



cityofnovi.org

ZONING BOARD OF APPEALS
CITY OF NOVI
Community Development Department
(248) 347-0415

Case No. PZ13-0002

Location: 44575 Twelve Mile Road

Zoning District: OST, Planned Office Service Technology District

The applicant is requesting variances from Section 28-5(3)h, 28-1(10) and 28-10(a) of the Novi Sign Ordinance to one 70 square foot suspended sign as well as 20 square foot sign on a short pole. A single non-pole mounted ground sign of 30 sq. ft. would be allowed. The property is located west of Novi Road, and south of Twelve Mile Road.

Ordinance Sections:

CITY OF NOVI, CODE OF ORDINANCE, Section 28-5(3)h permits only one sign if a ground sign is used; Section 28-1(10) requires ground signs to be supported by a monument on the ground, not a pole; Section 28-10(a) states that a sign not expressly permitted is prohibited. Suspended signage is not referenced or permitted.

City of Novi Staff Comments:

The applicant is requesting the variances to allow re-identification of an existing business. Previously, Sign Variances were granted for a second ground sign and later a second wall sign for the site, but none of these are applicable for the current request. A single ground sign of 30 to 100 square feet (depending on setback) or a wall sign on each thoroughfare (2) of up to 250 square feet (also depending on setback) is allowed by right. The applicant proposes a short pole sign and a sign suspended from the overhang of the building. Staff supports consideration of the request only if the pole sign is converted to a ground mounted sign on a monument or base.

Standards for Granting a Sign Variance

- The request is based upon circumstances or features that are exceptional and unique to the property and do not result from conditions that exist generally in the City or that are self-created because_____.
- The failure to grant relief will unreasonably prevent or limit the use of the property and will result in substantially more than mere inconvenience or inability to attain a higher economic or financial return because_____.
- The grant of relief will not result in a use of structure that is incompatible with or unreasonably interferes with adjacent or surrounding properties, will result in substantial justice being done to both the applicant and adjacent or surrounding properties, and is not inconsistent with the spirit of the ordinance because_____.



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For Official Use Only

ZBA Case No: _____ ZBA Date: _____ Payment Received: \$ _____ (Cash)

Check # 26954 Include payment with cash or check written to "City of Novi."

TO BE COMPLETED BY APPLICANT - PLEASE PRINT

Please submit one original signed application and 13 copies of all supporting documentation relevant to the appeal,

Applicant's Name ASJ SIGMAHE INNOVATIONS Date 1/10/13

Company (if applicable) SAME AS ABOVE

Address* 119 WHEATON City TROY ST MI ZIP 48083
*Where all case correspondence is to be mailed.

Applicant's E-mail Address: _____

Phone Number (248) 680-8970 FAX Number (248) 680-9061

Request is for:

Residential Construction (New/ Existing) Vacant Property Commercial Signage

1. Address of subject ZBA case: 44575 WEST 12 MILE ZIP 48377

2. Sidwell Number: 5022-15126-017 may be obtained from Assessing Department (248) 347-0485

3. Is the property within a Homeowner's Association jurisdiction? Yes No

4. Zoning: RA R-1 R-2 R-3 R-4 RT RM-1 RM-2 MH OS-1 OS-2 OSC OST OTHER

5. Property Owner Name (if other than applicant) TOM KEAGAN

6. Does your appeal result from a Notice of Violation or Citation Issued? Yes No

7. Indicate ordinance section(s) and variances requested:

- 1. Section _____ Variance requested _____
- 2. Section _____ Variance requested _____
- 3. Section _____ Variance requested _____
- 4. Section _____ Variance requested _____

8. Please submit an accurate, scaled drawing of the property showing:

- a. All property lines and dimensions correlated with the legal description.
- b. The location and dimensions of all existing and proposed structures and uses on property.
- c. Any roads, easements, drains, or waterways which traverse or abut the property and the lot area and setback.
- d. Dimensions necessary to show compliance with the regulations of this Ordinance.

9. State the practical difficulties which prevent conformance with the Zoning Ordinance requirements (attach separate sheet if necessary):

PER ATTACHED SHEET

10. Describe any unique circumstances regarding the property (i.e., shape, topography, etc.) which are not common to other properties in the area and which prevent strict compliance with the Zoning Ordinance:

PER ATTACHED SHEET

SIGN CASES ONLY:

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten (10) days before the scheduled ZBA meeting.

Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next scheduled ZBA meeting, or cancelled. A mock-up sign is **NOT** to be the actual sign. Upon approval, the mock-up sign must be removed within five (5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five (5) days of the meeting.

Variance approval is void if permit not obtained within one hundred eighty (180) days of date of decision.

There is a five (5) day hold period before work/action can be taken on variance approvals.

All property owners' within 300 feet of ZBA property address will be notified of the ZBA case and variance requests.

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official/ Inspector or Ordinance Officer made

Construct New Home/Building Addition to Existing Home/Building Accessory Building

Use Signage Other

Applicants Signature

[Handwritten Signature]

Date

1/10/12

Property Owners Signature

[Handwritten Signature]

Date

1/11/12

DECISION ON APPEAL

Granted Denied Postponed by Request of Applicant Board

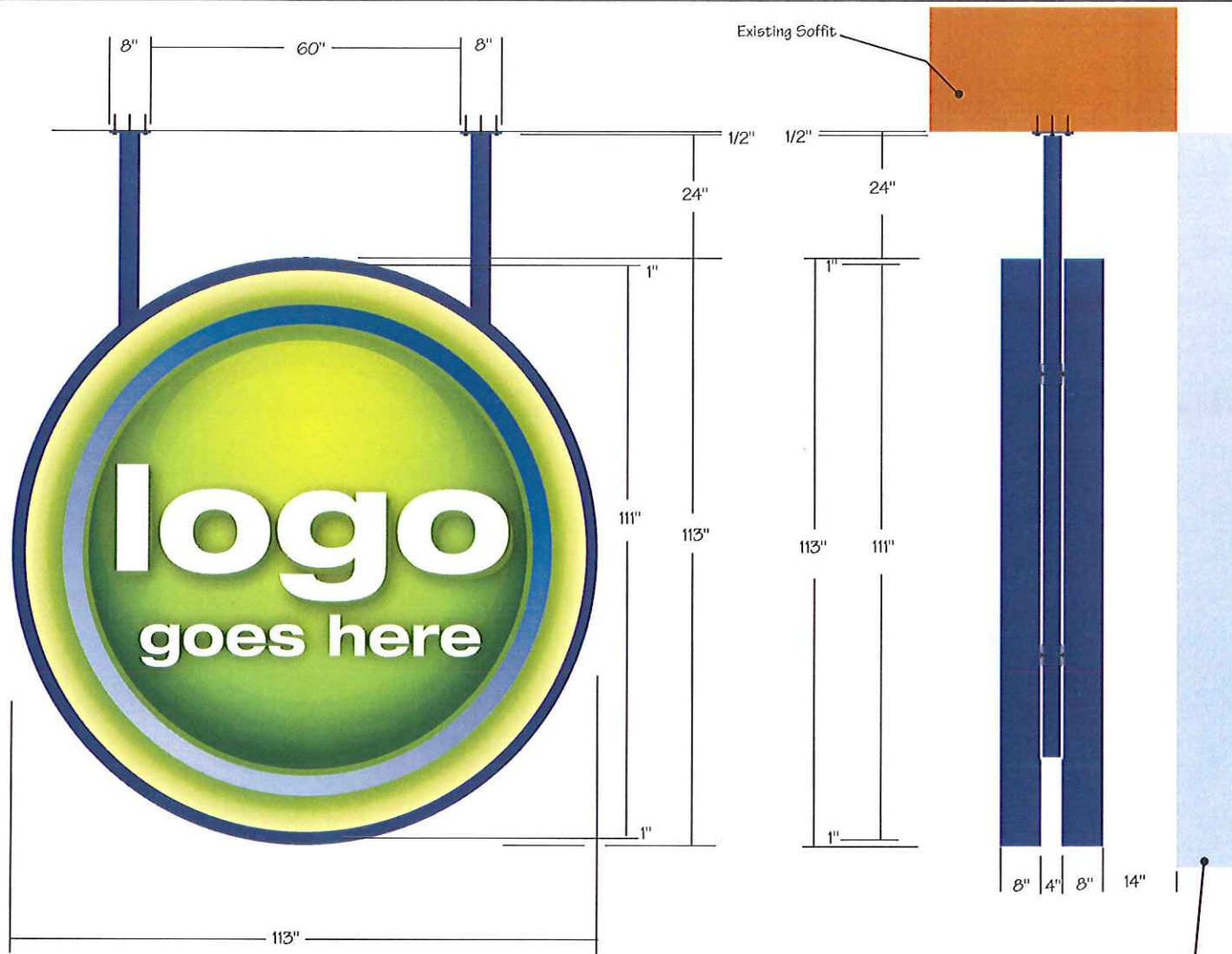
The Building Inspector is hereby directed to issue a permit to the Applicant upon the following items and conditions:

Chairperson, Zoning Board of Appeals

Date

Standards for Granting a Sign Variance

1. The majority of the building exterior is glass and therefore does not have sufficient wall space to mount the new round sign design. We propose replacing one current wall sign with a suspended sign in front of the glass at the main entrance. Because of the orientation of our building, this new sign will face northeast and not be visible to anyone approaching from the west on 12 Mile Road. Therefore we propose replacing our second wall sign with a ground sign at our entrance off 12 Mile Road.
2. Without a building sign we cannot adequately promote our business or location. From experience at this site, ground signs cannot be seen a reasonable distance from the building.
3. The exterior of the building will not change in any manner, other than the placement of this proposed signage and the removal of the current signage. Only the colors, part of the name, the location and the shape of the signage are changing.



Actual Copy: (As Above)

FWO No.: TBD Date: TBD

Client: Telecom Credit Union

Project: Telecom Credit Union

Sign Type: **Exterior**

Description: Exterior LED Overhead Signage

Product Code: ALM /w LED Illumination Size: 113"x113"

Quantity: 1 D/F

Graphics Process: Translucent Digital Print on Vacuum Plastic Face

Typography: 111" Overall Logo Height

Graphics Color: See Attached Drawing Details

Frames & Fixtures: See Construction Details

Background Color: Vacuum Face - TBD
Oval Can & Steel Tube w/ Flange - TBD

Installation Method: Posts - Ceiling Mounted on Overhang Soffit

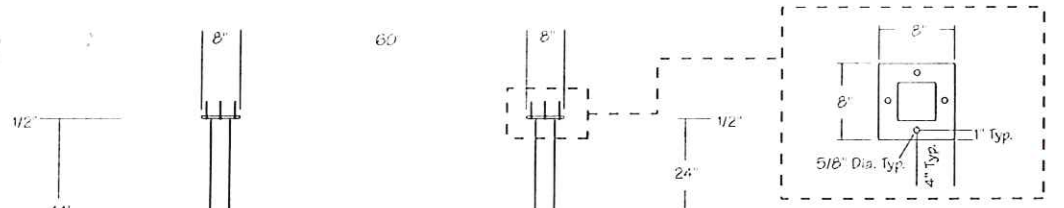
Production Notes: 120Volt; 5Amps Max



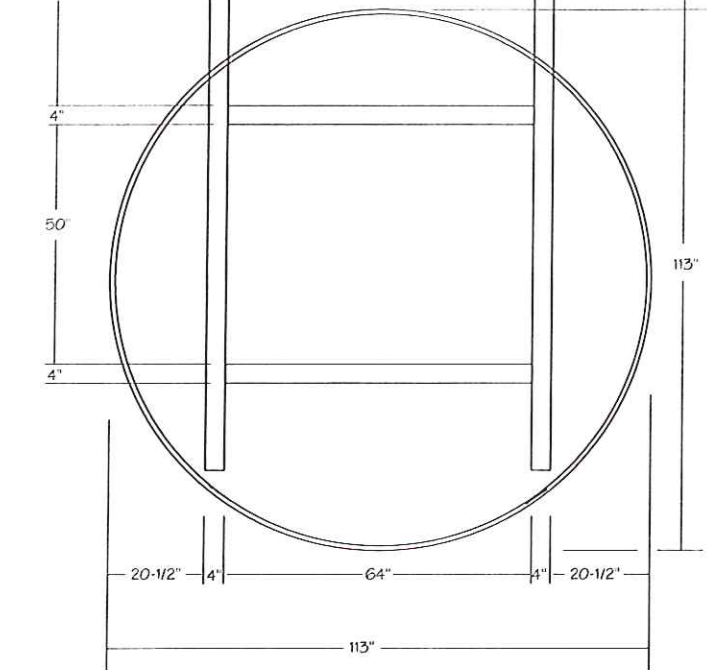
1119 Wheaton
Troy, MI 48083
ph 248.680.8970
fx 248.680.9061

Drawings Shown In Proportion But Not To Scale

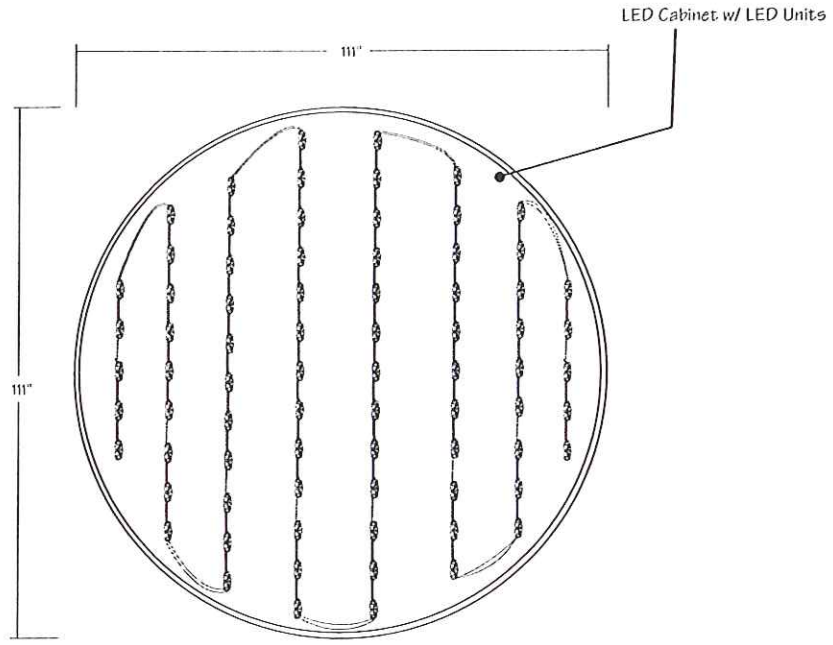
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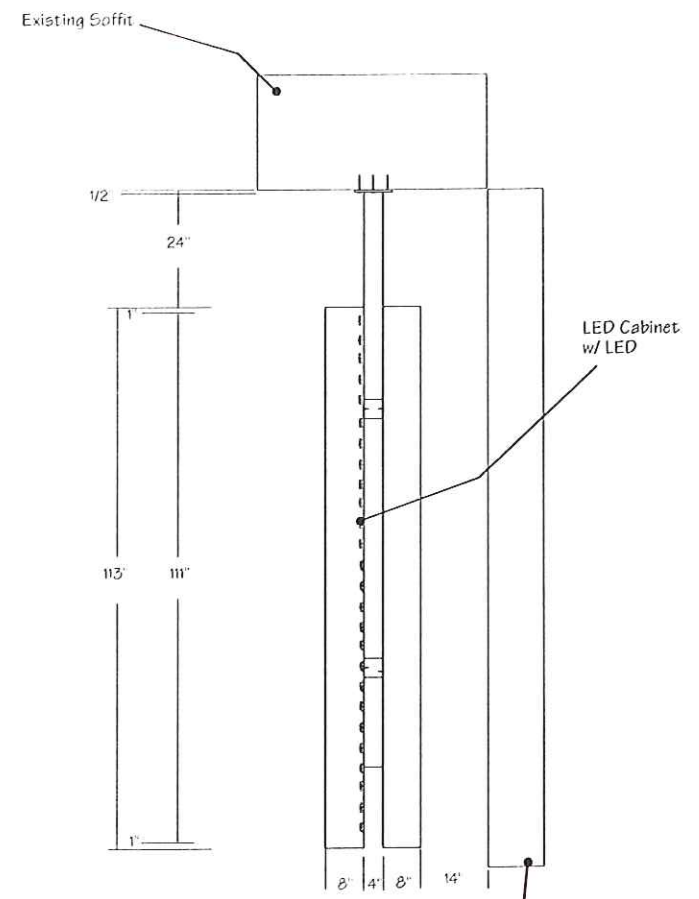
TOP VIEW FLANGE



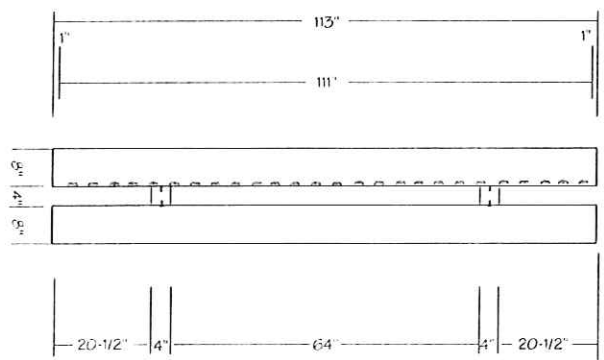
FRONT VIEW



LED DETAIL

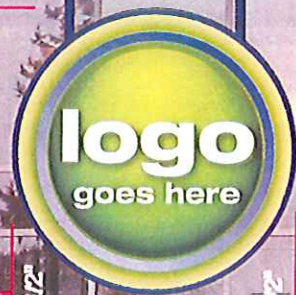


SIDE VIEW



TOP VIEW

APPEN



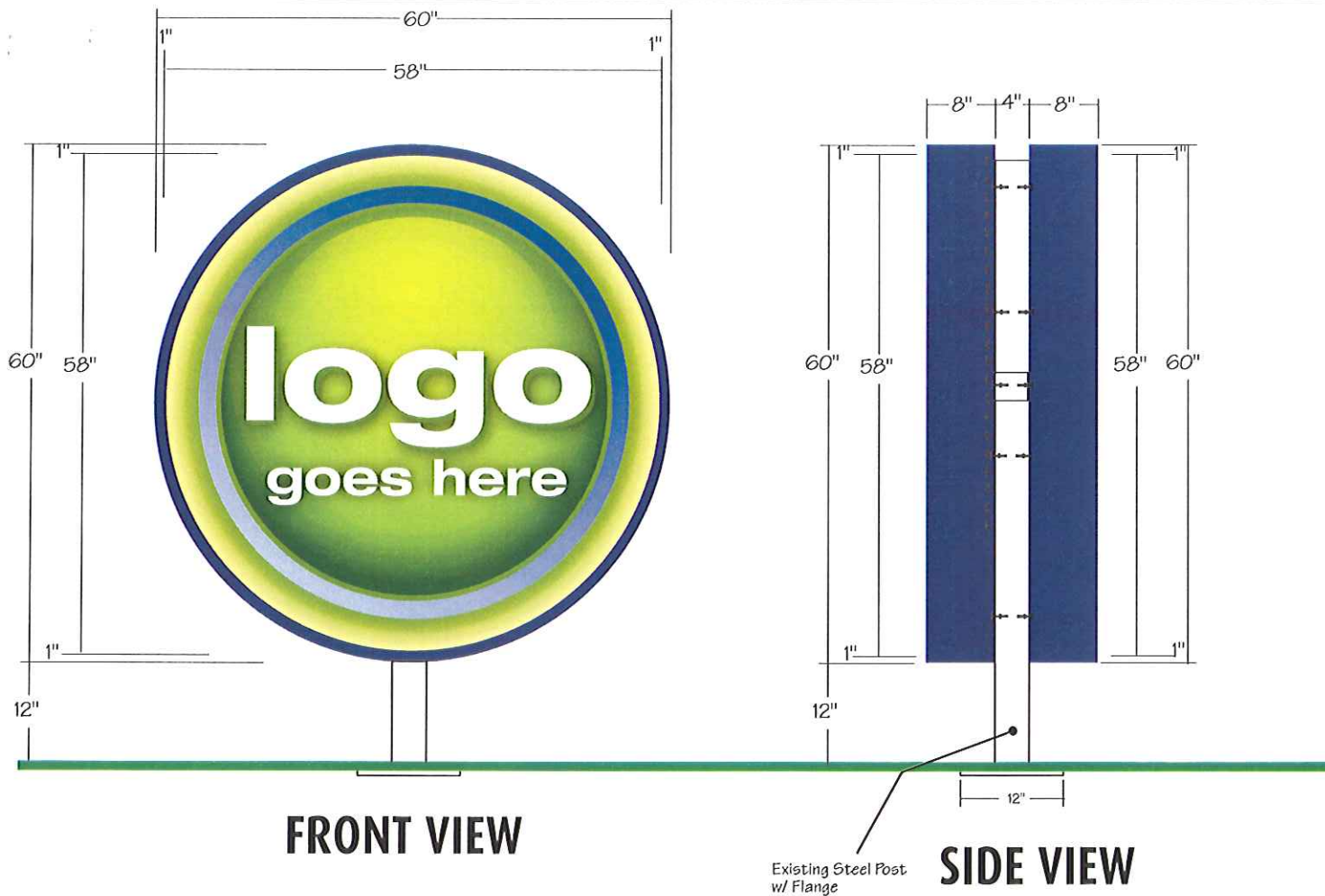
44575



BEFORE

44575





Actual Copy: (As Above)

FWO No.: TBD Date: TBD

Client: Telecom Credit Union

Project: Telecom Credit Union

Sign Type: **Exterior**

Description: Exterior LED Wall Signage

Product Code: ALM /w LED Illumination Size: 60"x60"x8" Depth

Quantity: 2 S/F

Graphics Process: Translucent Digital Print

Typography: 58" Overall Logo Height

Graphics Color: See Background Note

Frames & Fixtures: See Construction Details

Background Color: Lexan Face - Per Drawing
Cabinet - Blue
Steel Tube w/ Flange - Silver

Installation Method: Mechanical Fasten to Existing Steel Tube

Production Notes: 120Volt; 5Amps Max

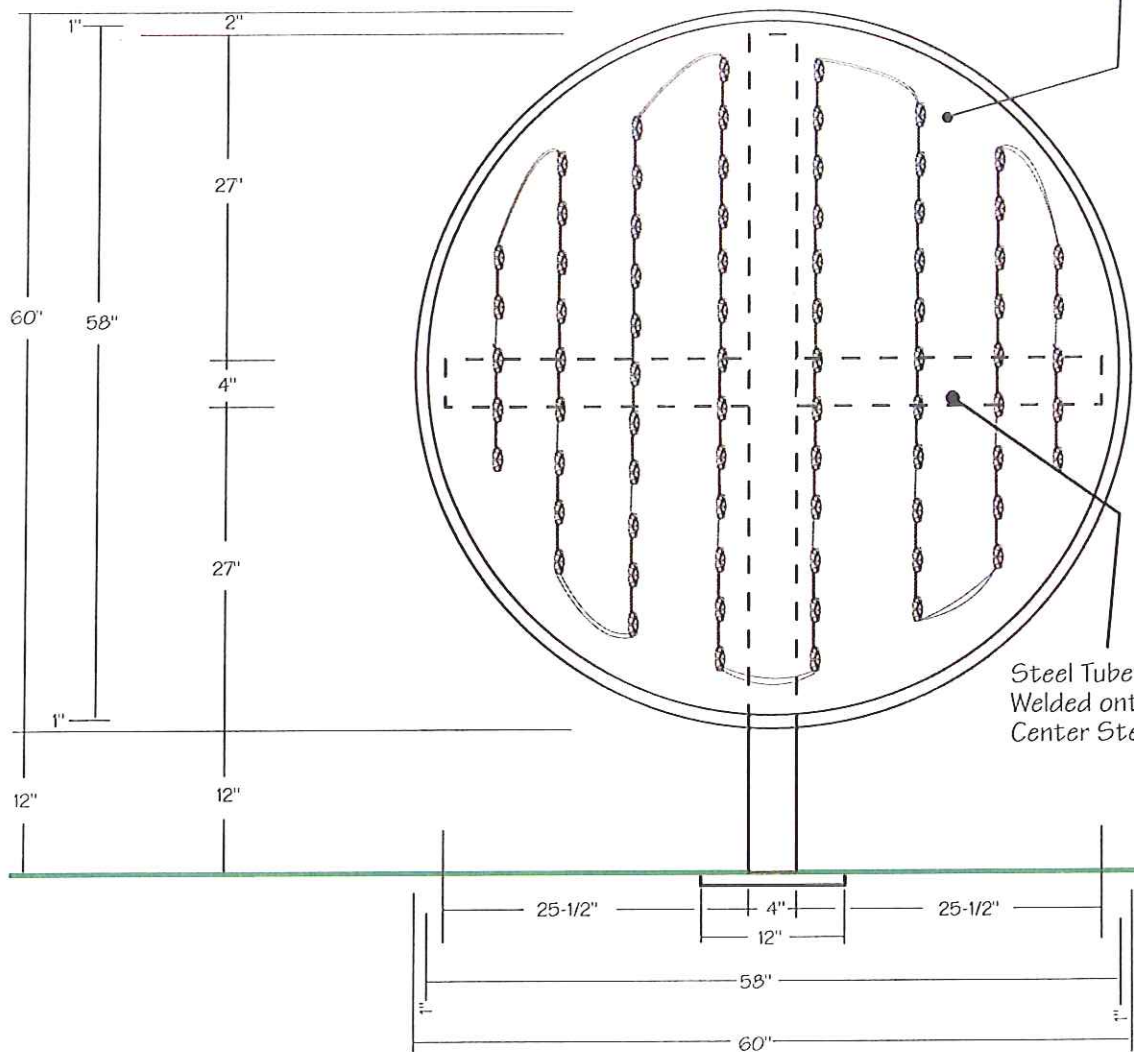


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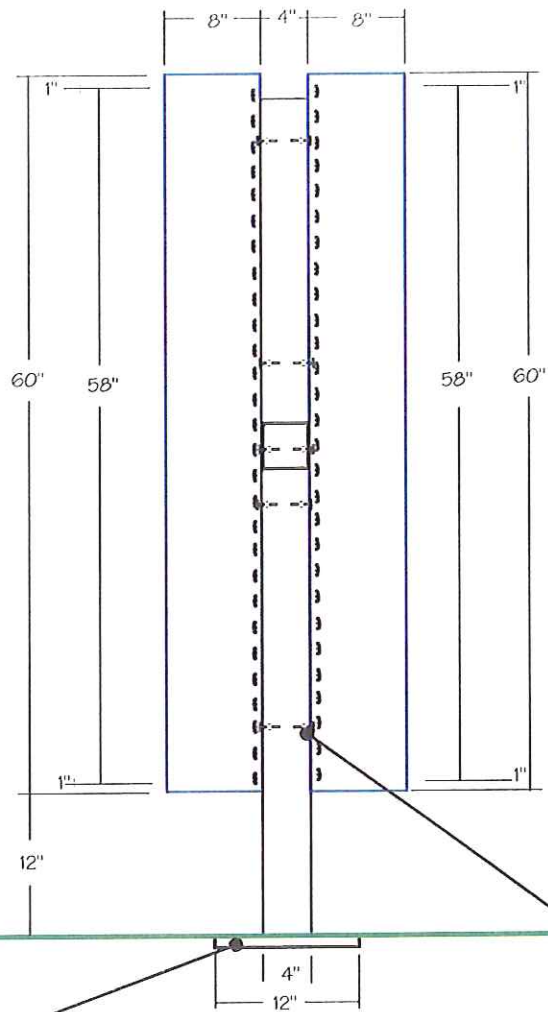
Dwg: OM Page of Proofed:

LED Cabinet w/ LED Units



Steel Tube
Welded onto
Center Steel Tube

FRONT VIEW



GRADE

SIDE VIEW

Steel Post
w/ Flange

Mechanical Fasten onto
Steel Post
w/ Flange

AFTER



© 2012 Google

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Google

42°29'41.64" N 88°29'03.05" W elev 958 ft

87° 958 ft

BEFORE



© 2012 Google

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Google

42°29'41.64" N 88°29'18.05" W elev 958 ft

Eye alt 958 ft

44575 W 12 Mile Rd, Novi, MI

Ground Sign

Overhead Sign

~28FT.

~21FT.

~50FT.

~57FT.

~179FT.

~227FT.

~108FT.

BEFORE

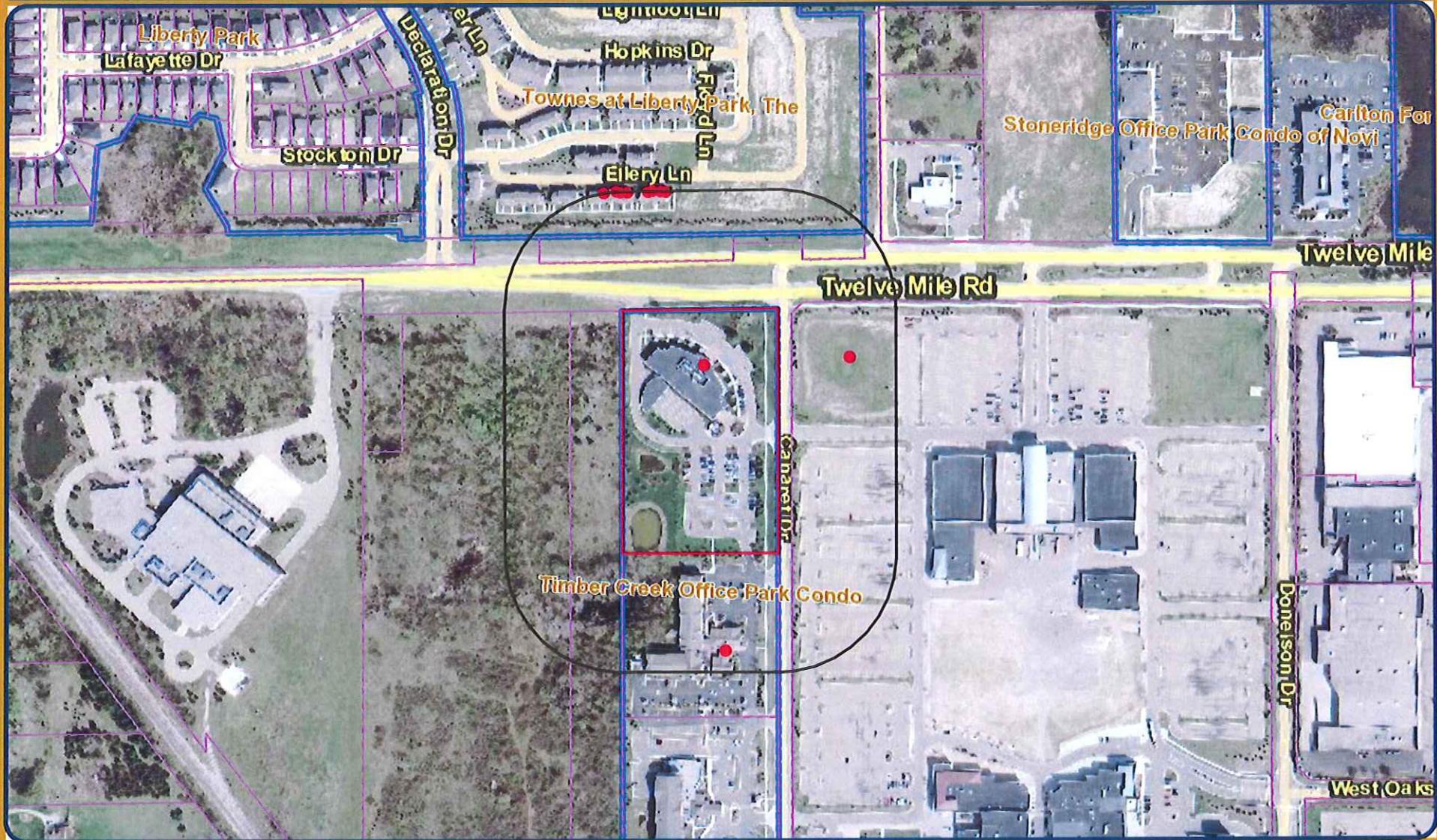
TELCOM CREDIT UNION



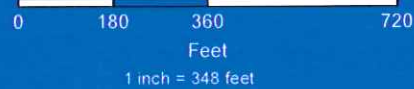
ATTEN



City of Novi
44575 Twelve Mile



Map Produced Using the
City of Novi, Michigan
Internet Mapping Portal



Date: 1/22/2013

MAP INTERPRETATION NOTICE

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