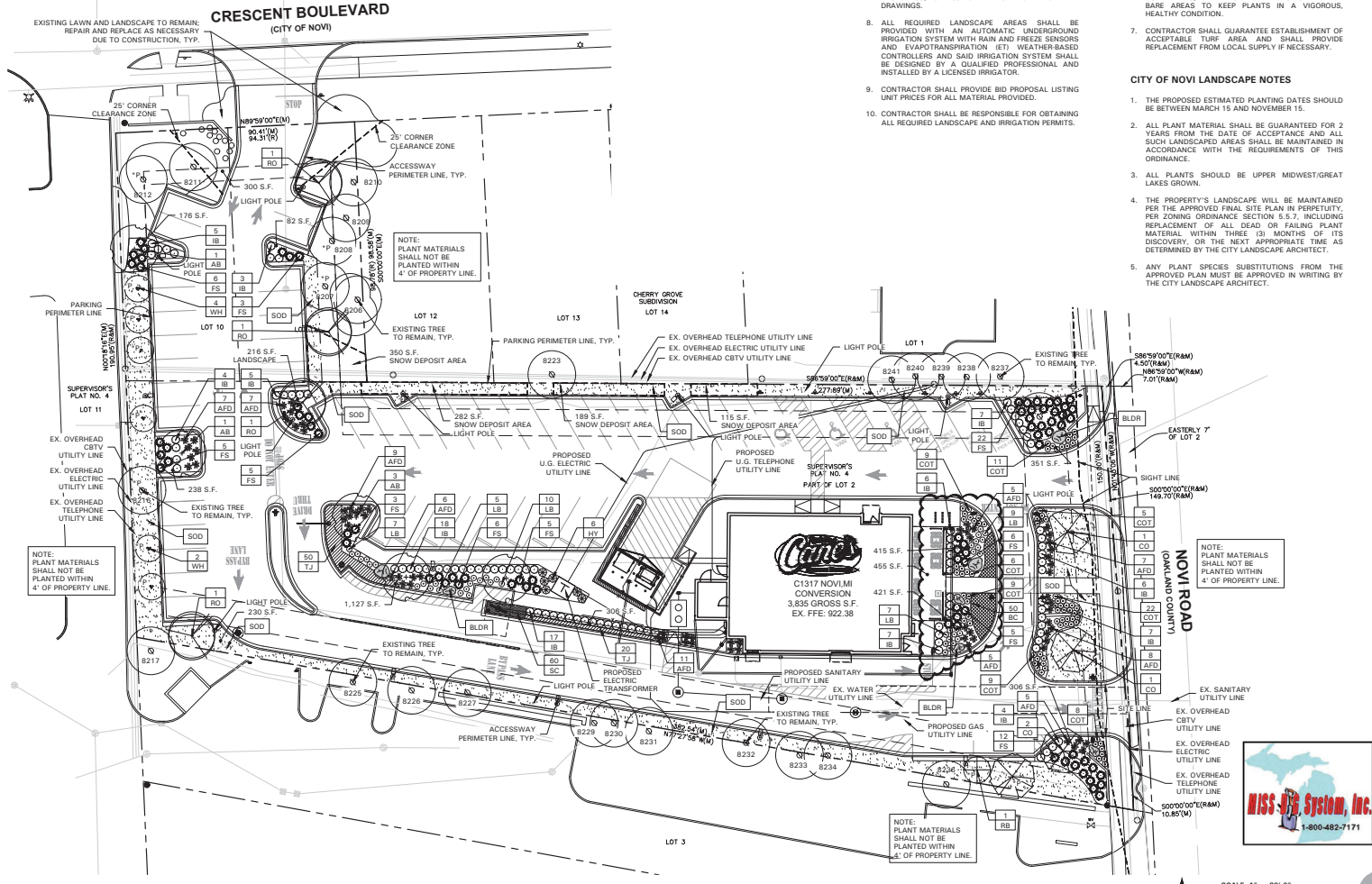
REV	DATE	DESCRIPTION
1	07/10/25	PER APPLICATION CORRECTIONS
1	07/11/25	REVISION 1

DRAWN BY: KAH  
CHECKED BY: KAH  
ARCH. PROJECT NO.: 240386  
SHEET NAME:

# LANDSCAPE PLAN

SHEET NUMBER:

L2.01



SECTION 32 9300 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCE DOCUMENTS

- A. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

- A. Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- Planting trees, shrubs and grasses
- Bed preparation and fertilization
- Notification of sources
- Water and maintenance until final acceptance
- Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen April 14, 2014 Edition by American National Standards Institute, Inc. (260.1) - plant material
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- C. Michigan Association of Nurserymen, Grades and Standards
- D. Horst Thir, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- A. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, crushed stone, steel edging and tree stakes. Samples shall be approved by Owner's Authorized Representative before use on the project.

1.5 JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor installing any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below final finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the final finish grade of sidewalks, drives and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
- The Landscape Contractor shall be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show healthy growth and satisfactory foliage condition.
  - Maintenance shall include watering of trees and plants, cultivation, weeding, spraying, edging, pruning of trees, mowing of grass, cleanup and all other work necessary of maintenance.
  - A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by the Owner's Authorized Representative will be completed prior to written acceptance.

- B. Guarantee:
- Trees, shrubs and groundcover shall be guaranteed for a twelve (12) month period after final acceptance. The Contractor shall replace all dead materials as well as weather permits and upon notification of the Owner. Plants, including trees, which have died due to the above causes or symmetry have been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.

- a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted in the originally specified location. The Contractor shall furnish labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.

- b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.

- c. When plant replacements are made, plants, soil, mulch, fertilizer and much are to be utilized as originally specified and re-inspected for full compliance with the contract requirements. All replacements are to be included under "Work" of this section.

2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.

3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.

4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a complete, undamaged condition and there is a stand of grass in all lawn areas. At that time the Owner will assume maintenance on the accepted work.

- C. Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting. In the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense to the Landscape Contractor.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable federal, state, county and local regulations governing landscape materials and work.
- B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.

- C. Selection of Plant Material:
- Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will ensure the purchased materials will meet and/or exceed project specifications.

- D. Substitutions: Do not make plant material substitutions. If the specified landscape material is not obtainable, submit proof of non-availability to Landscape Architect, together with proposal for use of equivalent material. At the time bids are submitted, the Contractor is assumed to have located the materials necessary to complete the job as specified.

3. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.

4. Measurements: Measure trees with branches and trunks or in their normal position. Do not prune to obtain required sizes. Take caliper measurements six inches above ground for trees up to and including 4" caliper size, and twelve inches above ground for larger sizes. Measure main

body of all plant material of height and spread dimensions, do not measure from branch or root tip-to-tip.

5. Owner's Authorized Representative shall inspect all plant material with requirements for genus, species, cultivar / variety size and quality.

6. Owner's Authorized Representative retains the right to further inspect all plant material upon arrival to the site and during installation for size and condition of root balls and root systems, limits, branching habit, insects, injuries and latent defects.

7. Owner's Authorized Representative may reject plants and/or refuse to accept any plant material during the process work. Remove rejected materials immediately from the site and replace with acceptable material of equal quality to the Owner. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Preparation:

- Balled and Burlapped (BAB) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape and future development.

2. Container Grow Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

- B. Delivery:

- Deliver packaged materials in sealed containers showing analysis, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored on site.

2. Deliver only plant materials that can be planted in one day upon adequate storage and watering facilities are available on site.

3. Protect root balls by heeling in with sand or other approved moisture retaining material if not planted within 24 hours of delivery.

4. Protect plants during delivery to prevent damage to roots, loss of association of leaves. Keep plants moist at all times. Cover all materials during transport.

5. Notify Owner's Authorized Representative of delivery schedule 72 hours in advance job site.

6. Remove rejected plant material immediately from job site.

7. To avoid damage or stress, do not lift, move, adjust or plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal top of the plant. Plant spread refers to nominal outer width of the plant, not the outer leaf tips. Plants will be individually approved by the Owner's Authorized Representative and his decision as to their acceptability shall be final.

- B. Quantities: The drawings and specifications are complementary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to the order list. Confirm all quantities on plan.

- C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, fully branched and well rooted. The plants shall be free from serious insects, diseases, injuries to the bark or roots, broken branches, objectionable deformations, insect eggs and larvae, and are to be of specimen quality.

- D. Approval: All plants which are found unsuitable in growth, or are in any unhealthy, badly shaped or undersized condition will be rejected by the Owner's Authorized Representative either before or after planting and shall be removed at the expense of the

Landscape Contractor and replaced with acceptable plant as specified at no additional cost to the Owner.

- E. Trees shall be healthy, full-branched, well-shaped, and shall meet the minimum trunk and diameter requirements of the plant schedule. Balls shall be firm, neat, slightly tapered and well wrapped in burlap. Any tree loose in the ball or with a broken root at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter, measured six (6") inches above ball. (Nomenclature conforms to the customary nursery usage. For clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.)

- F. Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect prior to final acceptance, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

- A. Sandy Loam:

1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallisgrass or Nutgrass shall be rejected.

2. Physical properties as follows:

- a. Clay - between 7-27 percent
- b. Silt - between 15-25 percent
- c. Sand - less than 52 percent

3. Organic matter shall be 3%-10% of total dry weight.

4. If requested, Landscape Contractor shall provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.

- B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of coarse and fine textured materials.

- C. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.

- D. Mulch: Double Shredded Hardwood Mulch, partially decomposed.

- E. Organic Fertilizer: Fertilized, Sulfate, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.

- F. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source must be a minimum 50% slow release organic Nitrogen (SCU or UFI) with a minimum 8% sulfur and 4% iron, plus micronutrients.

- G. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

- A. Steel Edging: All steel edging shall be 3/16" thick x 4" deep x 18' long with 6 stakes per section, painted black at the factory as manufactured by The J.D. Russell Company and under its trade name DURACEDGE Heavy Duty Steel.

- B. Staking Material for Shade Trees: Refer to details.

- C. Gravel: Washed native pea gravel, graded 1 inch to 1-1/2 inch.

- D. Filter Fabric: "Mirafi Mirascape" by Mirafi Construction Products or approved equal.

- E. River Rock: "Colorado" or native river rock, 2" - 4" dia.

- F. Decomposed Granite: Base material composed of a natural material mix of granite aggregate not to exceed 18" diameter in size and shall be composed of various stages of decomposed earth base.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.

- B. All planting areas shall be conditioned as follows:

1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per Manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches for the topsoil. Apply organic fertilizer such as Sulfate or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.

2. All planting areas shall receive a three (3") inch layer of specified mulch.

3. Backfill for tree pits should be as follows: Use existing top soil on site unless imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoil, etc., placed in nine (9") inch layers and watered in thoroughly.

- C. Grass Areas:

1. Blocks of sod should be laid joint to joint (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.

3.2 INSTALLATION

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily completed.

- B. Plant materials shall be delivered to the site only after the beds are prepared and areas are ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at time of delivery to the site, shall be well protected against the possibility of drying by wind and balls of earth of 8 plants shall be kept covered with the soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.

- C. Position the trees and shrubs in their intended location as per plan.

- D. Notify the Owner's Authorized Representative for inspection and approval of all positioning of plant materials.

- E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planned and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

- F. Shrub and tree pits shall be no less than twenty-four (24") inches wider than the lateral dimension of the earth ball and six (6") inches deeper than it's vertical dimension. Remove and haul from site all rocks and stones over three-quarter (3/4) inch in diameter. Plants should be thoroughly moist before removing containers.

- G. Dig a wide, round sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.

- H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per tree planting detail as approved by the Landscape Architect. The percolation test fails. Percolation test to be completed at each site and shall be reported to the Owner.

- I. Backfill only with 6 parts existing soil or sandy loam and 1 part

bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top 1/2 of the ball as well as all nylon, plastic string and ties. Containers will usually be root bound, if so follow standard nursery practice of "root scoring".

- J. Do not wrap trees.

- K. Do not over prune.

- L. Munch the top of the ball. Do not plant grass all the way to the top of the ball. Leave the area above the ball and the ball and mulch with at least two (2) inches of specified mulch.

- M. All plants and trees to be mulched with a minimum settled thickness of three (3") inches over the entire bed or pit.

- N. Obstructions below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3) feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of soil and underground obstructions encountered at the cost of the Landscape Contractor.

- O. Trees and large shrubs shall be staked as site conditions require. Position stakes to secure trees against seasonal prevailing winds.

- P. Pruning and Mulching: Pruning shall be directed by the Landscape Architect and shall be pruned in accordance with standard horticultural practices following Fine Pruning, Class I pruning manual provided by the National Arborist Association.

1. Dead wood, suckers, broken and badly bruised branches shall be removed. General tipping of the branches is not permitted. Do not cut terminal branches.

2. Pruning shall be done with clean, sharp tools.

3. Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material six (6") inches in depth. This limit of the organic material for trees shall be the diameter of the plant pit.

3.3 CLEANUP AND ACCEPTANCE

- A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized so that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing them at end of each work day.

- B. Do not install steel edging along sidewalks or curbs.

- C. Cut steel edging at 45 degree angle where edging meets sidewalks or curbs.

- D. Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.

- E. Do not install steel edging along sidewalks or curbs.

- F. Cut steel edging at 45 degree angle where edging meets sidewalks or curbs.

- G. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized so that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing them at end of each work day.

- H. Do not install steel edging along sidewalks or curbs.

- I. Cut steel edging at 45 degree angle where edging meets sidewalks or curbs.

- J. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized so that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing them at end of each work day.

- K. Do not install steel edging along sidewalks or curbs.

- L. Cut steel edging at 45 degree angle where edging meets sidewalks or curbs.

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- END OF SECTION

Raising Canes' Novi, Michigan				OPINION OF PROBABLE COST	
DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL	
American Basswood	5	EA.	\$ 400.00	\$	2,000.00
Chinkapin Oak	4	EA.	\$ 400.00	\$	1,600.00
Red Oak	4	EA.	\$ 400.00	\$	1,600.00
Eastern Redbud	1	EA.	\$ 375.00	\$	375.00
Washington Hawthorn	6	EA.	\$ 375.00	\$	2,250.00
Artic Fire Dogwood	70	EA.	\$ 60.00	\$	3,500.00
Bush Cinquefoil	50	EA.	\$ 50.00	\$	2,500.00
Cottonaster Coral Beauty	79	EA.	\$ 50.00	\$	3,950.00
Fragrant Sumac	78	EA.	\$ 50.00	\$	3,900.00
Inkberry	89	EA.	\$ 50.00	\$	4,450.00
Little Bluestem	50	EA.	\$ 50.00	\$	2,500.00
Trailing Juniper	70	EA.	\$ 15.00	\$	1,050.00
Seasonal Color	60	EA.	\$ 3.50	\$	210.00
Kentucky Bluegrass Sod	655	S.Y.	\$ 3.00	\$	3,030.00
Landscape Boulder	7	EA.	\$ 500.00	\$	3,500.00
Hardwood Mulch	50	C.Y.	\$ 35.00	\$	1,750.00
Gravel Mulch	175	S.F.	\$ 2.50	\$	438.00
Landscape Material				TOTAL	\$ 36,903.00

\* Based on standard costs per development code

OWNER/DEVELOPER

**Raising Canes' Restaurants, L.L.C.**  
6800 BISHOP ROAD  
PLANO, TX 75024  
(972) 769-3100  
CONTACT: LUARON FOSTER

**BELLE FIRMA**  
13000 N. Central Exp.  
Suite 1200  
Dallas, Texas 75245  
(214) 635-7002



**SHREMSHOCK**  
Shremshock Architects, Inc.  
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www.shremshock.com  
Greg J. Shremshock  
Theodore A. Shremshock, Architect

SEAL

CONSULTANT:

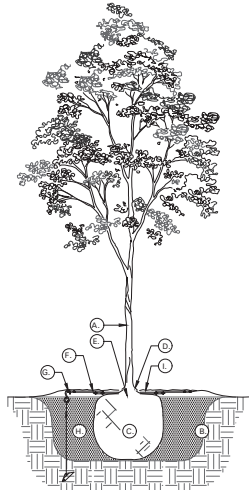
**KORI ANN HARRIS**  
NAB  
LANDSCAPE ARCHITECT  
LICENSED PROFESSIONAL  
7/11/25

**Raising Canes'**  
RESTAURANT NO.: C1317  
26245 NOVI ROAD  
NOVI, MI 48375  
PHOTO: CONVERSION  
VERSION 2024-10

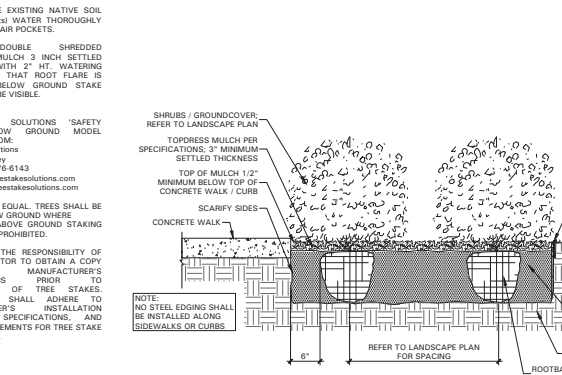
**RAISING CANES'**  
RESTAURANT NO.: C1317  
26245 NOVI ROAD  
NOVI, MI 48375

REV	DATE	DESCRIPTION
1	03.12.25	REVISION 1
2	07.11.25	REVISION 2

DRAWN BY: KAH  
CHECKED BY: KAH  
ARCH. PROJ. NO.: 240386  
SHEET NAME:  
LANDSCAPE SPECIFICATIONS AND DETAILS  
SHEET NUMBER:  
L2.02



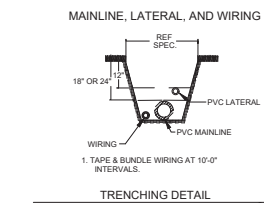
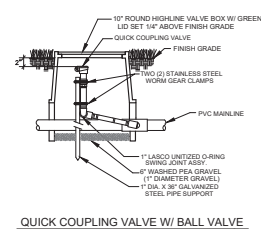
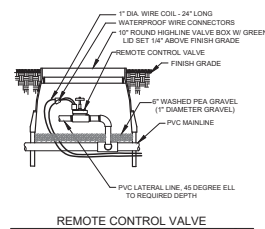
01 TREE PLANTING DETAIL  
NOT TO SCALE



02 SHRUB / GROUNDCOVER DETAIL  
NOT TO SCALE



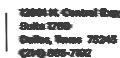
3. ALL 24 VOLT LEAD AND COMMON VALVE WIRING SHALL BE A MINIMUM OF UF-14 GA. SINGLE CONDUCTOR. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR PROPER WIRE SIZE. WIRE SPLICES SHALL BE PERMANENT AND WATERPROOF PER THE SPECIFICATIONS.
2. COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH LANDSCAPE CONTRACTOR TO ENSURE ALL PLANT MATERIAL WILL BE WATERED IN ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS.
3. PIPING AND VALVES IN PAVING SHOWN FOR CLARITY. INSTALL IN ADJACENT PLANTING BED OR LAWN AREA.
4. LATERAL PIPING SHALL HAVE A MINIMUM OF 12" OF COVER. MAINLINE AND PIPING UNDER PAVING SHALL HAVE A MINIMUM OF 18" OF COVER. ALL FITTINGS TO BE SCHEDULE 40 PVC. USE SOLVENT WELD PVC GLUE AND PURPLE PRIMER FOR PVC CONNECTIONS PER THE SPECIFICATIONS.
5. SIZE ALL LATERAL PIPING PER MANUFACTURER'S RECOMMENDATIONS OF NOT EXCEEDING 5 FPS. REFERENCE PIPE SIZE CHART.
6. CONNECT SPRAYS, BUBBLERS, AND INDICATOR HEADS TO LATERAL PIPING WITH HUNTER 1/2" SJ SWING JOINT.
7. INSTALL QUICK COUPLING VALVES IN TEN (10") INCH HIGHLINE VALVE. CONNECT QUICK COUPLING VALVES TO MAINLINE PIPE WITH HUNTER HSJ SWING JOINT. SUPPLY OWNER WITH ONE COUPLER KEY WITH SWIVEL HOSE BIBB. VALVES TO BE INSTALLED SO THAT TOP OF QUICK COUPLER IS 2" BELOW BOTTOM OF VALVE BOX TOP.
8. PERFORM ELECTRICAL WORK IN ACCORDANCE WITH LOCAL BUILDING CODE. POWER (120V) SHALL BE LOCATED IN A JUNCTION BOX AND HARDWIRED WITHIN FIVE (5) FEET OF CONTROLLER LOCATION BY GENERAL CONTRACTOR.
9. INSTALL REMOTE CONTROL VALVES AND WIRE SPLICES IN TEN (10") INCH ROUND HIGHLINE VALVE BOXES.
10. INSTALL SLEEVES UNDER ALL HARDSCAPE SURFACES SUCH AS ROADS, DRIVES, WALKS, ETC. WHETHER SHOWN OR NOT. SLEEVES SHALL BE CLASS 200 PVC, SIZED AS NOTED ON PLANS AND INSTALLED BY LANDSCAPE IRRIGATION CONTRACTOR (LIC).
11. ADJUST NOZZLES FOR SITUATIONS THAT REQUIRE LESS THAN 90 DEGREE RADIUS SPRAY. THIS MAY REQUIRE ADJUSTABLE NOZZLES. NO OVERSPRAY ALLOWED ON ANY HARDSCAPE SURFACES.
12. DESIGN PRESSURE IS 61.0 PSI. STATIC PRESSURE IS 65 PSI. PRIOR TO CONSTRUCTION, VERIFY STATIC PRESSURE. IF STATIC PRESSURE IS LESS THAN STATED DO NOT START WORK UNTIL NOTIFIED TO PROCEED.
13. MINIMUM DISTANCE BETWEEN MAIN LINE AND LATERAL LINE FITTINGS (EXCEPT FOR REDUCER BUSHINGS) TO BE EIGHTEEN (18") INCHES AND MINIMUM HORIZONTAL DISTANCE OF TWENTY-FOUR (24") INCHES BETWEEN ANY VALVES THAT ARE INSTALLED SIDE BY SIDE.
14. WHERE POSSIBLE LOCATE ALL MAINLINES, VALVES, OR CONTROL WIRES SHALL BE LOCATED AND INSTALLED OUTSIDE RIGHT-OF-WAY.
15. PROVIDE ALL LABOR AND MATERIAL NECESSARY TO HAND DIG WITHIN ALL EXISTING TREE ROOT ZONES. CONTRACTOR MUST STAKE DITCHES AND RECEIVE APPROVAL FROM LANDSCAPE ARCHITECT PRIOR TO ANY TRENCHING OR DIGGING.
16. ALL STATE OF INDIANA LAWS/RULES AND ALL LOCAL CODES/ORDINANCES ARE MADE PART OF THESE PLANS AND SPECIFICATIONS WHETHER SHOWN OR NOT. THESE LAWS AND ORDINANCES WILL SUPERCEDE THE PLANS, DETAILS, AND/OR SPECIFICATIONS FOR THIS PROJECT. CONTRACTOR IS CAUTIONED THAT THEY ARE TO INCLUDE ANY AND ALL COST NECESSARY TO MEET OR EXCEED THE LAWS OF THE STATE OF INDIANA OR LOCAL KOKOMO CODES CONCERNING LANDSCAPE IRRIGATION.
17. EXISTING IRRIGATION SYSTEM TO BE ABANDONED. PROVIDE ALL LABOR AND MATERIAL NECESSARY TO INSTALL THE NECESSARY EQUIPMENT TO WINTERIZE THE IRRIGATION PER LOCAL CODES.
18. REQUIRED RPZ MUST BE ASSE 1013 LISTED AS COMPLETE ASSEMBLY INCLUDING SHUT OF VALVES. ASSEMBLY REQUIRED TO BE INSTALLED BY A LICENSED PLUMBING CONTRACTOR. PLUMBING PERMIT IS REQUIRED. NEW ASSEMBLY MUST BE TESTED AFTER INSTALLATION BY A LICENSED PLUMBER ALSO ASSE 5110 CERTIFIED TO TEST. RESULTS MUST BE RECORDED ON THE CITY OF NOVI TEST FORM WITH A COPY SENT TO THE NOVI WATER AND SEWER DIVISION. RPZ MUST BE INSTALLED NO LESS THAN 12-INCHES ABOVE FINISHED GRADE FROM THE BOTTOM OF THE PRESSURE RELIEVE VALVES. ASSEMBLIES MUST BE IN COMPLIANCE WITH THE MICHIGAN PLUMBING CODE. MANUFACTURER INSTALLATION INSTRUCTIONS INCLUDING WINTERIZATION AND ASSE LISTING APPROVALS FOR ORIENTATION, VALVES, ETC.

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

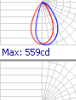

DRAWN BY: SAH  
CHECKED BY: SAH  
ARCH. PROJECT NO.: 240386  
SHEET NAME:

## IRRIGATION SPECIFICATIONS AND DETAILS

SHEET NUMBER: **L3.02**



## Schedule

Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Plot
	S2		1	LSI INDUSTRIES, INC.	CRUS-SC-SLW-30		1	5584	1	38	
	S1		9	Lithonia Lighting	LDN6 27/15 LD6WR	6IN LDN, 2700K, 1500LM, WHITE, CR380	1	1318	1	17.52	
	R		2	ATLAS	WLM43LED	2331-1	1	4148	1	41.23	
	GG		19	WAC Lighting	WS-W70612 A191115	WALL MOUNTED	1	610	1	25.6	
	Y2		15	Lithonia Lighting	DSX1 LED P3 30K 80CRI TFM HS	D-Series Size 1 Area Luminaire P3 Performance Package 3000K CCT 80 CRI Forward Throw HouseSide Shield	1	10274	1	102.1727	

## Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking / Drive-Thru	+	3.0 fc	8.4 fc	1.1 fc	7.6:1	2.7:1
Sidewalk	+	4.4 fc	8.4 fc	1.5 fc	5.6:1	2.9:1



**Raising Cane's**  
**Restaurant #C1317**  
**26245 Novi Road**  
**Novi, MI 48375**

## Designer

SAH

## Date

07/10/2025

## Scale

1" = 45ft

## Drawing No.

240386

## Summary

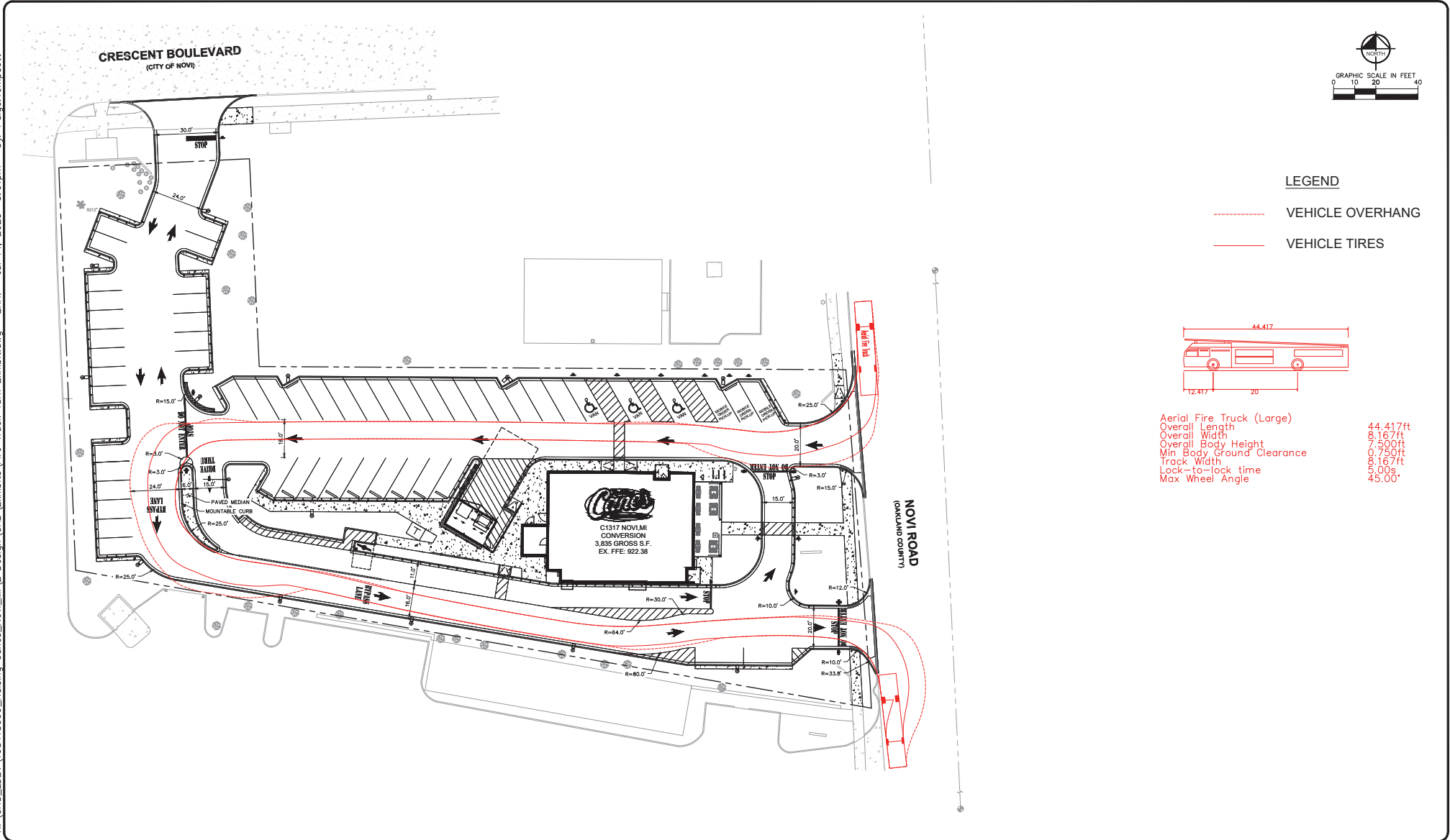
Site Photometrics

**1 of 1**

## Plan View

Scale - 1" = 45ft

K:\CHS\_LDEV\168418060\_Raising Canes\_Novi\_M12\_Design\CAD\Exhibits\Fire Truck Turn Exhibit.dwg EXH. Jul 14, 2025 5:01pm by Paige Tompsett



**Kimley»Horn**  
of Michigan, Inc.

3000 TOWN CENTER, SUITE 2600 - SOUTHFIELD, MICHIGAN 48075  
PHONE: (630) 487-5550 | www.kimley-horn.com

TITLE:

**FIRE TRUCK  
TURN EXHIBIT**

PROJECT:

**RAISING CANE'S C1317**

LOCATION:

**NOVI & CRESCENT,  
NOVI, MI**

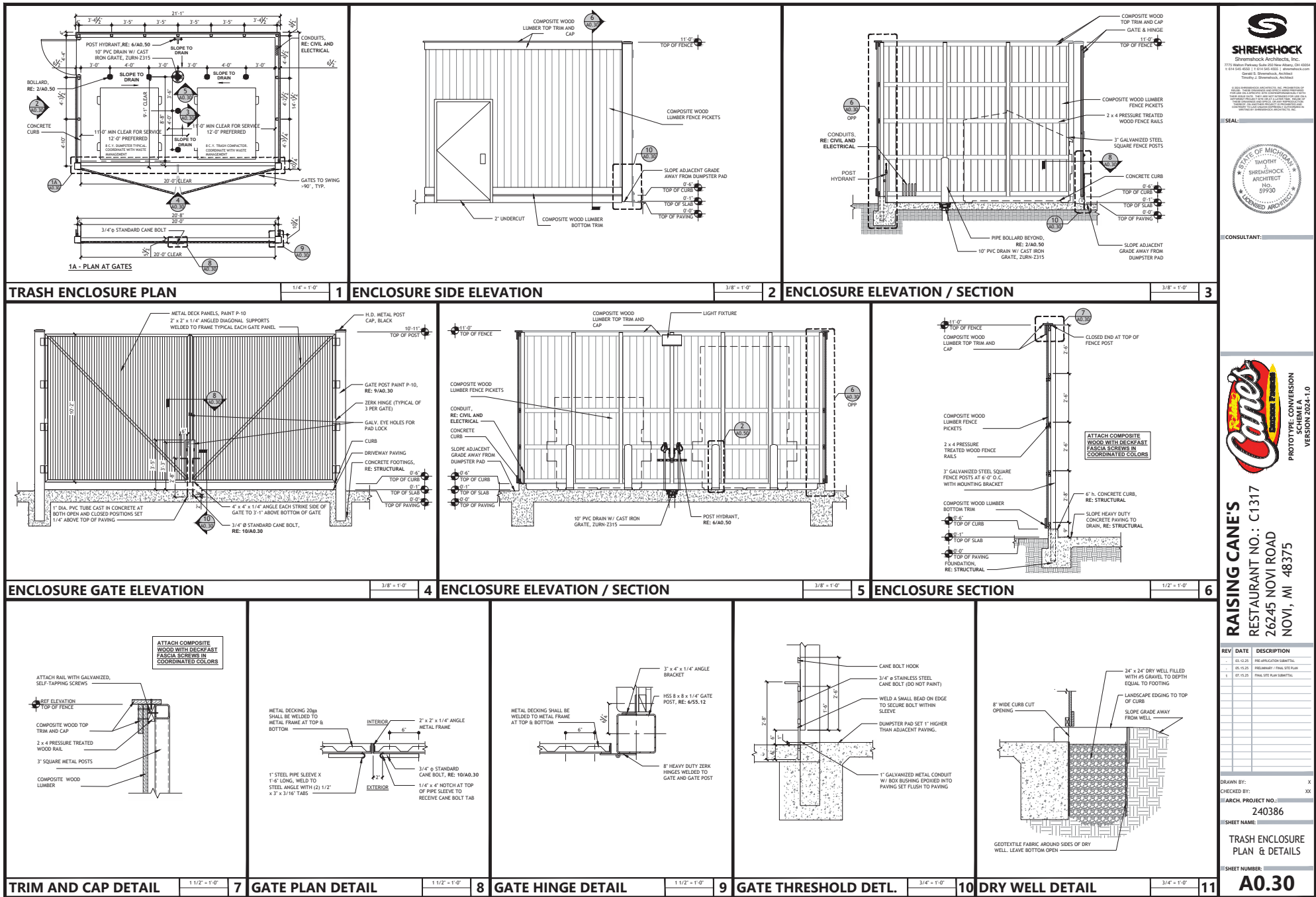
JOB NUMBER: 168418060

SCALE: AS NOTED

DATE: 07/15/25

SHEET: 1 OF 1

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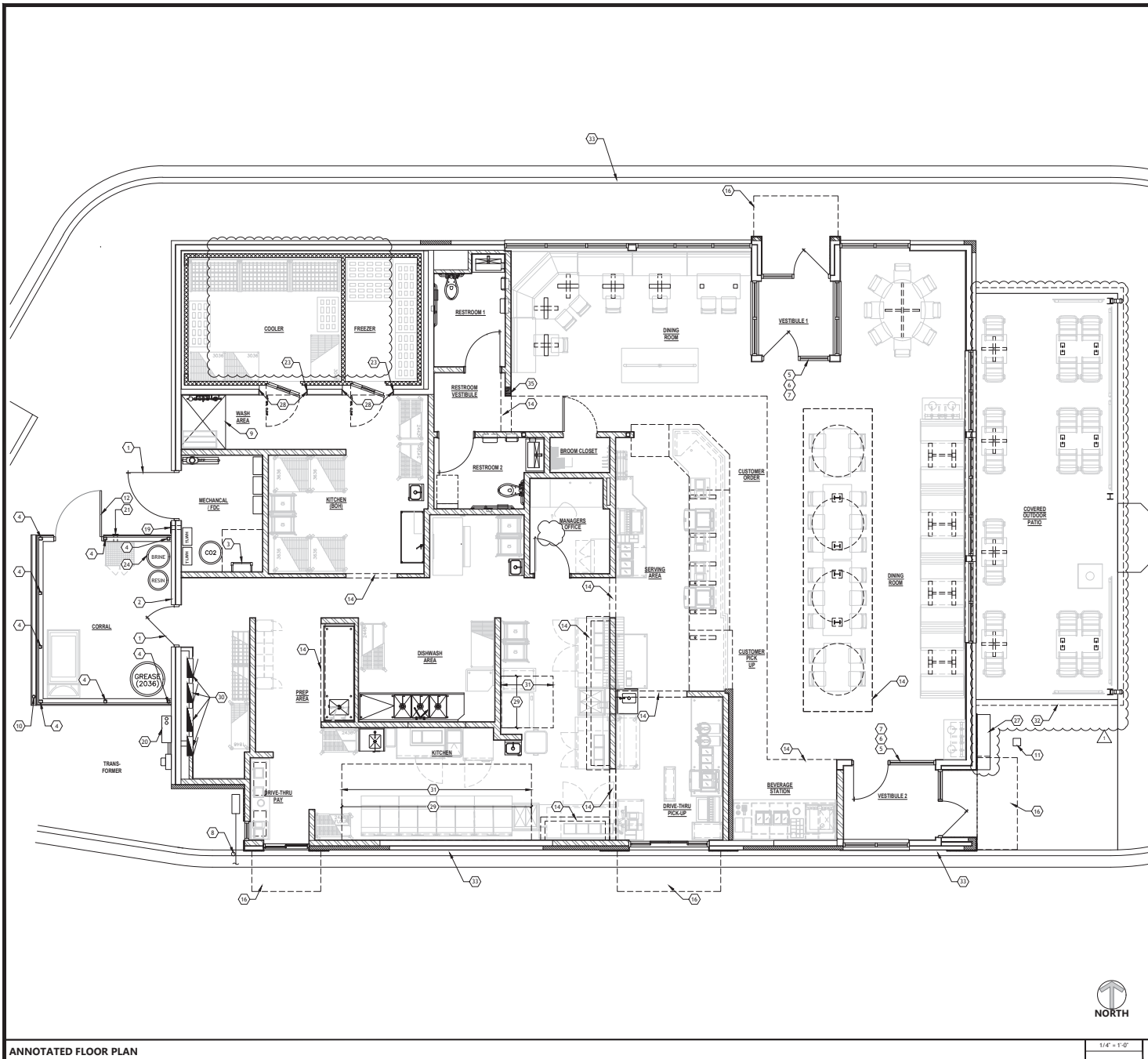
STATE OF MICHIGAN  
TIMOTHY SHREMSHOCK  
ARCHITECT  
NO. 09930  
LICENSED ARCHITECT

CONSULTANT:

**Canes**  
RAISING CANE'S  
RESTAURANT NO.: C1317  
26245 NOVI ROAD  
NOVI, MI 48375

REV	DATE	DESCRIPTION
03.12.21		PRE APPLICATION SUBMITTAL
08.12.21		PRELIMINARY / FINAL SITE PLAN
1	07.12.23	FINAL SITE PLAN SUBMITTAL

DRAWN BY: X  
CHECKED BY: XX  
ARCH. PROJECT NO.: 240386  
SHEET NAME:  
TRASH ENCLOSURE  
PLAN & DETAILS  
SHEET NUMBER:  
**A0.30**



## SHEET NOTES

- REFER TO SHEET G0.01 FOR GENERAL NOTES.
- ALL KITCHEN AREA AND WET WALLS TO HAVE "DUROCK" BRAND CEMENT BOARD FROM F.F. TO EITHER 6" A.F.F. W/ 1/2" PLYWOOD ABOVE, FINISH AS SCHEDULED.
- ALL AREAS OTHER THAN KITCHEN AND WET WALLS TO HAVE "DUROCK" BRAND CEMENT BOARD FROM F.F. TO EITHER 6" A.F.F. W/ 1/2" PLYWOOD ABOVE, FINISH AS SCHEDULED.
- REFER TO SHEET F51 FOR ADDITIONAL OWNER PROVIDED MILLWORK, INSTALLED BY G.C.
- ALL EXTERIOR LANDINGS TO BE FLUSH WITH FINISH FLOOR, TYPICAL.
- PROVIDE BRAILLE AND RAISED LETTERING EXIT SIGNAGE PER 2/A1.10 AND ACCESSIBLE DETAIL SHEETS.
- PROVIDE SOUND ATTENUATION BATT INSULATION AT RESTROOM WALLS.
- REFER TO SHEET A3.30 FOR WALL TYPES.
- REFER TO SHEET A6.10 FOR DOOR SCHEDULE AND A6.20 FOR WINDOW SCHEDULE.

## KEYED NOTES

- INSTALL DOOR STOP TO ALLOW 90 DEGREE SWING MINIMUM. VERIFY MAXIMUM SWING WILL NOT IMPACT ADJACENT FINISHES OR EQUIPMENT
- PROVIDE BUZZER
- ROOF ACCESS LADDER, RE: 1/A3.24
- COLUMN OR POST, RE: STRUCTURAL
- BRAILLE & RAISED LETTERING EXIT SIGNAGE, RE: 2/A1.10
- MAXIMUM OCCUPANCY SIGN, RE: 2/A1.10
- NO SMOKING SIGN, RE: 2/A1.10
- PIPE BOLLARD, RE: 2/A0.50
- EDGE OF MOP SINK SLOPE 1:3
- 3" PVC DRAIN LINE TO CURB OUTLET. DO NOT DISCHARGE TO LANDSCAPING
- SQUARE UPLIGHT RECESSED INTO PAVING, RE: ELEC. FOR INSTALLATION DETAIL
- DOOR MOUNTED SIGN "EGRESS PATH MUST REMAIN CLEAR AT ALL TIMES"
- UNFHEATER, RE: MECHANICAL
- LINE OF SOFFIT ABOVE, RE: A1.40
- LINE OF CEILING CLOUD AND DISCO BALL ABOVE (BY OTHERS) RE: A1.40
- PREFABRICATED ANKING BY OTHERS. G.C. SHALL COORDINATE WITH VENDORS DRAWINGS
- KNIX BOX PER LOCAL FIRE DEPARTMENT JURISDICTION
- GAS METER, RE: MECHANICAL
- PROVIDE BULK CO2 TANK FILL CONNECTION. G.C. TO COORDINATE WITH CO2 SUPPLIER
- EXTERIOR ELECTRICAL EQUIPMENT. PRIME AND PAINT TO MATCH BUILDING, RE: ELECTRICAL
- PROVIDE GREASE STORAGE TANK EVALUATION CONNECTION. G.C. TO COORDINATE WITH VENDOR. - TANK BASE CONNECTION: 5/8" Ø A.B. W/ 4:1/7" MIN. EMBEDMENT INTO CONCRETE (TYP. EA. LEG) - REFER TO VENDOR'S CALCULATIONS
- LINE OF COUNTERTOP/GASEWORK, RE: MECHANICAL
- INSTALL A HARDWIRED COMMUNICATION DEVICE IN WALK-IN FREEZER FOR EMERGENCY ASSISTANCE IN THE EVENT OF A LOCK-IN
- WATER SOFTENER, RE: PLUMBING
- BRACE METAL TO MATCH DOOR FRAME, RE: 1/A6.22
- LINE OF DRIVE-THRU PICKUP-CANOPY, RE: CANOPY/VEHICLE DRAWINGS
- METAL PANELS BY OWNER, RE: EXTERIOR ELEVATIONS
- DOOR JAMB ENCLOSURE AT WALK IN DOORS BY COOLER MANUFACTURER
- 1" NON-COMBUSTIBLE WALL PANEL AT HOOD. REFER TO FOOD SERVICE EQUIPMENT AND VENDOR'S DRAWINGS.
- INTERIOR ELECTRICAL PANELS
- EXHAUST HOOD ABOVE
- LINE OF PATIO/CANOPY ROOF, RE: SHEET A0.20 & STRUCTURAL
- 6" CURB, RE: CIVIL
- FIRE RISER - UNDER DEFERRED SUBMITTAL
- NEW STRUCTURAL WOOD COLUMN.

### Seating and Area

Dining Room:  
Area: 1,286 sqft  
Seats: 56  
Outdoor Patio:  
Area: 455 sqft  
Seats: 20

### Hours of Operation

Monday 10 am - 12 am  
Tuesday 10 am - 12 am  
Wednesday 10 am - 12 am  
Thursday 10 am - 12 am  
Friday 10 am - 2 am  
Saturday 10 am - 2 am  
Sunday 10 am - 12 am



ANNOTATED FLOOR PLAN

1/4" = 1'-0"

1



Shremshock Architecture, Inc.  
7775 Water Parkway Suite 200 New Albany, OH 43054  
614-544-4555 | 1-800-545-1022 | shremshock.com  
Garrett S. Shremshock, Architect  
Timothy J. Shremshock, Architect

SEAL:



CONSULTANT:



**RAISING CANES**  
RESTAURANT NO.: C1317  
26245 NOVI ROAD  
NOVI, MI 48375

REV	DATE	DESCRIPTION
05.12.21	05.12.21	REV APPLICATION SUBMITTAL
05.15.23	05.15.23	PRELIMINARY / FINAL SITE PLAN
1	07.15.23	FINAL SITE PLAN SUBMITTAL

DRAWN BY: JSK  
CHECKED BY: XX  
ARCH. PROJECT NO.: 240386

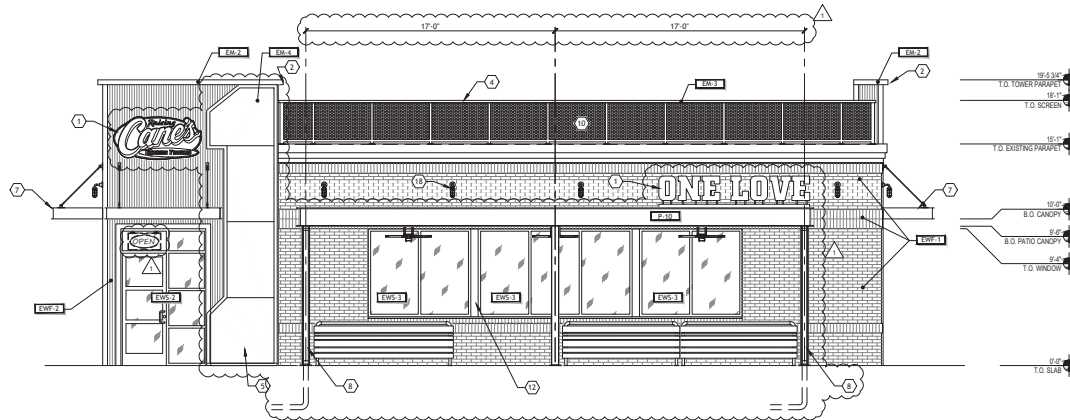
SHEET NAME:

FRAMING PLAN

SHEET NUMBER:  
**A1.20**

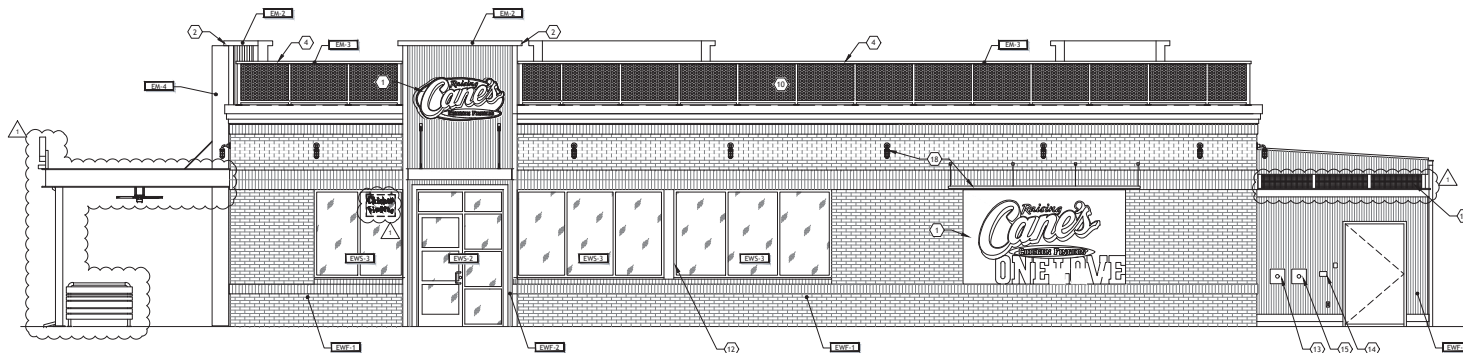


SCHEDULE OF EXTERIOR MATERIALS						
EM-1	STANDING SEAM ROOF	BERRIDGE	REFER TO SPEC	KYNAR 300 MATTE BLACK	GALVANIZED STEEL SHEET W/ KYNAR FINISH STANDARD COLOR	GC
EM-2	METAL CAP FLASHING	REFER TO SPEC	REFER TO SPEC	KYNAR 300 MATTE BLACK	GALVANIZED STEEL SHEET W/ KYNAR FINISH STANDARD COLOR	GC
EM-3	POWDER COATED MCHNCHOLS PERFORATED METAL PANEL	BY OWNER		KYNAR 300 MATTE BLACK		
EM-4	METAL ACCENT PANELS	BY OWNER		DISTRESSED/SALVAGED RED	METAL PANELS TO BE APPLIED OVER METAL PANEL WALL EMF-1	OWNER
EMF-1	EXISTING BRICK					
EMF-2	METAL PANEL WALL	BERRIDGE	REFER TO SPEC	CLEAR ACRYLIC COATED GALVALUME	GALVANIZED STEEL SHEET W/ KYNAR FINISH STANDARD COLOR, INSTALL VERTICALLY	GC
EW-1	DRIVE THRU WINDOW	REFER TO WINDOW SCHED.	REFER TO WINDOW SCHED.	REFER TO WINDOW SCHED.		GC
EW-2	ALUMINUM STOREFRONT	REFER TO WINDOW SCHED.	REFER TO WINDOW SCHED.	REFER TO WINDOW SCHED.		
EW-3	EXISTING ALUMINUM STOREFRONT					



FRONT ELEVATION (EAST)

1/4\" = 1'-0\" 1



SIDE ELEVATION (NORTH)

1/4\" = 1'-0\" 2

## SHEET NOTES

- REFER TO SHEET 00.01 FOR GENERAL NOTES.
- REFER TO SHEET A6.30 FOR FINISH SCHEDULES.
- SIGNAGE TO BE APPROVED UNDER SEPARATE FILING (DEFERRED SUBMITTAL).
- CANOPES AND AWNINGS ARE REQUESTED AS DEFERRED SUBMITTALS AS INDICATED ON SHEET PCS-G.C. TO PERMIT CANOPES AND AWNINGS USING MANUFACTURER SPECIFICATIONS AND SHOP DRAWINGS.
- CONFIRM OUTDOOR SPEAKERS, CAMERAS AND W/FI LOCATIONS WITH I.T.
- VERIFY LOGO SIGNS, PAINTED MURAL, ARTWORK W/ SIGNAGE VENDOR.

## SEALANT NOTES

- PROVIDE SEALANT & BACKER RODS AT ALL DISSIMILAR MATERIALS.
- MATCH FRAME COLOR AT ALL DOORS AND WINDOWS. MATCH ADJACENT WALL MATERIAL COLOR AT WALL PENETRATIONS AND CONSTRUCTION JOINTS; AT JOINT BETWEEN TWO DIFFERENT WALL MATERIALS, MATCH DARKER MATERIAL.

## KEYED NOTES

- SIGN, BY OWNER. PROVIDE BLOCKING AS REQUIRED.
- LED COVE LIGHTING BY OTHERS
- WALL ART BY OWNER
- MESH PARAPET ASSEMBLY BY OWNER
- METAL PANELS BY OWNER
- METAL COUNTER FLASHING AT SLOPED ROOF
- CANOPY, RE-BCP
- METAL, GUTTER & DOWNSPOUT, FINISH AS NOTED, RE: CIVIL FOR CONTINUATION.
- ELECTRICAL EQUIPMENT, PAINT TO MATCH ADJACENT CLADDING MATERIAL
- ROOFTOP EQUIPMENT BEHIND SCREEN, REFER TO ROOF PLAN.
- GAS METER - PAINTED TO MATCH ADJACENT CLADDING MATERIAL
- BRAKE METAL BETWEEN WINDOWS PRE-FINISHED TO MATCH STOREFRONT
- DARPRO OUTLET AND SECURITY BOX
- ORA 4-DIGIT KEY STORAGE BOX
- CO2 PORT
- KNOX BOX - COORDINATE LOCATION WITH FIRE MARSHAL
- 1\" x 1\" 14 ga BLACK WIRE MESH INFILL
- NEW EXTERIOR LIGHT FIXTURE, TYP.
- TIE ROOF DRAIN LEADERS INTO UNDERGROUND STORM DRAINAGE SYSTEM.



**SHREMSHOCK**  
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614-544-4555 | 1-800-445-5322 | shremshock.com  
Garrett S. Shremshock, Architect  
Timothy Shremshock, Architect

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SEAL:



CONSULTANT:



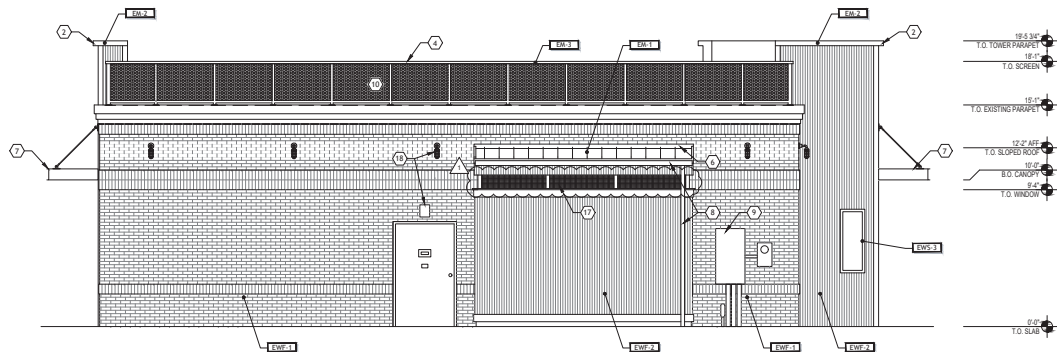
**RAISING CANES**  
RESTAURANT NO.: C1317  
26245 NOVI ROAD  
NOVI, MI 48375

REV	DATE	DESCRIPTION
03.12.21		PRE APPLICATION SUBMITTAL
05.15.23		PRELIMINARY / FINAL SITE PLAN
1	07.15.23	FINAL SITE PLAN SUBMITTAL

DRAWN BY: CWW  
CHECKED BY: XX  
ARCH. PROJECT NO.: 240386  
SHEET NAME:

EXTERIOR ELEVATIONS

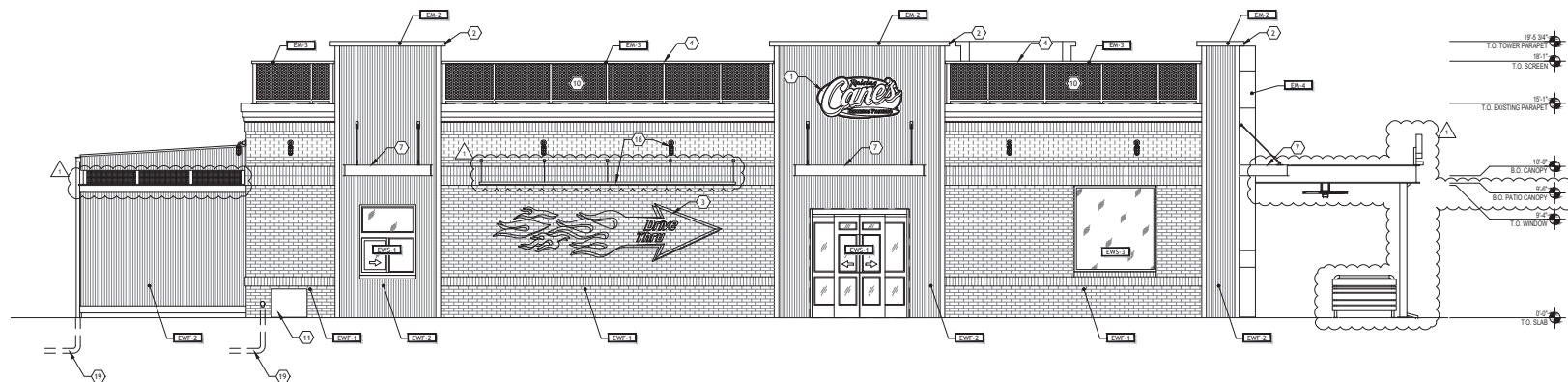
SHEET NUMBER: **A2.10**



REAR ELEVATION (WEST)

1/4" = 1'-0"

1



DRIVE-THRU ELEVATION (SOUTH)

1/4" = 1'-0"

2

## SHEET NOTES

- REFER TO SHEET 00.01 FOR GENERAL NOTES.
- REFER TO SHEET A6.30 FOR FINISH SCHEDULES.
- SIGNAGE TO BE APPROVED UNDER SEPARATE FILING (DEFERRED SUBMITTAL).
- CANOPIES AND AWNINGS ARE REQUESTED AS DEFERRED SUBMITTALS AS INDICATED ON SHEET PCS-G.C. TO PERMIT CANOPIES AND AWNINGS USING MANUFACTURER SPECIFICATIONS AND SHOP DRAWINGS.
- CONFIRM OUTDOOR SPEAKERS, CAMERAS AND W/F LOCATIONS WITH I.T.
- VERIFY LOGO SIGNS, PAINTED MURAL, ARTWORK W/ SIGNAGE VENDOR.

## SEALANT NOTES

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- SIGN, BY OWNER. PROVIDE BLOCKING AS REQUIRED.
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Daniel S. Shremshock, Architect  
Timothy J. Shremshock, Architect

SEAL:



CONSULTANT:



**RAISING CANE'S**  
RESTAURANT NO.: C1317  
26245 NOVI ROAD  
NOVI, MI 48375

REV	DATE	DESCRIPTION
01	10.25.21	PRE APPLICATION SUBMITTAL
02	10.25.21	PRELIMINARY / FINAL SITE PLAN
03	10.25.21	FINAL SITE PLAN (SUBMITTAL)

DRAWN BY: CWW  
CHECKED BY: XX  
ARCH. PROJECT NO.: 240386  
SHEET NAME:

EXTERIOR ELEVATIONS

SHEET NUMBER: **A2.11**



Raising Cane's Novi  
26245 Novi Road, Novi, MI 48375

### **Project Narrative**

The proposed development at 26245 Novi Road is for a Raising Cane's quick-serve restaurant. The site is currently host to an existing Wendy's restaurant with a single drive-thru lane, bypass lane, on-site parking, and a patio on the east side of the building for outdoor dining. The existing building is approximately 3,795 square feet and will be converted to accommodate Raising Cane's operations. The building improvements will result in a gross 3,835 square foot building which includes a 160 square foot non-conditioned covered corral with architectural metal panels at the rear of the building that will serve as a staging area for deliveries and trash removal. The proposed floor plan changes include the removal of the existing drive-thru window bump outs to accommodate the widening of the drive-thru lane to assist in meeting an acceptable bypass lane width. The existing building "top of parapet" will remain largely unaltered at approximately 19'-5 3/4" above floor level. The existing copper colored metal roof equipment screening is to be removed and replaced with black perforated metal panels with frosted polycarbonate backing. The system shall be installed vertically to a height of 18'-1" +/- . New tower elements at the entrances and drive thru windows which extend to a height of approximately 19'-6" and having vertically oriented corrugated metal siding shall serve to add interest and break up the existing massing. In addition, a covered outdoor patio is proposed to further enhance the exterior of the façade and create a more welcoming pedestrian interactive experience. The proposed covered patio will be approximately 455 square feet and provide seating for about 20 guests. In the interior of the building there will be a dining area, service counter, kitchen, storage areas, wash area, a manager's office, restrooms and a walk-in cooler/ freezer. In addition, there is also a designated mechanical room that contains the water meter, backflow preventer water heaters and the interior roof access ladder.

The existing site layout will largely stay the same. General site improvements will be made to improve vehicle circulation, pedestrian safety, and aesthetics of the property. The drive-thru is designed to maximize stacking onsite and minimize site congestion. A landscape island and lane separators are proposed to improve separation between the drive-thru and bypass lane. Proposed pavement markings and signage will guide drive-thru customers through the site while keeping pedestrians and cyclists safe. Existing driveways along Crescent Boulevard and Novi Road are being held, to maintain safe channelization onto the site. To

improve the appearance and functionality of the site, curbs will be replaced and aprons resurfaced. All new site lighting including new poles and bases shall be provided using code compliant LED fixtures. The north driveway along Novi Road provides direct access to mobile-order pickup spots, ADA stalls, customer parking, the trash enclosure, and the drive-thru entrance. Deliveries will occur before restaurant hours. The delivery trucks will enter the site via the north driveway along Novi Road, unload in the drive aisle north of the building, and exit onto Crescent Blvd. Deliveries will not impact site circulation.

Raising Cane's is a quick serve restaurant that was founded in 1996 in Baton Rouge, LA by its founder, Todd Graves. The restaurant has ONE LOVE, which is quality chicken finger meals, as evident by the focused menu that includes: chicken fingers, fries, coleslaw, and Texas toast. The food is always cooked to order to ensure the best quality and flavor possible.

Raising Cane's is not a chain restaurant but is part of the community. The restaurant not only employs people from the area but gives back to the community in several ways by promoting education, feeding the hungry, pet welfare, local community involvement and more.

The building itself promotes visual aesthetics with variations in not only the architecture, but the building materials themselves. All of this with the variations in the heights of the building, along with the ample landscaping around the site provides an aesthetically pleasing structure that accents the development unlike the fast food 'box' style of many businesses.

Raising Cane's will have approximately 55 employees at this location, with an average of 13 employees per shift. The restaurant will be open Sun - Thu: 9:30am - 2:00am; Fri - Sat: 9:30am – 3:30am. The drive-thru and outdoor patio will have the same hours of operation.

There is an anticipated construction start date of April 2026. The project will have an approximate 225-day construction schedule with an anticipated opening date of December 2026.

**DRIVE-THRU QUEUING PLAN**



Raising Cane's Novi  
26245 Novi Road, Novi, MI 48375

City of Novi  
Community Development Department  
Planning Division  
45175 Ten Mile Road  
Novi, MI 48375

**RE:   Grand Opening Queuing Plan  
      C1317 Raising Cane's  
      26245 Novi Road  
      Novi, MI 48375**

To whom it may concern,

Thank you for your inquiry regarding the details of our Drive-Thru Queuing Plan for the upcoming Raising Cane's restaurant in Novi, MI. We are pleased to provide the requested additional information and clarify the specifics of our Drive-Thru Queuing Plan, which depicts the grand opening peak operational strategy.

Our Drive-Thru Queuing Plan encompasses three distinct phases:

**Phase 1: Standard Peak (Within Designated Drive-Thru Area)**

This phase represents the routine peak times where vehicles will queue within the designated drive-thru area, with cars displayed in blue on the plan. During Phase 1, our standard drive-thru operations will accommodate the expected volume within this confined space efficiently. During peak hours and when volumes increase such that there are consistently 2 cars waiting to order, crew members will engage in taking orders via handheld tablets.

**Phase 2: Grand Opening Peak (Additional Capacity in the Bypass Lane)**

Given the heightened activity anticipated during our grand opening, Phase 2 incorporates additional capacity in the bypass lane, with cars displayed in green on the plan. This arrangement ensures that orders in the bypass lane during Phase 2 will be handled exclusively by crew members using handheld tablets and running out orders. Please note that the bypass lane is not intended to permanently serve as a second drive-thru lane; its usage is forecasted solely for the grand opening peak. During Phase 2, traffic guards will be posted at each driveway access point and the drive-thru entrance, strategically positioned throughout the lot to manage traffic as necessary. The two parallel parking spaces at the southeast corner of the site will be coned off, to accommodate Phase 2.

### **Phase 3: Grand Opening Peak (Additional Capacity in the Drive Aisle)**

In Phase 3, additional capacity is provided along the northern drive aisles of the site, with vehicles represented in red on the plan. Two separate queues are depicted which included cars entering the site from Crescent Blvd. and Novi Rd. The traffic guard positioned at the entrance of the drive-thru will direct cars to either the drive-thru lane or bypass lane, ensuring an even volume of cars in both lanes.

All three phases are anticipated to be necessary during the first two weeks of business. In the third week, we anticipate utilizing Phases 1 and 2 solely, and by the fourth week, the operations are expected to align with Phase 1 as initially designed.

Furthermore, our Raising Cane's Operations Team will collaborate with our Crew Safety Team and a third-party vendor to ensure comprehensive coverage for the Drive-Thru Queuing Plan's successful implementation. The Operations Team is prepared to meet with the Police Department to confirm the details of this plan collaboratively. Once confirmed, we will proceed with sourcing and coverage accordingly. Following the restaurant's opening, adjustments to the number of officers or traffic guards will be made based on business volumes to maintain safety for the community, customers, and crew. Traffic guards typically comprise a mix of police officers and third-party security personnel, contingent upon necessity and departmental involvement. They will persist for as long as they are required, which typically includes the first weekend or first week or two. In rare cases, the traffic guards are posted up to 4 weeks. The traffic guards will communicate with each other via walkie-talkies. Traffic guard hours will vary depending on site demand and coordination with the City of Novi.

Kimley-Horn's Parking + Traffic Data Collection Memo, dated July 26, 2024, analyzed the drive-thru queuing at Raising Cane's sites in Algonquin, IL and Joliet, IL. The study recorded a maximum queue of 13 vehicles in the drive-thru. The current proposed drive-thru can accommodate up to 12 cars in Phase 1 based on Raising Cane's 22' spacing standard, a more conservative measure than the City of Novi's 19' requirement. Under the City's standards, our drive-thru can indeed accommodate the 13-vehicle maximum queue observed.

We are committed to ensuring a smooth and safe operation for our upcoming restaurant and value the collaboration with the City of Novi and its pertinent departments. The current Drive-Thru Queuing Plan reflects a typical strategy for the grand opening peak. When the grand opening peak occurs, Raising Cane's will work with the City of Novi and local law enforcement to revise the plan as needed and prevent traffic from impacting the local area. The City of Novi will have the following contact to collaborate with during the restaurant's opening:

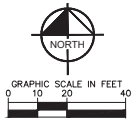
Jennifer Szewc

[JSzewc@raisingcanes.com](mailto:JSzewc@raisingcanes.com)

(248) 521-9904

Should there be any further questions or need for additional information, please do not hesitate to reach out.

K:\CHS\_LDEV\168418060\_Raising Cane's\_Nov\_MI\_V2\_Design\CAD\Exhibits\DT\_Queueing Exhibit.dwg Layout1 Jul 09, 2025 3:37pm by Paige.Tompsett



## LEGEND

- 12 CARS (PHASE 1 - STANDARD PEAK WITHIN DESIGNATED DRIVE-THRU AREA)
- 15 CARS (PHASE 2- GRAND OPENING PEAK ADDITIONAL CAPACITY IN BYPASS LANE)
- 17 CARS (PHASE 3 - GRAND OPENING PEAK ADDITIONAL CAPACITY IN DRIVE AISLES)

ESTIMATED TOTAL CARS = 44 CARS  
CITY STACKING REQUIREMENT = 8 CARS

NOTE: ALL DRIVE-THRU AND DRIVE AISLE STACKING BASED ON 22' SPACING.

CITY STACKING REQUIREMENTS ARE BASED ON 19' SPACING, BUT 22' SPACING WAS USED HERE PER RAISING CANE'S OPERATIONAL STANDARDS.

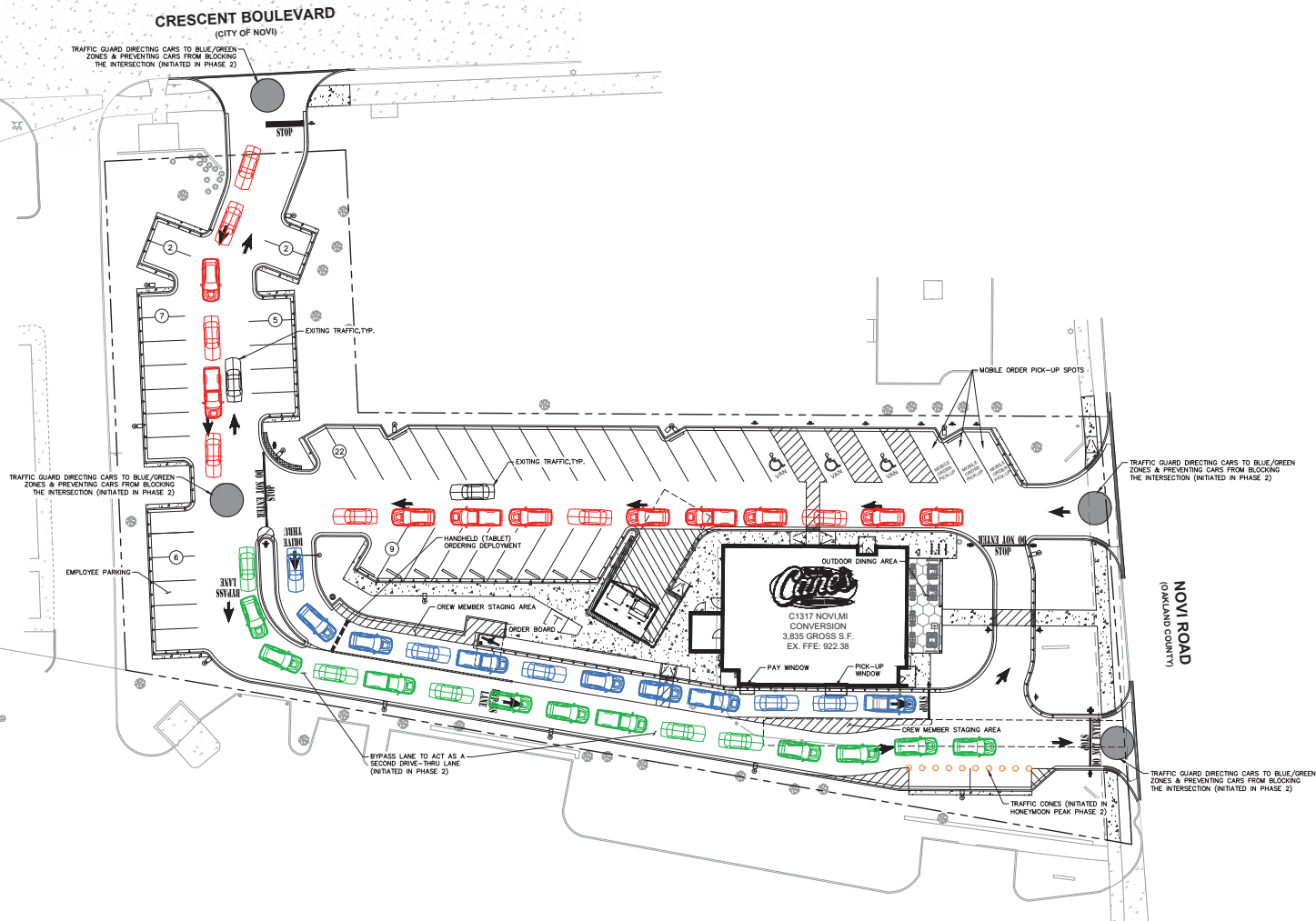
### ANTICIPATED DRIVE-THRU QUEUING PLAN SCHEDULE AND PHASING

RESTAURANT OPENING

WEEKS 1-2: PHASES 1, 2, & 3

WEEK 3: PHASES 1 & 2

WEEK 4: DRIVE-THRU OPERATIONS REGULATE TO NORMAL CONDITIONS (PHASE 1)



**Kimley»Horn**  
of Michigan, Inc.

3000 TOWN CENTER, SUITE 2600 - SOUTHFIELD, MICHIGAN 48075  
PHONE: (630) 487-5550 | www.kimley-horn.com

TITLE:

DRIVE- THRU PHASED  
QUEUING PLAN

PROJECT:

RAISING CANE'S C1317

LOCATION:

26245 NOVI ROAD,  
NOVI, MI 48375

JOB NUMBER: 168418060

SCALE: AS NOTED

DATE: 07/15/25

SHEET: 1 OF 1

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## RENDERING PACKAGE



FRONT RENDERING - NORTH



FRONT RENDERING - SOUTH



SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION

**PLANNING REVIEW**



# PLAN REVIEW CENTER REPORT

## Planning Review

Raising Cane's  
JSP25-14  
August 8, 2025

### PETITIONER:

Raising Cane's Restaurants, L.L.C

### REVIEW TYPE:

Revised Preliminary-Final Site Plan and Special Land Use Request

### PROPERTY CHARACTERISTICS

Section	15	
Site Location	26245 Novi Road 50-22-15-476-049	
Site School District	Novi Community School District	
Site Zoning	TC: Town Center District	
Adjoining Zoning	North	TC: Town Center District
	East	TC: Town Center District
	West	TC: Town Center District
	South	TC: Town Center District
Current Site Use	Restaurant	
Adjoining Uses	North	T-Mobile
	East	Aspen Dental
	West	Office Building
	South	Dentist Office
Site Size	1.28 Acres	
Plan Date	7/15/2025	

### PROJECT SUMMARY

The applicant is proposing to convert a former Wendy's drive-through restaurant to a Raising Cane's drive-through quick-serve restaurant. The existing building is approximately 3,795 square feet and minor modifications are proposed that will result in a gross 3,835 square foot building. Additional modifications include landscaping upgrades, a covered outdoor patio with seating, and changes to the exterior façade which will require a Section 9 Façade Waiver. General site improvements are also proposed to improve vehicle circulation, pedestrian safety, and overall aesthetics of the property.

### RECOMMENDATION

**Planning recommends approval of the Preliminary Site Plan and Special Land Use, subject to approval by the Planning Commission and Zoning Board of Appeals, with items to be addressed on a revised Final Site Plan.** Landscape is also recommending approval of the Preliminary Site Plan, with items to be addressed on a revised Final Site Plan. Traffic, Façade, and Fire are recommending approval of the revised Preliminary-Final Site Plan. Engineering recommended approval of the Combined Preliminary-Final Site Plan, with items to be addressed in the Electronic Stamping Set submittal.

### ORDINANCE REQUIREMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. Please address the items in **bold** below for the next submittal.

Planning Chart: Please refer to the attached Planning Chart for additional comments to address in the next submittal.

1. Queuing Plan for Grand Opening Peak: City staff and the applicant worked together to find a plan to address possible traffic congestion around the time that the restaurant opens for business. Use of the bypass lane as a drive-through lane during the grand opening peak is proposed. Additional details regarding the proposed Drive-Thru Phased Queuing Plan (Phase 1, Phase 2, Phase 3) were provided, as requested, including a proposed timeline of 2-4 weeks for grand opening peak before resuming normal business operations. The applicant has committed to the following: *Our Raising Cane's Operations Team will collaborate with our Crew Safety Team and a third-party vendor to ensure comprehensive coverage for the Drive-Thru Queuing Plan's successful implementation. The Operations Team is prepared to meet with the Police Department to confirm the details of this plan collaboratively. Phasing plan supported by staff, the Fire Marshal, and the City's traffic consultants.*
2. Architecture/Pedestrian Orientation (Sec. 3.27.1D): The Site Analysis Table on Sheet C5.0 indicates 12 outdoor patio seats are proposed, but the Project Narrative and Framing Plan (Sheet A1.20) proposes it containing 20 outdoor seats. – **Please update Site Analysis Table to include correct number of seats and outdoor patio square footage, and dimension the outdoor patio on both plans on next submittal.**
3. Façade materials (Sec. 3.27.1.G): A Section 9 Façade Waiver is required for the "1" logo proposed on the side of the building. The waiver will require Planning Commission approval and is supported by the City's façade consultant – acknowledged by applicant. **Please include a sample board of proposed façade materials at minimum one week prior to the Planning Commission meeting.**
4. Loading Spaces (Sec. 5.4.2): Loading, unloading space in the rear yard is required in the TC District At a ratio of 10 square feet for each front foot of building. There is approximately 40' of frontage on the existing building which requires a minimum loading/unloading zone of 400 square feet. The applicant has indicated that all deliveries will be made outside of operating hours, and that previously proposed 1,200 square foot loading/unloading space has been removed to allow for the site to meet the requirements for yard setbacks. **Zoning Board of Appeals approval will be required for the absence of a loading zone in the TC District** – acknowledged by applicant.
5. Lighting Plan (Sec. 5.7.2.A.ii): A partial lighting plan was provided, but a full plan is required at the time of Final Site Plan review. The site plan previously proposed relocating at least one light pole but now proposes replacing all 15 light poles and bases using code compliant LED fixtures per updated Project Narrative. However, the lighting plan provided is missing significant details. Additionally, the Hours of Operation provided in the Project Narrative and Framing Plan (Sheet A1.20) show conflicting hours of operations.
  - a. **Please provide a full 24"x36" photometric plan with cut sheet of lighting fixture specifications on a revised Final Site Plan submittal.**
  - b. **Please include light pole base specifications on the Construction Details sheet on a revised Final Site Plan submittal.**
  - c. **Please clarify the actual hours of operation being proposed in a response letter prior to Planning Commission meeting.**
6. Landscape Review: There are four landscape waivers required for the proposed plan that will need Planning Commission approval – all landscape waivers are supported by staff.
7. Planning Review Chart: The Planning Review Chart provides additional comments and requests clarification for certain items. Please address these items in addition to the comments provided in this letter.

## SPECIAL LAND USE CONSIDERATIONS

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Section 6.1.2.C of the Zoning Ordinance outlines specific factors the Planning Commission shall consider in the review and recommendation to City Council of the Special Land Use Permit request:

- i. Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service.
- ii. Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area.
- iii. Whether, relative to other feasible uses of the site, the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats.
- iv. Whether, relative to other feasible uses of the site, the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood.
- v. Whether, relative to other feasible uses of the site, the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.
- vi. Whether, relative to other feasible uses of the site, the proposed use will promote the use of land in a socially and economically desirable manner.
- vii. Whether, relative to other feasible uses of the site, the proposed use is
  - a. Listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and
  - b. Is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

## OTHER REVIEWS

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- Engineering Review: Engineering recommended approval of the Combined Preliminary-Final Site Plan, with items to be addressed at Electronic Stamping Set.
- Landscape Review: Landscape is recommending approval of the Preliminary Site Plan, with items to be addressed on the revised Final Site Plan. Please see the Landscape Review for additional information.
- Traffic Review: Traffic is recommending approval of the revised Preliminary-Final Site Plan. Please see Traffic Review for additional information.
- Facade Review: Façade is recommending approval of the revised Preliminary-Final Site Plan. Please see the Facade Review for additional information.
- Fire Review: Fire is recommending approval of the revised Preliminary-Final Site Plan. Please see Fire Review for additional information.

## NEXT STEP: PLANNING COMMISSION MEETING

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Planning Commission will be required for the Special Land Use consideration and a Section 9 Façade Waiver. Several Landscape waivers are also required for the proposed project. **Please provide a response letter and façade material board at minimum one week prior to scheduled Planning Commission meeting.**

## FUTURE STEP: ZONING BOARD OF APPEALS

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Zoning Board of Appeals approval will be required for the deviation to the required off-street loading/unloading zone.

## FUTURE STEP: REVISED FINAL SITE PLAN

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With not all reviewers recommending approval of the Final Site Plan, the applicant is asked to address the items identified in the Planning and Landscape reviews. Please submit to the Community Development Department for revised Final Site Plan review the following:

1. [Site Plan Revision Submittal Form](#)

2. **2 sets of plans addressing the items noted in the Planning and Landscape reviews (size 24" x 36", folded).**
3. Electronic copy of the plan set, either on a thumb drive or via file sharing download.
4. **Response letter** addressing all comments in the Planning and Landscape review letters AND charts. **Refer to sheet numbers where the change is reflected.**

#### **FUTURE STEP: ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER**

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After receiving Final Site Plan approval, plans addressing the comments in all the staff and consultant review letters should be submitted electronically for informal review and approval prior to printing Stamping Sets. A letter from either the applicant or the applicant's representative addressing comments in this and other review letters and associated charts is to be submitted with the electronic stamping set. This letter should address all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

*If required, drafts for all legal documents with a legal transmittal are to be submitted along with stamping sets.*

#### **FUTURE STEP: STAMPING SET APPROVAL**

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Stamping sets will be required for this project. After having received approval of the electronic stamping from City staff, the applicant should make any appropriate changes needed on the plans and submit **9 size 24" x 36" copies, folded, with signature and seal** to the Community Development Department for final Stamping Set approval.

#### **PRE-CONSTRUCTION MEETING**

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A **Pre-Construction meeting will be required for this project.** Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled, so it is suggested you contact Sarah Marchioni (248-347-0430 or [smarchioni@cityofnovi.org](mailto:smarchioni@cityofnovi.org)) once the Final Site Plan has been approved to begin the Pre-Con checklist. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah.

#### **CHAPTER 26.5**

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Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If you have any questions concerning the above review or the process in general, please do not hesitate to contact me at (248) 735-5607 or [dcommer@cityofnovi.org](mailto:dcommer@cityofnovi.org).

Sincerely,

*Dan Commer*

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Dan Commer, AICP | Planner



## PLANNING REVIEW CHART: TC Town Center District

**Review Date:** August 8, 2025  
**Review Type:** Revised Preliminary–Final Site Plan  
**Project Name:** **JSP25-14 RAISING CANE'S** (26245 Novi Road)  
**Plan Date:** July 15, 2025  
**Prepared By:** Dan Commer, AICP | Planner  
**E-mail:** dcommer@cityofnovi.org; **Phone:** 248.735.5607

Items in **Bold** need to be addressed prior to the approval of the Preliminary–Final Site Plan.

Item	Required Code	Proposed	Meets Code	Comments
<b>Zoning and Use Requirements</b>				
<b>Master Plan</b> (Adopted July 26, 2017)	TC: Town Center District	Restaurant	Yes	Reuse of existing fast-food restaurant building (Wendy's)
<b>Zoning</b> (Effective Jan. 8, 2015)	TC: Town Center District	TC: Town Center District	Yes	
<b>Uses Permitted</b> (Sec 3.1.25.B & C)	B: Principal Uses Permitted C: Special Land Uses	Restaurant	Yes	Special Land Use consideration for modifications to a fast food drive-through restaurant requires Planning Commission approval
<b>Height, Bulk, Density, and Area Limitations</b>				
<b>Building Height</b> (Sec. 3.1.25.D)	65 ft or 5 stories, whichever is less	~ 20 ft	Yes	
<b>Open Space</b> (Sec 3.27.1.F)	A minimum of 15% of the gross site area shall be devoted to permanently landscaped open spaces and pedestrian areas.	13,388 sf (23.6%) Open Space proposed  (Parcel = 1.30 acres) 56,462 sf * 0.15 = 8,469 sf required	Yes	Open Space calculations have been added to the Site Analysis Table on Sheet C5.0
<b>Frontage on a Public Street</b> (Sec. 5.12)	Frontage on a public street is required	Frontage on Novi Road	Yes	
<b>Access to Major Thoroughfare</b> (Sec. 5.13)	Direct access to major thoroughfare required unless noted in Section 5.13	Access to Novi Road	Yes	
<b>Building Setbacks</b> (Sec 3.1.25.D / 3.27.1.C)				
<b>Front (east)</b>	Minimum 15 ft.	62.7'	Yes	Proposed covered patio is well outside of required building setback
<b>Side (north)</b>	Minimum 10 ft.	49'	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>Side (south)</b>	Minimum 10 ft.	33.1'	Yes	
<b>Rear (west)</b>	Minimum 10 ft.	211.4'	Yes	
<b>Parking Setback (Sec 3.1.25.D)</b>				
<b>Front (west)</b>	Minimum 20 ft.	No change	Yes	
<b>Front (north)</b>	Minimum 20 ft.	20' Front Parking setback is now proposed	Yes	The parking lot has been reconfigured to provide the 20' front setback. See Sheet C5.0
<b>Side (south)</b>	Minimum 20 ft.	No change	Yes	
<b>Front (east)</b>	Minimum 10 ft.	No change	Yes	
<b>Notes To District Standards (Sec 3.6.2)</b>				
<b>Exterior Side Yard Abutting a Street (Sec 3.6.2.C)</b>	All exterior side yards abutting a street shall have a setback equal to the front yard setback requirement of the district in which located.	No change	Yes	
<b>Minimum Lot Area (Sec. 3.6.2.D)</b>	Minimum lot area and width, and maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space requirements.	No change	Yes	
<b>Off-Street Parking in Front Yard (Sec 3.6.2.E)</b>	Off-street parking shall be permitted in the front yard, except that said parking shall observe the minimum off-street parking setback requirements in Section 3.1, Section 5.5.3, and with respect to TC district, Section 3.27.1.D	20' Front Parking setback is now proposed	Yes	The parking lot has been reconfigured to provide the 20' front setback. See Sheet C5.0
<b>Wetland/ Watercourse Setback (Sec 3.6.2.M)</b>	Refer to Sec 3.6.2 for more details.	No wetlands on site	N/A	
<b>Parking Setback Screening (Sec 3.6.2.P)</b>	Required parking setback area shall be landscaped per sec 5.5.3.	20' Front Parking setback is now proposed	Yes	The parking lot has been reconfigured to provide the 20' front setback without removing existing tree(s) and landscaping

Item	Required Code	Proposed	Meets Code	Comments
<b>Modification of Setback Requirements</b> (Sec 3.6.2.Q)	The Planning Commission may modify setback requirements in those instances where it determines that such modification may result in improved use of the site and/ or in improved landscaping; provided, however, that such modification of the setback requirements does not reduce the total area of setback on a site below the minimum setback area requirements of this Section.		N/A	The parking lot has been reconfigured to provide the required parking setbacks
<b>TC District Required Conditions (Sec 3.27)</b>				
<b>Site Plans</b> (Sec. 3.2.1.A)	Site area under 5 acres: Requires Planning Commission approval. Site area over 5 acres: Requires City Council approval upon Planning Commission recommendation	± 1.28 acres 3,795 sf existing building  Proposed 170 sf addition to rear of the building will result in total of 3,835 sf		Will require Special Land Use approval from Planning Commission due to proposed modifications.  Existing building and parking lot to remain, but be modified, including partial building demolition
<b>Surface Parking Lot Screening</b> (Sec 3.27.1.D)	Surface parking lots shall be screened from all public rights-of-way and internal roads by either a 2.5 ft. brick wall, semi-transparent screening, or landscaped berm.	Existing brick walls are proposed to remain at the Novi Road and Crescent Boulevard entries  Landscape plan proposes improvement to natural screening	Yes	
<b>Architecture/ Pedestrian Orientation</b> (3.27.1.E)	Proposed uses, through innovative architecture, shall create a significant pedestrian orientation in keeping with the intent and purpose of the district. Architectural amenities shall include pedestrian walkways, brick or other approved decorative paving to achieve the same effect	An ~455 square foot covered outdoor patio will be improved to include 20 outdoor seats, decorative paving, landscaping, and one 1 trash receptacle	Yes	Site Item & Paving Legend on Sheet C5.0 denotes square footage of each pavement section, and the number of outdoor seats has been added to the Site Analysis Table.  <b>The Site Analysis Table on Sheet C5.0 indicates 12 outdoor seats are proposed, but the provided</b>

Item	Required Code	Proposed	Meets Code	Comments
	of safe, tidy and well-landscaped plaza, coordinated pedestrian scale lighting, benches, trash receptacles, small-scale landscape treatments, and major architectural features at entranceways and focal points of the development (e.g., arch, gateway, bell tower, fountain).			<b>Project Narrative and Framing Plan (Sheet A1.20) proposes it being 20 seats. – Please update Site Analysis Table to include correct number of seats and outdoor patio square footage, and dimension the outdoor patio on both plans on next submittal</b>
<b>Façade materials</b> (Sec. 3.27.1.G)	All sides of the building and accessory buildings must have the same façade materials. Façade materials may deviate from brick or stone with PC approval.	<ul style="list-style-type: none"> <li>- Existing brick on all sides to remain</li> <li>- New metal siding tower elements at the entrances and drive thru windows proposed</li> <li>- "1" logo proposed on the side of the building</li> <li>- Existing copper colored metal roof equipment screening is to be removed and replaced with black perforated metal panels</li> </ul>	<b>TBD</b>	<p>A Section 9 Façade Waiver is required for the "1" logo proposed on the side of the building and is supported by the City's façade consultant – <i>acknowledged by applicant</i></p> <p><b>Planning Commission approval is required for Section 9 Façade Waiver – acknowledged by applicant</b></p>
<b>Parking, Loading, Signs, Landscaping, Lighting, Etc.</b> (Sec. 3.27.1 H)	All sites must comply with Article 5, Site Standards, regarding off-street parking requirements, off-street parking standards, off-street loading/unloading, signs, landscaping, exterior lighting, and obscuring screens as related to uses permitted in the TC district.	Deliveries will all be made prior to restaurant operating hours	<b>TBD</b>	<p>The previously proposed 1,200 sf loading/unloading space has been removed to allow for the site to meet the requirements for yard setbacks.</p> <p><b>Deviation requires Zoning Board of Appeals approval – acknowledged by applicant</b></p> <p><i>Applicant does not believe this deviation will impact site circulation – deviation supported by staff</i></p>
<b>Sidewalks Required</b> (Sec. 3.27.1.I)	Required at all developments which abut any street or an internal service road.	Internal 6' sidewalk proposed connecting site to Novi Rd	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>Bicycle Paths</b> (Sec. 3.27.1.J)	Bicycle paths shall be designed throughout the TC area to link up with other adjacent residential and nonresidential areas. Proposed bicycle parking shall comply with standards set forth in Section 5.16 Bicycle Parking Facility Requirements.	Bicycle parking proposed and integrated into internal sidewalk connections	Yes	
<b>Development Amenities</b> (Sec. 3.27.1.L)	All sites shall provide development amenities in the form of exterior lighting, paved activity nodes, street/sidewalk furniture, safety paths, screening walls and planters in accordance with the Town Center Area Study, which is a part of the Ordinance.	Outdoor improvements include enhanced landscaping, festival lighting, and decorative paving	Yes	
<b>Restaurant in the Character of a Fast Food Carryout, Drive-In, Fast Food Drive-Through, or Fast Food Sit Down</b> (Sec. 4.40.)				
<b>Restaurants in the Character of a Fast Food Carryout, Drive-In, Fast Food Drive Through, or Fast-Food Sit Down</b> (Sec. 4.40)	A minimum one-thousand one-hundred (1,100) square foot area with indoor seating for at least 20 people shall be provided.	Preliminary Floor Plan sheet proposes a 1,286 sf indoor dining room with 56 seats	Yes	
<b>Noise Impact Statement</b> (Sec. 4.40.1)	A noise impact statement is required subject to the standards of Sec. 5.14.10.B.	A noise impact study and statement are provided by the applicant	Yes	The noise from the project would comply with the Novi Municipal Code noise standards and would be similar to the previous operations at the site
<b>Outdoor Seating</b> (Sec 4.40.3.B)	An outdoor seating area comprising at least eight seats and in compliance with the provisions of Section 4.84 of the Zoning Ordinance shall be provided	20 outdoor seats are proposed on Framing Plan (Sheet A1.20)  The outdoor seating area is proposed to be covered. See architectural renderings.	Yes	<b>Please update Site Analysis Table on sheet C5.0 to show correct number of outdoor seats</b>
<b>Drive-through Lanes</b> (Sec. 5.3.11)				
<b>Drive-through Lanes Separation</b> (Sec.	Drive-through lanes shall be separate from the	A paved island and lane separators are	Yes	A mountable curb is now proposed to allow 50 feet

Item	Required Code	Proposed	Meets Code	Comments
5.3.11.A.)	circulation routes & lanes necessary for ingress to & egress from the property	proposed to improve separation between the drive-thru and bypass lane  Use of the bypass lane as a drive-through lane during the grand opening peak is proposed		outside turning radius as required by Fire Marshal.  Use of the bypass lane as a drive-through lane during the grand opening peak have been approved by the Fire Marshal and Traffic consultant
<b>Drive-through setbacks</b> (Sec. 5.3.11.B)	Drive-through shall follow parking setback requirements and applicable parking lot landscaping requirements	Approximately 5 feet	Yes	Existing condition
<b>Bypass Lane for Drive-through</b> (Sec. 5.3.11.D)	Drive-through facilities shall provide 1 bypass lane, min. of 18 ft. in width, unless otherwise determined by the Fire Marshal	A partial 16ft by-pass lane is proposed	Yes	18' width is required but the Fire Marshal and engineering department have approved the 16' width
<b>Width &amp; Centerline Radius of Drive-through Lanes</b> (Sec. 5.3.11.E,F,H)	Drive-through lanes shall have a minimum 9 ft. width, centerline radius of 25 ft. and a minimum length of 19 ft.	11 ft drive-thru lane and 25 ft centerline radius proposed  Minimum 22' stacking space length proposed	Yes	
<b>Drive-Thru Stacking Spaces</b> (Sec. 5.3.11.I)	The distance between the order board and the pick-up window shall store four (4) vehicles, and four (4) vehicles shall be stored in advance of the menu board (not including the vehicles at the pick-up window and menu board).	4 stacking spaces proposed in advance of menu board, and 4 spaces between the order board and initial pick-up window.  12 total stacking spaces proposed for normal business operations.  Additional details regarding the proposed Drive-Thru Phased Queuing Plan (Phase 1, Phase 2, Phase 3 provided, as requested.	Yes	Phasing plan supported by staff. See Planning, Traffic, and Fire comments

Item	Required Code	Proposed	Meets Code	Comments
<b>Drive-through Lane Delineated</b> (Sec. 5.3.11.G)	Drive-through lanes shall be striped, marked, or otherwise delineated	A mountable paved island, lane separators, pavement markings, and signage are proposed	Yes	
<b>Parking, Loading, and Dumpster Requirements</b>				
<b>Off-Street Parking Requirements</b> (Sec. 5.2)	One for every two employees, plus one for every two customers allowed under maximum capacity (including waiting areas) plus compliance with the requirements for stacking spaces outlined in Section 5.3.11	13 employees per shift + 97 occupants / 2 = 55 spaces required  55 spaces provided	Yes	
<b>Parking Space Dimensions and Maneuvering Lanes</b> (Sec. 5.3.2)	70° Parking: - 9' x 18' parking spaces - 24' two-way drives - 18' one-way drives	- 9' x 18' spaces - 20' drive aisle to site from Novi Rd - 24' two-way drive aisle to site from Crescent Blvd - 18' one way drive through site from Novi Rd - Detail of wheel stop provided on Sheet C5.1	Yes	
<b>Posted Fire Lanes</b> (D.C.S Sec. 158-99(a))	The minimum width of a posted fire lane is 20'. The minimum height of a posted fire lane is 14'.		Yes	
<b>Parking Stall Located Adjacent to a Parking Lot Entrance</b> (public or private) (Sec. 5.3.13)	Shall not be located closer than 25' from the street ROW line, street easement or sidewalk, whichever is closer	Complies	Yes	Dimensions have been added to Sheet C5.1
<b>End Islands</b> (Sec. 5.3.12)	- End islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - End islands shall generally be at least 10' wide, have an outside radius of 15' and be constructed	Not all end islands are 3' shorter than the adjacent parking stall	Yes	The end islands are acceptable since there are some weird angles where 3' shorter doesn't work, and islands internal to the parking bays do not need to be 3' shorter.

Item	Required Code	Proposed	Meets Code	Comments
	3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance.			
<b>Barrier Free Spaces</b> <i>Barrier Free Code (2012 Michigan Building Code)</i>	<ul style="list-style-type: none"> <li>- 3 Accessible Spaces required</li> <li>- 1 van accessible space required</li> </ul>	3 accessible parking spaces proposed, all three are van accessible	Yes	
<b>Barrier Free Space Dimensions</b> <i>Barrier Free Code (2012 Michigan Building Code)</i>	<ul style="list-style-type: none"> <li>- 8' wide with an 8' wide access aisle for van accessible spaces</li> <li>- 8' wide with a 5' wide access aisle for regular accessible spaces</li> </ul>	9' wide access aisles are proposed on the passenger sides of each angled parking space	Yes	
<b>Barrier Free Signs</b> <i>Barrier Free Code</i>	One sign for each accessible parking space.	3 ADA signs located on site plan and provided on legend	Yes	Sign table provided on Sheet C5.2 – Striping and Signage Plan
<b>Minimum number of Bicycle Parking</b> <i>(Sec. 5.16.1)</i>	Minimum 4 spaces	6 bicycle parking spaces proposed	Yes	
<b>Bicycle Parking General requirements</b> <i>(Sec. 5.16)</i>	<ul style="list-style-type: none"> <li>- No farther than 120 ft. from the entrance being served</li> <li>- When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations</li> <li>- Spaces to be paved and the bike rack shall be inverted "U" design</li> <li>- Shall be accessible via 6 ft. paved sidewalk</li> </ul>	3 inverted U design bike racks proposed at front entrance of the building near outdoor seating area	Yes	Sidewalk space does not allow for multiple bicycle parking locations to be considered
<b>Bicycle Parking Lot layout</b> <i>(Sec 5.16.6)</i>	Parking space width: 7 ft. One tier width: 11 ft. Two tier width: 18 ft. Maneuvering lane width: 4 ft. <ul style="list-style-type: none"> <li>- Parking space depth: 32 inches</li> </ul>	The bicycle parking has been revised per updated requirements  See Sheet C5.1 – Dimension Control Plan for revised dimensions	Yes	See <a href="#">text amendment 18.301</a> for updated bicycle parking facility layout requirements
<b>Loading Spaces</b> <i>(Sec. 5.4.2)</i>	<ul style="list-style-type: none"> <li>- Loading, unloading space shall be provided in the rear yard at a ratio of 10 sq. ft. for each front foot of building</li> <li>- Except in the case of a double frontage lot,</li> </ul>	None proposed  ~ 40' frontage of building = 400 sf (40 * 10) loading/unloading required in the TC District	<b>No</b>	The applicant indicated all deliveries will be made outside of operating hours  <b>Zoning Board of Appeals approval will be required for absence of loading</b>

Item	Required Code	Proposed	Meets Code	Comments
	loading-unloading, as well as trash receptacles may be located in an interior side yard beyond the minimum side yard setback requirement of the district; location subject to approval by the City.			<b>zone in TC District – acknowledged by applicant</b>
<b>Dumpster</b> (Sec 4.19.2.F)	<ul style="list-style-type: none"> <li>- Located in rear yard or interior side yard in case of double frontage</li> <li>- Attached to the building or no closer than 10 ft. from building if not attached</li> <li>- Not to be located in parking setback</li> <li>- If no setback, then not any closer than 10 ft. from property line.</li> <li>- As far away from barrier free spaces as possible</li> </ul>	<p>Dumpster proposed in new location</p> <p>The applicant indicate trash collection could anytime between 2am-7pm, but does not anticipate the trash truck to block traffic</p>	Yes	Owner plans on providing a trash compactor at this site to reduce the number of pick-ups needed
<b>Dumpster Enclosure</b> (Sec. 21-145. (c))	<ul style="list-style-type: none"> <li>- Screen from public view</li> <li>- Screening shall consist of a wall or fence 1 ft. higher than height of refuse bin, and no less than 5 ft. on three sides</li> <li>- Posts or bumpers provided within the enclosure to protect from damage of refuse bin</li> <li>- Inside dimensions shall permit adequate access as well as completely enclose bins</li> <li>- Screening materials: masonry, wood or evergreen shrubbery</li> </ul>	<p>Existing Trash enclosure to be removed, with new location shown on plan</p> <p>Proposed dumpster enclosure is just over 10' to adequately screen the dumpster and compactor</p>	Yes	Dumpster detail sheet showing dimensions and details provided
<b>Roof Top Equipment and Wall Mounted Utility Equipment</b> (Sec. 4.19.2.E.i)	<ul style="list-style-type: none"> <li>- All roof top equipment shall be screened from view.</li> <li>- All wall mounted utility equipment shall be enclosed and integrated into the design and color of the building, subject to safety and access</li> </ul>	<p>Appears to comply</p> <p>3' black perforated metal screening proposed to replace existing copper colored screening</p>	Yes	Preliminary roof plan shows roof mounting equipment and screening

Item	Required Code	Proposed	Meets Code	Comments
	requirements.			
<b>Roof Top Appurtenances Screening</b> (Sec. 4.19.2.E.ii)	- Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road, or adjacent property	The proposed parapet screen is of sufficient height to screen the roof top units. See exterior elevations and roof plan	Yes	
<b>Sidewalk Requirements</b>				
<b>Sidewalks</b> (Sec. 7.4.2 of the Engineering Design Manual)	Minimum 5' sidewalk required	Complies	Yes	Standard Plan R-28 for sidewalk ramps added to Sheet C8.6 – Construction Detail
<b>Pedestrian Connectivity</b>	- Whether the traffic circulation features within the site and parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets - Building exits must be connected to sidewalk system or parking lot.	New interior sidewalk system proposed creating improved connectivity, including marked crosswalk and sidewalk connecting the site to Novi Rd pathway	Yes	
<b>Building Code and Other Design Standard Requirements</b>				
<b>Design and Construction Standards Manual</b>	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Information provided	Yes	
<b>General Layout and Dimension of Proposed Physical Improvements</b>	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in sq. ft.), location of proposed parking and parking layout, streets, and drives, and indicate sq. ft. of pavement area (indicate public or private).	Most information provided	Yes	General layout and dimensions provided on Sheet C5.0 and Sheet C5.1 as requested
<b>Economic Impact</b>	- Total cost of the	Total cost of site	Yes	Cost estimate included as

Item	Required Code	Proposed	Meets Code	Comments
	proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied)	improvements is \$332,750  Anticipated number of construction jobs is 100 and anticipated number of jobs after the building is occupied is 60		an attachment to submittal package
<b>International Fire Code Section 510</b>	For new buildings and existing buildings, <b>MUST</b> comply with the International Fire Code Section 510 for Emergency Radio Coverage. This shall be completed by the time the final inspection of the fire alarm and fire suppression permits.	Shall comply		
<b>Other Permits and Approvals</b>				
<b>Development/ Business Sign</b>	Signage if proposed requires a permit.	Signage proposed on building  Monument sign reface proposed at Novi Rd entrance		A separate signage submittal will be coordinated with Deborah Martinez  For permit information contact Deborah Martinez at (248) 735-5671
<b>Development and Street Names</b>	Must be approved by the Project and Street Naming Committee	Project name and street names does not require approval	N/A	
<b>Lighting and Photometric Plan (Sec. 5.7)</b>				
<b>Intent (Sec. 5.7.1)</b>	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky			<u>Use the required standards below to complete for Revised Final Site Plan submittal</u>
<b>Lighting Plan (Sec. 5.7.2.A.i)</b>	A lighting plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures.	Partial lighting plan provided  Site plan previously proposed relocating at least one light pole, but now proposes replacing all 15 light poles and bases using	<b>No</b>	<b><u>Please provide a full 24"x 36" photometric plan with cut sheet of lighting fixture specifications on a Revised Final Site Plan submittal</u></b>  No construction details are provided for new light pole bases being proposed.

Item	Required Code	Proposed	Meets Code	Comments
		code compliant LED fixtures, per updated Project Narrative		<b><u>Please include light pole base details on Construction Details sheet on a Revised Final Site Plan submittal</u></b>
<b>Lighting Plan</b> (Sec.5.7.2A.ii)  Specifications for all proposed & existing lighting fixtures:	Photometric data	Provided		
	Fixture height	Not provided	<b>TBD</b>	
	Mounting & design	Not provided	<b>TBD</b>	
	Glare control devices (Also see Sec. 5.7.3.D)	Not provided	<b>TBD</b>	
	Type & color rendition of lamps	Not provided	<b>TBD</b>	
	Hours of operation	Sun thru Thurs 10am–12am; Friday & Saturday 10am–2am proposed on Framing Plan (Sheet A1.20);  Project narrative indicates: Sun thru Thurs 9:30am–2am; Friday & Saturday 9:30am–3:30am  Drive-thru and outdoor patio are proposed to have the same hours of operation	<b>TBD</b>	<b>Please clarify which hours of operation are being proposed in a response letter prior to Planning Commission meeting</b>
	Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties	Not provided	<b>TBD</b>	
<b>Building Lighting</b> (Sec. 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.	Exterior elevations and colored renderings show exterior lighting	<b>TBD</b>	Proposed LED cove lighting must be indirect (luminaires not visible) and non-color changing –acknowledged by applicant.  <b><u>Please note detail on updated photometric plan submittal</u></b>  See Façade Review for comments

Item	Required Code		Proposed	Meets Code	Comments
<b>Maximum Height</b> (Sec. 5.7.3.A)	Height not to exceed maximum height of zoning district (or 25 ft. where adjacent to residential districts or uses)		Not provided	TBD	
<b>Standard Notes</b> (Sec. 5.7.3.B-C)	<ul style="list-style-type: none"> <li>- Electrical service to light fixtures shall be placed underground</li> <li>- No flashing light permitted</li> </ul>		Shall comply	Yes	
<b>Indoor Lighting</b> (Sec. 5.7.3.H)	Indoor lighting shall not be the source of exterior glare or spillover		Shall comply	Yes	
<b>Security Lighting</b> (Sec. 5.7.3.I)  Lighting for security purposes shall be directed only onto the area to be secured.	<ul style="list-style-type: none"> <li>- All fixtures shall be located, shielded and aimed at the areas to be secured.</li> </ul> Fixtures mounted on the building and designed to illuminate the facade are preferred		Shall comply	Yes	
<b>Color Spectrum Management</b> (Sec. 5.7.3.F)	Non-Res and Multifamily: <ul style="list-style-type: none"> <li>- For all permanent lighting installations - minimum Color Rendering Index of 70 and Correlated Color Temperature of no greater than 3000 Kelvin</li> </ul>		80 CRI and 3000K CCT proposed	Yes	
<b>Parking Lot Lighting</b> (Sec. 5.7.3.J)	<ul style="list-style-type: none"> <li>- Provide the minimum illumination necessary to ensure adequate vision and comfort.</li> <li>- Full cut-off fixtures shall be used to prevent glare and spillover.</li> </ul>		Shall comply	TBD	
<b>Minimum Illumination Levels (foot-candles)</b> (Sec. 5.7.3.K)	Parking areas:	0.2 fc min	Min 1.1	Yes	
	Loading and unloading areas:	0.4 fc min	Appears to comply	TBD	No designated loading and unloading areas are proposed. Applicant seeking variance from ZBA.
	Walkways:	0.2 fc min	Min 1.5	Yes	
	Building entrances, frequent use:	1.0 fc min	Appears to comply	TBD	Foot candle readings at both entrances are obscured on the lighting plan provided

Item	Required Code		Proposed	Meets Code	Comments
	Building entrances, infrequent use:	0.2 fc min	Appears to comply	TBD	Foot candle readings at both entrances are obscured on the lighting plan provided
<b>Average Light Level</b> (Sec.5.7.3.L)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1		Parking/Drive-Thru Avg/Min = 2.7:1  Sidewalk Avg/Min = 2.9:1	TBD	Please recalculate and provide updated Avg/Min ratio measurements on an updated photometric plan that includes proposed overall height on the new light poles as that could impact Avg/Min ratios
<b>Maximum Illumination Adjacent to Non-Residential</b> (Sec. 5.7.3.K)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot-candle			N/A	

**NOTES:**

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4, and 5 of the Zoning Ordinance for further details
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

ENGINEERING REVIEW

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# PLAN REVIEW CENTER REPORT

06-10-2025

## Engineering Review

Raising Cane's  
JSP25-0014

### APPLICANT

Raising Cane's Restaurants LLC

### REVIEW TYPE

Combined Preliminary and Final Site Plan

### PROPERTY CHARACTERISTICS

- Site Location: North of Novi Road, south of Crescent Blvd
- Site Size: 1.28 acres
- Plan Date: 05-15-2025
- Design Engineer: Kimley Horn

### PROJECT SUMMARY

- The applicant will be constructing a minor addition to the existing building, making a total gross area of 3,835 square-foot commercial building and reconstructing the existing parking lot. Site accesses will be provided via Novi Road and Crescent Road.
- Water service would continue to serve the building with the existing 2-inch domestic lead.
- Sanitary sewer would continue to serve the building by the existing lead, along with a proposed monitoring manhole. Additionally, a new grease interceptor and two sanitary manholes are proposed for the site.
- No change proposed to the storm water collection system of the site.

### RECOMMENDATION

**Approval of the Combined Preliminary and Final Site Plan is recommended** at this time, the plan meets the general requirements of the design and construction standards as set forth in [Chapter 11 of the City of Novi Code of Ordinances](#), the Storm Water Management Ordinance and the [Engineering Design Manual](#) with the following items to be addressed at the time of Electronic Stamping Set submittal:

### COMMENTS

1. Dedication of the master-planned right-of-way is requested for this project. Label the additional right-of-way to be dedicated along Novi Road as "proposed" for the 60-foot half-width right-of-way along the Novi Road frontage.

2. Provide at least two reference benchmarks at intervals no greater than 1,200 feet. At least one referenced benchmark must be a City-established benchmark, refer to [City of Novi Survey Benchmarks Arch Map](#).
3. **Only at the time of the printed Stamping Set submittal**, provide the City's standard detail sheets for paving (2 sheets. The most updated details can be found on the City's website under [Engineering Standards and Construction Details](#).
4. The [Right-of-Way Permit](#) application has been submitted to the City of Novi. Additionally, the response letter indicates that The Oakland County right-of-way permit submittal is being made in tandem with the City submittal.
5. Provide a note that compacted sand backfill (MDOT sand Class II) shall be provided for all utilities within the influence of paved areas; illustrate and label on the profiles.
6. Provide a construction materials table on the utility plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
7. Provide a utility crossing table indicating that at least 18-inch vertical clearance will be provided, or that additional bedding measures will be utilized at points of conflict where adequate clearance cannot be maintained.
8. Provide a note stating if dewatering is anticipated or encountered during construction, then a dewatering plan must be submitted to the Engineering Division for review.
9. The grading and SESC sheets shall show the tree fence at least as far from the trunk as the critical root zone, defined as a circular area around a tree with a radius measured to the tree's longest dripline radius plus one (1) foot. No grading shall occur within the dripline. If the critical root zone is not fully protected, then replacements for that tree may be required.

#### **IRRIGATION**

10. Irrigation plans have been reviewed by the Water and Sewer Division. Please see attached irrigation plan review letter and the containment letter.

#### **STORM SEWER**

11. All storm pipes accepting surface drainage shall be 12-inch or larger. Currently, the proposed storm water pipe does not meet this standard. Please resize the proposed storm sewer pipe accordingly.
12. It appears that an adequate oil/gas separator has been already installed on the west side of the property. Currently, there is no need for an additional separator on the west side. However, an oil/gas separator is required in the north catch basin which is discharging stormwater off-site.
13. At this time, no further requirements have been identified for the existing swale.

#### **PAVING & GRADING**

14. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed.

15. The plans indicate that there is a detail for the trash enclosure pavement design in the construction details sheet. However, the construction details sheet does not have a cross-section detail of a heavy-duty concrete pavement. Please provide this information in the Electronic Stamping Set submittal.
16. Revise the medium duty concrete pavement cross-section to 8 inches of concrete on 8 inches of 21AA aggregate base.

#### **SOIL EROSION & SEDIMENT CONTROL**

17. The SESC package has been received and will be reviewed separately from this review.

#### **THE FOLLOWING MUST BE SUBMITTED WITH THE Electronic Stamping Set:**

18. A letter from either the applicant or the applicant's engineer must be submitted with the Stamping Set highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**
19. An itemized construction cost estimate must be submitted to the Community Development Department for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The estimate must be itemized** for each utility (water, sanitary, storm sewer), **on-site paving (should have more details about the Transformer Pad, since the electrical plans cannot be located), right-of-way paving (including proposed right-of-way), grading, and the storm water basin (pre-treatment structure).**
20. Due to the above comments, the itemized construction cost estimate should be revised and resubmitted to the Community Development Department for the determination of plan review and construction inspection fees.

#### **REQUIRED LEGAL DOCUMENTS**

The following must be submitted with the Stamping Set submittal and the [legal review transmittal form](#) **that is attached to this review letter**. Partial submittals will **not** be accepted. Links to the PDF copy of the easements are below, word document versions of each legal document can be found on the City's Website under [Forms and Permits](#))

21. A draft copy of the warranty deed for the additional proposed 15-foot-wide right-of-way along the west side of Novi Road must be submitted for review and acceptance by the City.

#### **THE FOLLOWING MUST BE ADDRESSED PRIOR TO CONSTRUCTION**

22. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430). **Be advised that scheduling the pre-construction meeting can take 2-4 weeks.**

23. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application required). No fee is required for this permit.
24. Material certifications must be submitted to Spalding DeDecker for review prior to the construction of any onsite utilities. Contact Ted Meadows at 248-844-5400 for more information.
25. Construction inspection fees in the amount of **\$TBD** must be paid to the Community Development Department. **\*\*fees are subject to change.**
26. Water and Sanitary Sewer Fees must be paid prior to the pre-construction meeting. Contact the Treasury Department at 248-347-0498 to determine the amount of these fees.
27. A street sign financial guarantee in the amount of **\$ 12,000.00** (\$400 per traffic control sign proposed) must be posted at the Community Development Department. Signs must be installed in accordance with MMUTCD standards.
28. A traffic control inspection fee of **\$605** must be paid to Community Development. This fee is the inspection of traffic control items such as signs, striping, curbs, parking stalls, sidewalk, detectable warning surfaces, and temporary pavement markings.
29. A [Soil Erosion Control Permit](#) must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department, Building Division (248-347-0430) for forms and information. The financial guarantee and inspection fees will be determined during the SESC review.
30. Legal escrow fees in the amount of **\$TBD** must be deposited with the Community Development Department. **All unused escrow will be returned to the payee at the end of the project** (except for escrows that are \$50 or less). This amount includes engineering legal fees only. There may be additional legal fees for planning legal documents. **\*\*fees are subject to change.**

**THE FOLLOWING MUST BE ADDRESSED PRIOR TO THE ISSUANCE OF TEMPORARY OCCUPANCY (TCO):**

31. The amount of the incomplete site work performance guarantee for any outstanding site improvement items (limited to top course of pavement and other minor items), is calculated at 1.2 times the amount required to complete the site improvements (as specified in the Performance Guarantee Ordinance).
32. The City's consultant Engineer Spalding DeDecker will prepare the record drawings for this development. The record drawings will be prepared in accordance with Article XII, Design and Construction Standards, Chapter 11 of the Novi Code of Ordinances.

**THE FOLLOWING MUST BE ADDRESSED PRIOR TO THE ISSUANCE OF TEMPORARY OCCUPANCY (TCO) If the Right of Way will be dedicated:**

33. Submit an up-to-date Title Policy (dated within 90 days of City Council consideration of acceptance) for the purpose of verifying that the parties signing the Easement and Bill of Sale documents have the legal authority to do so. Please be sure that all parties of interest shown on the title policy (including mortgage

holders) either sign the easement documents themselves or provide a Subordination Agreement. Please be aware that the title policy may indicate that additional documentation is necessary to complete the acceptance process.

34. Provide a warranty deed for the additionally proposed road right-of-way along the west side of Novi Road for acceptance by the City.

**PRIOR TO SUBMITTING STAMPING SETS**, the Applicant should submit the Electronic Stamping set to Planning for review, if any changes are proposed after Electronic Stamping set approval applicant must submit revised sheets for review and approval.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Milad Alesmail at (248) 735-5695 or email at [malesmail@cityofnovi.org](mailto:malesmail@cityofnovi.org) with any questions.

*Milad Alesmail*

Milad Alesmail  
Project Engineer

cc: Dan Commer, Community Development  
Angela Sosnowski, Community Development  
Stacey Choi, Planning Assistant  
Tina Glenn, Treasurers  
Kristin Pace, Treasurers  
Linda Slepetski, Water & Sewer  
Humna Anjum, Engineering  
Kate Purpura, Engineering  
Ben Croy, City Engineer  
T. Meadows, H. Demers, T. Reynolds; Spalding DeDecker



**CITY OF NOVI**  
**Department of Public Services**  
**Water & Sewer Division**  
26300 Lee BeGole Dr.  
Novi, Michigan 48375  
248.735.5661 Phone / 248.735.5659 Fax  
cityofnovi.org

**Date: 4/14/2025**

**IRRIGATION SYSTEM / CONNECTION TO PUBLIC WATER SUPPLY**

**Project Name: Raising Cane's 26245 Novi Rd**

**Drawings and Revision Dates Reviewed: C7.0 Revision, Date: 3/12/25**

**Needs additional information and/or changes**

**Expansion of existing irrigation system or new system:**

**Expansion:**

*Existing assemblies must be verified as being compliant with the current plumbing code for expansions to existing systems. Winterization installations requirements including drain port and blowout port requirements must be verified. Minimum height requirements must be verified. RPZ must be installed unless approved by the Cross Connection Specialist or Water & Sewer Manager.*

**Comments: Replace current PVB with RPZ**

**The following notation provided:**

**No:**

*Required RPZ must be ASSE 1013 listed as a complete assembly including shutoff valves. Assembly required to be installed by a licensed plumbing contractor. Plumbing permit is required. New assembly must be tested after installation by a licensed plumber also ASSE 5110 Certified to test. Results must be recorded on the City of Novi test report form with a copy sent to the Novi Water & Sewer Division. RPZ must be installed not less than 12-inches above FINISHED GRADE measured from the bottom of the pressure relieve valve. Assemblies must be in compliance with the Michigan Plumbing Code, manufacturer installation instructions including winterization and ASSE listing approvals for orientation, valves, etc.*

**Comments: Please add notation to notes/plans**

**On Utility Keynote Legend:**

**J – References RPZ backflow for yard hydrant at dumpster.**

**K – References 2" domestic water service containment. Existing devices are not an approved containment backflow preventor. Replace current DCVA with RPZ.**

Please feel free to contact us at 248-735-5661 with any questions you may have.

Sincerely,  
Linda Slepetski  
Water & Sewer Division



**CITY OF NOVI**  
**Department of Public Services**  
**Water & Sewer Division**  
26300 Lee BeGole Dr.  
Novi, Michigan 48375  
248.735.5661 Phone / 248.735.5659 Fax  
cityofnovi.org

**4/14/2025**

**Raising Cane's 26245 Novi Rd.**

**Re: Cross Connection Control – Major renovation Building Containment Requirements**

Project Architect,

Pursuant to the Safe Drinking Water Act, P.A. 399, Part 14 Rules (Rule 1406) and the City of Novi Cross Connection Control Program (CCCP) please be advised of the following requirements.

The Water and Sewer Division is requiring an ASSE 1013 listed and approved Reduced Pressure Zone Assembly (RPZ) to be installed immediately downstream of the water meter in addition to the below requirements.

- The assembly shall be provided in an accessible location with access through a swing door if installed in an enclosed location.
- Access shall be approved by the Water & Sewer Division.
- A floor drain shall be provided in accordance with the Michigan Plumbing Code or Michigan Residential Code and approved by the Community Development Department Plumbing Division.
- Thermal Expansion requirements must be considered in accordance with the Michigan Plumbing Code or Michigan Residential Code and approved by the Community Development Department Plumbing Division.
- If a booster pump is necessary, low pressure cutoff requirements must be addressed in accordance with the Michigan Plumbing Code.

Existing DCVA Backflow preventer must be replaced with an approved RPZ for domestic water service containment downstream of water meter.

Please feel free to contact us at 248-735-5661 with any questions you may have.

Sincerely,

Linda Slepetski  
[lslepetski@cityofnovi.org](mailto:lslepetski@cityofnovi.org)



# ENGINEERING LEGAL REVIEW TRANSMITTAL

(Include the Transmittal with every submittal)

Off-Site

On-Site

First Draft

Revised

Notarized

CITY USE ONLY

Date Received:

Legal Permit (PL) #:

PROJECT INFORMATION: (To be filled by Staff)

Site Plan No:

Project Name:

Site Add./Parcel ID:

Site Construction (PSC) #:

Legal Invoice Paid:

Yes No

PRIMARY CONTACT INFORMATION: (To be filled by Applicant)

Contact Name:

Phone:

Company:

Email:

Contact Address:

## INITIAL AND REVISED DRAFT DOCUMENT SUBMITTAL INSTRUCTIONS:

- Digital copies are accepted via e-mail for initial and revised drafts. E-mail: [schoi@cityofnovi.org](mailto:schoi@cityofnovi.org)
- Submit and label each document as a separate pdf.
- All exhibits should be letter (preferred) or legal sized (24" x 36" will not be accepted).
- Make sure all legal fees are paid prior to submittal.
- Documents must be submitted as a complete set by section below. Incomplete submittals will not be processed.**

## NOTARIZED DOCUMENT SUBMITTAL INSTRUCTIONS:

- Final signed and notarized copy should be in black ink only or County will reject.
- Consent page on the easement form should be signed by any lenders on the property.
- Original copies are required for final signed and notarized submittal, send to:  
City of Novi - Community Development Department, Attn: Planning, 45175 Ten Mile Road, Novi, MI 48375

## LEGAL DOCUMENTS REQUIRED TO BE SUBMITTED AND EXECUTED PRIOR TO STAMPING SET: (To be filled by Staff)

10: Off-Site Title Policy

13: Off-Site Sanitary Sewer Easement

11: Off-Site Temporary Construction Agreement

14: Off-Site Water Main Easement

12: Off-Site Storm Sewer and Drainage

Other:

## LEGAL DOCUMENTS REQUIRED TO BE SUBMITTED PRIOR TO STAMPING SET: (To be filled by Staff)

15: Title Policy

24: R.O.W. Warranty Deed (new road)

16: Storm Drainage Facility Maintenance Easement

28: Ingress/Egress Easement

17: Sanitary Sewer System Easement

29: Cross Access Easement

18: Sanitary Sewer Manhole Access Easement

30: Emergency Access Easement

19: Water System Easement

31: Sidewalk or Path Easement

23: R.O.W. Warranty Deed (county road)

Other:

## LEGAL DOCUMENTS REQUIRED PRIOR TO UTILITY ACCEPTANCE: (To be filled by Staff)

20: Bill of Sale for Public Utilities (SanSew/WM)

22: Utilities Waivers of Lien

21: Utilities Sworn Statement (SanSew/WM)

(Signed by UTILITY CONTRACTOR Only)

(Signed by DEVELOPER Only)

## LEGAL DOCUMENTS REQUIRED PRIOR TO STREET ACCEPTANCE: (To be filled by Staff)

25: Bill of Sale for Public Streets

27: Roads Waivers of Lien

26: Roads Sworn Statement

(Signed by ROADS CONTRACTOR Only)

(Signed by DEVELOPER Only)

32: Bill of Sale for Boardwalks

## LANDSCAPE REVIEW



# PLAN REVIEW CENTER REPORT

July 25, 2025  
**Raising Cane's**  
Revised Preliminary/Final Site Plan - Landscape

## **Review Type**

Revised Preliminary/Final Site Plan Landscape Review

## **Job #**

JSP25-0014

## **Property Characteristics**

- Site Location: 26245 Novi Road
- Site Acreage: 1.28 ac.
- Site Zoning: TC
- Adjacent Zoning: North, South, East and West: TC
- Plan Date: 7/11/2025

## **Recommendation:**

This project is **recommended for approval for Preliminary Site Plan**. The remaining fixes can be made on the revised Final Site Plan.

## **LANDSCAPE WAIVERS REQUIRED FOR THE PROPOSED PLAN:**

- Parking bay longer than 15 spaces – *supported by staff as an existing condition*
- Deficiency in accessway perimeter trees along south accessway – *supported by staff as an existing condition where there is no room for the trees*
- Deficiency in accessway perimeter trees along the cross accessway east of the building – *supported by staff as alternative attractive landscaping is proposed in that area*
- Less than 75% of the building foundation is landscaped – *supported by staff as an existing condition.*

## **Ordinance Considerations**

### Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. Existing trees are shown and removals are clearly shown.
2. There are no regulated woodlands or trees on the site.
3. There are no wetlands on the site.

### Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

The property is not adjacent to residential property so this screening is not required.

### Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. The required greenbelt widths are provided for both frontages.
2. The required greenbelt canopy trees are proposed – only canopy OR subcanopy trees are required in the TC district so the requirement is met with canopy trees.
3. No berms are required in the TC district. The existing brick screening walls are proposed to remain.
4. No street trees are required in the TC district and none are proposed.

### Existing and proposed overhead and underground utilities, including hydrants. (LDM 2.e.(4))

1. All utilities and light posts are included on the landscape plan.

2. No hydrants are shown on the site. Sufficient spacing of trees from utility lines and structures is provided

Parking Lot Landscaping

1. The required parking lot interior area and trees are proposed.
2. The required parking lot perimeter trees are also proposed.
3. **A landscape waiver is required for the lack of trees along 240lf of the south accessway.** *It is supported as an existing condition since there is no room for trees there.*
4. **A landscape waiver is required for a lack of accessway perimeter trees along the crossing accessway.** *It is supported by staff as an existing condition and because the proposed landscaping is a big improvement over the existing condition.*
5. **A landscape waiver is required for a bay of parking with 22 contiguous spaces.** *It is supported by staff as an existing condition.*

Building Foundation Landscaping (Zoning Sec. 5.5.3.D)

1. The required foundation landscape areas provided.
2. The required frontage landscape coverage exceeds the requirement.
3. **A landscape waiver is required for having less than 75% of the building with foundation landscaping.** *It is supported as an existing condition.*

Plant List (LDM 4.)

1. 9 of 13 species used (69%) are native to Michigan.
2. The proposed tree diversity is acceptable.

Planting Notations and Details (LDM)

Provided

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

1. No new above-ground stormwater detention pond is proposed.
2. No indication of any Phragmites or Knotweed was noted on the plans.

Irrigation (LDM 1.a.(1)(e) and 2.s)

1. An irrigation system plan is provided.
2. It was reviewed and approved by our cross-connection specialist.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org).

Thank you for your consideration.



---

Rick Meader – Landscape Architect

## LANDSCAPE REVIEW SUMMARY CHART – Revised Preliminary/Final Site Plan

**Review Date:** July 25, 2025  
**Project Name:** JSP25-0014: Raising Canes  
**Project Location:** 26425 Novi Road  
**Plan Date:** July 11, 2025  
**Prepared by:** Rick Meader, Landscape Architect E-mail: [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org); Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan. Underlined items need to be addressed on the revised Final Site Plan.

### LANDSCAPE WAIVERS REQUIRED FOR THE PROPOSED PLAN:

- Parking bay longer than 15 spaces – *supported by staff as an existing condition*
- Deficiency in accessway perimeter trees along south accessway – *supported by staff as an existing condition where there is no room for the trees*
- Deficiency in accessway perimeter trees along the cross accessway east of the building – *supported by staff as alternative attractive landscaping is proposed in that area*
- Less than 75% of the building foundation is landscaped – *supported by staff as an existing condition.*

Item	Required	Proposed	Meets Code	Comments
<b>Landscape Plan Requirements (Landscape Design Manual (LDM) and Zoning Ordinance (Zoning Sec)</b>				
<b>Landscape Plan</b> (Zoning Sec 5.5.2, LDM 2, 10)	<ul style="list-style-type: none"> <li>• New commercial or residential developments</li> <li>• Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less.</li> <li>• 1"=20' minimum with proper North. Variations from this scale can be approved by LA</li> <li>• Consistent with plans throughout set</li> </ul>	1" = 20 ft	Yes	
<b>Project Information</b> (LDM 10)	Name and Address	On title block	Yes	
<b>Owner/Developer Contact Information</b> (LDM 10)	Name, address and telephone number of the owner and developer or association	On landscape plan	Yes	
<b>Landscape Architect contact information</b> (LDM 10)	Name, Address and telephone number of RLA/PLA/LLA who created the plan	Kori Ann Haug, Belle Firma	Yes	
<b>Sealed by LA.</b> (LDM 10)	Requires original signature	Copy of seal and signature is provided	Yes	

Item	Required	Proposed	Meets Code	Comments
<b>Miss Dig Note</b> (800) 482-7171 (LDM 10)	Show on all plan sheets	Yes	Yes	
<b>Zoning</b> (LDM 10)	Include all adjacent zoning	Shown on C5.0 <ul style="list-style-type: none"> <li>Parcel: TC</li> <li>North, South, East, West: TC</li> </ul>	Yes	
<b>Survey information</b> (LDM 10)	<ul style="list-style-type: none"> <li>Legal description or boundary line survey</li> <li>Existing topography</li> </ul>	Sheet V0.0	Yes	
<b>Existing plant material</b> <b>Existing woodlands or wetlands</b> (LDM 10)	<ul style="list-style-type: none"> <li>Show location type and size. Label to be saved or removed.</li> <li>Plan shall state if none exists.</li> </ul>	<ul style="list-style-type: none"> <li>Existing trees are shown.</li> <li>Proposed removals are shown on L1.01</li> </ul>	Yes	
<b>Soil types</b> (LDM10)	<ul style="list-style-type: none"> <li>As determined by Soils survey of Oakland County</li> <li>Show types, boundaries</li> </ul>	<ul style="list-style-type: none"> <li>On Cover Sheet</li> <li>All urban land</li> </ul>	Yes	
<b>Existing and proposed improvements</b> (LDM 10)	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	All proposed elements are included in the landscape plan	Yes	
<b>Existing and proposed utilities</b> (LDM 10)	<ul style="list-style-type: none"> <li>Overhead and underground utilities, including hydrants</li> <li>Proposed light posts</li> </ul>	<ul style="list-style-type: none"> <li>Sheet C7.0</li> <li>Also shown on landscape plan, including light posts</li> </ul>	Yes	
<b>Proposed grading. 2' contour minimum</b> (LDM 10)	Provide proposed contours at 2' interval	Sheet C6.0 <ul style="list-style-type: none"> <li>Spot elevations</li> <li>Proposed contours</li> </ul>	Yes	
<b>Snow deposit</b> (LDM 10)	Show snow deposit areas on plan	Yes	Yes	
<b>LANDSCAPING REQUIREMENTS</b>				
<b>Parking Area Landscape Requirements</b> (Zoning Sec 5.5.3.C and LDM 5)				
<b>General requirements</b> (LDM 5)	<ul style="list-style-type: none"> <li>Clear sight distance within parking islands</li> <li>No evergreen trees</li> </ul>	No plantings in the parking lot appear to block vision	Yes	
<b>Name, type and number of ground cover</b> (LDM 5)	As proposed on planting islands	Sod or other plantings indicated with hatching or symbols	Yes	<ol style="list-style-type: none"> <li>Although it doesn't appear to be shown anywhere but on the legend, do not use River Rock as a ground cover.</li> <li>Please remove it from the legend to avoid confusion.</li> </ol>

Item	Required	Proposed	Meets Code	Comments
<b>General (Zoning Sec 5.5.3.C)</b>				
<b>Parking lot Islands</b>	<ul style="list-style-type: none"> <li>• A minimum of 200 SF to qualify</li> <li>• A minimum of 200sf unpaved area per tree planted in an island</li> <li>• 6" curbs</li> <li>• Islands minimum width 10' BOC to BOC</li> </ul>	<ul style="list-style-type: none"> <li>• Islands' area in SF are provided for all islands</li> <li>• Two islands appear are undersized but trees are not negatively impacted</li> </ul>	<ul style="list-style-type: none"> <li>• Yes</li> <li>• Yes</li> </ul>	
<b>Curbs and Parking stall reduction (Zoning Sec 5.3.12)</b>	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	17/18 feet	Yes	
<b>Contiguous space limit (Zoning sec 5.5.3.C)</b>	Maximum of 15 contiguous spaces	<ul style="list-style-type: none"> <li>• 22 spaces is maximum bay length (existing northern bay)</li> <li>• All others are less than 15 spaces</li> </ul>	<ul style="list-style-type: none"> <li>• No</li> <li>• Yes</li> </ul>	<b>1. A landscape waiver is required for the 22-space bay.</b> <b>2. As it is an existing condition it would be supported by staff.</b>
<b>Plantings around Fire Hydrant (Zoning sec 5.5.3.C)</b>	<ul style="list-style-type: none"> <li>• No plantings with matured height greater than 12' within 10 ft. of fire hydrants and other utility structures</li> <li>• Plant trees at least 5 ft from underground utility lines</li> <li>• Plantings near hydrants or FDCs should be no taller than 12"</li> </ul>	<ul style="list-style-type: none"> <li>• No hydrant appears to be on the site – one is shown northwest of the site, on Crescent Drive.</li> <li>• There doesn't appear to be an FDC on the building</li> </ul>	<ul style="list-style-type: none"> <li>• Yes</li> <li>• Yes</li> </ul>	
<b>Landscaped area (Zoning sec 5.5.3.C)</b>	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes	Yes	
<b>Clear Zones (Zoning sec 5.5.3.B.ii Footnote 10)</b>	<ul style="list-style-type: none"> <li>• Refer to Zoning Section 5.5.9 for Crescent Blvd</li> <li>• Road Commission for Oakland County clearance for Novi Road</li> </ul>	The correct clearance zones are shown for all entrances and no obscuring plantings are in them	Yes	
<b>Parking Lot Interior Area and Trees Required (Zoning Sec 5.5.3.C.iii)</b>				
<b>Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district</b>				
A = Total square footage of vehicular use areas up to	<ul style="list-style-type: none"> <li>• <math>A = x \text{ sf} * 7.5 \% = A \text{ sf}</math></li> <li>• <math>32542 * 7.5\% = 2441 \text{ sf}</math></li> </ul>	Calculation provided	Yes	

Item	Required	Proposed	Meets Code	Comments
50,000sf x 7.5%				
B = Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 1 %	<ul style="list-style-type: none"> <li>B = x sf * 1% = B sf</li> <li>(xxx – 50000) * 1% = xx sf</li> </ul>	NA		
<b>Category 2: For: I-1 and I-2</b>				
A = Total square footage of vehicular use area up to 50,000 sf x 5%	A = x sf * 6% = A sf	NA		
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5%	B = 0.5% x 0 sf = B SF	NA		
<b>All Categories</b>				
<b>Total square footage of landscaped islands:</b> C = A+B	<ul style="list-style-type: none"> <li>C = A + B</li> <li>C = 2441 + 0 = 2441 SF</li> </ul>	2456sf	Yes	
<b>Number of canopy trees required:</b> D = C/200	<ul style="list-style-type: none"> <li>D = C/200 trees</li> <li>D = 2442/200 = 12 trees</li> </ul>	<u>12 trees</u> <ul style="list-style-type: none"> <li>2 existing</li> <li>10 new</li> </ul>	Yes	<u>The tree moved from the small triangle island may be counted as an interior tree since it will help to shade the parking lot.</u>
<b>Parking Lot Perimeter Trees</b> (Zoning Sec 5.5.3.C.iv)	<ul style="list-style-type: none"> <li>Minimum 10 ft wide greenspace</li> <li>1 Canopy tree per 35 lf</li> <li>xl / 35 = 30 trees</li> </ul> <p>Perimeter length: 586lf/35 = 17 trees</p> <p>Supported waiver:  <ul style="list-style-type: none"> <li>North side: 240lf/35 = 7 trees</li> </ul> </p> <p>Net required: 11 trees</p>	<u>12 trees</u> <ul style="list-style-type: none"> <li>6 existing trees</li> <li>1 new canopy tree</li> <li>6 new subcanopy trees under wires (4 tree equivalent)</li> <li>1 new subcanopy not under a wire</li> </ul>	Yes	<ol style="list-style-type: none"> <li><u>Please label tree #8209 as a perimeter tree.</u></li> <li><u>As the moved canopy tree will be counted as an interior tree, the redbud at the southeast corner of the property should be kept as a perimeter tree, despite the comment in the last review.</u></li> </ol>
<b>Accessway perimeter</b> (Zoning Sec 5.5.3.C)	<ul style="list-style-type: none"> <li>1 canopy tree per 35 lf on each side of road, less widths of access drives.</li> <li>(xx lf)/35 = xx trees</li> <li>North accessway</li> </ul>	<ul style="list-style-type: none"> <li>North entry: 1 tree</li> <li>NE entry: 1 interior tree and 1 greenbelt tree that can double count as accessway trees</li> </ul>	<ul style="list-style-type: none"> <li>Yes</li> <li>Yes</li> <li>Yes</li> <li>No</li> <li>No</li> </ul>	<ol style="list-style-type: none"> <li><b>A waiver would be required for the deficiency in accessway perimeter trees along the south accessway and along the cross</b></li> </ol>

Item	Required	Proposed	Meets Code	Comments
	(Crescent Blvd): $(15+25)/35 = 1$ tree • Northeast accessway: $(25+60)/35 = 2$ trees • South accessway: $375\text{lf}/35 = 11$ trees • Cross accessway: $145\text{lf}/35 = 4$ trees	since they're within 15 feet of the drive • South entry: 1 interior tree and 1 greenbelt tree that can double count as accessway trees since they're within 15 feet of the drive • Accessway south of the building: 0 trees • Cross accessway: 0 trees		<b>accessway east of the building.</b> 2. It would be supported for 280lf of the south accessway (8 trees) where there isn't sufficient room as an existing condition. 3. It would also be supported for the cross accessway as alternative attractive landscaping is proposed in that area.
<b>Berms, Walls and ROW Planting Requirements</b>				
<b>Berms</b> (Zoning Sec 5.5.3.A & LDM 1)				
<ul style="list-style-type: none"> <li>All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours</li> <li>Berm should be located on lot line except in conflict with utilities.</li> <li>Berms should be constructed with 6" of topsoil.</li> </ul>				
<b>Residential Adjacent to Non-residential</b> (Sec 5.5.3.A & LDM 1.a)				
<b>Berm requirements</b> (Zoning Sec 5.5.A)	The site is not adjacent to residential so this is not required	NA		
<b>Planting requirements</b> (LDM 1.a.)	LDM Novi Street Tree List	NA		
<b>Adjacent to Public Rights-of-Way</b> (Sec 5.5.3.B and LDM 1.b)				
<b>Berm requirements</b> (Zoning Sec 5.5.3.A.(5))	No berm is required in the TC district	No berm		
<b>Cross-Section of Berms</b> (LDM 10)				
<b>Slope, height and width</b>	<ul style="list-style-type: none"> <li>Label contour lines</li> <li>Maximum 33%</li> <li>Min. 3 feet flat horizontal area</li> <li>Minimum 3 feet high</li> <li>Constructed of loam with 6' top layer of topsoil.</li> </ul>	No cross section is proposed	Yes	
<b>Type of Ground Cover</b>		NA		
<b>Setbacks from Utilities</b>	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	NA		
<b>Walls</b> (Zoning Sec 5.5.3.A & LDM 10)				

Item	Required	Proposed	Meets Code	Comments
<b>Material, height and type of construction footing</b>	Freestanding walls should have brick or stone exterior with masonry or concrete interior	Existing walls are proposed to remain at the Novi Road and Crescent Boulevard entries	Yes	
<b>Walls greater than 4 ft. should be designed and sealed by an Engineer</b>		NA		
<b>ROW Landscape Screening Requirements (Zoning Sec 5.5.3.B.ii) – TC Zoning</b>				
Greenbelt width	<ul style="list-style-type: none"> <li>Adj to Parking: 20 ft.</li> <li>Not adj to Pkg: 25 ft</li> </ul> <b>Novi Road:</b> 20 ft for parking  <b>Crescent Blvd:</b> 20 ft for parking	<b>Novi Road:</b> 25 ft  <b>Crescent Blvd:</b> 20 ft	<ul style="list-style-type: none"> <li>Yes</li> <li>Yes</li> </ul>	
Min. berm crest width	No berms are required in the TC district	None	Yes	
Minimum berm height	No berms are required in the TC district	None	Yes	
3' wall	No walls are required	Existing screening walls along Novi and Crescent Boulevard will be preserved	Yes	
<b>Canopy deciduous or large evergreen trees</b>	<ul style="list-style-type: none"> <li>Adj to Parking: 1 tree per 25 lf</li> <li>Not adj to Pkg: 1 per 30 ft</li> </ul> <b>Novi Road:</b> (160-67-44)lf/25 = 2 trees 67/30 = 2 trees  <b>Crescent Blvd:</b> (90-30)lf/25 = 2 trees  Either Canopy Trees OR subcanopy trees are required, but not both	<b>Novi Road:</b> 2 trees  <b>Crescent Blvd:</b> 3 existing trees	<ul style="list-style-type: none"> <li>Yes</li> <li>Yes</li> </ul>	
<b>Sub-canopy deciduous trees)</b>	<ul style="list-style-type: none"> <li>Adj to Parking: 1 tree per 15 lf</li> <li>Not adjacent to Pkg: 1 per 20 ft</li> </ul> <b>Novi Road:</b> x lf/15 = x trees  <b>Crescent Blvd:</b>	<b>Novi Road:</b> 0 trees  <b>Crescent Blvd:</b> 0 trees	<ul style="list-style-type: none"> <li>Yes</li> <li>Yes</li> </ul>	The greenbelt requirement is met with canopy trees.

Item	Required	Proposed	Meets Code	Comments
	$x \text{ lf}/20 = x \text{ trees}$			
<b>Canopy deciduous trees in area between sidewalk and curb</b>	Street trees are not required in the TC district	None	Yes	
<b>Non-Residential Projects (Zoning Sec 5.5.3.F.iii)</b> Refer to Planting in ROW, building foundation landscape, parking lot landscaping and LDM				
<b>Screening of outdoor storage, loading/unloading</b> (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)		<ul style="list-style-type: none"> <li>Loading zone is in west end of site</li> <li>It is screened by slope from east and trees from north</li> </ul>	Yes	
<b>Transformers/Utility boxes</b> (LDM 6)	<ul style="list-style-type: none"> <li>A minimum of 2ft. separation between box and the plants</li> <li>Ground cover below 4" is allowed up to pad.</li> <li>No plant materials within 8 ft. from the doors</li> </ul>	<ul style="list-style-type: none"> <li>The proposed transformer is shown west of the building.</li> <li>It is screened to the east and west, and potentially to the south, depending on the height of the transformer and inkberries, but not north and south</li> </ul>	Yes	Due to the configuration of the site, the proposed screening is accepted.
<b>Building Foundation Landscape Requirements (Zoning Sec 5.5.3.D)</b>				
<b>Interior site landscaping SF</b> (Zoning Sec 5.5.3.D)	<ul style="list-style-type: none"> <li>Equals to entire perimeter of the building x 8 with a minimum width of 4 ft.</li> <li>A: <math>245 \text{ lf} \times 8 \text{ ft} = 1960 \text{ SF}</math></li> </ul>	2184 sf	Yes	<ol style="list-style-type: none"> <li>Since sufficient area is provided in front of and west of the building, decorative paving is not required for the sitting area.</li> <li>As less than 75% of the building has foundation landscaping, <b>a landscape waiver is required.</b> It is supported by staff as an existing condition.</li> </ol>
<b>Building Frontage Landscaping</b> (Zoning Sec 5.5.3.D)	If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space	$48/54 = 88.9\%$	Yes	
<b>Detention/Retention Basin Requirements (Zoning Sec. 5.5.3.E &amp; LDM 3)</b>				
<b>Planting requirements</b> (Zoning Sec 5.5.3.E &	<ul style="list-style-type: none"> <li>Clusters of large native shrubs shall cover 70-</li> </ul>	No on-site or off-site detention is shown	TBD	

Item	Required	Proposed	Meets Code	Comments
LDM 3)	<p>75% of the basin rim area at 10 lf from permanent water level</p> <ul style="list-style-type: none"> <li>• 10" to 14" tall grass along sides of basin</li> <li>• Refer to wetland for basin mix</li> <li>• Deciduous canopy tree 1/35 of east, south and west sides of pond at 10 feet from permanent water level</li> </ul>			
<b>Phragmites and Japanese Knotweed Control</b> (Zoning Sec 5.5.6.B.vii)	<ul style="list-style-type: none"> <li>• Any and all populations of Phragmites australis and/or Japanese Knotweed on site shall be included on tree survey.</li> <li>• Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site.</li> </ul>	None indicated	Yes	
<b>LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS</b>				
<b>Landscape Notes – Utilize City of Novi Standard Notes</b>				
<b>Installation date</b> (LDM 10)	Provide intended date	Between Mar 15 and Nov 15.	Yes	
<b>Maintenance &amp; Statement of intent</b> (Zoning Sec 5.5.6 & LDM 10)	<ul style="list-style-type: none"> <li>• Include statement of intent to install and guarantee all materials for 2 years.</li> <li>• Include a minimum one cultivation in June, July and August for the 2-year warranty period.</li> </ul>	Yes	Yes	
<b>Plant source</b> (LDM 10 & 11)	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
<b>Irrigation plan</b> (LDM 10)	<ul style="list-style-type: none"> <li>• A fully automatic irrigation system or a method of providing sufficient water for plant establishment and survival is required on Final Site Plans.</li> <li>• If irrigation won't be used, note how trees will get sufficient water for establishment and long-term survival</li> </ul>	An irrigation plan is provided	Yes	The plan was reviewed and approved by our cross-connection specialist

Item	Required	Proposed	Meets Code	Comments
<b>Other information</b> (LDM 10)	Required by Planning Commission	NA		
<b>Establishment period</b> (Zoning Sec 5.5.6 & LDM 10)	<b>2 yr. Guarantee</b>	Yes	Yes	
<b>Approval of substitutions.</b> (Zoning Sec 5.5.5 & LDM 10)	City must approve any substitutions in writing prior to installation.	Yes	Yes	
<b>Plant List (LDM 10 &amp; 11) – Include all cost estimates</b>				
<b>Quantities and sizes</b>	<ul style="list-style-type: none"> <li>At least 50% of species used shall be native to Michigan</li> <li>Tree diversity shall follow guidelines of LDM Section 4 – no tree selection shall exceed the maximum of 15% of one species and 25% of one genus.</li> </ul>	Yes	Yes	
<b>Root type</b>		Yes	Yes	
<b>Botanical and common names</b> (LDM 4 & 11)		<ul style="list-style-type: none"> <li>9 of 13 species used (69%) are native to Michigan</li> <li>As the number of trees used are few, the diversity is accepted</li> </ul>	<ul style="list-style-type: none"> <li>Yes</li> <li>Yes</li> </ul>	
<b>Type and amount of lawn or other groundcovers</b>		Lawn	Yes	
<b>Cost estimate</b> (LDM 10)	For all new plantings, mulch and sod as listed on the plan	Yes	Yes	
<b>Planting Details/Info (LDM Part III)</b>				
<b>Canopy Deciduous Tree</b>	Refer to LDM for detail drawings	Yes	No	<u>The detail shows below-ground staking. This is acceptable but any leaning trees must be corrected.</u>
<b>Evergreen Tree</b>		No	NA	
<b>Multi-stem Tree</b>		No	NA	
<b>Shrub</b>		Yes	Yes	
<b>Perennial/ Ground Cover</b>		Yes	Yes	
<b>Tree stakes and guys.</b> (Wood stakes, fabric guys)		Not used		
<b>Tree protection fencing (Ordinance Sec 37-9)</b>	Located at Critical Root Zone (1' outside of dripline)	Sheet C-3.0	Yes	
<b>Other Plant Material Requirements (LDM 11)</b>				
<b>General Conditions</b>	Plant materials shall not be planted within 4 ft. of property line	Yes	Yes	
<b>Plant Materials &amp;</b>	Clearly show trees to be	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
<b>Existing Plant Material</b> (LDM 11)	removed and trees to be saved.			
<b>Landscape tree credit</b> (LDM 11)	<ul style="list-style-type: none"> <li>• Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA.</li> <li>• Refer to Landscape tree Credit Chart in LDM</li> </ul>	No		
<b>Plant Sizes for ROW, Woodland replacement and others</b> (LDM 11)	<ul style="list-style-type: none"> <li>• Size determined by use detailed in LDM Table 11.b.(2)a.i</li> <li>• Indicate on plant list</li> </ul>	Sizes indicated on the plant list	Yes	
<b>Plant size credit</b> (LDM 11)	NA	No		
<b>Prohibited Plants</b> (LDM 11.b)	No plants on City Invasive Species List	None are used	Yes	
<b>Recommended trees for planting under overhead utilities</b> (LDM 11)	Label the distance from the overhead utilities	Subcanopy trees are used below the overhead lines shown	Yes	
<b>Collected or Transplanted trees</b> (LDM 11)		None		
<b>Nonliving Durable Material: Mulch</b> (LDM 12)	<ul style="list-style-type: none"> <li>• Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth</li> <li>• Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate.</li> </ul>	On details	Yes	

**NOTES:**

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

## TRAFFIC REVIEW



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aecom.com

**Project name:**

JSP25-14 – Raising Cane's Revised Combined Preliminary and Final Traffic Review

**From:**

AECOM

**Date:**

August 4, 2025

**To:**

Barbara McBeth, AICP  
City of Novi  
45175 10 Mile Road  
Novi, Michigan 48375

**CC:**

Lindsay Bell, Humna Anjum, Diana Shanahan, Dan Commer, Milad Alesmail, Stacey Choi, Kate Purpura

# Memo

**Subject:** JSP25-14 – Raising Cane's Revised Combined Preliminary and Final Traffic Review

The revised combined preliminary and final site plan were reviewed to the level of detail provided, and AECOM recommends **approval** of both the preliminary and final site plan as long as the comments provided below are adequately addressed to the satisfaction of the City.

## GENERAL COMMENTS

1. The applicant, Raising Cane's Restaurants, LLC, is proposing to convert an existing Wendy's into a Raising Cane's restaurant.
2. The development is located on the west side of Novi Road and the south side of Crescent Boulevard. Novi Road is under the jurisdiction of the Road Commission for Oakland County (RCOC). Crescent Boulevard is under the jurisdiction of the City of Novi.
3. The site is zoned TC (Town Center).
4. The following traffic-related deviations are being requested by the applicant:
  - a. Lack of loading zone in the TC District.

## TRAFFIC IMPACTS

1. AECOM did not perform an initial trip generation based on the ITE Trip Generation Manual, 11<sup>th</sup> Edition, as the building footprint and use are not changing.
2. The City of Novi generally requires a traffic impact study/statement if the number of trips generated by the proposed development exceeds the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour, or if the project meets other specified criteria.

Trip Impact Study Recommendation	
Type of Study:	Justification
Parking and Traffic Data Collection Memo	<u>Review of Drive-Thru Queuing Letter (July 2025):</u> Review of site plan and information during June 2025 raised concern over a study conducted comparing other Raising Cane's locations and provided queue area for the drive-thru at Novi. Following that review, Raising Cane's met City and provided a drive-thru traffic management plan through a 'Drive-Thru Queuing Letter and Exhibit'. Raising Cane's Drive-Thru queuing letter confirmed: "Our Raising Cane's Operations Team will collaborate with our Crew

Safety Team and a third-party vendor to ensure comprehensive coverage for the Drive-Thru Queuing Plan's successful implementation. The Operations Team is prepared to meet with the Police Department to confirm the details of this plan collaboratively."

## TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City's Code of Ordinances. Items marked with ZO are listed in the City's Zoning Ordinance. Items marked with ADA are listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices.

The values in the 'Compliance' column read as 'met' for plan provision meeting the standard it refers to, 'not met' stands for provision not meeting the standard and 'inconclusive' indicates applicant to provide data or information for review and 'NA' stands for not applicable for subject Project. The 'remarks' column covers any comments reviewer has and/or 'requested/required variance' and 'potential variance'. A potential variance indicates a variance that will be required if modifications are not made or further information provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
1	Driveway Radii   O <a href="#">Figure IX.3</a>	Matching existing	Met	
2	Driveway Width   O <a href="#">Figure IX.3</a>	20' and 30'	Met	Matching existing.
3	Driveway Taper   O <a href="#">Figure IX.11</a>			
3a	Taper length	-	N/A	
3b	Tangent	-	N/A	
4	Emergency Access   O <a href="#">11-194.a.19</a>	2 points	Met	
5	Driveway sight distance   O <a href="#">Figure VIII-E</a>	-	N/A	No changes proposed.
6	Driveway spacing			
6a	Same-side   O <a href="#">11.216.d.1.d</a>	-	N/A	No changes proposed.
6b	Opposite side   O <a href="#">11.216.d.1.e</a>	-	N/A	No changes proposed.
7	External coordination (Road agency)	RCOC	Met	Any work along Novi Road driveways will be coordinated with RCOC.
8	External Sidewalk   <a href="#">Master Plan &amp; EDM</a>	Existing	N/A	No changes proposed.
9	Sidewalk Ramps   <a href="#">EDM 7.4 &amp; R-28-K</a>	Existing	N/A	No changes proposed.
10	Any Other Comments:			

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
11	Loading zone   <a href="#">ZO 5.4</a>	None proposed	Met	The applicant indicated all deliveries will be made outside of operating hours and <b>will be seeking a waiver for lack of loading zone.</b>
12	Trash receptacle   <a href="#">ZO 5.4.4</a>	Indicated	Met	
13	Emergency Vehicle Access	Provided	Met	
14	Maneuvering Lane   <a href="#">ZO 5.3.2</a>	18' and 24'	Met	
15	End islands   <a href="#">ZO 5.3.12</a>			
15a	Adjacent to a travel way	Dimensioned	Met	
15b	Internal to parking bays	Dimensioned	Met	
16	Parking spaces   <a href="#">ZO 5.2.12</a>	55 proposed		See Planning review letter.
17	Adjacent parking spaces   <a href="#">ZO 5.5.3.C.ii.p</a>	>15 spaces in one row	Met	The applicant verified with the City that a deviation will not be required as it is grandfathered in since the full existing site layout is not changing.
18	Parking space length   <a href="#">ZO 5.3.2</a>	17' perpendicular and 18' angled	Met	
19	Parking space width   <a href="#">ZO 5.3.2</a>	9'	Met	
20	Parking space front curb height   <a href="#">ZO 5.3.2</a>	4" in front of 17' parking spaces, 6" everywhere else	Met	
21	Accessible parking – number   <a href="#">ADA</a>	3	Met	
22	Accessible parking – size   <a href="#">ADA</a>	18' x 9' angled with 9' aisle	Met	
23	Number of Van-accessible space   <a href="#">ADA</a>	3	Met	
24	Bicycle parking			
24a	Requirement   <a href="#">ZO 5.16.1</a>	4 required, 4 proposed	Met	
24b	Location   <a href="#">ZO 5.16.1</a>	Indicated	Met	
24c	Clear path from Street   <a href="#">ZO 5.16.1</a>	6'	Met	
24d	Height of rack   <a href="#">ZO 5.16.5.B</a>	3'	Met	
24e	Other (Covered / Layout)   <a href="#">ZO 5.16.1, Text Amendment 18.301</a>	Indicated	Met	
25	Sidewalk – min 5' wide   <a href="#">Master Plan</a>	5' minimum	Met	
26	Sidewalk ramps   <a href="#">EDM 7.4 &amp; R-28-K</a>	Indicated	Met	
27	Sidewalk – distance back of curb   <a href="#">EDM 7.4</a>	-	N/A	
28	Cul-De-Sac   O <a href="#">Figure VIII-F</a>	-	N/A	
29	EyeBrow   O <a href="#">Figure VIII-G</a>	-	N/A	

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
30	Drive-Thru   <a href="#">ZO 5.3.11</a>	Dimensioned	Met	16' bypass lane is below 18' width requirement. The applicant indicated the Fire Marshall and engineering department have approved the 16' width.
31	Any Other Comments:	Detail of wheel stop provided and shown as 6" high. <b>The wheel stop height should be 4" to allow for overhang.</b>		

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
32	Signing: Sizes   <a href="#">MMUTCD</a>	Provided	Met	
33	Signing table: quantities and sizes	Provided	Met	
34	Signs 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post   <a href="#">MMUTCD</a>	Provided	Met	
35	Signs greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post   <a href="#">MMUTCD</a>	Provided	Met	
36	Sign bottom height of 7' from final grade   <a href="#">MMUTCD</a>	Provided	Met	
37	Signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign   <a href="#">MMUTCD</a>	Provided	Met	
38	FHWA Standard Alphabet series used for all sign language   <a href="#">MMUTCD</a>	Provided	Met	
39	High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity   <a href="#">MMUTCD</a>	Provided	Met	
40	Parking space striping notes	Provided	Met	
41	The international symbol for accessibility pavement markings   ADA	Provided	Met	
42	Crosswalk pavement marking detail	Provided	Met	
43	Any Other Comments:			

Note: Hyperlinks to the standards and Ordinances are for reference purposes only, the applicant and City of Novi to ensure referring to the latest standards and Ordinances in its entirety.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,  
AECOM



Paula K. Johnson, PE  
Senior Transportation Engineer



Saumil Shah, PE  
Project Manager

FAÇADE REVIEW



August 5, 2025

City of Novi Planning Department 45175 W. 10  
Mile Rd.  
Novi, MI 48375-3024

**Façade Review Status:**  
**Section 9 Waiver recommended for the**  
**“1” Logo.**

Re: FACADE ORDINANCE  
**Raising Cane’s, JSP24-14, RFSP**  
Façade Region: 1, Zoning District: TC

Dear Ms. McBeth:

The following Façade Review is based on the revised drawings by Shremshock Architects, Inc., dated 7/15/2025. The revision consists of the addition of a canopy over the outdoor seating area. This project consists of alterations to an existing façade as regulated by Section 5.15.6 & 5.15.7 of the Façade Ordinance. The project is also subject to the TC Ordinance which increases the minimum amount of Brick or Stone to 51%. The percentages of materials proposed for each façade are shown on the table below. In this case all proposed materials are in full compliance with the Façade Chart.

	<b>East (FRONT)</b>	<b>South</b>	<b>West</b>	<b>North</b>	<b>Ordinance Maximum (Minimum)</b>
Brick (existing)	52%	48%	53%	63%	100% (51%)
Flat Metal Canopy	6%	3%	0%	3%	50%
Flat Metal Panels (Berridge)	17%	36%	30%	15%	50%
Flat Metal (Red Accent)	7%	0%	0%	0%	50%
Cornice	6%	4%	6%	5%	15%
Perforated Metal Roof Screen	12%	9%	11%	14%	50%

The design features the addition of metal clad vertical elements on the east, south and north elevations and the preservation of the existing brick and cornice. LED cove lighting is proposed along the top edge of the vertical elements. The vertical element on the east façade includes a red colored “1” logo. Section 5.15.2 of the Façade Ordinance prohibits intense colors or the use of façade materials to form a component of a sign. The “1” logo would be considered a violation of this Section. However, in this case the renderings indicate that the “1” logo is integrated in a manner that does not distract from the overall appearance of the building.

Recommendation - A Section 9 Waiver is recommended for the above deviation. Color samples should be provided to verify that the proposed “distressed / salvaged red” color for the “1” logo is consistent with the Ordinance. It should be noted that the proposed LED cove lighting must be indirect (luminaires not visible) and non-color changing.

Sincerely, DRN & Architect PC

Douglas R. Necci, AIA

FIRE REVIEW

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July 31, 2025

TO: Barbara McBeth - City Planner  
Lindsay Bell - Plan Review Center  
Dan Commer – Plan Review Center  
Diana Shanahan – Plan Review Center  
Stacey Choi – Planning Assistant

**CITY COUNCIL**

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**Assistant Chief of Police**  
Scott R. Baetens

**Assistant Fire Chief**  
Todd Seog

RE: Raising Cane's

PreApp 25-0006

**JSP25-14**

PSP/FSP

**Project Description:**

Remodel an existing structure.

**Comments:**

- All comments and requirements from previous reviews have been met and are acceptable.

**Recommendation:**

The Fire Dept. does NOT have any objections at this time.

Sincerely,

Andrew Copeland – Fire Marshal  
City of Novi Fire Department

**Novi Public Safety Administration**  
45125 Ten Mile Road  
Novi, Michigan 48375  
248.348.7100  
248.347.0590 fax

cityofnovi.org

## RESPONSE LETTER

September 12, 2025

Mr. Dan Commer, AICP Planner  
Community Development, Planning Division  
City of Novi  
45175 Ten Mile Road  
Novi, Michigan 48375

**RE:     *Raising Cane's***  
          ***26245 Novi Rd***  
          ***JSP25-14 – Preliminary Final Site Plan***

Dear Mr. Commer:

We are in response of your review comments dated August 8, 2025, for the proposed Raising Cane's located at 26245 Novi Road. Below is a summary of the actions taken in response to these comments.

## **Planning Chart**

1. Architecture/Pedestrian Orientation (Sec. 3.27.1D): The Site Analysis Table on Sheet C5.0 indicates 12 outdoor patio seats are proposed, but the Project Narrative and Framing Plan (Sheet A1.20) proposes it containing 20 outdoor seats – **Please update Site Analysis Table to include correct number of seats and outdoor patio square footage, and dimension the outdoor patio on both plans on next submittal.**  
***Response: The Site Analysis Table on Sheet C5.0 – Site Keynote Plan will be updated to include the correct number of seats and outdoor patio square footage. Dimensions of the outdoor patio will be included on Sheet C5.1- Dimension Control Plan and Sheet A1.20 – Framing Plan.***

2. Façade materials (Sec. 3.27.1.G): A Section 9 Façade Waiver is required for the “1” logo proposed on the side of the building. The waiver will require Planning Commission approval and is supported by the City's façade consultant – acknowledged by applicant. **Please include a sample board of proposed façade materials at minimum one week prior to the Planning Commission meeting.**  
***Response: A sample board of proposed façade materials has been sent to the city. Confirmation from Dan Commer was received that the sample board arrived at the city on 8/27/25.***

3. Loading Spaces (Sec. 5.4.2): Loading, unloading space in the rear yard is required in the TC District. At a ratio of 10 square feet for each front foot of building. There is approximately 40' of frontage on the existing building which requires a minimum loading/unloading zone of 400 square feet. The applicant has indicated that all deliveries will be made outside of operating hours, and that previously proposed 1,200 square foot loading/unloading space has been removed to allow for the site to meet the requirements for yard setbacks. **Zoning Board of Appeals approval will be required for the absence of a loading zone in the TC District** – acknowledged by applicant.  
***Response: Zoning Board of Appeals approval is being pursued for the absence of a loading zone. Our case, PZ25-0050 is currently on the agenda for October 14<sup>th</sup>, 2025.***

4. Lighting Plan (Sec. 5.7.2.A.ii) - A partial lighting plan was provided, but a full plan is required at the time of Final Site Plan review. The site plan previously proposed relocating at least one light pole but now proposes replacing all 15 light poles and bases using code compliant LED fixtures per updated Project Narrative. However, the lighting plan provided is missing significant details. Additionally, the Hours of Operation provided in the Project Narrative and Framing Plan (Sheet A1.20) show conflicting hours of operations.

a. Please provide a full 24"x36" photometric plan with cut sheet of lighting fixture specifications on a revised Final Site Plan submittal.

***Response: A full 24x36 photometric plan with the lighting fixture cut sheets shall be submitted on the revised Final Site Plan submittal.***

b. Please include light pole base specifications on the Construction Details sheet on a revised Final Site Plan submittal.

***Response: A light pole base detail has been added and will be submitted for review.***

c. Please clarify the actual hours of operation being proposed in a response letter prior to Planning Commission meeting.

***Response: The actual hours of operation have been adjusted and now are consistent.***

5. Architecture/Pedestrian Orientation (Sec. 3.27.1.E): The Site Analysis Table on Sheets C5.0 indicates 12 outdoor seats are proposed, but the provided Project Narrative and Framing Plan (Sheet A1.20) proposes it being 20 seats. Please update Site Analysis Table to include correct number of seats and outdoor patio square footage, and dimension the outdoor patio on both plans on next submittal.

***Response: The Site Analysis Table on Sheet C5.0 – Site Keynote Plan will be updated to match the Project Narrative and Sheet A1.20 Framing Plan, with 20 seats proposed within the outdoor patio. Dimensions of the outdoor patio will be included on Sheet C5.1- Dimension Control Plan and Sheet A1.20 – Framing Plan.***

6. Façade materials (Sec. 3.27.1.G) - Planning Commission approval is required for Section 10 Façade Waiver – acknowledged by applicant.

***Response: A façade waiver shall be requested and provided.***

7. Parking, Loading, Signs, Landscaping, Lighting, Etc. (Sec. 3.27.1 H) - The previously proposed 1,200 sf loading/unloading space has been removed to allow for the site to meet the requirements for yard setbacks. Deviation requires Zoning Board of Appeals approval - acknowledged by Applicant.

***Response: Zoning Board of Appeals approval is being pursued for the absence of a loading zone. Our case, PZ25-0050 is currently on the agenda for October 14<sup>th</sup>, 2025.***

8. Outdoor Seating (Sec. 4.40.3.B) - Please update Site Analysis Table on Sheet C5.0 to show correct number outdoor seats.

***Response: The Site Analysis Table on Sheet C5.0 – Site Keynote Plan will be updated to show the correct number of outdoor seats.***

9. Loading Spaces (Sec. 5.4.2) – The applicant indicated all deliveries will be made outside of operating hours - Zoning Board of Appeals approval will be required for absence of loading zone in TC District – acknowledged by applicant.

**Response: Zoning Board of Appeals approval is being pursued for the absence of a loading zone. Our case, PZ25-0050 is currently on the agenda for October 14<sup>th</sup>, 2025.**

10. Lighting Plan (Sec. 5.7.2.A.i) – Please provide full 24" x 36" photometric plan with cut sheet of lighting fixture specifications on a Revised Final Site Plan submitted. No Construction details are provided for new light pole bases being proposed. Please include light pole base details on Construction Details sheet on a Revised Final Site Plan submittal.

**Response: A full 24x36 photometric plan with the lighting fixture cut sheets shall be submitted on the revised Final Site Plan submittal. Light pole base details will be included on the revised final Site Plan submittal**

11. Lighting Plan (Sec. 5.7.2.A.ii) –

a. Fixture Height

**Response: Fixture height shall be provided.**

b. Mounting & Design

**Response: Fixture cut sheets shall be provided showing mounting and design.**

c. Glare Control Devices

**Response: Fixture shall be cut off style or designed to reduce or eliminate glare per code. See fixture cut sheets included in final submittal.**

d. Type & Color Rendition of Lamps

**Response: Color rendition is adjustable and shall be set to of 80CRI and a color temperature of 3000K.**

e. Hours of Operation: Please clarify which hours of operation are being proposed in a response letter prior to Planning Commission meeting.

**Response: The hours of operation shall match the project narrative: Sun - Thu: 9:30am - 2:00am; Fri - Sat: 9:30am – 3:30am.**

f. Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties.

**Response: Please see the revised final site lighting photometric plan that shall be submitted for the final site plan Review submittal.**

12. Building Lighting (Sec. 5.7.2.A. iii) - Proposed LED cove lighting must be indirect (luminaires not visible) and non-color changing –acknowledged by applicant. Please note detail on updated photometric plan.

**Response: Detail shall be provided on updated photometric plan.**

13. Maximum Height (Sec. 5.7.3.A.)

**Response: Heights shall not exceed 25 ft.**

14. Parking Lot Lighting (Sec. 5.7.3.I)

**Response: A revised photometric plan shall be provided with the final site plan submittal indicating compliance.**

15. Minimum Illumination Levels (foot-candles) (Sec. 5.7.3.K)

- a. No designated loading and unloading areas are proposed. Applicant seeking variance from ZBA.

***Response: Zoning Board of Appeals approval is being pursued for the absence of a loading zone. Our case, PZ25-0050 is currently on the agenda for October 14<sup>th</sup>, 2025.***

- b. Foot candle readings at both entrances are obscured on the lighting plan provided.

***Response: A revised photometric plan shall be provided.***

16. Average Light Level (Sec 5.7.3.L) – Please recalculate and provide updated Avg/Min ratio measurements on an updated photometric plan that includes proposed overall height on the new light poles as that could impact Avg/Min ratios.

***Response: Information has been added to the Final revised photometric plan and this area has been recalculated. Revised plan shall be submitted showing compliance.***

### **Parking Lot Landscaping**

17. A landscape waiver is required for lack of trees along 240lf of the south accessway.

***Response: Acknowledged.***

18. A landscape waiver is required for a lack of accessway perimeter trees along the crossing accessway. It is supported by staff as an existing condition and because the crossing accessway.

***Response: Acknowledged.***

19. A landscape waiver is required for a bay of parking with 22 contiguous spaces. It is supported by staff as an existing condition.

***Response: Acknowledged.***

20. A landscape waiver is required for having less than 75% of the building with foundation landscaping. It is supported as an existing condition.

***Response: Acknowledged.***

21. Name, type and number of ground cover (LDM5) – Although it doesn't appear to be shown anywhere but, on the legend, do not use River Rock as a ground cover. Please remove it from the legend to avoid confusion.

***Response: River Rock is proposed to be used as mulch in landscape beds only directly adjacent to patio. Cane's washes down the walks adjacent to the patio regularly and this helps prevent wood mulch wash out.***

***All other mulch for planting on site will be wood mulch.***

22. Contiguous space limit (Zoning sec 5.5.3C) – A landscape waiver is required or 22-space bay

***Response: Acknowledged.***

23. Number of canopy trees required:  $D=C/200$  – The tree moved from the small triangle island may be counted as an interior tree since it will help to shade the parking lot.

***Response: The tree in the small island will be counted as an interior tree.***

24. Parking Lot Perimeter Trees (Zoning Sec 5.5.3C.iv) –

a. Please label tree #8209 as a perimeter tree.

***Response: Tree #8209 will be labeled as perimeter tree.***

b. As the moved canopy tree will be counted as an interior tree, the redbud at the southeast corner of the property should the property should be kept as a perimeter tree, despite the comment in the last review.

***Response: The redbud will be counted as a perimeter tree.***

25. Accessway perimeter (Zoning Sec. 5.5.3.C) – A waiver would be required for the deficiency in the accessway perimeter trees along the south accessway and along the cross accessway east of the building.

***Response: Acknowledged.***

26. Interior site landscaping SF (Zoning Sec. 5.5.3D) – As less than 75% of the building has foundation landscaping, a landscape waiver is required.

***Response: Acknowledged.***

27. Canopy Deciduous Tree – The detail shows below – ground staking. This is acceptable but any leaning trees must be corrected.

***Response: Acknowledged.***

## **Traffic**

28. Detail of wheel stop provided and shown as 6" high. The wheel stop height should be 4" to allow for overhang.

***Response: The wheel stop detail provided on Sheet C8.0 – Construction Details will be revised so that the wheel stop height is 4".***

We trust these responses and the description of changes above adequately address your comments. If you have any questions or require any additional information, please contact me at (331) 481-7330.

Sincerely,



Tom Szafranski  
Project Manager, P.E.  
Kimley-Horn and Associates, Inc.  
Phone: 331-481-7330  
Email: Tom.Szafranski@kimley-horn.com

## CORRESPONDENCE



## CITY OF NOVI RESPONSE FORM

RECEIVED

SEP 08 2025

CITY OF NOVI  
COMMUNITY DEVELOPMENT

### JSP25-14 RAISING CANE'S FOR PRELIMINARY SITE PLAN, SPECIAL LAND USE, AND STORM WATER MANAGEMENT PLAN APPROVAL.

You are invited to attend the public hearing on September 24, 2025 and voice your support or objection.

Participants may also choose to submit comments that can be read into the record if they are unable to attend. To submit a written reply, you may use this form to reply by mail, email, or fax. Returning this form by mail, email, or fax has as much validity as verbal comments. Signed comments will be added to the record of the meeting. Unsigned or anonymous comments **WILL NOT** be considered. Written comments must be received by 4:00 PM on the day of the meeting.

Return via email: [schoi@cityofnovi.org](mailto:schoi@cityofnovi.org)

Return via mail or fax: Community Development Department  
45175 Ten Mile Road, Novi, Michigan 48375  
248-347-0475 (Main) 248-735-5633 (Fax)

Information regarding the project will be available the Saturday prior to the meeting date at:  
<https://www.cityofnovi.org/agendas-minutes/planning-commission/2025/>.

Plans are available for viewing during the City's regular business hours, Monday thru Friday, 8:00 AM to 5:00 PM, at the Community Development Department, or by contacting [bmcbeth@cityofnovi.org](mailto:bmcbeth@cityofnovi.org).



I SUPPORT



I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

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SIGNATURE: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

*David L. Stanton*  
David L. Stanton

714 W Mi Ave Jackson MI 49201

\*\*\* IN ACCORDANCE WITH MCL 125.3103:

- NOTICE SHALL BE GIVEN TO ALL PERSONS TO WHOM REAL PROPERTY IS ASSESSED WITHIN 300 FEET OF THE SUBJECT PROPERTY.
- IF A SINGLE STRUCTURE CONTAINS MORE THAN 4 DWELLING UNITS OR OTHER DISTINCT SPATIAL AREAS OWNED OR LEASED BY DIFFERENT PERSONS, NOTICE MAY BE GIVEN TO THE MANAGER OR OWNER OF THE STRUCTURE, WHO SHALL BE REQUESTED TO POST THE NOTICE AT THE PRIMARY ENTRANCE TO THE STRUCTURE.