



## HILTON TRU HOTEL JSP 17-54

### HILTON TRU HOTEL JSP 17-54

Consideration at the request of Great Lakes Hospitality Group for Planning Commission's approval of Preliminary Site Plan and Storm Water Management Plan. The subject property is approximately 3.58 acres and is located south side of Thirteen Mile Road and east of M-5 in section 12. The applicant is proposing to construct a four story 98 room hotel. The site layout proposes associated parking, loading and bike facilities. Site access is provided off of Thirteen Mile Road.

### Required Action

Approve/Deny the Preliminary Site Plan and Storm water Management plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	10-17-17	<ul style="list-style-type: none"> <li>Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Engineering	Approval recommended	10-13-17	<ul style="list-style-type: none"> <li>Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Landscaping	Approval recommended	10-06-17	<ul style="list-style-type: none"> <li><b>Waiver for absence of required berm along M-5 and 13 Mile Right Of Way</b></li> <li><b>Waiver for proposing a retaining wall in place of berm for southern portion of site layout along M-5 ROW</b></li> <li><b>Waiver for absence of required street trees along M-5 and 13 Mile road frontage</b></li> <li><b>Waiver for reduction of parking lot perimeter trees along the entire extent proposed retaining wall</b></li> <li>Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Wetlands	Approval recommended	10-11-17	<ul style="list-style-type: none"> <li><b>Letter of authorization for encroaching into 25 foot wetland buffers</b></li> <li>Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Traffic	Approval recommended	10-10-17	<ul style="list-style-type: none"> <li><b>Applicant to propose the required right-turn taper at the site driveway at the time of final site plan submittal</b></li> <li>Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Façade	Approval recommended	10-31-17	<ul style="list-style-type: none"> <li><b>A Section 9 Waiver is required for the overage of CMU and Laminated Plastic Panels</b></li> <li>The drawings should be revised to indicate stacked bond pattern for the CMU at the time of final site plan submittal</li> </ul>
Fire	Approval recommended	09-26-17	<ul style="list-style-type: none"> <li>Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>

Approval – Preliminary Site Plan

In the matter of Hilton Tru Hotel JSP 17-54, motion to approve the Preliminary Site Plan with a Section 9 waiver, based on and subject to the following:

- a. Section 9 Waiver for the overage of CMU(0% allowed, 22% on east, 28% on west, 25% on north and 25% on south proposed) and Laminated Plastic Panels (0% allowed, 13% on east, 1% on west, 4% on north and 4% on south proposed), which is hereby granted;
- b. The applicant shall revise the drawings to indicate stacked bond pattern for the CMU at the time of final site plan submittal
- c. Landscape waiver from Section 5.5.3.B.ii for absence of required street trees along Thirteen Mile frontage due to existing water main , which is hereby granted;
- d. Landscape waiver from Section 5.5.3.B.ii for absence of required street trees within M-5 frontage as we haven't required other projects to provide M-5 or I-96 street trees; which is hereby granted;
- e. Landscape waiver from Zoning Sec. 5.5.3.B.ii for not meeting minimum requirements for height and crest width of required berm along Thirteen Mile frontage due to existing swale, which is hereby granted;
- f. Landscape waiver from Zoning Sec. 5.5.3.B.ii for absence of berm along entire M-5 frontage where a wall in not proposed, due to existing berm within M-5 right-of-way existing site topography, which is hereby granted;
- g. Landscape waiver from Zoning Sec. 5.5.3.B.ii for providing a retaining wall in lieu of required berm for an approximate length of eighty feet along M-5 frontage due to site topography, which is hereby granted;
- h. Landscape waiver from section Zoning Sec. 5.5.3.C.iv for reduction of parking lot perimeter trees due to conflict with the proposed retaining wall geotextile supports, which is hereby granted;
- i. The applicant to provide the require right turn taper lane at the time of final site plan submittal;
- j. The applicant to provide the require right turn taper lane at the time of final site plan submittal;
- k. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
- l. *(additional conditions here if any)*

*(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**-AND-**

Approval – Stormwater Management Plan

In the matter of Hilton Tru Hotel JSP 17-54, motion to **approve** the Stormwater Management Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

*(This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

**- OR -**

**Denial – Preliminary Site Plan**

In the matter of Hilton Tru Hotel JSP 17-54, motion to **deny** the Preliminary Site Plan...*(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**-AND-**

**Denial – Stormwater Management Plan**

In the matter of Hilton Tru Hotel JSP 17-54, motion to **deny** the Stormwater Management Plan...*(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

MAPS

Location

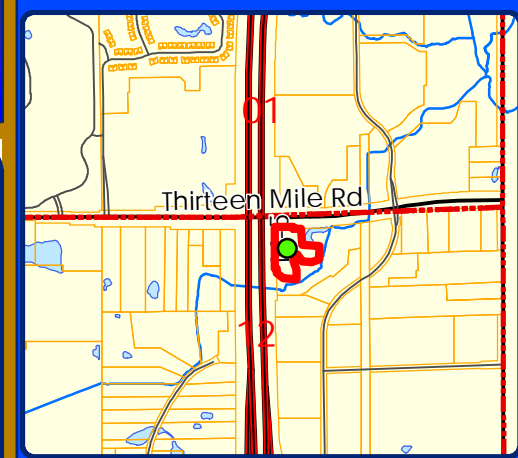
Zoning

Future Land Use

Natural Features

# HITLON TRU HOTEL JSP 17-54

Location



### LEGEND

 Sections



## City of Novi

Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

Map Author: Sri Komaragiri  
Date: 11/3/17  
Project: HITLON TRU HOTEL JSP 17-54  
Version #: 1



1 inch = 125 feet

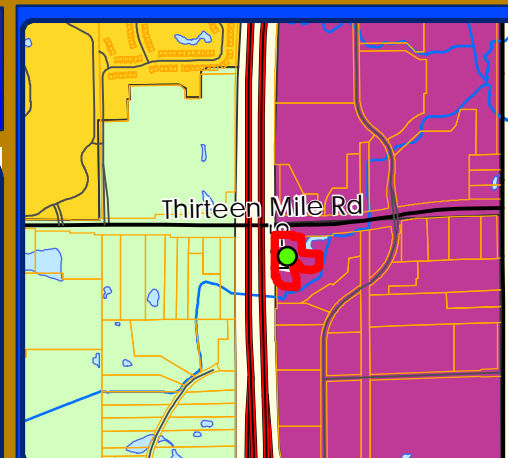
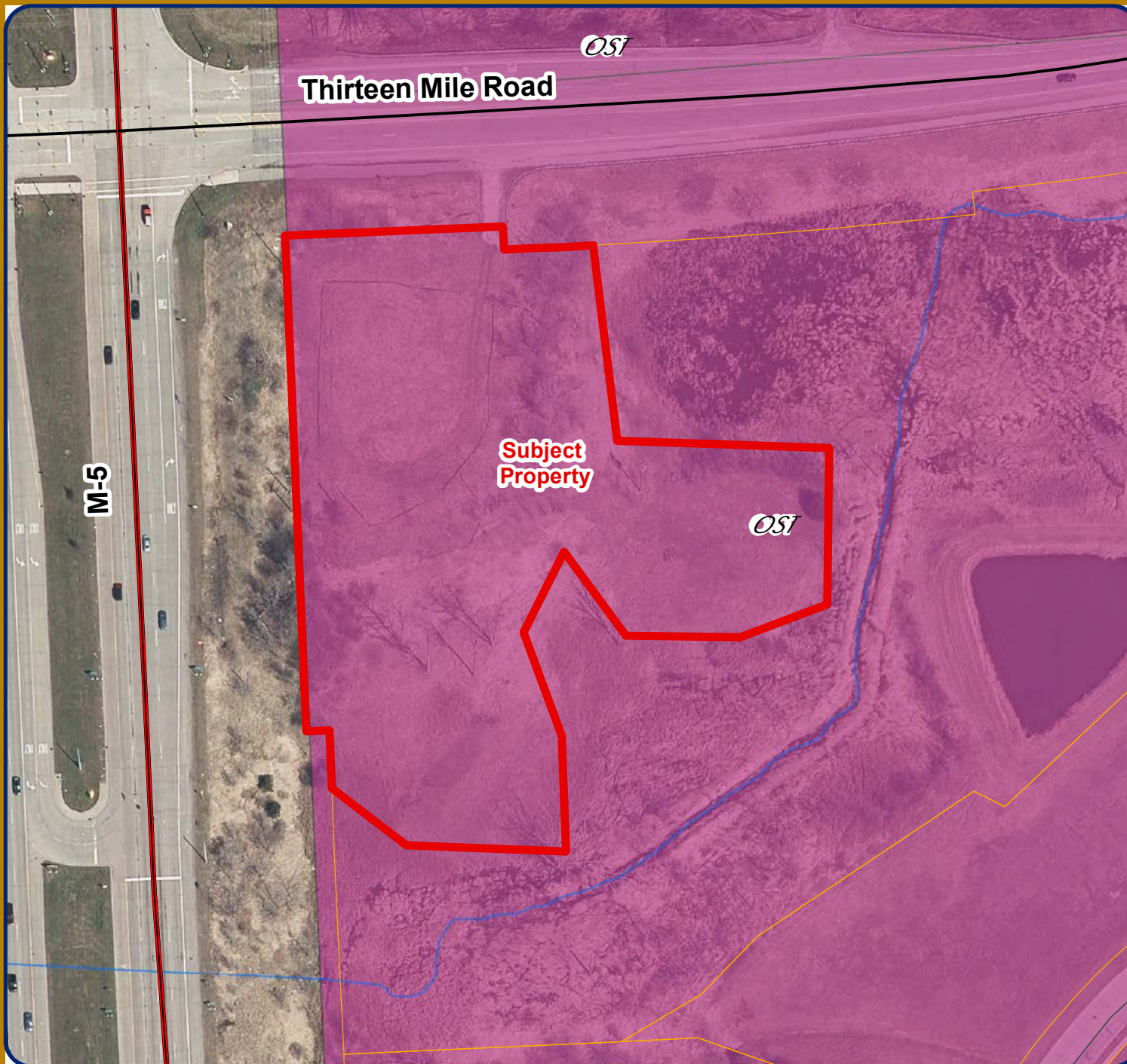


### MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

# HITLON TRU HOTEL JSP 17-54

Zoning



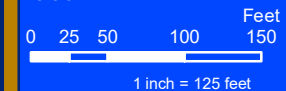
### LEGEND

- R-A: Residential Acreage
- RM-1: Low-Density Multiple Family
- OST: Office Service Technology



**City of Novi**  
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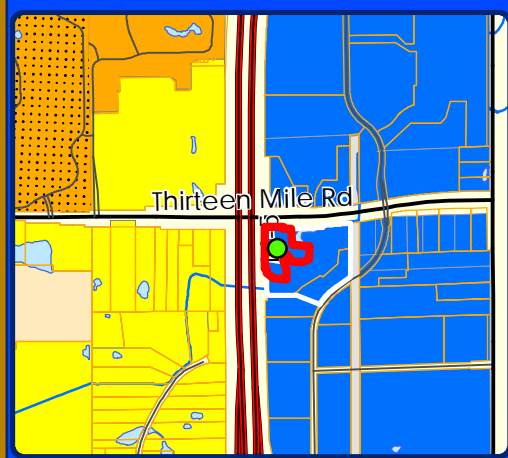


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


# HITLON TRU HOTEL JSP 17-54

Future Land Use



### LEGEND

#### FUTURE LAND USE

-  Single Family
-  Multiple Family
-  PD1
-  Office RD Tech
-  Educational Facility
-  Utility



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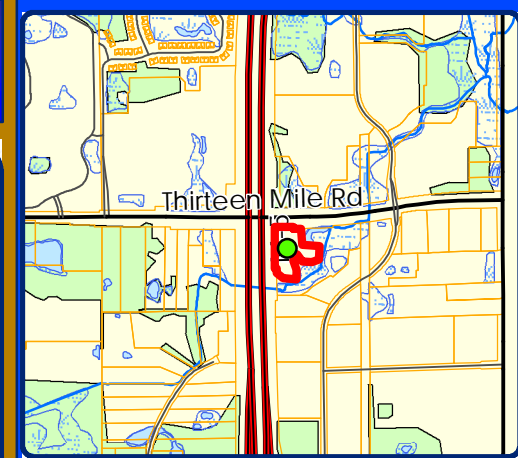


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# HITLON TRU HOTEL JSP 17-54

## Natural Features



### LEGEND

-  WETLANDS
-  WOODLANDS



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**SITE PLAN**

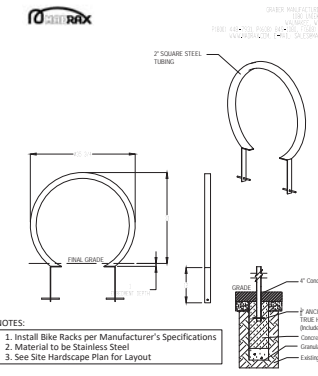
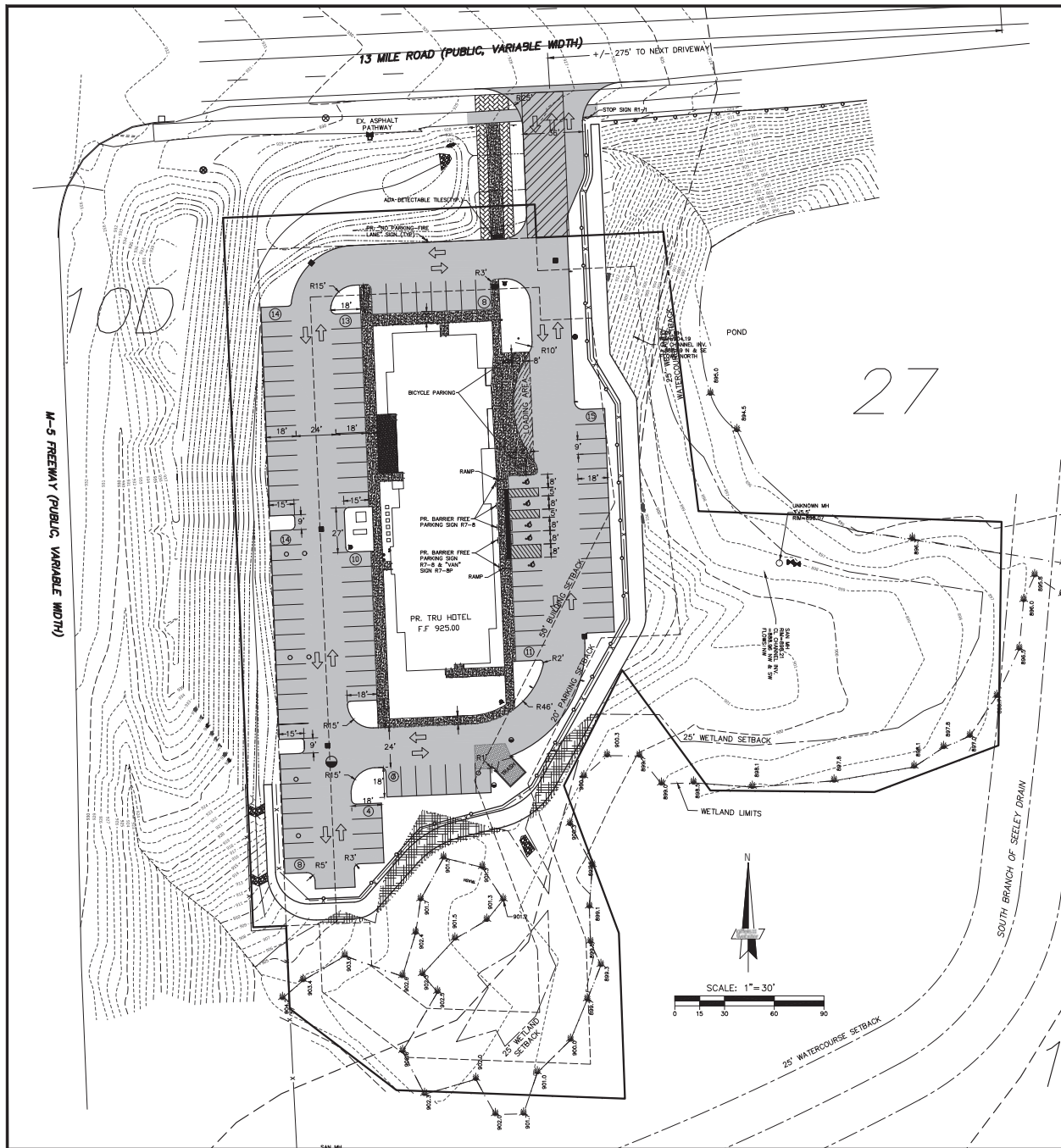
(Full plan set available for viewing at the Community Development Department.)





**EXTERIOR RENDERING**

**BOWERS+**  
**ASSOCIATES**  
ARCHITECTURE DESIGN



**LOT COVERAGE DATA**

GROSS ACREAGE: 3.58 ACRES  
DEVELOPED ACREAGE INCLUDING ROW: 2.40 ACRES  
DETACHED ACREAGE: 1.0 ACRES  
IMPERVIOUS AREA: 1.1 ACRES (INCLUDING ALL PAVEMENT) 48,300 SF - 31% COVERAGE  
BUILDING AREA: 0.25 ACRES - 7% COVERAGE

**PARCEL DATA**

ZONING: SITE - OST - OFFICE SERVICE TECHNOLOGY  
NORTH 1ST - OFFICE SERVICE TECHNOLOGY  
SOUTH 1ST - OFFICE SERVICE TECHNOLOGY  
EAST 1ST - OFFICE SERVICE TECHNOLOGY  
WEST M S ROW

**SOIL DATA**

100 - MARLETTE LOAM, 12-18 PERCENT SLOPE  
106 - SPINKS LOAMY SAND, 6-12 PERCENT SLOPE  
27 - HOUGHTON AND ADMIRAL MUCKS

**WETLAND DATA**

WETLANDS ON SITE  
WETLAND FILL 0.5F  
WETLAND SETBACK FILL 2,103 SF  
FLOODPLAIN - ZONE X  
SOUTH BRANCH OF SEELEY DRAIN ADJACENT TO SITE

**WOODLAND DATA**

SITE OUTSIDE OF REGULATED WOODLAND AREA AND DOES NOT CONTAIN TREES 30" DBH OR GREATER

**DRAINAGE NOTES**

ALL SITE DETENTION WILL BE ACCOUNTED FOR WITHIN AN UNDERGROUND FACILITY ON SITE AND RELEASED PER CITY STANDARDS TO THE EXISTING STREAM ON SITE.

**REQUIRED SETBACK**

FRONT (NORTH): 50'      PROPOSED SETBACK: 30'  
FRONT (WEST): 50'      FRONT (WEST): 90'  
REAR (SOUTH): 50'      FRONT (SOUTH): 200'  
SIDE (EAST): 50'      SIDE (EAST): 70'

MAX BUILDING HEIGHT ALLOWED: 40' OR 3 STORIES (36' FOOT NORTH OF GRAB DRAIN)  
BUILDING HEIGHT PROPOSED: 44' 4 STORIES

**SITE DEVELOPMENT DATA**

ALL ROOF TOP UNITS TO BE SCREENED  
ALL ROOF TOP UNITS TO BE LOCATED BEHIND ROOF TOP SCREENING  
ALL CORNER AND INTERNAL UNITS TO BE 4' HIGH PER CITY STANDARD  
ALL SIGNING AND PARKING MARKINGS SHALL BE IN COMPLIANCE WITH THE MMDOT  
ALL PARKING STRIPING SHALL BE WHITE  
ALL ADA PARKING STRIPING SHALL BE BLUE

**PARKING DATA**

REQUIRED: 98 ROOMS  
5 EMPLOYEES  
93 TOTAL SPACES (8 HANDICAP)

PROPOSED: 103 ONSITE SPACES

LOADING AREA: 250 SF REQUIRED  
486 SF PROPOSED

REQUIRED: 4 BICYCLE SPACES  
PROPOSED: 4 BICYCLE SPACES

**LIGHTING DATA**

ALL OUTDOOR LIGHTS SHALL BE SHIELDED TO REDUCE GLARE AND SHALL BE ARRANGED TO NOT INTERFERE WITH THE VISION OF PERSONS ON ADJACENT ROADWAYS OR ADJACENT PROPERTY.

**PROPERTY DESCRIPTION**

(PER REPLY NO. 2, OAKLAND COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 1476, EXHIBIT "B" TO THE MASTER DEED OF HAZLET'S CORRIDOR CORPORATE PARK CONDOMINIUM PHASE 1, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN)

**UNIT 1**

A PARCEL OF LAND BEING PART OF THE NORTHEAST 1/4 OF SECTION 12, TOWN 1 NORTH RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS COMMENCING AT THE NORTH 1/4 CORNER OF SECTION 12:

THENCE N 87°22'27" E, 476.20 FEET ALONG THE NORTH 1/4 LINE, ALSO BEING THE CENTERLINE OF 13 MILE ROAD, THENCE S 0°22'57" E, 114.8 FEET TO THE POINT OF BEGINNING, THENCE N 87°22'57" E, 108.00 FEET, THENCE N 87°22'57" E, 90.00 FEET, THENCE S 0°22'57" E, 200.00 FEET, THENCE N 87°22'57" E, 233.66 FEET, THENCE S 37°17'17" E, 100.00 FEET TO THE LEFT, SMOO CURVE BEARING S 10°00'00" E, 200.00 FEET, AND A CHORD BEARING N 87°22'57" E, 32.74 FEET, THENCE S 0°22'57" E, 184.99 FEET, THENCE S 87°22'57" E, 180.00 FEET, THENCE S 87°22'57" E, 155.00 FEET, THENCE S 87°22'57" E, 80.00 FEET, THENCE N 87°22'57" E, 99.00 FEET, THENCE N 30°13'57" W, 90.00 FEET, THENCE N 30°13'57" W, 90.00 FEET, THENCE S 30°13'57" W, 180.00 FEET, THENCE S 30°13'57" W, 180.00 FEET, THENCE S 0°22'57" E, 180.00 FEET, THENCE S 0°22'57" E, 180.00 FEET, THENCE N 87°22'57" E, 180.00 FEET, THENCE N 87°22'57" E, 81.00 FEET, THENCE N 0°22'57" W, 50.66 FEET, THENCE S 87°22'57" E, 200.00 FEET, THENCE N 0°22'57" W, 425.84 FEET TO THE POINT OF BEGINNING, CONTAINING 3.58 ACRES MORE OR LESS AND SUBJECT TO ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.

**giffels webster**

Engineers  
Surveyors  
Planners  
Landscape Architects

1025 East Maple Road  
Suite 100  
Birmingham, MI 48009  
p (248) 652-3100  
f (313) 962-5008  
www.giffelswebster.com

Executive: MP  
Manager: AW  
Designer: AW  
Quality Control: MP

Section: 12  
T-1-N R-B-E

Professional Seal

DATE	ISSUE
05.12.2017	OWNER REVIEW
05.17.2017	OWNER REVIEW
06.17.2017	SOIL BORING REFERENCE
08.23.2017	CONCEPTUAL PLAN
10.10.2017	OWNER REVIEW
07.26.2017	PRELIMINARY SITE PLAN
05.15.2017	PRELIMINARY SITE PLAN

Developed For:

**GREAT LAKES HOSPITALITY GROUP**

1573 S. TELEGRAPH ROAD  
BLOOMFIELD HILLS, MI 48302

MR. MIKE BACALL  
248-507-4011

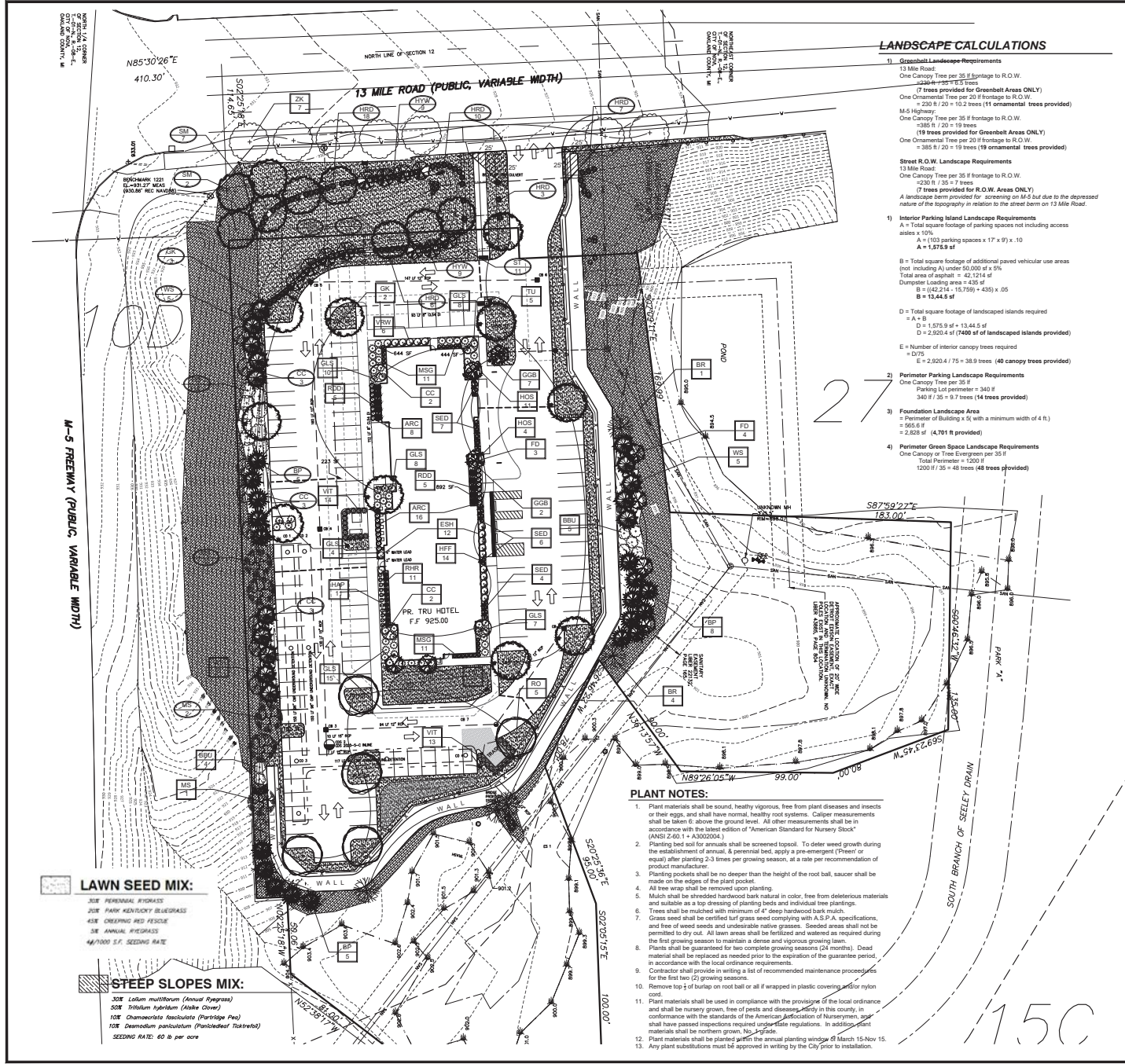
**DIMENSIONAL SITE PLAN**

NOVI TRU  
40255 W. 13 MILE ROAD

CITY OF NOVI  
OAKLAND COUNTY  
MICHIGAN

Date: 05.12.2017  
Scale: 1"=30'  
Sheet: 03  
Project: 19208.00

PRELIMINARY SITE PLAN



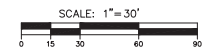
# LANDSCAPE CONTRACTOR'S TWO-YEAR IRRIGATION REQUIREMENT PERIOD

It shall be the responsibility of the landscape contractor to program and periodically adjust the irrigation system (provided by others) as required to ensure delivery of proper and adequate water supply to all plant materials, and seeded lawn areas serviced by the same irrigation system, to ensure the establishment of healthy plant material and lawn for their first year of growth. Following the landscape contractor's two-year irrigation requirement period, the contractor shall provide the owner with suggested irrigation maintenance schedule for their use.

- No existing trees on site will be saved.
- There are no regulated woodlands on site.
- All plant materials shall be northern nursery grown, No. 1 grade.
- Plant materials shall not be planted within 4' ft. of property line.

### LANDSCAPE CALCULATIONS

- Greenbelt Landscape Requirements**  
13 Mile Road:  
One Canopy Tree per 35 ft frontage to R.O.W.  
= 229.7 ± 0.5 trees  
= 230 ± 1 trees provided for Greenbelt Areas ONLY  
One Ornamental Tree per 20 ft frontage to R.O.W.  
= 290.8 ± 0.2 trees (11 ornamental trees provided)  
M-5 Highway:  
One Canopy Tree per 35 ft frontage to R.O.W.  
= 236.6 ± 19 trees  
(19 trees provided for Greenbelt Areas ONLY)  
One Ornamental Tree per 20 ft frontage to R.O.W.  
= 385.8 ± 20 ± 19 trees (19 ornamental trees provided)
- Street R.O.W. Landscape Requirements**  
13 Mile Road:  
One Canopy Tree per 35 ft frontage to R.O.W.  
= 230.8 ± 0.5 trees  
(7 trees provided for R.O.W. Areas ONLY)  
A landscape berm provided for screening on M-5 but due to the depressed nature of the topography in relation to the street berm on 13 Mile Road.
- Interior Parking Island Landscape Requirements**  
A = Total square footage of parking spaces not including access aisles x 10%  
A = 103 parking spaces x 17' x 9' x 10  
A = 1,575.9 sf  
B = Total square footage of additional paved vehicular use areas (not including A) under 50,000 of a 5% Total area of asphalt = 42,124 sf  
Dumper Loading area = 435 sf  
B = (42,124 + 15,759) x 435 x .05  
B = 12,44.5 sf  
D = Total square footage of landscaped islands required  
= A + B  
D = 1,575.9 sf + 12,44.5 sf  
D = 2,920.4 sf (7400 sf of landscaped islands provided)  
E = Number of interior canopy trees required  
= 2,920.4 / 75 = 38.9 trees (40 canopy trees provided)
- Perimeter Parking Landscape Requirements**  
One Canopy Tree per 35 ft  
Parking Lot perimeter = 340 ft  
340 ft / 35 = 9.7 trees (14 trees provided)
- Foundation Landscape Area**  
= Perimeter of Building x 5' with a minimum width of 4 ft.  
= 565.5 lf  
= 2,928.5 sf (4,791 lf provided)
- Perimeter Green Space Landscape Requirements**  
One Canopy or Tree Equivalent per 35 ft  
Total Perimeter = 1200 ft  
1200 ft / 35 = 44 trees (48 trees provided)



#### R.O.W. GREENBELT PLANT LIST:

NO.	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE
11	ST	SCURFPEAR	ACER GLABRUM	7" CAL. 8' Ht.
12	ST	WORKING TREE LILAC	SYRINGA MOUTANENSIS VARIETY 'ELITE'	Single Stem 8' Ht.
13	ST	HYDRANGEA TREES	HYDRANGEA PANICULATA	Single Stem 8' Ht.
14	ST	DOGWOOD	FRAXINUS EUROPAEA	Single Stem 8' Ht.
15	ST	DOGWOOD PURPLE BEECH	FAGUS SIVATICA 'DAWYON PURPLE'	2" CAL. 8' Ht.
16	ST	DOGWOOD	FAGUS SIVATICA 'DAWYON PURPLE'	2" CAL. 8' Ht.
17	SH	DOGWOOD	FAGUS SIVATICA 'DAWYON PURPLE'	2" CAL. 8' Ht.
18	SH	DOGWOOD	FAGUS SIVATICA 'DAWYON PURPLE'	2" CAL. 8' Ht.
19	SH	DOGWOOD	FAGUS SIVATICA 'DAWYON PURPLE'	2" CAL. 8' Ht.
20	SH	DOGWOOD	FAGUS SIVATICA 'DAWYON PURPLE'	2" CAL. 8' Ht.
21	SH	DOGWOOD	FAGUS SIVATICA 'DAWYON PURPLE'	2" CAL. 8' Ht.
22	SH	DOGWOOD	FAGUS SIVATICA 'DAWYON PURPLE'	2" CAL. 8' Ht.
23	SH	DOGWOOD	FAGUS SIVATICA 'DAWYON PURPLE'	2" CAL. 8' Ht.

#### PERIMETER & INTERIOR LANDSCAPE PLANT LIST:

NO.	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE
1	BT	HERITAGE WASH BEECH	BETULA NIGRA 'HERITAGE'	1 1/2" CAL. 3-4 M. Max. Hgt. 8' Ht.
2	BT	DAWYON PURPLE BEECH	FAGUS SIVATICA 'DAWYON PURPLE'	1 1/2" CAL. 3-4 M. Max. Hgt. 8' Ht.
3	BT	DOGWOOD	FRAXINUS EUROPAEA	1 1/2" CAL. 3-4 M. Max. Hgt. 8' Ht.
4	BT	DOGWOOD	FRAXINUS EUROPAEA	1 1/2" CAL. 3-4 M. Max. Hgt. 8' Ht.
5	BT	DOGWOOD	FRAXINUS EUROPAEA	1 1/2" CAL. 3-4 M. Max. Hgt. 8' Ht.
6	BT	DOGWOOD	FRAXINUS EUROPAEA	1 1/2" CAL. 3-4 M. Max. Hgt. 8' Ht.
7	BT	DOGWOOD	FRAXINUS EUROPAEA	1 1/2" CAL. 3-4 M. Max. Hgt. 8' Ht.
8	BT	DOGWOOD	FRAXINUS EUROPAEA	1 1/2" CAL. 3-4 M. Max. Hgt. 8' Ht.
9	BT	DOGWOOD	FRAXINUS EUROPAEA	1 1/2" CAL. 3-4 M. Max. Hgt. 8' Ht.
10	BT	DOGWOOD	FRAXINUS EUROPAEA	1 1/2" CAL. 3-4 M. Max. Hgt. 8' Ht.
11	BT	DOGWOOD	FRAXINUS EUROPAEA	1 1/2" CAL. 3-4 M. Max. Hgt. 8' Ht.
12	BT	DOGWOOD	FRAXINUS EUROPAEA	1 1/2" CAL. 3-4 M. Max. Hgt. 8' Ht.
13	BT	DOGWOOD	FRAXINUS EUROPAEA	1 1/2" CAL. 3-4 M. Max. Hgt. 8' Ht.
14	BT	DOGWOOD	FRAXINUS EUROPAEA	1 1/2" CAL. 3-4 M. Max. Hgt. 8' Ht.
15	BT	DOGWOOD	FRAXINUS EUROPAEA	1 1/2" CAL. 3-4 M. Max. Hgt. 8' Ht.
16	BT	DOGWOOD	FRAXINUS EUROPAEA	1 1/2" CAL. 3-4 M. Max. Hgt. 8' Ht.
17	BT	DOGWOOD	FRAXINUS EUROPAEA	1 1/2" CAL. 3-4 M. Max. Hgt. 8' Ht.
18	BT	DOGWOOD	FRAXINUS EUROPAEA	1 1/2" CAL. 3-4 M. Max. Hgt. 8' Ht.
19	BT	DOGWOOD	FRAXINUS EUROPAEA	1 1/2" CAL. 3-4 M. Max. Hgt. 8' Ht.
20	BT	DOGWOOD	FRAXINUS EUROPAEA	1 1/2" CAL. 3-4 M. Max. Hgt. 8' Ht.
21	BT	DOGWOOD	FRAXINUS EUROPAEA	1 1/2" CAL. 3-4 M. Max. Hgt. 8' Ht.
22	BT	DOGWOOD	FRAXINUS EUROPAEA	1 1/2" CAL. 3-4 M. Max. Hgt. 8' Ht.
23	BT	DOGWOOD	FRAXINUS EUROPAEA	1 1/2" CAL. 3-4 M. Max. Hgt. 8' Ht.
24	BT	DOGWOOD	FRAXINUS EUROPAEA	1 1/2" CAL. 3-4 M. Max. Hgt. 8' Ht.
25	BT	DOGWOOD	FRAXINUS EUROPAEA	1 1/2" CAL. 3-4 M. Max. Hgt. 8' Ht.
26	BT	DOGWOOD	FRAXINUS EUROPAEA	1 1/2" CAL. 3-4 M. Max. Hgt. 8' Ht.
27	BT	DOGWOOD	FRAXINUS EUROPAEA	1 1/2" CAL. 3-4 M. Max. Hgt. 8' Ht.
28	BT	DOGWOOD	FRAXINUS EUROPAEA	1 1/2" CAL. 3-4 M. Max. Hgt. 8' Ht.
29	BT	DOGWOOD	FRAXINUS EUROPAEA	1 1/2" CAL. 3-4 M. Max. Hgt. 8' Ht.
30	BT	DOGWOOD	FRAXINUS EUROPAEA	1 1/2" CAL. 3-4 M. Max. Hgt. 8' Ht.

#### PLANT NOTES:

- Plant materials shall be sound, healthy vigorous, free from plant diseases and insects or their eggs, and shall have normal, healthy root systems. Caliper measurements shall be taken 8" above the ground level. All other measurements shall be in accordance with the latest edition of "American Standard for Nursery Stock" (ANSI Z-60.1-1-A3002004).
- Planting soil for annuals shall be screened topsoil. To deter weed growth during the establishment of annual, and perennial bed, apply a pre-emergent (Premer) or equal after planting 2-3 times per growing season, at a rate per recommendation of product manufacturer.
- Planting pockets shall be no deeper than the height of the root ball, saucer shall be made on the edges of the plant pocket.
- All tree wrap shall be removed upon planting.
- Match shall be shrouded hardwood bark natural in color, free from deleterious materials and suitable as a top dressing of planting beds and individual tree plantings.
- Trees shall be mulched with minimum 4" deep hardwood bark mulch.
- Grass seed shall be certified turf grass seed conforming with A.S.P.A. specifications, and free of weed seeds and undesirable native grasses. Seeded areas shall not be permitted to dry out. All lawn areas shall be fertilized and watered as required during the first growing season to maintain a dense and vigorous growing lawn.
- Plants shall be guaranteed for two complete growing seasons (24 months). Dead material shall be replaced as needed prior to the expiration of the guarantee period, in accordance with the local ordinance requirements.
- Contractor shall provide in writing a list of recommended maintenance procedures for the first two (2) growing seasons.
- Remove top 3" of burlap on root ball or all if wrapped in plastic covering or nylon cord.
- Plant materials shall be used in compliance with the provisions of the local ordinance and shall be nursery grown, free of pests and disease, healthy in this country, in conformance with the standards of the American Association of Nurserymen, and shall have passed inspections required under state regulations. In addition, plant materials shall be northern green, No. 1 grade.
- Plant materials shall be planted within the annual planting window of March 15-Nov 15.
- Any plant substitutions must be approved in writing by the City prior to installation.

#### GENERAL NOTES:

- All construction shall conform to the current standards and specifications of local ordinances.
- All areas not both landscaped or paved upon shall be seeded or sodded. Turf seed system or approved equal is encouraged.
- All lawn areas shall be irrigated with an underground automatic irrigation system. Irrigation heads shall be placed such that water will not hit any hard surfaces or structures.
- The 21 year guarantee period begins at Final Acceptance of landscape material by the City's representative, a landscape architect, and prior to the authorization of the occupancy permit. This is the list of new 1" x 2" required City Landscaping Plan installation.
- A minimum of one cultivation in each month of June, July, and August shall be performed within the 2-year warranty period.
- Building Department will not release construction bonds until City landscape architect has inspected the site and approved the installation of landscape plan and the two (2) year guarantee expires and that inspection is made.
- All plant material is to be maintained per the approved site plan in perpetuity, including replacement of dead plants. Any significant modifications to planting needs to be approved by the City prior to planting.

#### PROJECTED LANDSCAPE COST

WORK ACTIVITY	QUANTITY	UNIT	UNIT PRICE	TOTAL
<b>LANDSCAPING</b>				
Class 'A' sodding	2,522	SY	\$6.00	\$15,132.00
Steep Slopes Seed Mix	3,241	SY	\$122.00	\$395,322.00
Seed, MDOF Class 'A'	33	SY	\$3.00	\$99.00
Deciduous Trees, 7" cal	41	EA	\$400.00	\$16,400.00
Ornamental Trees, 2" cal	22	EA	\$250.00	\$5,500.00
Ewegreen Trees, 3" cal	33	EA	\$325.00	\$10,725.00
Shrub	118	EA	\$200.00	\$23,600.00
Perennial/Ornamental Grass	136	EA	\$15.00	\$2,040.00
Mulch	83	CY	\$30.00	\$2,490.00
				<b>TOTAL = \$751,711.00</b>

#### LAWN SEED MIX:

- 30% PERENNIAL KYRGASS
- 20% FINE KYRGASS / BLUEGRASS
- 40% CHEROKEE RED FESCUE
- 5% ANNUAL KYRGASS
- 4#/1000 S.F. SEEDING RATE

#### STEEP SLOPES MIX:

- 50% *Lolium multiflorum (Annual Ryegrass)*
- 50% *Trifolium hybridum (Kleber Clover)*
- 10% *Chamaecrista fasciculata (Partridge Pea)*
- 10% *Oenothera paniculatum (Paniculate Tickleroot)*
- SEEDING RATE: 60 lb per acre

**giffels webster**  
Engineers  
Surveyors  
Planners  
Landscape Architects

1025 East Maple Road  
Suite 100  
Birmingham, MI 48009  
p (248) 852-3100  
f (313) 962-5088  
www.giffelswebster.com

Executive: MP  
Manager: AW  
Designer: AW  
Quality Control: MP  
Section: 12  
1-1-N R-E-E



DATE	ISSUE
05.12.2017	OWNER REVIEW
05.17.2017	OWNER REVIEW
05.17.2017	SOI BORING REFERENCE
05.23.2017	CONCEPT PLAN
10.30.2017	REVISED REVIEW
10.26.2017	PRELIMINARY SITE PLAN
01.15.2017	PRELIMINARY SITE PLAN

Developed For:  
**GREAT LAKES HOSPITALITY GROUP**  
1573 S. TELEGRAPH ROAD  
BLOOMFIELD HILLS, MI 48302  
MR. MIKE BACALL  
248-507-4011

#### LANDSCAPE PLAN

NOVI TRU  
40255 W. 13 MILE ROAD

CITY OF NOVI  
OAKLAND COUNTY  
MICHIGAN

Date: 05.12.2017  
Scale: 1" = 30'  
Sheet: L1  
Project: 19208.00

PRELIMINARY SITE PLAN

## PLANNING REVIEW



# PLAN REVIEW CENTER REPORT

October 17, 2017

## Planning Review

HITLON TRU HOTEL

JSP 17-54

### Petitioner

Great Lakes Hospitality Group

### Review Type

Preliminary Site Plan

### Property Characteristics

Section	12	
Site Location	South side of Thirteen Mile Road; East of M-5; 50-22-12-200-041; 40255 THIRTEEN MILE RD	
Site School District	Walled Lake Consolidated School District	
Site Zoning	OST: Office Service Technology	
Adjoining Zoning	North	OST: Office Service Technology (across Thirteen mile)
	East	OST: Office Service Technology
	West	RA: Residential Acreage (across M-5)
	South	OST: Office Service Technology
Current Site Use	Vacant	
Adjoining Uses	North	Office
	East	ITC Corridor
	West	Single family residential
	South	Office
Site Size	3.58 Acres	
Plan Date	September 15, 2017	

### Project Summary

The applicant is proposing to construct a four story 98 room hotel. The site layout proposes associated parking, loading and bike facilities. Site access is provided off of Thirteen Mile Road. A secondary emergency access is also provided off of Thirteen Mile Road.

### Recommendation

Approval of the ***Preliminary Site Plan is recommended***. The plan mostly conforms to the requirements of the Zoning Ordinance, with a few deviations listed in this and other review letters. **Planning Commission's approval for Preliminary Site Plan and Storm Water Management Plan is required.**

### Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. **Please see the attached chart for information pertaining to ordinance requirements.** Items in **bold** below must be addressed and incorporated as part of the Final Site Plan submittal:

1. Use: *Per Section 4.28, I n the OST district and EXO Overlay district, hotels and business motels are a permitted use when such are designed to be an integral part of an overall design of an OST district development under Section 3.1.23.B, which shall be constructed at the same time as or after one (1) of the principal permitted uses on the same development site is constructed.*

Per applicant response letter, "The site is Unit 1 of Phase 1 of the Haggerty Corridor Corporate Park Condominium. This site is one of the last within the condominium to be developed and will be the only hotel. This hotel will service the businesses within the park as well as the multitude of surrounding high-the, research, multi-use office/laboratory/production facilities that have out of town employees and overnight guests in town." **Staff agrees with the applicant's response.**

2. Loading Space: **Demonstrate how the proposed loading space will not conflict with drop-off location near the Hotel entrance, with items such as**
  - **What would be typical hours of operation for loading?**
  - **What is the largest vehicle that will be using the loading zone?**
3. Pedestrian Connection: **Proposed sidewalk connection from site to public sidewalk is primarily a secondary emergency access. The access requires an emergency gate at the site entrance. This would obstruct the continuity of the sidewalk. Wrap the sidewalk around the gate to provide continuous access.**
4. Economic Impact Statement: **Please provide the following information with the response letter prior to Planning Commission meeting.**
5. Lighting plan: A lighting and photometric plan is required at the time final site plan.
6. Planning Commission waivers
  - a. Landscape waiver for not providing the full height of the berm along Thirteen Mile Road
  - b. Landscape waiver for not providing a berm along M-5 Right of way
  - c. Landscape waiver for not providing required street trees along Thirteen Mile road
  - d. Landscape waiver to not provide street trees within the M-5 right-of-way frontage
7. City Council DCS Variances
  - a. City Council variance for the absence of a right-turn taper at the site driveway.
8. Conservation Easements: Draft conservation easements are required along with final site plan submittal.
9. Exterior Signage: Exterior Signage is not regulated by the Planning Division or Planning Commission. Sign permit applications that relate to construction of a new building or an addition to an existing building may be submitted, reviewed, and approved as part of a site plan application. Proposed signs shall be shown on the preliminary site plan, if the applicant wishes the signage is reviewed as part of the preliminary site plan.

Alternatively, an applicant may choose to submit a sign application to the Building Official for administrative review after Site plan approval. Following preliminary site plan approval, any application to amend a sign permit or for a new or additional sign shall be submitted to the Building Official. Please contact the Ordinance Division 248.735.5678 for information regarding sign permits.

10. Other Reviews
  - a. Engineering Review: DCS variances may be required for this site plan. Additional comments to be addressed with Final Site Plan. Engineering recommends approval.
  - b. Landscape Review: Landscape review has identified waivers that may be required. Refer to review letter for more comments. Landscape recommends approval.
  - a. Wetlands Review: Wetland Buffer Authorization is required for the proposed impacts to wetlands and regulated wetland setbacks. Additional comments to be addressed with Final Site Plan. Wetlands recommend approval.
  - b. Woodlands Review: The subject property does not appear to contain any regulated woodlands. No woodland review necessary.



- c. Traffic Review: Additional comments to be addressed with Final Site Plan. Traffic recommends approval.
- d. Facade Review: Proposed elevations require significant deviations not supported by Façade review. **Façade is currently not recommending approval.**
- e. Fire Review: Additional comments to be addressed with Final Site Plan. Fire recommends approval.

#### **NEXT STEP: Planning Commission Meeting**

This Site Plan is scheduled to go before Planning Commission for consideration on November 08, 2017. Please provide the following **no later than October 25, 2017** if you wish to keep the schedule.

1. Façade is currently not recommending approval as the proposed CMU are exceeding the allowable deviation and the color of laminated plastics is bright yellow. Please refer to the Façade review for more comments. **Please provide a revised elevation in PDF format based on recommendations provided in façade review. If the revised plans do not meet the requirements, the meeting on November 08 will be reconsidered.**
2. Original Site Plan submittal in PDF format (maximum of 10MB). **NO CHANGES MADE.**
3. A response letter addressing ALL the comments from ALL the review letters and **a request for waivers as you see fit.**
4. A color rendering of the Site Plan, if any.
5. A sample board of building materials if requested by our Façade Consultant. (Required especially for projects with Section 9 waiver request).

#### **Final Site Plan Submittal**

After receiving the Preliminary Site Plan approval, please submit the following for Final site plan review and approval

1. Seven copies of Final Site Plan addressing all comments from Preliminary review
2. Response letter **addressing all comments and refer to sheet numbers where the change is reflected**
3. [Final Site Plan Application](#)
4. [Final Site Plan Checklist](#)
5. Engineering Cost Estimate
6. Landscape Cost Estimate
7. [Other Agency Checklist](#)
8. [Hazardous Materials Packet](#) (Non-residential developments)
9. [Non-Domestic User Survey](#) (Non-residential developments)
10. [No Revision Façade Affidavit](#) (if no changes are proposed for Façade)
11. Legal Documents as required **per the attached Planning and Engineering Legal Transmittals**
12. Drafts of any legal documents (note that off-site easements need to be executed and any on-site easements need to be submitted in draft form before stamping sets will be stamped)

#### **Electronic Stamping Set Submittal and Response Letter**

After receiving Final Site Plan approval, please submit the following for Electronic stamping set approval:

1. Plans addressing the comments in all of the staff and consultant review letters in PDF format.
2. Response letter addressing all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

#### **Stamping Set Approval**

Stamping sets are still required for this project. After having received all of the review letters from City staff the applicant should make the appropriate changes on the plans and submit **10 size 24" x 36" copies with original signature and original seals,** to the Community Development Department for final Stamping Set approval.

**Pre-Construction Meeting**

**A Pre-Construction meeting is required for this project.** Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or [smarchioni@cityofnovi.org](mailto:smarchioni@cityofnovi.org)] in the Community Development Department.

**Chapter 26.5**

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or [skomaragiri@cityofnovi.org](mailto:skomaragiri@cityofnovi.org).



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Sri Ravali Komaragiri – Planner



## PLANNING REVIEW CHART: Office Service Technology (OST)

**Review Date:** October 12, 2013  
**Review Type:** Preliminary Site Plan  
**Project Name:** HILTON TRU HOTEL  
**Plan Date:** September 15, 2017  
**Prepared by:** Sri Ravali Komaragiri, Planner  
**E-mail:** skomaragiri@cityofnovi.org; **Phone:** 248.735.5607

**Bold** To be addressed with the next submittal  
Underline To be addressed with electronic stamping sets  
**Bold and Underline** Requires Planning Commission and/or City Council Approval  
*Italics* To be noted

Item	Required Code	Proposed	Meets Code	Comments
<b>Zoning and Use Requirements</b>				
<b>Master Plan</b> <i>(adopted Aug. 25, 2010)</i>	Office Research Development and Technology	Same	Yes	
<b>Area Study</b>	The site does not fall under any special category	NA	NA	
<b>Zoning</b> <i>(Eff. Dec. 25, 2013)</i>	OST: Office Service and Technology	Same	Yes	
<b>Uses Permitted</b> (Sec 3.1.23.B & C)	Sec. 3.1.23.B. - Principal Uses Permitted. Sec. 3.1.23.C. - Special Land Uses Permitted.	Hotels and business motels (Sec. 4.28.4) – when such are designed to be an integral part of an overall design of an OST district development under Sec. 3.1.23.B, which shall be constructed after 1 of the principal permitted uses on the same development site is constructed.	Yes	<i>Applicant notes in the response letter that the subject property is unit of Haggerty Corridor corporate park and the intent is to serve the visitors of the corporate park</i>
<b>Height, bulk, density and area limitations (Sec 3.1.23.D)</b>				
<b>Frontage on a Public Street.</b> <i>(Sec. 5.12)</i>	Frontage on a Public Street is required	Frontage onto Thirteen Mile Road	Yes	
<b>Access To Major Thoroughfare</b> <i>(Sec. 5.13)</i>	Access to Major Thoroughfare only Access to other roads only if other side of the street has multi-family or non-residential uses, or City makes a	Thirteen Mile Road access only	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	determination the property meets the requirements of this section			
<b>Minimum Zoning Lot Size</b> for each Unit in Ac (Sec 3.6.2.D)	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space	--	--	
<b>Minimum Zoning Lot Size</b> for each Unit: Width in Feet (Sec 3.6.2.D)		--	--	
<b>Maximum % of Lot Area Covered</b> (By All Buildings)	(Sec 3.6.2.D)	7%	Yes	
<b>Building Height</b> (Sec. 3.1.23.D & Sec. 3.20.1)	46 feet or 3 stories, whichever is less  Additional height can be proposed if met with the conditions listed in Section 3.20: 65 ft. allowed for buildings north of Grand River Ave.	46', 4 stories proposed	Yes	
<b>Building Setbacks</b> (Sec 3.1.23.D)				
Front (North)	50 ft.	70 ft.	Yes	
Exterior Side (West)	50 ft.	90 ft.	Yes	
Rear (south)	50 ft.	200 ft.	Yes	
Side (east)	50 ft.	70 ft.	Yes	
<b>Parking Setback</b> (Sec 3.1.23.D) Refer to applicable notes in Sec 3.6.2				
Front (North)	20 ft.	20 ft. min	Yes	
Exterior Side (West)	20 ft.	20 ft. min	Yes	
Rear (south)	20 ft.	20 ft. min	Yes	
Side (east)	20 ft.	20 ft. min	Yes	
<b>Note To District Standards</b> (Sec 3.6.2)				
<b>Exterior Side Yard Abutting a Street</b> (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to front yard.	West property line is an exterior side yard along M-5	Yes	
<b>Off-Street Parking in Front Yard</b> (Sec 3.6.2.E)	Off-street parking is allowed in front yard	Proposed, 20 ft. setback	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>Distance between buildings</b> (Sec 3.6.2.H)	It is governed by sec. 3.8.2 or by the minimum setback requirements, whichever is greater	One building	NA	
<b>Wetland/Watercourse Setback</b> (Sec 3.6.2.M)	A setback of 25 ft. from wetlands and from high watermark course shall be maintained	Proposed	Yes	<b>See wetland review letter for more details</b>
<b>Parking setback screening</b> (Sec 3.6.2.P)	Required parking setback area shall be landscaped per sec 5.5.3.	Proposed	Yes?	<b>See landscape review letter for ordinance compliance</b>
<b>Modification of parking setback requirements</b> (Sec 3.6.2.Q)	The Planning Commission may modify setback requirements in those instances where it determines that such modification may result in improved use of the site and/ or in improved landscaping; provided, however, that such modification of the setback requirements does not reduce the total area of setback on a site below the minimum setback area requirements of this Section	None proposed	NA	
<b>OST District Required Conditions (Sec 3.20)</b>				
<b>Additional Height</b> (Sec 3.20.1)	Properties north of Grand River Avenue: Max height is 65 ft. with additional setbacks of 2 ft. for every 1 ft. in excess of 46 ft.	Applicant is proposing 46 ft. tall building with 4 stories	Yes	
<b>Loading and Unloading Screening</b> (Sec 3.20.2.A)	Truck service areas and overhead truck loading/unloading doors shall be totally screened from view from any public right-of-way, including freeway right-of-way, and adjacent properties, except for required driveway access.	None proposed	NA	
<b>Required Parking Calculation</b> (Sec 3.20.2.B)	A floor plan indicating different uses, leasable floor space used for calculating parking should	Provided	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	be shown on the plans			
<b>Additional conditions for permitted uses in 3.1.23.B.ii – v</b> (Sec 3.20.2.C)	Uses permitted under subsections 3.1.23.B.ii - v shall not be located on property sharing a common boundary with property zoned for R-A, R-1, R-2, R-3, R-4 or MH district use unless conditions in section 3.20.2.C are met	Not adjacent to residential	NA	
<b>Outdoor storage</b> (Sec 3.20.2.D)	The outdoor storage of goods or materials shall be prohibited.	Not proposed	Yes	
<b>Parking, Loading and Dumpster Requirements</b>				
<b>Number of Parking Spaces</b> Motels, hotels, or other commercial lodging establishments (Sec.5.2.12.C)	1 for each 1 occupancy unit plus 1 for each one employee, plus parking for accessory uses. <b>98 rooms + 5 employees</b> <b>Total = 103 spaces</b>	103 spaces provided	Yes	
<b>Parking Space Dimensions and Maneuvering Lanes</b> (Sec. 5.3.2)	- 90° Parking: 9 ft. x 19 ft. - 24 ft. two way drives - 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping	9 ft. x. 18 ft. proposed 24 ft. proposed	Yes	<i>Make sure that parking spaces have 4" curbs and 7 ft. sidewalks with 2 ft. overhang for any spaces shorter than 19 ft.</i>
<b>Parking stall located adjacent to a parking lot entrance</b> (public or private) (Sec. 5.3.13)	Shall not be located closer than 25 ft. from the street right-of-way line, street easement or sidewalk, whichever is closer	None proposed	NA	

Item	Required Code	Proposed	Meets Code	Comments
<b>End Islands</b> (Sec. 5.3.12)	<ul style="list-style-type: none"> <li>- End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles.</li> <li>- The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance</li> </ul>	Proposed	Yes?	<b>Show dimensions of end island and landscape islands to confirm compliance.</b>
<b>Barrier Free Spaces</b> <i>Barrier Free Code</i>	For 101 to 150 = 5 barrier free spaces are required 1 must be van accessible	5 spaces provided = 2 van accessible 3 regular accessible	Yes	
<b>Barrier Free Space Dimensions</b> <i>Barrier Free Code</i>	<ul style="list-style-type: none"> <li>- 8' wide with an 8' wide access aisle for van accessible spaces</li> <li>- 5' wide with a 5' wide access aisle for regular accessible spaces</li> </ul>	Proposed	Yes	
<b>Barrier Free Signs</b> <i>Barrier Free Code</i>	One sign for each accessible parking space.	One each proposed	Yes	
<b>Minimum number of Bicycle Parking</b> (Sec. 5.16.1)	<u>Hotels: 4 spaces</u>	Proposed	Yes	
<b>Bicycle Parking General requirements</b> (Sec. 5.16)	<ul style="list-style-type: none"> <li>- No farther than 120 ft. from the entrance being served</li> <li>- When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations</li> <li>- Spaces to be paved and the bike rack shall be inverted "U" design</li> <li>- Shall be accessible via 6 ft. paved sidewalk</li> </ul>	Four spaces proposed, two each on either side of loading space, near the entrance. A circle design racks are proposed, accessible via sidewalk	Yes?	<b>Label the width of the sidewalk. Provide more details that the bike racks will not obstruct the loading and unloading operations</b>
<b>Bicycle Parking Lot layout</b> (Sec 5.16.6)	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft.	Layout provided	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	single, 2 ½ ft. double			
<b>Loading Spaces</b> Sec. 5.4.1	<ul style="list-style-type: none"> <li>- Within the OS districts, loading space shall be provided in the rear yard or</li> <li>- in the case of a double frontage lot, in the interior side yard,</li> <li>- in the ratio of five (5) square feet per front foot of building up to a total area of three-hundred sixty (360) square feet per building.</li> </ul>	Proposed; Double frontage lot, loading space is on east side of building  5 ft. x 50 ft. = 250 sq. ft. required; 486 proposed	Yes?	<p><b>Demonstrate how the proposed loading space will not conflict with drop-off location near the Hotel entrance. What would be typical hours of operation for loading?</b></p> <p><b>What is the largest vehicle that will be using the loading zone?</b></p>
<b>Dumpster</b> Sec 4.19.2.F	<ul style="list-style-type: none"> <li>- Located in rear yard</li> <li>- Attached to the building or</li> <li>- No closer than 10 ft. from building if not attached</li> <li>- Not located in parking setback</li> <li>- If no setback, then it cannot be any closer than 10 ft, from property line.</li> <li>- Away from Barrier free Spaces</li> </ul>	Yes NA  Yes  Yes  NA  Yes	Yes	
<b>Dumpster Enclosure</b> Sec. 21-145. (c) Chapter 21 of City Code of Ordinances	<ul style="list-style-type: none"> <li>- Screened from public view</li> <li>- A wall or fence 1 ft. higher than height of refuse bin</li> <li>- And no less than 5 ft. on three sides</li> <li>- Posts or bumpers to protect the screening</li> <li>- Hard surface pad</li> <li>- Screening Materials: Masonry, wood or evergreen shrubbery</li> </ul>	Yes  8 ft. enclosure proposed  7 ft. at front; 8 ft. on sides and back Yes  Concrete Wood fence proposed	Yes	
<b>Exterior lighting</b> Sec. 5.7	Photometric plan and exterior lighting details needed at time of Final Site Plan submittal	Not proposed at this time	No	<b>Provide photometric plan with Final Site Plan submittal unless deviations are required from Planning Commission</b>
<b>Roof top equipment and</b>	All roof top equipment must be screened and all	Not proposed	No	<b>Provide a note on site plan that all rooftop units will be</b>



Item	Required Code	Proposed	Meets Code	Comments
<b>wall mounted utility equipment</b> <i>Sec. 4.19.2.E.ii</i>	wall mounted utility equipment must be enclosed and integrated into the design and color of the building			screened
<b>Roof top appurtenances screening</b>	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road or adjacent property.	Not proposed	No	Provide comment on site plan of the location of rooftop units (behind parapet, sunk into roof, or rooftop screening provided)
<b>Non-Motorized Facilities</b>				
<b>Article XI. Off-Road Non-Motorized Facilities</b>	8 foot pathway is required along Thirteen Mile Road	Existing Major Pathway	NA	
<b>Pedestrian Connectivity</b>	Assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets	Sidewalk surrounding building and connection to Thirteen Mile Road proposed	Yes	<b>Proposed sidewalk connection from site to public sidewalk is primarily a secondary emergency access. The access requires a emergency gate at the site entrance. This would obstruct the continuity of the sidewalk. Wrap the sidewalk around the gate to provide continuous access</b>
<b>Building Code and Other Requirements</b>				
<b>Building Code</b>	Building exits must be connected to sidewalk system or parking lot	Proposed	Yes	
<b>Design and Construction Standards Manual</b>	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions)	Provided	Yes	
<b>General layout and dimension of proposed physical improvements</b>	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private)	Mostly Provided	Yes	<b>Refer to this and other reviews for additional information requested</b>

Item	Required Code	Proposed	Meets Code	Comments
<b>Economic Impact</b>	<ul style="list-style-type: none"> <li>- Total cost of the proposed building &amp; site improvements</li> <li>- Number of anticipated jobs created (during construction &amp; after building is occupied, if known)</li> </ul>	Not provided	No	<b>Provide an answer in the response letter prior to Planning Commission meeting</b>
<b>Development/ Business Sign &amp; Street addressing</b>	<ul style="list-style-type: none"> <li>- Signage if proposed requires a permit</li> <li>- The applicant should contact the Building Division for an address prior to applying for a building permit</li> </ul>	Some signage proposed on the site plan	TBD	<b>Signage may be reviewed with Preliminary Site Plan submittal. Otherwise, you may apply after site plan approval.</b>
<b>Planning Legal Documents</b>	Conservation Easements		No	<u>Drafts required with final site plan submittal</u>
<b>Project and Street naming</b>	Some projects may need approval from the Street and Project Naming Committee	Branded hotel	NA	<i>If a street or development name is proposed, then approval is required</i>
<b>Property Split</b>	All property splits and combination must be submitted to the Assessing Department for approval	None proposed	NA	
<b>Lighting and Photometric Plan (Sec. 5.7)</b>				
<b>Intent (Sec. 5.7.1)</b>	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky	No lighting/photometric plan provided	No	<u>Use the required standards below to complete for Final Site Plan submittal.</u>
<b>Lighting Plan (Sec. 5.7.A.i)</b>	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures			
<b>Building Lighting (Sec. 5.7.2.A.iii)</b>	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.			

Item	Required Code	Proposed	Meets Code	Comments
<b>Lighting Plan</b> (Sec.5.7.2.A.ii)	Specifications for all proposed & existing lighting fixtures			
	Photometric data			
	Fixture height			
	Mounting & design			
	Glare control devices			
	Type & color rendition of lamps			
	Hours of operation			
	Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties			
<b>Maximum Height</b> (Sec. 5.7.3.A)	Height not to exceed maximum height of zoning district (or 25 ft. where adjacent to residential districts or uses)			
<b>Standard Notes</b> (Sec. 5.7.3.B)	<ul style="list-style-type: none"> <li>- Electrical service to light fixtures shall be placed underground</li> <li>- Flashing light shall not be permitted</li> <li>- Only necessary lighting for security purposes &amp; limited operations shall be permitted after a site's hours of operation</li> </ul>			
<b>Security Lighting</b> (Sec. 5.7.3.H)  Lighting for security purposes shall be directed only onto the area to be secured.	<ul style="list-style-type: none"> <li>- All fixtures shall be located, shielded and aimed at the areas to be secured.</li> <li>- Fixtures mounted on the building and designed to illuminate the facade are preferred</li> </ul>			
<b>Average Light Levels</b> (Sec.5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1			
<b>Type of Lamps</b>	Use of true color rendering			

Item	Required Code	Proposed	Meets Code	Comments
(Sec. 5.7.3.F)	lamps such as metal halide is preferred over high & low pressure sodium lamps			
<b>Min. Illumination</b> (Sec. 5.7.3.k)	Parking areas: 0.2 min			
	Loading & unloading areas: 0.4 min			
	Walkways: 0.2 min			
	Building entrances, frequent use: 1.0 min			
	Building entrances, infrequent use: 0.2 min			
<b>Max. Illumination adjacent to Non-Residential</b> (Sec. 5.7.3.K)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle			
<b>Cut off Angles</b> (Sec. 5.7.3.L)	when adjacent to residential districts - All cut off angles of fixtures must be 90° - maximum illumination at the property line shall not exceed 0.5 foot candle			

**NOTES:**

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4 and 5 of the zoning ordinance for further details
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

## ENGINEERING REVIEW



# PLAN REVIEW CENTER REPORT

October 13, 2017

## Engineering Review

Novi Tru Hotel

JSP17-0054

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### Applicant

Great Lakes Hospitality

### Review Type

Preliminary Site Plan

### Property Characteristics

- Site Location: South of Thirteen Mile Road, east of M-5 highway
- Site Size: 3.58 acres
- Plan Date: 07/26/2017
- Design Engineer: Giffels Webster

### Project Summary

- Construction of a 4 story hotel building with 98 rooms.
- Water service would be provided by an 8-inch extension from the existing 16-inch water main in Thirteen Mile Road. A 2-inch domestic lead and a 4-inch fire lead would be provided to serve the building, along with 3 additional hydrants on the site.
- Sanitary sewer service would be provided with a 6-inch private sanitary sewer lead from the existing 15-inch sanitary sewer east of the site.
- Storm water would be collected by a single storm sewer collection system and detained on site, then discharged to an existing ditch on the site.

### Recommendation:

**Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.**

### Comments:

#### General

1. A right-of-way permit will be required from the City of Novi for work in the Thirteen Mile right-of-way.

2. Differentiate between project and non-project details by use of shading, notation, etc.
3. Provide a minimum of two ties to established section or quarter section corners.
4. The plans must be on the City's datum (NAVD 88). The plan set must be converted to NAVD 88 datum.
5. Soil borings shall be provided for a preliminary review of the constructability of the proposed development (roads, basin, etc.). Borings identifying soil types, and groundwater elevation should be provided at the time of Preliminary Site plan.
6. A letter from either the applicant or the applicant's engineer must be submitted with the Preliminary Site Plan submittal highlighting the changes made to the plans addressing each of the comments in this review.

#### Water Main

7. Provide a 20-foot wide public water main easement on all proposed water main.
8. Provide three (3) signed and sealed sets of revised utility plans along with the MDEQ permit application (06/12 rev.) for water main construction. The Streamlined Water Main Permit Checklist should be submitted to the Engineering Division for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets.
9. Provide profiles for all water mains 8 inch and larger.

#### Sanitary Sewer

10. Revise the sanitary basis of design as described in Section 11-164 (b) of the Ordinance. The average flow is 100 gallons per capita per day, with a peak factor of 4.0 for design population of 500 or less, for a design capacity of 400 gallons per capita per day.
11. The lead from the existing manhole should be 6-inch for the entire length.
12. Provide seven (7) signed sealed sets of revised utility plans along with the MDEQ permit application (04/14 rev.) for sanitary sewer construction and the Streamlined Sanitary Sewer Permit Certification Checklist should be submitted to the Engineering Division for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets. Also, the MDEQ can be contacted for an expedited review by their office.

#### Storm Sewer

13. A minimum cover depth of 3 feet shall be maintained over all storm sewers.
14. Provide storm sewer sizing calculations.
15. Provide a drainage area map.

16. Provide a 0.1-foot drop in the downstream invert of all storm structures where a change in direction of 30 degrees or greater occurs.
17. Match the 0.80 diameter depth above invert for pipe size increases.
18. Storm manholes with differences in invert elevations exceeding two feet shall contain a 2-foot deep plunge pool.
19. Provide a four-foot deep sump and an oil/gas separator in the last storm structure prior to discharge to the detention system.
20. Provide profile view for all storm sewer 12-inch and larger and label the 10-year HGL on the storm sewer profiles, ensure the HGL remains at least 1-foot below the rim of each structure.
21. Illustrate all pipes intersecting storm structures on the storm profiles.

#### Paving & Grading

22. City standards for parking dimensions are 19 foot parking spaces with 6 inch curb, or 17 foot spaces with 4 inch curb. Revise parking layout as necessary.
23. Provide existing topography and 2-foot contours extending at least 100 feet past the site boundary. Any off-site drainage entering this site shall be identified.
24. Retaining wall plans and details shall be sealed by the design engineer responsible for the retaining wall proposed. The retaining wall will require separate permit from the Building Department.

#### Storm Water Management Plan

25. Provide a sheet or sheets titled "Storm Water Management Plan" (SWMP) that complies with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual (refer to the runoff coefficients, 1V:4H allowable basin slopes, etc.).
26. The SWMP must detail the storm water system design, calculations, details, and maintenance as stated in the ordinance. The SWMP must address the discharge of storm water off-site, and evidence of its adequacy must be provided. This should be done by comparing pre- and post-development discharge rates. The area being used for this off-site discharge should be delineated and the ultimate location of discharge shown.
27. Storm water pretreatment unit must meet the standards described in Chapter 5 of the Engineering Design manual. Provide additional details and information on the sizing and capacity of the proposed pretreatment unit.
28. Provide a soil boring in the vicinity of the proposed underground detention system to determine bearing capacity and the high water elevation of the groundwater table.
29. The underground storage system shall include 4-foot diameter manholes at one end of each row for maintenance access.



30. Provide inspection ports throughout the underground detention system at the midpoint of at least storage rows, and one in the center of the header and footer. Two inspection ports should be located along the isolator row.
31. Provide critical elevations (low water, first flush, bankfull, 100-year, and pavement elevation) of the detention system on the underground detention system cross-section. Insure there is at least 1 ft. of freeboard between the 100-year elevation and the subgrade elevation under the pavement.
32. The underground detention system shall be kept outside the influence of any planting areas.

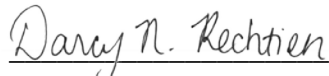
Soil Erosion and Sedimentation Control

33. A soil erosion and sedimentation control permit will be required.

Off-Site Easements

34. Any required off-site easements must be executed prior to final approval of the plans. Drafts shall be submitted at the time of the Preliminary Site Plan submittal. No off-site easements are anticipated at this time.

Please contact Darcy Rechtien at (248) 735-5695 with any questions.



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Darcy N. Rechtien, P.E.

## LANDSCAPE REVIEW



# PLAN REVIEW CENTER REPORT

October 6, 2017

## Preliminary - Landscaping

Hilton Tru Hotel

### Review Type

Preliminary Landscape Review

### Property Characteristics

- Site Location: South side of Thirteen Mile Road, east of M-5
- Site Acreage: 3.6 acres
- Site Zoning: OST
- Adjacent Zoning: OST/M-5
- Plan Date: 9/15/2017

### Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below and on the accompanying Landscape Chart must be addressed and incorporated as part of the revised Preliminary Site Plan submittal. Underlined items need to be addressed on Final Site Plans. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Chart is a summary and not intended to substitute for any Ordinance.

### Recommendation

The project is **recommended for approval**. There are a number of corrections that need to be made, but the plan is basically in compliance with the ordinance, and the corrections are achievable. That said, a number of landscape waivers are required as the plan is proposed.

These waivers are:

1. No greenbelt berm is provided along M-5. The proposed grading within the M-5 right-of-way, if allowed by MDOT, will provide a visual barrier to the site within the right-of-way. Significant landscaping within the greenbelt will also provide a visual buffer from M-5. The drainage swale for M-5 also makes providing a berm on the property unfeasible. This waiver is supported by staff.
2. The full berm height and width along 13 Mile is made difficult by an existing swale extending across the front of the site. A landscape waiver for not providing the full height of the berm is supported by staff, but the applicant has been asked to increase the length and height of the proposed berm as much as possible, as there appears to be some available room to provide more berm than is proposed.
3. A landscape waiver to not provide the required street trees along 13 Mile Road due to an existing water main may be required. The applicant has been asked to verify the extents of any berm and to provide the trees if there is room. If there is not room, this waiver request is supported by staff.
4. A landscape waiver to not provide street trees within the M-5 right-of-way frontage is supported by staff.

**The applicant should add a list of all landscape waivers requested, including the impact of those waivers (trees not provided, length and/or height of berm not provided, etc.) on the landscape plan, and list the same in the response letter to this review.**

## Ordinance Considerations

### Existing Soils (Preliminary Site Plan checklist #10, #17)

Provided.

### Existing and proposed overhead and underground utilities, including hydrants.(LDM 2.e.(4))

1. Provided.
2. **Please clearly show any lines or indicate with a note that no overhead lines exist.**

### Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2) )

No woodland trees and no trees will remain.

### Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

Property is not adjacent to Residential.

### Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Zoning Sec. 5.5.3.B.ii and iii)

#### **Thirteen Mile Road:**

- The required 20 foot greenbelt is provided.
- All 7 of the required greenbelt canopy trees and 4 subcanopy trees are located within the right-of-way, as are a number of proposed shrubs. It is not clear whether these can be planted in their locations. Please verify that they can. If they can't, the landscaping will need to be relocated outside of the right-of-way.

#### **M-5:**

- The required 20 foot greenbelt is provided.
- All of the required greenbelt trees and subcanopy trees are provided. In fact, only 11 deciduous or large canopy trees are required per the new ordinance. The calculations can be corrected and the extra trees removed from the plan, if desired.

### Street Tree Requirements (Zoning Sec. 5.5.3.E.i.c and LDM 1.d.)

#### **Thirteen Mile Road:**

The 7 street trees are planted relatively close to the existing water main. Please show the water main easement lines on the plan. If the trees can be moved outside of the easement, please do so. If not, please request a landscape waiver for the trees. It would be supported by staff.

#### **M-5:**

No street trees are provided along the M-5 frontage. A landscape waiver is required to not provide them, but this is supported by staff as they would be within the M-5 right-of-way, which we have not required to have trees in the past.

### Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. **Please revise the calculations based on the revised ordinance.** Assuming the impervious areas don't change from what is currently on the plan, a total of 3166sf of interior island area and 16 deciduous canopy trees are required.
2. According to the plan, 7400sf of area and 40 trees are provided.
3. The building foundation areas can't count toward the interior parking lot area, but parking lot corners, with deciduous canopy tree planted in it, can count. **Please label the sf of those areas.**
4. Each island must be at least 10 feet wide, measured at the backs of curbs, and have 200sf of open area per tree planted in it. **Please expand the width and area of the two interior islands along the M-5 frontage.**
5. **The southern island can, and needs to, accommodate a tree. Please reconfigure the underground system to allow for this.**

6. **The entry area does not have to count toward the vehicular use area used for the interior tree count. Only perimeter trees are required for that area. See the attached diagram.**

Parking Lot Perimeter Canopy Trees (Zoning Sec. 5.5.3.C.(3) Chart footnote)

1. **Please show the line used to calculate the perimeter tree requirements on the landscape plan.**
2. **If greenbelt canopy trees are placed within 15 feet of the back of curb of a parking or access lane, they can also count toward that requirement at a rate of 1/35lf. You may want to adjust the number of trees provided per that allowance. Note how many greenbelt trees are counted as perimeter trees.**
3. **Please spread the perimeter trees around the site more evenly, especially along the east and south sides of the site where there are few if any trees. Perimeter trees should be spaced a minimum of 30 feet on center.**
4. **A Planning Commission landscape waiver must be requested for the parking lot or perimeter trees that aren't provided.**

Loading Zone screening (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)

No loading zone screening is required as part of this project.

Building Foundation Landscape (Zoning Sec 5.5.3.D.)

1. Provided.
2. **Lawn areas cannot count toward the foundation landscaping. Please adjust the areas provided if necessary.**

Plant List (LDM 2.h. and t.)

1. **Please use a minimum of 50% of plant species native to Michigan on the site. Currently, only 9 of 26 species are native to Michigan.**
2. ***Picea pungens* is actually Colorado Blue spruce, which is not native to Michigan, and is not recommended for use in Novi as it has had significant difficulties with needlecast in this area. If white spruce is what was intended, please change the species to *Picea glauca*. That species does well in Novi.**

Planting Notations and Details (LDM)

Provided.

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 1.d.(3))

1. The underground detention does not require landscaping.
2. **If the front swale is used as detention, then 70% of its rim should be planted with large (greater than 3' tall) native shrubs. Please adjust that area's landscaping if required.**
3. **See the note earlier about whether landscaping can be placed within the right-of-way at all.**

Irrigation (LDM 1.a.(1)(e) and 2.s)

The proposed landscaping must be provided with sufficient water to become established and survive over the long term. Please note how this will be accomplished if an irrigation plan is not provided.

Proposed topography. 2' contour minimum (LDM 2.e.(1))

Provided.

Snow Deposit (LDM.2.q.)

Provided. It appears that too much area was provided. Please plant perimeter parking lot trees in at least parts of these areas.

Proposed trees to be saved (Sec 37 Woodland Protection 37-9, LDM 2.e.(1))

No woodlands exist on the site and no trees are proposed to be saved.

Corner Clearance (Zoning Sec 5.9)

Provided.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org).



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Rick Meader – Landscape Architect

## LANDSCAPE REVIEW SUMMARY CHART

**Review Date:** October 6, 2017  
**Project Name:** JSP17 – 0054: HILTON TRU HOTEL  
**Plan Date:** September 15, 2017  
**Prepared by:** Rick Meader, Landscape Architect E-mail: [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org);  
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan.  
Underlined items need to be addressed for Final Site Plan.

The updated landscape ordinance and landscape design manual can be found at:  
<http://cityofnovi.org/Reference/Code-of-Ordinances-and-City-Charter/18-283LandscapeStandards.aspx>  
 and <http://cityofnovi.org/Government/City-Services/Community-Development/Information-Requirements-Sheets,-Checklists,-Manua/LandscapeDesignManual.aspx>

Item	Required	Proposed	Meets Code	Comments
<b>Landscape Plan Requirements (LDM (2))</b>				
<b>Landscape Plan</b> (Zoning Sec 5.5.2, LDM 2.e.)	<ul style="list-style-type: none"> <li>▪ New commercial or residential developments</li> <li>▪ Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less.</li> <li>▪ 1"=20' minimum with proper North. Variations from this scale can be approved by LA</li> <li>▪ Consistent with plans throughout set</li> </ul>	Yes	Yes	Scale 1" =30'
<b>Project Information</b> (LDM 2.d.)	Name and Address	Yes	Yes	
<b>Owner/Developer Contact Information</b> (LDM 2.a.)	Name, address and telephone number of the owner and developer or association	Yes	Yes	
<b>Landscape Architect contact information</b> (LDM 2.b.)	Name, Address and telephone number of RLA	Yes	Yes	
<b>Sealed by LA.</b> (LDM 2.g.)	Requires original signature	Yes	Yes	<u>Need for Final Site Plans</u>
<b>Miss Dig Note</b> (800) 482-7171 (LDM.3.a.(8))	Show on all plan sheets	Yes	Yes	
<b>Zoning</b> (LDM 2.f.)	Include all adjacent zoning	Parcel: OST North, East, South: OST	Yes	Sheet 03

Item	Required	Proposed	Meets Code	Comments
		West: M-5 ROW		
<b>Survey information</b> (LDM 2.c.)	<ul style="list-style-type: none"> <li>Legal description or boundary line survey</li> <li>Existing topography</li> </ul>	Yes	Yes	Sheet 02
<b>Existing plant material</b> <b>Existing woodlands or wetlands</b> (LDM 2.e.(2))	<ul style="list-style-type: none"> <li>Show location type and size. Label to be saved or removed.</li> <li>Plan shall state if none exists.</li> </ul>	<ul style="list-style-type: none"> <li>Sheet 02 shows existing trees.</li> <li>Note on landscape plan indicates no trees will be saved.</li> <li>Note indicates there are no woodlands on site.</li> </ul>	Yes	
<b>Soil types</b> (LDM.2.r.)	<ul style="list-style-type: none"> <li>As determined by Soils survey of Oakland county</li> <li>Show types, boundaries</li> </ul>	Yes	Yes	On Sheet 03
<b>Existing and proposed improvements</b> (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Yes	Yes	
<b>Existing and proposed utilities</b> (LDM 2.e.(4))	Overhead and underground utilities, including hydrants	Yes	Yes	
<b>Proposed grading. 2' contour minimum</b> (LDM 2.e.(1))	Provide proposed contours at 2' interval	Yes	Yes	On Sheet 04
<b>Snow deposit</b> (LDM.2.g.)	Show snow deposit areas on plan	Yes	Yes	
<b>LANDSCAPING REQUIREMENTS</b>				
<b>Parking Area Landscape Requirements LDM 1.c. &amp; Calculations (LDM 2.o.)</b>				
<b>General requirements</b> (LDM 1.c)	<ul style="list-style-type: none"> <li>Clear sight distance within parking islands</li> <li>No evergreen trees</li> </ul>	Yes	Yes	
<b>Name, type and number of ground cover</b> (LDM 1.c.(5))	As proposed on planting islands	Yes	Yes	Seed is indicated on entire landscape.
<b>General</b> (Zoning Sec 5.5.3.C.ii)				
<b>Parking lot Islands</b> (a, b. i)	<ul style="list-style-type: none"> <li>A minimum of 200 SF to qualify</li> <li>200sf/tree planted in island</li> <li>6" curbs</li> <li>Islands minimum width 10' BOC to BOC</li> </ul>	7400 sf	TBD	<b>1. Please enlarge islands if necessary to meet minimum requirements. (Landscape islands need to be 10' wide back to back, and</b>



Item	Required	Proposed	Meets Code	Comments
				<p>200sf per tree planted in it)</p> <p>2. Labels have been added but I couldn't verify the total – building foundation areas can't be counted as parking lot islands.</p> <p>3. Parking lot corners where trees are planted can be counted as islands. Please label these areas as well to help meet the requirement.</p>
<p><b>Curbs and Parking stall reduction (c)</b></p>	<p>Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.</p>	<p>Yes</p>		
<p><b>Contiguous space limit (i)</b></p>	<p>Maximum of 15 contiguous spaces</p>	<p>Longest bay is 15 spaces.</p>	<p>Yes/No</p>	<p>1. All islands used to break up long bays need to provide the minimum 200sf impervious area per tree, be at least 10 feet wide and have a deciduous canopy tree planted in them. The two islands along the west edge of the parking lot do not meet these requirements.</p> <p>2. The islands along the west side need to be modified to have proper spacing from the underground storage tank and have trees planted in them. The tanks can be reconfigured to allow the southern island to have a tree planted in it.</p>
<p><b>Plantings around Fire Hydrant (d)</b></p>	<p>No plantings with matured height greater than 12' within 10 ft. of</p>	<p>No</p>	<p>Yes</p>	<p>Please add note on plan stating that all trees shall be planted at</p>

Item	Required	Proposed	Meets Code	Comments
	fire hydrants			least 10 feet away from hydrants and utility structures.
Landscaped area (g)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes	Yes	
Clear Zones (LDM 2.3.(5))	25 ft corner clearance required. Refer to Zoning Section 5.5.9	Yes	Yes	
<b>Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)</b>				
A = Total square footage of parking spaces not including access aisles x 10%	$A = xx \text{ sf} * 7.5\% = xx \text{ sf}$	NA		<ol style="list-style-type: none"> <li>1. Please revise calculations per new rules.</li> <li>2. The entry drive area, from 13 Mile to where the actual drop-off/parking areas can be deducted from the area included in the calculation (see the attached drawing for a clear picture of the area in question).</li> <li>3. Perimeter trees are still required for that area.</li> </ol>
B = Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 1 %	$B = xx \text{ sf} * x 1\% = xx \text{ sf}$	NA		
<b>Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)</b>				
A. = Total square footage of parking spaces not including access aisles x 7%	$A = xx \text{ sf} * 5\% = xx \text{ sf}$	NA		
B = Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 0.5%	$B = xx \text{ sf} * x 0.5\% = xx \text{ sf}$	NA		
<b>All Categories</b>				
C = A+B Total square footage of landscaped islands	$xxx + xxx = xxx \text{ SF}$	7400 sf	TBD	<ol style="list-style-type: none"> <li>1. Please revise calculations</li> <li>2. Please provide</li> </ol>

Item	Required	Proposed	Meets Code	Comments
				required area. 3. See above notes regarding parking lot islands.
E = D/200 Number of canopy trees required	C/200 = xx Trees	40 trees	TBD	1. Please revise calculations 2. Please provide per corrected calculations.
Perimeter Green space	<ul style="list-style-type: none"> <li>▪ 1 Canopy tree per 35 lf  <math>xx/35=x</math> trees</li> <li>▪ <math>1200\text{ lf}/35 = 48</math> trees</li> </ul>	48 trees		1. Please show line of periphery. (It should extend around entire parking lot and access drive to 13 Mile Road.) 2. The revised ordinance allows greenbelt canopy trees to also count as perimeter canopy trees if they are within 15 feet of the back of curb. This may help you reduce the total number of trees along the 13 Mile and M-5 frontages. 3. Please spread trees around parking lot edges more consistently. There are several large stretches with no perimeter trees that should have them, especially along the east edge and southern edge where the very large snow storage areas are. It seems that there is room for trees above the walls and room for the wall to be moved eastward of the center of the building to provide more room for perimeter trees. 4. Please use trees with

Item	Required	Proposed	Meets Code	Comments
				<p><b>a minimum canopy width of 20 feet for perimeter trees instead of tree lilacs.</b></p> <p>5. 25% of perimeter trees can be evergreens to assist with screening.</p>
Parking land banked	NA	No		
<b>Berms, Walls and ROW Planting Requirements</b>				
<b>Berms</b>				
<ul style="list-style-type: none"> <li>▪ All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours</li> <li>▪ Berm should be located on lot line except in conflict with utilities.</li> <li>▪ Berms should be constructed of loam, with a 6" top layer of top soil.</li> </ul>				
<b>Residential Adjacent to Non-residential (Sec 5.5.3.A) &amp; (LDM 1.a)</b>				
Berm requirements (Zoning Sec 5.5.A)	Refer to Residential Adjacent to Non-residential berm requirements chart	NA		No residential zoning is adjacent to site.
Planting requirements (LDM 1.a.)	LDM Novi Street Tree List	NA		
<b>Adjacent to Public Rights-of-Way (Sec 5.5.B) and (LDM 1.b)</b>				
Berm requirements (Zoning Sec 5.5.3.A.(5))	Refer to ROW landscape screening requirements chart for corresponding requirements.	None		<ol style="list-style-type: none"> <li>1. Please provide required berms along ROW frontages.</li> <li>2. If berms are not provided, a landscape waiver will be required, with justification.</li> </ol>
<b>Cross-Section of Berms (LDM 2.j)</b>				
Slope, height and width	<ul style="list-style-type: none"> <li>▪ Label contour lines</li> <li>▪ Maximum 33%</li> <li>▪ Min. 3 feet height</li> <li>▪ Min. 3 foot horizontal crest</li> <li>▪ Constructed of loam with 6" top layer of topsoil.</li> </ul>	Yes – for part of 13 Mile frontage		Please provide berm construction cross section for 13 Mile berm.
Type of Ground Cover		Lawn		
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	NA		Please clearly show any overhead lines on landscape plan to help avoid conflicts.
<b>Walls (LDM 2.k &amp; Zoning Sec 5.5.3.vi)</b>				

Item	Required	Proposed	Meets Code	Comments
<b>Material, height and type of construction footing</b>	Freestanding walls should have brick or stone exterior with masonry or concrete interior	Large retaining walls along south and east sides of the project.	Yes	
<b>Walls greater than 3 ½ ft. should be designed and sealed by an Engineer</b>		Walls are taller than 3.5 feet.		<b>Walls will need to be designed by an engineer.</b>
<b>ROW Landscape Screening Requirements (Sec 5.5.3.B. ii)</b>				
<b>Greenbelt width (2)(3) (5)</b>	13 Mile: Adjacent to parking: 20 feet M-5: Adjacent to parking: 20 feet	13 Mile: 20' M-5: 20'	Yes	
Min. berm crest width	13 Mile: 3 feet crest 5 Mile: 3 feet crest	13 Mile: partial berm. M-5: none, but high ground forming berm will be within M-5 ROW.	Yes/No	<ol style="list-style-type: none"> <li>1. Please enlarge 13 Mile berm as much as possible – it seems that it could be enlarged to west without blocking swale. Landscape waiver can be requested for height or length shortages and will be supported if effort is made to enlarge berm as much as possible.</li> <li>2. Landscape waiver must be requested for berm not provided along M-5 frontage. Based on section provided, this will be supported by staff.</li> </ol>
Minimum berm height (9)	13 Mile: 3 feet 5 Mile: 3 feet	Drainage swale occupies M-5 greenbelt and 13 Mile frontage	Yes/No	See above
3' wall	(4)(7)	Retaining wall occupies southern 60 feet of parking lot.		<ol style="list-style-type: none"> <li>1. Landscape waiver is required for wall in place of berm.</li> <li>2. Please provide justification. It will likely be supported by staff due to existing terrain and screening provided.</li> </ol>

Item	Required	Proposed	Meets Code	Comments
<p><b>Canopy deciduous or large evergreen trees</b>                      Notes (1) (10)</p>	<ul style="list-style-type: none"> <li>▪ 13 Mile: Adjacent to parking: 1 per 35 ft</li> <li>▪ <math>230/35 = 7</math> trees</li> <li>▪ M-5: Adjacent to parking: 1 per 35 ft.</li> <li>▪ <math>385/35 = 11</math> trees</li> </ul>	<p>13 Mile: 7 trees  <b>within right-of-way</b>                      M-5: 19 trees</p>	<p>Yes</p>	<ol style="list-style-type: none"> <li>1. Please check calculations and provide required trees. (You are short 1 ornamental along 13 Mile and have 8 more canopy trees along M-5 than are required).</li> <li>2. Please provide verification that landscaping can be provided within the 13 Mile right-of-way as shown. If it can't be, please revise landscaping accordingly.</li> </ol>
<p><b>Sub-canopy deciduous trees</b>                      Notes (2)(10)</p>	<ul style="list-style-type: none"> <li>▪ 13 Mile: Adjacent to parking: 1 per 20 ft</li> <li>▪ <math>230/20 = 12</math> trees</li> <li>▪ M-5: Adjacent to parking: 1 per 20 ft.</li> <li>▪ <math>385/20 = 19</math> trees</li> </ul>	<p>13 Mile: 11 trees                      M-5: 19 trees</p>	<p>Yes/No</p>	<p>See above.</p>
<p><b>Canopy deciduous trees in area between sidewalk and curb</b>                      (Novi Street Tree List)</p>	<ul style="list-style-type: none"> <li>▪ 13 Mile: Not adjacent to parking: 1 per 35 ft</li> <li>▪ <math>230/35 = 7</math> trees</li> <li>▪ M-5: Not required as trees can't be placed within M-5 ROW.</li> </ul>	<p>13 Mile: 7 trees                      M-5: 0 trees</p>	<p>Yes</p>	<ol style="list-style-type: none"> <li>1. 13 Mile Road is under City of Novi jurisdiction, not the RCOC.</li> <li>2. Please show any easement lines related to the water main along 13 Mile Road and verify that trees along 13 Mile aren't placed within water easement and move them if they are.</li> <li>3. If there is no room in the right-of-way for planting due to the easement, request a landscape waiver for the trees. It will be supported by staff.</li> </ol>
<p><b>Non-Residential Zoning Sec 5.5.3.E.iii &amp; LDM 1.d (2)</b>                      Refer to Planting in ROW, building foundation landscape, parking lot landscaping and LDM</p>				
<p><b>Interior Street to Industrial subdivision</b>                      (LDM 1.d.(2))</p>	<ul style="list-style-type: none"> <li>▪ 1 canopy deciduous or 1 large evergreen per 35 l.f. along ROW</li> <li>▪ No evergreen trees</li> </ul>	<p>NA</p>		

Item	Required	Proposed	Meets Code	Comments
	closer than 20 ft. ▪ 3 sub canopy trees per 40 l.f. of total linear frontage ▪ Plant massing for 25% of ROW			
<b>Screening of outdoor storage, loading/unloading</b> <i>(Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)</i>		No loading area provided.	TBD	TBD
<b>Transformers/Utility boxes</b> <i>(LDM 1.e from 1 through 5)</i>	▪ A minimum of 2ft. separation between box and the plants ▪ Ground cover below 4" is allowed up to pad. ▪ No plant materials within 8 ft. from the doors	Yes	Yes	<b>Please correct the spacing on the plant list to reflect the distance shown on the plan.</b>
<b>Building Foundation Landscape Requirements (Sec 5.5.3.D)</b>				
<b>Interior site landscaping SF</b>	▪ Equals to entire perimeter of the building x 8 with a minimum width of 4 ft. ▪ 566 lf x 8ft = 2828 SF	4701 sf	Yes	<b>Please be sure lawn areas are not included in area counts.</b>
<i>Zoning Sec 5.5.3.D.ii. All items from (b) to (e)</i>	If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space	<ul style="list-style-type: none"> <li>• 90/95 (95%) If visible from 13 Mile Road is landscaped.</li> <li>• Due to a berm within the M-5 right-of-way, none of the building foundation is visible.</li> </ul>	Yes	
<b>Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv)</b>				
<b>Planting requirements</b> <i>(Sec. 5.5.3.E.iv)</i>	▪ Clusters shall cover 70-75% of the basin rim area ▪ 10" to 14" tall grass along sides of basin ▪ Refer to wetland for basin mix	NA		No above-ground detention is proposed for this project.
<b>LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS</b>				
<b>Landscape Notes – Utilize City of Novi Standard Notes</b>				
<b>Installation date</b> <i>(LDM 2.I. &amp; Zoning)</i>	Provide intended date	Between Mar 15 and Nov 15.	Yes	

Item	Required	Proposed	Meets Code	Comments
Sec 5.5.5.B)				
<b>Maintenance &amp; Statement of intent</b> (LDM 2.m & Zoning Sec 5.5.6)	<ul style="list-style-type: none"> <li>▪ Include statement of intent to install and guarantee all materials for 2 years.</li> <li>▪ Include a minimum one cultivation in June, July and August for the 2-year warranty period.</li> </ul>	Yes	Yes	
<b>Plant source</b> (LDM 2.n & LDM 3.a.(2))	Shall be northern nursery grown, No.1 grade.	No	No	<b>Please add this note.</b>
<b>Irrigation plan</b> (LDM 2.s.)	A method for ensuring that plantings receive sufficient watering for establishment and long-term survival must be provided.	None	No	<ol style="list-style-type: none"> <li>1. <u>If an irrigation system is to be provided, the plan for that system should be provided with Final Site Plans.</u></li> <li>2. <u>If a system is not provided, notes regarding how plantings will receive sufficient water for establishment and survival must be part of the Final Site Plans.</u></li> </ol>
<b>Other information</b> (LDM 2.u)	Required by Planning Commission	NA		
<b>Establishment period</b> (Zoning Sec 5.5.6.B)	<b>2 yr. Guarantee</b>	Yes	Yes	
<b>Approval of substitutions.</b> (Zoning Sec 5.5.5.E)	City must approve any substitutions in writing prior to installation.	Yes	Yes	
<b>Plant List (LDM 2.h.) - Include all cost estimates</b>				
Quantities and sizes	Refer to LDM suggested plant list	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names		Yes	Yes/No	<b>Please use species native to Michigan for at least half of the species on the plant list. As shown, only 9 of 29 species used are native to Michigan.</b>
Type and amount of lawn		Mix of sod and seed.	Yes	
Cost estimate (LDM 2.t)		For all new plantings, mulch and sod as listed on the plan	Yes	Yes
<b>Planting Details/Info (LDM 2.i) - Utilize City of Novi Standard Details</b>				



Item	Required	Proposed	Meets Code	Comments
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		Yes	Yes	
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	NA		
Notes				
<b>Other Plant Material Requirements (LDM 3)</b>				
<b>General Conditions (LDM 3.a)</b>	Plant materials shall not be planted within 4 ft. of property line	Yes	Yes	<b>Please add note near property lines stating this.</b>
<b>Plant Materials &amp; Existing Plant Material (LDM 3.b)</b>	Clearly show trees to be removed and trees to be saved.	Yes	Yes	
<b>Landscape tree credit (LDM3.b.(d))</b>	Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM	No		
<b>Plant Sizes for ROW, Woodland replacement and others (LDM 3.c)</b>	Canopy Deciduous shall be 3" and sub-canopy deciduous shall be 2.5" caliper. Refer to section for more details	Yes	Yes	
<b>Plant size credit (LDM3.c.(2))</b>	NA	No		
<b>Prohibited Plants (LDM 3.d)</b>	No plants on City Invasive Species List	No	Yes	
<b>Recommended trees for planting under overhead utilities (LDM 3.e)</b>	Label the distance from the overhead utilities	No	TBD	<b>Please indicate if there are no overhead lines on the landscape plan.</b>
<b>Collected or Transplanted trees (LDM 3.f)</b>		No		
<b>Nonliving Durable Material: Mulch (LDM 4)</b>	<ul style="list-style-type: none"> <li>▪ Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth</li> <li>▪ Specify natural color,</li> </ul>	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
	finely shredded hardwood bark mulch. Include in cost estimate. ■ Refer to section for additional information			

**NOTES:**

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

WETLANDS REVIEW



October 11, 2017  
ECT No. 170638-0100

Ms. Barbara McBeth, AICP  
City Planner  
Community Development Department  
City of Novi  
45175 W. Ten Mile Road  
Novi, Michigan 48375

Re: Novi Tru Hotel (JSP17-0054)  
Wetland Review of the Preliminary Site Plan (PSP17-0149)

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the Preliminary Site Plan (Plan) for the proposed Novi Tru Hotel project prepared by giffels webster dated September 15, 2017 and stamped "Received" by the City of Novi Community Development Department on September 28, 2017 (Plan). The Plan was reviewed for conformance with the City of Novi Wetland and Watercourse Protection Ordinance and the natural features setback provisions in the Zoning Ordinance. ECT also visited the site on October 10, 2017 in order to verify wetland boundaries.

ECT currently recommends approval of the Preliminary Site Plan for Wetlands. ECT recommends that the Applicant address the items noted in the *Wetland Comments* section of this letter prior to approval of the Final Site Plan.

The following wetland related items are required for this project:

Item	Required/Not Required/Not Applicable
Wetland Permit (specify Non-Minor or Minor)	Not Required
Wetland Mitigation	Not Required
Wetland Buffer Authorization	Required
MDEQ Permit	Not Required
Wetland Conservation Easement	Required

The proposed development is located at the southeast corner of W. Thirteen Mile Road and M-5 (Haggerty Connector) in Section 12. The overall project site area is noted as 3.58 acres with a developed area including right-of-way (ROW) of 2.60 acres. The project includes the construction of a four-story hotel, access drive, associated parking and utilities. Site stormwater will be managed within an on-site, underground stormwater detention system with an ultimate outfall to an upland area located on the southeast side of the proposed hotel. ECT suggests that the City of Novi Engineering Department review this plan in order to verify that the site's stormwater will be adequately managed and meet the City's stormwater storage requirements.

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The majority of the limits of disturbance area for the project consists of previously-disturbed, filled land. An emergent and open water wetland area is located adjacent to the site on the eastern and southern sides.

Based on our review of the Plan, Novi aerial photos, Novi GIS, the City of Novi Official Wetlands and Woodlands Maps (see Figure 1, attached) it appears as if this proposed project site contains small portions of City-regulated wetland as well as 25-foot wetland setback areas. As noted above, these wetland areas are concentrated in the eastern and southern portions of the subject site.

It should be noted that the site does not contain areas designated as City of Novi Regulated Woodlands and does not contain any trees with a diameter-at-breast-height (DBH) of 36-inches or greater (which are regulated by the City of Novi Woodland Ordinance).

#### Onsite Wetland Evaluation

ECT has reviewed the City of Novi Official Wetland and Woodlands Map and completed an onsite wetland verification on October 10, 2017. The limits of disturbance for the development are directly adjacent to existing wetlands on the east and the south sides that extend off-site.

It should be noted that in addition to wetlands, the City of Novi also regulates the 25-foot wetland setback (i.e., buffer). The surveyed wetland boundaries as well as the 25-foot wetland setbacks are indicated on the Plan (including on the *Dimensional Site Plan*, Sheet 03).

As noted above, the site does contain area mapped as City regulated wetland (Figure 1). The focus of the inspection was to review site conditions in order to determine whether on-site wetlands are considered regulated under the City of Novi's Wetland and Watercourse Protection Ordinance. Wetland boundary flagging was in place at the time of this site inspection, however it is not clear how recently the wetland delineation had been completed on the site. ECT concurs with the wetland areas as indicated on the Plan. These wetlands appear to be accurately flagged in the field. The existing wetland areas also appear to be accurately indicated on the Plan.

The wetland area is primarily emergent wetland with areas of open water. The open water area is mainly located adjacent to the northeast portion of the site. This area of wetland contained open water at the time of our site visit. These wetland areas contained the following species of vegetation: cottonwood (*Populus deltoides*), common reed (*Phragmites australis*), reed canary grass (*Phalaris arundinacea*), and some narrow-leaved cattail (*Typha angustifolia*). The following wildlife was observed within the wetlands at the time of our evaluation: mallard ducks (*Anas platyrhynchos*), Canada geese (*Branta canadensis*), and northern leopard frog (*Rana pipiens*).

What follows is a summary of the wetland impacts associated with the proposed site design.

#### Wetland Impact Review

The Plan currently does not propose direct (i.e., cut or fill) impacts to wetlands. All development will remain outside of the wetland boundaries.

Impacts to the 25-foot wetland setbacks are however proposed. The Plan (Sheet 03, *Dimensional Site Plan*) indicates two (2) areas of impact to the 25-foot wetland setback in the southern section of the site. These impacts are for the construction of a proposed retaining wall and entrance drive along the perimeter of the eastern and southern section of the site. The Plan indicates a total of 2,103 square feet (0.048-acre) of wetland buffer impact. The City of Novi's Zoning Ordinance (wetland/watercourse setback requirement) states:

*There shall be maintained in all districts a wetland and watercourse setback, as provided herein, unless and to the extent, it is determined to be in the public interest not to maintain such a setback. The intent of this provision is to require a minimum setback from wetlands and watercourses, and to regulate property within such setback in order:*

- a) To prevent physical harm, impairment or destruction of or to such wetlands and watercourses. It has been determined that, in the absence of such a minimum setback, intrusions in or on to such areas would occur, resulting in harm, impairment or destruction of the same contrary to the public health, safety and general welfare.*
- b) Protect unique wildlife habitat and habitat transition, including, without limitation, feeding, nesting, resting and traveling areas for numerous animals.*
- c) Protection of surface water run-off and water quality for pollution preventing purposes, and assistance in beneficial water recharge for drinking, irrigation and other purposes.*
- d) Provide water storage area in storm events.*
- e) Provide areas for recreational or other functional uses which are unique due to geographic relationship to natural feature.*
- f) Preserve aesthetic views and areas for the enjoyment of natural resources.*
- g) Preserve threatened and endangered species habitat, including upland species.*
- h) Reduce the need for on-site and off-site storm water storage capacity based upon the availability of a greater area of absorption and a smaller impervious area.*
- i) Stabilize and protect soil resources, including the prevention of erosion and prohibition of the loss due to moving water resulting in destruction of upland, structures and infrastructure on the upland, and prevention of the alteration of the course of moving waters.*

As no wetland impacts appear to be currently proposed, wetland mitigation will not be required. The City's threshold for wetland mitigation is 0.25-acre of wetland impact and the MDEQ's threshold is 0.30-acre.

### **Permits & Regulatory Status**

The purpose of the City of Novi Wetland and Watercourse Protection Ordinance is described in the City of Novi Code of Ordinances, Part II, Chapter 12, Article V.; Division 1. This section states that:

- (a) The wetlands and watercourses of the city are indispensable and fragile natural resources subject to floodwater capacity limitations, erosion, soil bearing capacity limitations and other hazards. In their natural state, wetlands and watercourses provide many public benefits, such as the maintenance of water quality through nutrient cycling and sediment trapping, and flood and stormwater runoff control through temporary water storage, slow release and groundwater recharge. In addition, wetlands provide open space, passive recreation, fish and wildlife habitat, including migratory waterfowl and rare, threatened or endangered animal and plant species. The continued destruction and loss of wetlands and watercourses constitutes a distinct and immediate danger to the public health, safety and general welfare.
- (b) Throughout the state, considerable acreage of these important natural resources has been lost or impaired by draining, dredging, filling, excavating, building, pollution and other acts inconsistent with the natural uses of such areas. Remaining wetlands and watercourses are in jeopardy of being despoiled or impaired. Consequently, it is the policy of the city to prevent a further net loss of those wetlands that are: (1) contiguous to a lake, pond, river or stream, as defined in Administrative Rule 281.921; (2) two (2) acres in size or greater; or (3) less than two (2) acres in size, but deemed essential to the preservation of the natural resources of the city under the criteria set forth in subsection 12-174(b).

- (c) Pursuant to Mich. Const. 1963, Art. IV, § 52, the conservation and development of natural resources of the state is a matter of paramount public concern in the interest of the health, safety and general welfare of the people. Pursuant to the Michigan Environmental Protection Act, MCL 324.1701, et seq., it is the responsibility of public and private entities to prevent the pollution, impairment or destruction of the air, water or other natural resources by their conduct. It is, therefore, the policy of the city to protect wetlands and watercourses while taking into account varying ecological, hydrologic, economic, recreational and aesthetic values. Activities which may damage wetlands and watercourses shall be located on upland sites outside of upland woodland areas, unless there are no less harmful, feasible and prudent alternatives to the proposed activity. When an activity will result in the impairment or destruction of a wetland, mitigation shall be required in accordance with section 12-173(e)1.b.
- (d) It is the purpose of this article to protect the public health, safety and welfare through the protection of wetlands and watercourses. To meet these purposes, this article establishes standards and procedures for the review of proposed activities in wetlands and watercourses, provides for the issuance of use permits for approved activities, requires coordination with other applicable ordinances, statutes and regulations and establishes penalties for the violation of this article.

Any proposed use of the on-site wetlands would require a City of Novi *Wetland Use Permit* as well as an *Authorization to Encroach the 25-Foot Natural Features Setback* for any proposed impacts to the 25-foot wetland buffers. The on-site wetlands are considered essential by the City as they appear to meet one or more of the essentiality criteria set forth in the City's Wetland and Watercourse Protection Ordinance (i.e., storm water storage/flood control, wildlife habitat, etc.).

The Michigan Department of Environmental Quality (MDEQ) generally regulates wetlands that are within 500 feet of a waterbody, regulated stream or are part of wetland system greater than 5 acres in size. It is the applicant's responsibility to contact MDEQ in order to confirm the regulatory authority with respect to the on-site wetland areas should any impacts to wetlands be proposed. The MDEQ does not regulate the 25-foot wetland buffer as does the City of Novi.

#### Wetland Comments

Please consider the following comments when preparing subsequent site plan submittals:

1. The Applicant is urged to avoid and minimize impacts to wetland as well as 25-foot wetland buffer to the greatest extent practicable. It is unclear why the proposed retaining wall cannot be modified in order to avoid permanent impact to the 25-foot wetland buffers.
2. In general, the following information shall be provided on future site plan submittals:
  - Acreages of all on-site wetlands (square feet or acres);
  - Acreages of all on-site 25-foot wetland buffer (square feet or acres);
  - Indicate, label and quantify any proposed impacts to the wetland and 25-foot wetland buffers on the Plan. The area (square feet or acres) of all impacts to the wetland and 25-foot buffers shall be indicated on the Plan. All impacts (both permanent and temporary shall be indicated on the Plan);
  - The volume (cubic feet or cubic yards) of all permanent wetland impacts shall be indicated on the Plan, if applicable.

3. The Applicant shall provide wetland conservation easements as directed by the City of Novi Community Development Department for any areas of remaining wetland as well as for any proposed wetland mitigation areas (if necessary). A Conservation Easement shall be executed covering all remaining wetland areas on site. This language shall be submitted to the City Attorney for review. The executed easement must be returned to the City Attorney within 60 days of the issuance of the City of Novi Wetland and Watercourse permit.

Any proposed conservation easement areas/boundaries shall be clearly indicated and labeled on the Plan.

**Recommendation**

ECT currently recommends approval of the Preliminary Site Plan for Wetlands. ECT recommends that the Applicant address the items noted in the *Wetland Comments* section of this letter prior to approval of the Final Site Plan.

If you have any questions regarding the contents of this letter, please contact us.

Sincerely,  
ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.



Peter Hill, P.E.  
Senior Associate Engineer

cc: Sri Komaragiri, City of Novi Planner (skomaragiri@cityofnovi.org)  
Rick Meader, City of Novi Landscape Architect (rmeader@cityofnovi.org)  
Hannah Smith, City of Novi Planning Assistant (hsmith@cityofnovi.org)

Attachments: Figure 1. City of Novi Regulated Wetland & Woodland Map  
Site Photos





Figure 1. City of Novi Regulated Wetland & Woodland GIS Coverage Map (approximate property boundary shown in red). Regulated Woodland areas are shown in green and regulated Wetland areas are shown in blue.

*Site Photos*



**Photo 1.** Looking southeast at existing emergent/open-water wetland area located east and south of the project site (ECT, October 10, 2017).



**Photo 2.** Looking south at existing emergent/open-water wetland area located east and south of the project site (ECT, October 10, 2017).

TRAFFIC REVIEW



AECOM  
27777 Franklin Road  
Southfield  
MI, 48034  
USA  
aecom.com

**Project name:**  
JSP17-0054 Novi Tru Hotel Preliminary Traffic Review

**From:**  
AECOM

**Date:**  
October 10, 2017

**To:**  
Barbara McBeth, AICP  
City of Novi  
45175 10 Mile Road  
Novi, Michigan 48375

**CC:**  
Sri Komaragiri, George Melistas, Theresa Bridges,  
Darcy Rechten, Hannah Smith

# Memo

**Subject:** Novi Tru Hotel Preliminary Traffic Review

The preliminary site plan was reviewed to the level of detail provided and AECOM **recommends approval** for the applicant to move forward with the condition that the comments provided below are adequately addressed to the satisfaction of the City.

## GENERAL COMMENTS

1. The applicant, Great Lakes Hospitality Group, is proposing a Tru Hotel by Hilton, which is located at the southeast corner of 13 Mile Road and M-5. The hotel will contain four floors with 98 total rooms.
2. 13 Mile Road is under the jurisdiction of the City of Novi. M-5 is under the jurisdiction of the Michigan Department of Transportation (MDOT).
3. The site is currently zoned OST (office service technology). The applicant has not proposed any re-zoning.
4. Summary of waivers/variances:
  - a. **The applicant is required to seek a City Council variance for the absence of a right turn taper at the site driveway.**

## TRAFFIC IMPACTS

1. AECOM performed an initial trip generation estimate based on the ITE Trip Generation Manual, 9<sup>th</sup> Edition, as follows:

ITE Code: 310 (Hotel)  
Development-specific Quantity: 98 rooms  
Zoning Change: N/A

Trip Generation Summary				
	City of Novi Threshold	Estimated Trips	Method	Over Threshold?

<b>AM Peak-Hour, Peak-Direction Trips</b>	100	31	Average Rate	No
<b>PM Peak-Hour, Peak-Direction Trips</b>	100	30	Average Rate	No
<b>Daily (One-Directional) Trips</b>	750	504	Fitted Equation	No

- The number of trips does not exceed the City’s threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour. AECOM recommends performing the following traffic impact study in accordance with the City’s requirements:

Traffic Impact Study Recommendation	
Type of Study	Justification
None	N/A

Additionally, this development was included (generally) in the recent amendment to the traffic impact study completed for the Haggerty Corridor Corporate Park (HCCP) in June 2017.

## EXTERNAL SITE ACCESS AND OPERATIONS

The following comments relate to the external interface between the proposed development and the surrounding roadway(s).

- The applicant has proposed a single site access point with a driveway width of 36 feet which is in with the City’s allowable range for driveway width; however, the 36 foot width does not meet the standard of 30 feet for a driveway width. The applicant should update the plans to reflect a 30 foot width or seek an administrative variance for the 36 foot width. AECOM would support the wider driveway width to accommodate the two outbound lanes; however pavement markings may be recommended to provide delineation.
- While the turning radii of 25 feet at the site driveway are within the allowable range of city standards, the radii do not meet the required standard of 20 feet for driveway turning radii. The applicant can revise the site plan to include 20 foot turning radii at the site driveway or provide justification for the larger radii and request an administrative variance from the City. Please reference Figure IX.1 in the City’s Code of Ordinances for more information.
- Based on existing volumes on 13 Mile Road and estimated trips generated by the site, a right turn taper at the site driveway is required. Please consult Figure IX.11 in the City’s Code of Ordinances for additional information. The applicant has stated that a right turn taper will not be installed at the driveway; therefore, **a council variance is required for the deviation.**
- The applicant should provide a dimension for sight distance in both directions at the site driveway. Please reference Figure XIII-E in the City’s Code of Ordinances for more information.
- There is acceptable driveway spacing to the east of the proposed site driveway; however, the applicant should provide driveway spacing dimensions for the offset distance from M-5. For additional information please consult section 11-216.d of the City’s Code of Ordinances.
- The applicant has proposed an emergency access pathway directly adjacent to the site driveway. The applicant should provide details for the proposed emergency access pathway including widths and proposed signing information.

# INTERNAL SITE OPERATIONS

*The following comments relate to the on-site design and traffic flow operations.*

## 1. General Traffic Flow

- a. The applicant should provide additional turning radii throughout the site in order to evaluate if large trucks and emergency vehicles are able to maneuver throughout the site, keeping in mind that Fire generally requires 30' inside and 50' outside turning radii. The applicant should consider providing the truck turning movement paths within the plans.
- b. OST zoning requires the applicant to provide a loading zone of five square feet per front foot of building up to 360 square feet. The applicant has provided a 486 square foot loading zone in front of the building entrance. The applicant should indicate on the plans that traffic is able to maneuver around the largest vehicle expected to be utilizing the loading zone and indicate that the 24' travel way is not impacted.
- c. The location of the trash enclosure may impact the accessibility of the parking space adjacent to the trash enclosure. The applicant should also indicate that there is enough aisle width for a trash pick-up vehicle to maneuver in that area.
- d. The applicant should increase the turning radii adjacent to the trash enclosure from one foot to two feet.
- e. The applicant should indicate the intent and location of the Type R protective three-cable barrier indicated on the detail sheet.
- f. The applicant should indicate the location of the bollard detail provided on the site detail sheet.

## 2. Parking Facilities

- a. The City requires one parking space for every room and an additional space for each employee, totaling 103 parking spaces. The applicant has proposed 104 parking spaces.
- b. The applicant has proposed a parking space length of 18 feet. The City of Novi requires a parking space length of 17 feet (with a four inch curb and clear two foot overhang) or 19 feet (with a six inch curb). The applicant has indicated that they intend to provide 18' spaces with a four inch curb. The applicant should update the grading plan to indicate a four inch curb abutting all 18' parking spaces. Please see section 5.3 of the City's Zoning Ordinance for more information.
- c. The applicant has provided both six inch and four inch curbs for landscape peninsulas. It should be noted that six inch curbs are required for landscape peninsulas. The applicant should update the grading plans to indicate a six inch curb at landscape islands. Reference 5.5.3.C.ii.a in the City's Zoning Ordinance for more information.
- d. Curb details as well as a note on Sheet 03 indicate four inch curb and gutter throughout the site which contradicts the site grading and paving plan on sheet 04. Update the plan sheets to be consistent.
- e. The applicant has proposed a height of four inches for the proposed bumper blocks, which is compliant with City standards such that the face of the bumper block is installed 17 feet from the end of the parking space.
- f. The applicant should provide landscape island/peninsula radii within the final site plan. The applicant should reduce the parking end islands to be three feet shorter than the adjacent parking space, and indicate this dimension on the plans.
- g. The applicant is required to provide four bicycle parking spaces and the applicant has provided four bicycle parking spaces. The bicycle parking layout is in compliance with City standards.

## 3. Sidewalk Requirements

- a. Sidewalk is required to be at least seven feet in order to account for a two foot vehicle overhang in areas of parking with four inch curbs. Once the grading plan has been updated, the applicant should ensure that all sidewalks are seven feet in areas of four inch parking curbs. There is a detail for a standard seven foot sidewalk around the building; however, there is one pathway that is only five feet wide. The applicant should update the detail accordingly.
- b. The applicant should indicate a sidewalk ramp where the sidewalk around the perimeter of the building connects to the sidewalk along the driveway.

Memo

- c. The applicant should provide a detail for the proposed detectable warning surfaces. (MDOT R-28-J)
- 4. All on-site signing and pavement markings shall be in compliance with the Michigan Manual on Uniform Traffic Control Devices (MMUTCD). The following is a discussion of the proposed signing and pavement markings.
  - a. The applicant should include a sign quantity table to indicate the size, MMUTCD designation and quantity of signs throughout the site by the final site plan.
  - b. The applicant should provide pavement marking notes and details for parking spaces, arrows, lane delineations, and the international symbol for accessibility within the final site plan.
    - i. The applicant should note that the international symbol for accessibility is required to be white or white with a blue background as indicated in the MMUTCD and ADA Design Standards.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

**AECOM**



Sterling Frazier, E.I.T.  
Reviewer, Traffic/ITS Engineer



Maureen N. Peters, PE  
Senior Traffic/ITS Engineer

FAÇADE REVIEW





October 31, 2017

*Façade Review Status Summary:*  
**Approved, Section 9 Waiver recommended.**

City of Novi Planning Department  
 45175 W. 10 Mile Rd.  
 Novi, MI 48375-3024

Re: **FACADE ORDINANCE - Façade Review**  
**Novi TRU Hotel, PSP17-0149**  
 Façade Region: 1, Zoning District: RA

Dear Ms. McBeth;

The following is the Façade Review for the above referenced project based on the drawings prepared by Bowers & Associates Architects, dated 9/15/17, and the updated Façade Board. This project is subject to the Façade Ordinance Section 5.15. The percentages of materials proposed for each façade are as shown in the tables below. Materials in non-compliance are highlighted in bold.

	East (Front)	West	North	South	Ordinance Maximum (Minimum)
Brick	53%	67%	62%	62%	100% (30% Minimum)
CMU, ground face type	<b>22%</b>	<b>28%</b>	<b>25%</b>	<b>25%</b>	0%
Stone	5%	3%	2%	2%	50%
EIFS	7%	1%	7%	7%	25%
Laminated Plastic Panels (Trespa)	<b>13%</b>	<b>1%</b>	<b>4%</b>	<b>4%</b>	0%

As shown above the percentages of Concrete Masonry Units (CMU) and Laminated Plastic Panels exceed the maximum amount allowed by the Ordinance. A Section 9 Waiver would be required for these deviations. In response to our prior comments the applicant has revised colors of the Laminated Plastic Panels. The colors are now consistent with Section 5.15.2 of the Façade Ordinance.

Recommendation - The sample board indicates that the CMU will be ground faced type with clear sealer as manufactured by Grand Blanc Cement Products, unicorn color. The Ordinance allows this material only if laid in stacked bond pattern (Note 2 of the Façade Chart). The visual effect of this type of CMU will be similar to stone as compared to plain concrete block and will be consistent with the intent and purpose of the Ordinance. A Section 9 Waiver is therefore recommended for the overage of CMU and Laminated Plastic Panels. The drawings should be revised to indicate stacked bond pattern for the CMU.

**Notes to the Applicant:**

1. All roof top equipment must be screened from view from all vantage points both on and off-site using materials compliant with Section 5.15.
2. Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board will be compared to materials delivered to the site. It is the applicant's responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department's Online Inspection Portal with the following link. Please click on "Click here to Request an Inspection" under "Contractors", then click "Façade".

<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

If you have any questions regarding this project please do not hesitate to call.

Sincerely,  
DRN & Associates, Architects PC



Douglas R. Necci, AIA

**FIRE REVIEW**



September 26, 2017

TO: Barbara McBeth- City Planner  
Sri Ravali Komaragiri- Plan Review Center  
Hannah Smith- Plan Review Center

**CITY COUNCIL**

**Mayor**  
Bob Gatt

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Jeffery R. Johnson

**Assistant Chief of Police**  
Erick W. Zinser

**Assistant Chief of Police**  
Jerrold S. Hart

RE: Novi Tru Hotel

PSP# PSP17-0149

**Project Description:**

Build a 4 story hotel on the corner of Thirteen Mile and M-5 roads.

**Comments:**

- 1) FDC location needs to be added to plans for review. FDC MUST be with-in 100' of a fire hydrant. City Ordinance 15-17 912.2.3.
- 2) MUST show dimensions of secondary access road on plans.
- 3) Must show connection from 8" to the 12" water-mains

**Recommendation:**

APPROVED WITH CONDITIONS

Sincerely,

Kevin S. Pierce-Fire Marshal  
City of Novi – Fire Dept.

cc: file

**Novi Public Safety Administration**  
45125 W. Ten Mile Road  
Novi, Michigan 48375  
248.348.7100  
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTER

Sri Komargiri  
City Planner  
Community Development Department  
City of Novi  
45175 W. Ten Mile Road  
Novi, Michigan 48375

11/1/2017

Re: TRU Hotel

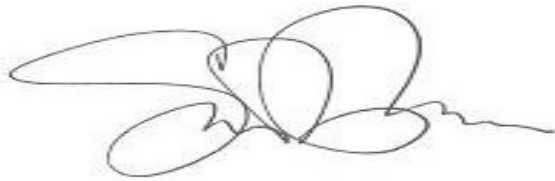
Dear Sri

Bowers and Associates has reviewed the Façade Ordinance -Façade Review letter of October 31, 2017 by DNR & Associates and agrees to change and note the CMU materials as stacked bond pattern for the final TRU Hotel elevations. This will be competed as requested for the Final Site Plan Review

Note to read as:

BURNISHED FACE CMU, UNICORN COLOR, BY GRAND BLANC, STACKED BOND

Sincerely,

A handwritten signature in black ink, appearing to read 'Scott M. Bowers', with a stylized flourish at the end.

Scott M. Bowers AIA NCARB  
Bowers and Associates, Inc  
2400 S. Huron Parkway  
Ann Arbor, MI 48104

CC: Andy Wakeland  
Mike Bacall  
Dennis Evans  
Candace Bacall



October 23, 2017

City of Novi, Planning Department  
Attn: Sri Ravali Komaragiri  
45175 Ten Mile Road Novi, MI 48375

RE: Site Plan Submittal

Project: Novi - Tru Hotel

Project Number: 19208.00

Ms. Ravali Komaragiri,

Per the October 17th review by yourself and the other departments at the City of Novi we have prepared the following Response to Review Letter to assist with this Site Plan Submittal. Please let us know if you have any questions as we look forward to going before the Planning Commission on November 8th.

#### Planning Review

##### Ordinance Requirements

1. Acknowledged
2. Largest Delivery Truck will be a Fed-Ex or UPS Truck which can be accommodated at the same time as a typical passenger car within the loading area.  
Deliveries made by Fed-Ex or UPS will be short stops during normal business hours which will coincide with the time of day that the hotel and parking lot is utilized the least.  
Deliveries made by the franchisee will be coordinated to be between check-out and check-in times which is when the hotel and parking lot are least utilized.
3. Pedestrian Connection to 13 Mile from the hotel is a pedestrian corridor that we have modified to be an emergency access per the request of the fire department. There is proposed to be a paved pathway with grass pavers on either side to keep an aesthetically pleasing walkway. Per IFC regulations we are proposing to add in two breakaway bollards at the street side of the pathway. This will be refined through the Final Site Plan Review.
4. Economic Impact Statement– The total cost of the project is estimated at \$5,000,000.00 with an anticipated addition of 4 Full Time positions and 12 Part Time positions during construction.
5. Acknowledged. A Photometric Plan will be developed and submitted with the Final Site Plan.
6. Acknowledged. We are still seeking all four of the landscape waivers.
7. City Council Variance will not be sought as we have discussed with the review Engineer for this comment and will provide the right turn taper as requested.
8. Acknowledged. A Conservation Easement will be drafted for the Final Site Plan Submittal.
9. Acknowledged. Exterior Signage permit will be a separate submittal.
10. Acknowledged.

##### Next Step:

1. Acknowledged. This will be revised and submitted by Oct.25<sup>th</sup> as requested.
2. Acknowledged.

3. Acknowledged. This will be revised and submitted by Oct.25<sup>th</sup> as requested.
4. Acknowledged. This will be revised and submitted by Oct.25<sup>th</sup> as requested.
5. Acknowledged. This will be revised and submitted by Oct.25<sup>th</sup> as requested.

The remainder of the next steps are acknowledged and we look forward to working through those with the City and Developer to see this project through to fruition.

#### Planning Review Summary Chart

All items on this review checklist have been acknowledged and specific items that need additional explanation have been addressed below for clarity.

#### Loading Spaces

We are proposing the 486SF of loading area at the main entrance to the hotel as the loading area. It is anticipated that we will be able to accommodate both a Fed-Ex Truck and a passenger vehicle in the current layout.

-The largest delivery vehicle expected for this site will be a UPS / Fed-Ex truck as all other deliveries will be made via delivery vans.

-Deliveries made by Fed-Ex or UPS which will be short stops during normal business hours which will coincide with the time of day that the hotel parking area is utilized the least.

-Deliveries made by the franchisee will be coordinated to be between check-out and check-in times which is when the hotel and parking lot are least utilized.

#### Pedestrian Connectivity

Pedestrian Connection to 13 Mile from the hotel is a pedestrian corridor that we have modified to be an emergency access per the request of the fire department. There is proposed to be a paved pathway with grass pavers on either side to keep an aesthetically pleasing walkway. Per IFC regulations we are proposing to add in two breakaway bollards at the street side of the pathway. This will be refined through the Final Site Plan Review.

#### Economic Impact Statement

The total cost of the project is estimated at \$5,000,000.00 with an anticipated addition of 4 Full Time positions and 12 Part Time positions during construction.

#### Engineering Review

All items on this review have been acknowledged and specific items that need additional explanation have been addressed below for clarity.

29. As discussed, 2' Risers will be identified on the underground storm water storage system for maintenance access. We will discuss with the manufacturer the possibility of installing a larger riser for maintenance purposes and will work this out through the review process.



## Landscape Review

All items on this review have been acknowledged and specific items that need additional explanation have been addressed below for clarity.

### Waivers

We agree that the 4 landscaping waivers as noted are being sought for the development of this project and anticipate that an additional waiver may be necessary as we work through the final review process.

1. Waiver for required berm along M-5 right of way is being sought as;
  - a. There is an existing berm within the M-5 right of way that would hide this berm.
  - b. Our site sits lower than the M-5 Roadway.
  - c. We are trying to keep the footprint of the site and wetland setback impacts to a minimum.
2. Waiver for retaining wall in place of berm for the southern portion of the site layout along M-5 right of way as:
  - a. There is an existing berm within the M-5 right of way that would hide this berm.
  - b. The grades within our site drop over twenty feet toward the southern end of our site and therefor a wall is required in order to build this site.
3. Waiver for required berm along 13 Mile Right of way is being sought as:
  - a. There is an existing swale along this roadway that needs to be maintained in order to drain the road way.
  - b. Our site sits lower than the 13 Mile Roadway at the West end.
  - c. We are trying to keep the footprint of the site and wetland setback impacts to a minimum.
  - d. We will continue to work with the City to provide as much of a berm as possible but will not be able to achieve the height per ordinance.
4. Waiver to not provide the required Street Trees along 13 Mile Roadway as:
  - a. There is an existing water main that limits available area for trees.
  - b. There is a proposed water main tap that limits the available area for trees.
  - c. There is a required right turn taper that limits the available area for trees.
  - d. There is a required secondary fire access that limits the available area for trees.
5. Waiver to not provide the requested Street Trees along M-5 Right-of-way frontage as:
  - a. This area is currently wooded and the introduction of additional trees would only be on the back slope of the existing berm which would not provide the screening desired.
  - b. This area is outside of the cities jurisdiction and would require an MDOT permit.

### Proposed Overhead Line Location

2. The proposed Overhead line locations are being worked out between the City Right-of-way department and DTE as the existing overhead lines are being removed from the middle of our site. The current proposed location is unknown but planned to be within the Right-of-way as the City has confirmed that this is acceptable to them.

### Parking Lot Perimeter Canopy Trees

3. The proposed parking lot perimeter trees will be spread out as much as possible. The east and south end of the site have a gravity retaining wall proposed which will have a geotextile fabric anchor system therefor most trees cannot be installed along this side. We are proposing

a number of shrubs be planted along this side of the site in lieu of this and a waiver will be sought for the difference between the final required amount and what can be achieved on site.

#### Landscape Review Summary Chart

All items on this review have been acknowledged and specific items that need additional explanation have been addressed below for clarity.

#### Contiguous Space Limit

The two islands along the west side of the site have been modified to meet the 10ft wide and 200sf requirement as noted except for the deciduous tree requirement.

The southwest island has been modified to provide the appropriate space requirements however a tree should not be planted within this island as this is the overland relief route for the entire site if the storm system were to become entirely blocked. This island should remain open to allow storm water flow from the site, into the swale along M5 and down into the drain to the south of the site similar to predevelopment conditions.

#### Perimeter Green Space

The proposed parking lot perimeter trees will be spread out as much as possible. The East and South end of the site have a gravity retaining wall proposed which will have a geotextile fabric anchor system therefore most trees cannot be installed at the top of wall along these sides.

#### Min. berm crest width

The proposed berm along 13 Mile right of way will be modified as much as possible to achieve as close to the requirements of the berm.

#### 3' Wall

A landscape waiver is requested for the wall in lieu of berm along the southern portion of the proposed site layout as the site is screened from M-5 with existing vegetation and the site has significant grade relief toward the southern end that will require a wall.

#### ECT Memorandum

All items on this review letter have been acknowledged and specific items that need additional explanation have been addressed below for clarity.

#### AECOM Memorandum

All items on this review letter have been acknowledged and specific items that need additional explanation have been addressed below for clarity.

We have reviewed the request for a right turn taper at the site and though we do not feel it is truly necessary we will work with the reviewer to accommodate the requested right turn taper. A Council Variance will not be sought for the taper.

DRN & Associates, Architects, PC

Revisions to building elevations have been made in order to reduce the presence of Concrete Masonry Units; this takes the elevation material percentage down to an acceptable 3.7 percent total. See revised sheets A5.00 and A5.01 for additional information and elevation material breakdown.

A waiver has been requested to allow for the use of High Pressure Laminate. No revisions made.

All mechanical equipment that will sit on the rooftop will be screened. Please refer to updated sheets A.500 and A5.01 for material and percentages

Dumpster enclosure material to match approved building brick.

#### Fire Department Review

All items on this review letter have been acknowledged and per our discussion at our initial meeting we have made the modifications to the site access as discussed.

Please review and feel free to call or email if there are any other questions or clarifications needed to move forward with the permitting of this project.

Respectfully



Andy Wakeland, PE  
Senior Project Manager



October 24, 2017

City of Novi, Planning Department  
Attn: Sri Ravali Komaragiri  
45175 Ten Mile Road Novi, MI 48375

RE: Waiver Requests

Project: Novi - Tru Hotel

Project Number: 19208.00

Ms. Ravali Komaragiri,

Per the October 17th review by yourself and the other departments at the City of Novi we have prepared the following Waiver Request Letter to assist with this Site Plan Submittal.  
Planning Review

#### Waivers

We agree that the 4 landscaping waivers as noted are being sought for the development of this project and anticipate that an additional waiver may be necessary as we work through the final review process.

1. Waiver for required berm along M-5 right of way is being sought as;
  - a. There is an existing berm within the M-5 right of way that would hide this berm.
  - b. Our site sits lower than the M-5 Roadway.
  - c. We are trying to keep the footprint of the site and wetland setback impacts to a minimum.
2. Waiver for retaining wall in place of berm for the southern portion of the site layout along M-5 right of way as:
  - a. There is an existing berm within the M-5 right of way that would hide this berm.
  - b. The grades within our site drop over twenty feet toward the southern end of our site and therefor a wall is required in order to build this site.
3. Waiver for required berm along 13 Mile Right of way is being sought as:
  - a. There is an existing swale along this roadway that needs to be maintained in order to drain the road way.
  - b. Our site sits lower than the 13 Mile Roadway at the West end.
  - c. We are trying to keep the footprint of the site and wetland setback impacts to a minimum.
  - d. We will continue to work with the City to provide as much of a berm as possible but will not be able to achieve the height per ordinance.
4. Waiver to not provide the required Street Trees along 13 Mile Roadway as:
  - a. There is an existing water main that limits available area for trees.
  - b. There is a proposed water main tap that limits the available area for trees.
  - c. There is a required right turn taper that limits the available area for trees.
  - d. There is a required secondary fire access that limits the available area for trees.

5. Waiver to not provide the requested Street Trees along M-5 Right-of-way frontage as:
  - a. This area is currently wooded and the introduction of additional trees would only be on the back slope of the existing berm which would not provide the screening desired.
  - b. This area is outside of the cities jurisdiction and would require an MDOT permit.
  
6. Waiver for the use of Pressure Treated Laminate Exterior Building Material:
  - a. The use of this material enhances key elements of the building's identity; the guest entrance and the Tru brand's signature color wall. These features are of importance to the brand and are a brand standard. The percentage of this material is 4.5 percent of all building materials. All colors of this material have been revised to blend more harmoniously into the building and Novi as a whole. Updated color scheme can be found on the physical sample board, as well as updated Exterior Elevations (sheet A5.00 and A5.01).

Please review and feel free to call or email if there are any other questions or clarifications needed to move forward with the permitting of this project.

Respectfully



Andy Wakeland, PE  
Senior Project Manager