



FOUNTAIN VIEW PROFESSIONAL CENTER JSP19-22

FOUNTAIN VIEW PROFESSIONAL CENTER JSP19-22

Public Hearing at the request of Acqaira Reality Holdings for approval of the Preliminary Site Plan, Woodland Use Permit, Wetland Use Permit, and Stormwater Management Plan. The subject property contains 5.45 acres and is located in Section 10, on the east side of Dixon Road, north of Twelve Mile Road. The applicant is proposing to construct three medical office buildings. Building A is proposed to be a total of 13,300 square feet and one-story in height. Building B is proposed to be a total of 27,940 square feet and two stories in height. Building C is proposed to be a total of 8,725 square feet and one-story in height.

Required Action

Approve/Deny the Preliminary Site Plan, Woodland Use Permit, and Stormwater Management Plan, and any applicable Landscape Waivers.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	5-6-21	<ul style="list-style-type: none"> • A Zoning Board of Appeals variance for the dumpsters located in the side yard will be sought by the applicant • Items to be addressed on the Final Site Plan submittal
Engineering	Approval recommended	2-25-21	<ul style="list-style-type: none"> • Items to be addressed on the Final Site Plan submittal
Landscaping	Approval recommended	5-5-21	<ul style="list-style-type: none"> • Landscape waiver for a lack of a screening berm between residential and commercial (<i>it is supported by staff because it will allow for less impact on the wetland area</i>) • Landscape waiver for a lack of canopy trees on the south side of the detention basin and not located 10 feet from permanent water levels (<i>it is supported by staff because it will help avoid overcrowding the area with trees</i>) • Items to be addressed on the Final Site Plan Submittal
Woodland	Approval recommended	5-5-21	<ul style="list-style-type: none"> • Items to be addressed on the Final Site Plan Submittal
Wetland	Approval recommended	2-24-21	<ul style="list-style-type: none"> • Items to be addressed on the Final Site Plan Submittal
Traffic	Approval recommended	2-23-21	<ul style="list-style-type: none"> • Same side driveway spacing waiver of 91 feet (230 feet required, 139 feet proposed) along Twelve Mile Road and 45 feet (125 feet required, 80 feet proposed) along Dixon Road is required for the proposed entrances (<i>it is supported by staff because the required driveway spacing is unattainable due to the existing driveways in the area</i>)

			<ul style="list-style-type: none"> • Items to be addressed on the Final Site Plan Submittal
Traffic Impact Study	Approval recommended	3-8-21	<ul style="list-style-type: none"> • Items to be addressed on the Final Site Plan Submittal
Façade	Approval recommended	2-24-21	<ul style="list-style-type: none"> • A Section 9 Façade Waiver is required for an overage of EIFS on Building A (it is supported by staff as brick has been added to all facades to comply more closely with the ordinance requirement for 30% brick). A Section 9 Façade Waiver is also required for the underage of brick and overage of stone on Buildings B & C (it is supported by staff as it meets the intent of the ordinance requirement for 30% minimum brick) • Items to be addressed on the Final Site Plan Submittal
Fire	Approval recommended	2-9-21	<ul style="list-style-type: none"> • Items to be addressed on the Final Site Plan Submittal

MOTION SHEET

Approval – Preliminary Site Plan

In the matter of Fountain View Professional Center, JSP19-22, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. Zoning Board of Appeals variance to allow the placement of two dumpsters in the interior side yard *because the proposed location is not in conflict with the adjacent site and will be screened, which is hereby granted;*
- b. Landscape waiver for a lack of a screening berm between residential and commercial *because it will allow for less impact on the wetland area, which is hereby granted;*
- c. Landscape waiver for a lack of canopy trees on the south side of the detention basin and not located 10 feet from permanent water levels *because it will help avoid overcrowding the area with trees, which is hereby granted;*
- d. Same side driveway spacing waiver of 91 feet (230 feet required, 139 feet proposed) for the entrance driveway off Twelve Mile Road *because the required driveway spacing is unattainable due to the existing driveways in the area, which is hereby granted;*
- e. Same side driveway spacing waiver of 45 feet (125 feet required, 80 feet proposed) for the entrance driveway off Dixon Road *because the required driveway spacing is unattainable due to the existing driveways in the area, which is hereby granted;*
- f. Section 9 Façade Waiver for an overage of EIFS on Building A *because brick has since been added to all facades to comply more closely with the ordinance requirement for a minimum of 30% brick, which is hereby granted;*
- g. Section 9 Façade Waiver for an underage of brick and overage of stone on Building B and Building C *because it meets the intent of the ordinance requirement for 30% brick, which is hereby granted;*
- h. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those being addressed on the Final Site Plan; and
- i. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

- AND -

Approval – Woodland Use Permit

In the matter of Fountain View Professional Center, JSP19-22, motion to **approve** the Woodland Use Permit subject to:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

- AND -

Approval – Stormwater Management Plan

In the matter of Fountain View Professional Center, JSP19-22, motion to **approve** the **approve** the Stormwater Management Plan subject to:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

- OR -

Denial – Preliminary Site Plan

In the matter of Fountain View Professional Center, JSP19-22, motion to **deny** the Preliminary Site Plan ... *(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

-AND-

Denial – Woodland Use Permit

In the matter of Fountain View Professional Center, JSP19-22, motion to **deny** the Woodland Use Permit ... *(because the plan is not in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

- AND -

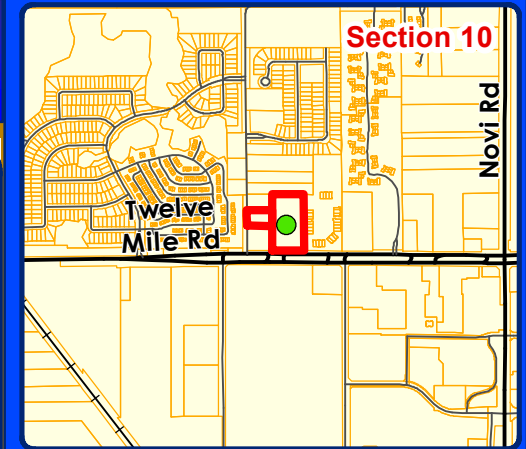
Denial – Stormwater Management Plan

In the matter of Fountain View Professional Center, JSP19-22, motion to **deny** the Stormwater Management Plan ... *(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*


MAPS
Location
Zoning
Future Land Use
Natural Features

JSP19-22 FOUNTAIN VIEW PROFESSIONAL CENTER

LOCATION



LEGEND

 Subject Property



City of Novi

Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Christian Carroll
Date: 6/4/21
Project: FOUNTAIN VIEW PROFESSIONAL CENTER
Version #: 1

0 25 50 100 150 Feet

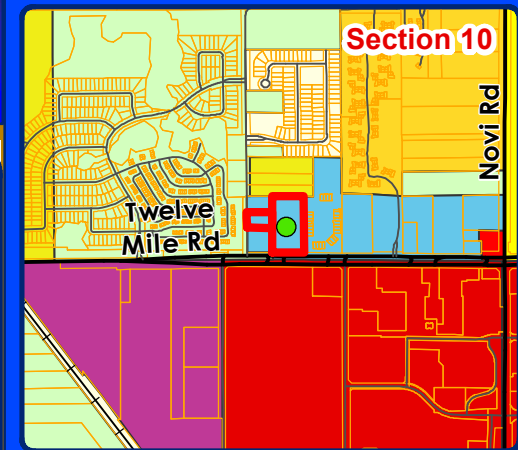
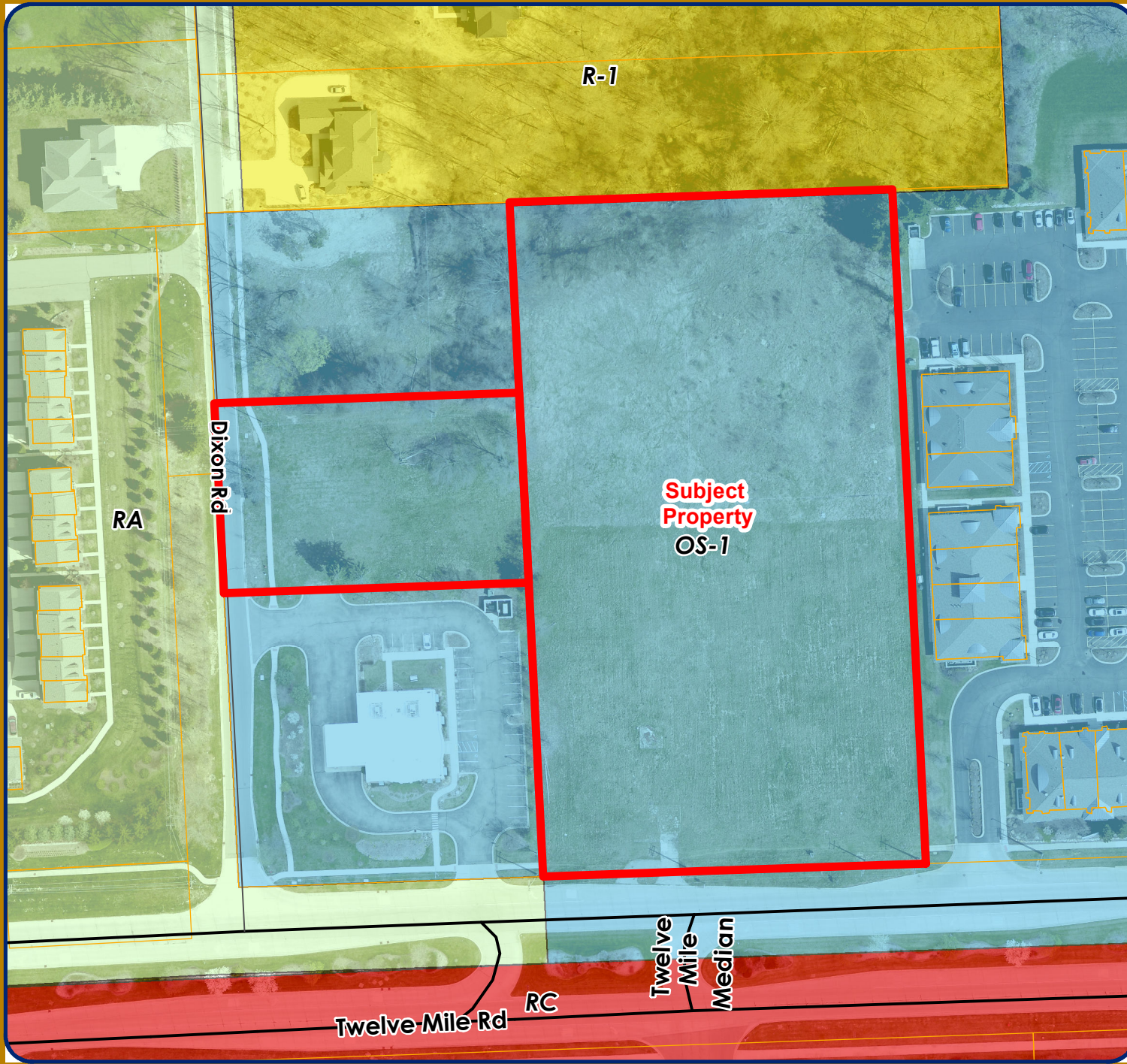
1 inch = 125 feet



MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

JSP19-22 FOUNTAIN VIEW PROFESSIONAL CENTER ZONING



LEGEND

- R-A: Residential Acreage
- R-1: One-Family Residential District
- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- B-3: General Business District
- OS-1: Office Service District
- OST: Office Service Technology
- RC: Regional Center District
- Subject Property

City of Novi
 Dept. of Community Development
 City Hall / Civic Center
 45175 W Ten Mile Rd
 Novi, MI 48375
cityofnovi.org

Map Author: Christian Carroll
 Date: 6/4/21
 Project: FOUNTAIN VIEW PROFESSIONAL CENTER
 Version #: 1

Feet
 0 25 50 100 150

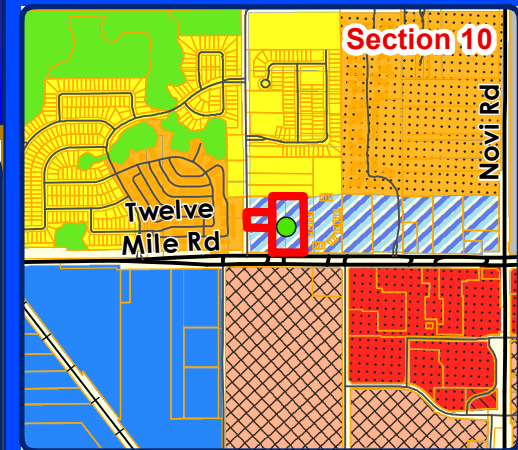
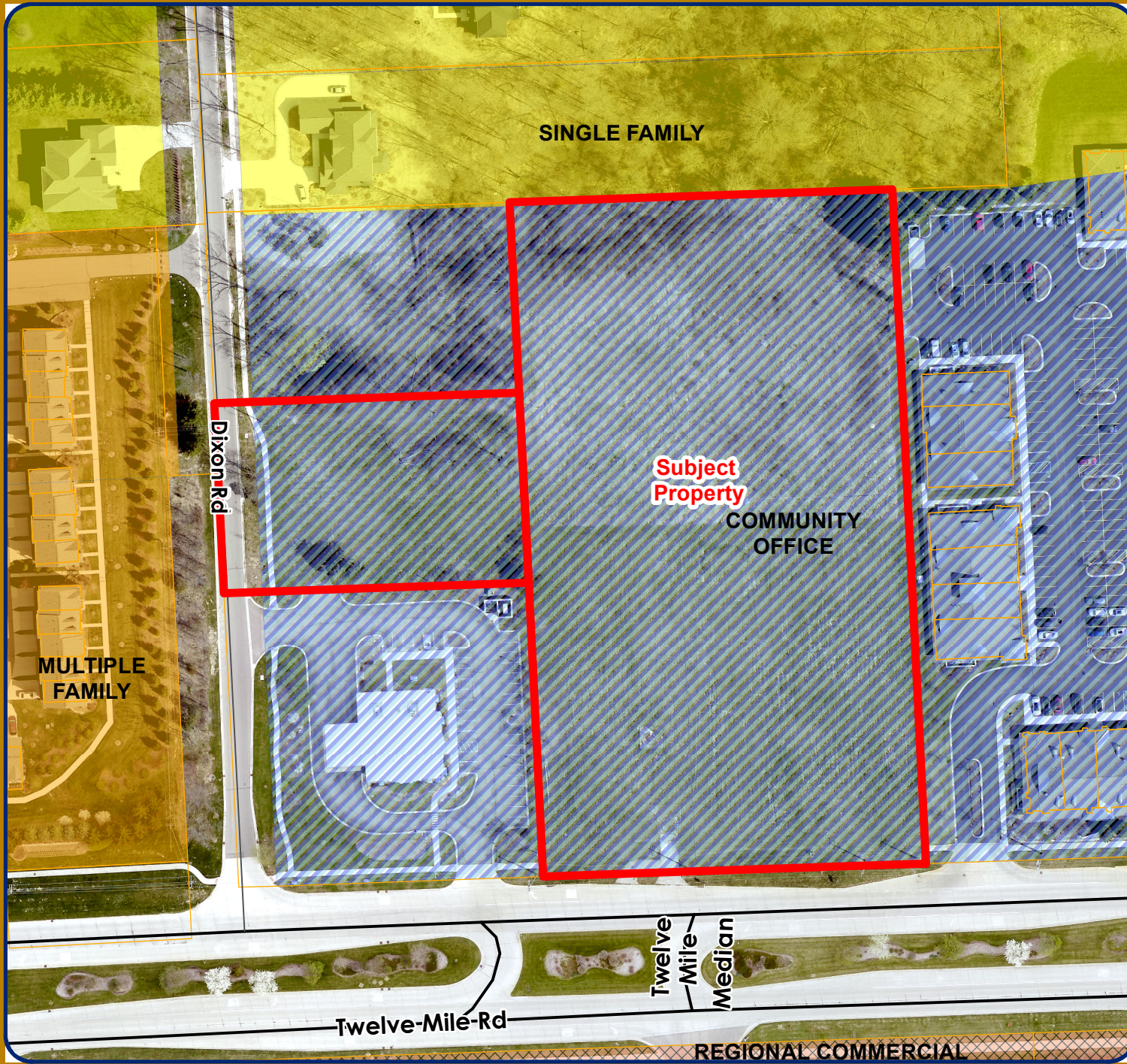
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JSP19-22 FOUNTAIN VIEW PROFESSIONAL CENTER

FUTURE LAND USE





LEGEND

- Single Family
- PUD
- Multiple Family
- PD1
- Community Office
- Office Research Development Technology
- Regional Commercial
- TC Gateway
- PD2
- Public
- Public Park
- Cemetery
- Subject Property


City of Novi
 Dept. of Community Development
 City Hall / Civic Center
 45175 W Ten Mile Rd
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Feet
 0 25 50 100 150

 1 inch = 125 feet

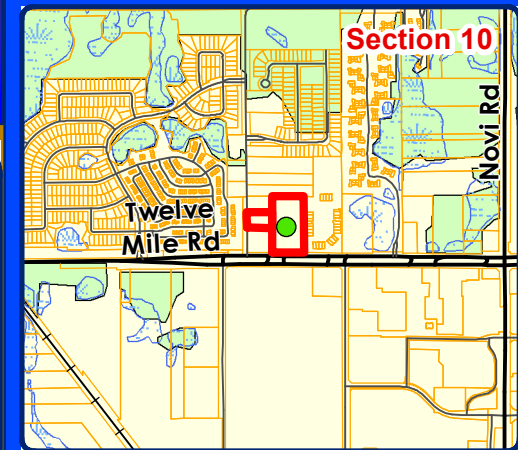


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JSP19-22 FOUNTAIN VIEW PROFESSIONAL CENTER

NATURAL FEATURES



LEGEND

- WETLANDS
- WOODLANDS
- Subject Property

City of Novi
Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Christian Carroll
Date: 6/4/21
Project: FOUNTAIN VIEW PROFESSIONAL CENTER
Version #: 1

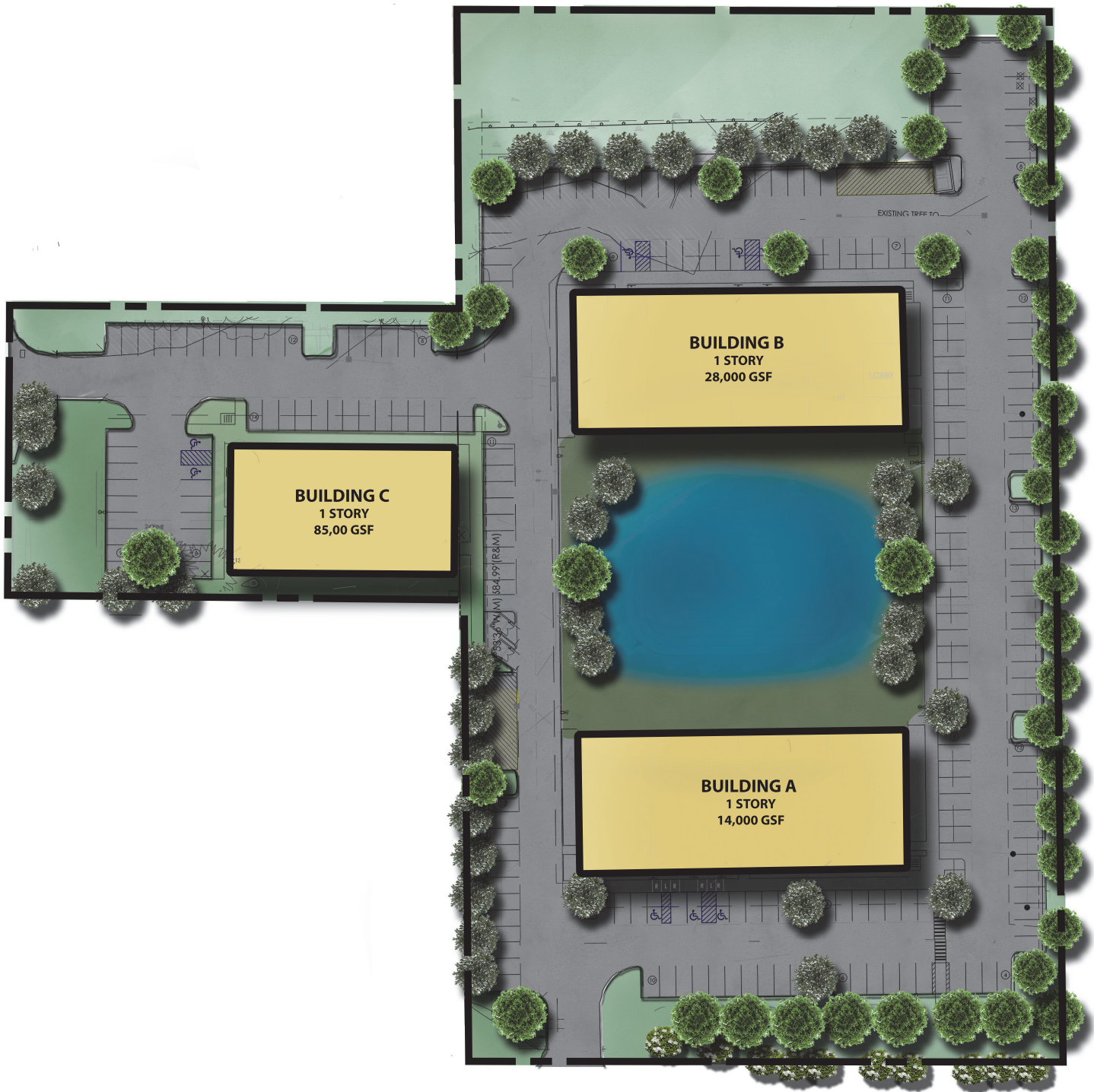
0 25 50 100 150 Feet
1 inch = 125 feet

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SITE PLAN

(Full plan set available for viewing at the Community Development Department.)



FOUNTAINVIEW PROFESSIONAL CENTER
44244 TWELVE MILE ROAD NOVI, MI 48375

FACADE MATERIALS AND ELEVATIONS

THE
RON JONA
COLLABORATIVE

1066 COMMERCE STREET
BIRMINGHAM, AL 35203
C. 248.789.2001
O. 248.357.3600

VIVID DESIGN
STUDIO
C. 248.520.5357

PROJECT:
FOUNTAIN VIEW
PROFESSIONAL CENTER

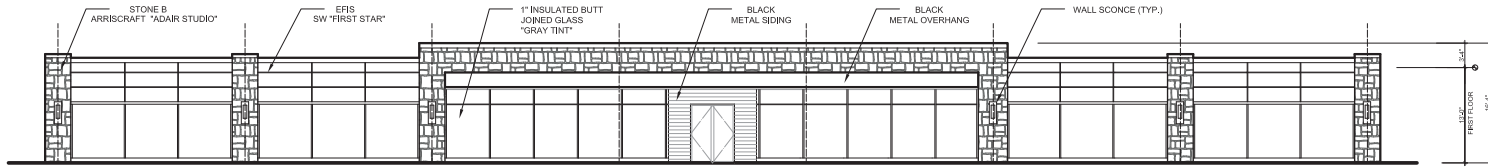
FOUNTAIN VIEW
BLDG. A,B,C
44244 12 MILE RD.
NOVI, MI 48377

SHEET TITLE:
ELEVATIONS
BLDG. A

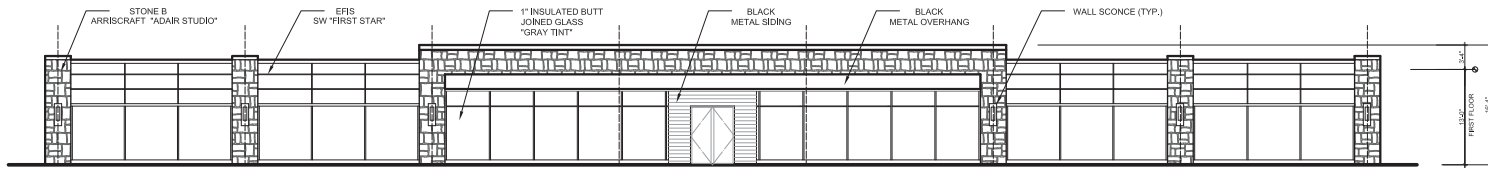
DO NOT SCALE DRAWINGS
USE FIGURED DIMENSIONS ONLY

DATE: 11.13.20
ISSUE:

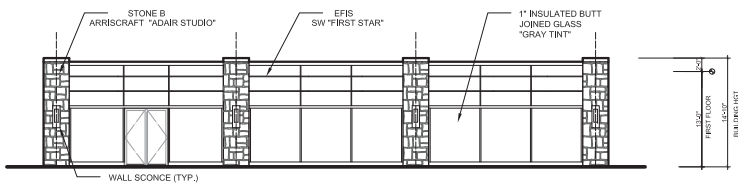
SHEET NO:
A-2



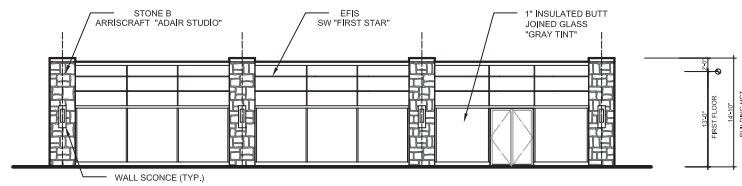
NORTH ELEVATION
SCALE: 1/8"=1'-0"



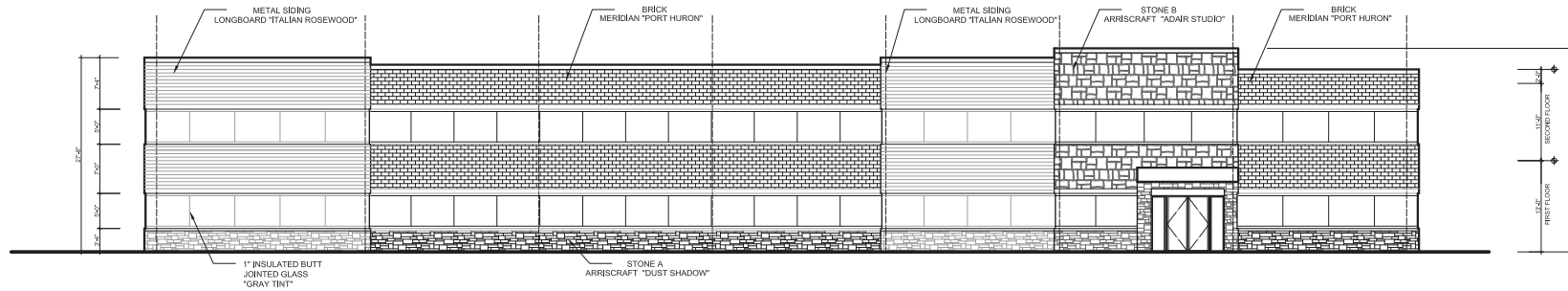
SOUTH ELEVATION
SCALE: 1/8"=1'-0"



EAST ELEVATION
SCALE: 1/8"=1'-0"

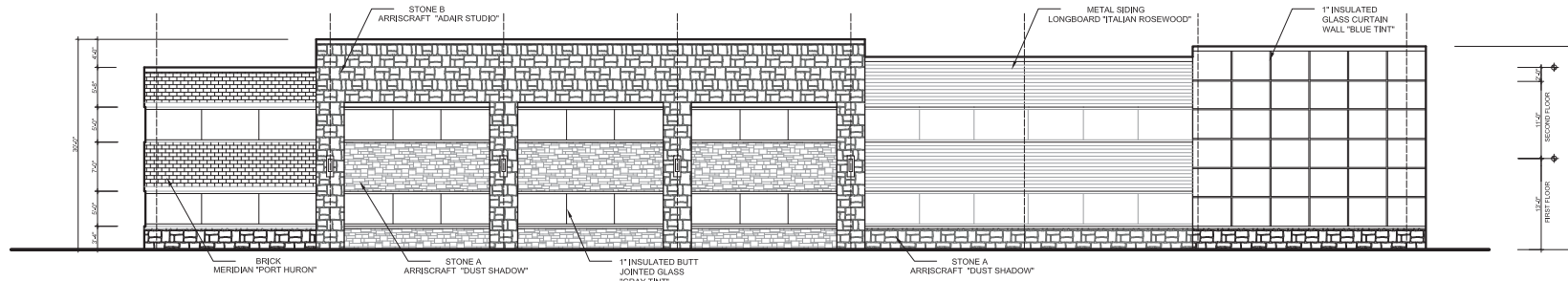


WEST ELEVATION
SCALE: 1/8"=1'-0"



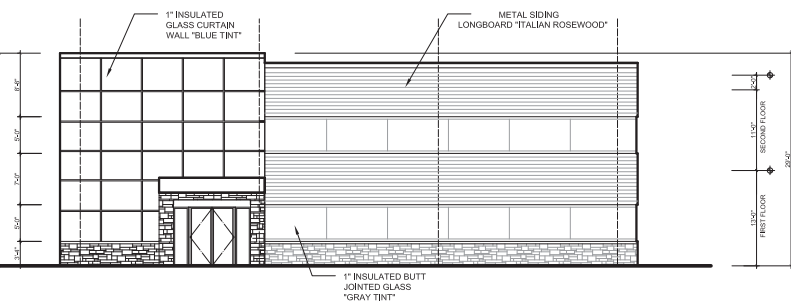
NORTH ELEVATION

SCALE: 1/8"=1'0"



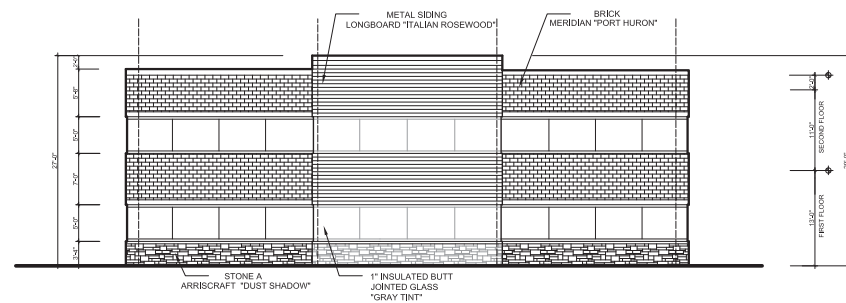
SOUTH ELEVATION

SCALE: 1/8"=1'0"



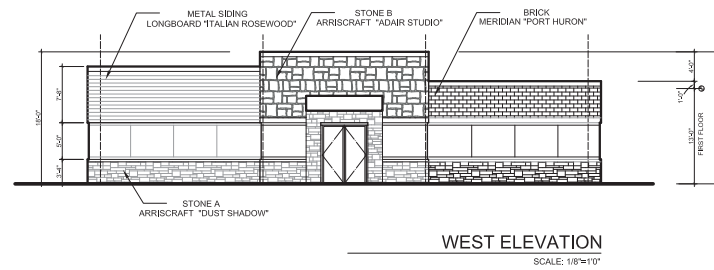
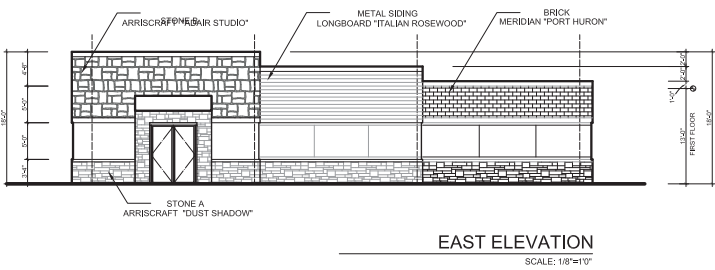
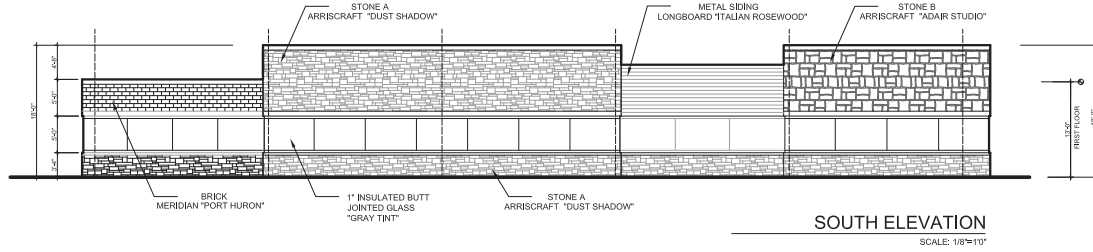
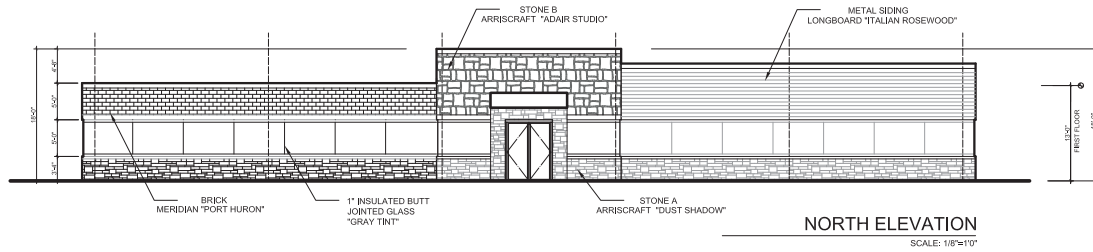
EAST ELEVATION

SCALE: 1/8"=1'0"



WEST ELEVATION

SCALE: 1/8"=1'0"



PLANNING REVIEW



PLAN REVIEW CENTER REPORT
Planning Review
FOUNTAIN VIEW PROFESSIONAL CENTER
 JSP 19-22
 May 6, 2021

PETITIONER

Acqira Reality Holdings

REVIEW TYPE

Revised Preliminary Site Plan

PROPERTY CHARACTERISTICS

Section	10	
Site Location	East of Dixon Road, North of Twelve Mile; 22-10-400-067, 22-10-400-012	
Site School	Novi Community School District	
Site Zoning	OS-1 Office Service District	
Adjoining Zoning	North	R-1 One-Family Residential
	East	OS-1 Office Service District
	West	RA Residential Acreage
	South	RC Regional Center
Current Site Use	Vacant	
Adjoining Uses	North	Vacant
	East	Office
	West	Residential
	South	Commercial
Site Size	5.45 acres	
Plan Date	March 27, 2019	

PROJECT SUMMARY

The applicant is proposing to construct three medical office buildings. Building A is proposed to be a total of 13,300 square feet and one-story in height. Building B is proposed to be a total of 27,940 square feet and two stories in height. Building C is proposed to be a total of 8,725 square feet and one-story in height. Between these three buildings, the applicant is proposing a total of 49,965 square feet of floor area. The site is north of Twelve Mile Road and East of Dixon Road, and is zoned OS-1: Office Service District. The Future Land Use map indicates Community Office for the entirety of the property.

RECOMMENDATION

Approval of the Preliminary Site Plan is recommended by Planning. The plan mostly conforms to the requirements of the Zoning Ordinance, with any deviations noted below. All reviewers, **except**

Landscape, recommend approval of the Preliminary Site Plan. **This is due to a number of clarifications or revisions that need to be made in the Landscape Review.** Please address these items as part of a Revised Preliminary Site Plan submittal. **Planning Commission approval of the Preliminary Site Plan and Stormwater Management Plan will be required.**

ORDINANCE REQUIREMENTS

This project was reviewed for compliance with the Zoning Ordinance, with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other areas of the ordinance, as noted. The plans show general compliance with ordinance requirements. Please address the items in **bold** with the next submittal.

1. Parking Setbacks (Sec. 3.1.21), Parking Space & Maneuvering Lane Dimensions (Sec. 5.3.2): The dimensions of the proposed parking spaces are 9' x 17' or 9' x 17.5' and a 2' overhang has been indicated. However, the curb height has not been indicated. **Please indicate the height of the curbs on the site plan.**
2. Dumpster (Sec. 4.19.2.F): Two dumpsters are proposed on-site. **The proposed dumpster located within the side yard of the property will either need to be removed or will require a variance from the Zoning Board of Appeals. Please indicate whether revisions will be made, or a variance will be sought.**
3. Rooftop Equipment (Sec. 4.19.2.E.ii): The proposed building height complies with the height requirements for the zoning district. **The applicant has indicated that all equipment will be fully screened by prefinished Metal Panels. Please provide screening information and any relevant elevations with the next submittal.**
4. Lighting Plan (Sec. 5.7): Please provide the following information:
 - a. Currently, only the average light levels for each section (i.e. walkway) have been provided. **Please provide the overall average light level for the entirety of the site to verify compliance (average/minimum).**
 - b. **Please provide a minimum of 1 foot candle (fc) at frequent building entrances. The plan notes a minimum of 1 fc, but it shows less than 1 fc near the main building entrances.**
5. Driveway Taper & Spacing: Per the Traffic Review, 230 feet near curb to near curb on 12 Mile Road and 125 feet near curb to near curb on Dixon Road same-side driveway spacing is required. Currently, 59.14 feet is proposed along 12 Mile Road and approximately 80 feet is proposed along Dixon Road. **Please revise the location of the drives to meet the required standard or request a same side driveway spacing waiver for both Dixon Road and Twelve Mile Road.**
6. Economic Impact Information: **Please provide the total estimated cost and job creation numbers for this project prior to the Planning Commission Meeting.**
7. Parcel Combination: The applicant has indicated that the parcels will be combined prior to Final Stamping Set Approval. **Please submit this [application](#) to the Assessing Department prior to Electronic Stamping Set Submittal.**
8. Non-Residential Minor Wetland Use Permit: Per the Wetland Review, a *Wetland Minor Use Permit* as well as an *Authorization to Encroach the 25-foot Natural Features Setback* will require administrative approval.
9. ROW Dedication: The City of Novi is requesting that the half-width right-of-way along Dixon Road be dedicated. Please see the Engineering Review for additional comments.

10. Planning Chart: Please refer to the attached Planning Chart for additional comments to address in the next submittal.

OTHER REVIEWS

- a. Engineering Review: Engineering is recommending approval of the Preliminary Site Plan with comments to be addressed as part of the Final Site Plan Submittal.
- b. Landscape Review: Landscape is recommending **denial** of the Preliminary Site Plan with comments to be addressed in another revision to the Preliminary Site Plan Submittal.
- c. Traffic Review: Traffic is recommending approval of the Preliminary Site Plan with comments to be addressed in the Final Site Plan Submittal.
- d. Traffic Study Review: Traffic is recommending approval of the Traffic Impact Study.
- e. Façade Review: Façade is recommending approval of the Preliminary Site Plan with comments to be addressed in the Final Site Plan Submittal.
- f. Wetland Review: Wetland is recommending approval of the Preliminary Site Plan with comments to be addressed in the Final Site Plan submittal.
- g. Fire Review: Fire is recommending approval of the Preliminary Site Plan with comments to be addressed in the Final Site Plan Submittal.

NEXT STEP: REVISED PRELIMINARY SITE PLAN

With not all reviewers recommending approval of the Preliminary Site Plan, the applicant is asked to address the items identified in the **Landscape** review letter before this matter proceeds to the Planning Commission. Please submit **2 size 24" x 36" copy, folded, with original signature and original seals (include PDF, if possible)**, to the Community Development Department for Revised Preliminary Site Plan Review. The submitted plans should address the following:

1. Plans addressing the comments in the Landscape review letter and chart **in PDF format**.
2. Response letter addressing all comments in the Landscape review letter. **Refer to sheet numbers where the change is reflected.**

PLANNING COMMISSION MEETING

This Site Plan will be scheduled to go before the Planning Commission as a Matter for Consideration once all reviewers recommend approval of the Preliminary Site Plan. Please provide the following via email once this stage is reached:

1. Site Plan submittal in PDF format (maximum of 10MB). **NO CHANGES MADE**.
2. A response letter addressing ALL the comments from ALL the review letters and a request for waivers/variances as you see fit.
3. A color rendering of the Site Plan (optional, to be used for Planning Commission presentation).
4. A sample board of building materials as required by our Façade Consultant.

FINAL SITE PLAN SUBMITTAL

After receiving Planning Commission's approval of the Preliminary Site Plan, please follow the [Final Site Plan Checklist](#) and submit for approval:

1. **Seven** copies of Final Site Plan sets (24" x 36", folded) addressing ALL comments from Preliminary Site Plan Review.
2. Response letter addressing ALL comments from ALL review letters and **refer to sheet numbers where the change is reflected**.
3. [Final Site Plan Application](#)
4. [No Revision Façade Affidavit](#) (if no façade changes have been made)
5. An itemized engineering cost estimate including sanitary sewer, watermain, storm sewer, paving and grading costs, size 8.5" x 11" (The cost estimate should not include soil erosion or demolition costs.)

6. An itemized landscaping cost estimate including greenbelt and greenbelt ornamental trees, perennials, pond plantings, shrubs, edging, mulch, seed mix and seeded lawn, size 8.5" x 11" (The cost estimate should not include woodland trees, replacement trees or mitigation.)
7. An [Other Agencies Checklist](#)
8. Recommended, but not required: A [Right-of-Way Permit Application](#)
9. Recommended, but not required: A [Soil Erosion Permit Application](#)

ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER

After receiving Final Site Plan approval, plans addressing the comments in all the staff and consultant review letters should be submitted electronically for informal review and approval prior to printing Stamping Sets. A letter from either the applicant or the applicant's representative addressing comments in this and other review letters and associated charts is to be submitted with the electronic stamping set. This letter should address all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected**. *If required, drafts for all legal documents with a legal transmittal are to be submitted along with stamping sets.*

STAMPING SET APPROVAL

Stamping sets will be required for this project. After having received all the review letters from City staff the applicant should make the appropriate changes on the plans and submit **12 size 24" x 36" copies with original signature and original seals on the cover sheet (subsequent pages may use electronic seal with signature)**, to the Community Development Department for final Stamping Set approval.

PRE-CONSTRUCTION MEETING

A Pre-Construction meeting is required for this project. Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled, so it is suggested you contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] once the Final Site Plan has been approved to begin the Pre-Con checklist. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah.

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or ccarroll@cityofnovi.org.



Christian Carroll, Planner



PLANNING REVIEW CHART: OS-1, Office Service

Review Date: May 6, 2021
Review Type: Revised Preliminary Site Plan Review
Project Name: JSP 19-22 Fountain View Professional Center
 East of Dixon Road, North of Twelve Mile; 22-10-400-067,
 22-10-400-012
Plan Date: April 27, 2021
Prepared by: Christian Carroll, Planner
E-mail: ccarroll@cityofnovi.org **Phone:** (248) 735-5607

Items in **Bold** need to be addressed by the applicant with next submittal. Underlined items require Planning Commission and/or ZBA approval. *Italicized* items are to be noted.

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan <i>(adopted July 26, 2017)</i>	Community Office	No change		
Zoning <i>(Effective January 8, 2015)</i>	OS-1, Office Service	No change		
Uses Permitted <i>(Sec 3.1.21.B & C)</i>	Uses permitted listed in Section 3.1.21.B & C	Medical Offices	Yes	Principle permitted use
Height, Bulk, Density, and Area Limitations (Sec. 3.1.21.D)				
Frontage on a Public Street <i>(Sec. 5.12)</i>	Frontage on a Public Street is required	The site has frontage and access to Twelve Mile Road and Dixon Road	Yes	
Access to a Major Thoroughfare (Sec. 5.13)	Vehicular access shall be provided only to an existing or planned major thoroughfare or freeway service drive OR access driveway on other street type is not across street from existing or planned single-family uses	Driveway onto Twelve Mile Road and Dixon Road.	Yes	
Building Height (Sec. 3.1.21.D)	30 ft.	30 ft. (Building 'B' only)	Yes	
Building Setbacks (Sec. 3.1.21.D) OS-1 District				
Front (South)	20 ft	108 ft	Yes	
Exterior Side (West)	20 ft	93 ft	Yes	
Interior Side (West, East)	15 ft	63 ft, 87 ft	Yes	
Rear (North)	20 ft	157 ft	Yes	
Parking Setbacks (Sec. 3.1.21) Refer to applicable notes in Sec. 3.6.2				
Front (South)	20 ft	20 ft	Yes	
Exterior Side (West)	20 ft	22 ft	Yes	
Interior Side (West, East)	10 ft	10 ft, 10 ft	Yes	
Rear (North)	10 ft	10 ft	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Note to District Standards (Sec. 3.6.2)				
Exterior Side Yard Abutting a Street (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to front yard.	Applies with Dixon Road access.	Yes	
Lot Coverage (Sec. 3.6.2.D)	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space requirements as set forth in this Ordinance.		NA	
Off-Street Parking in Front Yard (Sec 3.6.2.E)	Off-street parking shall be permitted in the front yard, except that said parking shall observe the minimum off-street parking setback requirements in the Development Standards of Sec. 3.1 and Sec. 5.5.3 of this ordinance.	Complies	Yes	
Residential Setback (Sec. 3.6.2.L)	Wherever property directly abuts or is adjacent to residentially zoned property, the minimum yard setback shall be twenty (20) feet.	Complies	Yes	
Wetland/Watercourse Setback (Sec 3.6.2.M)	A setback of 25ft from wetlands and from high watermark course shall be maintained		NA	
Parking setback screening (Sec 3.6.2.P)	Required parking setback area shall be landscaped per Sec. 5.5.3.	Provided	Yes	<i>See Landscape review for comments</i>
Modification of	The Planning	Parking setbacks conform	NA	

Item	Required Code	Proposed	Meets Code	Comments
parking setback requirements (Sec 3.6.2.Q)	Commission may modify parking setback requirements based on conditions listed in Sec. 3.6.2.Q	to the minimum required		
OS-1 District Required Conditions (Sec. 3.17)				
Interior Display (Sec. 3.17.1)	No interior display shall be visible from the exterior of the building.	Not proposed	Yes	
Outdoor Storage (Sec. 3.17.2)	The outdoor storage of goods or materials shall be prohibited.	Not proposed	Yes	
Warehousing (Sec. 3.17.3)	Warehousing or indoor storage of goods or material, beyond that normally incident to the permitted uses, shall be prohibited.	Not proposed	Yes	
Parking, Loading, Dumpster, and Other Equipment Requirements				
Number of Parking Spaces (Sec. 5.2.12.D)	<p>Professional offices of doctors, dentists, veterinarian or similar professions; outpatient clinics (75%):</p> <p>1 space for each 175 sf GLA for buildings greater than 5,000 sf</p> <p>$42,995 \text{ sf} \times .75 = 32,246/175 = 185$ spaces</p> <p>General Office (25%):</p> <p>1 space for each 222 sf GLA (under 100,000 sf)</p> <p>$10,749 \text{ sf}/222 = 49$ spaces</p>	<p>Total required: 234 spaces</p> <p>234 spaces provided.</p>	Yes	
Parking Space & Maneuvering Lane Dimensions (Sec. 5.3.2)	<p><u>90° spaces:</u> 9 ft. x 19 ft. parking spaces with 24 ft. drives</p> <p>9 ft. x 17 ft. parking spaces along 7 ft. interior sidewalks,</p>	<p>9' x 17', 9' x 17.5' spaces. Curb height not indicated.</p>	No	Please indicate curb height on plans, appears to be 4" tall with proposed parking spaces.

Item	Required Code	Proposed	Meets Code	Comments
	provided a 4 in. curb at these locations & along landscaping			
Parking stall located adjacent to a parking lot entrance (public or private) (Sec. 5.3.13)	Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	Complies – 25 ft on Twelve Mile Road & Dixon Road	Yes	
End Islands (Sec. 5.3.12)	<ul style="list-style-type: none"> - End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 ft. wide, have an outside radius of 15 ft., and be constructed 3 ft. shorter than the adjacent parking stall 	Complies	Yes	
Barrier Free Spaces (Barrier Free Code)	5 standard, 2 van accessible required (7 total)	8 spaces provided (7 van accessible)	Yes	
Barrier Free Space Dimensions (Barrier Free Code)	8 ft. wide with 5 ft. wide access aisle for standard accessible; 8 ft. wide with 8 ft. wide access aisle for van accessible	Provided	Yes	
Barrier Free Signs (Barrier Free Design Graphics Manual)	1 barrier free sign per space	Signage provided	Yes	See Traffic comments.
Minimum Number of Bicycle Parking (Sec. 5.16.1)	5% of required auto spaces, minimum 2 spaces: $.05 \times 236 = 12$ spaces required	12 spaces provided	Yes	
Bicycle Parking Facilities (Sec. 5.16)	- Located along principal building entrance approach, clearly visible	Complies	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> - No farther than 120 ft. from the entrance being served - When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations - Spaces to be paved and the bike rack shall be inverted "U" design min. of 36" tall - Shall be accessible via 6 ft. paved access from street 	<p>Complies</p> <p>Complies</p> <p>Complies</p> <p>Complies</p>	<p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p>	
<p>Bicycle Parking Lot layout (Sec 5.16.5.A)</p>	<p>Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double</p>	<p>Layout shown</p>	<p>Yes</p>	
<p>Loading Spaces (Sec. 5.4.1)</p>	<p>Loading space shall be provided in the rear yard or in the case of a double frontage lot, in the interior side yard, in the ratio of five (5) square feet per front foot of building up to a total area of three-hundred sixty (360) square feet per building.</p>	<p>182 ft + 70 ft = 252 ft of frontage x 5 sf = 1,260 sf (360 sf max per building) = 1,080 sf loading zone required</p> <p>1,853 sf loading zone provided</p>	<p>Yes</p>	
<p>Dumpster (Sec 4.19.2.F)</p>	<ul style="list-style-type: none"> - Located in rear yard - Attached to the building or no closer than 10 ft. from building if not attached - Not located in parking setback - If no setback, then it cannot be any 	<p>Two proposed, one in the rear yard, one in the side yard.</p>	<p>No</p>	<p><u>Proposed dumpster located in the side yard will require a variance.</u></p>

Item	Required Code	Proposed	Meets Code	Comments
	closer than 10 ft, from property line. - Away from Barrier free Spaces			
Dumpster Enclosure (Sec. 21-145. (c) Chapter 21 City Code of Ordinances)	- Screened from public view - A wall or fence 1 ft. higher than height of refuse bin - And no less than 5 ft. on three sides - Posts or bumpers to protect the screening - Hard surface pad - Screening Materials: Masonry, wood or evergreen shrubbery	Complies	Yes	
Roof top equipment and wall mounted utility equipment (Sec. 4.19.2.E.ii)	All roof top equipment must be screened, and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	Rooftop equipment proposed	Yes?	Provide screening information and elevation with next submittal.
Roof top appurtenances screening	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road or adjacent property.	Rooftop equipment proposed	Yes?	
Transformer/ Generator	- Provide location of any proposed transformers/ generators etc.	Three transformers proposed	Yes	
Non-Motorized Facilities				
ARTICLE XI. OFF-ROAD NON-MOTORIZED FACILITIES Sec. 11-256. Requirement. (c) & Sub. Ord. Sec. 4.05	- In the case of new streets and roadways to be constructed as part of the project, a sidewalk shall be provided on both sides of the proposed street or	N/A	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	roadway. - Sidewalks along arterials and collectors shall be 6 feet or 8 feet wide as designated by the "Bicycle and Pedestrian Plan," but not along industrial service streets per Subdivision Ordinance. - Whereas sidewalks along local streets and private roadways shall be five (5) feet wide.	6 ft sidewalk required along Twelve Mile Road, 5 ft existing sidewalk along Dixon Road. 6 ft sidewalk proposed along Twelve Mile Road. N/A		
Pedestrian Connectivity	- Whether the traffic circulation features within the site and parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets - Building exits must be connected to sidewalk system or parking lot.	Sidewalks are existing/proposed throughout the site Complies	Yes Yes	
Lighting and Photometric Plan (Sec. 5.7)				
Intent (Sec. 5.7.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky	A lighting and photometric plan is provided	Yes	
Lighting Plan (Sec. 5.7.A.i)	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting	Provided	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	fixtures			
Building Lighting (Sec. 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.	Not applicable	NA	
Lighting Plan (Sec. 5.7.A.2.ii)	Specifications for all proposed & existing lighting fixtures	Provided	Yes	
	Photometric data	Provided	Yes	
	Fixture height	Provided	Yes	
	Mounting & design	Provided	Yes	
	Glare control devices (Also see Sec. 5.7.3.D)	Provided	Yes	
	Type & color rendition of lamps	Provided	Yes	
	Hours of operation	7pm – 9am (Winter), 9pm-8am (Summer)	Yes	
Maximum Height (Sec. 5.7.3.A)	Height not to exceed maximum height of zoning district (or 25 ft. where adjacent to residential districts or uses	Provided – 25 ft.	Yes	
Standard Notes (Sec. 5.7.3.B)	<ul style="list-style-type: none"> - Electrical service to light fixtures shall be placed underground - Flashing light shall not be permitted - Only necessary lighting for security purposes & limited operations shall be permitted after a site’s hours of operation 	Provided	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<p>Security Lighting (Sec. 5.7.3.H)</p> <p>Lighting for security purposes shall be directed only onto the area to be secured.</p>	<ul style="list-style-type: none"> - All fixtures shall be located, shielded and aimed at the areas to be secured. - Fixtures mounted on the building and designed to illuminate the facade are preferred 	<p>Security lighting is proposed and shown on the plan.</p>	<p>Yes</p>	
<p>Average Light Levels (Sec. 5.7.3.E)</p>	<p>Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1</p>	<p>No overall avg/min provided</p>	<p>No</p>	<p>Provide overall average light level for the site (average/minimum).</p>
<p>Type of Lamps (Sec. 5.7.3.F)</p>	<p>Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps</p>	<p>Provided</p>	<p>Yes</p>	
<p>Min. Illumination (Sec. 5.7.3.K)</p>	<p>Parking areas: 0.2 min</p>	<p>0.3 fc</p>	<p>Yes</p>	<p>Please provide a minimum of 1 fc at frequent building entrances. The plan notes a minimum of 1 fc, but it shows less than 1 fc near the main building entrances.</p>
	<p>Loading & unloading areas: 0.4 min</p>	<p>0.6 fc</p>	<p>Yes</p>	
	<p>Walkways: 0.2 min</p>	<p>0.6 fc</p>	<p>Yes</p>	
	<p>Building entrances, frequent use: 1.0 min</p>	<p>1 fc listed; less than 1 fc shown on plan</p>	<p>No</p>	
	<p>Building entrances, infrequent use: 0.2 min</p>	<p>0.5 fc</p>	<p>Yes</p>	
<p>Max. Illumination adjacent to Non-Residential (Sec. 5.7.3.K)</p>	<p>When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle</p>	<p>Complies – 0.5 fc maximum</p>	<p>Yes</p>	
<p>Cut-off Angles (Sec. 5.7.3.L)</p>	<p>When adjacent to residential districts:</p> <ul style="list-style-type: none"> - All cut off angles of fixtures must be 90° - maximum illumination at the property line shall not exceed 0.5 foot candle - No direct light source shall be visible at the property line 	<p>Complies</p>	<p>Yes</p>	

Item	Required Code	Proposed	Meets Code	Comments
	(adjacent to residential) at ground level			
Building Code and Other Requirements				
Woodlands (City Code Ch. 37)	Replacement of removed trees	No woodlands on site.		
Wetlands (City Code Ch. 12, Art. V)	Mitigation of removed wetlands at ratio of 1.5:1 emergent wetland, 2:1 for forested wetlands	Wetlands on-site. Missing calculations – see Environmental Consultant Review.		
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).	Per the Traffic Review, 230 feet near curb to near curb on 12 Mile Road and 125 feet near curb to near curb on Dixon Road same-side driveway spacing is required. Currently, 59.14 feet is proposed along 12 Mile Road and approximately 80 feet is proposed along Dixon Road.	No	Please revise the location of the drives to meet the required standard or request a same side driveway spacing waiver for both Dixon Road and Twelve Mile Road.
Economic Impact Information	- Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied, if known)	Total cost and job creation has yet to be provided.	No	Provide total cost and job creation estimate (to be provided with next submittal according to applicant response).
Phasing	- All projects must be completed within two years of the issuance of any starting permit	One Phase	NA	

Item	Required Code	Proposed	Meets Code	Comments
	or phasing plan should be provided			
Development/ Business Sign & Street Addressing	- Signage if proposed requires a permit. - The applicant should contact the Building Division for an address prior to applying for a building permit.	Applicant should submit an address application prior to Final Stamping Set Approval.	TBD	Contact Brian Riley at 248-347-0438 or briley@cityofnovi.org for more information.
Project & Street Naming Committee	Some projects may need approval from the Street & Project Naming Committee		NA	
Parcel Split or Combination or Condominium Approval	Any parcel splits or combinations or condominium approvals must be completed before Stamping Set approval.	Parcels are proposed to be combined prior to Final Stamping Set Approval.	TBD	Please submit this application to the Assessing Department prior to Electronic Stamping Set Submittal.

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4 and 5 of the zoning ordinance for further details
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

February 25, 2021

Engineering Review

Fountain View

JSP19-0022

Applicant

Acqira Realty Holdings

Review Type

Final Site Plan

Property Characteristics

- Site Location: East of Dixon Road, North of Twelve Mile Road
- Site Size: 5.458 acres
- Plan Date: 11/13/2020
- Design Engineer: Nowak & Fraus Engineers

Project Summary

- Construction of three separate medical office buildings with associated parking.
- Water service would be provided by an extension from the existing 24-inch water main in Twelve Mile Road. Each building would have a domestic water service lead and a fire service lead to serve the buildings, with two fire hydrants on-site.
- Sanitary sewer service would be provided by extension of an 8-inch sewer main from an existing sewer manhole on the site to the east, with separate service leads to the two eastern buildings. The western building would be serviced by a 6-inch lead from the 10-inch sanitary sewer along the east side of Dixon Road.
- Storm water would be collected by a single storm sewer collection system and detained in a storm water basin on the site prior to discharge to existing storm sewer along Twelve Mile Road.

Recommendation

Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Preliminary Site Plan does meet the general requirements of the design and construction standards as set forth in Chapter 11 of the City of Novi Codified Ordinance, the Storm Water Management Ordinance and the Engineering Design Manual. The following items must be addressed at the time of Final Site Plan submittal:

General

1. Right-of-way permits will be required from both the City of Novi and Road Commission for Oakland County.
2. Label the City established benchmarks on the site plan and make sure the elevations on the site plan match the elevations listed under 'Benchmark Notes'.
3. The Non-domestic User Survey Form shall be submitted to the City so it can be forwarded to Oakland County. Only submit this form when tenant information is available.
4. Include a traffic control plan with the ROW permit application for the proposed construction activity on Twelve Mile Road in the site plan set.
5. An emergency access easement must be obtained from the property to the east. Refer to Figure VIII-K in the Design and Construction Standards for standard emergency access gate detail.
6. Soil borings near the proposed detention basin must extend to a depth of 25 below the existing ground. Provide a additional soil borings that meet this criteria. Soil borings SB-10, SB-11, and SB-13 are of particular interest since they are closest to the detention basin.
7. A letter from either the applicant or the applicant's engineer must be submitted with the revised Final Site Plan highlighting the changes made to the plans addressing each of the comments in this review.
8. A same-side driveway spacing **waiver**, granted by the Planning Commission, would be required for the proposed location of the Twelve Mile Road entrance with respect to the adjacent drive to the west (129.18' proposed vs. 230' required). The Engineering Division supports this waiver request.
9. Provide driveway spacing dimensions for entrance along Dixon Road.
10. 90 feet of half-width ROW along Twelve Mile Road and 43 feet of half-width ROW along Dixon Road are requested for dedication to the City and currently labelled as proposed on the plan.
11. Provide the City's standard detail sheets for water main (5 sheets-rev. 02/16/2018), sanitary sewer (3 sheets- rev. 02/16/2018), storm sewer (2 sheets-rev. 02/16/2018) and paving (2 sheets-rev. 03/05/2018) at the time of the **Stamping Set submittal**. These details can be found on the City's website at this location: <http://cityofnovi.org/Government/City-Services/Public-Services/Engineering-Division/Engineering-Standards-and-Construction-Details.aspx>

Water Main

12. A tapping sleeve, valve and well is required at the connection to the existing water main.
13. Label water main sizes, lengths, and pipe materials on the utility plan.
14. Provide profiles for water mains 8-inches and larger.
15. Once the water main plan is approved, provide three (3) signed and sealed sets of utility plans along with the MDEGLE permit application (06/12 rev.) for water main construction. Utility plan sets shall include only the cover sheet, any applicable utility sheets, and the standard detail sheets.

Sanitary Sewer

16. Provide a sanitary sewer basis of design using the City's Sewer Unit Factor Chart, which is attached to this letter. A sanitary sewer basis of design should be completed for each building.
17. Provide a sanitary sewer monitoring manhole, unique to each building, within a dedicated 20-foot wide access easement.
18. Provide a testing bulkhead immediately upstream of the sanitary connection point. Additionally, provide a temporary 1-foot deep sump in the first sanitary structure proposed upstream of the connection point, and provide a secondary watertight bulkhead in the downstream side of this structure. Show and label these on the plans and sanitary profile.
19. Once the sanitary sewer plan is approved, three (3) sealed sets of revised utility plans along with the MDEGLE permit application (01/18 rev.) for sanitary sewer construction and the Streamlined Sanitary Sewer Permit Certification Checklist should be submitted to the Engineering Division for review. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets. Also, the MDEGLE can be contacted for an expedited review by their office.

Paving & Grading

20. The City standard paving details shall be incorporated into the plans at the time of stamping sets. Remove any redundant or conflicting details from the general paving notes to be consistent with pavement mix types and cross sections in the City standard details.
21. The end islands shall conform to the City's standard island design, or variations of the standard design, while still conforming to the standards given in Section 5.3.12 of the Zoning ordinance (i.e. 2' minor radius, 15' major radius, minimum 8' wide, 3' shorter than adjacent 19' stall). Some of the end islands do not meet the City's standard.
22. Extend the landing, on the sidewalk along the south side of the southern building, the entire width of the ADA hatched space.

Storm Sewer

23. Show and label all roof conductors and indicate where they will tie into the storm sewer system on the utility layout and on storm sewer profiles.

24. Show and label the 4-foot deep sump and oil/gas separator on the storm sewer profile.
25. Provide all storm sewer sizing calculations.
26. Any storm sewer that collects surface water shall be a minimum diameter of 12 inches. Upgrade the 6-inch culvert near building one accordingly.

Storm Water Management Plan

27. The Storm Water Management Plan (SWMP) shall comply with the Storm Water Ordinance and Chapter 5 of the Engineering Design Manual.
 - a. The outlet control structure shall be designed in accordance with Section 5.6.4.B of the Engineering Design Manual.
 - b. The landscape/open space runoff coefficient should be 0.35 per Section 5.5.1.A of the Engineering Design Manual.
28. Define the runoff capture zones on the Storm Water Drainage Plan.
29. Ensure that the required and provided 100-year storage calculation values match what is stated in the annotations on the plans.
30. A 25-foot vegetated buffer shall be provided around the perimeter of the storm water basin where impervious area is directed to the basin via surface flow.
31. Provide additional details of the basin outlet. A 5-foot-wide stone bridge should be provided allowing direct access to the standpipe from the bank of the basin during high-water conditions (i.e. stone 6-inches above high water elevation). Provide a detail, cross-section and/or note as necessary.

Soil Erosion and Sedimentation Control

32. A SESC permit is required. A full review has not been done at this time. The review checklist detailing all SESC requirements is attached to this letter. A SESC permit application should be submitted under a separate cover at the time of Final Site Plan submittal. The application can be found on the City's website at <http://cityofnovi.org/Reference/Forms-and-Permits.aspx>.

Off-Site Easements

33. Any off-site easements must be executed prior to final approval of the plans. Drafts of the following shall be submitted as soon as possible for review and approval.
 - a. Off-site sanitary sewer easement
 - b. Off-site temporary construction permit
 - c. Secondary emergency access easement on property to the east

The following must be submitted with the Final Site Plan:

34. A letter from either the applicant or the applicant's engineer must be submitted with the revised Final Site Plan highlighting the changes made to

the plans addressing each of the comments listed above and indicating the revised sheets involved.

35. Draft copies of all off-site easements.

The following must be submitted with the Stamping Set:

(Please note that all documents must be submitted together as a package with the Stamping Set submittal with a legal review transmittal form that can be found on the City's website. Partial submittals will not be accepted.)

36. A draft copy of the Storm Drainage Facility Maintenance Easement Agreement, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds. This document is available on our website.
37. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department. This document is available on our website.
38. A draft copy of the 20-foot wide easement for the sanitary sewer to be constructed on the site must be submitted to the Community Development Department. This document is available on our website.
39. A draft copy of the 20-foot access easement to sanitary sewer monitoring manholes must be submitted to the Community Development Department.
40. A draft copy of the warranty deed for the additional right-of-way along Twelve Mile Road must be submitted for acceptance by the City.
41. Executed copies of approved off-site easements.

The following must be addressed prior to construction:

42. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
43. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application required). No fee is required for this permit.
44. Material certifications must be submitted to Spalding DeDecker for review prior to the construction of any utilities on the site. Contact Ted Meadows at 248-844-5400 for more information.
45. Construction inspection fees in an amount to be determined must be paid to the Community Development Department.

46. Legal escrow fees in an amount to be determined must be deposited with the Community Development Department. Unused escrow will be returned to the payee at the end of the project. Note: This amount will include engineering legal fees only. There may be additional legal fees for planning legal documents.
47. A storm water performance guarantee in an amount of equal to 120% of the estimated cost required to complete the storm water management facilities as specified in the Storm Water Management Ordinance must be posted at the Community Development Department.
48. Storm water detention tap fees in an amount that is to be determined for the proposed discharge to an off-site regional detention basin must be paid to the Community Development Department.
49. Water and Sanitary Sewer Fees must be paid prior to the pre-construction meeting. Contact the Water & Sewer Division at 248-347-0498 to determine the amount of these fees.
50. A street sign financial guarantee in an amount of \$400 per traffic control sign proposed must be posted at the Community Development Department. Signs must be installed in accordance with MMUTCD standards.
51. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department, Building Division (248-347-0430) for forms and information. The financial guarantee and inspection fees will be determined during the SESC review.
52. A permit for work within the right-of-way must be obtained from the City of Novi. The application is available from the City Engineering Division or on the City website and may be filed once the Final Site Plan has been submitted. Please contact the Engineering Division at 248-347-0454 for further information. Only submit the cover sheet, standard details and plan sheets applicable to the permit.
53. A permit for work within the right-of-way of 12 Mile Road must be obtained from the Road Commission for Oakland County. Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the City. Provide a note on the plans indicating all work within the right-of-way will be constructed in accordance with the Road Commission for Oakland County standards.
54. A permit for water main construction must be obtained from the MDEGLE. This permit application must be submitted through the City Engineer after the water main plans have been approved. Only submit the cover sheet, overall utility sheet, standard details and plan/profile sheets applicable to the permit.
55. A permit for sanitary sewer construction must be obtained from the MDEGLE. This permit application must be submitted through the City Engineer after the sanitary sewer plans have been approved. Only submit the cover sheet,

overall utility sheet, standard details and plan/profile sheets applicable to the permit.

56. An inspection permit for the sanitary sewer tap must be obtained from the Oakland County Water Resource Commissioner.

The following must be addressed prior to issuance of a Temporary Certificate of Occupancy approval for the development:

57. The amount of the incomplete site work performance guarantee for any outstanding site improvement items, limited to top course of pavement and other minor items, at 1.2 times the amount required to complete the site improvements as specified in the Performance Guarantee Ordinance.
58. All easements and agreements referenced above must be executed, notarized and approved by the City Attorney and City Engineer.
59. A Bill of Sale for the utilities conveying the improvements to the City of Novi must be submitted to the Community Development Department. This document is available on our website.
60. Spalding DeDecker will prepare the record drawings for this development. The record drawings will be prepared in accordance with Article XII, Design and Construction Standards, Chapter 11 of the Novi Code of Ordinances.
61. Submit to the Community Development Department, Waivers of Lien from any parties involved with the installation of each utility as well as a Sworn Statement listing those parties and stating that all labor and material expenses incurred in connection with the subject construction improvements have been paid.
62. Submit a Maintenance Bond to the Community Development Department in an amount to be determined (equal to 25 percent of the cost of the construction of the utilities to be accepted). This bond must be for a period of two years from the date that the Utility Acceptance Permit is issued by the City of Novi Engineering Division. This document is available on our website.
63. Submit an up-to-date Title Policy (dated within 90 days of City Council consideration of acceptance) for the purpose of verifying that the parties signing the Easement and Bill of Sale documents have the legal authority to do so. Please be sure that all parties of interest shown on the title policy (including mortgage holders) either sign the easement documents themselves or a Subordination Agreement. Please be aware that the title policy may indicate that additional documentation is necessary to complete the acceptance process.
64. Provide a warranty deed for the additional right-of-way along Twelve Mile for acceptance by the City.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Kate Richardson at (248) 347-0586 with any questions.

A handwritten signature in cursive script that reads "Kate R." followed by a horizontal line.

Kate M. Richardson, EIT
Project Engineer

cc: Christian Carroll, Community Development
Ben Croy, PE; Engineering
Victor Boron, Engineering

CITY OF NOVI

Sewer Unit Factor Chart

(See Notes Following Table)

Usage Type	Unit Factor	Information Source
Auto Dealers	0.300 per 1000 sq. ft.	D
Barber Shops	1.000 per 1000 sq. ft.	A - C
Bars	0.044 per seat	D
Beauty Shops	0.223 per booth	D
Boarding Houses	0.160 per person	A - C
Boarding Schools	0.270 per person	A - C
Bowling Alleys (no bar, or lunch facilities)	0.160 per alley	D
Car Wash:		
a) Manual, Do-It-Yourself	2.500 per stall	D
b) Semi-Automatic (mechanical without conveyor)	12.500 per lane	D
c) Automatic (with conveyor)	33.000 per lane	D
d) Automatic (with recycling water)	8.400 per lane	D
Churches	0.008 per seat	D
Cleaners:		
a) Pick-up Only	0.048 per employee	D
b) With Pressing Facilities	1.250 per press	D
Clinics:		
a) Medical	1.000 per doctor	D
b) Dental	1.400 per dentist	D
Community Buildings	2.000 per building	D
Convalescent and/or Nursing Homes	0.300 per bed	D
Convents	0.200 per person	D
Country Clubs	0.080 per member	A - C
Day Care	0.012 per student	CITY
Drug Stores:		
a) With Fountain Service	0.080 per seat, plus 0.140 per 1000 sq. ft.	D
b) Without Fountain Service	0.140 per 1000 sq. ft.	D

CITY OF NOVI

Sewer Unit Factor Chart (See Notes Following Table)

Factories (exclusive of excessive industrial use)	0.500 per 1000 sq. ft.	D
Fraternal Organizations (members only)	1.000 per hall	D
Fraternal Organizations (members and rentals)	2.000 per hall	D
Funeral Home (including one residence)	2.200 per funeral home	D
Grocery Stores & Super Markets	1.100 per 1000 sq. ft.	D
Grocery Stores & Super Markets	0.310 per 1000 sq. ft.	D
Health Clubs:		
a) With Showers and/or Pool	2.300 per 1000 sq. ft.	D
b) Without Showers and/or Pool	0.260 per 1000 sq. ft.	D
Hospitals	1.220 per bed	A - C
Hotels and/or Motels (exclusive of swimming, pools, bars, restaurants, etc.)	0.380 per room	A - C
Laundry (self-serve)	0.540 per washer	D
Office Building	0.400 per 1000 sq. ft.	D
Public Institutes (other than hospitals)	0.320 per employee	A - C
Racquet Clubs	0.820 per court	D
Residences:		
Mobile Home Parks & Multiple Family Residences:		
a) One Bedroom	0.600 per dwelling unit	CITY
b) Two Bedroom	0.750 per dwelling unit	CITY
c) Three or more Bedrooms	1.000 per dwelling unit	CITY
Single Family Residential	1.000 per dwelling	CITY
Restaurants:		
a) Conventional Type (with or without drinks)	0.130 per seat	A - B
1. Seasonal Out-door Eating	0.130 per seat x 5/12	CITY
2. Banquet Section	0.130 per seat x 25%	CITY
b) Quick Service Franchise Type (without dishes, dealing mainly in hamburgers, with or without eating in building. Includes, but not necessarily limited to McDonald's, Burger Chef, Burger King, Red Barn, and Hardees.)	5.600 per restaurant	D
c) All Other Restaurants (Includes, but not limited to, drive-ins, snack bars, carryouts, such as fried chicken, pizzas; could have some eating in building, all without dishes.)	1.800 per restaurant	D

CITY OF NOVI

Sewer Unit Factor Chart

(See Notes Following Table)

Rooming Houses (No Meals)	0.130 per person	A - C
Schools:		
a) Elementary	0.012 per student	D
b) Junior or Middle School	0.020 per student	D
c) High School	0.038 per student	D
d) Bus Maintenance Facility	0.165 per 1000 sq. ft.	D
Service Station	0.240 per pump	C - D
Store (other than specifically listed)	0.340 per 1000 sq. ft.	CITY
Summer Camps	0.140 per housing unit	D
Swimming Pool (residential excluded)	3.000 per 1000 sq. ft.	D
Theaters (drive-in)	0.012 per car space	D
Theaters (indoor)	0.008 per seat	D
Warehouses	0.100 per 1000 sq. ft.	D

Notes Pursuant to Resolutions Dated April 10, 1991 and June 7, 1999:

- 1) In the computing of unit factors to be charged to industrial and commercial users, each separately operated business entity in a common building shall have a unit factor as set forth above (unless modified by agreement) but in no instance less than 1.00 tap unit for each separately operated business entity.
- 2) When the usage requested is not specifically identified under the "Usage Type" column, an estimated temporary tap unit assignment will be initially assigned by the City, and the USER will enter into a monitoring agreement (Exhibit A) to determine the actual tap unit assignment.

INFORMATION SOURCE:

- A - Cincinnati Report
- B - Gordon McDougall Report to Wayne County
- C - Manual of Septic Tank Practice Publication No. 526, U.S. Department of Health
- D - Oakland County Department of Public Works Studies



CITY OF NOVI ENGINEERING DIVISION SOIL EROSION AND SEDIMENTATION CONTROL PLAN CHECKLIST

PROJECT: SESC Application #: SE -
 Contact Name: DATE COMPLETED:
 Phone Number: DATE OF PLAN:
 Fax Number: **STATUS:**

General Requirements – Following the initial Soil Erosion and Sedimentation Control permit application to the Community Development Department, all SESC plan revisions shall be submitted directly to the Engineering Department for further review and/or permit approval. One (1) copy of revised soil erosion plans, including response letter addressing the comments below, shall be submitted for each subsequent review until the plan has been given approval by the Engineering Department, at which point five (5) copies will be required for permit approval. Plans shall be signed and sealed, and the bond must be submitted to the Treasurer’s Office prior to permit issuance.

ITEM NO.	ITEM	Provided on Plans	COMMENTS
1.	Plan shall be at scale of not more than 1" = 200', include legal description, location, proximity to lakes, streams or wetlands, slopes, etc.	<input type="checkbox"/>	
2.	Plan shall include a soil survey or a written description of soil types of the exposed land area.	<input type="checkbox"/>	
3.	Plan shall show the limits of earth disruption.	<input type="checkbox"/>	
4.	Plan shall show tree protection fencing and location of trees to be protected.	<input type="checkbox"/>	
5.	Plan shall show all existing and proposed on-site drainage and dewatering facilities (i.e. structure details, rim elev., etc.)	<input type="checkbox"/>	
6.	Detailed sequence of construction shall be provided on plans structured similar to the following, supplemented with site specific items: 1) Install tracking mat, 2) Install temp. SESC measures, 3) Construct storm water basins and install treatment structures, if applicable, 4) Install storm sewer, with inlet protection to follow immediately, 5) Remove all temp. SESC measures once site is stabilized.	<input type="checkbox"/>	
7.	Plan must address maintenance of soil erosion and sedimentation control measures (temporary and permanent)	<input type="checkbox"/>	
8.	Provide a note stating if dewatering is anticipated or encountered during construction a dewatering plan must be submitted to the Engineering Division for review.	<input type="checkbox"/>	
9.	A grading plan shall be provided, or grade information shown on plan.	<input type="checkbox"/>	

10.	Note that it is the developer's responsibility to grade and stabilize disturbances due to the installation of public utilities.	<input type="checkbox"/>	
11.	The CSWO shall be listed on permit application.	<input type="checkbox"/>	
12.	Plan sealed by registered civil engineer with original signature.	<input type="checkbox"/>	
13.	An itemized cost estimate (Silt Fence, Inlet Filters, Topsoil/Seed/Mulch, Const. Access, etc.) shall be provided.	<input type="checkbox"/>	The SESC financial guarantee will be \$. The SESC inspection fees will be \$.
14.	Potential stockpile areas shall be shown on the plan, with note stating a ring of silt fence will be installed surrounding any stockpiled material.	<input type="checkbox"/>	
15.	Sediment basin: Provide filter on standpipe outlet structure until site is stabilized, then removed. Noted on plan and standpipe detail(s).	<input type="checkbox"/>	
16.	Provide a note on the plan stating the storm water basin will be stabilized prior to directing flow to the basin.	<input type="checkbox"/>	
17.	Pretreatment Structures: Noted to inspect weekly for sediment accumulation until site is stabilized, and will clean as required.	<input type="checkbox"/>	.
18.	Attach the Oakland County standard detail sheet.	<input type="checkbox"/>	
19.	Construction mud tracking entrance: 75'x20', 6" of 1" to 3" stone, on geotextile fabric.	<input type="checkbox"/>	
20.	Silt fence: 6" anchor trench, stakes 6' on center. Prominent line type on plan, with legend.	<input type="checkbox"/>	
21.	Provide Silt Sack with overflow capability as the inlet protection, and provide detail on plans.	<input type="checkbox"/>	
22.	Catch basin inlet filters shall be provided on existing roadways along construction route for reasonable distance from site.	<input type="checkbox"/>	
23.	Street sweeping and dust control shall be noted on plan as responsibility of contractor.	<input type="checkbox"/>	
24.	Vegetation shall be established within 5 days of final grade, or whenever disturbed areas will remain unchanged for 30 days or greater. 3-4" of topsoil will be used where vegetation is required.	<input type="checkbox"/>	
25.	Vegetated buffer strips (25' wide wherever possible) shall be created or retained along the edges of all water bodies, water courses or wetlands.	<input type="checkbox"/>	
26.	Diversion berms or terracing shall be implemented where necessary.	<input type="checkbox"/>	
27.	All drainage ditches shall be stabilized with erosion control blanket and shall utilize check dams as necessary. Drainage ditches steeper than 3% shall be sodded.	<input type="checkbox"/>	

28.	Slopes steeper than 1V:6H (16%) shall be stabilized with erosion control blanket. Add this note as a general note, and also in a prominent location near any berm, etc. where a significant slope is proposed.	<input type="checkbox"/>	
29.	All culvert end sections must contain grouted rip-rap in accordance with ordinance specifications.	<input type="checkbox"/>	

ADDITIONAL COMMENTS:

1. Please note that installation of silt fencing or tree protection fencing shall not occur prior to the initial City pre-construction meeting. When natural features exist on the site, inspection of staking may be required prior to installation of the fencing.
- 2.

Reviewed By:

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

May 17, 2021

Fountain View Professional Center

Second Revised Preliminary Site Plan - Landscaping

Review Type

Second Revised Preliminary Site Plan Landscape Review

Job

JSP19-0022

Property Characteristics

- Site Location: 44244 Twelve Mile Road
- Site Acreage: 5.46 ac.
- Site Zoning: OS-1
- Adjacent Zoning: North: R-1, East, South, West: OS-1
- Plan Date: 5/10/2021

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Final Preliminary Site Plan submittal. Underlined comments must be addressed on Final Site Plans. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Chart are summaries and are not intended to substitute for any Ordinance.

Recommendation

This project is **recommended for approval for Preliminary Site Plan**. The two landscape deviations required are supported by staff. The other minor revisions noted can be addressed on the Final Site Plans.

LANDSCAPE WAIVERS REQUIRED BY PLAN

- Lack of a screening berm between residential and commercial – *supported by staff*
- Lack of canopy trees on south side of detention basin and not located 10 feet from permanent water level – *supported by staff to avoid overcrowding the area with trees.*

Ordinance Considerations

Existing and proposed overhead and underground utilities, including hydrants. (LDM 2.e.(4))

1. Provided.
2. All required parking lot trees can now be planted.
3. If required to get plants out of the easement, please revise the Dixon Road greenbelt plantings to get them out of the water main easement.

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. Tree survey is provided.
2. Two large offsite trees north of Building C will be negatively impacted by the project, but aren't shown on the tree survey, and no replacements are planned.
3. Please protect the trees as much as possible, and work with the neighbor regarding possible compensation for the trees' loss, which is likely due to the extent of the root system impact.
4. Woodland replacements for the 54" tree are shown on the plans. Please change the

species used to one on the attached Woodland Replacement Chart.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. The project is adjacent to residentially-zoned property to the north.
2. The screening provided is not a 4.5-6 foot tall landscaped berm, as required
3. An alternative hedge is provided along the east/west sections of the frontage.
4. **A landscape waiver is required for this deficiency.** *This waiver is supported by staff as it will allow less impact on the wetland.*

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. The Twelve Mile Road frontage berm shorter than 3 feet height in spots, but a hedge has been added to augment the berm that is provided, and to screen the parking at the end.
2. The Dixon Road frontage has a 3 foot berm and hedge
3. The required trees for both frontages are proposed.
4. Please raise the height of the 12 Mile Road berm to 3 feet to the west as much as possible.
5. Please make the berms shown on the grading and landscape plans consistent.

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. The required parking lot interior area and trees are provided.
2. Please adjust the position of the sign at the Twelve Mile Road entry to make room for the tree.

Building foundation Landscaping (Zoning Sec 5.5.3.D)

Based on the buildings' perimeters, each of the buildings has the required landscaping.

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

1. The required shrubs are provided.
2. **Deciduous canopy trees are to be located around the east, south and west sides of the basin.** *As the perimeter trees are reasonably close to the sides, and the building borders the south side, a landscape waiver to accept the proposed configuration would be supported by staff.*

Plant List (LDM 4)

1. Provided
2. 22 of 323 species used (67%) are native to Michigan.
3. The tree diversity meets the standard of LDM 4.

Planting Notations and Details (LDM)

1. Provided
2. Please see the notes on the Landscape Chart for changes to notes or additional notes that should be included on the revised plans.

Irrigation (LDM 1.a.(1)(e) and 2.s)

1. The proposed landscaping must be provided with sufficient water to become established and survive over the long term.
2. Please provide an irrigation plan or note how this will be accomplished if an irrigation plan is not provided on Final Site Plans.
3. The irrigation system plan must be provided in the final site plans if an irrigation system will be used.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader@cityofnovi.org.



Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART – Second Revised Preliminary Site Plan

Review Date: May 17, 2021
Project Name: JSP19-0022: Fountain View Professional Center
Plan Date: April 23, 2021
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan.
Underlined items need to be addressed for Final Site Plan.

LANDSCAPE WAIVERS REQUIRED BY PLAN

- Lack of a screening berm between residential and commercial – *supported by staff*
- Lack of canopy trees on south side of detention basin – *supported by staff to avoid overcrowding of trees around the detention basin.*

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements (LDM (2))				
Landscape Plan (Zoning Sec 5.5.2, LDM 2.e.)	<ul style="list-style-type: none"> ▪ New commercial or residential developments ▪ Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. ▪ 1"=20' minimum with proper North. Variations from this scale can be approved by LA ▪ Consistent with plans throughout set 	Scale 1"=30'	Yes	
Project Information (LDM 2.d.)	Name and Address	Yes	Yes	
Owner/Developer Contact Information (LDM 2.a.)	Name, address and telephone number of the owner and developer or association	Yes	Yes	
Landscape Architect contact information (LDM 2.b.)	Name, Address and telephone number of RLA	Yes	Yes	
Sealed by LA. (LDM 2.g.)	Requires original signature	No		<u>Need for Final Site Plans</u>
Miss Dig Note (800) 482-7171 (LDM.3.a.(8))	Show on all plan sheets	Yes	Yes	
Zoning (LDM 2.f.)	Include all adjacent zoning	<u>Parcel:</u> OS-1 <u>North:</u> R-1 <u>East, West:</u> OS-1 <u>South:</u> 12 Mile Rd	Yes	

Item	Required	Proposed	Meets Code	Comments
Survey information <i>(LDM 2.c.)</i>	<ul style="list-style-type: none"> ▪ Legal description or boundary line survey ▪ Existing topography 	Sheet C1	Yes	
Existing plant material Existing woodlands or wetlands <i>(LDM 2.e.(2))</i>	<ul style="list-style-type: none"> ▪ Show location type and size. Label to be saved or removed. ▪ Plan shall state if none exists. 	<ul style="list-style-type: none"> ▪ Sheets C1, C2, L1 ▪ The landscape plan indicates more disruption into the wetland than the Soil Erosion/ Drainage Area Plan does. ▪ 4 woodland replacements are indicated for the offsite 54" tree that will be impacted by the construction. 	<ul style="list-style-type: none"> ▪ No ▪ No 	<ol style="list-style-type: none"> 1. Please make all sheets agree with respect to the wetland disruption. 2. <u>See the DRG review for a detailed discussion of the wetlands and woodlands.</u> 3. <u>Please copy the silt and tree protection fencing to Sheet C2.</u> 4. <u>Please add the two offsite trees north of Parcel 2 to the tree chart on Sheet C1.</u> 5. <u>The applicant will need to work with the adjacent landowner on compensation for the two large trees north of Parcel 2 that will be negatively impacted by the construction.</u> 6. <u>The trees along the borders of the bank parcel will also likely be impacted by the construction process and may require replacement on the bank's parcel. At a minimum, woodland replacements will be required for the 54" off-site tree to be impacted.</u> 7. <u>Please provide the city with copies of any agreements reached between the developer and the adjacent parcel owners as we are often contacted by adjacent property</u>

Item	Required	Proposed	Meets Code	Comments
				<p><u>owners about impacts on their sites by adjacent projects.</u></p> <p>8. <u>Please change the bald cypress replacement trees to a species on the attached Woodland Replacement Chart.</u></p>
Soil types (LDM.2.r.)	<ul style="list-style-type: none"> ▪ As determined by Soils survey of Oakland county ▪ Show types, boundaries 	Sheets C1, C7, L2	Yes	
Existing and proposed improvements (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Yes	Yes	
Existing and proposed utilities (LDM 2.e.(4))	<ul style="list-style-type: none"> • Overhead and underground utilities, including hydrants • Proposed light posts • Trees must be planted no closer than 10 feet from hydrants and other utility structures, or 5 feet from underground utility lines. 	<ul style="list-style-type: none"> • All utility lines and structures appear to be shown • The utility layout has been significantly revised to allow most of the required trees to be planted. This is appreciated. • Some light posts are shown 	Yes	<ol style="list-style-type: none"> 1. Landscape area in an island can only count toward the requirement if a tree is planted in an island. 2. Trees planted at the back end of an island to provide spacing for the utility as shown are accepted as interior trees. 3. Please check the trees planted along the Dixon Road berm to be sure they are not planted in the water easement called out on Sheet C3.
Proposed grading. 2' contour minimum (LDM 2.e.(1))	Provide proposed contours at 2' interval	<ul style="list-style-type: none"> • Spot elevations and contours provided on Sheet C4. • 12 Mile ROW berm elevations shown on landscape plan. • The 12 Mile Road berm shown on the landscape 	<ul style="list-style-type: none"> • Yes • Yes • No 	<ol style="list-style-type: none"> 1. <u>Please use the same contours on both the grading plan and landscape plan.</u> 2. <u>Please show all proposed contours between the development and all of-site contours, making sure that they match and</u>

Item	Required	Proposed	Meets Code	Comments
		plan is not consistent with the berm shown on the Grading Plan.		<u>work with city requirements.</u>
Snow deposit (LDM.2.q.)	Show snow deposit areas on plan	Yes	Yes	
LANDSCAPING REQUIREMENTS				
Parking Area Landscape Requirements LDM 1.c. & Calculations (LDM 2.o.)				
General requirements (LDM 1.c)	<ul style="list-style-type: none"> ▪ Clear sight distance within parking islands ▪ No evergreen trees 	Yes	Yes	
Name, type and number of ground cover (LDM 1.c.(5))	As proposed on planting islands	<ul style="list-style-type: none"> • Sod and seed are indicated on the plant list. • Hatching and call-outs indicate seed to be used for different areas 	Yes	Please add a callout for the sedge bank seed mix to be used along the north edge of the development.
General (Zoning Sec 5.5.3.C.ii)				
Parking lot Islands (a, b. i)	<ul style="list-style-type: none"> ▪ A minimum of 200 SF to qualify ▪ A minimum of 200sf unpaved area per tree planted in an island ▪ 6" curbs ▪ Islands minimum width 10' BOC to BOC 	Yes	Yes	
Curbs and Parking stall reduction (c)	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	Dimensions shown on C3	Yes	
Contiguous space limit (i)	Maximum of 15 contiguous spaces	14 space bay is the maximum bay length	Yes	
Plantings around Fire Hydrant (d)	<ul style="list-style-type: none"> • No plantings with mature height greater than 12' within 10 ft. of fire hydrants and other utility structures, • No trees to be planted within 5 feet of underground utility lines. 	Proper spacing is proposed	Yes	
Landscaped area (g)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
Clear Zones (LDM 2.3.(5))	<ul style="list-style-type: none"> • 25 ft corner clearance required. Refer to Zoning Section 5.5.9 • Show Road Commission for Oakland County clear vision zones for roads under RCOC jurisdiction. 	<ul style="list-style-type: none"> • The RCOC and city clear vision zones are shown at the Grand River Entry • City clear vision zone shown at Dixon Road entry. 	Yes	If RCOC does not allow some or all of the street trees along 12 Mile Road, the disallowed trees do not need to be planted, but documentation of that ruling must be provided.
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use areas up to 50,000sf x 7.5%	<ul style="list-style-type: none"> • $A = x \text{ sf} * 7.5 \% = A \text{ sf}$ • $50,000 * 7.5\% = 3750 \text{ sf}$ 			
B = Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 1 %	<ul style="list-style-type: none"> • $B = x \text{ sf} * 1\% = B \text{ sf}$ • $33,817 * 1\% = 338 \text{ sf}$ 			<u>If the area of the land-banked spaces wasn't included in the calculations before, please add them and correct the area required.</u>
Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)				
A. = Total square footage of vehicular use area up to 50,000 sf x 5%	$A = x \text{ sf} * 5\% = A \text{ sf}$	NA		
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5%	$B = 0.5\% \times 0 \text{ sf} = B \text{ SF}$	NA		
All Categories				
C = A+B Total square footage of landscaped islands	$C = A + B$ $C = 3750 + 338 = 4088 \text{ SF}$	5685 sf	Yes	Please shift the 12 Mile Road sign down a few feet to provide better spacing between the sign and the tree.
D = C/200 Number of canopy trees required	<ul style="list-style-type: none"> ▪ $D = C/200 = x \text{ trees}$ ▪ $4088/200 = 20 \text{ Trees}$ 	20 trees	Yes	<u>Please see the note above regarding the land-banked spaces and add any trees that may be necessary.</u>
Parking Lot Perimeter Trees	<ul style="list-style-type: none"> ▪ 10 foot wide minimum landscape area along edge of parking lot ▪ 1 Canopy tree per 35 lf ▪ $1878/35 = 52 \text{ trees}$ 	56 trees including 12 double-counted greenbelt trees	Yes	
Access way perimeter	1 canopy tree per 35 lf on each side of road,	Calculations include accessway	Yes	

Item	Required	Proposed	Meets Code	Comments
	less widths of access drives			
Parking land banked	▪ NA	11 spaces	Yes	
Berms, Walls and ROW Planting Requirements				
Berms				
<ul style="list-style-type: none"> ▪ All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours ▪ Berm should be located on lot line except in conflict with utilities. ▪ Berms should be constructed with 6" of topsoil. 				
Residential Adjacent to Non-residential (Sec 5.5.3.A) & (LDM 1.a)				
Berm requirements (Zoning Sec 5.5.A)	Landscaped berm 4.5-6 feet high required between site and residential property to north	<ul style="list-style-type: none"> • No berm is proposed to buffer the residential property to the north from either lot. • Dense planting of witch-hazel is planted along the north property line north of Building C • A bayberry hedge is proposed along the eastern north property line. • Notes indicate that the hedges will be maintained at a height of at least 6 feet. 	Yes/No	<ol style="list-style-type: none"> 1. A landscape waiver is required to not provide the required berm along the entire northern parking lot frontage. 2. <i>The waiver request for the use of the hedge instead of a berm along the north side of the property is supported by staff because the shrubs species used can get tall enough to provide adequate screening without causing more wetland impact.</i>
Planting requirements (LDM 1.a.)	LDM Novi Street Tree List	NA		
Adjacent to Public Rights-of-Way (Sec 5.5.B) and (LDM 1.b)				
Berm requirements (Zoning Sec 5.5.3.A.(5))	An undulating berm a minimum of 3 feet high with a 3 foot wide crest is required along 12 Mile Road and Dixon Road	<ul style="list-style-type: none"> • <u>12 Mile Road:</u> Berm 2.5 ft (max) tall with 1 ft wide crest, and a continuous boxwood hedge is proposed • <u>Dixon Road:</u> A 3 foot berm with a hedge is proposed 	No	<ol style="list-style-type: none"> 1. Please increase the height of the 12 Mile Road to at least 3 feet for as much of the frontage as possible. 2. Please make the 12 berm on the landscape plan consistent with that on the Grading Plan (the landscape plan

Item	Required	Proposed	Meets Code	Comments
				proposed berm is preferable to the one on the Grading Plan).
Cross-Section of Berms (LDM 2.j)				
Slope, height and width	<ul style="list-style-type: none"> ▪ Label contour lines ▪ Maximum 33% ▪ Min. 3 feet flat horizontal area ▪ Minimum 3 feet high ▪ Constructed of loam with 6' top layer of topsoil. 	Yes	Yes	
Type of Ground Cover		NA		
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	NA		
Walls (LDM 2.k & Zoning Sec 5.5.3.vi)				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	No walls are proposed		
Walls greater than 3 ½ ft. should be designed and sealed by an Engineer		NA		
ROW Landscape Screening Requirements (Sec 5.5.3.B. ii)				
Greenbelt width (2)(3) (5)	<ul style="list-style-type: none"> • Adj. to Parking: 20 ft. • Not adj to Pkg: 25 ft 	20 ft	Yes	
Min. berm crest width	<ul style="list-style-type: none"> • Adj. to Parking: 2 ft. • Not adj to Pkg: 0 ft 	<u>12 Mile Road:</u> 1-3 ft max width <u>Dixon Road:</u> 2 ft	<ul style="list-style-type: none"> • Yes • Yes 	
Minimum berm height (9)	<ul style="list-style-type: none"> • Adj. to Parking: 2 ft. • Not adj to Pkg: 0 ft 	<u>12 Mile Road:</u> 1-3 ft max ht with a hedge <u>Dixon Road:</u> 3 ft with a hedge	<ul style="list-style-type: none"> • No • Yes 	<ol style="list-style-type: none"> 1. Please increase the height of the 12 Mile Road to 3 feet for as much of the frontage as possible without blocking the sign. 2. Please label the berm contours.
3' wall	(4)(7)	None		
Canopy deciduous or large evergreen trees Notes (1) (10)	Adj to Parking: 1 tree per 35 lf <u>12 Mile Road:</u> ▪ (332-31)/35 = 9 trees <u>Dixon Road:</u>	<u>12 Mile Road:</u> ▪ 9 trees <u>Dixon Road:</u> • 4 trees	Yes	

Item	Required	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> ▪ (165-25)/35 = 4 trees 			
Sub-canopy deciduous trees Notes (2)(10)	Adj to Parking: 1 tree per 20 lf <u>12 Mile Road:</u> <ul style="list-style-type: none"> ▪ (332-31)/20 = 15 trees <u>Dixon Road:</u> <ul style="list-style-type: none"> ▪ (165-25)/20 = 7 trees 	<u>12 Mile Road:</u> <ul style="list-style-type: none"> ▪ (332-31)/20 = 15 trees <u>Dixon Road:</u> <ul style="list-style-type: none"> • 7 trees 	Yes	
Canopy deciduous trees in area between sidewalk and curb (Novi Street Tree List)	<ul style="list-style-type: none"> ▪ Parking & No Parking: 1 tree per 35 lf <u>12 Mile Road:</u> <ul style="list-style-type: none"> ▪ (332-130)/35 = 6 trees (or 9 subcanopy trees) <u>Dixon Road:</u> <ul style="list-style-type: none"> ▪ (165-90)/35 = 2 trees 	<u>12 Mile Road:</u> <ul style="list-style-type: none"> ▪ 9 subcanopy trees <u>Dixon Road:</u> <ul style="list-style-type: none"> • 2 trees 	Yes	Please make sure with RCOC that trees can be planted as shown in the 12 Mile road right-of-way. If they won't allow some or all of them, provide us a copy of their denial. A landscape waiver would not be required for any trees they deny.
Non-Residential Zoning Sec 5.5.3.E.iii & LDM 1.d (2) Refer to Planting in ROW, building foundation landscape, parking lot landscaping and LDM				
Screening of outdoor storage, loading/unloading (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)		A dense line of bayberry shrubs is proposed to screen the loading area from the north.	Yes	
Transformers/Utility boxes (LDM 1.e from 1 through 5)	<ul style="list-style-type: none"> ▪ A minimum of 2ft. separation between box and the plants ▪ Ground cover below 4" is allowed up to pad. ▪ No plant materials within 8 ft. from the doors 	Transformers and transformer screening are shown.	TBD	Please add the <u>JS shrubs</u> to the plant list.
Building Foundation Landscape Requirements (Sec 5.5.3.D)				
Interior site landscaping SF	<ul style="list-style-type: none"> ▪ Equals to entire perimeter of the building x 8 with a minimum width of 4 ft. ▪ A: (518-1624) lf x 8ft = 4016 sf ▪ B: (518-51) lf x 8ft = 3736 sf ▪ C: (384-17) lf x 8ft = 2936 sf ▪ Total area: 10,688 sf 	A: 4198 sf B: 3984 sf C: 3210 sf Total area provided: 11,392 sf	<ul style="list-style-type: none"> • Yes • Yes • Yes 	
Zoning Sec 5.5.3.D.ii. All items from (b) to (e)	If visible from public street a minimum of 60% of the exterior building perimeter should be	<ul style="list-style-type: none"> • 95% of Building A's frontage facing 12 Mile Road 	<ul style="list-style-type: none"> • Yes • Yes • Yes 	

Item	Required	Proposed	Meets Code	Comments
	covered in green space	<ul style="list-style-type: none"> • 90% of Building B's frontage facing 12 Mile Road • 94% of Building C's frontage facing Dixon Road will be landscaped. 		
Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv)				
Planting requirements (Sec. 5.5.3.E.iv)	<ul style="list-style-type: none"> ▪ Clusters of large native shrubs (at least 3 species) shall cover 70-75% of the basin rim area ▪ 10" to 14" tall grass along sides of basin ▪ Refer to wetland for basin mix ▪ Deciduous canopy trees are required along the east, south and west sides of the detention pond, at a rate of 1 tree per 35 lf of the pond, measured at 10 linear feet away from the permanent water level. 	<ul style="list-style-type: none"> ▪ It appears that at least 70% of the basin rims will be landscaped with large native shrubs. ▪ 3 native species are used. ▪ Seed mix instructions are provided. 	Yes	<ol style="list-style-type: none"> 1. A landscape waiver is required for the lack of canopy trees along the south side of the basin. <i>As there is a building there, the waiver will be supported, but please place the proposed trees per the revised rules.</i> 2. Please add a note stating that the landscape contractor shall send a photo or copy of the seed invoice or a photo of the seed bag for the native seed mix to the city landscape architect for approval prior to laying the seed.
Phragmites and Japanese Knotweed Control (Sec 5.5.6.C)	<ul style="list-style-type: none"> ▪ Any and all populations of Phragmites australis or Japanese Knotweed on site shall be included on tree survey. ▪ Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site. 	A note indicates that no Phragmites or Knotweed was found, but if any are found they will be removed per MDEGLE standards	Yes	
LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS				
Landscape Notes – Utilize City of Novi Standard Notes				
Installation date (LDM 2.I. & Zoning Sec 5.5.5.B)	Provide intended date	Between Mar 15 and Nov 15, by Fall 2022	Yes	
Maintenance &	▪ Include statement of	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
Statement of intent (LDM 2.m & Zoning Sec 5.5.6)	intent to install and guarantee all materials for 2 years. <ul style="list-style-type: none"> Include a minimum one cultivation in June, July and August for the 2-year warranty period. 			
Plant source (LDM 2.n & LDM 3.a.(2))	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
Irrigation plan (LDM 2.s.)	A fully automatic irrigation system or a method of providing sufficient water for plant establishment and survival is required on Final Site Plans.	A note indicates that an automatic irrigation system will be provided.	TBD	<ol style="list-style-type: none"> Please add irrigation plan or information as to how plants will be watered sufficiently for establishment and long-term survival on Final Site Plans. If xeriscaping is used, please provide information about plantings included.
Other information (LDM 2.u)	Required by Planning Commission	NA		
Establishment period (Zoning Sec 5.5.6.B)	2 yr. Guarantee	Yes	Yes	
Approval of substitutions. (Zoning Sec 5.5.5.E)	City must approve any substitutions in writing prior to installation.	Yes	Yes	
Plant List (LDM 2.h., 4) – Include all cost estimates				
Quantities and sizes	Refer to LDM suggested plant list	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names		<ul style="list-style-type: none"> 22 of 33 species are native to Michigan (67%). The trees meet the diversity requirements of LDM 4. 	<ul style="list-style-type: none"> Yes Yes 	
Type and amount of lawn		Yes	Yes	
Cost estimate (LDM 2.t)		For all new plantings, mulch and sod as listed on the plan	Yes	Yes
Planting Details/Info (LDM 2.i) – Utilize City of Novi Standard Details				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
Multi-stem Tree		Yes	Yes	
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	Yes	Yes	
Other Plant Material Requirements (LDM 3)				
General Conditions (LDM 3.a)	Plant materials shall not be planted within 4 ft. of property line	Yes	Yes	
Plant Materials & Existing Plant Material (LDM 3.b)	Clearly show trees to be removed and trees to be saved.	Yes	Yes	
Landscape tree credit (LDM3.b.(d))	<ul style="list-style-type: none"> ▪ Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. ▪ Refer to Landscape tree Credit Chart in LDM 	No		
Plant Sizes for ROW, Woodland replacement and others (LDM 3.c)	2.5" canopy trees 6' evergreen trees	Yes	Yes	
Plant size credit (LDM3.c.(2))	NA	No		
Prohibited Plants (LDM 3.d)	No plants on City Invasive Species List	None	Yes	
Recommended trees for planting under overhead utilities (LDM 3.e)	Label the distance from the overhead utilities	Subcanopy trees are used at a rate of 1.5 to 1 canopy	Yes	
Collected or Transplanted trees (LDM 3.f)		No		
Nonliving Durable Material: Mulch (LDM 4)	<ul style="list-style-type: none"> ▪ Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth ▪ Specify natural color, finely shredded hardwood bark mulch. 	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
	Include in cost estimate. ■ Refer to section for additional information			

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

WETLAND REVIEW



February 24, 2021

Ms. Barbara McBeth
City Planner
Department of Community Development
City of Novi
45175 W. Ten Mile Road
Novi, Michigan 48375

RE: Fountain View Professional Center JSP19-22
Wetland Review of Preliminary Site Plan
MSG Project No. N1030010

Dear Ms. Marchioni:

The Mannik & Smith Group, Inc. (MSG) completed a project site inspection relative to the Wetland Plan (Sheet No. C6) of the sheet set "Proposed New Construction for: Fountain View Professional Center, 44244 12 Mile Road, Novi, MI 48337", prepared by Pasma Group Architects and dated November 13, 2020 (Preliminary Site Plan). The project site is located north of Twelve Mile Road and east of Dixon Road in Section 10. The Parcel Numbers associated with the project site are 50-22-10-400-067 (44244 W. Twelve Mile Road) and 50-22-10-400-012 (28000 Dixon Road). The inspection was performed for compliance with a City of Novi Wetland Minor Use Permit.

Published Data

MSG reviewed The City of Novi Wetlands Maps and the Michigan Department of Environment, Great Lakes, and Energy (EGLE) Wetlands Map Viewer for the project site. It appears the project site contains neither City of Novi Regulated Wetlands nor wetlands identified by EGLE on the Part 303 Wetlands Inventory (Figures 1 and 2).

MSG Wetland Boundary Verification

MSG visited the project location on February 22, 2021 to evaluate the wetland limit line depicted on Sheet No. C6 of the Preliminary Site Plan. The observed conditions at the project site generally consisted of vacant land dominated by short herbaceous vegetation with about 18-inches of snow cover. Along the north side of the project site is a wooded habitat with a mixture of shrubs and mature trees, which make up the 25-foot natural features setback and portions of the wetland shown on the Preliminary Site Plan. This habitat likely provides significant benefit to songbirds, small mammals, and other wildlife as well as collecting and storing runoff from surrounding uplands. This wooded area, for the most part is outside the proposed limits of construction. Most of the area proposed for construction is cleared land with a few isolated trees.

Wetland delineation markers (flags, stakes, ribbon, etc.) were not observed at the project location. Chapter 4, Section 2 of the City of Novi Site Plan and Development Manual clearly states, "The boundary lines of any watercourses or wetlands on property should be clearly flagged or staked and such flagging or staking shall remain in place throughout the conduct of permit activity." Relative to landmarks depicted on Sheet No. C6 (trees, utility poles, survey iron), it is MSG's opinion the wetland limit line depicted in the Preliminary Site Plan is reasonably accurate; however, the applicant needs to comply with the City's Site Plan standards. Selected inspection photographs are found at the end of this letter.



Proposed Impacts and MSG Recommendations

The Preliminary Site Plan proposes to impact a total of 3,164 square feet (0.07-acre) of wetland impact and 2,342 square feet (0.05-acre) of buffer impact.

1. The Michigan Department of Environment, Great Lakes and Energy (EGLE) typically regulates wetlands within 500-feet of an inland lake, pond, stream or river and isolated wetlands and is not greater than 5 acres in size. Although the wetland identified on the project site does not appear to meet the above criteria with respect to proximity to other water bodies, because the wetland appears to extend off the project site, its total size is unknown and may be connected to other regulated wetlands. Therefore, MSG recommends that the client obtain verification from EGLE regarding state jurisdictional status.
2. Fill volumes for wetland impacts are not clearly identified on the Preliminary Site Plan. Areas of proposed wetland and buffer impacts should be double-checked for accuracy.
3. MSG recommends the applicant look for adjustments to the Preliminary Site Plan to further reduce impacts to the wetland and the natural features setback, especially the wooded portion.
4. Although the habitat quality of the majority of natural features setback proposed for impacts is not high, MSG recommends the applicant include some plantings, including trees and shrubs, in the remaining setback areas that are currently sparsely vegetated.

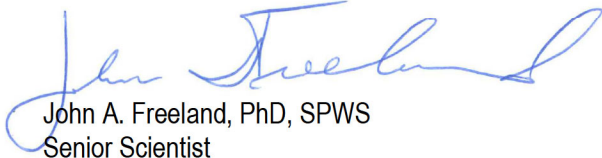
Permits and Regulatory Status

The project as proposed requires a City of Novi *Wetland Minor Use Permit* as well as an *Authorization to Encroach the 25-Foot Natural Features Setback* for proposed impacts. The wetland on the project site appears to meet at least two essentiality criteria: hydrologic and wildlife functions listed in the City of Novi Wetland Ordinance. The City calls for compensatory wetland mitigation for regulated impacts of 0.25-acre and greater. The proposed impacts due not appear to meet that threshold, so mitigation is not required according to the City's Wetland Ordinance.

Based on available information, **MSG currently recommends approval of the Preliminary Site Plan for Wetlands conditional upon the applicant satisfactorily addressing items 1-4 listed above.**

Sincerely,

The Mannik & Smith Group, Inc.



John A. Freeland, PhD, SPWS
Senior Scientist



Craig S. Willey
Project Manager

Cc: Christian Carroll, City of Novi Planner
Lindsay Bell, City of Novi Senior Planner
Rick Meader, City of Novi Landscape Architect
Madeleine Daniels, City of Novi Planning Assistant

FIGURES



Figure 1

City of Novi Regulated Wetland & Woodland Map (approximate project site boundary shown in red). Regulated Woodland areas are shown in green and Regulated Wetland areas are shown in blue.



Figure 2

EGLE Wetlands Viewer Map (approximate project site boundary shown in red). Wetlands as identified on NWI and MIRIS Maps are shown in green and Soil Areas which include Wetland Soils are shown in orange.



SITE PHOTOGRAPHS





Photo 1: Overview of 44244 W. Twelve Mile Road, facing northeast.



Photo 2: Overview of 28000 Dixon Road, facing east.



Photo 3: View of approximate location of wetland limit line on 44244 W. Twelve Mile Road, facing north-northwest.



Photo 4: View of approximate location of wetland limit line on 44244 W. Twelve Mile Road, facing north-northeast.



Photo 5: View of approximate location of wetland limit line on 28000 Dixon Road, facing northeast

TRAFFIC REVIEW



AECOM
27777 Franklin Road
Southfield
MI, 48034
USA
aecom.com

Project name:
JSP19-22 Fountain View Professional Center
(FKA JSP 18-30) Preliminary Site Plan Traffic
Review

To:
Barbara McBeth, AICP
City of Novi
45175 10 Mile Road
Novi, Michigan 48375

From:
AECOM

Date:
February 23, 2021

CC:
Lindsay Bell, Kate Richardson, Madeleine Kopko,
Victor Boron, Christian Carroll

Memo

Subject: JSP19-22 Fountain View Professional Center (FKA JSP18-30) Preliminary Site Plan Traffic Review

The preliminary site plan was reviewed to the level of detail provided and AECOM **approval** for the applicant to move forward with the comments provided below are adequately addressed to the satisfaction of the City.

GENERAL COMMENTS

1. The applicant, Acquire Realty Holdings, is proposing a three (3) building, 50,582 GSF medical office development on the north side of 12 Mile Road, between Dixon Road and Carlton Way Drive.
2. 12 Mile Road is under the jurisdiction of the Road Commission for Oakland County (RCOC).
3. The site is currently zoned OS-1 and the applicant is not proposing a zoning change at this time.
4. Summary of traffic-related waivers/variances:
 - a. The applicant may require a waiver for driveway spacing.
 - b. A waiver is required for trash receptacle located in the side yard.
 - c. A waiver is required for parking setback along 12 Mile Road and Dixon Road.

TRAFFIC IMPACTS

1. AECOM performed an initial trip generation estimate based on the ITE Trip Generation Manual, 10th Edition, as follows:

ITE Code: 720 – Medical/Dental Office Building
Development-specific Quantity: 50,582 GSF
Zoning Change: N/A

Trip Generation Summary				
	Estimated Trips	Estimated Peak-Direction Trips	City of Novi Threshold	Above Threshold?
AM Peak-Hour Trips	122	95	100	Yes
PM Peak-Hour Trips	173	125	100	Yes
Daily (One-Directional) Trips	1,856	N/A	750	Yes

- The number of trips exceeds the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour. AECOM recommends performing the following traffic impact study in accordance with the City's requirements.

Trip Impact Study Recommendation	
Type of Study:	Justification
Traffic Impact Statement	The proposed development's daily trip generation estimate is in excess of the City's threshold of 750 trips and peak hour thresholds of 100 trips.

TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City's Code of Ordinances. Items marked with ZO are listed in the City's Zoning Ordinance. Items marked with ADA are listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices.

The values in the 'Compliance' column read as 'met' for plan provision meeting the standard it refers to, 'not met' stands for provision not meeting the standard and 'inconclusive' indicates applicant to provide data or information for review and 'NA' stands for not applicable for subject Project. The 'remarks' column covers any comments reviewer has and/or 'requested/required variance' and 'potential variance'. A potential variance indicates a variance that will be required if modifications are not made or further information provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
1	Driveway Radii O Figure IX.1	20'	Met	
2	Driveway Width O Figure IX.1	25' and 31'	Met	In range, nonstandard.
3	Driveway Taper O Figure IX.11	Located within existing right turn lane taper on 12 Mile Road	Not Met	Applicant should adjust location of driveway along 12 Mile Road or propose restructuring the existing taper in coordination with RCOC.
3a	Taper length	N/A	-	
3b	Tangent	N/A	-	
4	Emergency Access O 11-194.a.19	2 Access Points	Met	
5	Driveway sight distance O Figure VIII-E	>2000' along 12 Mile Road. Not indicated on Dixon Road.	Met on 12 Mile Road, Inconclusive on Dixon Road	Label sight distance information for the Dixon Road entrance.
6	Driveway spacing			
6a	Same-side O 11.216.d.1.d	Implied 139.41' along 12 Mile Rd, not shown for Dixon Road.	Not Met	45 mph on 12 Mile Road requires 230' near curb to near curb. 30 mph on Dixon Road requires 125' near curb to near curb.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
6b	Opposite side O 11.216.d.1.e	N/A for 12 Mile Road, not shown for Dixon Road.	Inconclusive	Label opposite side driveway spacing along Dixon Road.
7	External coordination (Road agency)	N/A	-	
8	External Sidewalk Master Plan & EDM	6' along 12 Mile Road	Met	There is existing sidewalk along Dixon Road for the full length of the proposed development. Proposed sidewalk along 12 Mile Road ties into existing sidewalk on either side of proposed site.
9	Sidewalk Ramps EDM 7.4 & R-28-J	Present at the 12 Mile Road driveway, not proposed at the Dixon Road driveway.	Not Met	Applicant has indicated ramps at the intersection along 12 Mile Road but need to also indicate at the Dixon Road entrance.
10	Any Other Comments:			

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
11	Loading zone ZO 5.4	909.5 SF and 943.5 SF	Met	
12	Trash receptacle ZO 5.4.4	Present along loading zones	Partially Met	Waiver for trash receptacle at side yard will be required. AECOM would support this due to location and accessibility to buildings.
13	Emergency Vehicle Access	50' turn radii shown	Met	
14	Maneuvering Lane ZO 5.3.2	24' and 24.5'	Met	Applicant could consider reducing 24.5' aisles to 24'.
15	End islands ZO 5.3.12			
15a	Adjacent to a travel way	3' shorter than spaces	Met	
15b	Internal to parking bays	Length of spaces	Met	
16	Parking spaces ZO 5.2.12	20.17' setback indicated on 12 Mile Road; 21.76' setback on Dixon Road	Not met	25' setback from ROW required for parking spaces at driveway, waiver required for current layout.
17	Adjacent parking spaces ZO 5.5.3.C.ii.i	<15 spaces	Met	
18	Parking space length ZO 5.3.2	17'	Met	2' overhang shown as typical
19	Parking space Width ZO 5.3.2	9'	Met	
20	Parking space front curb height ZO 5.3.2	4"	Partially met	Curb in front of central ADA space may not be flush.

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
21	Accessible parking – number ADA	8 spaces	Met	Exceeds requirements by 1
22	Accessible parking – size ADA	8' spaces with 8' and 5' aisles	Met	
23	Number of Van-accessible space ADA	7 indicated by dimensions	Met	The applicant should indicate the van accessible spaces with the use of sign callouts.
24	Bicycle parking			
24a	Requirement ZO 5.16.1	9 provided	Not Met	5% of required 236 spaces is 11.8 bicycle spaces, or 12.
24b	Location ZO 5.16.1	<150' from entrance	Met	
24c	Clear path from Street ZO 5.16.1	Mostly 6', some instance smaller	Not Met	Applicant has included a note that a 6' path is required but should make the changes to the instances of sidewalk to ensure it is done. The 2' overhang should not be included in the 6' clear path.
24d	Height of rack ZO 5.16.5.B	3'	Met	
24e	Other (Covered / Layout) ZO 5.16.1	Generic layout provided	Met	Applicant could consider providing a specific layout for the site.
25	Sidewalk – min 5' wide Master Plan	7' wide including 2' overhang	Met	
26	Sidewalk ramps EDM 7.4 & R-28-J	Indicated	Met	
27	Sidewalk – distance back of curb EDM 7.4	N/A	N/A	Non-residential.
28	Cul-De-Sac O Figure VIII-F	N/A	-	-
29	EyeBrow O Figure VIII-G	N/A	-	-
30	Minor/Major Drives ZO 5.10	N/A	-	-
31	Any Other Comments:			

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
32	Signing: Sizes MMUTCD	Not included	Not Met	Provide proposed sizes.
33	Signing table: quantities and sizes	Not included	Not Met	Sign locations indicated but not what sign. Applicant should consider including a stop sign on the exit to Dixon Road. Table should include sizes, MUTCD codes, and quantities.
34	Signs 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post MMUTCD	Included	Met	
35	Signs greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post MMUTCD	Included	Met	
36	Sign bottom height of 7' from final grade MMUTCD	Included	Met	

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
37	Signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign MMUTCD	Included	Met	
38	FHWA Standard Alphabet series used for all sign language MMUTCD	Included	Met	
39	High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity MMUTCD	Included	Met	
40	Parking space striping notes	Included	Partially Met	Applicant should adjust striping note to state accessible spaces shall be striped with blue and adjust the accessible space detail.
41	The international symbol for accessibility pavement markings ADA	Included	Met	
42	Crosswalk pavement marking detail	Not included	Not Met	Applicant should include a detail for the pavement marking, in addition to or in lieu of the description.
43	Any Other Comments:			

Note: Hyperlinks to the standards and Ordinances are for reference purposes only, the applicant and City of Novi to ensure referring to the latest standards and Ordinances in their entirety.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Patricia Thompson, EIT
Traffic Engineer



Paula K. Johnson, PE
Senior Transportation Engineer



Saumil Shah, PMP
Project Manager



AECOM
27777 Franklin Road
Southfield
MI, 48034
USA
aecom.com

Project name:
JSP19-22 – Fountain View Professional Center
TIS Review

From:
AECOM

Date:
March 8, 2021

To:
Barbara McBeth, AICP
City of Novi
45175 10 Mile Road
Novi, Michigan 48375

CC:
Lindsay Bell, Madeleine Kopko, Kate Richardson,
Victor Boron, Christian Carroll

Memo

Subject: JSP19-22 – Fountain View Professional Center TIS Review

The traffic impact study (TIS) for the Fountain View Professional Center development was reviewed to the level of detail provided and AECOM recommends **approval** of the TIS.

GENERAL COMMENTS

1. The memo will provide comments on a section-by-section basis of the TIS.
2. The development is proposed on the northeast quadrant of 12 Mile Road and Dixon Road.

TRAFFIC COUNTS

1. The turning movement counts at 4 intersections evaluated for the TIS were collected during AM and PM peak hours on November 13, 2018.
2. The 4 intersections counts were obtained for were as follows:
 - a. Eastbound 12 Mile and Cabaret Drive
 - b. Eastbound 12 Mile and Fountain Walk Driveway
 - c. Westbound 12 Mile and Crossover
 - d. Westbound 12 Mile and Dixon Road
3. A growth rate of 0.5 was used to grow the 2018 counts to 2021 for existing conditions and to 2023 for background and future (build) conditions, as new counts were inappropriate due to the COVID-19 pandemic's influence.
4. 3 developments completed since the counts were added to the background traffic.
5. A future build-out year of 2023 was used.

TRIP GENERATION/DISTRIBUTION

1. The 10th edition of the Trip Generation Manual was used to forecast the trips for weekday AM and PM peak hours and total trips.
 - a. The applicant used trip generation value for each time period, taking the higher of the average rate or fitted curve values.
2. The existing traffic volumes were used to determine the trip distribution along the potential routes.

LOS ANALYSIS

1. 4 intersections were evaluated for existing and background conditions, and a total of 6 intersections for future (build) conditions. These include the 4 intersections listed above along with the two site driveways.
2. The intersection at eastbound 12 Mile Road and Cabaret Drive is the only signalized intersection analyzed. It operates in flash during AM peak. 12 Mile Road has a flashing yellow signal while Cabaret Drive and the crossover traffic have a flashing red signal.

EXISTING CONDITIONS

1. Overall, approaches operate at a LOS D or better during the AM and PM peak periods.
2. The exception is the southbound approach at 12 Mile Road and Cabaret Drive during the AM peak period, which operates at LOS F.
 - a. Modifying the operations to run the signal normally during AM peak results in an increase in delay for eastbound of 5 seconds (remains LOS A), an increase in delay for northbound by 23.6 seconds (LOS C to LOS D), and a decrease in delay for southbound by 48.9 seconds (LOS F to LOS D).

BACKGROUND CONDITIONS

1. Background conditions are expected to maintain LOS D or better during both peak periods.
 - a. This LOS assumes that the signal is allowed to operate normally during AM peak instead of being in flash operation as well as optimized actuation.

FUTURE CONDITIONS

1. The addition of the development is expected to result in conditions largely the same as the background, with the exception of the southbound movement at the eastbound 12 Mile Road and Fountain Walk Driveway intersection.
 - a. This LOS is expected to decrease from LOS D at 33 seconds delay per vehicle to LOS E at 39.4 seconds of delay per vehicle, for an increase in delay of 6.4 seconds per vehicle on southbound approach during PM peak hours. This is a two-way stop-controlled intersection with east-west running free as the major approach. However, the queue length results from SimTraffic suggest a minor change in 95th percentile queue length between the background (54 feet) and future (55 feet) conditions. The report concluded that 95th percentile queue length for southbound traffic does not exceed 55 feet or 2 vehicles during PM peak hours for the future (build) condition.

WARRANTS

1. Neither driveway for the proposed development warrants a turn lane, however, the driveway on 12 Mile Road warrants a right turn taper. The design of this right turn needs to be coordinated with existing pocket lanes and tapers upstream and downstream.

CONCLUSIONS AND RECOMMENDATIONS

1. The site driveways are expected to operate at LOS D or better.
2. Change in the signal operation at 12 Mile Road and Cabaret Drive to operate normally during AM peak would improve southbound LOS without significantly impacting LOS for the other approaches (LOS D or better).

Memo

3. The LOS for southbound at the intersection of 12 Mile and Fountain Walk Driveway is expected to be LOS E during PM peak hours for the future (build) conditions however, the report concluded the minimum impact on queue length with 95th percentile queue lengths not exceeding more than 2 vehicles.
4. The applicant to coordinate with RCOC for suggested change in signal operation and design of the right turn taper on 12 Mile Road.

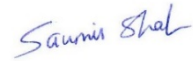
Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Patricia Thompson, EIT
Traffic Engineer



Saumil Shah, PMP
Project Manager

FAÇADE REVIEW



February 24, 2021

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375- 3024

Façade Review Status Summary:
**Approved, Section 9 Waiver recommended,
 contingent upon adding Brick to Building A.**

Re: FACADE ORDINANCE REVIEW
Fountain View Professional Center, JSP19-22
 Façade Region: 1, Zoning District: I-1

Dear Ms. McBeth;

The following Façade Review is based on the drawings prepared by Ron Jonna Collaborative, dated 11/13/2020. The percentages of materials proposed for each façade are as shown on the table below. The maximum (and minimum) percentages listed in the Schedule Regulating Façade Materials of Ordinance Section 5.15 are shown in the right hand column. Materials in non-compliance with the Façade Schedule, if any, are highlighted in bold.

Building A	North (Front)	South	East	West	Façade Ordinance Maximum (Maximum)
Brick	0%	0%	0%	0%	100% (30% Min.)
Stone	28%	28%	34%	34%	50%
EIFS	41%	41%	57%	57%	25%
Flat Metal (Canopy & Coping)	31%	31%	9%	9%	50%

As shown above the minimum amount of Brick is not provided and the percentage of EIFS exceeds the maximum percentage allowed on all elevations.

Building B	North (Front)	South	East	West	Façade Ordinance Maximum (Maximum)
Brick	41%	10%	0%	49%	100% (30% Min.)
Stone	32%	65%	59%	21%	50%
Flat Metal (Canopy & Coping)	27%	25%	41%	30%	50%

As shown above the minimum amount of Brick is not provided on the south and east elevations and the percentage of Stone exceeds the maximum percentage allowed on the south and east elevations.

Building C	North (Front)	South	East	West	Façade Ordinance Maximum (Maximum)
Brick	16%	8%	13%	14%	100% (30% Min.)
Stone	49%	72%	60%	57%	50%
Flat Metal (Canopy & Coping)	35%	20%	27%	29%	50%

As shown above the minimum amount of Brick is not provided on all elevations and the percentage of Stone exceeds the maximum amount allowed on the south, east and west elevations.

Recommendations;

Building A – The percentages materials are generally consistent with the overall proportions of the building. It is recommended that Brick be added to all facades to more closely comply with the Ordinances requirement for 30% minimum brick. This will also provide greater visual consistency with buildings B and C. With this change a Section 9 Waiver would be recommended for the overage of EIFS.

Buildings B & C – The percentage of masonry (brick and stone combined) meets the intent of the Ordinances requirement for 30% minimum Brick. A Section 9 Waiver is therefore recommended for the underage of Brick and overage of Stone on buildings B and C.

The drawings (Sheet C12) indicate “poured concrete” walls for the dumpster enclosure. The dumpster enclosure should have brick and/or stone to match the primary building, on 3 sides.

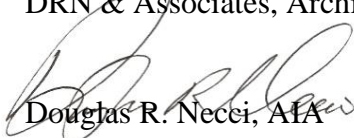
Notes to the Applicant:

1. All roof top equipment must be screened from view from all vantage points both on and off site using raised parapets of independent roof mounted screens. The screens must be constructed of materials compliant with the Façade Chart.
2. Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board will be compared to materials delivered to the site. It is the applicant’s responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department’s Online Inspection Portal with the following link. Please click on “Click here to Request an Inspection” under “Contractors”, then click “Façade”.

<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

If you have any questions regarding this project, please do not hesitate to call.

Sincerely,
DRN & Associates, Architects PC



Douglas R. Necci, AIA

FIRE REVIEW



February 9, 2021

TO: Barbara McBeth- City Planner
Lindsay Bell-Plan Review Center
Christian Carroll-Plan Review Center
Madeleine Daniels-Planning Assistant

CITY COUNCIL

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Mayor Pro Tem
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Assistant Chief of Police
Scott R. Baetens

Assistant Fire Chief
John B. Martin

RE: Fountain View Professional Center

PSP# 21-0003

Project Description:

Build 2 single story and 1 two story building on a property on the corner of Twelve Mile and Dixon Dr.

Comments:

- **All fire hydrants MUST be installed and operational prior to any combustible material is brought on site. IFC 2015 3312.1**
- For new buildings and existing buildings, you **MUST** comply with the International Fire Code Section 510 for Emergency Radio Coverage. This shall be completed by the time the final inspection of the fire alarm and fire suppression permits.
- The ability to serve at least two thousand (2,000) gallons per minute in single-family detached residential; three thousand (3,000) gallons per school areas; and **at least four thousand (4,000) gallons per minute in office, industrial and shopping centers is essential. (D.C.S. Sec.11-68(a))**
- **MUST** add at least 2 fire hydrants on the east side of the parking lot.
- Hydrants shall be spaced approximately three hundred (300) feet apart on line in commercial, industrial, and multiple-residential areas. In cases where the buildings within developments are fully fire suppressed, hydrants shall be no more than five hundred (500) feet apart. The spacing of hydrants around commercial and/or industrial developments shall be considered as individual cases where special circumstances exist upon consultation with the fire chief. **(D.C.S. Sec. 11-68 (f)(1)c)**
- Fire apparatus access drives to and from buildings through parking lots shall have a minimum fifty (50) feet outside turning radius and designed to support a minimum of thirty-five (35) tons. **(D.C.S. Sec 11-239(b)(5))**
- Proximity to hydrant: In any building or structure required to be equipped with a fire department connection, the connection shall be located within one hundred (100) feet of a fire hydrant. **(Fire Prevention Ord. Sec. 15-17)**

Novi Public Safety Administration
45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

- Water mains and fire hydrants shall be installed prior to construction above the foundation. Note this on all plans.
- Prior to construction above the foundation of non-residential buildings, an all-weather access road capable of supporting 35 tons shall be provided. Note this on all plans.
- A hazardous chemical survey is required to be submitted to the Planning & Community Development Department for distribution to the Fire Department at the time any Preliminary Site Plan is submitted for review and approval. Definitions of chemical types can be obtained from the Fire Department at (248) 735-5674.
- The "Secondary Emergency Access" drive is **NOT** required due to having two separate entrances into the parking lot. One off Dixon Dr and the other off Twelve Mile.

Recommendation:

Approved with Conditions

Sincerely,

A handwritten signature in black ink, appearing to read 'KSP', with a long horizontal stroke extending to the right.

Kevin S. Pierce-Fire Marshal
City of Novi – Fire Dept.

cc: file

APPLICANT RESPONSE LETTER



CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

May 25, 2021

City of Novi Planning Department
City of Novi
45175 Ten Mile Road
Novi, MI 48375
Attn: Christian Carroll, Planner

Re: Fountain View Professional Center
Response to Revised Preliminary Site Plan Review Letter, Additional Letters from original Site Plan Review
and Second Revised Preliminary Site Plan – Landscaping.
JSP 20-36

Please see below for the responses to the Fountain View Professional Center preliminary site plan review comments.

Planning Review (Revised Preliminary Site Plan Review)

Ordinance Requirements

1. Curb height callouts added to sheet C4.
2. Variances with Zoning Board of Appeals will be sought for dumpster locations. Side yard for Fountain View is the rear yard for bank property located at the corner of Dixon Rd and 12 Mile Rd. Proposed dumpsters are directly adjacent to existing dumpster for the bank.
3. Screening information will be provided with next submittal.
4. Lighting plan will be revised with next submittal.
5. A same side driveway spacing waiver will be requested for both Dixon and 12 Mile roads.
6. Estimated job cost is \$7,414,443.50, Job creation numbers are 30 construction jobs and 70 office personnel jobs.
7. Parcel combination application will be provided prior to electronic stamping set submittal.
8. Understood. Wetland Minor Use Permit and Authorization to Encroach.
9. Understood. ROW dedication.
10. Additional comments in Planning Chart will be addressed as required.

NOWAK & FRAUS ENGINEERS

46777 WOODWARD AVENUE
PONTIAC, MI 48342-5032

WWW.NOWAKFRAUS.COM

VOICE: 248.332.7931
FAX: 248.332.8257



CIVIL ENGINEERS
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Planning Review Chart (Revised Preliminary Site Plan Review)

Bold Comments Only:

Parking Loading Dumpster and Other:

- Curb heights will be indicated on plans.
- A variance is requested for the location of the dumpster in the side yard. The proposed location fits well with the site as well as the adjacent site. The proposed dumpster is proposed adjacent to the neighboring property's dumpster location, which seems to be a logical location.
- Screening information will be provided with the next submittal.

Lighting and Photometric:

- Overall lighting average will be provided on next submittal.
- Lighting plan will be revised for 1.0 min fc at entrances on next submittal.

Building Code and Other Requirements:

- Wetland calculations will be revised as required on next submittal.
- Given the width of the frontage of the site on both 12 Mile and Dixon roads, and given the locations of the existing driveways in the area, the required driveway spacing is unattainable. A waiver for driveway spacing on both 12 Mile and Dixon roads is requested.
- Estimated job cost is \$7,414,443.50, Job creation numbers are 30 construction jobs and 70 office personnel jobs.
- An address application will be submitted prior to final stamping set.
- Parcels will be combined prior to stamping set approval.

Revised Preliminary Site Plan Review – Landscaping

All remaining comments in the landscape review and chart dated May 17, 2021 will be addressed in the next submittal.



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Engineering Review Comments (from March 8, 2021 review letter)

General

Items 1 thru 11 will be addressed during final site plan preparation.

Water Main

Added 2 hydrants on east side of site per fire plan review and looped water main.

Items 12 thru 15 will be addressed during final site plan preparation.

Sanitary Sewer

Items 16 thru 19 will be addressed during final site plan preparation.

Paving and Grading

Curb, pavement and building FF elevations have been adjusted. Sheet C4.

Curb heights have been adjusted per 4" vs 6" requirements. Sheet C4.

Landing extended at ADA parking. Sheet C4.

Islands have been adjusted. Sheet C3 and C4.

Remainder of items will be addressed during final site plan preparation.

Storm Sewer

Storm sewer has been redesigned to keep rims at or above pond freeboard elevation also now there are two inlets into the pond to maintain necessary pipe cover.

Items 24 thru 26 will be addressed during final site plan preparation.

Storm Water Management Plan

Items 27 thru 31 will be addressed during final site plan preparation.

Soil Erosion and Sediment Control

Item 32 will be addressed during final site plan preparation.

Off-Site Easements

Item 33 will be addressed during final site plan preparation.

The following must be submitted with the Final Site Plan

Items 34 thru 35 will be addressed during final site plan preparation.

The following must be submitted with the Stamping Set

Items 36 thru 41 will be addressed.

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The following must be addressed prior to construction.

Items 42 thru 56 will be addressed.

The following must be addressed prior to issuance of a temp C of O.

Items 57 thru 64 will be addressed

AECOM Preliminary Site Plan Traffic Review (from March 8, 2021 review letter)

Traffic Review

3. Driveway and/or 12 Mile taper will be adjusted as required per RCOC review. Sheet C3.
5. Sight distances added to Dixon road. Sheet C3.
- 6a. Dimensions added to Dixon Road. Sheet C3. If a variance is required for 12 Mile Rd., then we will request a variance.
- 6b. Dimensions added to Dixon Road. Sheet C3.
9. Sidewalk and ramps revised at Dixon Rd. Sheet C3.
12. Dumpster layout west of pond has been revised. Sheet C3.
16. Parking spaces revised to meet setback requirements. Sheet C3.
20. ADA parking spaces separated to facilitate multiple ramps with no flush curb in front of parking space. Sheet C3.
- 24a. Bike parking increased to 12 spaces. Sheet C3.
- 24c. Layout revised for 6' wide path to bike racks.
32. Will be addressed on final site plan.
33. Will be addressed on final site plan.
40. Will be addressed on final site plan.
42. Will be addressed on final site plan.

Façade Ordinance Review – DRN & Assoc. (from March 8, 2021 review letter)

Comments will be addressed on final site plan.

Wetlands and Woodlands Review (from March 8, 2021 review letter)

1. EGLE wetland map does not show wetlands within the boundaries of the site. Aerial photography shows that the site is surrounded by large developments.

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LAND SURVEYORS
LAND PLANNERS

2. Fill volume has been added to sheet C6. Wetland buffer impact areas revised for less impact.
3. Construction limits revised for less impact to natural features. Sheet C6
4. Landscape plan has been revised to include additional plantings. L2

Fire Department Review (from March 8, 2021 review letter)

- Understood.
- Understood.
- Understood.
- 2 fire hydrants added to east side of site and water main looped. Sheet C5.
- Hydrants are spaced correctly. Sheet C5.
- Turning radii shown on sheet C3.
- FDCs are within 100 feet of hydrants. Sheet C5.
- Note added to sheet C5.
- Note added to sheet C5.
- Understood.
- Understood.

Please let me know if you need additional clarification on the items above or any other items pertaining to the Fountain View Professional Center project.

Sincerely,

Michael Kurmas, PE

Project Manager

NOWAK & FRAUS ENGINEERS

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PONTIAC, MI 48342-5032

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