



CITY CENTER OFFICE PLAZA JSP21-06

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Consideration of the request of City Center Office Plaza, LLC for approval of the Preliminary Site Plan and Stormwater Management Plan. The subject property contains 1.25 acres and is in Section 15, on the west side of Flint Street, south of Grand River Avenue. The applicant is proposing a three-story office building with a bank on the first floor and general office on the upper floors (15,300 square feet total). The site plan includes a two-lane drive-through for the bank use on the south side of the building.

Required Action

Approve/Deny the Preliminary Site Plan and Stormwater Management Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	3-14-22	<ul style="list-style-type: none"> • ZBA variance for parking setbacks on the east, west and south (20 feet required, 10-12.5 feet proposed) (supported by staff due to street frontage on all sides) • ZBA variance for parking in exterior side yards of Flint & Bond St (supported due to street frontage on all sides) • ZBA variance for deficiency of 5 parking spaces (supported due to revised calculations of usable area) • ZBA variance for deficiency in loading area size (supported as typical box truck delivery vehicle will be accommodated) • PC Waiver to allow the loading area in the exterior side yard (supported due to street frontage on all sides and screening is provided) • Items to be addressed on the Final Site Plan submittal
Engineering	Approval recommended	11-30-21	<ul style="list-style-type: none"> • City Council approval of a DSC variance for the absence of sidewalk along Flint Street frontage (supported due to unusual lot configuration, river crossing, and alternative pedestrian route availability) • Items to be addressed on the Final Site Plan submittal
Landscaping	Approval recommended	2-24-22	<ul style="list-style-type: none"> • PC waiver for deficiency of greenbelt width (supported by staff due to street frontage on all sides) • PC waiver for deficiency of greenbelt canopy trees on Flint Street (supported by staff due to utilities and grade) • PC waiver for deficiency of frontage

			<p>landscaping on south side (<i>supported by staff due to presence of drive through</i>)</p> <ul style="list-style-type: none"> • PC waiver for lack of landscaped island on the southwest side of the building (<i>supported due to presence of sidewalk</i>) • PC Waiver for parking lot screening (<i>not supported by staff unless hedges are provided between wall sections to better screen the full parking lot</i>) • Items to be addressed on the Final Site Plan Submittal
Wetland	Approval recommended	11-29-21	<ul style="list-style-type: none"> • Items to be addressed on the Final Site Plan Submittal
Traffic	Approval recommended	3-15-22	<ul style="list-style-type: none"> • PC Waiver for Same Side Driveway Spacing for the north entry drive (185 feet required, 114 feet proposed) • Items to be addressed on the Final Site Plan Submittal
Façade	Approval recommended	11-29-21	<ul style="list-style-type: none"> • Full compliance with Façade Ordinance
Fire	Conditional Approval recommended	11-30-21	<ul style="list-style-type: none"> • Items to be addressed on the Final Site Plan Submittal

MOTION SHEET

Approval – Preliminary Site Plan

In the matter of City Center Office Plaza, JSP21-06, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. A waiver from Section 11-216.d.1.d of the Code of Ordinances to allow same side driveway spacing of 112 feet on Grand River Avenue where 185 feet is required, *because of the small lot size and RCOG has approved the placement, which is hereby granted;*
- b. A waiver from Sections 3.27.1.H and 5.4.2 to allow the loading area in the exterior side yard where rear or interior side yard placement is required, *as the property will have road frontage on all four sides and screening on three sides of the area is proposed, which is hereby granted.*
- c. A landscape waiver from Section 5.5.3.B to permit a reduction of the required greenbelt width along Bond and Flint Streets (10 feet proposed, 20 feet required), which is hereby granted.
- d. A landscape waiver from Section 5.5.3.B to permit a reduction of 1 canopy tree along Flint Street, *as the river occupies a good portion of the greenbelt area, which is hereby granted.*
- e. **Choose:**
 1. A landscape waiver from Section 5.5.3.B and Section 3.27.1.D to reduce the parking lot screening required, *as a 2.5 foot tall brick wall is proposed in front of parking spaces, which is hereby granted. (Applicant Requested)*

OR

2. A landscape waiver from Section 5.5.3.B and Section 3.27.1.D to reduce the parking lot screening required, *if the applicant plants hedges between the wall sections as suggested in the Landscape Review to more effectively screen the parking lot, which is hereby granted. (Staff Preferred)*
- f. A landscape waiver from Section 5.5.3.C for lack of landscaped island on the southwest side of the building, *as the proposed sidewalk prevents enough room for a tree, which is hereby granted.*
- g. A landscape waiver from Section 5.5.3.D for lack of frontage landscaping on the south side of the building, *as the drive-through would conflict with planting areas, which is hereby granted.*
- h. ZBA approval of the applicant's requested variances from Ordinance standards as follows:
 1. from Section 3.1.25.D to permit a parking setback reduction on the east, west and south sides (10 to 12.4 feet requested, 20 feet required);
 2. from Section 3.27.1.D to allow parking in the exterior side yard of non-residential collector road (Flint and Bond Streets);
 3. from Section 5.2.12 to allow a reduction in the number of parking spaces required (65 spaces proposed, 70 spaces required)
 4. from Section 5.4.2 to allow the size of the loading area to be reduced (540 square feet proposed, 940 square feet required)
- i. City Council approval of a variance from Design and Construction Standards, Section 11-265, for absence of a sidewalk along the Flint Street frontage on the west side of the site.
- j. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those being addressed on the Final Site Plan; and
- k. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

- AND -

Approval – Stormwater Management Plan

In the matter of City Center Office Plaza, JSP21-06, motion to **approve** the Stormwater Management Plan subject to:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

- OR -

Denial – Preliminary Site Plan

In the matter of City Center Office Plaza, JSP21-06, motion to **deny** the Preliminary Site Plan ... *(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

-AND-

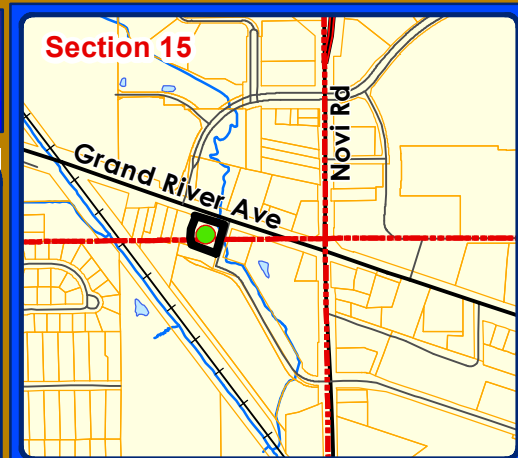
Denial – Stormwater Management Plan

In the matter of City Center Office Plaza, JSP21-06, motion to **deny** the Stormwater Management Plan ... *(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*


MAPS
Location
Zoning
Future Land Use
Natural Features


JSP21-06 CITY CENTER OFFICE PLAZA

LOCATION



LEGEND


 Subject Property



City of Novi
Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Lindsay Bell
Date: 4/6/22
Project: CITY CENTER OFFICE
Version #: 1

0 55 110 220 330 Feet
1 inch = 250 feet

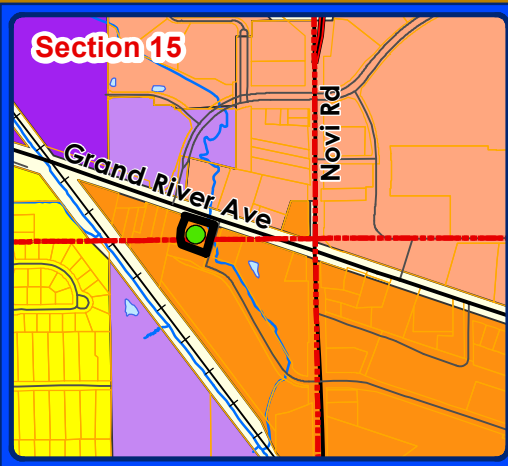
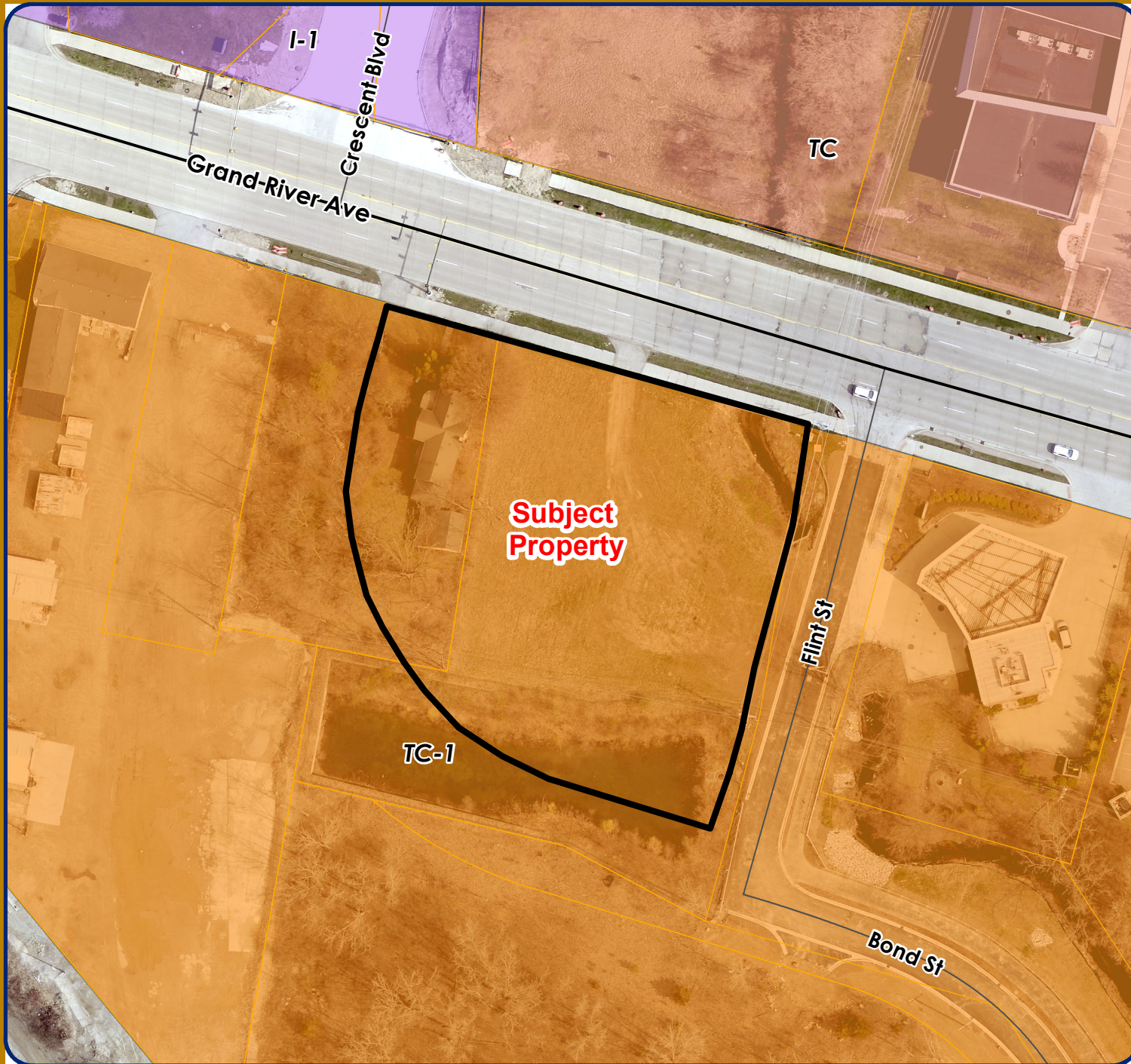


MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

JSP21-06 CITY CENTER OFFICE PLAZA

ZONING



LEGEND


- R-4: One-Family Residential District
- I-1: Light Industrial District
- I-2: General Industrial District
- TC: Town Center District
- TC-1: Town Center -1 District
- Subject Property



City of Novi
Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Lindsay Bell
Date: 4/6/22
Project: CITY CENTER OFFICE
Version #: 1

0 15 30 60 90 Feet
1 inch = 83 feet

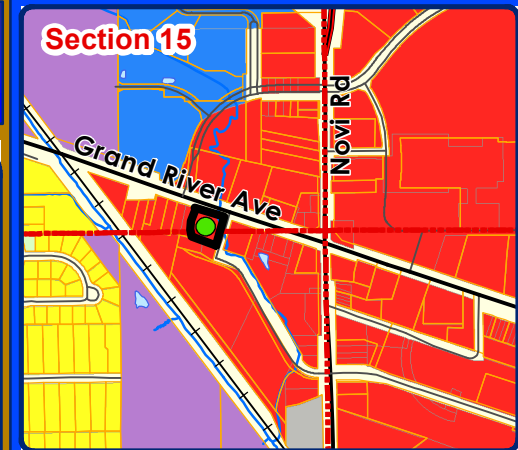
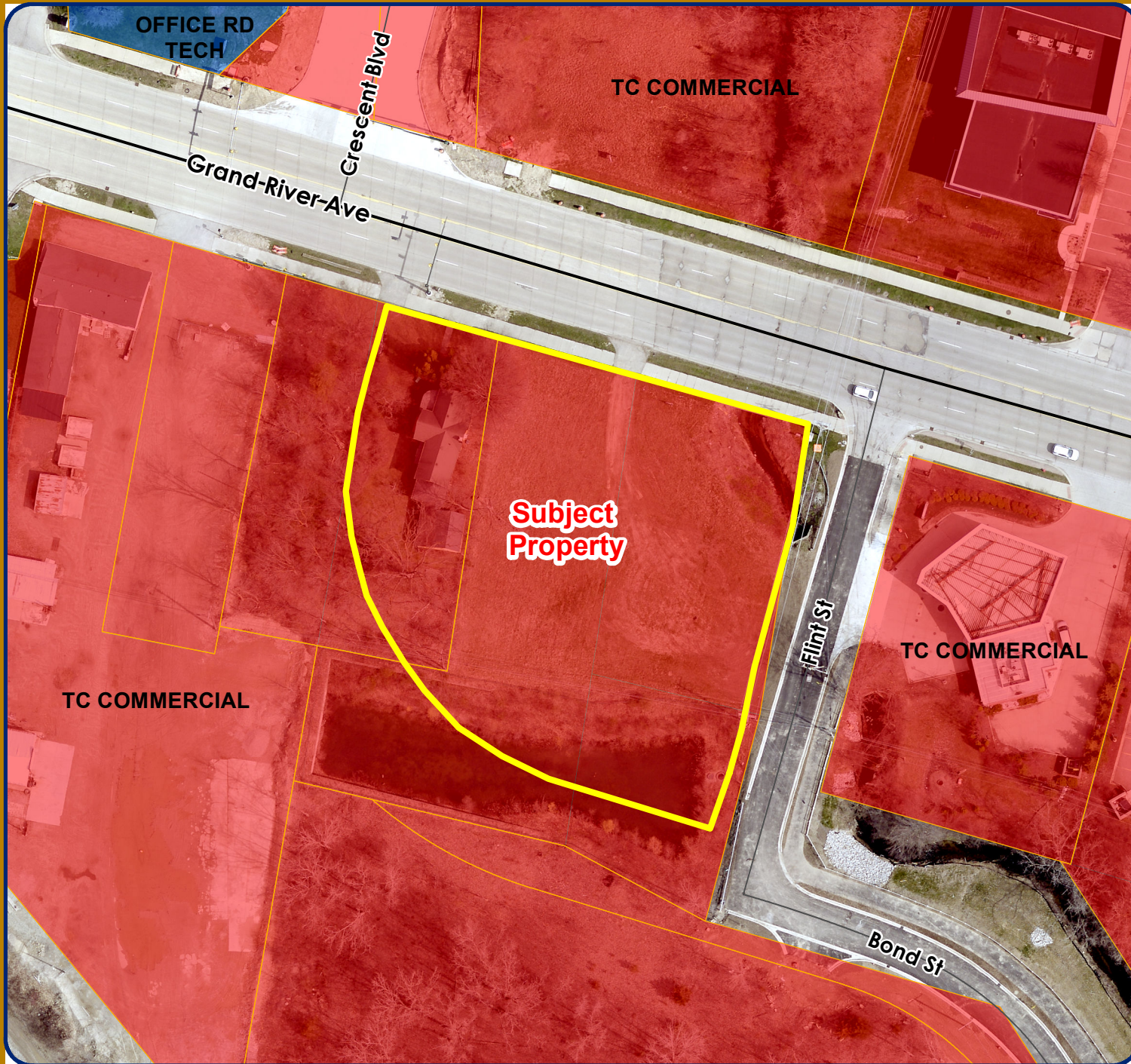


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JSP21-06 CITY CENTER OFFICE PLAZA

FUTURE LAND USE



LEGEND

- Single Family
- Office Research Development Technology
- Industrial Research Development Technology
- TC Commercial
- Private Park
- Cemetery
- Subject Property



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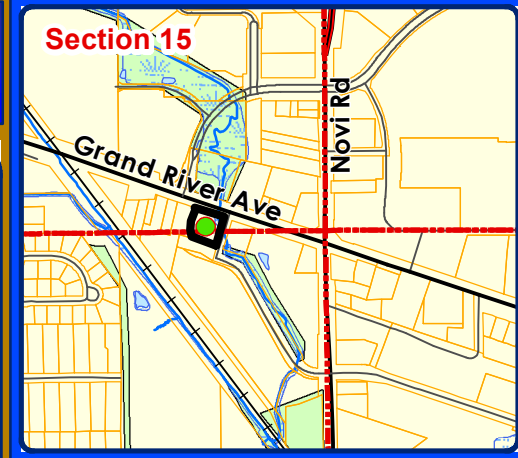


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JSP21-06 CITY CENTER OFFICE PLAZA

NATURAL FEATURES

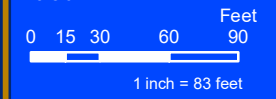


- LEGEND**
-  WETLANDS
 -  WOODLANDS
 -  Subject Property



City of Novi
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SITE PLAN



Seal: _____

Title:
Landscape Plan

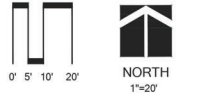
Project:
**City Center
 Novi, Michigan**

Prepared for:
 Lormax Stern Development Company, LLC
 38500 Northwestern Highway, Suite 200
 Bloomfield Hills, Michigan 48304

Revision: Issued:
 Submission October 18, 2021
 Submission February 18, 2022

Job Number:
 21-070

Drawn By: Checked By:
 jca jca



Sheet No. _____

SITE PLAN FOR:

CITY CENTER OFFICE PLAZA

SECTION 22, TOWN 1 NORTH, RANGE 8 EAST,
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

OWNER :

CITY CENTER OFFICE PLAZA, LLC
200 RENAISSANCE CENTER, SUITE 3145
DETROIT, MICHIGAN 48243
PHONE : 313-257-6720
EMAIL : GTMANAGEMENT@GMAIL.COM

LEGAL DESCRIPTION

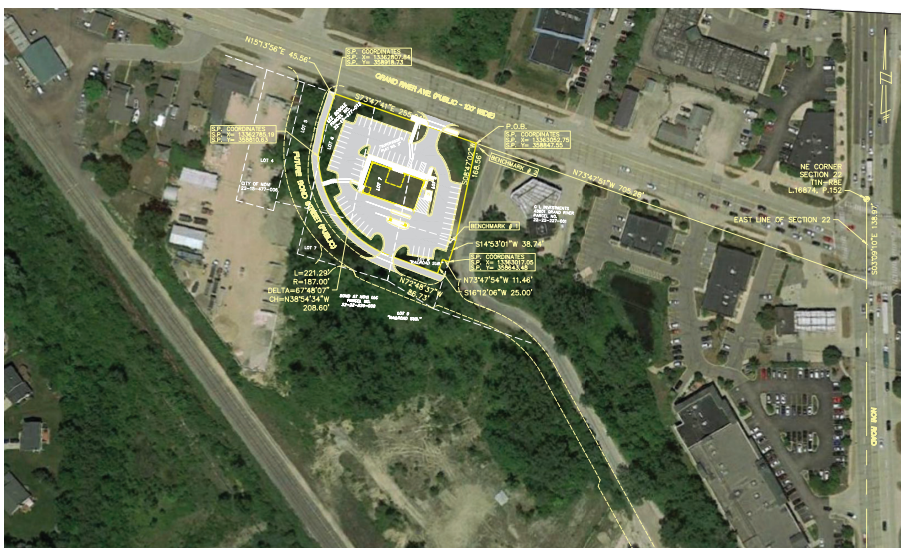
PART OF LOTS 8 AND 7 AND ALL OF LOT 6 OF "SUPERVISOR'S PLAT NO. 37" LIBER 54A OF PLATS, PAGE 84, AND PART OF LOT 9 OF "RAILROAD SUBDIVISION" LIBER 92 OF PLATS, PAGE 16, SECTION 22, T1N-8R-8E, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, MORE FULLY DESCRIBED AS: COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 22; THENCE S03°09'10"E 138.97 FEET ALONG THE EAST LINE OF SAID SECTION 22; THENCE N23°47'41"W 703.29 FEET ALONG THE SOUTH LINE OF GRAND RIVER AVENUE (100 FEET WIDE) TO THE NORTHEAST CORNER OF LOT 8 OF "SUPERVISOR'S PLAT NO. 37"; SAID POINT ALSO BEING THE POINT OF BEGINNING; THENCE S00°47'02"W 168.60 FEET ALONG THE EAST LINE OF SAID LOT 8 AND THE WEST LINE OF FLINT STREET TO THE SOUTHEAST CORNER OF SAID LOT 8; THENCE S14°53'01"W 38.74 FEET ALONG THE EAST LINE OF LOT 9 OF "RAILROAD SUBDIVISION" AND THE WEST LINE OF SAID FLINT STREET; THENCE THE FOLLOWING SEVEN (7) COURSES ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF BOND STREET: 1) N23°47'41"W 11.46 FEET; 2) S16°12'06"W 25.00 FEET; 3) N12°44'37"W 68.23 FEET; 4) 221.28 FEET ALONG A 187.00 FEET RADIUS CURVE TO THE RIGHT, WITH A CHORD BEARING N08°54'24"W 208.80 FEET; 5) 30.73 FEET ALONG A 187.50 FEET RADIUS CURVE TO THE RIGHT, WITH A CHORD BEARING N02°22'13"E 30.70 FEET; 6) 34.38 FEET ALONG A 182.00 FEET RADIUS CURVE TO THE RIGHT, WITH A CHORD BEARING N04°49'13"E 34.33 FEET; AND 7) N15°13'56"E 45.56 FEET TO A POINT ON THE SOUTH LINE OF SAID GRAND RIVER AVENUE; THENCE S73°47'41"E 255.04 FEET ALONG THE SOUTH LINE OF SAID GRAND RIVER AVENUE TO THE POINT OF BEGINNING, CONTAINING 1.252 ACRES OF LAND, MORE OR LESS.

FIRE DEPARTMENT NOTES

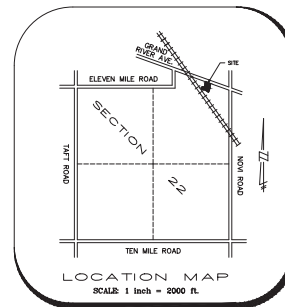
- All fire hydrants and water mains shall be installed and in service prior to above foundation building construction as each phase is built.
- All roads shall be paved and capable of supporting 35 tons prior to construction above foundation.
- Building addresses shall be posted facing the street during all phases of construction. Addresses shall be a minimum of three inches in height on a contrasting background.
- Provide 4-6" diameter concrete filled steel posts 48" above finish grade at each hydrant as required.
- Fire lanes shall be posted with "Fire Lane - No Parking" signs in accordance with Ordinance #85.99.02.

WAIVERS AND VARIANCED REQUESTED:

- ZONING ORDINANCE SECTION 3.1.25.0 - REQUEST ZBA VARIANCE FOR SIDE YARD SETBACK FROM 20 FT. TO 10 FT.
- ZONING ORDINANCE SECTION 2.27.1.0 - REQUEST ZBA VARIANCE FOR FRONT YARD AND SIDE YARD PARKING.
- ZONING ORDINANCE SECTION 3.27.1.1 - REQUEST VARIANCE FOR ABSENCE OF SIDEWALK ON FLINT STREET.
- ZONING ORDINANCE SECTION 3.27.1.D - REQUEST ZBA VARIANCE FOR FRONT YARD PARKING ALONG FLINT AND BOND STREETS.
- ZONING ORDINANCE SECTION 5.4.2 - REQUEST ZBA VARIANCE FOR SIZE OF LOADING AREA FROM 340 S.F. TO 484 S.F. AND LOADING ZONE IN SIDE YARD.
- ZONING ORDINANCE SECTION 4.19.2.F - REQUEST ZBA VARIANCE FOR DUMPSTER LOCATION LESS THAN 10 FT. FROM BUILDING.
- WAIVER REQUIRED FOR DISTANCE BETWEEN PROPOSED DRIVEWAY TO GRAND RIVER AVE. AND FLINT STREET (112' PROPOSED vs 185' REQUIRED FOR 40 MPH)



Scale: 1 inch = 100 ft.



SHEET INDEX:

- ENGINEERING PLANS:**
- COVER SHEET
 - OVERALL SITE PLAN
 - OPEN SPACE AND STORM WATER MANAGEMENT PLAN
 - FIRE TRUCK ROUTE PLAN
 - TOPOGRAPHIC SURVEY
- LANDSCAPE PLANS:**
- L-1 LANDSCAPE PLAN
 - L-2 LANDSCAPE DETAILS
- ARCHITECTURAL PLANS:**
- P-2.1 FLOORS PLAN
 - P-4.1 ELEVATIONS PLAN
 - P-4.1 ELEVATIONS PLAN (COLOR)
 - 1-3 PHOTOMETRIC PLAN

BENCHMARKS:

- BM#1 - PK NAIL AT SOUTH FACE OF POWER POLE AS SHOWN.
ELEV.= 908.03 NAVD88
- BM#2 - PK NAIL AT SOUTHEAST FACE OF POWER POLE AS SHOWN.
ELEV.= 906.18 NAVD88

SKL SEIBER KEAST LEHNER
ENGINEERING | SURVEYING
39205 COUNTRY CLUB DRIVE, SUITE C8
FARMINGTON HILLS, MI 48331
PHONE: 248.308.3331

BOUNDARY AND TOPOGRAPHIC
SURVEY PROVIDED BY:

ALPINE
ENGINEERING, INC.
CIVIL ENGINEER & LAND SURVEYOR
4800 WEST ROAD
SUITE 100
NOVI, MICHIGAN 48277
(248) 926-3701 (BUS)
(248) 926-3765 (FAX)



WAH YEE ASSOCIATES
ARCHITECTS & PLANNERS
42400 GRAND RIVER AVENUE, SUITE 202
NOVI, MICHIGAN 48225
PHONE 248.489.9160
PROJECT NO. 5118

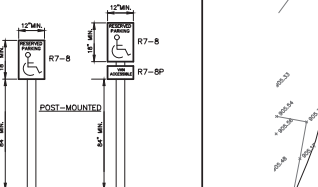
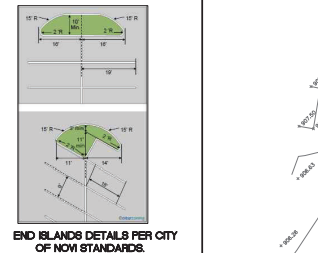
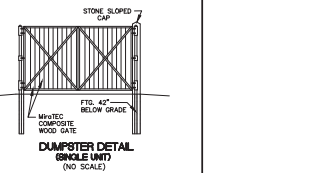
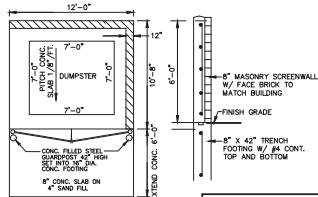
LANDSCAPE PLANS PROVIDED BY:

ALLEN DESIGN
LAND PLANNING / LANDSCAPE ARCHITECTURE
557 CARPENTER
NORTHVILLE, MICHIGAN 48167
PHONE: 248.467.4668



REVISIONS			ENGINEER'S SEAL
NO.	REVISION	DATE	
1.	PER CITY CONSULTANTS REVIEW	2-6-23	

DATE: 10-21-21 DESIGNED BY: J.M.S. JOB NUMBER: 18-012
CHECKED BY: BR. DRAWING FILE: 1-1818-CY-02



BARRIER-FREE RESERVED PARKING SIGNS
 NOTE: ACCESSIBLE PARKING SPACE SIGNS SHALL HAVE A MIN. HEIGHT AND SIZE TO PERMIT THE SPACE TO BE EASILY IDENTIFIED AND ARE ELEVATED SUCH THAT THEY SHALL NOT PRESENT A HAZARD TO PERSONS WALKING NEAR THE SIGN.

SIGNING NOTES

- ALL SIGNS SHALL HAVE A MINIMUM BOTTOM MOUNTING HEIGHT OF 7" FROM FINAL GRADE FOR GROUND MOUNTED SIGNS. WALL MOUNTED SIGNS MAY HAVE A BOTTOM MOUNTING HEIGHT OF 2".
- ALL ROADSIDE SIGNS SHOULD BE INSTALLED TWO FEET FROM THE FACE OF THE CURB TO THE NEAR EDGE OF THE SIGN.
- SINGLE SIGNS WITH NOMINAL DIMENSIONS OF 12"x14" OR SMALLER IN SIZE SHALL BE MOUNTED ON A GALVANIZED 1.6 LB 1/2" CHANNEL. MULTI-SIGN SIGNS AND/OR SIGNS WITH NOMINAL DIMENSIONS GREATER THAN 12"x14" SHALL BE MOUNTED ON A GALVANIZED 3 LB OR GREATER 1/2" CHANNEL. HEIGHT IS DICTATED BY THE WEIGHT OF THE PROPOSED SIGNS.
- TRAFFIC CONTROL SIGNS SHALL USE THE FINA STANDING ALPHABET SERIES.
- TRAFFIC CONTROL SIGNS SHALL HAVE A HIGH INTENSITY PRISMATIC (HPI) SHEETING TO MEET FINA RETROREFLECTIVITY REQUIREMENTS.

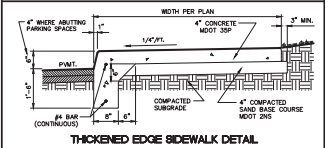
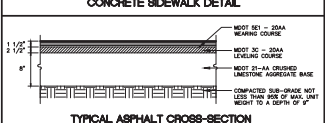
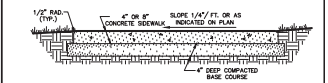
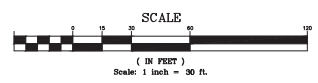
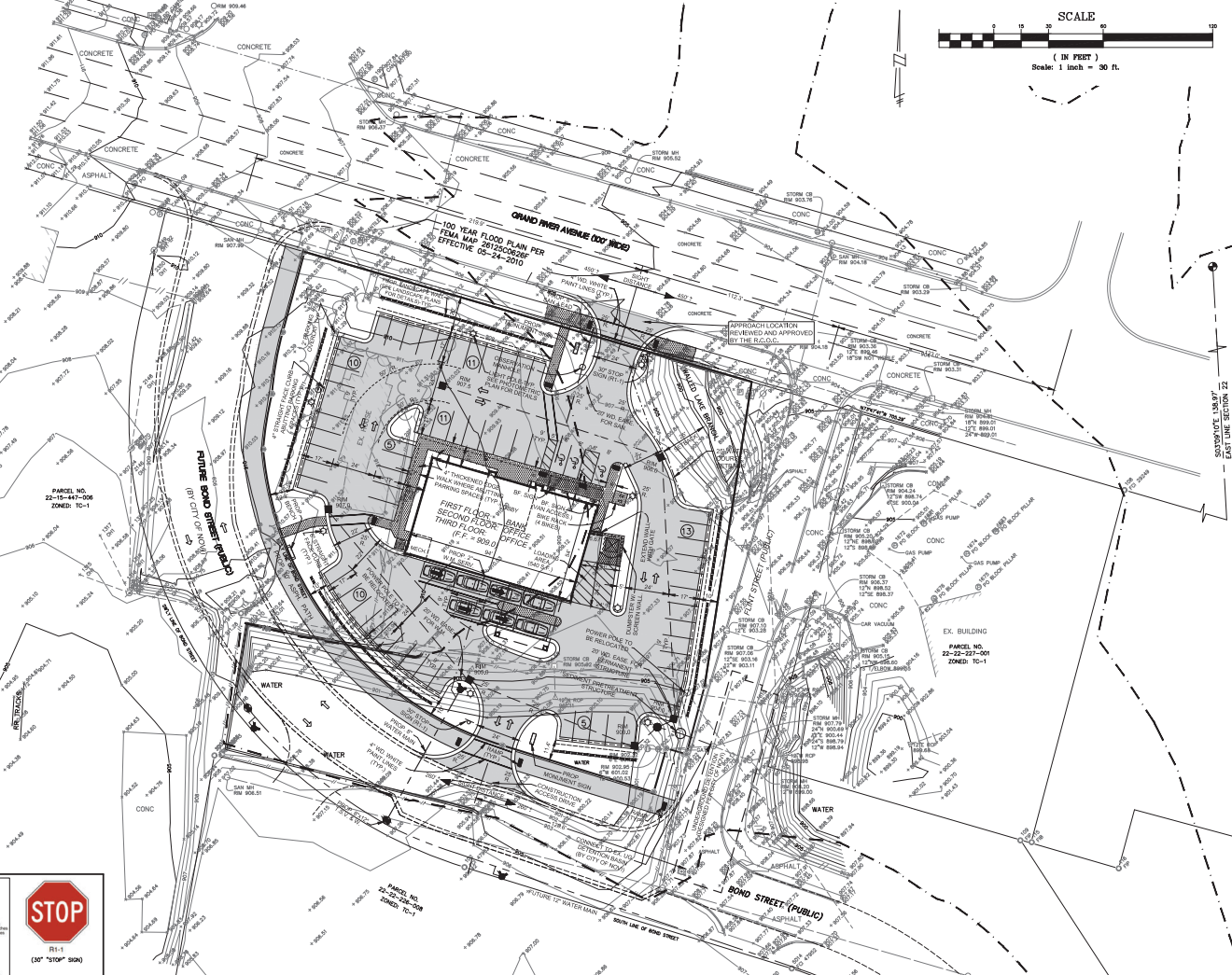
STRIPING NOTES:

- PARKING LOTS SHALL HAVE PARKING AREAS AND RAMP/PARKING MARKINGS HANDPAINTED OR PAINTED WITH BLUE LINES ACCURATELY AND NEATLY ARRANGED AS INDICATED ON THE PLAN LINES STRIPING SHALL BE APPROVED WHITE TRAFFIC PAINT COMPATIBLE WITH BITUMINOUS/CONCRETE SURFACES SUCH AS SUPERPAVEMENTS NO. 62 (PVC TYPE 11-3 OR 11-4) OR AS APPROVED BY THE ENGINEER. PAINTED AREAS SHALL BE COMPLETELY FREE PARKING AREAS. FOR THE PHYSICALLY HANDICAPPED SHALL BE PAINTED WITH BLUE PAINT FOR STRIPING. THE CURB STRIPING SHALL BE PAINTED WHITE. ALL PAINTED MARKINGS AND STRIPING SHALL BE PROVIDED IN TWO COATS.
- THE INTERNATIONAL SYMBOL FOR ACCESSIBILITY SHALL BE WHITE OR WHITE WITH BLUE BACKGROUND.
- WHEN A BARRIER FREE PARKING SPACE IS ADJACENT TO A STANDARD PARKING SPACE, BLUE AND WHITE LINES WRITING EACH OTHER SHALL BE PROVIDED.

SIGN QUANTITIES

SYMBOL	DESCRIPTION	QUANTITY
□	R1-1 30" STOP SIGN	2
□	VA BARRIER FREE SIGN	2
□	BARRIER FREE SIGN	1

NOTE: ALL TRAFFIC STRIPING SHALL COMPLY WITH CURRENT MUTCD STANDARDS.



LEGEND

EXISTING	PROPOSED	DESCRIPTION
[Symbol]	[Symbol]	PAVEMENT (ASPHALT)
[Symbol]	[Symbol]	SIDE WALK (CONCRETE)
[Symbol]	[Symbol]	CONCRETE CURB AND GUTTER
[Symbol]	[Symbol]	STORM SEWER
[Symbol]	[Symbol]	SANITARY SEWER
[Symbol]	[Symbol]	WATER MAIN
[Symbol]	[Symbol]	MANHOLE
[Symbol]	[Symbol]	CATCH BASIN W/STREAM GUARD
[Symbol]	[Symbol]	CURB INLET W/SILT SACK
[Symbol]	[Symbol]	END SECTION
[Symbol]	[Symbol]	GATE VALVE
[Symbol]	[Symbol]	HYDRANT
[Symbol]	[Symbol]	FLOOD PLAN
[Symbol]	[Symbol]	CONTOURS
[Symbol]	[Symbol]	SPOT ELEVATION
[Symbol]	[Symbol]	SURFACE DRAINAGE

- PROPOSED IMPROVEMENTS**
- MUNICIPAL SEWER TO BE PROVIDED BY CONNECTING TO AN EXISTING SANITARY SEWER LOCATED ALONG SOUTH SIDE OF GRAND RIVER AVE.
 - MUNICIPAL WATER TO BE PROVIDED BY CONNECTING TO FUTURE 12" WATER MAIN LOCATED ALONG SOUTH SIDE OF REDESIGNED BOND STREET BY CITY OF NOVI.
 - STORM WATER SHALL BE CONVEYED BY A STORM SEWER SYSTEM TO AN OFF-SITE EXISTING UNDERGROUND DETENTION BASIN DESIGNED BY CITY OF NOVI. STORAGE AND DISCHARGE SHALL CONFORM TO THE OAKLAND COUNTY DRINK WATERWORKS STANDARDS AND CITY OF NOVI STANDARDS.
 - A CITY OF NOVI RIGHT-OF-WAY PERMIT IS REQUIRED FOR WORK WITHIN ANY PUBLIC ROAD RIGHT-OF-WAY.
 - ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.
 - COMPACTED SAND BACKFILL SHALL BE PROVIDED FOR ALL UTILITIES WITHIN THE INFLUENCE OF PAVED AREAS.

FLOODPLAIN NOTE:
 THE EXISTING EFFECTIVE FLOODPLAIN MAP (FEMA 48025002R/2, DATED 5/24/2010), IS CURRENTLY BEING REVIEWED BY THE CITY OF NOVI. THE PROPOSED CITY CENTER OFFICE PLAZA BUILDING WILL BE LOCATED OUTSIDE OF THE REVISED FLOODPLAIN AFTER FEMA'S APPROVAL.

LOADING CALCULATIONS:
 LOADING AREA REQUIRED = 94' x 10' = 940 SF.
 LOADING AREA PROVIDED = 540 SF.

SITE CALCULATIONS

PARCEL AREA = 125 AC
 EXISTING ZONING = TC-1
 BUILDING HEIGHT = 47'-8"
 LOT COVERAGE = 9.37%

FIRST FLOOR
 BANK 4,423 SF. G.B.A. 1,423/150= 9.5 SPACES REQUIRED
 OFFICE 567 SF. NON USABLE AREA, NO PARKING REQUIRED

SECOND AND THIRD FLOORS
 OFFICE 4,000 SF. USABLE ARE = 4,000/222= 18 SPACES REQUIRED
 REQUIRED PER FLOOR= 36 SPACES REQUIRED

TOTAL SPACES REQUIRED= 29+36=65 SPACES
 SEE ARCHITECTURAL PLANS

GENERAL NOTES:

- ROOF TOP MECHANICAL EQUIPMENT WILL BE SCREENED BY BUILDING PARAPETS.
- BUILDING TO BE FULLY SPRINKLED.

CITY CENTER OFFICE PLAZA
 SECTION 22, TOWN 1 NORTH, RANGE 8 EAST
 CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

REVISIONS

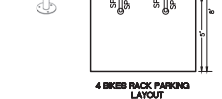
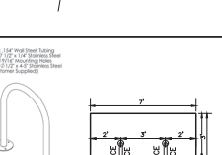
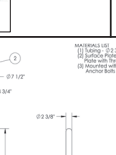
NO.	REV	DATE
1.	FOR CITY CONSULTER REVIEW	3-4-22

DATE: 10-21-21 (REMOVED BY: A.A.) JOB NUMBER: 18-012
 CHECKED BY: B.E. DRAWING FILES: 18018-012.dwg

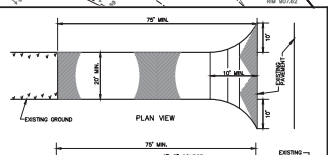
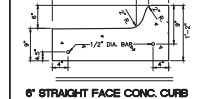
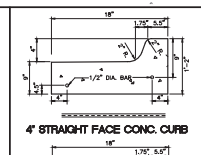
OVERALL SITE PLAN

SEIBER KEAST LEHNER
 ENGINEERING | SURVEYING
 39205 COUNTRY CLUB DRIVE, SUITE C8
 FARMINGTON HILLS, MI 48331
 PHONE: 248.308.3331

SHEET 2



SOIL CLASSIFICATIONS
 (FROM U.S.S.C. SOIL SURVEY OF OAKLAND COUNTY, MI 1980)
 59 - URBAN LAND
 The soil classification determined from the Soils Survey of Oakland County, Michigan 1980, published by the United States Department of Agriculture, Soils Conservation Service is 59-Urban Land. (Entire Parcel). Site Plan is graphical representation.



CONSTRUCTION ACCESS DRIVE MUD TRACKING MAT DETAIL
 (TO BE REMOVED PRIOR TO THE INSTALLATION OF BASE) (NOT TO SCALE)

Sanitary Basis of Design

Usage: 15,300 SF gross - OFFICE
 Equip. Single Family Units: 6.1 Units (20.40 Units / 1,000 SF)
 6.1 Total Units (REQ)

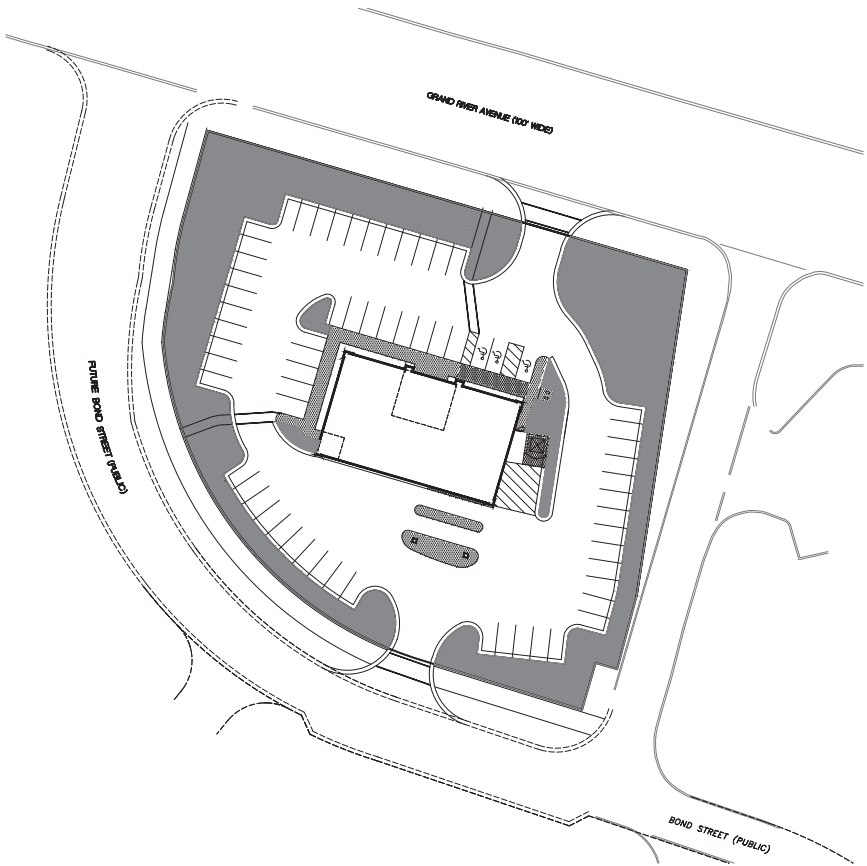
Population: 3.2 people x 6.1 units = 19.6 people

AVERAGE FLOW: 3.96 people x 100 gal/person/day = 396 gal/day = 0.0004 cfs

PEAK FACTOR: For service area population greater than 100 people (1.2 - 1.8) (AS PER 2015 IBC 410.2.1.1) = 1.2
 4.36
 For service area population less than 100 people (1.2 - 1.8) (AS PER 2015 IBC 410.2.1.1) = 1.2
 0.0004 cfs

PEAK FLOW = PEAK FACTOR x AVERAGE FLOW = 4.36 x 0.0004 cfs = 0.0017 cfs
 (CAPACITY OF A 4" PPE @ 1.40% IS 0.78 cfs)
 THEREFORE # LOAD CAPACITY IS SUFFICIENT

SANITARY BASIS OF DESIGN



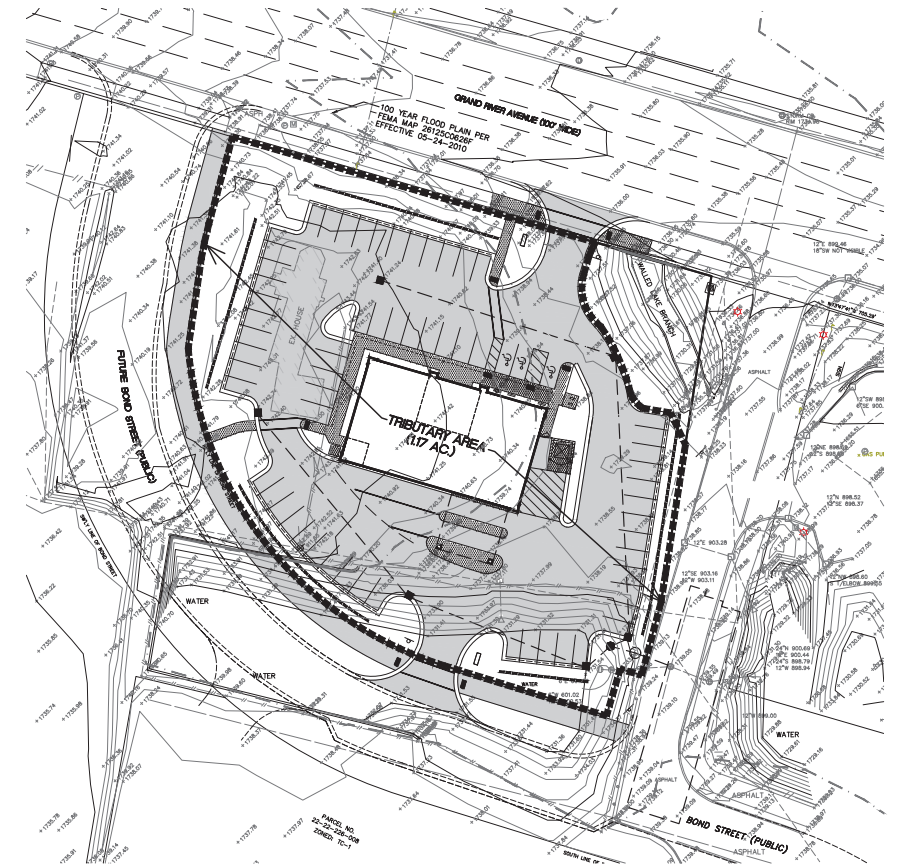
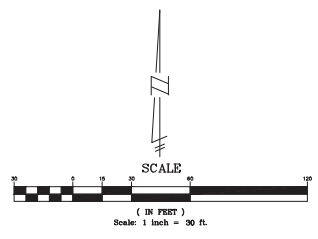
■ = OPEN SPACE

OPEN SPACE CALCULATIONS

PARCEL GROSS AREA : 1.25 AC.

OPEN SPACE REQUIRED = 15% OF GROSS AREA = 0.19 AC.

OPEN SPACE PROVIDED = 0.39 AC. = 30.5% OF GROSS AREA



STORM MANAGEMENT PLAN

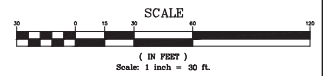
- NOTES**
1. STORM WATER GENERATED ON SITE SHALL BE COLLECTED AND DELIVERED TO EXISTING UNDERGROUND DETENTION BASIN DESIGNED BY CITY OF NOVI AS SHOWN ON THE PLAN.
 2. PROPOSED CATCH BASINS SHALL HAVE A 2' SUMPS.
 3. STORM SEWER PROFILE SHALL BE PROVIDED AT FINAL SITE PLAN.

DETERMINE DETENTION REQUIRED (100-YEAR STORM)

Qall =	0.18 cfs (0.15 cfs/AC.)
AC =	1.17 (AREA TRIBUTARY TO THE DETENTION BASIN)
C =	0.79
Qo =	Qall / (AC. x C) = 0.19
T =	(-25 + SQRT(10312.5Qo)) = 208.05 min.
Vs =	((16500 x T)(T + 25)) / (40 x Qo x T) = 13149.87 C.F./Ac. Imp.
Vt =	Vs x AC. x C = 12154.422 C.F.
TOTAL DETENTION VOLUME REQUIRED =	12,154 C.F.

C - Factor Determination
Tributary Area = 1.17

Inpervious Areas	
Sidewalks, Roads and Building	0.88 Ac. at C = 0.95
Pervious Areas	
Lawn Areas =	0.31 Ac. at C = 0.35
C Avg. =	0.79



CITY CENTER OFFICE PLAZA
SECTION 22, TOWN 1 NORTH, RANGE 8 EAST
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

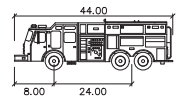
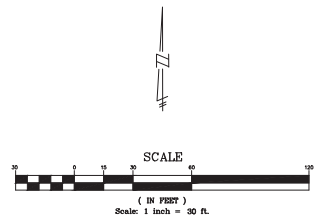
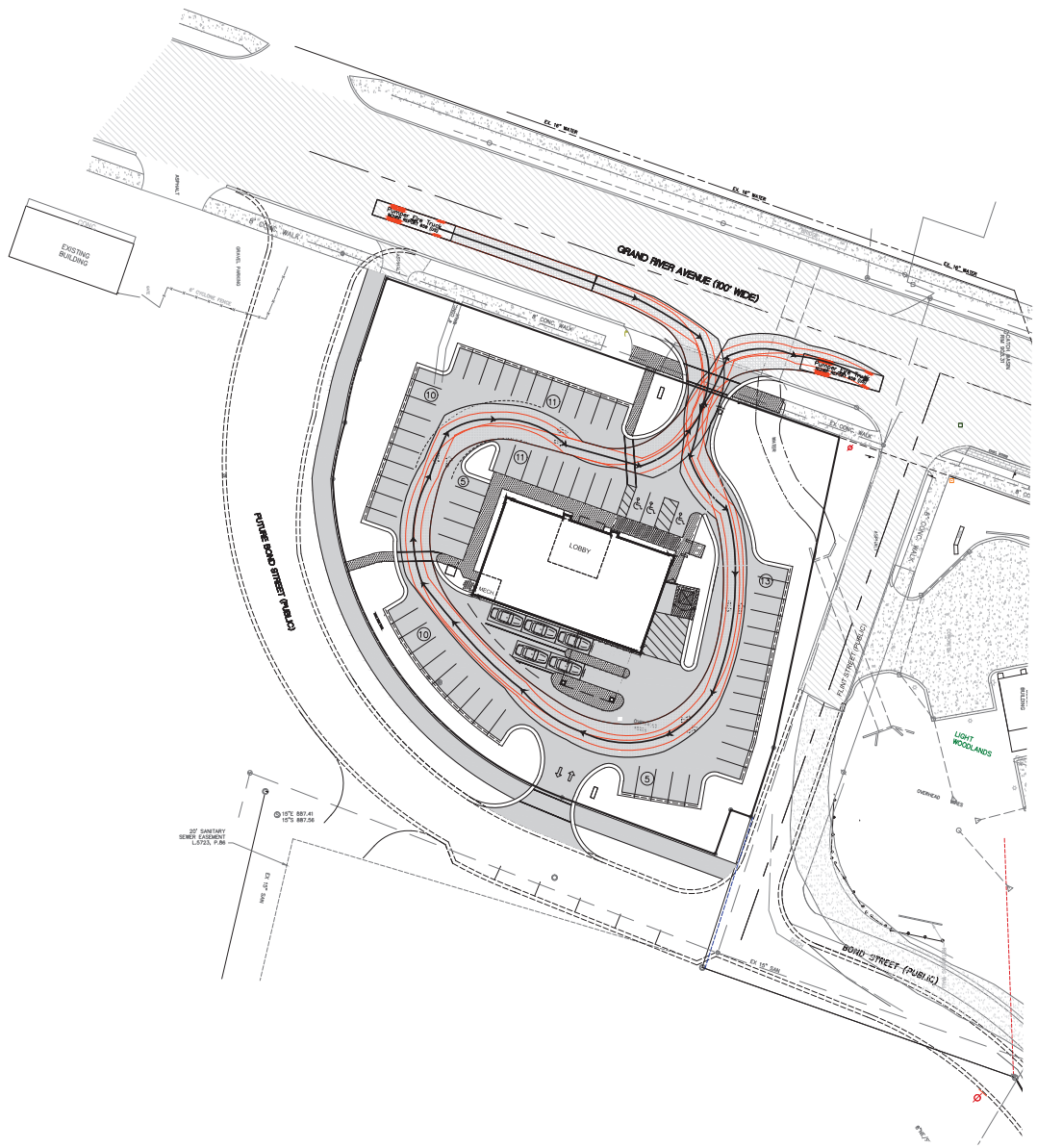
REVISIONS

NO.	ITEM	DATE
1.	PER CITY CONSULTANTS REVIEW	2-4-22

DATE: 10-21-21 | DESIGNED BY: J.A.J. | JOB NUMBER: 19-015
CHECKED BY: B.E. | DRAWING FILES: 19018-08.dwg

OPEN SPACE & STORM WATER MANAGEMENT PLAN

SKL SEIBER KEAST LEHNER SHEET
ENGINEERING I SURVEYING 3
39205 COUNTRY CLUB DRIVE, SUITE C8 FARMINGTON HILLS, MI 48331
PHONE: 248.308.3331



Pumper Fire Truck

	feet
Width	: 8.50
Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 37.8

CITY CENTER OFFICE PLAZA
 SECTION 22, TOWN 1 NORTH, RANGE 8 EAST
 CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

REVISIONS

NO.	ITEM	DATE
1.	PER CITY CONSULTANTS REVIEW	2-4-22

DATE: 10-21-21 | DESIGNED BY: J.A. | JOB NUMBER: 19-018
 CHECKED BY: B.E. | DRAWING FILE: 4-1918-AT.dwg

FIRE TRUCK ROUTE PLAN

	SEIBER KEAST LEHNER ENGINEERING SURVEYING 39205 COUNTRY CLUB DRIVE, SUITE C8 FARMINGTON HILLS, MI 48331 PHONE: 248.308.3331	SHEET 4
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LEGEND

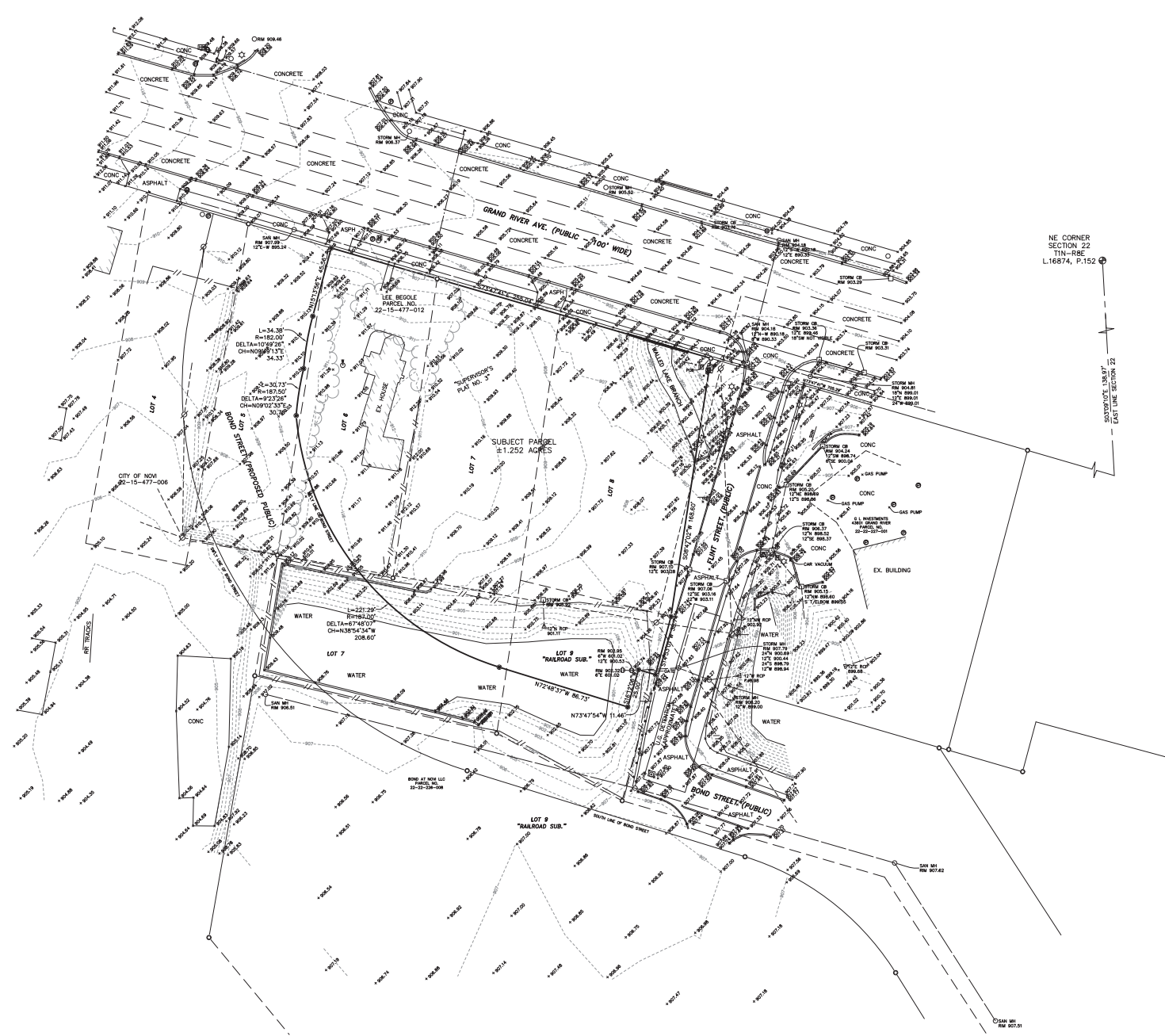
- EX. CATCH BASIN
- EX. MANHOLE
- ▷ EX. END SECTION
- ⊕ EX. OVERFLOW STRUCTURE
- EX. DOWNSPOUT/ROOF DRAIN
- ⊖ EX. CLEANOUT
- ⊕ EX. HYDRANT
- ⊖ EX. WATER SHUTOFF
- ⊕ EX. FIRE DEPT. CONNECTION
- ⊕ EX. WATER WELL
- ⊕ EX. LIGHTPOLE
- ⊕ EX. UTILITY POLE
- ⊕ EX. CITY ANCHOR
- ⊕ EX. TRAFFIC SIGNAL
- ⊕ EX. GAS SHUTOFF
- ⊕ EX. GAS VENT
- ⊕ EX. HANGHOLE
- ⊕ EX. PEDESTAL
- ⊕ EX. TRANSFORMER
- ⊕ EX. GENERATOR
- ⊕ EX. GAS METER
- ⊕ EX. ELECTRIC METER
- ⊕ EX. UTILITY MARKER
- ⊕ EX. AIR CONDITIONER
- ⊕ EX. RAILROAD SIGNAL
- ⊕ EX. SIGN
- ⊕ EX. POST/BOLLARD
- ⊕ EX. FLAPOP
- ⊕ EX. MAILBOX
- ⊕ EX. PARKING METER
- ⊕ EX. SATELLITE DISH
- ⊕ EX. SOIL BORING
- ⊕ EX. MONITOR WELL
- ⊕ FOUND IRON
- SET IRON
- EX. BOULDER
- ⊕ EX. TREE STUMP
- EX. TREE
- EX. TREE TAG & NUMBER
- EX. TREE LINE
- EX. FENCE
- EX. SANITARY SEWER
- EX. STORM SEWER
- EX. WATER MAIN
- EX. ELECTRIC CABLE
- EX. COMMUNICATION
- EX. GAS LINE
- EX. OVERHEAD LINE

DESCRIPTION:
 PART OF LOTS 6 AND 7 AND ALL OF LOT 8 OF SUPERVISOR'S PLAT NO. 37, LIBER 54A OF PLATS, PAGE 84, AND PART OF LOT 1 OF RAILROAD SUBDIVISION, LIBER 82 OF PLATS, PAGE 16, SECTION 22, T1N-R6E, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, MORE FULLY DESCRIBED AS COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 22; THENCE S00°09'17"E 158.97 FEET ALONG THE EAST LINE OF SAID SECTION 22; THENCE N73°47'41"W 700.29 FEET ALONG THE SOUTH LINE OF GRAND RIVER AVENUE (100 FEET WIDE) TO THE NORTHEAST CORNER OF LOT 8 OF SUPERVISOR'S PLAT NO. 37; SAID POINT ALSO BEING THE POINT OF BEGINNING; THENCE S08°47'02"W 168.60 FEET ALONG THE EAST LINE OF SAID LOT 8; AND THE WEST LINE OF FLINT STREET TO THE SOUTHWEST CORNER OF SAID LOT 8; THENCE S14°50'10"W 98.74 FEET ALONG THE EAST LINE OF LOT 9 OF RAILROAD SUBDIVISION; AND THE WEST LINE OF SAID FLINT STREET; THENCE THE FOLLOWING SEVEN (7) COURSES ALONG THE NORTHERLY 77-FOOT-WAY LINE OF BOND STREET: 1) N73°47'54"W 11.46 FEET, 2) S18°12'06"W 20.00 FEET, 3) N12°49'07"W 86.73 FEET, 4) S21°29' FEET ALONG A 167.00 FEET RADIUS CURVE TO THE RIGHT, WITH A CHORD BEARING N38°54'34"W 208.60 FEET, 5) S01°37' FEET ALONG A 187.50 FEET RADIUS CURVE TO THE RIGHT, WITH A CHORD BEARING N09°02'E 30.70 FEET, 6) S4°38' FEET ALONG A 182.00 FEET RADIUS CURVE TO THE RIGHT, WITH A CHORD BEARING N09°12'E 34.23 FEET, AND 7) N15°13'56"E 43.56 FEET TO A POINT ON THE SOUTH LINE OF SAID GRAND RIVER AVENUE; THENCE S73°47'41"E 255.04 FEET ALONG THE SOUTH LINE OF SAID GRAND RIVER AVENUE TO THE POINT OF BEGINNING, CONTAINING 1.252 ACRES OF LAND, MORE OR LESS.

NOTE:
 BEARINGS BASED ON MICHIGAN STATE PLANE COORDINATES, NAD83, MICHIGAN SOUTH ZONE

NOTICE:
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

NOTE:
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS OTHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PROTECT ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.



COMMERCIAL
 SITE PLANNING
 INDUSTRIAL & MULTI-UNIT
 CONSTRUCTION LAYOUT

SURVEYING
 ALTA SURVEYS
 BOUNDARY SURVEYS
 TOPOGRAPHIC SURVEYS
 PANEL SPITS

RESIDENTIAL
 SUBDIVISIONS
 MULTI-FAMILY
 CONSTRUCTION LAYOUT

ALPINE
 CIVIL ENGINEERS & LAND SURVEYORS

4892 WEST ROAD
 NOVI, MICHIGAN 48377
 (248) 906-3701 (Bx2)
 WWW.ALPINE-INC.COM

811
 Know what's below
 Call before you dig.

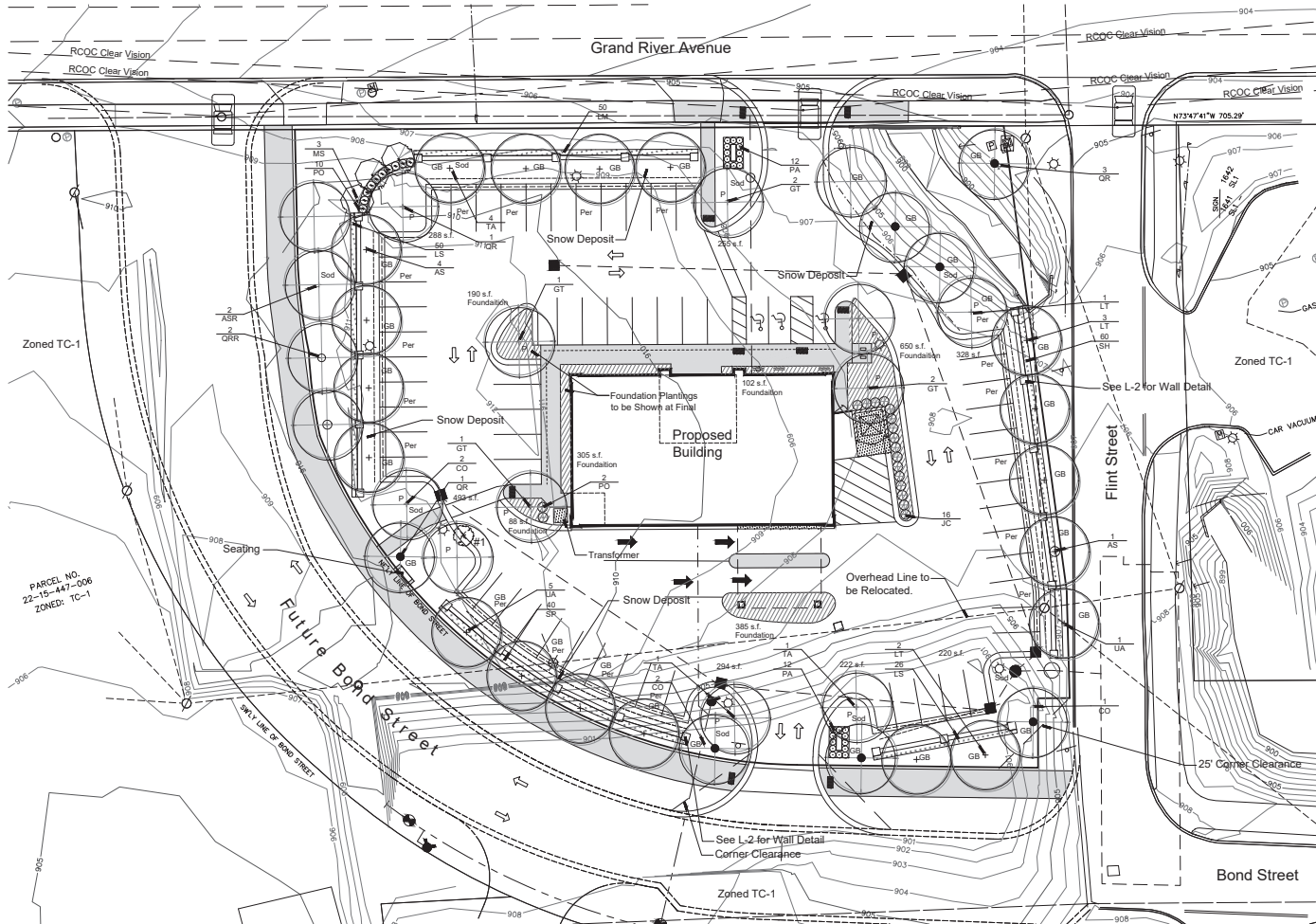
G&T MANAGEMENT COMPANY
 TOPOGRAPHIC SURVEY
 CLIENT: CITY CENTER OFFICE PLAZA
 TOWNSHIP: IN
 CITY OF NOVI, MICHIGAN
 SECTION: 22

REVISED

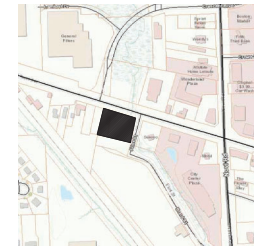
DATE: 9-16-21
 DRAWN BY: JRV
 CHECKED BY: JKH/KH

SCALE: HORIZONTAL = 1" = 30 FT.
 VERTICAL = 1" = 15 FT.

1/1
 21-127

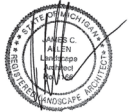


Location Map

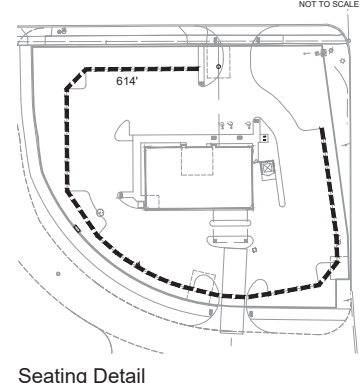


NOT TO SCALE
North

Seal:



Perimeter Parking Measurement



NOT TO SCALE

Title:
Landscape Plan

Project:
City Center
Novi, Michigan

Prepared for:
Lormax Stern Development Company, LLC
38500 Northwestern Highway, Suite 200
Bloomfield Hills, Michigan 48304

Revision: Issued:
Submission October 18, 2021
February 18, 2022

Seating Detail



Dufur Bench 493

Landscape Requirements

Existing Zoning	TC-1	Foundation Landscaping	298 LF
Greenbelt	Street Frontage Adjacent to Pkg. 453'	Landscape Required	2,384 s.f. (298' x 8')
Trees Required	18 Trees (453' / 25')	Landscape Provided	1,720 s.f.
Trees Provided	18 Trees	Woodland Replacement	
Ornamental Trees Required	30 Trees (453' / 15')	Trees Required	4 Trees
Ornamental Trees Provided	0 Trees	Trees Provided	4 Trees
Street Frontage not Adjacent to Pkg. 293'	50'	Requested Waivers:	
Less Drive Openings	243'	1. Sec 5.5.3.B.ii Greenbelt Width	
Trees Required	8 Trees (243' / 30')	2. Sec 5.5.3.D Requiring 2,384 s.f. of Foundation	
Trees Provided	8 Trees	Landscaping:	
Ornamental Trees Required	12 Trees (243' / 20')	LDM 1.e from 1 through 5, Transformer/Utility Box	
Ornamental Trees Provided	0 Trees	Screening	
Parking Lot Landscaping	27,962 s.f.	Notes:	
Vehicular Use Area	2,097 s.f. (27,962 s.f. x 7.5%)	1. No Phragmites or Japanese Knotweed Exist On-Site.	
WVA up to 50,000 s.f.	2,097 s.f.	2. Trees Shall be Planted no Closer than 10' Utility Structure Including Hydrants.	
Landscape Area Required	2,100 s.f.	3. Trees Shall not be Planted within 4' of Property Lines.	
Landscape Island Provided	10.5 Trees (2,097 s.f. / 200)		
Trees Required	11 Trees		
Trees Provided	11 Trees		
Parking Lot Perimeter Length	614 LF		
Trees Required	17.5 Trees (614' / 35')		
Trees Provided	18 Trees		

Tree List

Tan	Size	Common Name	Botanical Name	Status
1	36"	Black Walnut	Juglans nigra	Remove
Total Trees 1 Tree				
Regulated Trees Removed 1 Tree				
Replacement Required				
Trees 8" - 11" 0 trees x 1= 0 Trees				
Trees 11" - 20" 0 trees x 2= 0 Trees				
Trees 20" - 30" 0 trees x 3= 0 Trees				
Trees 30" + 1 trees x 4= 4 Trees				
Multi-Stemmed Trees (1 Tree) 0 Trees				
Replacement Required 4 Trees				

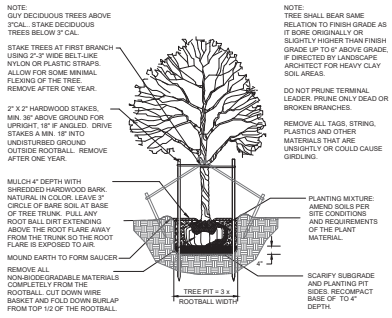
Plant List

Item #	Qty	Botanical Name	Common Name	Caliper	Spacing	Root	Height	Price	Total	Species	Genus	Name	Total
Parking Lot and Perimeter Trees													
ASR 1	1	Acer saccharum 'Green Mountain'	Sugar Maple	3.0"	as shown	B&B	\$ 4,000.00	\$ 2,000.00	12%	12%	1	1	1
CO 5	5	Calla occidentalis	Northern Hackberry	3.0"	as shown	B&B	\$ 4,000.00	\$ 2,000.00	12%	12%	1	1	1
GT 6	6	Gliricidia tomentosa var. inermis	Thicket Honeysuckle	3.0"	as shown	B&B	\$ 4,000.00	\$ 2,400.00	14%	14%	1	1	1
LT 8	8	Liquidambar styraciflua	Tupelo Tree	3.0"	as shown	B&B	\$ 4,000.00	\$ 2,400.00	14%	14%	1	1	1
MS 9	9	Morus nigra 'Spring Green'	Spring Elder Crab	2.5"	as shown	B&B	\$ 4,000.00	\$ 3,200.00	7%	7%	1	1	1
OR 5	5	Quercus rubra	Red Oak	3.0"	as shown	B&B	\$ 4,000.00	\$ 2,000.00	12%	12%	1	1	1
TA 6	6	Tilia americana 'Redmond'	Redmond Linden	3.0"	as shown	B&B	\$ 4,000.00	\$ 2,400.00	14%	14%	1	1	1
UA 6	6	Ulmus 'Pioneer'	Pioneer Elm	3.0"	as shown	B&B	\$ 4,000.00	\$ 2,400.00	14%	14%	1	1	1
42 Total Parking Lot, Perimeter Trees													
Woodland Replacement													
ASR 2	2	Acer saccharum 'Green Mountain'	Sugar Maple	2.5"	as shown	B&B	\$ 4,000.00	\$ 800.00					
ORR 2	2	Quercus rubra	Red Oak	2.5"	as shown	B&B	\$ 4,000.00	\$ 800.00					
General Plantings													
SP 18	18	Juncus sp. 'Yardew'	Kelley Juniper - 10m to hedge	as shown	B&B	SP	\$ 70.00	\$ 1,260.00					1
ULI 50	50	Liriodendron 'Big Blue'	Big Blue Liriodendron	as shown	cont	#2	\$ 15.00	\$ 750.00					1
ULI 18	18	Lonicera 'Shades of Blue'	Shades of Blue	as shown	cont	#2	\$ 15.00	\$ 1,140.00					1
PA 24	24	Pennisetum a. 'Hammond'	Hammond Fountain Grass	as shown	cont	#2	\$ 15.00	\$ 360.00					1
PD 12	12	Physalis 'Copperhead'	Copperhead Bellflower	as shown	cont	#2	\$ 50.00	\$ 600.00					1
SP 80	80	Sporobolus 'Copperhead'	Copperhead Broomrape	as shown	cont	#2	\$ 15.00	\$ 800.00					1
SP 40	40	Spiraea x. 'Sunrise Magic Carpet'	Magic Carpet Spirea	as shown	cont	24"	\$ 50.00	\$ 2,000.00					1
Irrigation													
35	4"	Shredded Hardwood Bark Mulch	Mulch	as shown	cont		\$ 60.00	\$ 1,200.00	% Nutrie	8%			15
95	500	5/8"		as shown	cont		\$ 3.00	\$ 1,500.00					
									Total				\$ 9,450.00

Sheet No.

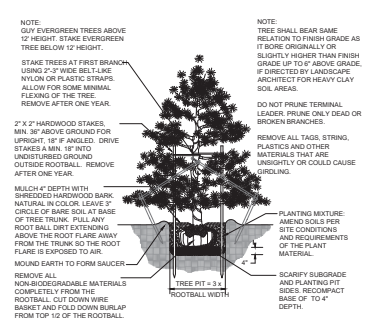
L-1





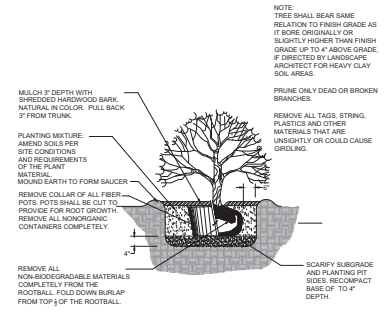
DECIDUOUS TREE PLANTING DETAIL

Not to scale



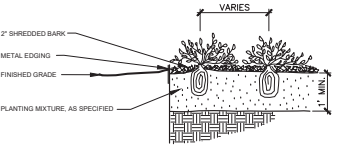
EVERGREEN TREE PLANTING DETAIL

Not to scale



SHRUB PLANTING DETAIL

NOT TO SCALE



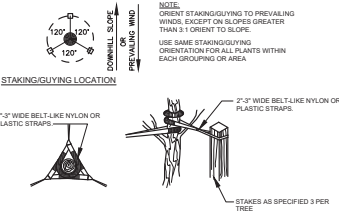
PERENNIAL PLANTING DETAIL

Not to scale

CITY OF NOVI NOTES

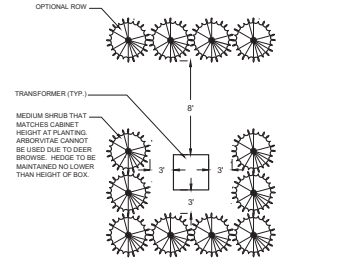
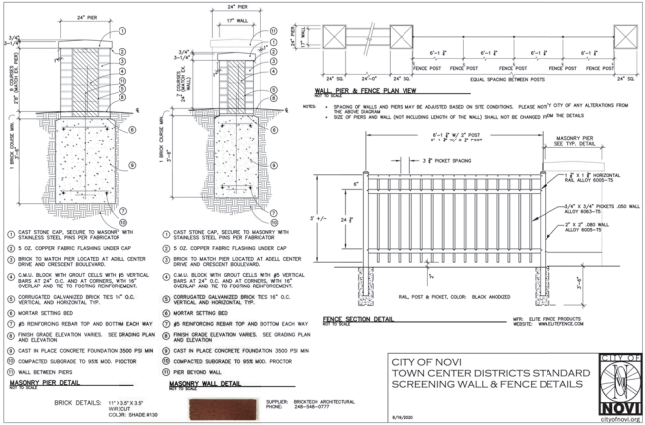
- All landscape islands shall be backfilled with a sand mixture to facilitate drainage.
- All proposed landscape islands shall be curbed.
- All landscape areas shall be irrigated.
- Overhead utility lines and poles to be relocated as directed by utility company of record.
- Evergreen and canopy trees shall be planted a minimum of 10' from a fire hydrant, and manhole, 15' from overhead wires.
- All plant material shall be guaranteed for two (2) years after City Approval and shall be installed and maintained according to City of Novi standards. Replace Failing Material Within Three Months or Next Growing Period, Whichever is Sooner.
- All proposed street trees shall be planted a minimum of 4' from both the back of curb and proposed walks.
- All tree and shrub planting beds shall be mulched with shredded hardwood bark, spread to minimum depth of 4". All lawn areas trees shall have a 4" diameter circle of shredded hardwood mulch 3" away from trunk. All perennial, annual and ground cover beds shall receive 2" of dark colored bark mulch as indicated on the plant list. Mulch is to be free from debris and foreign material, and shall contain no pieces of incompressible size.
- All substitutions or Deviations from the Landscape Plan Must be Approved in Writing by the City of Novi Prior to their installation.

NOTES:
 THE APPROXIMATE DATE OF INSTALLATION FOR THE PROPOSED LANDSCAPE WILL BE MARCH 15 - NOVEMBER 15 OF 2022 OR 2023.
 THE SITE WILL BE MAINTAINED BY THE DEVELOPER IN ACCORDANCE WITH THE STANDARDS SET FORTH IN THE CITY OF NOVI ZONING ORDINANCE. THIS INCLUDES WEEDING AND WATERING AS REQUIRED BY NORMAL MAINTENANCE PRACTICES. THIS INCLUDES ONE CULTIVATION BETWEEN JUNE-AUGUST.
 DEVELOPER SHALL BE RESPONSIBLE FOR REPLACING ANY TREES WITH UTILITY EASEMENTS THAT ARE DAMAGED THROUGH NORMAL MAINTENANCE, OR REPAIRS.
 PLANT MATERIALS SHALL BE GUARANTEED FOR 2 YEARS AND SHALL BE MAINTAINED IN ACCORDANCE WITH CITY ORDINANCES. WARRANTY PERIOD BEGINS AT THE TIME OF CITY APPROVAL. WATERING AS NECESSARY SHALL OCCUR DURING THIS WARRANTY PERIOD.



TREE STAKING DETAIL

Not to scale



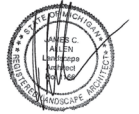
TRANSFORMER SCREENING DETAIL

Not to scale

LANDSCAPE NOTES

- All plants shall be north Midwest American region group, No. 1 grade plant materials, and shall be true to name, free from physical damage and wind burn.
- Plants shall be full, well-branched, and in healthy vigorous growing condition.
- Plants shall be watered before and after planting is complete.
- All trees must be staked, fertilized and mulched and shall be guaranteed to exhibit a normal growth cycle for at least two (2) full years following City approval.
- All material shall conform to the guidelines established in the most recent edition of the American Standard for Nursery Stock.
- Provide clean backfill soil, using material stockpiled on site. Soil shall be screened and free of any debris, foreign material, and stone.
- "Aggiform" tabs or similar slow-release fertilizer shall be added to the planting site before being backfilled.
- Amended planting mix shall consist of 1/3 screened topsoil, 1/3 sand and 1/3 compost, mixed well and spread to the depth as indicated in planting details.
- All plantings shall be mulched per planting details located on this sheet.
- The Landscape Contractor shall be responsible for all work shown on the landscape drawings and specifications.
- No substitutions or changes of location, or plant types shall be made without the approval of the Landscape Architect.
- The City of Novi's Landscape Architect shall be notified of any discrepancies between the plans and field conditions prior to installation.
- The Landscape Contractor shall be responsible for maintaining all plant material in a vertical condition throughout the guaranteed period.
- The Landscape Architect shall have the right, at any stage of the installation, to reject any work or material that does not meet the requirements of the plans and specifications, if requested by owner.
- Contractor shall be responsible for checking plant quantities to ensure quantities on drawings and plant list are the same. In the event of a discrepancy, the quantities on the plans shall prevail.
- The Landscape Contractor shall seed and mulch or sod (as indicated on plans) all areas disturbed during construction, throughout the contract limits.
- A pre-emergent weed control agent, "Premer" or equal, shall be applied uniformly on top of all mulching in all planting beds.
- All landscape areas shall be provided with an underground automatic sprinkler system.
- Sod shall be two year old "Baron/Cheridolph" Kentucky Blue Grass grown in a sod nursery on loam soil.

Seal:



Title:

Landscape Details

Project:

City Center
 Novi, Michigan

Prepared for:

Lormax Stern Development Company, LLC
 38500 Northwestern Highway, Suite 200
 Bloomfield Hills, Michigan 48304

Revision: Issued:

Submission October 18, 2021
 Submission February 18, 2022

Job Number:

21-070

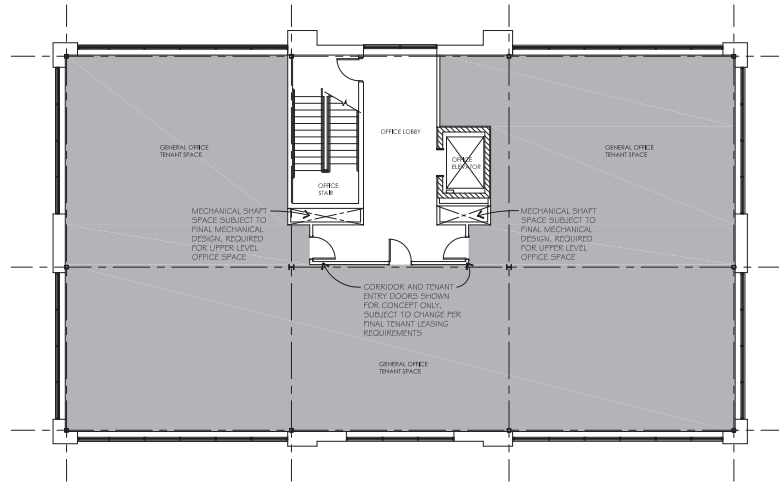
Drawn By: Checked By:

jca jca

Sheet No.

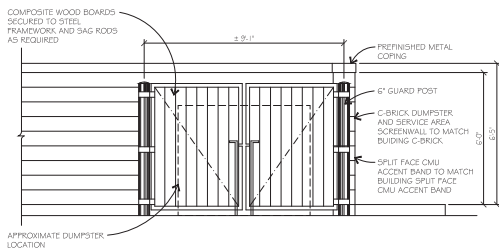
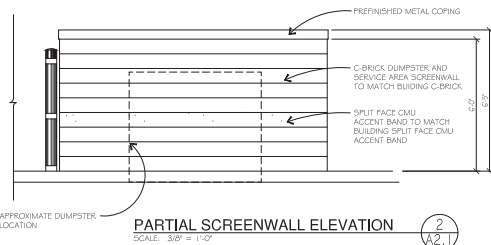


L-2



SECOND AND THIRD FLOOR PLANS

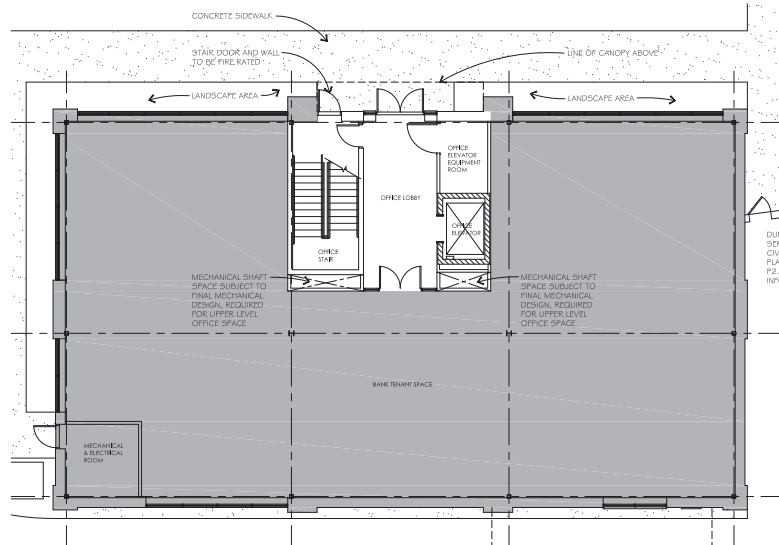
SCALE: 1/8" = 1'-0"



GATE ELEVATION

SCALE: 3/8" = 1'-0"

NOTE - SCREENWALL AND GATE DETAILS ARE SHOWN FOR CONCEPT ONLY, SUBJECT FINAL DESIGN AND ENGINEERING.



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



PARKING CALCULATIONS:

FIRST FLOOR:
 BANK: 4,423 S.F. G.D.A. = 4,423 / 150 = 29 SPACES REQUIRED
 OFFICE: 677 S.F. NON USABLE AREA, NO PARKING REQUIRED

SECOND AND THIRD FLOORS:
 OFFICE: 4,000 S.F. USABLE AREA = 4,000 / 222 = 18 SPACES REQUIRED PER FLOOR = 36 SPACES REQUIRED

TOTAL SPACES REQUIRED = 29 + 36 = 65 SPACES

NOTE: SHADED AREA INDICATES AREA REQUIRING PARKING

GENERAL NOTES:

1. ROOF TOP MECHANICAL EQUIPMENT WILL BE SCREENED BY BUILDING PARAPETS.
2. BUILDING TO BE FULLY SPRINKLED.
3. SITE SIGNS SHOWN FOR CONCEPT ONLY, TO BE SUBMITTED SEPARATELY AT A LATER DATE FROM SITE PLAN SUBMITTAL.
4. BUILDING SIGNAGE WILL BE SUBMITTED SEPARATELY AT A LATER DATE FROM SITE PLAN SUBMITTAL.
5. TRANSFORMER PROVIDED BY UTILITY COMPANY BASED ON BUILDING ENGINEERING REQUIREMENTS, HEIGHT OF TRANSFORMER MAY BE UNDER 4', BUT CAN NOT BE DETERMINED EXACTLY AT THIS PRELIMINARY STAGE.
6. SEE CIVIL ENGINEERING PLANS PREPARED BY SEIBER, KEAST ENGINEERING, L.L.C. FOR ADDITIONAL INFORMATION.



William J. Lland

CITY CENTER OFFICE PLAZA

NOVI, MICHIGAN

OWNER/DEVELOPER:

G & T MANAGEMENT
 200 RENAISSANCE CENTER, SUITE 3145
 DETROIT, MICHIGAN 48243
 PHONE : 313-259-6720
 EMAIL : GTMANAGEMENT@GMAIL.COM

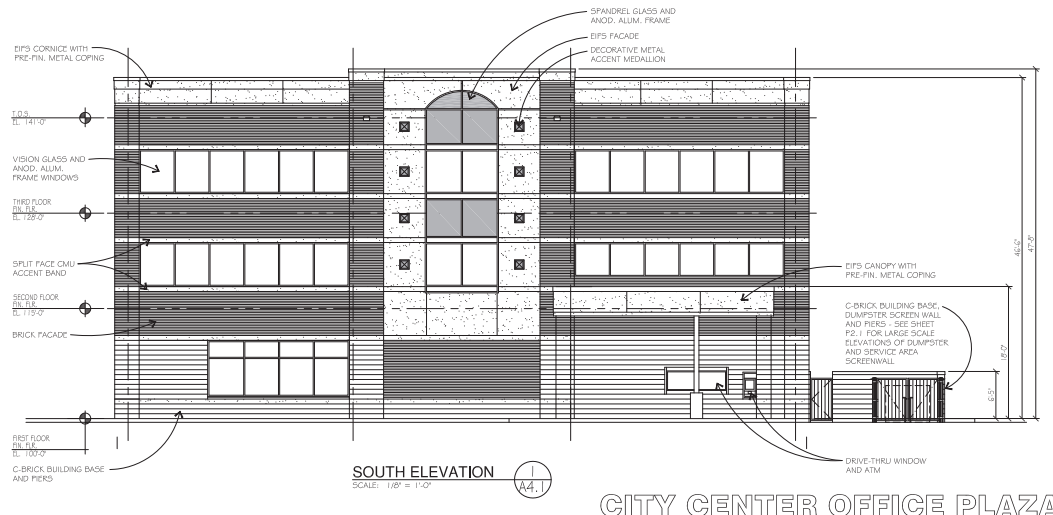
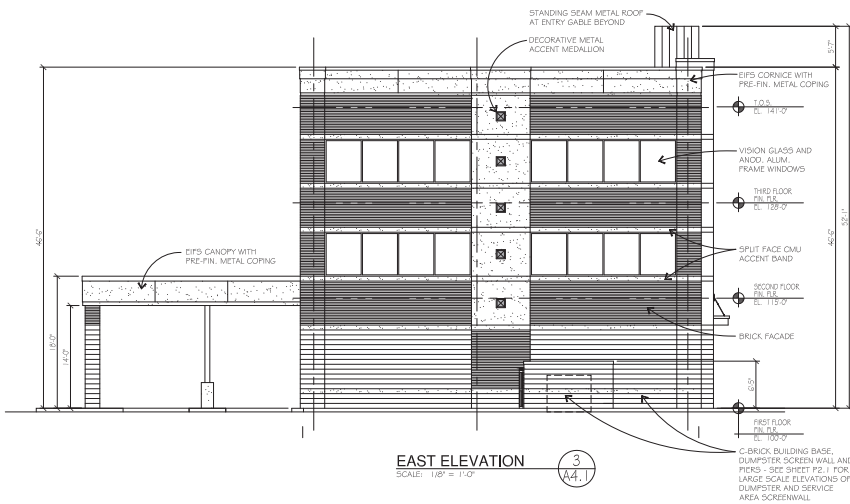
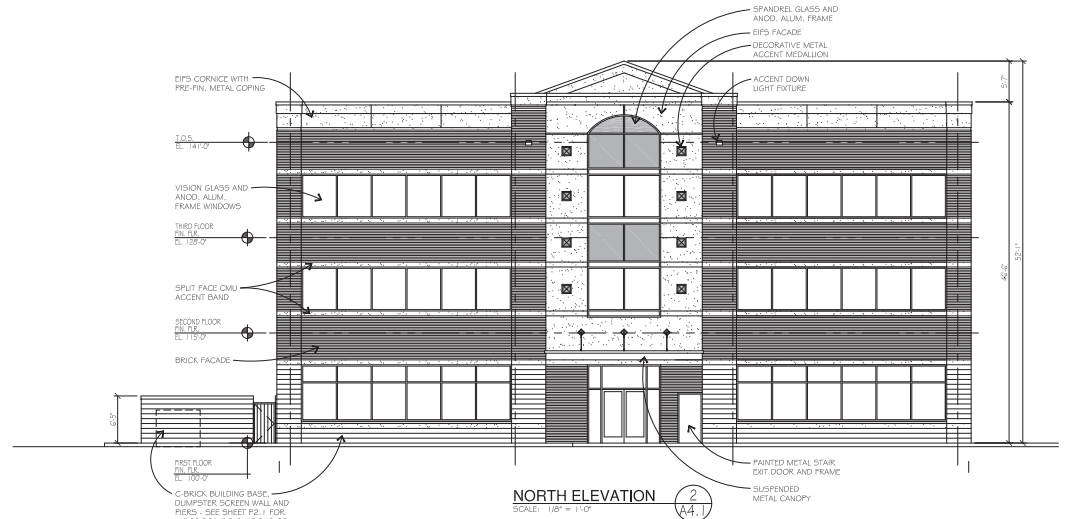
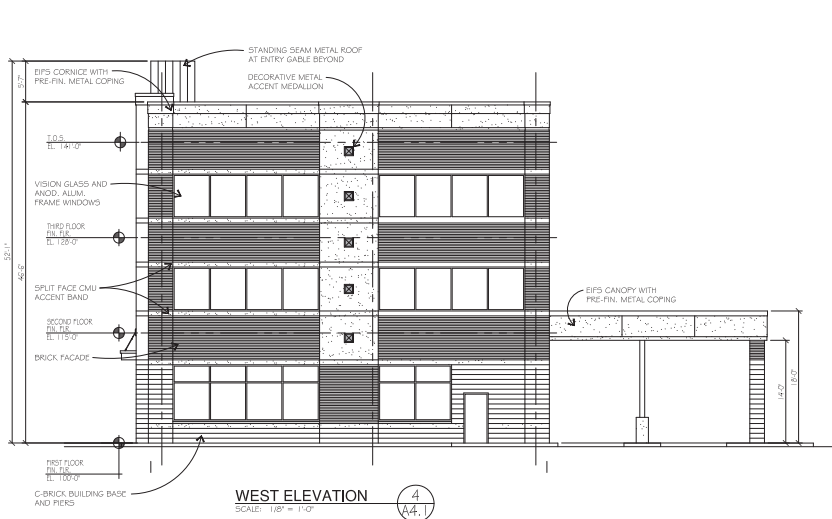


WAH YEE ASSOCIATES
 ARCHITECTS & PLANNERS

42400 GRAND RIVER AVENUE, SUITE 200
 NOVI, MICHIGAN 48275
 PHONE : 248-489-2100
 PROJECT NO. 5116

ALL design, engineering, and cost data shown or represented by the drawings are intended to provide accurate information for the design and construction of the project. It is the responsibility of the client to verify the accuracy of the information and to obtain the necessary permits and approvals from the appropriate authorities. The drawings are not to be used for any other purpose without the written consent of Wah Yee Associates.

PRELIMINARY
 NOT FOR CONSTRUCTION



MATERIAL	ALLOWABLE	PROPOSED	PERCENTAGE
BRICK	30% MIN.	982 S.F.	47.6%
C-BRICK	25%	299 S.F.	14.5%
EIFS FACADE	25%	526 S.F.	25.4%
METAL TRIM AND CANOPY	15%	56 S.F.	2.7%
SPANDREL GLASS	50%	0 S.F.	0.0%
SPLIT FACE CMU	10.0%	202 S.F.	9.8%
TOTAL		2,065 S.F.	100.0%

NOTE: TOTAL FACADE = 2,765 S.F. - VISION GLASS AND DOOR AREA OF 700 S.F. = 2,065 S.F.

MATERIAL	ALLOWABLE	PROPOSED	PERCENTAGE
BRICK	30% MIN.	982 S.F.	43.0%
C-BRICK	25%	519 S.F.	22.7%
EIFS FACADE	25%	526 S.F.	23.0%
METAL TRIM AND CANOPY	15%	56 S.F.	2.5%
SPANDREL GLASS	50%	0 S.F.	0.0%
SPLIT FACE CMU	10.0%	202 S.F.	8.6%
TOTAL		2,285 S.F.	100.0%

NOTE: TOTAL FACADE = 2,765 S.F. - VISION GLASS AND DOOR AREA OF 480 S.F. = 2,285 S.F.

MATERIAL	ALLOWABLE	PROPOSED	PERCENTAGE
BRICK	30% MIN.	1,560 S.F.	44.6%
C-BRICK	25%	624 S.F.	17.3%
EIFS FACADE	25%	616 S.F.	17.4%
METAL TRIM AND CANOPY	15%	46 S.F.	1.4%
SPANDREL GLASS	50%	144 S.F.	4.1%
SPLIT FACE CMU	10.0%	324 S.F.	9.2%
TOTAL		3,498 S.F.	100.0%

NOTE: TOTAL FACADE = 4,438 S.F. - VISION GLASS AND DOOR AREA OF 940 S.F. = 3,498 S.F.

MATERIAL	ALLOWABLE	PROPOSED	PERCENTAGE
BRICK	30% MIN.	1,505 S.F.	46.1%
C-BRICK	25%	428 S.F.	13.1%
EIFS FACADE	25%	800 S.F.	24.5%
METAL TRIM AND CANOPY	15%	76 S.F.	2.3%
SPANDREL GLASS	50%	144 S.F.	4.4%
SPLIT FACE CMU	10.0%	312 S.F.	9.6%
TOTAL		3,265 S.F.	100.0%

- GENERAL NOTES:**
- ROOF TOP MECHANICAL EQUIPMENT WILL BE SCREENED BY BUILDING PARAPETS.
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 - BUILDING SIGNAGE WILL BE SUBMITTED SEPARATELY AT A LATER DATE FROM SITE PLAN SUBMITTAL.
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 - SEE CIVIL ENGINEERING PLANS PREPARED BY SEBER, KEAST ENGINEERING, L.L.C. FOR ADDITIONAL INFORMATION.

CITY CENTER OFFICE PLAZA

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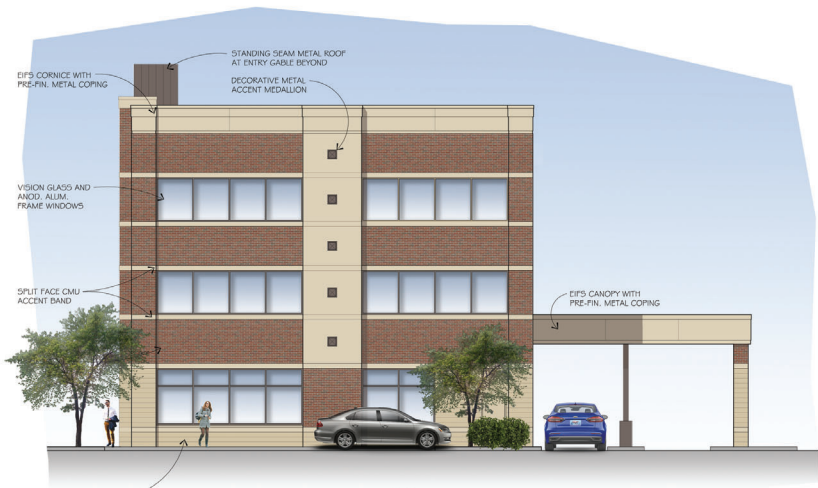


William J. Michler

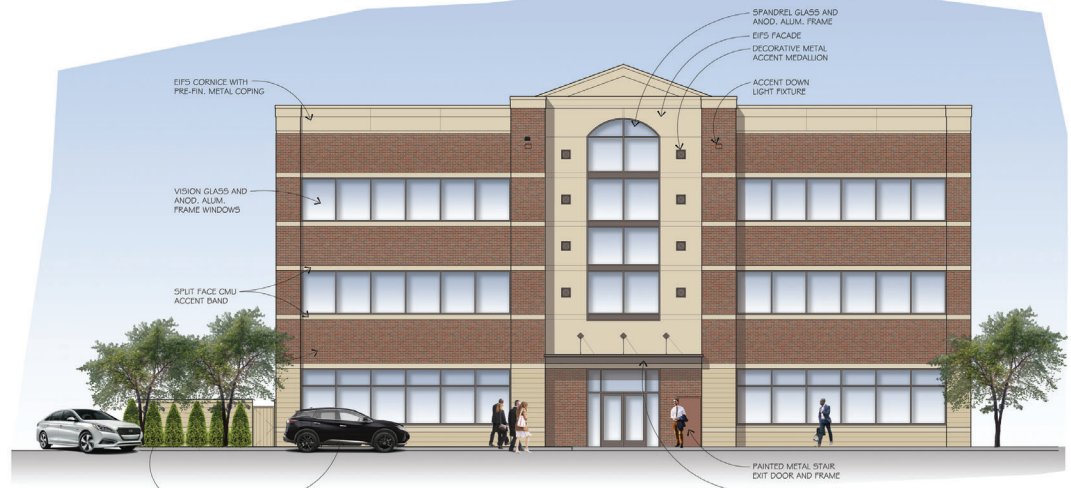


WAH YEE ASSOCIATES
ARCHITECTS & PLANNERS
42400 GRAND RIVER AVENUE, SUITE 200
NOVI, MICHIGAN 48243
PHONE: 248-489-0100
PROJECT NO. 5118

ISSUED:
PRELIMINARY SUBMITTAL 24-21
PRELIM. S.F.S.
10-15-21
REVISED PRELIM.
S.F.S. 2-18-22
PRELIMINARY
NOT FOR CONSTRUCTION
P4.1



WEST ELEVATION
SCALE: 1/8" = 1'-0"
4
A4.1



NORTH ELEVATION
SCALE: 1/8" = 1'-0"
2
A4.1



EAST ELEVATION
SCALE: 1/8" = 1'-0"
3
A4.1



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"
1
A4.1

CITY CENTER OFFICE PLAZA

NOVI, MICHIGAN

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WAH YEE ASSOCIATES
ARCHITECTS & PLANNERS
42400 GRAND RIVER AVENUE, SUITE 200
NOVI, MICHIGAN 48245
PHONE 248.489.9160
PROJECT NO. 5118

Architect, design, arrangement, and plans
indicated on these drawings are the property of Wah Yee
Associates and are hereby authorized for use
only for the project and site shown. Any other use
without the written consent of Wah Yee Associates
is prohibited. No part of these drawings shall be
reproduced or transmitted in any form or by any means
electronic, mechanical, photocopying, recording, or
by any information storage and retrieval system, without
the prior written permission of Wah Yee Associates.

ISSUED:
PRE-APPLICATION
SUBMITTAL 2-9-21
PRELIM. S.P.S.
10-13-21
REVISED PRELIM.
S.P.S. 2-10-22
PRELIMINARY
NOT FOR CONSTRUCTION

Alternates Note
THE USE OF FIXTURE ALTERNATES MUST BE
RESUBMITTED TO THE CITY FOR APPROVAL.

Ordering Note
FOR INQUIRIES CONTACT GASSER BUSH AT
QUOTES@GASSERBUSH.COM OR 734-266-6705.

Mounting Height Note
MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF
FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE
MOUNTING HEIGHT LESS BASE HEIGHT.

Drawing Note
THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE
FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN
FIELD BY OTHERS.

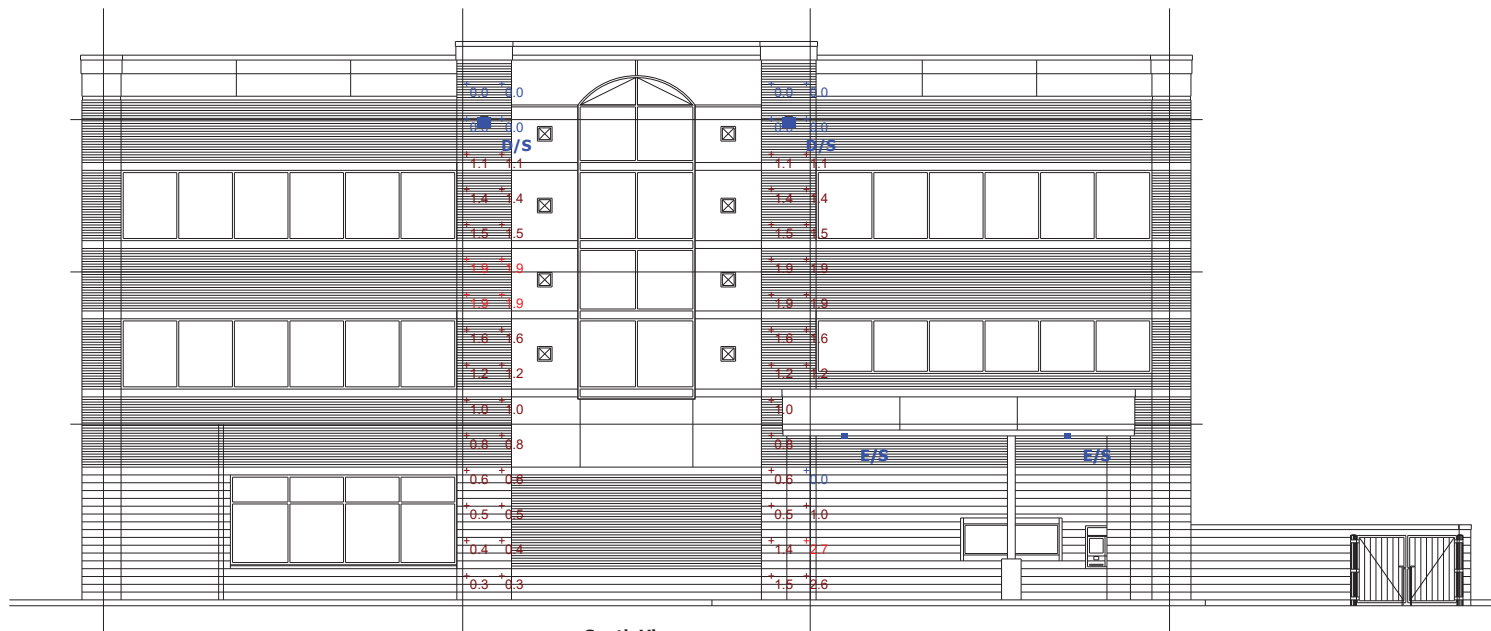
General Note
1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
2. SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
3. CALCULATIONS ARE SHOWN IN FOOT-CANDLES AT 0'-0" \pm
4. HOURS OF OPERATION: MONDAY - SATURDAY 7 A.M. TO 10 P.M.
SUNDAY 8 A.M. TO 6 P.M.
5. ELECTRICAL SERVICE TO LIGHT FIXTURES SHALL BE PLACED
UNDERGROUND.

6. FLASHING LIGHT SHALL NOT BE PERMITTED.
7. ONLY NECESSARY LIGHTING FOR SECURITY PURPOSES & LIMITED
OPERATIONS SHALL BE PERMITTED AFTER A SITE'S HOURS OF
OPERATION.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY
OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS
LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED
FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN
ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED
METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S
LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE,
TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.
MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR
INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM
SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS
RESPONSIBLE TO REVIEW FOR MICROGRAN ENERGY CODE AND
LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS
REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC
INFORMATION CONTACT GBA CONTROLS GROUP AT
ASG@GASSERBUSH.COM OR 734-266-6705.



South View
Scale - 1" = 5ft

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Mounting Height
	D/S	4	Travis	SA77 LED P1 R52 10000 RWOLT GS	SA77 LED R52 10000 RWOLT GS Small (DESIGNATED AS SECURITY FIXTURE)	LED	1	1228	0.9	11.2	11'-0"
	E/S	4	Lithonia Lighting	LDM6 40/20 LDM6A LD	60 W LUM. 4000K 750LM CLEAR WHITE SURFACE REFLECTOR, CRIB FIXTURE	LED	1	2241	0.9	29.25	14'-6"
	F/S	2	Lithonia Lighting	LDM6 40/07 LDM6A LD	60 W LUM. 4000K 750LM CLEAR WHITE SURFACE REFLECTOR, CRIB FIXTURE	LED	1	670	0.9	9.91	11'-0"

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
NORTH PIERS	+	1.0 fc	2.0 fc	0.0 fc	N/A	N/A	0.5:1
SOUTH PIERS	+	1.0 fc	2.7 fc	0.0 fc	N/A	N/A	0.4:1
NORTH CANOPY	+	5.1 fc	5.5 fc	4.6 fc	1.2:1	1.1:1	0.9:1
PARKING LOT	+	1.3 fc	5.3 fc	0.4 fc	13.3:1	3.3:1	0.2:1
PROPERTY LINE	+	0.2 fc	0.4 fc	0.0 fc	N/A	N/A	0.5:1
SOUTH CANOPY	+	8.4 fc	10.1 fc	6.9 fc	1.5:1	1.3:1	0.8:1
LOADING AREA	x	1.2 fc	1.5 fc	1.0 fc	1.5:1	1.2:1	0.8:1



North View
Scale - 1" = 5ft

PLANNING REVIEW



cityofnovi.org

PLAN REVIEW CENTER REPORT

Planning Review

CITY CENTER OFFICE PLAZA

JSP 21-06

March 14, 2022

PETITIONER

City Center Office Plaza, LLC

REVIEW TYPE

Revised Preliminary Site Plan

PROPERTY CHARACTERISTICS

Section	15	
Site Location	South of Grand River Avenue, west of Novi Road: parts of 22-15-477-011 and 22-15-477-012;	
Site School	Novi Community School District	
Site Zoning	TC-1: Town Center One	
Adjoining	North	TC: Town Center
	East	TC-1: Town Center One
	West	TC-1: Town Center One
	South	TC-1: Town Center One
Current Site	Vacant (parcel 12 former Lee BeGole house)	
Adjoining Uses	North	Vacant
	East	Commercial: City Center Plaza
	West	Industrial
	South	Future Multifamily Development
Site Size	1.25 Acres	
Plan Date	February 6, 2022	

PROJECT SUMMARY

The subject property is approximately 1.25 acres and is located west of Flint Street, south of Grand River Avenue (Section 15). The applicant is proposing a three-story office building with a bank on the first floor and general office on the upper floors (15,300 square feet total). The site improvements include surface parking and a two-lane drive through for the bank use on the south side of the building. Site access is from Grand River Avenue on the north and the future Bond Street extension on the south.

BACKGROUND

The applicant has an agreement with City Council which involves a property exchange and plans for the City to complete the Bond Street extension, and replacement of the stormwater management pond with an underground facility. That agreement is contingent on the applicant receiving site plan approval for the development of the subject property. As noted in the Engineering review letter, the City does not have a schedule for work to begin on the Bond Street extension. Should the applicant begin construction on this project prior to the Bond Street construction, the developer may be required to furnish temporary access in the location of the future road, extend water main to the site, and other utility work.

RECOMMENDATION

Approval of Preliminary Site Plan is **recommended**. **Planning Commission's approval of Preliminary Site Plan and Storm Water Management Plan is required. Variances will require approval by the Zoning Board of Appeals.**

ORDINANCE REQUIREMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. **Please see the attached chart for information pertaining to ordinance requirements.** Items in **bold** below must be addressed and incorporated as part of the Final Site Plan submittal:

1. Development Amenities (Sec. 3.27.1 L): The Ordinance states all sites must incorporate amenities such as exterior lighting, paved activity nodes, outdoor furniture, and planters in accordance with Town Center Study Area. One bench is proposed along the sidewalk on the west side of the property. **Additional amenities should be provided within the open space areas to enhance the pedestrian environment.**
2. Parking Setbacks (Sec. 3.1.25.D): 20 feet required; approximately 10-12.4 feet proposed; **If the rear and side yards did not abut a street a 10-foot setback would be permitted. However, because the property will be bound by streets on all four sides, they are each required to have a 20-foot parking setback. The applicant will request a ZBA variance for the east, west and south yards.**
3. Parking Screening (Sec. 3.27.1.D): Surface parking areas must be screened by either a 2.5 ft. brick wall or a semi-transparent screening or a landscaped berm from all public ROW. **The applicant has proposed a 2.5 feet brick wall, but it does not adequately screen the full parking lot. If the plan is not revised to meet the code, a landscape waiver will be required. Landscape review suggests hedges could be provided between the wall sections to provide additional screening to meet the intent of the ordinance.**
4. Parking along non-residential collector (Sec. 3.27.1.D): Parking is not allowed in the front yard or the exterior side yard of non-residential collectors. The applicant is proposing parking in exterior side yards along Flint and Bond Streets. **The subject property is surrounded on all sides by roads, including three sides with non-residential collectors which restricts the possibility of parking only in rear yards. Staff is in support of the request for a ZBA variance due to these unique circumstances.**
5. Total Parking Required and Proposed: The proposed development would require a total of 65 parking spaces according to the uses proposed. The site plan proposes 65 spaces.
6. Loading Area Location (Sec. 3.27.1 H and Sec. 5.4.2): All loading areas in TC-1 shall be in rear yards, or in the case of double-fronted lots, an interior side yard. The location may be approved the Planning Commission if the location is outside the side yard setback and will not disrupt the flow of pedestrian and vehicular traffic. **Staff supports the request for a waiver for the location due to the unusual shape of the lot and because there is no true rear yard as the building is surrounded on all sides with roads.**
7. Loading Space Area (Sec. 5.4.2): Loading space area should be provided in the ratio of 10 sq. ft. per front foot of the building. For the proposed building, 940 square feet of loading area is required, approximately 540 square feet of loading space is proposed. The loading area has a depth of 24 feet. **Staff conditionally supports the request for a ZBA variance from this requirement as the applicant indicates office users do not require large delivery vehicles and the loading area provided is sufficient for the needs of the future uses. However, the applicant should confirm a typical UPS or FEDEX-type delivery vehicle will be able to utilize the zone without blocking the bank drive through lanes.**
8. Loading Area Screening (Sec. 5.4.2.B): Loading area must be screened from view from adjoining properties and from the street. The landscape plan shows screening vegetation on the Grand River

side of the loading area, and the building screens to the west. **Juniper plantings are now proposed on the east side of the loading area. Please indicate the height of the plantings to confirm they will be tall enough to effectively screen the area from Flint Street.**

9. Sidewalk along Bond and Flint Street (Sec. 3.27.1 I): Sidewalks along non-residential collectors are required to be 12.5 feet wide. The applicant is reflecting the City's Bond Street plans adjacent to their site, including the portion that has been completed, which indicates a 10-foot pathway on the north side of Bond Street. Since that is part of a City project that element will not require a variance.

The absence of any sidewalk along Flint Street will require a ZBA variance. The applicant indicates sidewalk construction would impact the watercourse in the northeast corner of the property, and that the small site does not allow room for a sidewalk to be provided.

10. Sidewalk to Adjacent Areas (Sec. 3.27.1 I): The ordinance requires direct pedestrian access between buildings and adjacent areas. A pedestrian path is shown on the north side of the building to the sidewalk on Grand River and a sidewalk connection is now provided to the pathway on Bond Street.

11. Woodland Trees: One regulated woodland tree was removed by the City when the former house site was cleared. The applicant shows four woodland replacement trees will be planted on the northwest side of the site. **These woodland trees shall be protected by a conservation easement. Show the easement boundary on Final Site Plans.**

12. Exterior Signage: Exterior Signage is not regulated by the Planning Division or Planning Commission. Sign permit applications that relate to construction of a new building or an addition to an existing building may submitted, reviewed, and approved as part of a site plan application. In that case, the proposed signs shall be shown on the Preliminary Site Plan. Alternatively, an applicant may choose to submit a sign application to the Building Official for administrative review after Site plan approval. Following Preliminary Site Plan approval, any application to amend a sign permit or for a new or additional sign shall be submitted to the Building Official. Please contact the Ordinance Division 248.735.5678 for information regarding sign permits.

13. Landscape Waivers: Please refer to list of landscape waivers identified in Landscape review letter.

14. Planning Review Chart: **Please refer to Planning Review chart for additional minor comments that needs to be addressed for further clarification.**

OTHER REVIEWS

- a. Engineering Review: Additional comments to be addressed with Final Site Plan. Engineering is currently recommending approval conditional upon coordination with the City for Bond Street realignment.
- b. Landscape Review: Landscape review has identified waivers required. Refer to review letter for more comments. **Landscape recommends conditional approval if the required waivers are granted by the Planning Commission.** Additional comments to be addressed with Final Site Plan.
- c. Wetlands Review: A Wetlands Buffer Authorization is required for the proposed impacts to regulated wetland setbacks. Additional comments to be addressed with Final Site Plan. Wetlands recommend approval of the Preliminary Site Plan.
- d. Woodlands Review: See landscape review letter for comments.
- e. Traffic Review: **Traffic recommends conditional approval if the waivers variances identified are requested and granted approval.** See review letter for additional details.
- f. Facade Review: The proposed building is in full compliance with the Ordinance. Façade recommends approval.
- g. Fire Review: Additional comments to be addressed with Final Site Plan. Fire recommends conditional approval.

NEXT STEP: PLANNING COMMISSION MEETING

This Site Plan will be scheduled to go before the Planning Commission for consideration on **April 13, 2022**. Please provide the following via email by **April 7, 2022**:

1. Revised Preliminary Site Plan submittal in PDF format (maximum of 10MB). **NO CHANGES MADE.**
2. A response letter addressing ALL the comments from ALL the review letters and a request for waivers/variances as you see fit.
3. A color rendering of the Site Plan and Building (optional, to be used for Planning Commission presentation).

ZONING BOARD OF APPEALS MEETING

If the Planning Commission approves the site plan, the applicant should then seek Zoning Board of Appeals variances for any required items noted. The application can be found at this [link](#). Please call 248-347-0459 for meeting and deadline schedules.

FINAL SITE PLAN SUBMITTAL

After receiving the Preliminary Site Plan approval, please submit the following for Final site plan review and approval

1. **Six sets** of Final Site Plan (24" x 36", folded) addressing all comments from Preliminary review
2. Response letter **addressing all comments and refer to sheet numbers where the change is reflected**
3. [Final Site Plan Application](#)
4. [Final Site Plan Checklist](#)
5. Engineering Cost Estimate
6. Landscape Cost Estimate
7. [Other Agency Checklist](#)
8. [Hazardous Materials Packet](#) (Non-residential developments)
9. [Non-Domestic User Survey](#) (Non-residential developments)
10. [No Revision Façade Affidavit](#) (if no changes are proposed for Façade – if changes are proposed include **7 Sets** of plans)
11. Legal Documents as required
12. Drafts of any legal documents (note that off-site easements need to be executed and any on-site easements need to be submitted in draft form before stamping sets will be stamped)

ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER

After receiving Final Site Plan approval, please submit the following for Electronic stamping set approval:

1. Plans addressing the comments in all of the staff and consultant review letters in PDF format.
2. Response letter addressing all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

STAMPING SET APPROVAL

Stamping sets are still required for this project. After having received all of the review letters from City staff the applicant should make the appropriate changes on the plans and submit **10 size 24" x 36" copies with original signature and original seals,** to the Community Development Department for final Stamping Set approval.

SITE ADDRESSING

A new address is required for this project. The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found by clicking on this [link](#).

Please contact the Ordinance Division 248.735.5678 in the Community Development Department with any specific questions regarding addressing of sites.

STREET AND PROJECT NAME

This project requires approval from the Street and Project Naming Committee. Please contact Ben Peacock (248-347-0579) in the Community Development Department for additional information. The application can be found by clicking on this [link](#).

PRE-CONSTRUCTION MEETING

A Pre-Construction meeting is required for this project. Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0484 or lbell@cityofnovi.org.



Lindsay Bell, AICP, Senior Planner



PLANNING REVIEW CHART: TC-1 - Town Center-1 District

Review Date: March 14, 2022
Review Type: Revised Preliminary Site Plan
Project Name: JSP21-06 City Center Office Plaza
Location: Parcels 22-15-477-011, 22-15-477-012
Plan Date: February 6, 2022
Prepared by: Lindsay Bell, AICP, Senior Planner
E-mail: lbell@cityofnovi.org; **Phone:** (248) 347-0484

- **Bold:** Items that need to be addressed by the applicant with next submittal
- **Bold and Underline:** Planning Commission waiver or ZBA variance required
- *Italics:* Notes to be noted

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan <i>(adopted July 26, 2017)</i>	TC Commercial	Town Center - 1	Yes	
Town Center Area Study	This site is in study area boundary for Town Center Area study adopted in 2014		Yes	<i>Pedestrian amenities required</i>
Zoning <i>(Effective Jan. 8, 2015)</i>	Town Center-1	Bank with drive through, office	Yes	<i>Offices and Financial institutions principal permitted uses</i>
Phasing	Show proposed phasing lines on site plan if applicable. Describe scope of work for each phase. Each phase should be able to stand on its own with regards to utilities and parking	Phasing is not proposed.	NA	
Height, bulk, density and area limitations				
Frontage on a Public Street <i>(Sec. 5.12)</i> <i>(Sec. 6.3.2.A)</i>	Frontage upon a public street is required	Frontage on Grand River Avenue and Bond Street	Yes	
Access To Major Thoroughfare <i>(Sec. 5.13)</i>	Access to major thoroughfare is required, unless the property directly across the street between the driveway and major thoroughfare is either multi-family or	Access to Grand River	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	non-residential			
Open Space Area for TC1 (Sec. 3.27.1.F)	15% (permanently landscaped open areas and pedestrian plazas).	1.25 acre – 8,167.5 sf open space required 17,424 sf indicated	Yes?	Only one bench is shown that would fulfill the intent of the “open space” requirement
Maximum % of Lot Area Covered (By All Buildings) (Sec. 3.6.2 D)	No Maximum	9.37%	Yes	
Building Height (Sec.3.1.26.D)	5 stories or 65 ft, whichever is less	3 stories, 52' 1" at entry gable	Yes	
Building Setbacks (Sec 3.1.26 D) and (Sec. 3.27.1.C)				
Arterials: Front (Grand River Ave) Exterior side Yard (Bond Street, Flint Street) 50 feet minimum from all exterior lot lines 15 feet minimum for front side, for interior lot lines	50 feet minimum from all exterior lot lines 15 feet minimum for front side, for interior lot lines	Front: 85 ft.	Yes	All lot lines are interior as abut TC districts
Non-residential collectors and local streets	0 feet min Interior: lot lines abutting TC district lots.	South: 55 ft. East: 72 ft. West: 70 ft.	yes	Flint and Bond streets non-residential collectors
Parking Setback (Sec 3.1.25.D)				
Front (north)	20 ft.	20 ft.	Yes	
Exterior Side Yard (east)	20 ft.	10 ft.	No	<u>ZBA Variance required</u>
Exterior Side Yard (west)	20 ft.	12.4 ft.	No	<u>ZBA Variance required</u>
Exterior Side Yard (south)	20 ft.	10 ft.	No	<u>ZBA Variance required</u>
Note To District Standards (Sec 3.6.2)				
Exterior Side Yard Abutting a Street (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback	Exterior side yard on all sides	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	equal to front yard.			
Minimum lot area and width (Sec 3.6.2.D)	Except where otherwise provided in this ordinance, the minimum lot area and width, maximum percentage of lot coverage shall be determined by the requirements set forth.	Several variances needed for parking setbacks	Yes	
Yard setbacks (Sec 3.6.2.H&L)	If site abuts a residential zone, buildings must be set back at least 3' for each 1' of building height, but in no case can be less than 20' setback	Does not abut residential zoning	NA	
Wetland/Watercourse Setback (Sec 3.6.2.M)	A setback of 25 ft. from wetlands and from high watermark course shall be maintained	Walled Lake Branch on NE corner – 25 foot setback indicated	Yes	See wetland letter for detailed comments
Parking setback screening (Sec 3.6.2.P)	Required parking setback area shall be landscaped per sec 5.5.3.	Screening wall shown in front of parking bays	Yes?	Refer to Landscape review for more details.
Modification of parking setback requirements (Sec 3.6.2.Q)	The Planning Commission may modify parking setback requirements based on its determination according to Sec 3.6.2.Q.		NA	Planning Commission may grant setback reductions, however parking setbacks do not qualify in this case because the total area of setbacks on the site would be reduced below the minimum setback area requirements
TC-1 District Required Conditions (Sec 3.27)				
Site Plans (Sec. 3.27.1.A.)	Site area under 5 acres: Requires Planning Commission approval; Site area over 5 acres: Requires City Council approval upon Planning Commission recommendation	1.25 acres	Yes	<i>Planning Commission approval required</i>
Surface parking lot screening (3.27.1 D)	Surface parking areas must be screened by either a 2.5 ft. brick wall, semitransparent screening or a	Screening wall shown in front of parking bays	Yes	Refer to Landscape review for more details.

Item	Required Code	Proposed	Meets Code	Comments
	landscaped berm from all public ROW (access easement for private roads)			
	For TC-1, No front yard or side yard parking on any non-residential collector.	Bond and Flint Streets non-residential collectors	No	<u>ZBA Variance required</u>
Architecture/Pedestrian Orientation (3.27.1 E)	No building in the TC-1 district shall be in excess of one-hundred twenty-five (125) feet in width, unless pedestrian entranceways are provided at least every one-hundred twenty-five (125) feet of frontage.	94' width	Yes	
Façade materials (Sec. 3.27.1 G)	All sides of the building and accessory buildings must have the same materials. Façade materials may deviate from brick or stone with PC approval.	Elevations provided	Yes	
Parking, Loading, Signs, Landscaping, Lighting, Etc (Sec. 3.27.1 H)	Off-street parking counts can be reduced by the number of on-street parking adjacent to a use	On-street parking is not proposed	NA	
	PC may allow parking requirement reduction when parking areas serve dual functions.	Not proposed	NA	
	Special assessment district for structured park	Not proposed	NA	
Sidewalks required (Sec. 3.27.1 I)	For TC-1 only, Sidewalks required along non-residential collector to be 12.5 ft. wide.	No sidewalk shown on Flint Street frontage; sidewalk in ROW of Bond Street is 10' asphalt	No	<u>Variance required for absence of sidewalk on Flint Street</u>
	Direct pedestrian access between all buildings and adjacent areas	Sidewalk shown to Grand River and west of building to Bond St	Yes	
Bicycle Paths (Sec. 3.27.1 J)	Bike paths required to connect to adjacent		NA	10 ft pathway on Bond Street serves as bike path

Item	Required Code	Proposed	Meets Code	Comments
	residential & non-residential areas.			
Development amenities (Sec. 3.27.1 L)	All sites must incorporate amenities such as exterior lighting, paved activity nodes, outdoor furniture, and planters in accordance with Town Center Study Area.	One bench proposed along Bond Street sidewalk	No?	Any additional amenities that could be provided?
Combination of use groups within a single structure (Sec. 3.27.1 M) (Sec.3.27.2.B)	Additional regulations per Sec. 3.27.1.M and 3.27.2.B apply if combination of uses proposed in same building	Residential uses not proposed	NA	
Street and Roadway Rights-Of-Way (Sec. 3.27.1 N)	Nonresidential collector and local streets shall provide ROWs consistent with DCS standards		Yes	
Parking, Handicap Parking and Bike Requirements				
Required Parking Calculation (Sec. 5.2.12) (Sec. 4.82.2)	Banks 1:150 SF GFA. 4,423 sf/150 = 29 spaces. Office Use: 1:222 GLA. 8,000 sf/222 = 36 spaces.	65 spaces required 65 spaces proposed	Yes	
Barrier Free Spaces <i>Barrier Free Code</i> <i>*No deviations since this is an ADA requirement</i>	For 70 spaces, 3 spaces required 2 standard accessible and 1 van accessible	2 van accessible and 1 car accessible are proposed	Yes	
Minimum number of Bicycle Parking (Sec. 5.16.1)	minimum of 4 spaces	4 spaces proposed	Yes	
Parking Lot Design Requirements (Sec. 5.3.2.)				
Parking Space Dimensions and Maneuvering Lanes	- 90° Parking: 9 ft. x 19 ft. - 24 ft. two way drives - 9 ft. x 17 ft. parking	All appear to be 9 ft. x 17 ft. - 9 ft. x 17 ft. parking	Yes	See traffic review for further comments

Item	Required Code	Proposed	Meets Code	Comments
(Sec. 5.3.2)	spaces allowed as long as detail indicates a 4" curb at these locations - 60° 9 ft. x 18 ft.	spaces allowed as long as detail indicates a 4" curb at these locations		
Parking lot entrance offset (Sec. 5.3.6)	Parking lot entrances must be set back 25' from any single-family residential district.	Subject property does not abut single-family residential district.	NA	
End Islands (Sec. 5.3.12)	<ul style="list-style-type: none"> - End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 ft. wide, have an outside radius of 15 ft., and be constructed 3 ft. shorter than the adjacent parking stall 	Requires additional dimensions	No?	Refer to Traffic Comments
Parking stall located adjacent to a parking lot entrance (public or private) (Sec. 5.3.13)	- Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	Appears to comply	Yes	
Barrier Free Space Dimensions <i>Barrier Free Code</i>	<ul style="list-style-type: none"> - 8' wide with an 8' wide access aisle for van accessible spaces - 8' wide with a 5' wide access aisle for regular accessible spaces 	8' wide spaces with an 8' wide or 5' access aisle are provided	Yes	
Barrier Free Signs <i>Barrier Free Code</i>	One sign for each accessible parking space.	Signs indicated	Yes	
Bicycle Parking General requirements (Sec. 5.16)	<ul style="list-style-type: none"> - No farther than 120 ft. from the entrance being served - When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple 	Shown NE of main entrance	Yes	Fix bike rack detail in FSP submittal to remove 35" height reference

Item	Required Code	Proposed	Meets Code	Comments
	locations - Spaces to be paved and the bike rack shall be inverted "U" design - Shall be accessible via 6 ft. paved sidewalk			
Bicycle Parking Lot layout (Sec 5.16.6)	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double	Detail shown Sheet 2	Yes	
Loading Space (Sec. 5.4.2.)	TC District: loading space shall be provided in the rear yard (or in the interior side yard beyond the side yard setback for double frontage lots)	Loading area shown in side yard		
Loading Space Area (Sec. 5.4.2) In the ratio of 10 sq. ft. per front foot of building.	Ratio of 10 sq. ft. per front foot of building. 94'x10 = 940 SF required	Loading area 540 sf	No	<u>ZBA Variance required for size of the loading zone</u>
Loading Space Screening (Sec. 5.4.2 B)	Loading area must be screened from view from adjoining properties and from the street.	Screening indicated on Grand River side (north) Building screens on the west, evergreen hedge proposed on east	Yes	
Dumpster Sec 4.19.2.F	<ul style="list-style-type: none"> - Located in rear yard - Attached to the building or no closer than 10 ft. to building if not attached - Not located in parking setback (20 ft. setback required) - Away from Barrier free Spaces 	<ul style="list-style-type: none"> - Located in loading area, exterior side yard, - Within 6.7 feet of building 	Yes	<u>ZBA variance for location less than 10 feet from building not required as screen wall is attached to the building</u>

Item	Required Code	Proposed	Meets Code	Comments
Dumpster Enclosure Sec. 21-145. (c) Chapter 21 of City Code of Ordinances	<ul style="list-style-type: none"> - Screened from public view - A wall or fence 1 ft. higher than height of refuse bin - And no less than 5 ft. on three sides - Posts or bumpers to protect the screening - Hard surface pad. - Screening Materials: Masonry, wood or evergreen shrubbery 	Enclosure appears to be proposed – materials match the building	Yes	
Drive-through Lanes (Sec. 5.3.11)				
Drive-through Lanes Separation (Sec. 5.3.11.A,C)	Drive-through lanes shall be separate from the circulation routes & lanes necessary for ingress to & egress from the property	They are separated.	Yes	
Drive-through setbacks (Sec. 5.3.11.A,B)	Drive through shall follow parking setback requirements and applicable parking lot landscaping requirements	Drive-through conforms to the parking setbacks	Yes	
Bypass Lane for Drive-through (Sec. 5.3.11.D)	Drive-through facilities shall provide 1 bypass lane, min. of 18 ft. in width, unless otherwise determined by the Fire Marshal	A lane is provided - 24 feet.	Yes	
Width & Centerline Radius of Drive-through Lanes (Sec. 5.3.11.E,F,H)	Drive-through lanes shall have a minimum 9 ft. width, centerline radius of 25 ft. and a minimum length of 19 ft.	Appears to comply	Yes	
Drive-Thru Stacking Spaces (Sec. 5.3.11.I)	Three vehicles inclusive of the vehicle at the window per lane.	Stacking shown as required	Yes	
Drive-through Lane Delineated (Sec. 5.3.11.G)	Drive-through lanes shall be striped, marked, or otherwise delineated	Striping not shown	Yes	Indicate how lanes will be delineated
Lighting and Photometric Plan (Sec. 5.7)				

Item	Required Code	Proposed	Meets Code	Comments
Intent (Sec. 5.7.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spill-over onto adjacent properties & reduce unnecessary transmission of light into the night sky	Lighting Plan provided	Yes	
Lighting Plan (Sec. 5.7.2 A.i)	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures	Provided	Yes	
Building Lighting (Sec. 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.	Provided	Yes	
Lighting Plan (Sec.5.7.2 A.ii)	Specifications for all proposed & existing lighting fixtures	3 spec sheets shown	Yes	
	Photometric data	Shown	Yes	
	Fixture height	Shown	Yes	
	Mounting & design	Shown	Yes	
	Glare control devices	Shown	Yes	
	Type & color rendition of lamps	Shown	Yes	
	Hours of operation	Provided	Yes	Daytime hours indicated
Required Conditions (Sec. 5.7.3.A)	Light pole height not to exceed maximum height of zoning district (65 ft. for TC)	25 feet Building mounted @ 41 feet	Yes	
Required Conditions (Sec. 5.7.3.B&G)	<ul style="list-style-type: none"> - Electrical service to light fixtures shall be placed underground - Flashing light shall not be permitted - Only necessary lighting for security purposes & limited operations shall 	Notes have been added	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	be permitted after a site's hours of operation			
Security Lighting (Sec. 5.7.3.H) Lighting for security purposes shall be directed only onto the area to be secured.	- All fixtures shall be located, shielded, and aimed at the areas to be secured. - Fixtures mounted on the building and designed to illuminate the facade are preferred.	Note provided	Yes	
Required Conditions (Sec.5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1	3.3:1	Yes	
Required Conditions (Sec. 5.7.3.F)	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps	LED	Yes	
Min. Illumination (Sec. 5.7.3.K)	Parking areas: 0.2 min	0.4 fc	Yes	
	Loading & unloading areas: 0.4 min	0.5 fc	Yes	
	Walkways: 0.2 min	0.3 fc	Yes	
	Building entrances, frequent use: 1.0 min	3.6 fc	Yes	
	Building entrances, infrequent use: 0.2 min	0.7 fc	Yes	
Max. Illumination adjacent to Non-Residential (Sec. 5.7.3.K)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	0.5 fc max	Yes	
Cut off Angles (Sec. 5.7.3.L)	When adjacent to residential districts: - All cut off angles of fixtures must be 90° - maximum illumination at the property line shall not exceed 0.5 foot candle		NA	
Building Code and Other Requirements				

Item	Required Code	Proposed	Meets Code	Comments
Accessory Structures (Sec. 4.19)	-Each accessory building/structure shall meet all setback requirements for the zoning district in which the property is situated -Shall meet the façade ordinance standards	Transformer shown on west side of building – less than 4' height	Yes	
Roof top equipment and wall mounted utility equipment Sec. 4.19.2.E.ii	All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	Screening note indicated	Yes?	Include any rooftop screening in future submittals
Exterior Building Wall Façade Materials (Sec. 5.15)	Region 1 level façade	Appears to comply	Yes?	
Building Code	Building exits must be connected to sidewalk system or parking lot.	Sidewalks shown on the plans	Yes	
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	No	Once new Parcel ID is assigned include it in site plan submittals
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).	Mostly provided. Additional information requested in this and other review letters	No	Provide additional information as requested in all reviews
Economic Impact	- Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied, if	Not provided	No?	Provide requested information for Planning Commission consideration

Item	Required Code	Proposed	Meets Code	Comments
	known)			
Signage See link below (Chapter 28, Code of Ordinances)	- Signage if proposed requires a permit. - Signage is not regulated by the Planning Commission or Planning Division.	Information is not provided	NA	<u>Contact Maureen Underhill regarding sign permits 248-735-5602</u>
Property Address	The applicant should contact the Building Division for an address prior to applying for a building permit.	One is not required at this time.	No	<u>Submit address application after Final Site Plan approval.</u>
Project and Street Naming Committee	Some projects may need approval from the Street and Project Naming Committee.	Not applicable	NA	
Future Easements	- ROW - Conservation - Utilities			TBD

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4, and 5 of the zoning ordinance for further details.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

November 30, 2021

Engineering Review

City Center Plaza
JSP21-0006

Applicant

G & T Management

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: South side of Grand River Avenue, between Flint Street and future Bond Street
- Site Size: +/-1.25 acres
- Plan Date: 10/21/2021
- Design Engineer: Seiber, Keast Engineering, LLC

Project Summary

- Construction of an approximately 15,300 square-foot office building and associated parking. Site access would be provided via public roadways.
- Water service would be provided by an 8-inch extension from a future 12-inch water main along the south side of future Bond Street. A 2-inch domestic lead would be provided to serve the building, along with a single hydrant.
- Sanitary sewer service would be provided by an extension from the existing 8-inch sanitary sewer along the south side of Grand River Avenue. A 6-inch lead would be provided to serve the building, along with a monitoring manhole.
- Storm water would be collected by a single storm sewer collection system and discharged to an existing off-site underground detention system provided by the City of Novi Flint Street project.

Recommendation

Approval of the Preliminary Site Plan is recommended, with items to be addressed at Final Site Plan submittal.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11 of the Code of Ordinances, the Storm Water Management Ordinance and the Engineering Design

Manual with the following exceptions, which can be addressed at Final Site Plan submittal:

General

1. **Please be advised the City does not yet have a schedule for work to begin on future Bond Street. Timing of that project is subject to change at any time. In the event City Center Plaza begins work prior to the Bond Street project, the developer may be required to furnish temporary access in the location of the future road, extend water main for the purpose of serving the site, etc.**
2. Provide a minimum of two ties to established section or quarter section corners. Only one is shown, currently.
3. At least one of the referenced benchmark must be a City-established benchmark, which can be found on the City's website at this location: <https://novi.maps.arcgis.com/apps/webappviewer/index.html?id=5ce841f86197461c9f146e1330330bcf>
4. **Only at the time of the printed Stamping Set submittal**, provide the City's standard detail sheets for water main (5 sheets), sanitary sewer (3 sheets), storm sewer (2 sheets), and paving (2 sheets). The most updated details can be found on the City's website at this location: <https://cityofnovi.org/services/public-works/engineering-division/engineering-standards-and-construction-details>
5. Please resubmit the Non-Domestic User Survey form for sanitary sewer flow with questions 6, 8, 9, and 11 completed. Question 6 can use reasonable estimates of operations data.
6. A right-of-way permit will be required from the City of Novi and Oakland County.
7. The sight distance measurements shall be minimum of 450 ft in each direction for the Grand River driveway (40 mph multi-lane road) and minimum of 260 ft in each direction for the Bond Street driveway (assumed 25 mph two-lane road).
8. A same-side driveway spacing **Waiver**, granted by the Planning Commission, may be required for the proposed location of the Grand River driveway with respect to Flint Street to the east (114' proposed vs. 185' required for 40 mph).
9. Provide a note that compacted sand backfill (MDOT sand Class II) shall be provided for all utilities within the influence of paved areas, and illustrate and label on the profiles, once provided.
10. Provide a construction materials table on the Utility Plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
11. Provide a utility crossing table indicating that at least 18-inch vertical clearance will be provided, or that additional bedding measures will be utilized at points of conflict where adequate clearance cannot be maintained.

12. Where the minimum 18-inch clearance at utility crossings cannot be achieved, provide a prominent note stating the substandard clearance and that proper bedding/encasement will be determined by the inspecting engineer.
13. Provide a note stating if dewatering is anticipated or encountered during construction, then a dewatering plan must be submitted to the Engineering Division for review.
14. Generally, all proposed trees shall remain outside utility easements. Where proposed trees are required within a utility easement, the trees shall maintain a minimum 5-foot horizontal separation distance from any existing or proposed utility. The hackberry tree on the west side of the Bond Street driveway is proposed about 3 feet from the proposed water main and shall be relocated.
15. The light pole proposed near the hydrant will be located in a utility easement and will require a License Agreement.
16. Install a backflow prevention Reduced Pressure Zone Assembly (RPZ) with an ASSE 1013 listing approval at each tap to the public water supply. A minimum clearance of 12-inches measured from the bottom of pressure relief valve to the finished landscaped grade shall be required. Provide a detail showing the RPZ installation setup and height above grade. If backflow preventer is to be enclosed, provide a detail of the enclosure with required drainage outlets. Show all locations on a site plan. A plumbing permit is required for the installation of the backflow preventer. Installation of the backflow preventer shall be in such a manner as to not require blowing out the system through the backflow preventer. Drain ports and blow out ports shall be included. Any deviations from these requirements must be approved through the Novi Water & Sewer Division Cross Connection Control Specialist (248-735-5661).

Water Main

17. Show a 20-foot-wide water main easement, centered on the proposed water main and including the hydrant.
18. Per current EGLE requirement, provide a profile for all proposed water main 8-inch and larger.
19. If required by the Fire Marshal, provide a minimum 6-inch fire lead for the building with a unique shut-off valve.
20. **Only once no further design changes are anticipated**, three (3) sealed sets of revised utility plans along with the Michigan Department of Environment, Great Lakes & Energy (EGLE) permit application for water main construction, the Streamlined Water Main Permit Checklist, and electronic utility plan should be submitted to the Engineering Division for review. Utility plan sets shall include only the cover sheet, any applicable utility sheets, and the standard detail sheets.

Sanitary Sewer

21. Provide a 20-foot wide access easement to the monitoring manhole from the right-of-way (rather than a public sanitary sewer easement).
22. Provide a sanitary sewer basis of design for the development on the utility plan sheet.
23. Note on the construction materials table that 6-inch sanitary leads shall be a minimum SDR 23.5.
24. Provide a note on the utility plan stating the sanitary lead will be buried at least 5 feet deep where under the influence of pavement.
25. The sanitary lead shall have a minimum slope of 1.0%.

Storm Sewer

26. Revise "storm control structure" label on last storm structure prior to off-site discharge to "pretreatment structure" or similar.
27. Label proposed pipe lengths, materials, and slopes.
28. A minimum cover depth of 3 feet shall be maintained over all proposed storm sewer.
29. Provide a 0.1-foot drop in the downstream invert of all storm structures where a change in direction of 30 degrees or greater occurs.
30. Match the 0.80 diameter depth above invert for pipe size increases.
31. Storm manholes with differences in invert elevations exceeding two feet shall contain a 2-foot deep plunge pool.
32. Provide profiles for all storm sewer 12-inch and larger.
33. Label all inlet storm structures on the profiles. Inlets are only permitted in paved areas and when followed by a catch basin within 50 feet.
34. Label the 10-year HGL on the storm sewer profiles, and ensure the HGL remains at least 1-foot below the rim of each structure.
35. Illustrate all pipes intersecting storm structures on the storm profiles.
36. Provide a schedule listing the casting type, rim elevation, diameter, and invert sizes/elevations for each proposed, adjusted, or modified storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.
37. Show and label all roof conductors, and show where they tie into the storm sewer.

Storm Water Management Plan

38. The Storm Water Management Plan (SWMP) for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the Engineering Design Manual.
39. **Discharge is to the existing, off-site underground detention system just to the southeast of the subject parcel, which was installed as part of the City of Novi Flint Street project. This existing system was designed to provide full 100-year detention for the subject parcel. Thus, no additional detention will be required on-site.**

40. **Provide all calculations from the existing underground detention system on the plan set. Please contact the City's public design engineer, Mark Koskinen with AECOM, at (248) 794-3905.**
41. As part of the Storm Drainage Facility Maintenance Easement Agreement, provide an access easement for maintenance over the pretreatment structure from the Flint Street right-of-way.
42. Provide manufacturer's details and sizing calculations for the pretreatment structure on the plans. Provide drainage area and runoff coefficient calculations specific to the area tributary to each treatment structure. The treated flow rate should be based on the 1-year storm event intensity (~1.6 In/Hr). Higher flows shall be bypassed.

Paving & Grading

43. Per the City of Novi Zoning Ordinance, Section 5.3.2, maneuvering lane width may be reduced to minimum 22 feet, face of curb to face of curb. The curving lane just southwest of the building measures approximately 20.5 feet from edge of stripe to face of curb and must be revised. Consider a larger radius on the landscape island and adjacent sidewalk to widen the lane.
44. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed.
45. The pedestrian pathway is required along the Bond Street frontage.
46. Provide a minimum of 6 spot elevations where the sidewalks/pathways cross each driveway (one at each corner and two in the center of the driveway on each side of the pathway). Spot elevations shall be provided to demonstrate a level landing adjacent to each side of the pathway crossing.
47. The sidewalks/pathways shall be striped through the drive approaches. Also, provide spot grades to verify the maximum 2.0% cross-slope is being maintained along the walks through the approaches.
48. Revise the sidewalk cross-sections to indicate a maximum cross-slope of 1/4" per foot (2%).
49. Provide spot elevations at the intersection of the proposed Bond Street pathway with the existing Grand River pathway.
50. Detectable warning plates are required at all barrier free ramps, hazardous vehicular crossings and other areas where the sidewalk is flush with the adjacent drive or parking pavement. The barrier-free ramps shall comply with current MDOT specifications for ADA Sidewalk Ramps. Provide the latest version of the MDOT standard detail for detectable surfaces.
51. Verify the slopes along the ingress/egress routing to the building from the barrier-free stalls. All barrier-free stalls shall comply with Michigan Barrier-Free regulations.
52. Provide at least 3-foot of buffer distance between sidewalks and any fixed objects, including hydrants and irrigation backflow devices. Include a note on the plan where the 3-foot separation cannot be provided.
53. **Show proposed grades for all adjusted sanitary, water, and storm structures.**

54. Site grading shall be limited to 1V:4H (25-percent), excluding landscaping berms.
55. The City standard straight-faced curb (MDOT F-4 curb detail) shall be provided. Remove details in favor of City standard paving details.
56. Provide top of curb/walk and pavement/gutter grades to indicate height of curb adjacent to parking stalls or drive areas.

Flood Plain

57. **As noted on the site plan, the existing effective floodplain map is currently being revised and is awaiting approval by FEMA.**

Soil Erosion and Sediment Control

58. A SESC permit is required. A full review has not been completed at this time. The review checklist detailing all SESC requirements is attached to this letter. Please address the comments below and submit a SESC permit application under separate cover. The application can be found on the City's website at <http://cityofnovi.org/Reference/Forms-and-Permits.aspx>.

The following must be submitted with the Final Site Plan:

59. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**
60. An itemized construction cost estimate must be submitted to the Community Development Department for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving (square yardage), right-of-way paving, grading, and the pre-treatment structure.

The following must be submitted with the Stamping Set:

(Please note that all documents must be submitted together as a package with the Stamping Set submittal with a legal review transmittal form that can be found on the City's website. Partial submittals will not be accepted.)

61. A draft copy of the Storm Drainage Facility Maintenance Easement Agreement (SDFMEA), as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department. Once the agreement is approved by the City's Legal Counsel, this agreement will then be sent to City Council for approval/acceptance. The SDFMEA will then be recorded at the office of the Oakland County Register of Deeds. This document is available on our website.

62. A draft copy of the 20-foot wide easement for the water main to be constructed onsite must be submitted to the Community Development Department. This document is available on our website.
63. A draft copy of the 20-foot wide easement for the sanitary sewer monitoring manhole access to be constructed onsite must be submitted to the Community Development Department. This document is available on our website.

The following must be addressed prior to construction:

64. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430). **Be advised that scheduling the pre-construction meeting can take 2-4 weeks.**
65. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application required). No fee is required for this permit.
66. Material certifications must be submitted to Spalding DeDecker for review prior to the construction of any onsite utilities. Contact Ted Meadows at 248-844-5400 for more information.
67. Construction inspection fees in an amount to be determined must be paid to the Community Development Department.
68. Legal escrow fees in an amount to be determined must be deposited with the Community Development Department. **All unused escrow will be returned to the payee at the end of the project.** This amount includes engineering legal fees only. There may be additional legal fees for planning legal documents.
69. A storm water performance guarantee in an amount to be determined (equal to 120% of the cost required to complete the storm water management facilities) as specified in the Storm Water Management Ordinance must be posted at the Community Development Department.
70. **Storm water detention tap fees in an amount to be determined for the proposed discharge to the off-site underground detention system must be paid to the Community Development Department.**
71. Water and Sanitary Sewer Fees must be paid prior to the pre-construction meeting. Contact the Water & Sewer Division at 248-347-0498 to determine the amount of these fees.
72. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Community Development Department. Signs must be installed in accordance with MMUTCD standards.

73. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department, Building Division (248-347-0430) for forms and information. The financial guarantee and inspection fees will be determined during the SESC review.
74. A permit for all proposed work activities within the road right-of-way must be obtained from the City of Novi. This application is available from the City Engineering Division or on the City website and can be filed once the Final Site Plan has been submitted. Please contact the Engineering Division at 248-347-0454 for further information. Please submit the cover sheet, standard details, and plan sheets applicable to the permit only.
75. A permit for work within the road right-of-way of Grand River Avenue must be obtained from the Road Commission for Oakland County (RCOC). Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the City. Provide a note on the plans indicating all work within the road right-of-way will be constructed in accordance with the RCOC standards. **Be advised that review by the RCOC may take four weeks or longer.**
76. A permit for water main construction must be obtained from EGLE. This permit application must be submitted through the Engineering Division after the water main plans have been approved. Please submit the cover sheet, overall utility sheet, standard details and plan/profile sheets applicable to the permit.
77. An inspection permit for the sanitary sewer tap must be obtained from the Oakland County Water Resources Commissioner (OCWRC).
78. Permits for the construction of each screen wall exceeding 48 inches in height (measured from bottom of the footing to top of the wall) must be obtained from the Community Development Department (248-347-0415).

The following must be addressed prior to issuance of a Temporary Certificate of Occupancy (TCO) approval for the development:

79. The amount of the incomplete site work performance guarantee for any outstanding site improvement items (limited to top course of pavement and other minor items), is calculated at 1.2 times the amount required to complete the site improvements (as specified in the Performance Guarantee Ordinance).
80. All easements and agreements referenced above must be executed, notarized and approved by the City Attorney and Engineering Division.
81. A Bill of Sale for the utilities conveying the improvements to the City of Novi must be submitted to the Community Development Department. This document is available on our website.

82. The City's consultant Engineer Spalding DeDecker will prepare the record drawings for this development. The record drawings will be prepared in accordance with Article XII, Design and Construction Standards, Chapter 11 of the Novi Code of Ordinances.
83. Submit to the Community Development Department, Waivers of Lien from any parties involved with the installation of each utility as well as a Sworn Statement listing those parties and stating that all labor and material expenses incurred in connection with the subject construction improvements have been paid.
84. Submit a Maintenance Bond to the Community Development Department in an amount to be determined (equal to 25 percent of the cost of the construction of the utilities to be accepted). This bond must be for a period of two years from the date that the Utility Acceptance Permit is issued by the City of Novi Engineering Division. This document is available on our website.
85. Submit an up-to-date Title Policy (dated within 90 days of City Council consideration of acceptance) for the purpose of verifying that the parties signing the Easement and Bill of Sale documents have the legal authority to do so. Please be sure that all parties of interest shown on the title policy (including mortgage holders) either sign the easement documents themselves or provide a Subordination Agreement. Please be aware that the title policy may indicate that additional documentation is necessary to complete the acceptance process.

Prior to preparing stamping sets, the Applicant is advised to provide any revised sheets directly to the Engineering Division for an informal review and approval.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Victor Boron at (248) 735-5695 with any questions.



Victor Boron
Project Engineer

cc: Lindsay Bell, Community Development
Ben Croy, P.E., Engineering
Humna Anjum, Engineering
Kate Purpura, Engineering

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

February 24, 2022

City Center Medical Office Building Revised Preliminary Site Plan - Landscaping

Review Type

Revised Preliminary Site Plan Landscape Review

Job

JSP21-0006

Property Characteristics

- Site Location: Grand River & Flint Street
- Site Acreage: 1.25 ac.
- Site Zoning: TCI-1
- Adjacent Zoning: East, West, South: TC-1; North: Grand River, TC
- Plan Date: 2/18/2022

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the Preliminary Site Plan submittal and underlined items must be addressed on Final Site Plans. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying landscape chart are summaries and are not intended to substitute for any Ordinance.

Recommendation

This project is **recommended for approval for Preliminary Site Plan if the Planning Commission grants the waivers required.** There are significant waivers required for the proposed configuration. Some are supported by staff and some of the others can be reduced or eliminated.

LANDSCAPE WAIVERS REQUIRED BY PLAN

- Insufficient greenbelt widths provided along Bond Street and Flint Street. *Supported by staff due to the site having four front yards.*
- Deficiency in greenbelt canopy trees provided along the Flint Street frontage. *Supported by staff.*
- Deficiency in screening walls provided. *Not supported by staff.*
- Deficiency in building foundation landscaping area provided. *Not supported by staff.*
- Lack of landscaped island with sufficient area at the southwest corner of the building. *Supported by staff if the island can't be enlarged.*
- Deficiency in frontage landscaping for the south side of the building. *Supported by staff.*

Please work to reduce or eliminate some or all of the above unsupported waivers.

Ordinance Considerations

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. No tree survey was provided – one 36" walnut tree that was removed is shown on the landscape plan.
2. Calculations for the tree's required replacements are provided as are the four replacement trees.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

The project is not adjacent to residentially-zoned property so no screening berm is required.

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. The project only provides the minimum required greenbelt width along Grand River. **A landscape waiver is required for this condition.** *It is supported by staff as the site is surrounded by road.*
2. The required landscaping is provided along all but the Flint Street frontage, which is missing one tree. *The waiver for that missing tree is supported by staff as the stream occupies a good portion of the available greenbelt area.*
3. The required screening wall is not provided to screen the entire parking lot area, only the bays. **This would require a landscape waiver.** *If hedges are proposed in the areas not screened with a wall or decorative fence, the waiver would be supported by staff.*
4. No street trees are required in the TC or TC-1 districts.

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. The required interior landscaping area and trees are provided.
2. The required parking lot perimeter trees and accessway perimeter trees are provided when double-counted greenbelt trees are included.
3. **A landscape waiver is required for the lack of an endcap island at the end of the bay west of the building.** While it is preferred that the island be enlarged to have at least 200sf in green space, if that can't happen, then the proposed tree there should be replaced with shrubs. *In that case, a landscape waiver for the deficiency in landscape area and trees would be supported that staff.*

Building foundation Landscaping (Zoning Sec 5.5.3.D)

1. **Only 1720 of the 2384sf required area is provided, much of which is in islands near the building, not at the foundation of the building.**
2. **A landscape waiver is required for the deficiency in area. It is not supported by staff. If the missing foundation landscaping area was added to the island west of the building (where the path crosses through) the need for the waiver could be eliminated. Please do so.**
3. **A landscape waiver is also required for a deficiency in the percentage of building frontage on the south side of the building having landscape (42% vs the required 60%).** *This is supported by staff as the rest of the frontages have the required screening and the building is burdened with 4 sides that must meet the 60% requirement.*

Plant List (LDM 4, 10)

1. 8 of 15 species used (53%) are native to Michigan
2. The tree diversity requirement of Landscape Design Manual Section 4 is met.

Planting Notations and Details (LDM 10)

Provided

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

No detention basin exists or is proposed.

Irrigation (LDM 10)

Please provide a plan for either an irrigation system or alternative means for providing sufficient water for the landscaping's establishment and long-term survival in Final Site Plans.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader@cityofnovi.org.

A handwritten signature in black ink, appearing to read "Rick Meader". The signature is written in a cursive, flowing style.

Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART – Revised PRELIMINARY SITE PLAN

Review Date: February 24, 2022
Project Name: Civic Center Office Plaza
Plan Date: February 18, 2022
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan.
Underlined items need to be addressed for Final Site Plan.

LANDSCAPE WAIVERS REQUIRED BY PLAN

- Insufficient greenbelt widths provided along Bond Street and Flint Street. *Supported by staff due to the site having four front yards.*
- Deficiency in greenbelt canopy trees provided along the Flint Street frontage. *Supported by staff.*
- Deficiency in screening walls provided. *Not supported by staff.*
- Deficiency in building foundation landscaping area provided. *Not supported by staff.*
- Lack of landscaped island with sufficient area at the southwest corner of the building. *Supported by staff if the island can't be enlarged.*
- Deficiency in frontage landscaping for the south side of the building. *Supported by staff.*

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements (LDM (2))				
Landscape Plan (Zoning Sec 5.5.2, LDM 2.e.)	<ul style="list-style-type: none"> • New commercial or residential developments • Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. • 1"=20' minimum with proper North. Variations from this scale can be approved by LA • Consistent with plans throughout set 	Scale: 1"=20'	Yes	
Project Information (LDM 2.d.)	Name and Address	<ul style="list-style-type: none"> • Business name on title block • A location map has been added 	<ul style="list-style-type: none"> • Yes • Yes 	
Owner/Developer Contact Information (LDM 2.a.)	Name, address and telephone number of the owner and developer or association	Address and business name on title block	Yes	
Landscape Architect contact information (LDM 2.b.)	Name, Address and telephone number of RLA/PLA/LLA who created the plan	Allen Design	Yes	
Sealed by LA. (LDM 2.g.)	Requires original signature	No		<u>Live signature will be required on stamping</u>

Item	Required	Proposed	Meets Code	Comments
				<u>sets</u>
Miss Dig Note (800) 482-7171 (LDM.3.a.(8))	Show on all plan sheets	Yes	Yes	
Zoning (LDM 2.f.)	Include all adjacent zoning	Shown on L-1.0 Site: TC-1 East, West, South: TC-1 North: Grand River, TC	Yes	
Survey information (LDM 2.c.)	<ul style="list-style-type: none"> Legal description or boundary line survey Existing topography 	Topographical survey & description on 5 th sheet of set	Yes	
Existing plant material Existing woodlands or wetlands (LDM 2.e.(2))	<ul style="list-style-type: none"> Show location type and size. Label to be saved or removed. Plan shall state if none exists 	<ul style="list-style-type: none"> Only rough outlines of vegetation are shown A 36" black walnut is called out on the landscape plan that has been removed. 4 replacement trees are shown as being required 	Yes	Please copy the tree to the topographic survey.
Soil types (LDM.2.r.)	<ul style="list-style-type: none"> As determined by Soils survey of Oakland county Show types, boundaries 	Sheet 2	Yes	
Existing and proposed improvements (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Yes	Yes	Island widths should be dimensioned to backs of curbs.
Existing and proposed utilities (LDM 2.e.(4))	<ul style="list-style-type: none"> Overhead and underground utilities, including hydrants Proposed light posts 	Yes	Yes	
Proposed grading. 2' contour minimum (LDM 2.e.(1))	Provide proposed contours at 2' interval	No proposed contours or spot grades are provided.	No	Please add a grading plan to the set.
Snow deposit (LDM.2.q.)	Show snow deposit areas on plan	Yes	Yes	
LANDSCAPING REQUIREMENTS				
Berms, Walls and ROW Planting Requirements				
Berms				

Item	Required	Proposed	Meets Code	Comments
<ul style="list-style-type: none"> All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours Berm should be located on lot line except in conflict with utilities. Berms should be constructed of loam with 6" top layer of topsoil. 				
Residential Adjacent to Non-residential (Sec 5.5.3.A) & (LDM 1.a)				
Berm requirements (Zoning Sec 5.5.A)	As the site does not abut any residential property, no buffering berm is required.	No berm is proposed.	Yes	
Planting requirements (LDM 1.a.)	LDM Novi Street Tree List	NA		
Walls (LDM 2.k & Zoning Sec 5.5.3.vi)				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	Screening walls are proposed in front of bays, but not in front of the areas connecting the bays	No	
Walls greater than 3 ½ ft. should be designed and sealed by an Engineer		The city's standard detail for Town Center walls is provided	Yes	
ROW Landscape Screening Requirements (Sec 5.5.3.B. ii) and (LDM 1.b)				
Greenbelt width (2)(3) (5)	<ul style="list-style-type: none"> Adjacent to pkg: 20 feet Not adjacent to pkg: 0 feet 	Greenbelt widths dimensioned on Sheet 2 <ul style="list-style-type: none"> Grand River: 20 feet Bond St: 10 ft min Flint St: 10 ft min 	<ul style="list-style-type: none"> Yes No No 	<ol style="list-style-type: none"> A landscape waiver is required for areas with less than required greenbelt width. Please provide justification for the waiver requests
Berm requirements (Zoning Sec 5.5.3.A.(5))				
Min. berm crest width	No berms are required in the TC-1 district.	None	Yes	
Minimum berm height (9)	No berms are required in the TC-1 district.	None	Yes	
3' wall	Per the Town Center Area Study, all parking areas must be screened with a 3-foot tall brick wall and/or wall-fence combination	Shown adjacent to parking spaces but not parking lot aisles	No	<ol style="list-style-type: none"> Please provide the required walls or decorative fences around the entire site, not just the parking stalls. A landscape waiver would be required for the proposed configuration. Staff would support the waiver if hedges similar to the hedge provided at the northwest corner of

Item	Required	Proposed	Meets Code	Comments
				the site in the other openings, and along the drive angling along the northeast corner of the property were provided.
Canopy deciduous or large evergreen trees Notes (1) (10)	<ul style="list-style-type: none"> • Adjacent to pkg: 1 tree per 25lf frontage (net of access drives) • Not adjacent to pkg: 1 tree per 30 lf frontage (net of access drives) • In Town Center districts, only the large tree or subcanopy tree requirement must be met – not both Grand River: <ul style="list-style-type: none"> • Adj: (160-24)/25 = 5 trees • Not: 60/30 = 2 trees Bond Street: <ul style="list-style-type: none"> • Adj: (384-24)/25 = 14 trees Flint Street: <ul style="list-style-type: none"> • Adj: 135/25 = 5 trees • Not: 65/30 = 2 trees 	<ul style="list-style-type: none"> • Grand River: 7 trees • Bond St: 13 + 3 subcanopy trees • Flint St: 6 trees 	<ul style="list-style-type: none"> • Yes • Yes • No 	<ol style="list-style-type: none"> 1. A landscape waiver is required for the Flint Street frontage. 2. Due to frontage taken up by the stream, that waiver is supported by staff.
Sub-canopy deciduous trees Notes (2)(10)	<ul style="list-style-type: none"> • Adjacent to pkg: 1 tree per 15lf frontage (net of access drives) • Not adjacent to pkg: 1 tree per 20 lf frontage (net of access drives) Grand River: <ul style="list-style-type: none"> • Adj: (160-24)/15 = 9 trees • Not: 60/20 = 3 trees Bond Street: <ul style="list-style-type: none"> • Adj: (384-24)/15 = 24 trees Flint Street: <ul style="list-style-type: none"> • Adj: 135/15 = 9 trees • Not: 65/20 = 3 trees 	<ul style="list-style-type: none"> • Grand River: 0 trees • Bond St: 3 trees • Flint St: 0 trees 		<ol style="list-style-type: none"> 1. Only the canopy or subcanopy tree requirement must be met in the TC-1 district. 2. In combination with the 13 canopy trees provided in the Bond Street greenbelt, the 3 crabapples at the northwest corner are allowed to count as 1 canopy so the Bond Street greenbelt requirement is met.
Canopy deciduous trees in area between sidewalk and curb (Novi Street Tree List)	No street trees are required in Town Center districts	None	Yes	
Cross-Section of Berms (LDM 1.b, 10.i)				
Slope, height and width	<ul style="list-style-type: none"> • Label contour lines • Maximum 33% • Constructed of loam 	No berms are proposed	Yes	

Item	Required	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> 6" top layer of topsoil 			
Type of Ground Cover		Plant list indicates entire area will be sodded	Yes	
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	Proper spacing is provided.	Yes	
Parking Area Landscape Requirements				
General requirements (LDM 1.c)	<ul style="list-style-type: none"> Clear sight distance within parking islands No evergreen trees 	Clear vision is provided	Yes	
Name, type and number of ground cover (LDM 1.c.(5))	As proposed on planting islands	Only grass or foundation landscaping is proposed in islands	TBD	<u>The foundation landscaping in the islands must be shorter than 30"</u>
General (Zoning Sec 5.5.3.C.ii)				
Parking lot Islands (a, b. i)	<ul style="list-style-type: none"> A minimum of 200 SF to qualify Minimum 200 SF per tree planted in island 6" curbs Islands minimum width 10' BOC to BOC 	<ul style="list-style-type: none"> All but the island at the southwest corner of the building have sufficient width and area. That island is too small to support a tree so that area and tree can't count toward the interior parking lot area and tree requirement. 	No	<ol style="list-style-type: none"> The area of the small island can only count toward the foundation landscaping requirement. The first preference is that that island be increased in size, to 200sf, so the tree can remain and survive. If the island can't be enlarged, please remove the tree, replace it with other living material such as shrubs and correct the interior parking lot calculations. A landscape waiver for interior parking lot area and trees may be required based on these removals, but it would be supported by staff due to the tightness of the site.
Curbs and Parking stall reduction (c)	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	Spaces are 17 feet long	Yes	

Item	Required	Proposed	Meets Code	Comments
Contiguous space limit (i)	<ul style="list-style-type: none"> Maximum of 15 contiguous spaces All endcap islands should also be at least 200sf with 1 tree planted in it. 	<ul style="list-style-type: none"> Maximum bay is 13 spaces The island at the southwest corner of the building should be 200sf and have a tree in it on its south end. It is currently too small. 	<ul style="list-style-type: none"> Yes No 	A landscape waiver would be required for the proposed layout with the small endcap island.
Plantings around Fire Hydrant (d)	No plantings with matured height greater than 12' within 10 ft. of fire hydrants of utility structures (manholes, catch basins)	Proper spacing from the hydrant is provided but one tree at the north entry is closer than 5 feet from the sanitary line.		
Landscaped area (g)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes		
Clear Zones (LDM 2.3.(5))	25 ft corner clearance required. Refer to Zoning Section 5.9	<ul style="list-style-type: none"> RCOC clear vision zone is shown at Grand River Entry. The city clear vision zone is shown for the south entry, but not correctly. 	<ul style="list-style-type: none"> Yes No 	<ol style="list-style-type: none"> Please correct the city corner clearance zone for the Bond Street entry per Section 5.9. It is measured from the property line, not the edge of pavement. Keep all trees and shrubs taller than 30" out of zones.
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, C, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use area up to 50,000 sf x 7.5%	<ul style="list-style-type: none"> A = x SF x 7.5% = A sf 27962 SF * 7.5% = 2097sf 			
B = Total square footage of additional paved vehicular use areas over 50,000 SF) x 1 %	B = x SF x 1% = B sf	NA		
Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use area up to 50,000 sf x 5%	A = x SF x 5% = A sf	NA		
B = Total square footage of additional paved vehicular use	B = (x SF – 50000) x 0.5%	NA		

Item	Required	Proposed	Meets Code	Comments
areas over 50,000 SF x 0.5 %				
All Categories				
C = A+B Total square footage of landscaped islands required	C = A + B = x SF C = 2097 + 0 = 2097 sf	2392 sf	Yes	
D = D/200 Number of canopy trees required	D = C/200 = xx Trees D = 2097/200 = 10 trees	10 trees	Yes	Unless the island at the southwest corner of the building can be enlarged to provide 200sf of open space, the tree planted in it can't count toward the requirement.
Parking Lot Perimeter Trees (Sec 5.5.3.C.iv)	<ul style="list-style-type: none"> 1 Canopy tree per 35 lf 614lf/35 = 18 trees 	18 trees including double-counted greenbelt trees	Yes	
Accessway perimeter	<ul style="list-style-type: none"> 1 Canopy tree per 35lf (90+20)/35 = 3 trees 	3 trees double-counted as greenbelt trees	Yes	
Parking land banked	NA	No		
Other Landscaping				
Screening of outdoor storage, loading/unloading (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)		Screening evergreens have been added to the finger island east of the loading area.	Yes	Please add a note stating that the hedge should be at least 5-6 feet tall.
Transformers/Utility boxes (LDM 1.e from 1 through 5)	<ul style="list-style-type: none"> A minimum of 2ft. separation between box and the plants Ground cover below 4" is allowed up to pad. No plant materials within 8 ft. from the doors 	Utility box is shown at the southwest corner of the building and screened from the west by two ninebarks.	No	The proposed screening is accepted as is.
Building Foundation Landscape Requirements (Sec 5.5.3.D)				
Interior site landscaping SF	<ul style="list-style-type: none"> Equal to entire perimeter of the building (less paved access areas) x 8 with a minimum width of 4 ft. 298 lf x 8ft = 2384 SF 	Shaded areas indicate that 1720sf (72% of the requirement) will be provided at the building and in nearby islands	No	<ol style="list-style-type: none"> Please add the remaining missing foundation area to the large island west of the transformer. <i>If this was done, the waiver would not be required.</i>
Zoning Sec 5.5.3.D.ii. All items from (b) to (e)	If visible from public street a minimum of 60% of the exterior building perimeter should be	The requirement is met for the north, east and west frontage, but not	No	1. A landscape waiver will be required for the proposed configuration.

Item	Required	Proposed	Meets Code	Comments
	covered in green space	for the south frontage.		2. As 3 of the 4 frontages are sufficiently screened, and 42% of the south frontage will be screened with the island landscaping, this waiver is supported by staff.
Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv)				
Planting requirements (Sec. 5.5.3.E.iv)	<ul style="list-style-type: none"> Clusters of large native shrubs shall cover 70-75% of the basin rim area 10 feet from permanent water level 10" to 14" tall grass along sides of basin Refer to wetland for basin mix 1 deciduous canopy tree per 35lf of the pond perimeter measured at 10 feet from permanent water level 	<ul style="list-style-type: none"> No above-ground or underground detention is proposed. No detention landscaping is proposed 	TBD	Please provide the required detention basin landscaping if above-ground detention is used
Phragmites and Japanese Knotweed Control (Sec 5.5.6.B)	<ul style="list-style-type: none"> Any and all populations of Phragmites australis or Japanese knotweed on the site shall be included on tree survey. Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site. 	A note indicates that none was found on the site.	Yes	If any is found during construction, it must be treated to completely remove it from the site.
LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS				
Landscape Notes – Utilize City of Novi Standard Notes				
Installation date (LDM 2.i. & Zoning Sec 5.5.5.B)	<ul style="list-style-type: none"> Provide intended dates Should be between March 15 and November 15. 	Mar 15-Nov 15	Yes	
Maintenance & Statement of intent (LDM 2.m & Zoning Sec 5.5.6)	<ul style="list-style-type: none"> Include statement of intent to install and guarantee all materials for 2 years. Include a minimum one cultivation in June, July and August 	Yes	Yes	

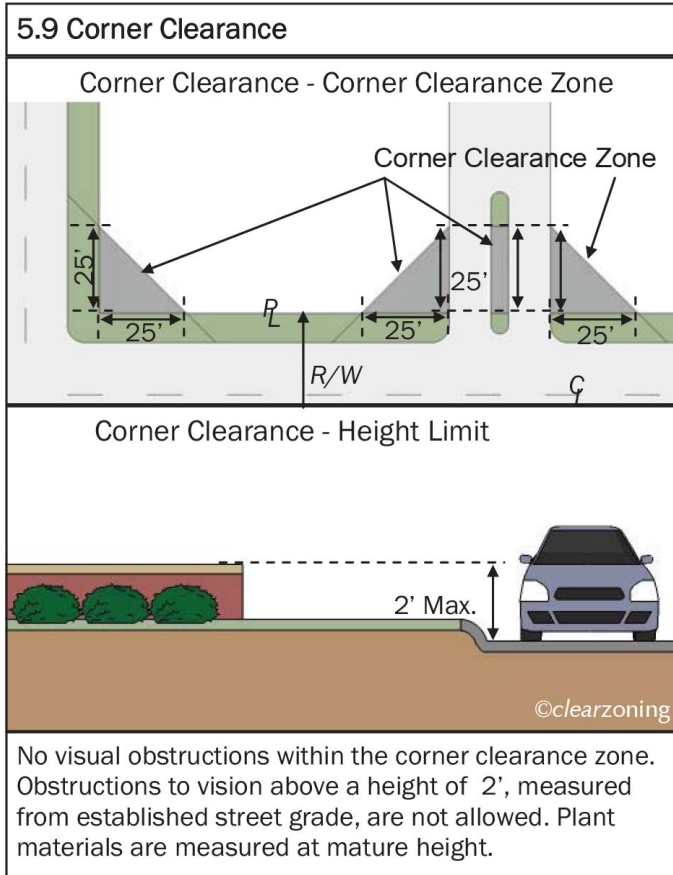
Item	Required	Proposed	Meets Code	Comments
	for the 2-year warranty period.			
Plant source (LDM 2.n & LDM 3.a.(2))	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
Irrigation plan (LDM 2.s.)	<ul style="list-style-type: none"> If automatic irrigation system and a method of draining is required with Final Site Plan Alternate plans for providing sufficient water may be proposed on final site plans. 	No	No	<u>Need for final site plan</u>
Other information (LDM 2.u)	Required by Planning Commission	NA		
Establishment period (Zoning Sec 5.5.6.B)	2 yr. Guarantee	Yes	Yes	
Approval of substitutions. (Zoning Sec 5.5.5.E)	City must approve any substitutions <u>in writing</u> prior to installation.	Yes	Yes	
Plant List (LDM 4) – Include all cost estimates				
Quantities and sizes	Refer to LDM suggested plant list	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names		<ul style="list-style-type: none"> 8 of 15 (53%) of species used are native to Michigan The tree diversity meets the standard of LDM 4 	<ul style="list-style-type: none"> Yes Yes 	
Type and amount of lawn		Yes	Yes	
Cost estimate (LDM 2.t)		For all new plantings, mulch and sod as listed on the plan	Yes	Yes
Planting Details/Info (LDM 2.i) – Utilize City of Novi Standard Details				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		Yes	Yes	
Multi-stem Tree		No	Yes	
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection	Located at Critical Root	No trees are being		

Item	Required	Proposed	Meets Code	Comments
fencing	Zone (1' outside of dripline)	saved so no tree fence is required		
Other Plant Material Requirements (LDM 3)				
General Conditions (LDM 3.a)	Plant materials shall not be planted within 4 ft. of property line	Yes	Yes	
Plant Materials & Existing Plant Material (LDM 3.b)	Clearly show trees to be removed and trees to be saved.	One 36" tree shown as being removed on landscape plan calculations.	No	On topo survey, clearly show all trees to be removed.
Landscape tree credit (LDM3.b.(d))	<ul style="list-style-type: none"> Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM 	None		
Plant Sizes for ROW, Woodland replacement and others (LDM 3.c)	Refer to Landscape Design Manual for requirements	Included on plant list	Yes	
Plant size credit (LDM3.c.(2))	NA	None taken		
Prohibited Plants (LDM 3.d)	No plants on City Invasive Species List	None used	Yes	
Recommended trees for planting under overhead utilities (LDM 3.e)	Label the distance from the overhead utilities	No overhead utilities will remain on the site	NA	
Collected or Transplanted trees (LDM 3.f)		None		
Nonliving Durable Material: Mulch (LDM 4)	<ul style="list-style-type: none"> Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate. Refer to section for additional information 	On details	Yes	

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.

Item	Required	Proposed	Meets Code	Comments
3.	Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.			



WETLAND REVIEW



November 29, 2021

Lindsay Bell
City Planner
Department of Community Development
City of Novi
45175 W. Ten Mile Road
Novi, Michigan 48375

RE: City Center Plaza; JSP21-06
Wetland Review of Preliminary Site Plan
MSG Project No. N1030081

Dear Ms. Bell:

The Mannik & Smith Group, Inc. (MSG) completed a project site inspection relative to Sheet L-1, *Landscape Plan*, of the *Site Plan for City Center Office Plaza* prepared by Seiber, Keast Engineering, L.L.C. dated October 21, 2021 and stamped Received by the City of Novi on October 22, 2021 (PSP). The project site is located south of Grand River Avenue and west of Novi Road, and includes portions of tax parcels 50-22-15-477-011 and 50-22-15-477-012 in Sections 15 and 22 (Site). The PSP depicts construction of a three-story commercial building with associated paved parking, landscaping, utilities, and other improvements.

Published Data

MSG reviewed the City of Novi Wetlands Maps and the Michigan Department of Environment, Great Lakes, and Energy (EGLE) Wetlands Map Viewer for the Site (Figures 1 and 2, respectively). The Site contains City-regulated wetland in the northeastern corner of the Site, which is associated with the Walled Lake Branch of the Middle Rouge River (Walled Lake Branch).

MSG Wetland Boundary Verification

The PSP does not depict wetland(s) on the Site. On November 4, 2021, MSG evaluated the conditions at the Site. MSG observed the Site is predominantly vacant, level land with a house located on the western portion. The Walled Lake Branch was observed to include naturalized banks with engineered culverts where it flows beneath Grand River Avenue and Flint Street. Wetland delineation markers were not observed at the Site. Selected inspection photographs are found at the end of this letter.

Proposed Impacts

The PSP does not specify proposed impacts to the regulated wetland area. However, sheet L-1, *Landscape Plan*, depicts the placement of sod and of six trees, as well as a portion of the proposed parking lot, within 25 feet of the Walled Lake Branch. The City of Novi regulates both wetlands and the associated 25-foot natural resources setback buffer. The 25-foot limit is measured as horizontal feet, regardless of grade change. The setback buffer may be enhanced with appropriate plantings (e.g. native trees, shrubs, perennials), but the placement of non-native plants such as lawn grass or construction of paved areas will require authorization to encroach on the wetland buffer.



In addition, EGLE typically regulates wetlands within 500 feet of an inland lake, pond, stream, or river. As such, the Site wetlands are likely regulated by EGLE. MSG observed a large crack in the culvert headwall on the Flint Street side of the Site. Replacement of this structure may require an EGLE permit. It is the applicant's responsibility to confirm the need for a State permit for any proposed wetland or watercourse impact.

Permits and Regulatory Status

Based on the available information, the project as proposed may require an EGLE permit and/or a City of Novi *Authorization to Encroach into the 25-Foot Natural Features Setback* for the proposed impacts.

Item	Required/Not Required/Not Applicable
Wetland Permit (specify Non-Minor or Minor)	Not likely required
Wetland Buffer Authorization	Required
Wetland Mitigation	Not likely required
EGLE Wetland Permit	Potentially required
Wetland Conservation Easement	Not likely required


Based on available information, **MSG recommends approval of the Preliminary Site Plan for wetlands.** Please contact the undersigned if you have any questions regarding the matters addressed in this letter.

Sincerely,

The Mannik & Smith Group, Inc.


Douglas Repen, CDT

Environmental Scientist & Project Manager
Certified Storm Water Management Operator C-20319


John A. Freeland, PhD, SPWS
Senior Scientist

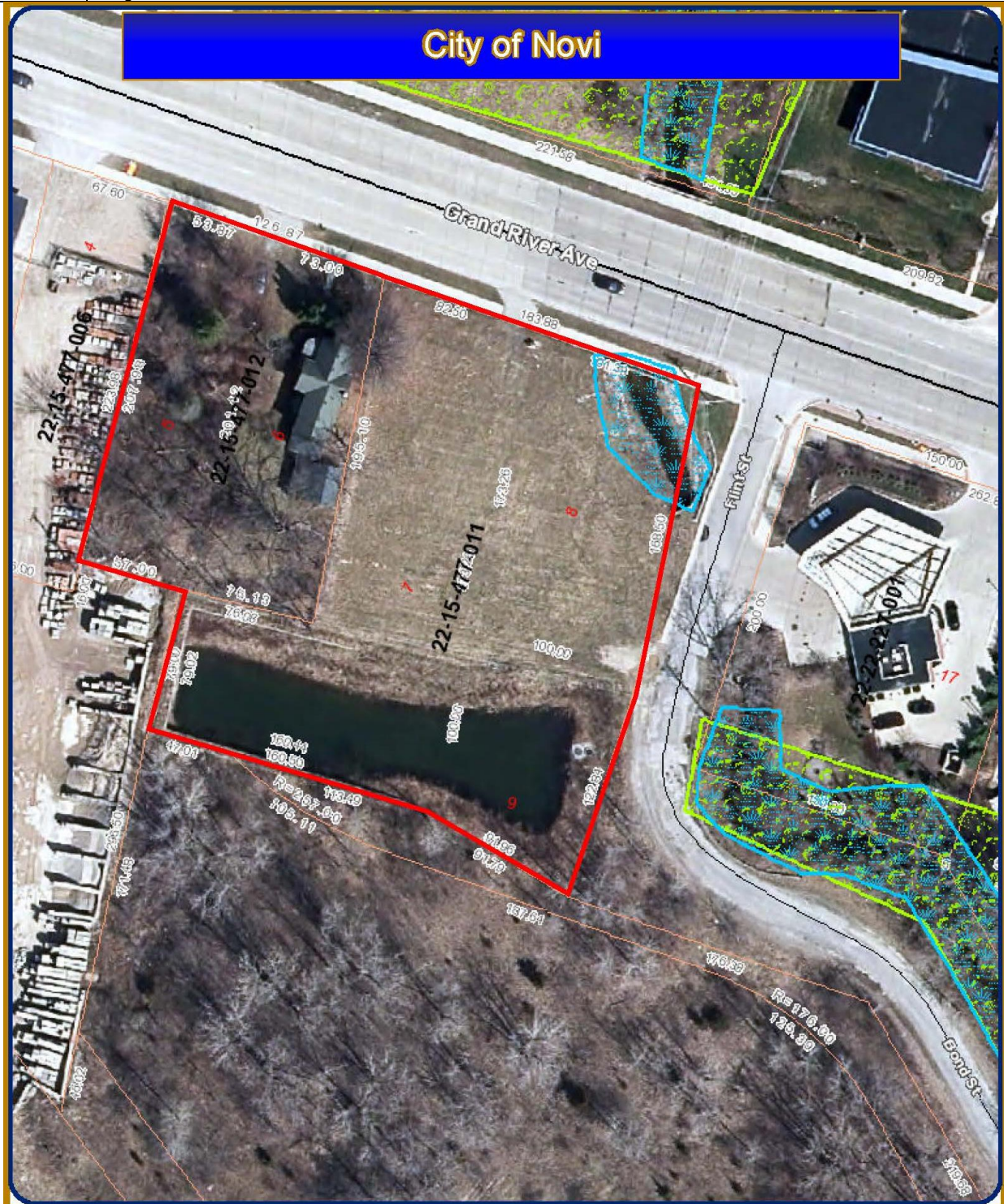
- CC: Sarah Marchioni, City of Novi Project Coordinator
Barbara McBeth, City of Novi Planner
Christian Carroll, City of Novi Planner
Madeleine Daniels, City of Novi Planner
Ben Peacock, City of Novi Planning Assistant
Rick Meader, City of Novi Landscape Architect

FIGURES



Figure 1

City of Novi Regulated Wetland Map. Approximate tax parcel boundaries are shown in red. Regulated Wetland areas are shown in blue.



MAP INTERPRETATION NOTICE
Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi.
Boundary measurements and area calculations are approximate and should be contrasted to survey measurements performed by a licensed Michigan Surveyor or as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.



Map Print Date:
2/11/2021



City of Novi

45475 Ten Mile Rd
Novi, MI 48375
cityofnovi.org



2365 Haggerty Road South, Canton, Michigan 48188
Tel: 734.397.3100 Fax: 734.397.3131

City Center Plaza; JSP21-06
Wetland Review of Preliminary Site Plan
MSG Project No. N1030081




Figure 2 | EGLE Wetlands Viewer Map. Approximate Site boundary is shown in red.

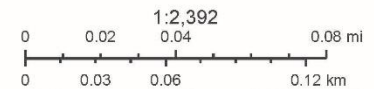
Wetlands Map Viewer



November 11, 2021

Part 303 Final Wetlands Inventory

-  Wetlands as identified on NWI and MIRIS maps
-  Soil areas which include wetland soils
-  Wetlands as identified on NWI and MIRIS maps and soil areas which include wetland soils



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

Disclaimer: This map is not intended to be used to determine the specific

SITE PHOTOGRAPHS





Photo 1: View of the Site with the regulated wetland area in the foreground, facing southwest.



Photo 2: View of the regulated wetland area, facing northwest. Note the crack in the concrete headwall in the foreground.



Photo 3: View of naturalized wetland buffer area, facing northwest.

TRAFFIC REVIEW



AECOM
 27777 Franklin Road
 Southfield
 MI, 48034
 USA
 aecom.com

Project name:
 JSP21-06 –City Center Office Plaza Revised
 Preliminary Site Plan Traffic Review

To:
 Barbara McBeth, AICP
 City of Novi
 45175 10 Mile Road
 Novi, Michigan 48375

From:
 AECOM

Date:
 March 15, 2022

CC:
 Lindsay Bell, Madeleine Kopko, Victor Boron,
 Christian Carroll, Humna Anjum

Memo

Subject: JSP21-06 – City Center Office Plaza Revised Preliminary Site Plan Traffic Review

The revised preliminary site plan was reviewed to the level of detail provided and AECOM **recommends approval with conditions for the applicant to move forward as long as they have addressed the following comments to the satisfaction of the City and requested the additional variances needed.**

GENERAL COMMENTS

1. The applicant is proposing a 3 story, 12,283 SF building.
2. The site is located on the southwest corner of Grand River Ave and Flint Street along Bond Street. Grand River Ave is under the jurisdiction of Oakland County and Flint Street is under the jurisdiction of the City of Novi. Bond Street has yet to be constructed and will be under the jurisdiction of the City of Novi.
3. The site is currently zoned TC-1 (Town Center).
4. The following traffic-related waivers/variances may be required if revisions are not made to the plans:
 - a. The applicant is requesting a variance for the loading zone located in the side yard.
 - b. The applicant is requesting a variance for side parking setback (20' required, 10' provided).
 - c. **A variance for the trash receptacle located in the side yard will be required.**
 - d. **A variance will be required for loading zone size.**
 - e. **A variance will be required for same side driveway spacing ion Grand River Avenue.**
5. Condition for approval is that the applicant includes the above variances in the variances request list.

TRAFFIC IMPACTS

1. AECOM performed an initial trip generation based on the ITE Trip Generation Manual, 10th Edition, as follows.

ITE Code: – 710 (General Office Building) and 912 (Drive-in Bank)
 Development-specific Quantity: 8000 SF (710) and 4283 SF (912)
 Zoning Change: N/A

	Estimated Trips	Estimated Peak-Direction Trips	City of Novi Threshold	Above Threshold?
AM Peak-Hour Trips	9+41 = 50	8+24 = 32	100	No

Trip Generation Summary				
	Estimated Trips	Estimated Peak-Direction Trips	City of Novi Threshold	Above Threshold?
PM Peak-Hour Trips	10+88 = 98	9+44 = 53	100	No
Daily (One-Directional) Trips	92+428 = 520	N/A	750	No

- The City of Novi generally requires a traffic impact study/statement if the number of trips generated by the proposed development exceeds the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour, or if the project meets other specified criteria.

Trip Impact Study Recommendation	
Type of Study:	Justification
None	-

TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City's Code of Ordinances. Items marked with ZO are listed in the City's Zoning Ordinance. Items marked with ADA are listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices.

The values in the 'Compliance' column read as 'met' for plan provision meeting the standard it refers to, 'not met' stands for provision not meeting the standard and 'inconclusive' indicates applicant to provide data or information for review and 'NA' stands for not applicable for subject Project. The 'remarks' column covers any comments reviewer has and/or 'requested/required variance' and 'potential variance'. A potential variance indicates a variance that will be required if modifications are not made or further information provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

EXTERNAL SITE ACCESS AND OPERATIONS				
No	Item	Proposed	Compliance	Remarks
1	Driveway Radii O Figure IX.3	25'	Met	
2	Driveway Width O Figure IX.3	24'	Met	
3	Driveway Taper			
3a	Right Turn or Taper O Figure IX.10	Not included	Not Met	Taper is warranted on Grand River Avenue. Applicant has indicated that RCOC has approved the approach and a permit for construction has been issued.
3b	Taper length O Figure IX.11	Not included	Not Met	
3c	Tangent	N/A	N/A	
4	Emergency Access O 11-194.a.19	2 access points	Met	

EXTERNAL SITE ACCESS AND OPERATIONS				
No	Item	Proposed	Compliance	Remarks
5	Driveway sight distance O Figure VIII-E	450' on Grand River, 260' on Bond Street	Met	
6	Driveway spacing			
6a	Same-side O 11.216.d.1.d	219.9' and 112.3' on Grand River, 120.6' on Bond Street	Partially Met	A variance will be required for Grand River.
6b	Opposite side O 11.216.d.1.e	219.9. and 235.3' on Grand River	Met	
7	External coordination (Road agency)	No changes indicated	N/A	Indicate if changes to existing are to be made.
8	External Sidewalk Master Plan & EDM	10' sidewalk	Met	
9	Sidewalk Ramps EDM 7.4 & R-28-J	Indicated at both entrances	Met	
10	Any Other Comments:			

INTERNAL SITE OPERATIONS				
No	Item	Proposed	Compliance	Remarks
11	Loading zone ZO 5.4	540 SF	Not Met	TC districts require 10 SF of loading zone per foot of frontage. 94' frontage requires 940 SF loading zone. Variance required for current size. Applicant is requesting a variance for location, not size.
12	Trash receptacle ZO 5.4.4	Present in side yard	Not Met	Variance required for side yard instead of rear. Variance not listed in requests.
13	Emergency Vehicle Access	Turning movements provided	Met	
14	Maneuvering Lane ZO 5.3.2	24' dimensioned, 22' in SW curve	Partially Met	22' is allowed per the Ordinance where no parking is present. It appears the maneuvering lane in front of 2 parking spaces is 22', it should be 24'.
15	End islands ZO 5.3.12			
15a	Adjacent to a travel way	Not indicated	Not Met	End islands should be 3' shorter than adjacent parking spaces. Indicate typical dimensions on plans.

INTERNAL SITE OPERATIONS				
No	Item	Proposed	Compliance	Remarks
15b	Internal to parking bays	Not indicated	Inconclusive	Provide dimensions on plans.
16	Parking spaces ZO 5.2.12	2' overhang, 20' setback from ROW on Grand River Ave, 10' on other sides	Partially Met	Variance required for side parking setback. Applicant has indicated they are requesting the variance.
17	Adjacent parking spaces ZO 5.5.3.C.ii.i	<=15 spaces adjacent without an island	Met	
18	Parking space length ZO 5.3.2	17'	Met	
19	Parking space Width ZO 5.3.2	9'	Met	
20	Parking space front curb height ZO 5.3.2	4"	Met	
21	Accessible parking – number ADA	3 spaces	Met	
22	Accessible parking – size ADA	8' spaces with 8' and 5' aisles	Met	
23	Number of Van-accessible space ADA	2	Met	
24	Bicycle parking			
24a	Requirement ZO 5.16.1	4 spaces	Met	
24b	Location ZO 5.16.1	Approximately 50' from entrance	Met	
24c	Clear path from Street ZO 5.16.1	6' path	Met	
24d	Height of rack ZO 5.16.5.B	35" and 36" visible	Inconclusive	2 different measurements on plans, 36" is required. Clearly cross out 35" on dimension.
24e	Other (Covered / Layout) ZO 5.16.1	Provided	Met	
25	Sidewalk – min 5' wide Master Plan	7'	Met	
26	Sidewalk ramps EDM 7.4 & R-28-J	Ramp warning strips indicated	Not Met	Indicate slopes of ramps and ensure sufficient landings are present between ramps. Ensure curb height in front of parking spaces remains sufficient.
27	Sidewalk – distance back of curb EDM 7.4	Flush to curb along parking spaces	Met	
28	Drive Thru Stacking ZO 5.3.11	3 and 4 vehicles, 9'x19' spaces	Met	
29	EyeBrow O Figure VIII-G	N/A		
30	Minor/Major Drives ZO 5.10	N/A		
31	Any Other Comments:	Overall applicant should provide additional dimensions and grades in the next submittal.		

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
32	Signing: Sizes MMUTCD	Partially included	Partially Met	Include sizes or R7-8 and R7-8P signs.
33	Signing table: quantities and sizes	Partially included	Partially Met	Include sign sizes for barrier free parking signs and MMUTCD codes in table. Update the quantity of the R7-8 sign to be 3.
34	Signs 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post MMUTCD	Included	Met	
35	Signs greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post MMUTCD	Included	Met	
36	Sign bottom height of 7' from final grade MMUTCD	Included	Met	
37	Signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign MMUTCD	Included	Met	
38	FHWA Standard Alphabet series used for all sign language MMUTCD	Included	Met	
39	High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity MMUTCD	Included	Met	
40	Parking space striping notes	Included	Met	
41	The international symbol for accessibility pavement markings ADA	Included	Met	
42	Crosswalk pavement marking detail	N/A	N/A	
43	Maintenance of Traffic Plans	N/A	N/A	
44	Any Other Comments:			

Note: Hyperlinks to the standards and Ordinances are for reference purposes only, the applicant and City of Novi to ensure referring to the latest standards and Ordinances in its entirety.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

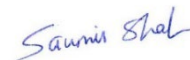
AECOM



Patricia Thompson, EIT
Traffic Engineer



Paula K. Johnson, PE
Senior Transportation Engineer



Saumil Shah, PMP
Project Manager



CITY OF NOVI ENGINEERING DIVISION SOIL EROSION AND SEDIMENTATION CONTROL PLAN CHECKLIST

PROJECT: _____ SESC Application #: SE -

Contact Name: _____ DATE COMPLETED: _____

Phone Number: _____ DATE OF PLAN: _____

Fax Number: _____ **STATUS:**

General Requirements – Following the initial Soil Erosion and Sedimentation Control permit application to the Community Development Department, all SESC plan revisions shall be submitted directly to the Engineering Department for further review and/or permit approval. One (1) copy of revised soil erosion plans, including response letter addressing the comments below, shall be submitted for each subsequent review until the plan has been given approval by the Engineering Department, at which point five (5) copies will be required for permit approval. Plans shall be signed and sealed, and the bond must be submitted to the Treasurer’s Office prior to permit issuance.

ITEM NO.	ITEM	Provided on Plans	COMMENTS
1.	Plan shall be at scale of not more than 1" = 200', include legal description, location, proximity to lakes, streams or wetlands, slopes, etc.	<input type="checkbox"/>	
2.	Plan shall include a soil survey or a written description of soil types of the exposed land area.	<input type="checkbox"/>	
3.	Plan shall show the limits of earth disruption.	<input type="checkbox"/>	
4.	Plan shall show the tree protection fencing at least as far from the trunk as the critical root zone, defined as a circular area around a tree with a radius measured to the tree’s longest dripline radius plus one (1) foot. No grading shall occur within the dripline. If the critical root zone is not fully protected, then replacements for that tree may be required.	<input type="checkbox"/>	
5.	Plan shall show all existing and proposed on-site drainage and dewatering facilities (i.e. structure details, rim elev., etc.)	<input type="checkbox"/>	
6.	Detailed sequence of construction shall be provided on plans structured similar to the following, supplemented with site specific items: 1) Install tracking mat, 2) Install temp. SESC measures, 3) Construct storm water basins and install treatment structures, if applicable, 4) Install storm sewer, with inlet protection to follow immediately, 5) Remove all temp. SESC measures once site is stabilized.	<input type="checkbox"/>	
7.	Plan must address maintenance of soil erosion and sedimentation control measures (temporary and permanent)	<input type="checkbox"/>	

8.	Provide a note stating if dewatering is anticipated or encountered during construction a dewatering plan must be submitted to the Engineering Division for review.	<input type="checkbox"/>	
9.	A grading plan shall be provided, or grade information shown on plan.	<input type="checkbox"/>	
10.	Note that it is the developer's responsibility to grade and stabilize disturbances due to the installation of public utilities.	<input type="checkbox"/>	
11.	The CSWO shall be listed on permit application.	<input type="checkbox"/>	
12.	Plan sealed by registered civil engineer with original signature.	<input type="checkbox"/>	
13.	An itemized cost estimate (Silt Fence, Inlet Filters, Topsoil/Seed/Mulch, Const. Access, etc.) shall be provided.	<input type="checkbox"/>	The SESC financial guarantee will be \$. The SESC inspection fees will be \$.
14.	Potential stockpile areas shall be shown on the plan, with note stating a ring of silt fence will be installed surrounding any stockpiled material.	<input type="checkbox"/>	
15.	Sediment basin: Provide filter on standpipe outlet structure until site is stabilized, then removed. Noted on plan and standpipe detail(s).	<input type="checkbox"/>	
16.	Provide a note on the plan stating the storm water basin will be stabilized prior to directing flow to the basin.	<input type="checkbox"/>	
17.	Pretreatment Structures: Noted to inspect weekly for sediment accumulation until site is stabilized, and will clean as required.	<input type="checkbox"/>	
18.	Attach the Oakland County standard detail sheet.	<input type="checkbox"/>	
19.	Construction mud tracking entrance: 75'x20', 6" of 1" to 3" stone, on geotextile fabric.	<input type="checkbox"/>	
20.	Silt fence: 6" anchor trench, stakes 6' on center. Prominent line type on plan, with legend.	<input type="checkbox"/>	
21.	Provide Silt Sack with overflow capability as the inlet protection, and provide detail on plans.	<input type="checkbox"/>	
22.	Catch basin inlet filters shall be provided on existing roadways along construction route for reasonable distance from site.	<input type="checkbox"/>	
23.	Street sweeping and dust control shall be noted on plan as responsibility of contractor.	<input type="checkbox"/>	
24.	Vegetation shall be established within 5 days of final grade, or whenever disturbed areas will remain unchanged for 30 days or greater. 3-4" of topsoil will be used where vegetation is required.	<input type="checkbox"/>	
25.	Vegetated buffer strips (25' wide wherever possible) shall be created or retained along the edges of all water bodies, water courses or wetlands.	<input type="checkbox"/>	
26.	Diversion berms or terracing shall be implemented where necessary.	<input type="checkbox"/>	

27.	All drainage ditches shall be stabilized with erosion control blanket and shall utilize check dams as necessary. Drainage ditches steeper than 3% shall be sodded.	<input type="checkbox"/>	
28.	Slopes steeper than 1V:6H (16%) shall be stabilized with erosion control blanket. Add this note as a general note, and also in a prominent location near any berm, etc. where a significant slope is proposed.	<input type="checkbox"/>	
29.	All culvert end sections must contain grouted rip-rap in accordance with ordinance specifications.	<input type="checkbox"/>	

ADDITIONAL COMMENTS:

1. Please note that installation of silt fencing or tree protection fencing shall not occur prior to the initial City pre-construction meeting. When natural features exist on the site, inspection of staking may be required prior to installation of the fencing.
- 2.

Reviewed By:

FAÇADE REVIEW



November 29, 2021

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Façade Review Status Summary:
Approved, Full Compliance

Re: **FACADE ORDINANCE – City Center Office Plaza, JSP21-06**
 Façade Region: 1, Zoning District: TC-1

Dear Ms. McBeth;

The following is the Façade Review for Preliminary Site Plan Approval of the above referenced project based on the drawings prepared by Wah Yee Associated Architects, dated 10/13/21. The percentages of materials for each façade are shown on the table below. The maximum and minimum percentages required by the Ordinance Section 5.15 are shown in the right-hand column. This project is also subject to the TC-1 Ordinance, Section 3.27.1.G. A material sample board was provided as required by Section 5.15.4.D of the Ordinance.

	North (Front)	South	East	West	Ordinance Maximum (Minimum)
Brick	47%	45%	43%	48%	100% (30% MIN)
C-Brick	13%	17%	23%	15%	25%
EIFS	24%	23%	23%	25%	25%
Flat Metal	2%	2%	2%	3%	50%
Spandrel Glass	4%	4%	0%	0%	50%
Split Faced CMU	10%	9%	9%	9%	10%

Ordinance 5.15 - As shown above all proposed façade materials are in full compliance with the Façade Ordinance. The building exhibits well designed proportions in context with existing and proposed surrounding buildings and the sample board indicates a combination of high quality materials in carefully coordinated colors.

Ordinance 3.27 – As shown above all proposed materials are in full compliance with the TC & TC-1 Ordinance, Section 3.27.1.G which requires that building facades be constructed primarily of brick or stone. The combination of Brick and C-Brick exceeds 50% on all facades.

Notes to the Applicant:

1. It should be noted that all roof top equipment (RTU) must be screened from view from all vantage points both on-site and off-site using materials in compliance with the Façade Ordinance. RTU Screens are not currently indicated on the drawings.

2. Inspections – The Façade Ordinance requires inspection(s) for all projects. It is the applicant's responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department's Online Inspection Portal with the following link. Please click on "Click here to Request an Inspection" under "Contractors", then click "Façade".

<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

If you have any questions regarding this project, please do not hesitate to call.

Sincerely,
DRN & Associates, Architects PC



Douglas R. Necci, AIA

FIRE REVIEW



November 30, 2021

TO: Barbara McBeth-City Planner
Lindsay Bell-Plan Review Center
Christian Carroll-Plan Review Center
Madeleine Daniels-Planning Assistant

RE: City Center Office Plaza

CITY COUNCIL

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Bob Gatt

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Assistant Chief of Police
Scott R. Baetens

Assistant Fire Chief
John B. Martin

PSP #21-0110 - Preliminary Site Plan

JSP #21-06

PSP#21-0010 (Pre-App)

Project Description:

Build a Three Story Building off of Grand River and Flint St.

Comments:

- **All** fire hydrants **MUST** be installed and operational prior to any combustible material is brought on site. **IFC 2015 3312.1**
- For new buildings and existing buildings, you **MUST** comply with the International Fire Code Section 510 for Emergency Radio Coverage. This shall be completed by the time the final inspection of the fire alarm and fire suppression permits.
- **Corrected 11/12/21** - Fire apparatus access drives to and from buildings through parking lots shall have a minimum fifty (50) feet outside turning radius and designed to support a minimum of thirty-five (35) tons. (D.C.S. Sec 11-239(b)(5)) On the Northwest corner parking lot does not meet city standards.
- Watermains and fire hydrants shall be added to the plans for review.

Recommendation:

Approved with Conditions

Sincerely,

Mike Olando – Acting Fire Marshal
City of Novi Fire Department

cc: file

Novi Public Safety Administration
45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTER

SEIBER KEAST ENGINEERING, LLC

ENGINEERING CONSULTANTS

Clif Seiber, P.E.
Patrick G. Keast, P.E.
Azad W. Awad
Robert J. Emerine, P.E.
Jason M. Emerine, P.E.

39205 Country Club Drive
Suite C-8
Farmington Hills, MI 48331
Phone No. 248.308.3331
E-mail: be@seiberkeast.com

April 7, 2022

Ms. Lindsay Bell, Senior Planner
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Re: **City Center Office Plaza
Pre-Application Review
JSP 21-06**

Dear Ms. Bell:

In accordance with your staff Planning Engineering Review dated November 30, 2021 for the Preliminary Site Plan submittal, we offer the following comments in response. The comment numbers shown below corresponds to the comments contained in the consultant or staff review letters where applicable.

PLANNING REVIEW

Page numbers listed below reference the Planning Review Chart for items in **Bold**.

Ordinance Requirements

1. Development Amenities: Please refer to the landscape response letter for details.
2. Parking Setbacks: A variance is requested from the Parking Setback requirements. Please see attached request as a part of the ZBA Application.
3. Parking Screening: Please refer to the landscape response letter for details. A waiver will be requested, if required.
4. Parking Along Non-Residential Collector: A variance is requested from the Parking requirements. Please see attached request as a part of the ZBA Application.
5. Total Parking Required and Proposed: Please see revised parking calculations showing only 65 spaces are required.
6. Loading Areas: A waiver is requested from the Loading Areas requirements. Please see attached request included as a part of the ZBA Application. A sidewalk has been added along the east side of the proposed building to provide access to the dumpster and loading area from the front door of the building.
7. Loading Space Area: A variance is requested from the Loading Areas requirements. Please see attached request as a part of the ZBA Application. Only small delivery trucks are expected for this use. Please refer to the revised Preliminary Site Plan for the provided area and loading space dimensions. Size of a typical truck is noted in the ZBA request.

8. Loading Area Screening: Please refer to the revised landscape plans showing screening as requested.
9. Sidewalk Along Bond and Flint Street: A variance for a sidewalk along the west side of Flint Street will be requested if required. Given the odd shape of the parcel and the large area required for the Bond Street ROW, there is not adequate room along the eastside of the road. A sidewalk currently exists on the east side of Flint Street. Additionally, the Middle Rouge River cuts the north east corner of the CCOP property and would require a new crossing over the river if a sidewalk were installed. Please see attached request as a part of the ZBA Application.
10. Sidewalk to Adjacent Areas: Please refer to the revised Site Plan submittal. A 5' wide sidewalk connection to the Bond Street sidewalk has been provided as requested. Pedestrian traffic at the proposed drive thru area is not desirable.
11. Woodland Trees: All trees on site have already been demolished by the City of Novi. Please see the landscape response letter for further discussion. A conservation easement will be provided on the Final Site Plan as required.
12. Exterior Signage: Exterior signage will be submitted under a separate letter.
13. Landscape Waivers: Please refer to the landscape response letter for responses.

Planning Review Chart

Pg 2: *Open Space Area for TCI:* Please refer to the landscape response letter and revised landscape plans for pedestrian amenities.

Parking Setback: A ZBA variance is requested.

Pg 3: *Wetland/Watercourse Setback:* Please see responses below to the wetlands review letter.

Parking Setback Screening: Please refer to the landscape response letter and revised landscape plans for screening.

Pg 4: *Sidewalks Required:* As discussed in Item 9 above, a variance is requested for the absence of a sidewalk along Flint Street. A pathway to Bond Street has been provided as requested.

Pg 5: *Development Amenities:* Please refer to the landscape response letter and revised landscape plans for pedestrian amenities.

Required Parking Calculation: Please see revised parking calculations showing only 65 spaces are required.

Pg 6: *End Islands:* End islands have been revised as requested. Please see revised Preliminary Site plan.

Bicycle Parking: The bike rack detail is provided in the revised Preliminary Site Plan.

Pg. 7: *Loading Space:* A variance is requested from the Loading Areas requirements.

Loading Space Screening: Please refer to the revised landscape plans showing screening as requested.

Dumpster: Please refer to the Architectural Plans for details on the dumpster screening. A variance for location of the dumpster less than 10' from the building will be requested if required.

Pg.8: *Drive-Thru Lane Delineated:* Paint lines will be provided and detailed on the Final Site Plan.

Pg 11: *Roof Top Equipment:* Screening will be provided in future submittals as requested.

ENGINEERING REVIEW (Nov. 30, 2021 Review Letter)

As noted in the Engineering Review letter, most items can be addressed at Final Site Plan. Items listed below are provided for clarification and correspond to the numbers in the Engineering Review letter.

General:

1. Noted.
6. Please note a ROW permit from the RCOC for the approach to Grand River Avenue has already been obtained. Additional revisions to this approach will not be required.
8. A same side driveway spacing waiver is requested for the location of the drive approach to grand river as noted in the review letter. This approach location has already been approved by the RCOC, as noted previously.

Paving & Grading:

43. As noted in the review letter, the maneuvering lane at the southwest corner of the building has been revised to provide a minimum 22' width, face of curb to face of curb.
45. A 10' wide asphalt pedestrian pathway is provided along Bond Street. The 10' width matches the width of the existing asphalt pathway along Bond Street.

LANDSCAPE PLAN REVIEW

Please see the Landscape Plans included with the Site Plan submittal.

WETLANDS REVIEW (Nov. 29, 2021 Review Letter)

Please see the attached Wetland Determination Report from Mr. Woody Held of Barr Engineering who performed a site evaluation of the property on November 9, 2021. No wetlands were identified on the site. This report was submitted to the City via email on March 7, 2022. Please note that the Site Plan has been revised to show a 25' wide watercourse setback and the parking lot has been revised slightly to meet this setback requirement.

TRAFFIC REVIEW

External Site Access and Operations

3. a. As noted previously, the RCOC has already approved the approach to Grand River Avenue and a permit for construction has been issued.
5. A sight distance of 450 ft is required at Grand River Avenue for a 40 mph road as noted in the city of Novi Engineering review letter. RCOC has approved this approach location.
6. a. A same side driveway spacing variance is requested.
b. Opposite side driveway spacing has been provided on the Site Plan. (235' +/-)
9. ADA ramps are shown at both driveway approaches.

Internal Site Operations

11. A Loading Zone variance is requested.
12. A variance is requested for side yard location of the trash receptacle.
14. The drive aisle will be revised in the Final Site Plan as requested.
15. End Islands have been revised as requested. Dimensions will be provided as requested.
16. A variance is requested to provide for 10' parking setbacks.
24. Bike rack will be revised as requested.
26. Sidewalk ramp details will be provided at Final Site Plan. All ramps will be designed to meet ADA criteria.

Signing and Striping

32. Note have been added stating the Stop sign is 30". All sign sizes will be provided as requested.
33. Sign quantities and dimensions are noted on the Site Plan. Quantities will be confirmed and provided on the Final Site Plan.

FIRE DEPARTMENT REVIEW (Nov. 30, 2022 Review Letter)

1. Noted.
2. Noted.
3. Noted.
4. Water and hydrant locations are shown on the Site Plan.

Ms. Lindsay Bell, Senior Planner

April 7, 2022

Page 5

Please feel free to contact me at 248.639.9442 or be@seiberkeast.com if you have any questions on the Preliminary Site Plan submittal.

Very Truly Yours,

SEIBER KEAST ENGINEERING, LLC

Robert J. Emerine, P.E.

A handwritten signature in blue ink, appearing to read 'R. Emerine', is positioned to the right of the name 'Robert J. Emerine, P.E.'.

March 30, 2022

Mr. Rick Meader, Landscape Architect
City of Novi Community Development
45175 West 10 Mile
Novi, MI 48375

RE: City Center

Dear Mr. Meader:

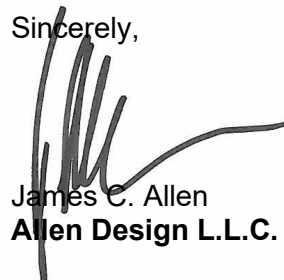
Below are our responses to your review dated February 24, 2022.

Landscape Comments:

- The location of the 36" Walnut will be shown on the topo survey.
- Islands will be dimensioned on the site plan.
- Proposed contours will be shown at final site plan submission.
- A waiver is for a smaller greenbelt is requested since this small site is completely surrounded by streets.
- A waiver is also requested for only having the knee wall located in front of the parking stalls and not the entire parking lot. Since this site is surrounded by streets, it's our opinion having a 360 degree wall will look like a barrier as opposed to a landscape feature as the ordinance intends.
- The tree located at the SW corner of the building will be relocated to the island at the southeast corner of the site. The proposed storm sewer will be adjusted to create room for the tree.
- The Bond Street corner clearance will be revised.
- The screening evergreens located in the eastern finger island will be 5'-6' tall.
- The large island west of the transformer will shown as foundation landscaping thus eliminating the waiver.
- The proposed detention will be underground.

If you have any questions or comments regarding this response, please contact me at your convenience.

Sincerely,



James C. Allen
Allen Design L.L.C.

CITY CENTER OFFICE PLAZA

REQUEST FOR VARIANCE

PARKING SET BACK

A variance is requested for parking setbacks, pursuant to Sect. 3.1.25 D, which requires a 20 foot parking set back on all four (4) sides of the Development.

The mutually agreed to unique design of this Town Center site has created a specific Developer hardship by requiring 20 foot, four sided setbacks. This requirement limits the amount of desired and required parking that can be obtained. The Developer has proposed the following:

20 foot setback	Front / North
10 foot setback	Side / East
12.4 foot setback	Side / West
10 foot setback	Back / South

Rational for Variance:

The Ordinance requires a minimum of 15 % permanently landscaped open space and pedestrian plaza areas for this TC-1 District. The Developers plan demonstrates that .19 acres is required, and .40 acres is provided, in response to this open space requirement. Thus, the reduction in the parking lot setback is off set with excess open space, and thus the proposed parking setbacks should be considered for approval.

CITY CENTER OFFICE PLAZA

REQUEST FOR VRIANCE

REQUIRED PARKING CALCULATION

A variance is requested for required parking calculation, pursuant to Sect. 5.2.12 and Sect. 4.82.2, which require a total of 70 site parking spaces.

Banks require 1 space per 150 square feet of GFA

Office requires 1 space per 222 square feet of GLA

The Developer has proposed a site total of 65 parking spaces for this project.

Rational for Variance:

The end user of this development is yet to be determined at this point of the development strategy. The Ordinance references calculations based on GFA and GLA. In reality this building design will feature functional space devoted to the building operational functions and facilities that will not present an occupancy load, thus reducing the need for the required parking calculation. We respectfully submit that the more representative calculation would be to use (GLOA) Gross Leased and Occupied area. With this revised calculation, this parking should meet the intent of the Ordinance. We have illustrated these non-occupied areas on the drawings that have been submitted.

In addition, today we are all experiencing the “work from home” shift in the office employee field. This life style change puts additional download pressure on traditional parking requirements. The above stated should allow for this variance to parking calculation to be considered.

CITY CENTER OFFICE PLAZA
REQUEST FOR VARIANCE
PARKING ALONG NON-RESIDENTIAL COLLECTOR

A variance is requested for Front Yard Parking, pursuant to Sect. 3.27.1D, which is not allowed in the front yard or the exterior side yard along Flint and Bond Streets.

The Developer has requested parking in these restricted areas.

Rational for Variance:

The subject property is surrounded on all sides by roads, including three sides with non-residential collectors. This Ordinance restricts the possibility of parking to only in the rear yard. Enforcement of this parking restriction presents a hardship to the Developer and imposes severe development restrictions that cannot be overcome. Again, the unique design of this Town Center area presents unique challenges that should be taken into consideration. This parking restriction should be considered for a variance.

CITY CENTER OFFICE PLAZA
REQUEST FOR WAIVER / VARIANCE

LOADING AREA

A variance is requested regarding the proposed loading area. All loading area in TC-1 shall be in rear yard, pursuant to Sect. 3.27.1 H, and Sect. 5.4.2. We have proposed the loading area for the side yard.

RATIONAL FOR VARIANCE:

This development is proposed for a very unusually shaped property as agreed to by the City and the Developer. This unique footprint does not present a true rear yard as the building and property are surrounded, on all sides, by a ring road system. Our Architect and Engineer have designed what is believed to be an adequate and visually attractive area with some screening while maintaining its function. We are requesting that this loading area variance is granted as shown.

Loading Area / Size:

Pursuant to Sec. 5.4.2 Loading area should provide 940 square feet of loading area as required. We have proposed approximately 540 square feet of loading area. Dimensions of a P1200 Fed Ex delivery truck are 22 ft L x 93.5 in W.

Only small delivery trucks, on a fairly infrequent schedule are expected regarding the anticipated building use. The designated area is a very small component of this overall plan. Based on the size and use of this development, we are requesting that a Loading Area variance be granted as shown.

Dumpster Location:

Due to the size constrictions of this site the plans show that the Dumpster is located less than 10 feet from the building. This is a screened area. We are requesting a Waiver to allow the Dumpster to remain as shown on the plans.

CITY CENTER OFFICE PLAZA
REQUEST FOR VARIANCE
SIDEWALK / BOND & FLINT STREET

A variance is requested for a sidewalk along the west side of Flint Street, pursuant to Sect. 3.27.1, if a sidewalk were to be requested.

Rational for Variance:

Given the odd shape of the parcel and the large area required for the Bond Street Right of Way, we do not believe there is adequate room along the eastside of the road. A sidewalk currently exists on the east side of Flint Street. Additionally, the Middle Rouge River cuts across the N E corner of the Development and would require a NEW CROSSING over the river, if this sidewalk is required. We are requesting that a variance be granted to eliminate this sidewalk.

CITY CENTER OFFICE PLAZA
REQUEST FOR WAIVER
SAME SIDE DRIVEWAY SPACING

Rational for Waiver:

This approach location has already been approved by the RCOC, as noted previously.

Therefore we request that a Waiver be granted.

CITY CENTER OFFICE PLAZA

REQUEST FOR WAIVER

PARKING SCREENING

A waiver is requested for Parking Screening pursuant to Sec. 3.27.1.D, which requires parking areas to be screened from all public Right of Way.

Rational for Waiver:

We have shown substantial screening with a 2.5 foot brick wall. We are requesting a Waiver regarding Parking Screening to be acceptable as shown on the submitted plans.

February 23, 2022

Patricia Keros
City Center Office Plaza, LLC
200 Renaissance Center, Suite 3145
Detroit 48243

**Re: Wetland Determination Report – Proposed City Center Office Plaza
Parcel Nos. 22-15-477-011, 012 City of Novi, Oakland County, Michigan**

Dear Ms. Keros:

At your request, Barr Engineering Co. (Barr) conducted a wetland determination of the above-referenced parcels. The purpose of this report is to summarize the results of the wetland determination conducted on November 9, 2021, and to provide a professional opinion as to potential Michigan Department of Environment, Great Lakes, and Energy (EGLE) jurisdiction over any identified wetland areas.

1.0 Area of Investigation Description

The Area of Investigation (AOI) is approximately 1.4 acres, comprised of the two subject parcels but excluding an approximately 0.5-acre detention basin located on the east parcel (number 22-15-477-011) on the south side of Grand River Avenue and on the west side of Flint Street. The AOI consists of a single-family residence on the west parcel and mowed lawn with a segment of the Walled Lake Branch of the Middle Rouge River on the east parcel. The surrounding land use is a mixture of vacant land and commercial development.

1.1 Desktop Review

Barr conducted a desktop review to evaluate aerial imagery, topography, soil types, and mapped wetlands within the AOI prior to the wetland determination. As part of the desktop review, Barr staff reviewed resources such as the Natural Resources Conservation Service (NRCS) Web Soil Survey (WSS; Figure 1), Michigan Final Wetlands Inventory (MFWI; Figure 2), the City of Novi Wetlands Information map (Novi, Figure 3) and aerial photography.

According to the WSS, the AOI is mapped entirely as Urban land (59) soil map unit which consists of areas so altered or obscured by urban works and structures that identification of soils is not feasible.

The MFWI does not show the AOI to contain any wetlands or areas of wetland soil however it does show the AOI to contain a stream segment.

The Novi map only shows wetlands in the location of the Walled Lake Branch of the Middle Rouge River.

1.2 Methodology

The wetland determination was conducted in a manner consistent with the *Corps of Engineers Wetlands Determination Manual* (USACE 1987) and the *Regional Supplement to the Corps of Engineers Wetland*

Determination Manual: Midwest Region (Version 2, USACE 2010). The wetland determination procedures outlined in these manuals require the determination of on-site vegetation, soils, and hydrologic characteristics.



Figure 1. NRCS Web Soil Survey

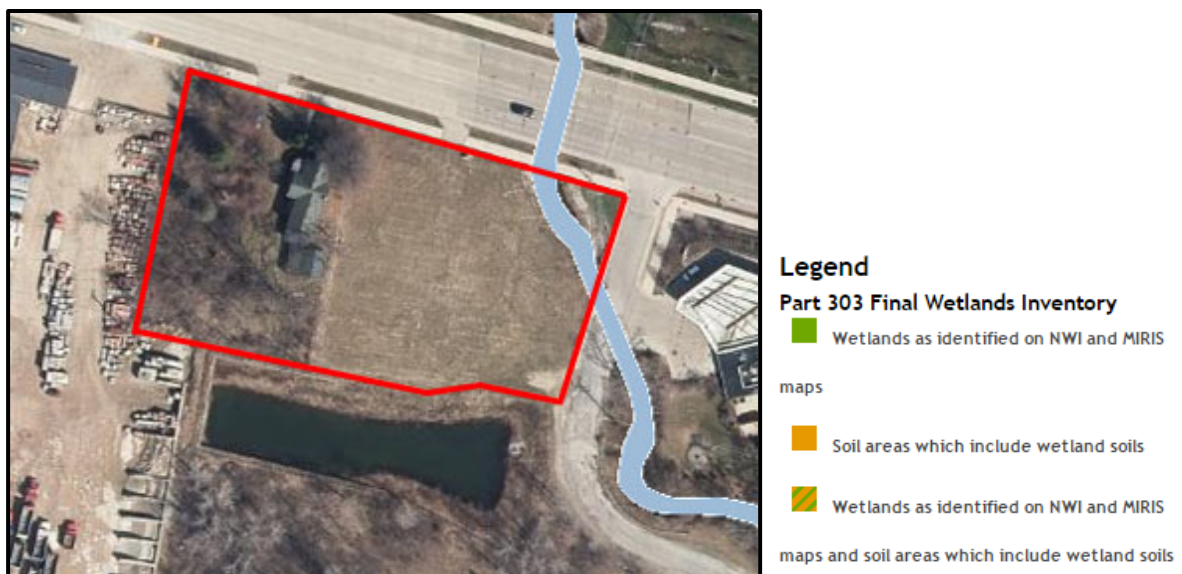


Figure 2. Michigan Final Wetlands Inventory

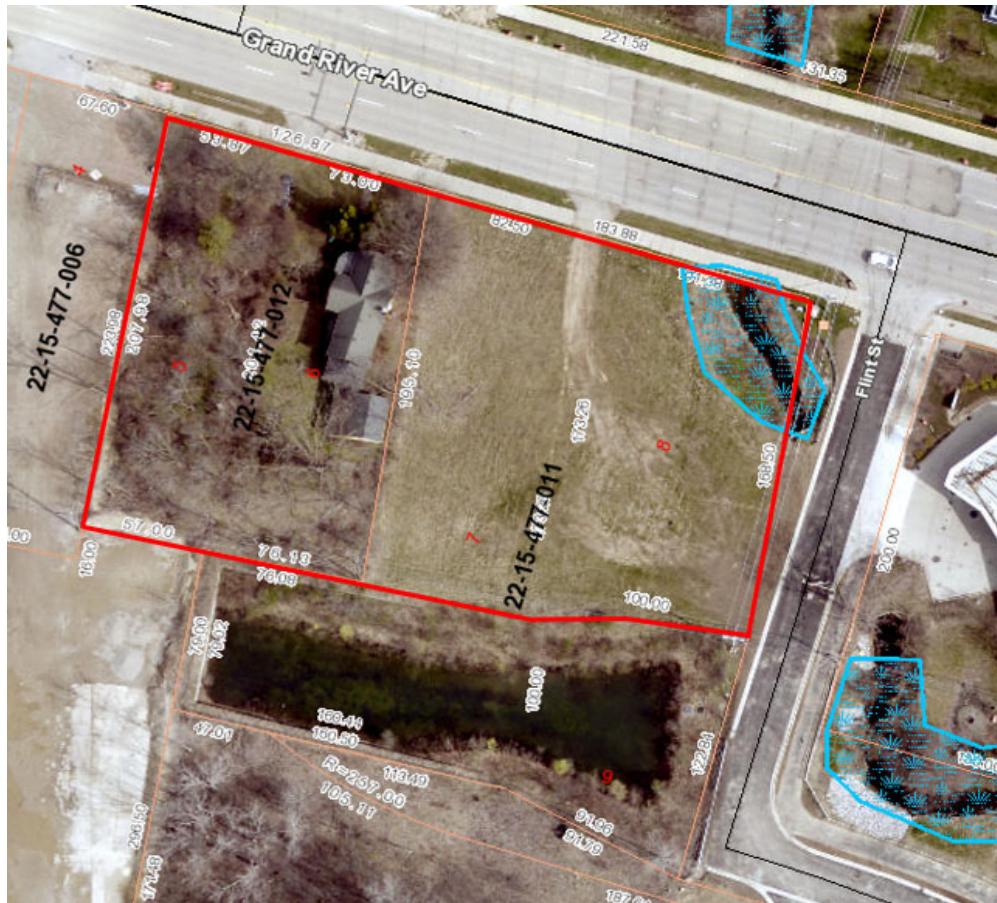


Figure 3. City of Novi Wetlands Information Map

1.3 Results

The AOI does not include any areas determined to be wetland. The vegetation observed in the lawn includes species such as English plantain (*Plantago lanceolata*), alsike clover (*Trifolium hybridum*), ground ivy (*Glechoma hederacea*), yellow sweet-clover (*Melilotus officinalis*), common dandelion (*Taraxacum officinale*), and red fescue (*Festuca rubra*). Vegetation observed on the single family residence was dominated by black walnut (*Juglans nigra*) but also included burr oak (*Quercus macrocarpa*), American elm (*Ulmus americana*), black locust (*Robinia pseudoacacia*), box elder (*Acer negundo*), northern catalpa (*Catalpa speciosa*), American basswood (*Tilia americana*), Eastern red cedar (*Juniperus virginiana*), Norway spruce (*Picea abies*), Eastern arborvitae (*Thuja occidentalis*), common buckthorn (*Rhamnus cathartica*), European privet (*Ligustrum vulgare*), Morrow's honeysuckle (*Lonicera morrowii*), common lilac (*Syringa vulgaris*), autumn olive (*Elaeagnus umbellata*), black raspberry (*Rubus occidentalis*), riverbank grape (*Vitis riparia*), tall goldenrod (*Solidago altissima*), Oswego-tea (*Monarda fistulosa*), lily of the valley (*Convallaria majalis*), and red fescue. The Walled Lake Branch flows through a riprap line channel in the lawn. Vegetation observed on the banks included box elder, staghorn sumac (*Rhus typhina*), common buckthorn, green ash (*Fraxinus pennsylvanica*), Morrow's honeysuckle, field thistle (*Cirsium discolor*), purple loosestrife (*Lythrum salicaria*), Fuller's teasel (*Dipsacus fullonum*), Indian-hemp (*Apocynum cannabinum*), tall goldenrod, day-lily (*Hemerocallis sp.*), and reed canary grass (*Phalaris arundinacea*).

Figures 4 through 12 show the site conditions as observed on November 9, 2021.



Figure 4. East side of the detention basin looking northwest.



Figure 5. Northeast portion of AOI looking south, Walled Lake Branch in foreground.



Figure 6. Northeast portion of AOI looking west, Walled Lake Branch in foreground.



Figure 7. Northeast portion of AOI looking northwest, Walled Lake Branch in foreground.



Figure 8. Southwest portion of AOI looking north.



Figure 9. Southwest portion of AOI looking northeast.



Figure 10. Southwest portion of AOI looking east.



Figure 11. Northwest portion of AOI looking southeast.



Figure 12. Walled Lake Branch looking from Flint Street to Grand River Avenue.

1.4 Conclusions

Based on observations of topography, vegetation, soil, and indicators of hydrology, Barr has determined that no wetland habitat is present within the AOI. The AOI does contain the Walled Lake Branch of the Middle Rouge River which would be regulated by EGLE as a stream under Part 301 Inland Lakes and Streams of the Michigan Natural Resources and Environmental Protection Act, 1994 PA 451, as amended, and by the City of Novi under Chapter 12 Article V. Wetlands and Watercourse Protection of the City's Code of Ordinances.

Please be advised that EGLE has regulatory authority regarding the wetland boundary location(s) and jurisdictional status of wetlands in the State of Michigan under Part 303 Wetlands Protection of the Michigan Natural Resources and Environmental Protection Act, 1994 PA 451, as amended, and the City of Novi has regulatory authority regarding wetland jurisdictional status under local ordinance. Barr's wetland determination was performed in general accordance with accepted procedures for conducting wetland determinations. Barr provides no warranty, guarantee, or other agreement in respect to the period of time for which this wetland determination will remain valid. Barr's conclusions reflect our professional opinion based on the site conditions within the AOI observed during the site visits. Discrepancies may arise between current and future wetland determinations and determinations due to changes in vegetation and/or hydrology as the result of land use practices or other environmental factors, whether on-site or on adjacent or nearby properties. In addition, wetland determinations performed outside the growing season, from late-October until late-April, may differ from those performed at the same site during the growing season due to the presence of snow cover or frozen ground conditions. We recommend our wetland boundary determination and jurisdictional opinion be reviewed by EGLE prior to undertaking any activity within any identified wetlands or streams.

Thank you for the opportunity to provide this wetland determination. If you have any questions, please contact me at your convenience at 734-558-9288 or wheld@barr.com.

Sincerely,

BARR ENGINEERING CO.



Woody L. Held
Senior Environmental Consultant