



KARIM BLVD SURGERY CENTER JSP20-36

KARIM BLVD SURGERY CENTER JSP20-36

Public Hearing at the request of Karim Blvd RE Holdings, LLC for approval of the Preliminary Site Plan, Stormwater Management Plan, and Woodland Use Permit. The subject property contains 3 acres and is located in Section 24, on the west side of Karim Blvd, south of Grand River Ave. The site is currently undeveloped. The applicant is proposing to construct a one-story, 16,941 square foot surgery center, with a two-story 11,412 square foot office for general office use.

Required Action

Approve/Deny the Preliminary Site Plan, Stormwater Management Plan, Woodland Use Permit, and any applicable Landscape Waivers.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	1-13-21	<ul style="list-style-type: none"> Requires parking setback modification for a reduced parking setback on the north property line (10 feet required, 8.86 feet proposed) <i>(supported by staff as it results in an improved use of the site)</i> Items to be addressed on the Final Site Plan submittal
Engineering	Approval recommended	1-11-21	<ul style="list-style-type: none"> Items to be addressed on the Final Site Plan submittal
Landscaping	Approval recommended	12-23-20	<ul style="list-style-type: none"> Waiver for a 4.5 foot tall screening wall in lieu of a berm along the west property line <i>(supported by staff as it is consistent with the wall on the property to the south, and additional detention pond landscaping will provide visual buffering)</i> Items to be addressed on the Final Site Plan Submittal
Woodland	Approval recommended	1-12-21	<ul style="list-style-type: none"> Woodland Use Permit required for removal of one 42" DBH Elm Tree. Items to be addressed on the Final Site Plan Submittal
Traffic	Approval recommended	1-13-21	<ul style="list-style-type: none"> Waiver for Opposite Side Driveway Spacing for the north entry drive <i>(supported by the Traffic Consultant because it is a low volume street and the offset from the opposite driveway is only 27 feet)</i> Items to be addressed on the Final Site Plan Submittal
Façade	Approval recommended	1-11-21	<ul style="list-style-type: none"> Items to be addressed on the Final Site Plan Submittal
Fire	Approval recommended	12-23-20	<ul style="list-style-type: none"> Items to be addressed on the Final Site Plan Submittal

MOTION SHEET

Approval – Preliminary Site Plan

In the matter of Karim Blvd Surgery Center, JSP20-36, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. Parking setback modification for the north property line from 10 feet to 8.86 feet as *such modification of the setback requirement does not reduce the total area of setback on the site below the minimum setback area requirements of the Zoning Ordinance and results in an improved use of the site, which is hereby granted;*
- b. Landscape Waiver for a 4.5 foot tall screening wall in lieu of a berm along the west property line *because it is consistent with the wall on the property to the south and additional landscaping around the detention pond will provide additional visual buffering, which is hereby granted;*
- c. A waiver from Section 11-216.d.1.e of the Code of Ordinances to allow opposite side driveway spacing less than 200 feet *because it is a low volume street and the offset from the opposite driveway is only 27 feet, which is hereby granted;*
- d. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those being addressed on the Final Site Plan; and
- e. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

- AND -

Approval – Stormwater Management Plan

In the matter of Karim Blvd Surgery Center, JSP20-36, motion to **approve** the Stormwater Management Plan subject to:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

- AND -

Approval – Woodland Use Permit

In the matter of Karim Blvd Surgery Center, JSP20-36, motion to **approve** the Woodland Use Permit subject to:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

- OR -

Denial – Preliminary Site Plan

In the matter of Karim Blvd Surgery Center, JSP20-36, motion to **deny** the Preliminary Site Plan ... (because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

-AND-

Denial – Stormwater Management Plan

In the matter of Karim Blvd Surgery Center, JSP20-36, motion to **deny** the Stormwater Management Plan ... (because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

- AND -

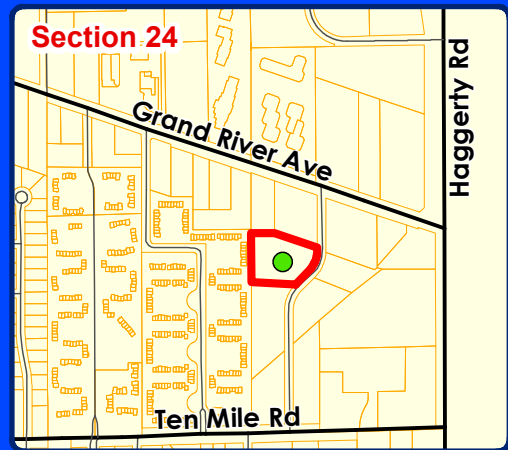
Denial – Woodland Use Permit

In the matter of Karim Blvd Surgery Center, JSP20-36, motion to **deny** the Woodland Use Permit ... (because the plan is not in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)


MAPS
Location
Zoning
Future Land Use
Natural Features

JSP20-36 KARIM BLVD SURGERY CENTER

LOCATION



LEGEND

 Subject Property



City of Novi

Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Christian Carroll
Date: 1/21/21
Project: Karim Blvd Surgery Center
Version #: 1



1 inch = 122 feet

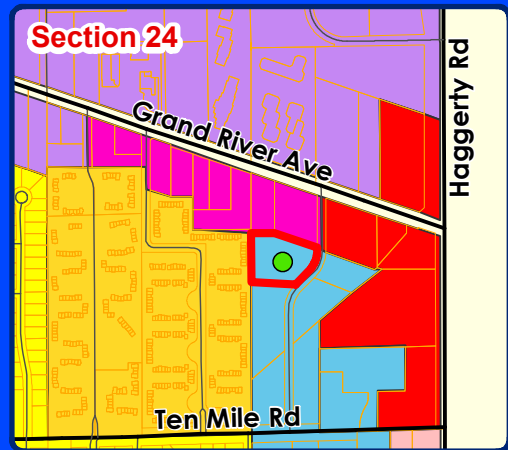
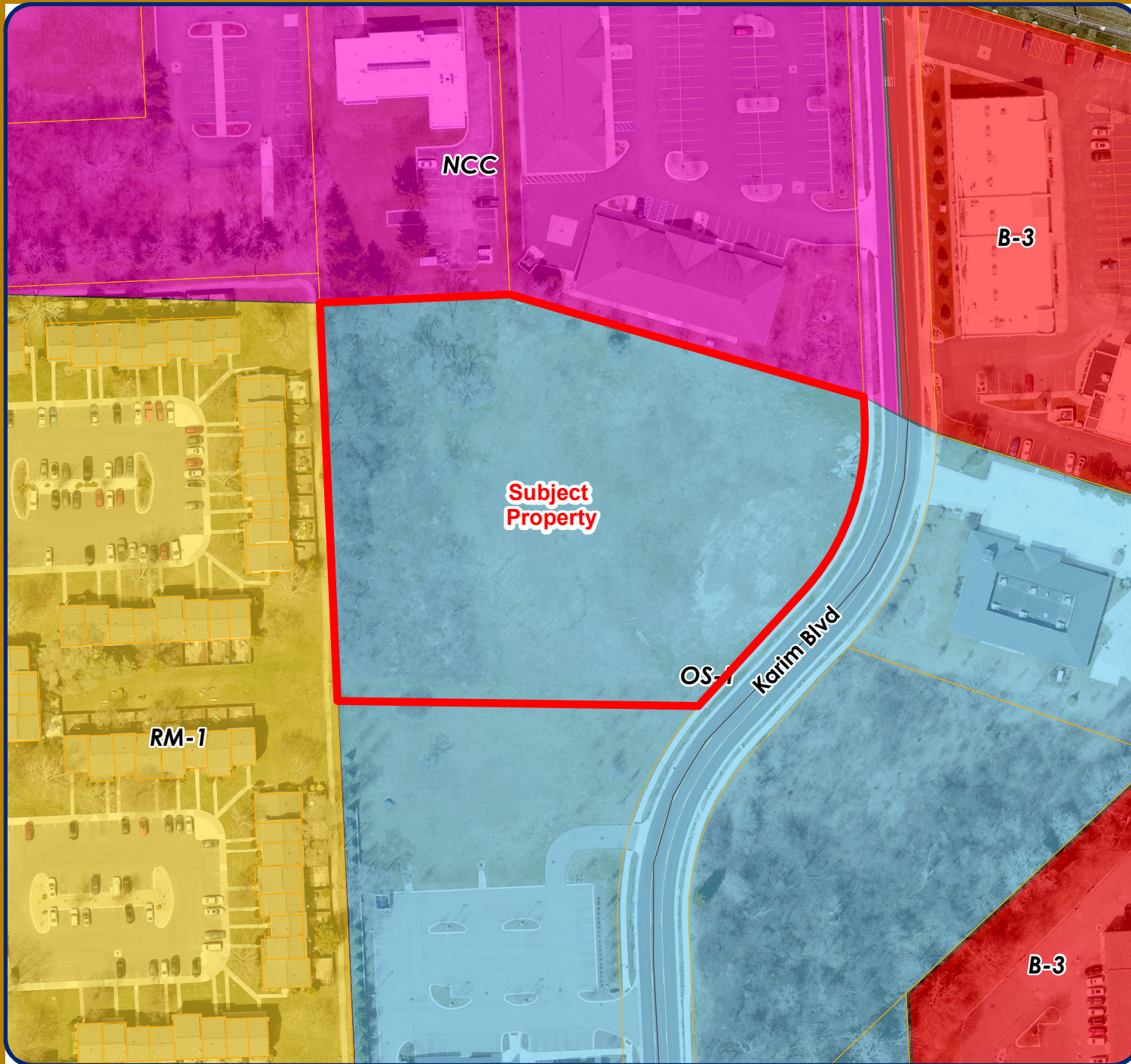


MAP INTERPRETATION NOTICE

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JSP20-36 KARIM BLVD SURGERY CENTER

ZONING



LEGEND

	R-4: One-Family Residential District
	RM-1: Low-Density Multiple Family
	B-1: Local Business District
	B-3: General Business District
	I-1: Light Industrial District
	NCC: Non-Center Commercial District
	OS-1: Office Service District
	Subject Property

City of Novi
Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

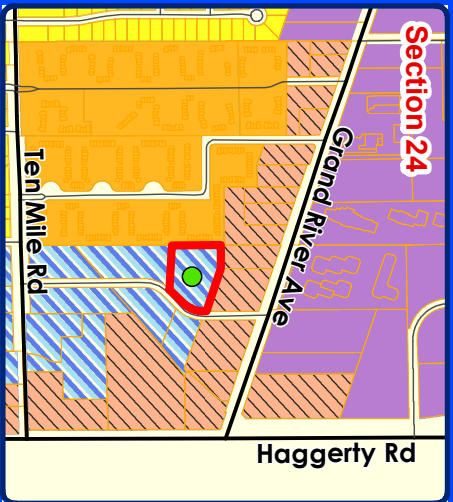
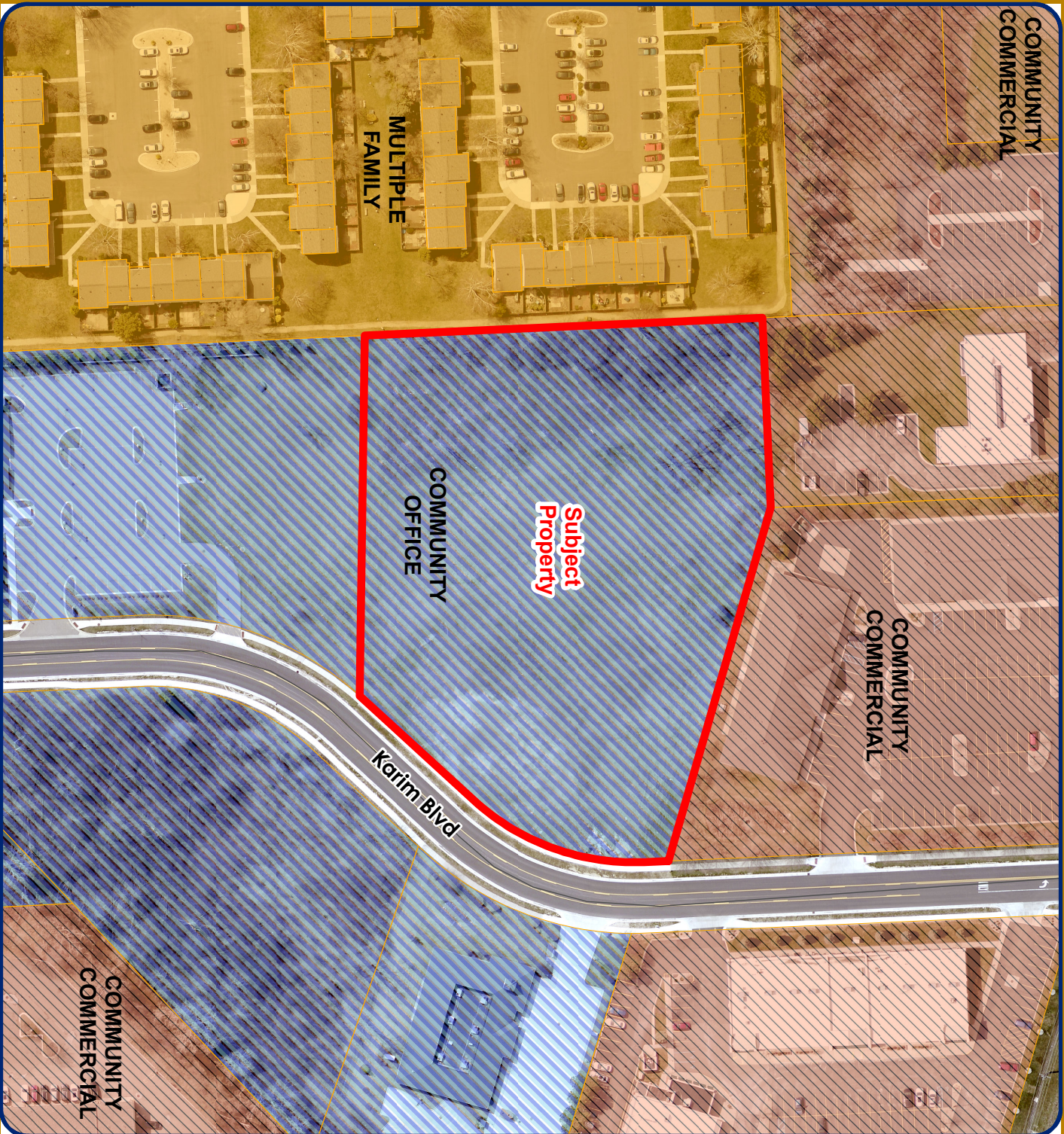
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0 25 50 100 150 Feet
1 inch = 122 feet

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JSP20-36 KARIM BLVD SURGERY CENTER FUTURE LAND USE

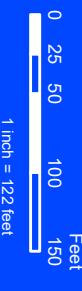


- LEGEND**
- Single Family
 - Multiple Family
 - Community Office
 - Industrial Research Development Technology
 - Community Commercial
 - Subject Property



City of Novi
 Dept. of Community Development
 City Hall / Civic Center
 45175 W Ten Mile Rd
 Novi, MI 48375
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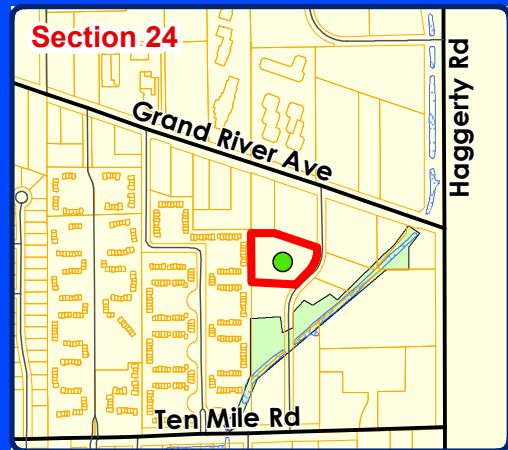


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JSP20-36 KARIM BLVD SURGERY CENTER

NATURAL FEATURES



LEGEND

- WETLANDS
- WOODLANDS
- Subject Property

City of Novi
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45175 W Ten Mile Rd
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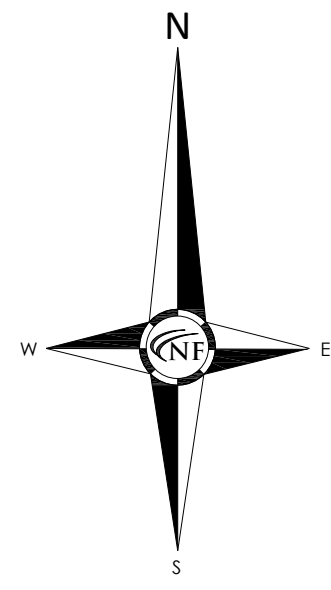
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SITE PLAN

(Full plan set available for viewing at the Community Development Department.)



**NOWAK & FRAUS
ENGINEERS**

**CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS**

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257
WWW.NOWAKFRAUS.COM

SEAL



PROJECT

Karim Blvd Surgery Center
and Office Building
24301 Karim Boulevard

CLIENT

Karim Blvd RE Holdings, LLC
42350 Grand River Ave.
City of Novi, MI 48350

Contact: Truman Timmins
Phone: (248) 725-0270

PROJECT LOCATION

Part of the SW 1/4
of Section 19
T. 1N., R. 8E.
City of Novi,
Oakland County, Michigan

SHEET

Landscape Plan



**Know what's below
Call before you dig.**

DATE ISSUED/REVISED
12/17/20 REVISED PER CITY REVIEW

DRAWN BY:
G. Ostrowski

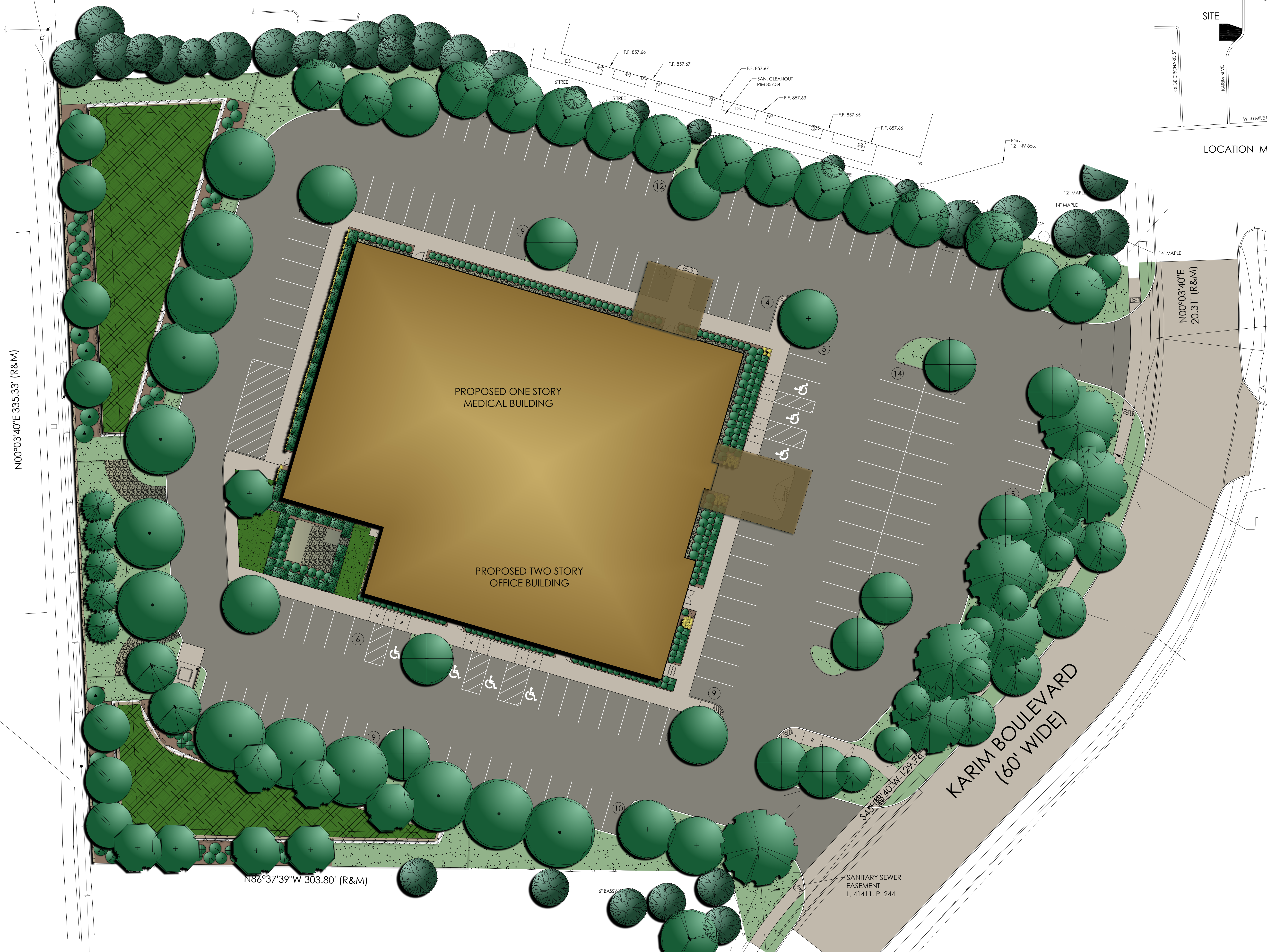
DESIGNED BY:
G. Ostrowski

APPROVED BY:
G. Ostrowski

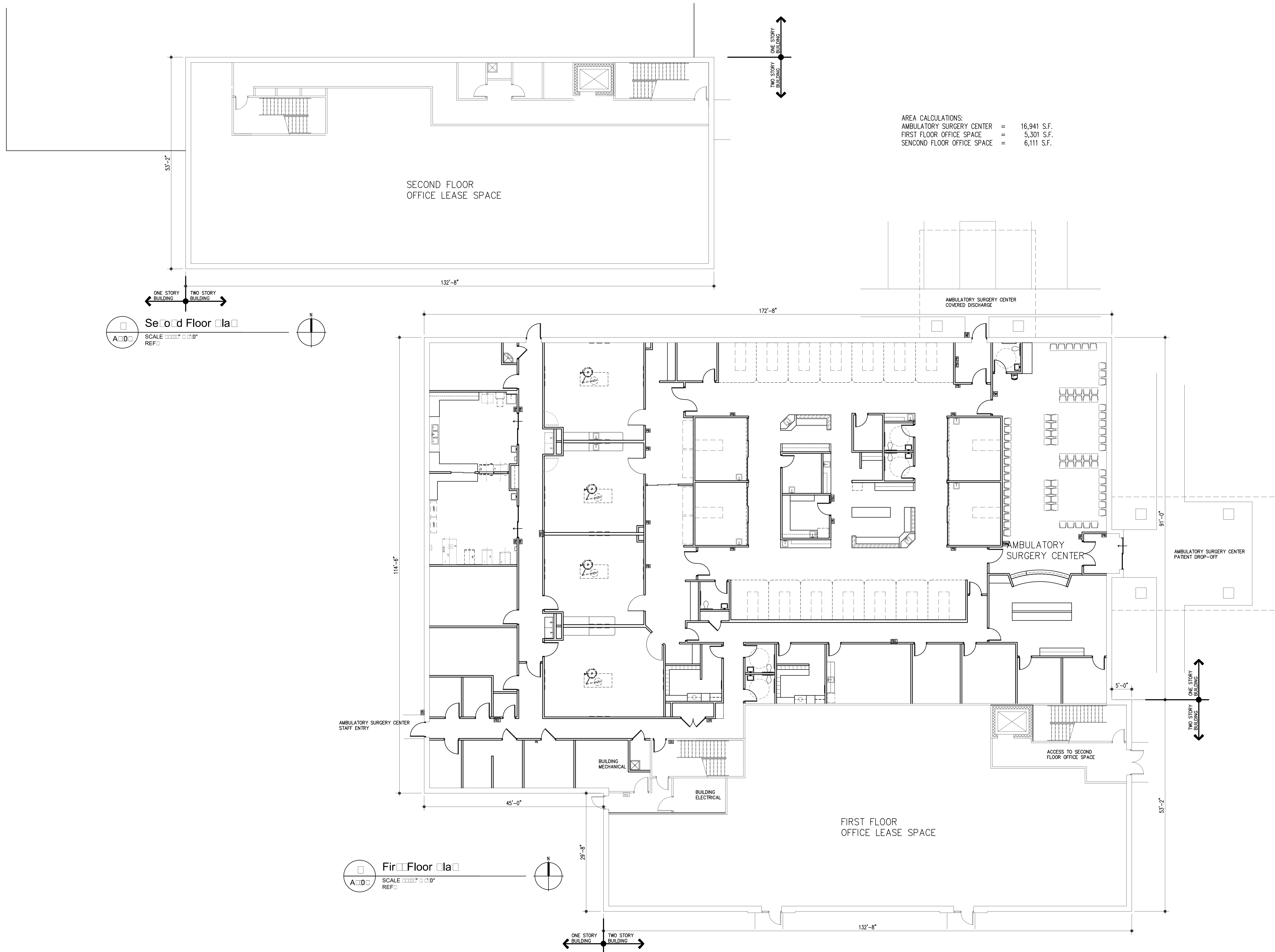
DATE:
10-19-2020

SCALE: 1" = 30'
30 15 0 15 30 45

NEE JOB NO. SHEET NO.
L996 L2



FLOORPLAN, ELEVATIONS, AND FACADE MATERIALS



AREA CALCULATIONS:
 AMBULATORY SURGERY CENTER = 16,941 S.F.
 FIRST FLOOR OFFICE SPACE = 5,301 S.F.
 SECOND FLOOR OFFICE SPACE = 6,111 S.F.

Second Floor \square la \square
 A \square 10 \square SCALE \square 1/4" = 1'-0"
 REF \square

First Floor \square la \square
 A \square 10 \square SCALE \square 1/4" = 1'-0"
 REF \square

AJDESIGN
 ARCHITECTS

2803 Greenlawn
 Commerce, MI 48382
 248.672.7866 ph
 248.232.0073 fx
 ajdarchitects.com

Construction Manager

Consultant

Seal

Project

Apex Surgery Center, LLC

24301 Karim Boulevard
Novi, MI 48375

Description	Date
SITE PLAN APPROVAL	12.17.2020
SITE PLAN APPROVAL	11.24.2020

Sheet Title

Proposed Floor Plans

Scale _____ Project Number 2020.014

Sheet Number

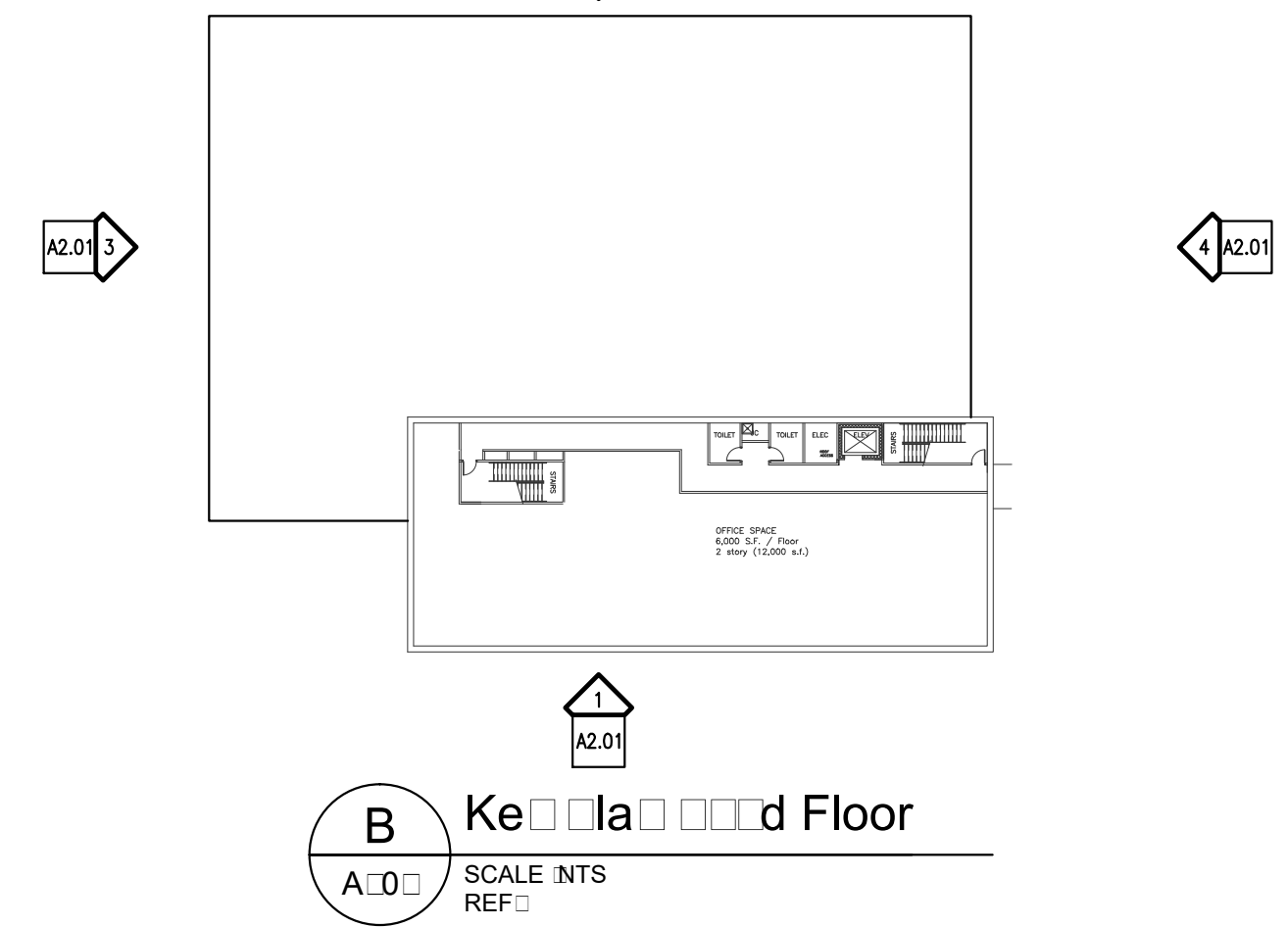
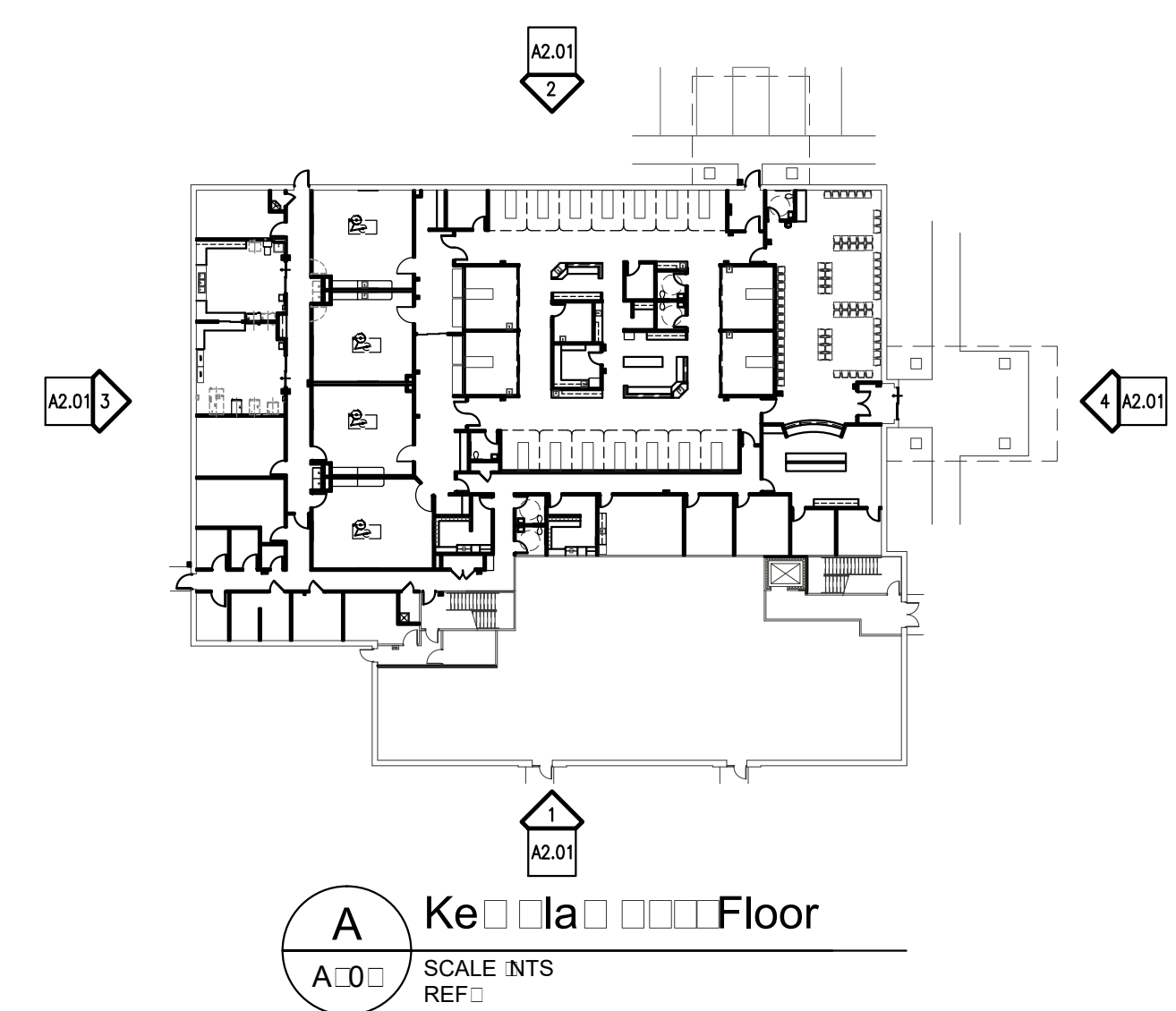
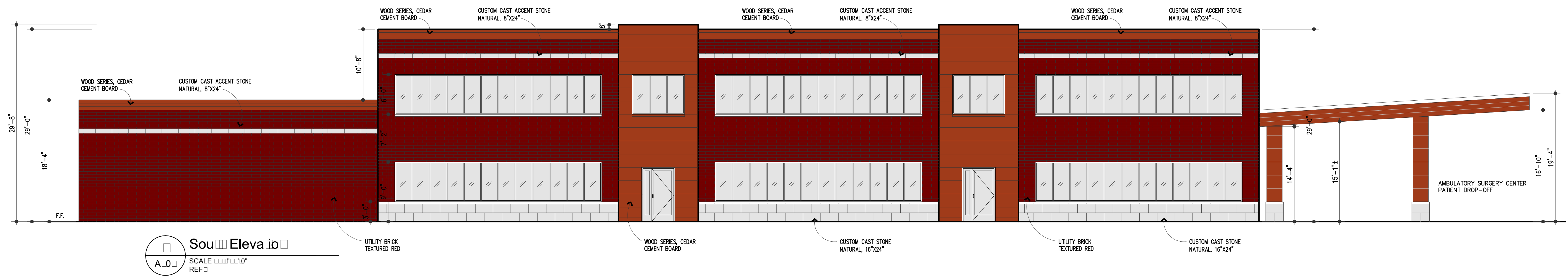
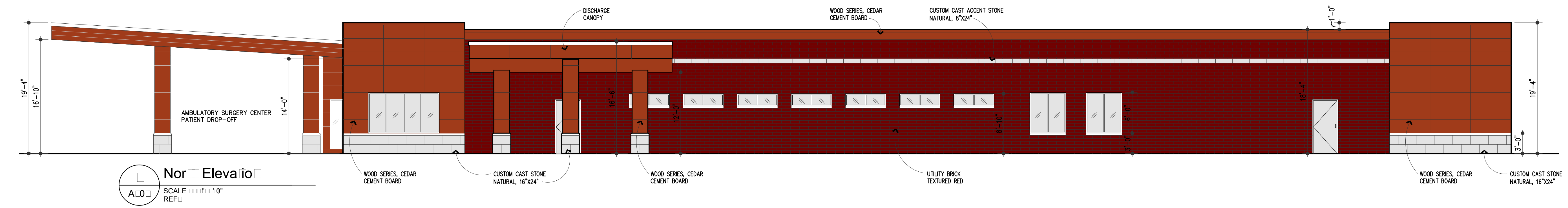
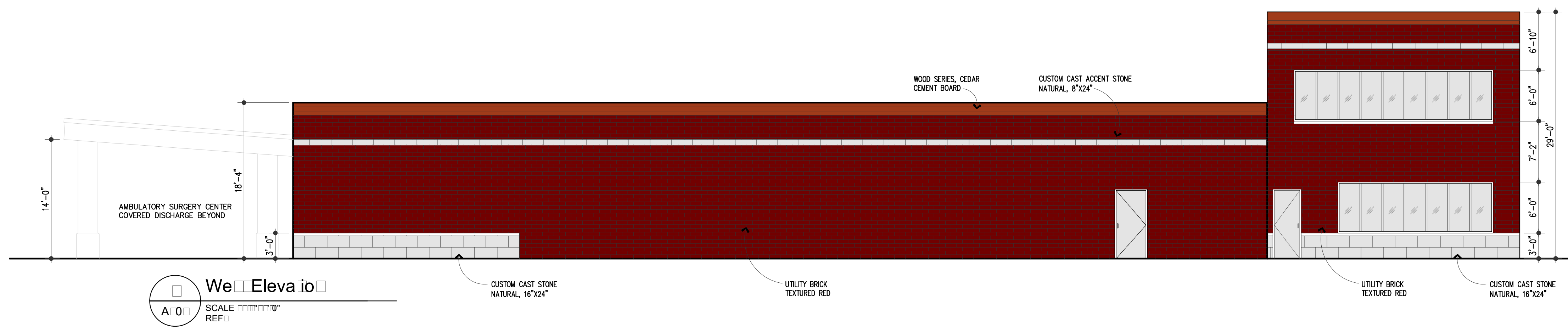
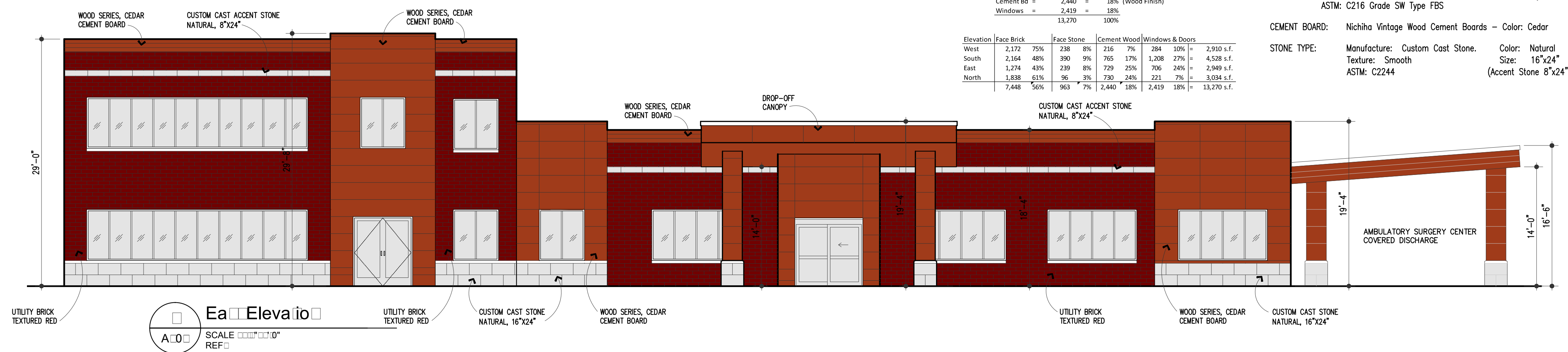
A1.01

TOTAL:

Face Brick	=	7,448	=	56%
Face Stone	=	963	=	7%
Cement Bd	=	2,440	=	18% (Wood Finish)
Windows	=	2,419	=	18%
		13,270		100%

Elevation	Face Brick	Face Stone	Cement Wood	Windows & Doors	Total					
West	2,172	75%	238	8%	216	7%	284	10%	=	2,910 s.f.
South	2,164	48%	390	9%	765	17%	1,208	27%	=	4,528 s.f.
East	1,214	43%	239	8%	739	25%	706	24%	=	2,949 s.f.
North	1,838	61%	96	3%	730	24%	221	7%	=	3,034 s.f.
	7,448	56%	963	7%	2,440	18%	2,419	18%	=	13,270 s.f.

PROPOSED EXTERIOR FINISHES – OR APPROVED ALTERNATES
 BRICK: Manufacturer: Continental Brick Company Color: Red
 Texture: Wirecut Size: Utility
 ASTM: C216 Grade SW Type FBS
 CEMENT BOARD: Nichiha Vintage Wood Cement Boards – Color: Cedar
 STONE TYPE: Manufacturer: Custom Cast Stone Color: Natural
 Texture: Smooth Size: 16"x24"
 ASTM: C2244 (Accent Stone 8"x24")



AJDESIGN ARCHITECTS
 2803 Greenlawn
 Commerce, MI 48382
 248.672.7866 ph
 248.232.0073 fx
 ajdesignarchitects.com

Construction Manager

Consultant

Seal
 STATE OF MICHIGAN
 WARREN SANBERG ARCHITECT
 No. 1301055373

Project
Apex Surgery Center, LLC
 24301 Karim Boulevard
 Novi, MI 48375

Description	Date
SITE PLAN APPROVAL	12.17.2020
SITE PLAN APPROVAL	11.24.2020

Sheet Title
Exterior Elevations
 Scale Project Number
 2020.014
 Sheet Number
A2.01

Karim Blvd. Surgery Center Facade, Screen Wall & Dumpster Enclosure Selections



GRAND BLANC CEMENT PRODUCTS
ANDY HARTLEY: 810 691-0016
C-BRICK: LUGNUT

**Nichiha VintageWood - Cedar
(Facade)**

**Ford Field Blend + Cast Stone
(Facade)**

**C-Brick - Lugnut
(Screen Wall &
Dumpster Enclosure)**

C-BRICK CONCRETE MASONRY UNITS

DESIGN WITH THE BEAUTY OF BRICK
WHILE BENEFITING FROM THE ECONOMY
AND FLEXIBILITY OF CONCRETE
MASONRY UNITS



Grand Blanc
CEMENT PRODUCTS



ATTRACTIVE & ECONOMICAL

C-Brick Concrete Masonry Units offer a truly unique alternative to clay brick, while still providing an appealing brick-like appearance. C-Brick also allows customers to benefit from reduced costs in many ways by providing a concrete masonry unit that can function as a single-wythe wall instead of a veneer type wall.



PERFORMANCE & SUSTAINABILITY

C-Brick has the ability to perform with all the durable characteristics that a concrete masonry unit has to offer. The structural integrity of C-Brick allows designers to remain confident in the longevity and life cycle of any project. C-Brick is integrally colored, it is not just an applied face which is prone to fading over time.

DESIGN FLEXIBILITY

Whether designed as a veneer or a through the wall single-wythe load bearing wall system, C-Brick delivers amazing results. C-Brick can function as a finished wall surface on one or both faces, making it a superior choice for sound barriers, screen walls, or on buildings where the look of brick is required on both the interior and exterior walls. Refer to specifications on page 4 for ASTM requirements that are always exceeded with C-Brick manufactured by Grand Blanc Cement Products.





AUTUMN BLEND



CIMARRON BLEND



DESERT BLEND



FIRESTORM BLEND



GRANDVILLE BLEND



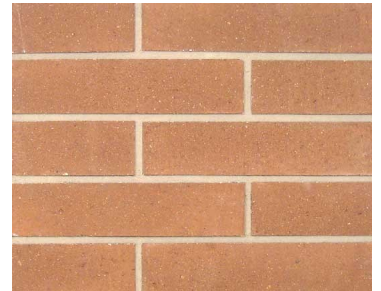
GREAT LAKES BLEND



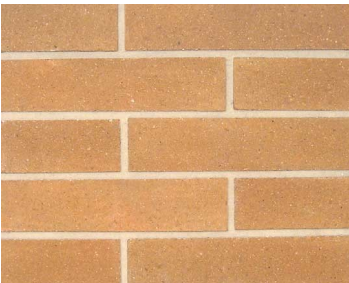
HERITAGE BLEND



OLD TUDOR BLEND



SAVANNAH BLEND



S.E.D. BLEND



"C - Brick" Masonry Units Specifications

PART 1 - GENERAL

SUBMITTAL

Submit color samples for selection from manufacturer's group. Submit product literature, certifications, test reports and full size samples of each color that is specified.

QUALITY ASSURANCE

Certifications: "C - Brick"

Masonry Units shall comply with recommendations of the National Concrete Masonry Association, and conform to ASTM C90, for hollow and solid load bearing units. "C - Brick" Masonry Units shall be normal weight block, withstanding compression test loads of at least 3,000 psi for individual units, or 3,500 psi for an average of five units; basing load figures on the average net area of the blocks. Units shall meet or exceed requirements for ASTM C55-06e1. "C - Brick" Masonry Unit samples shall be submitted for establishing an approved color and texture.

WATER REPELLENT

All "C - Brick" Masonry Units shall be manufactured with Acme Shield Integral Water Repellent when used for exterior wall construction. Acme Shield shall comply with ASTM E514-74 for wind and rain resistance. Acme Shield Mortar Admix shall be incorporated with all mortar used in the installation of "C - Brick" and shall conform to ASTM E7-72-74 for bond strength to "C - Brick" Units.

RELATED INFORMATION

Fire Resistance: Hourly fire rating information, defined and required by NCMA TEK NOTES, available at www.grandblancement.com.

Mortar: Type S Natural Gray mortar is recommended for all "C - Brick" Masonry Units.

PART 2 - PRODUCTS

PRODUCT NAME

"C - Brick" Masonry Units

SIZES AND SHAPES

Hollow Units: 4 x 4 x 16, 6 x 4 x 16
8 x 4 x 16, 10 x 4 x 16, 12 x 4 x 16
Solid Units: 4 x 4 x 12, 4 x 4 x 16
4 x 4 x 24
Solid Wall Caps: 8 x 4 x 16
12 x 4 x 16

MANUFACTURER

Grand Blanc Cement Products, Inc.
10709 S. Center Road
Grand Blanc, MI 48439
P 800-875-7500 F 810-694-2995
www.grandblancementproducts.com

PART 3 - EXECUTION

LAYING MASONRY WALLS

All "C - Brick" Masonry Units shall be drawn from more than one pallet at a time and must be laid using the best concrete masonry practices. Lay block with the faces level, plumb and true to the mason line strung horizontally at the finished side of the block. Both horizontal and vertical joints should be 3/8" on the finished side of the wall. Joints should be neatly and uniformly tooled after they are finger-hard. Cut pieces should be sized and placed properly to maintain bond and consistency.

INSTALLATION

Lighting: Always use adequate lighting for masonry work. For even and consistent illumination, always place lights at a reasonable distance from the wall. For best results, do not use trough lighting.

Cutting: Use the correct type of motor driven masonry saws to make all cuts, including those for bonding, holes, boxes etc. Use diamond or abrasive blades and make neat cuts to provide the best appearance.

MORTAR BED & JOINTING

Units shall be laid with full mortar coverage on head and bed joints without blocking cores. All joints shall be tooled when finger-print hard into a concave shape. Remove mortar from the face of masonry before it sets. Tuck-point all joints of scored units for creating proper appearance. All exterior scored units must be tuck-pointed to prevent water penetration. **DO NOT RAKE JOINTS.**

FINAL CLEANING

During the installation process, walls should be kept as clean as possible by using brushes, sponges, etc. Never allow excess mortar or smears to harden on the finished surfaces of block. Avoid using harsh cleaning methods that will result in damaged or marred surfaces. Always pre-wet wall with potable water to avoid streaking of wall surface. Use individuals that are experienced in cleaning Decorative Masonry Units and clean finished walls with **Custom Masonry Cleaner** by PROSOCO. Manufacturer's instructions should be strictly followed for cleaning including a complete and thorough rinse. Permanent damage to the block could result if the exact instructions are not adhered to.

Note: Consult NCMA TEK NOTES regarding proper installation techniques for concrete masonry.



Grand Blanc
CEMENT PRODUCTS
10709 S. Center Rd.

Grand Blanc, MI 48439

Ph: 800-875-7500 Fax: 810-694-2995

www.grandblancementproducts.com



PLANNING REVIEW



PLAN REVIEW CENTER REPORT

Planning Review

KARIM BLVD SURGERY CENTER

JSP 20-36

January 13, 2021

PETITIONER

Karim Blvd RE Holdings, LLC

REVIEW TYPE

Preliminary Site Plan

PROPERTY CHARACTERISTICS

Section	24	
Site Location	West of Karim Blvd, South of Grand River Ave; 22-24-476-031	
Site School	Novi Community School District	
Site Zoning	OS-1 Office Service District	
Adjoining Zoning	North	NCC Non-Center Commercial
	East	OS-1 Office Service District; B-3 General Business
	West	RM-1 Low Density, Low Rise, Multiple-Family
	South	OS-1 Office Service District
Current Site Use	Vacant	
Adjoining Uses	North	Commercial
	East	Office/Commercial
	West	Multiple-Family Residential
	South	Office
Site Size	3 acres	
Plan Date	December 17, 2020	

PROJECT SUMMARY

The applicant is proposing to construct a one-story, 16,941 square foot surgery center, with a two-story 11,412 square foot office for general office use. The surgery center is planned for use by orthopedic surgeons, physical medicine & rehab specialists, and pain management specialists. The surgery center will be a multispecialty surgery center with planned procedures mostly focused on out-patient orthopedic surgery and pain management procedures. Any planned procedures will consist of same-day outpatient procedures in morning/early afternoon and be discharged by the end of standards business hours (5 pm). The site is south of Grand River Avenue and west of Karim Boulevard, and is zoned OS-1: Office Service District. The Future Land Use map indicates Community Office for the entirety of the property.

RECOMMENDATION

Approval of the Preliminary Site Plan is recommended by staff. The plan mostly conforms to the requirements of the Zoning Ordinance, with any deviations noted below. All reviewers recommend approval of the Preliminary Site Plan. Please address these items as part of a Revised Preliminary Site Plan submittal. **Planning Commission approval of the Preliminary Site Plan, Stormwater Management Plan, and Woodland Use Permit will be required.**

ORDINANCE REQUIREMENTS

This project was reviewed for compliance with the Zoning Ordinance, with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other areas of the ordinance, as noted. The plans show general compliance with ordinance requirements. Please address the items in **bold** with the next submittal.

1. Building Setbacks (Section 3.1.21.D): **Provide dimension(s) from the portion of the building closest to the property line, which appears to be the canopy on the north and east property lines to verify compliance.**
2. Parking Setbacks (Section 3.1.21): The required 2 foot overhang for spaces with 4 inch curbing is included in the required minimum parking setback. The proposed parking spaces along the north property line encroach into the minimum 10 foot setback. A few of the proposed spaces along the south property line also encroach into the minimum 10 foot setback. **It is suggested that two spaces along the south property line be removed to fall into compliance. A dimensional variance of the spaces along the north property line would be supported by staff if the setback cannot be met with additional revisions. Revise as necessary with the next submittal.**
3. Modification of Parking Setback Requirements (Section 3.6.2.Q): The Planning Commission may approve parking setback waivers for this project as the sum total of the current proposed setbacks is greater than the minimum required for the site.
4. End Islands (Section 5.3.12): While dimensions have now been provided for end islands, it appears that some end islands do not comply with the general dimensions as required by Section 5.3.12 of the Zoning Ordinance. **Revise the dimensions of any end islands out of compliance to fall into compliance with the Zoning Ordinance.**
5. Barrier Free Spaces (Barrier Free Code): After the use of the structure was clarified by the applicant, a more accurate determination of the required parking was able to be completed. Hospital out-patient facilities require 10% of the required spaces to be barrier free spaces and the additional office area follows the typical ADA chart requirements. 8 barrier free spaces are required for the surgery center and 3 barrier free spaces are required for the office use for a total of 11 barrier free spaces required. Only 7 barrier free spaces have been provided with most of the spaces adjacent to the office entrance. **Provide 11 barrier free spaces, preferably with 8 spaces in front of the surgery center and 3 spaces in front of the office use, to fall into compliance with the barrier free requirement for the site.**
6. Bicycle Parking Facilities (Section 5.16): A 6 foot clear path to the bicycle parking facility from the sidewalk system/street is required. Currently, only a 5 foot clear path is provided (7 foot path with 2 foot overhang for parking). **Widen walkway from 7 feet to 8 feet to fall into compliance.**
7. Dumpster Enclosure (Section 21-145 (c), Code of Ordinances): **Painted concrete is not a permitted material. It is recommended that the dumpster detail be revised to indicate "utility brick to match the primary building."** See Façade Review for additional comments.

8. Rooftop Equipment (Section 4.19.2.E.ii): **Indicate whether any rooftop equipment is proposed and how it will be screened if proposed. Indicate the height of any rooftop equipment if proposed.** See Façade Review for additional comments.
9. Pedestrian Connectivity (Non-Motorized Facilities): **Connect the exit near the southwest portion of the building to the sidewalk system.**
10. Photometric Plan (Section 5.7): Review the comments below and revise accordingly.
 - a. Average Light Levels (Section 5.7.3.E): Based on the provided plan, the average light levels appear to slightly exceed the 4:1 ratio required (4.04:1 indicated). **Revise as necessary to fall into compliance.**
 - b. Minimum Illumination (Section 5.7.3.K): Appears to comply. **Provide the minimum illumination near the building entrances/adjacent to the building to verify compliance.**
 - c. Cut-off Angles (Section 5.7.3.L): **Provide the cut-off angles of the lights near the residential district to verify compliance (or indicate with a note on the plans).**
11. Woodland Permit: A Woodland Use Permit is required for the proposed removal of one tree that is over 36 inches diameter-at-breast-height (DBH). Refer to the Landscape Review for comments on this moving forward.
12. Project & Street Naming Committee: **A project name may be required for this project. Please contact Madeleine Daniels in the Planning Division at 248-347-0579 or mdaniels@cityofnovi.org to find out more information.**
13. Opposite Side Driveway Spacing (Section 11-216(d)(1)e., Code of Ordinances): **Provide dimensions of spacing.** Refer to Traffic & Engineering Reviews for additional comments. **If a variance is sought, please indicate as such in the response letter.**
14. Planning Chart: Please refer to the attached Planning Chart for additional comments to address in the Revised Preliminary and/or Final Site Plan submittal.

OTHER REVIEWS

- a. Engineering Review: Engineering is recommending approval of the Preliminary Site Plan with conditions to be addressed as part of the Final Site Plan Submittal.
- b. Landscape Review: Landscape is recommending approval of the Preliminary Site Plan with comments to be addressed in the Final Site Plan submittal.
- c. Traffic Review: Traffic is recommending approval of the Preliminary Site Plan with comments to be addressed in the Final Site Plan Submittal.
- d. Façade Review: Façade is recommending approval of the Preliminary Site Plan with comments to be addressed in the Final Site Plan Submittal.
- e. Woodland Review: Woodland is recommending approval of the Preliminary Site Plan with comments to be addressed in the Final Site Plan submittal.
- f. Fire Review: Fire is recommending approval of the Preliminary Site Plan with comments to be addressed in the Final Site Plan Submittal.

NEXT STEP: PLANNING COMMISSION MEETING

This Site Plan will be tentatively scheduled to go before the **Planning Commission on January 27, 2021** as a Public Hearing. Please provide the following via email by **January 20, 2021**:

1. Site Plan submittal in PDF format (maximum of 10MB). **NO CHANGES MADE.**

2. A response letter addressing ALL the comments from ALL the review letters and a request for waivers/variances as you see fit.
3. A color rendering of the Site Plan (optional, to be used for Planning Commission presentation).
4. A sample board of building materials as required by our Façade Consultant.

FINAL SITE PLAN SUBMITTAL

After receiving Planning Commission's approval of the Preliminary Site Plan, please follow the [Final Site Plan Checklist](#) and submit for approval:

1. **Seven** copies of Final Site Plan sets (24" x 36", folded) addressing ALL comments from Preliminary Site Plan Review.
2. Response letter addressing ALL comments from ALL review letters and **refer to sheet numbers where the change is reflected.**
3. [Final Site Plan Application](#)
4. [No Revision Façade Affidavit](#) (if no façade changes have been made)
5. An itemized engineering cost estimate including sanitary sewer, watermain, storm sewer, paving and grading costs, size 8.5" x 11" (The cost estimate should not include soil erosion or demolition costs.)
6. An itemized landscaping cost estimate including greenbelt and greenbelt ornamental trees, perennials, pond plantings, shrubs, edging, mulch, seed mix and seeded lawn, size 8.5" x 11" (The cost estimate should not include woodland trees, replacement trees or mitigation.)
7. Recommended, but not required: A [Soil Erosion Permit Application](#)

ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER

After receiving Final Site Plan approval, plans addressing the comments in all the staff and consultant review letters should be submitted electronically for informal review and approval prior to printing Stamping Sets. A letter from either the applicant or the applicant's representative addressing comments in this and other review letters and associated charts is to be submitted with the electronic stamping set. This letter should address all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

If required, drafts for all legal documents with a legal transmittal are to be submitted along with stamping sets.

STAMPING SET APPROVAL

Stamping sets will be required for this project. After having received all the review letters from City staff the applicant should make the appropriate changes on the plans and submit **12 size 24" x 36" copies with original signature and original seals on the cover sheet (subsequent pages may use electronic seal with signature)**, to the Community Development Department for final Stamping Set approval.

PRE-CONSTRUCTION MEETING

A Pre-Construction meeting is required for this project. Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled, so it is suggested you contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] once the Final Site Plan has been approved to begin the Pre-Con checklist. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah.

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or ccarroll@cityofnovi.org.

A handwritten signature in blue ink that reads "Christian Carroll". The signature is written in a cursive style with a blue highlight behind the name.

Christian Carroll, Planner



PLANNING REVIEW CHART: OS-1, Office Service

Review Date: January 13, 2021
Review Type: Preliminary Site Plan Review
Project Name: JSP 20-36 Karim Blvd Surgery Center
 West of Karim Blvd, South of Grand River
Plan Date: December 17, 2020
Prepared by: Christian Carroll, Planner
E-mail: ccarroll@cityofnovi.org **Phone:** (248) 735-5607

Items in **Bold** need to be addressed by the applicant with next submittal. Underlined items require Planning Commission approval. *Italicized* items are to be noted.

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan <i>(adopted July 26, 2017)</i>	Community Office	No change		
Zoning <i>(Effective January 8, 2015)</i>	OS-1, Office Service	No change		
Uses Permitted <i>(Sec 3.1.21.B & C)</i>	Uses permitted listed in Section 3.1.21.B & C	Surgery Center & general office uses	Yes	Principle permitted uses
Height, Bulk, Density, and Area Limitations <i>(Sec. 3.1.21.D)</i>				
Frontage on a Public Street <i>(Sec. 5.12)</i>	Frontage on a Public Street is required	The site has frontage and access to Karim Blvd	Yes	
Access to a Major Thoroughfare <i>(Sec. 5.13)</i>	Vehicular access shall be provided only to an existing or planned major thoroughfare or freeway service drive OR access driveway on other street type is not across street from existing or planned single-family uses	Driveway onto Karim Blvd	Yes	
Building Height <i>(Sec. 3.1.21.D)</i>	30 ft.	29 ft 8 in	Yes	Will rooftop equipment exceed 30 ft?
Building Setbacks <i>(Sec. 3.1.21.D) OS-1 District</i>				
Front (east)	20 ft.	~100 ft	Yes	Provide dimension from portion of the building closest to the property line, which appears to be the canopy.
Side (north)	15 ft.	81.5 ft	Yes	Provide dimension from portion of the building closest to the property line, which appears to be the canopy.
Side (south)	15 ft.	81.8 ft	Yes	
Rear (west)	20 ft.	88.2 ft	Yes	
Parking Setbacks <i>(Sec. 3.1.21) Refer to applicable notes in Sec. 3.6.2</i>				

Item	Required Code	Proposed	Meets Code	Comments
Front (east)	Front (east): 20 ft.	21 ft	Yes	
Side (north)	10 ft.	10.86 ft (8.86 ft with overhang)	No	Does not comply, 2' overhang encroaches - waiver supported by staff if this cannot be met with additional revisions.
Side (south)	10 ft.	~ 10 ft (~ 8 ft with overhang)	No	Does not comply, 2' overhang encroaches - waiver not supported by staff (it is suggested to remove 2 spaces to fall into compliance).
Rear (west)	10 ft.	~ 40 ft	Yes	
Note to District Standards (Sec. 3.6.2)				
Exterior Side Yard Abutting a Street (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to front yard.		NA	
Lot Coverage (Sec. 3.6.2.D)	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space requirements as set forth in this Ordinance.		NA	
Off-Street Parking in Front Yard (Sec 3.6.2.E)	Off-street parking shall be permitted in the front yard, except that said parking shall observe the minimum off-street parking setback requirements in the Development Standards of Sec. 3.1 and Sec. 5.5.3 of this ordinance.	Complies	Yes	
Residential Setback (Sec. 3.6.2.L)	Wherever property directly abuts or is adjacent to residentially zoned	Complies	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	property, the minimum yard setback shall be twenty (20) feet.			
Wetland/Watercourse Setback (Sec 3.6.2.M)	A setback of 25ft from wetlands and from high watermark course shall be maintained		NA	
Parking setback screening (Sec 3.6.2.P)	Required parking setback area shall be landscaped per Sec. 5.5.3.	Provided	Yes	<i>See Landscape review for comments</i>
Modification of parking setback requirements (Sec 3.6.2.Q)	The Planning Commission may modify parking setback requirements based on conditions listed in Sec. 3.6.2.Q	Parking setbacks conform to the minimum required	Yes	<u>The Planning Commission may approve parking setback waivers for this project.</u>
OS-1 District Required Conditions (Sec. 3.17)				
Interior Display (Sec. 3.17.1)	No interior display shall be visible from the exterior of the building.	Not proposed	Yes	
Outdoor Storage (Sec. 3.17.2)	The outdoor storage of goods or materials shall be prohibited.	Not proposed	Yes	
Warehousing (Sec. 3.17.3)	Warehousing or indoor storage of goods or material, beyond that normally incident to the permitted uses, shall be prohibited.	Not proposed	Yes	
Parking, Loading, Dumpster, and Other Equipment Requirements				
Number of Parking Spaces (Sec. 5.2.12.D)	Professional offices of doctors, dentists, veterinarian or similar professions; outpatient clinics: 1 space for each 175 sf GLA for buildings greater than 5,000 sf 1,808 sf + 10,291 sf = 12,099 sf / 175 sf = 69 spaces required Storage:	131 spaces provided; 127 spaces required.	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	<p>1 space for each 700 sf, 4,482 sf / 700 sf = 7 spaces required</p> <p>General Office:</p> <p>1 space for each 222 sf GLA (under 100,000 sf)</p> <p>5,301 sf + 6,111 sf = 11,412 sf / 222 = 51 spaces required</p> <p>Total required: 127 spaces</p>			
<p>Parking Space & Maneuvering Lane Dimensions (Sec. 5.3.2)</p>	<p>90° spaces: 9 ft. x 19 ft. parking spaces with 24 ft. drives</p> <p>9 ft. x 17 ft. parking spaces along 7 ft. interior sidewalks, provided a 4 in. curb at these locations & along landscaping</p>	<p>Appears to comply</p>	<p>Yes</p>	
<p>Parking stall located adjacent to a parking lot entrance (public or private) (Sec. 5.3.13)</p>	<p>Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer</p>	<p>Appears to comply</p>	<p>Yes</p>	
<p>End Islands (Sec. 5.3.12)</p>	<ul style="list-style-type: none"> - End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 ft. wide, have an outside radius of 15 ft., and be constructed 3 ft. shorter than the adjacent parking stall 	<p>Does not comply</p>	<p>No</p>	<p>Some end islands do not meet the required dimensions. Revise, as necessary.</p>

Item	Required Code	Proposed	Meets Code	Comments
Barrier Free Spaces (Barrier Free Code)	Hospital out-patient (10% accessible): 8 for surgery center, 3 for office area = 11 spaces required	7 spaces provided including 2 van accessible spaces	No	Include additional spaces to fall into compliance.
Barrier Free Space Dimensions (Barrier Free Code)	8 ft. wide with 5 ft. wide access aisle for standard accessible; 8 ft. wide with 8 ft. wide access aisle for van accessible	Provided	Yes	
Barrier Free Signs (Barrier Free Design Graphics Manual)	1 barrier free sign per space	Signage provided	Yes	See Traffic comments.
Minimum Number of Bicycle Parking (Sec. 5.16.1)	One (1) space for each twenty (20) employees on the maximum shift, minimum two (2) spaces = 3 spaces	3 spaces provided	Yes	
Bicycle Parking Facilities (Sec. 5.16)	<ul style="list-style-type: none"> - Located along principal building entrance approach, clearly visible - No farther than 120 ft. from the entrance being served - When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations - Spaces to be paved and the bike rack shall be inverted "U" design min. of 36" tall - Shall be accessible via 6 ft. paved access from street 	<p>Complies</p> <p>Complies</p> <p>Complies</p> <p>Complies</p> <p>Does not comply</p>	No	Widen walkway from 7' to 8' to fall into compliance (6' clear path, with 2' overhang for vehicles).
Bicycle Parking Lot layout (Sec 5.16.5.A)	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft.	Layout shown	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Loading Spaces (Sec. 5.4.1)	double Loading space shall be provided in the rear yard or in the case of a double frontage lot, in the interior side yard, in the ratio of five (5) square feet per front foot of building up to a total area of three-hundred sixty (360) square feet per building.	91 ft + 53 ft = 144 ft of frontage = 360 sf loading zone required 680 sf loading zone provided	Yes	
Dumpster (Sec 4.19.2.F)	<ul style="list-style-type: none"> - Located in rear yard - Attached to the building or no closer than 10 ft. from building if not attached - Not located in parking setback - If no setback, then it cannot be any closer than 10 ft. from property line. - Away from Barrier free Spaces 	Complies	Yes	
Dumpster Enclosure (Sec. 21-145. (c) Chapter 21 City Code of Ordinances)	<ul style="list-style-type: none"> - Screened from public view - A wall or fence 1 ft. higher than height of refuse bin - And no less than 5 ft. on three sides - Posts or bumpers to protect the screening - Hard surface pad - Screening Materials: Masonry, wood or evergreen shrubbery 	Does not comply	No	Painted concrete is not permitted. It is recommended that the dumpster detail be revised to indicate "utility brick to match the primary building." See Façade Review for additional comments.
Roof top equipment and wall mounted utility equipment (Sec. 4.19.2.E.ii)	All roof top equipment must be screened, and all wall mounted utility equipment must be enclosed and	Complies?	Yes?	Indicate whether any rooftop equipment is proposed and how it will be screened. Provide height of rooftop equipment. See Façade

Item	Required Code	Proposed	Meets Code	Comments
	integrated into the design and color of the building			Review for additional comments.
Roof top appurtenances screening	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road or adjacent property.	Complies?	Yes?	
Transformer/ Generator	- Provide location of any proposed transformers/ generators etc.	Complies – one proposed	Yes	
Non-Motorized Facilities				
ARTICLE XI. OFF-ROAD NON-MOTORIZED FACILITIES Sec. 11-256. Requirement. (c) & Sub. Ord. Sec. 4.05	<ul style="list-style-type: none"> - In the case of new streets and roadways to be constructed as part of the project, a sidewalk shall be provided on both sides of the proposed street or roadway. - Sidewalks along arterials and collectors shall be 6 feet or 8 feet wide as designated by the "Bicycle and Pedestrian Plan," but not along industrial service streets per Subdivision Ordinance. - Whereas sidewalks along local streets and private roadways shall be five (5) feet wide. 	<p>N/A</p> <p>5 ft sidewalk required along Karim Blvd</p> <p>N/A</p>	<p>Yes</p>	<p>Existing sidewalk along Karim Blvd</p>
Pedestrian Connectivity	- Whether the traffic circulation features within the site and parking areas are designed to assure safety and convenience of	Sidewalks are existing/proposed throughout the site	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	both vehicular and pedestrian traffic both within the site and in relation to access streets - Building exits must be connected to sidewalk system or parking lot.	Exits shown – not all exits appear to be connected to the sidewalk system	No	Connect exit near southwest portion of the building to the sidewalk system.
Lighting and Photometric Plan (Sec. 5.7)				
Intent (Sec. 5.7.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky	A lighting and photometric plan is provided	Yes	
Lighting Plan (Sec. 5.7.A.i)	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures	Provided	Yes	
Building Lighting (Sec. 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.	Not applicable	NA	
Lighting Plan (Sec.5.7.A.2.ii)	Specifications for all proposed & existing lighting fixtures	Provided	Yes	
	Photometric data	Provided	Yes	
	Fixture height	Provided	Yes	
	Mounting & design	Provided	Yes	
	Glare control devices <i>(Also see Sec. 5.7.3.D)</i>	Provided	Yes	
	Type & color rendition of lamps	Provided	Yes	
	Hours of operation	Provided	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties	Provided	Yes	
Maximum Height (Sec. 5.7.3.A)	Height not to exceed maximum height of zoning district (or 25 ft. where adjacent to residential districts or uses	Provided – 20 ft.	Yes	
Standard Notes (Sec. 5.7.3.B)	<ul style="list-style-type: none"> - Electrical service to light fixtures shall be placed underground - Flashing light shall not be permitted - Only necessary lighting for security purposes & limited operations shall be permitted after a site's hours of operation 	Provided	Yes	
Security Lighting (Sec. 5.7.3.H) Lighting for security purposes shall be directed only onto the area to be secured.	<ul style="list-style-type: none"> - All fixtures shall be located, shielded and aimed at the areas to be secured. - Fixtures mounted on the building and designed to illuminate the facade are preferred 	Provided	Yes	
Average Light Levels (Sec. 5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1	4.04:1	No	Appears to slightly exceed amount based on calculation provided.
Type of Lamps (Sec. 5.7.3.F)	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps	Provided	Yes	
Min. Illumination (Sec. 5.7.3.K)	Parking areas: 0.2 min	Provided	Yes	Provide minimum lumens near
	Loading & unloading	Provided	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	areas: 0.4 min			entrances/next to building.
	Walkways: 0.2 min	Provided	Yes	
	Building entrances, frequent use: 1.0 min	Provided	Yes	
	Building entrances, infrequent use: 0.2 min	Provided	Yes	
Max. Illumination adjacent to Non-Residential (Sec. 5.7.3.K)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	Provided	Yes	
Cut-off Angles (Sec. 5.7.3.L)	<p>When adjacent to residential districts:</p> <ul style="list-style-type: none"> - All cut off angles of fixtures must be 90° - maximum illumination at the property line shall not exceed 0.5 foot candle - No direct light source shall be visible at the property line (adjacent to residential) at ground level 	Appears to comply	Yes?	Provide cut-off angles of lights near residential to verify compliance (note on plans).
Building Code and Other Requirements				
Woodlands (City Code Ch. 37)	Replacement of removed trees	Woodland Permit Required for 1 Tree over 36" DBH, see Landscape Review.		
Wetlands (City Code Ch. 12, Art. V)	Mitigation of removed wetlands at ratio of 1.5:1 emergent wetland, 2:1 for forested wetlands	No wetlands on site		
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building	Provided	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).			
Economic Impact Information	- Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied, if known)	Total cost and job creation provided as requested	Yes	Total cost: \$8.5 million Jobs: 100 temporary construction jobs, 68 permanent jobs
Phasing	- All projects must be completed within two years of the issuance of any starting permit or phasing plan should be provided	One Phase	Yes	
Development/ Business Sign & Street Addressing	- Signage if proposed requires a permit. - The applicant should contact the Building Division for an address prior to applying for a building permit.	N/A	N/A	Contact Maureen Underhill at 248.735.5602 or munderhill@cityofnovi.org for more information.
Project & Street Naming Committee	Some projects may need approval from the Street & Project Naming Committee	None proposed – contact to see if required.	No	Contact Madeleine Daniels at 248.347.0579 or via email at mdaniels@cityofnovi.org
Parcel Split or Combination or Condominium Approval	Any parcel splits or combinations or condominium approvals must be completed before Stamping Set approval.	N/A	N/A	N/A

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4 and 5 of the zoning ordinance for further details
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

January 11, 2020

Engineering Review

Karim Blvd Surgery Center
JSP20-0036

Applicant

Karim Blvd RE Holdings, LLC

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: West side of Karim Boulevard between Ten Mile Road and Grand River Avenue
- Site Size: 3.00 acres
- Plan Date: 12/14/2020 revision
- Design Engineer: Nowak & Fraus Engineers

Project Summary

- Construction of an approximately 28,353 square-foot building and associated parking. Site access would be provided via two proposed entrances on Karim Boulevard.
- Water service would be provided by an 8-inch extension from the existing 12-inch water main along the east side of Karim Boulevard. A 2-inch domestic lead and a 4-inch fire lead would be provided to serve the building, along with four hydrants.
- Sanitary sewer service would be provided by a 6-inch lead to the existing 8-inch sanitary sewer along the west side of Karim Boulevard.
- Storm water would be collected by a single storm sewer collection system and discharged to two proposed on-site detention basins, with final discharge to the Karim Boulevard storm sewer system.

Recommendation

Approval of the Preliminary Site Plan is recommended, with items to be addressed at Final Site Plan submittal.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11 of the Code of Ordinances, the Storm Water Management Ordinance and the Engineering Design

Manual with the following exceptions, which can be addressed at Final Site Plan submittal:

General

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
2. **Only at the time of the printed Stamping Set submittal**, provide the City's standard detail sheets for water main (5 sheets), sanitary sewer (3 sheets), storm sewer (2 sheets), and paving (2 sheets). The most updated details can be found on the City's website at this location: <http://cityofnovi.org/Government/City-Services/Public-Services/Engineering-Division/Engineering-Standards-and-Construction-Details.aspx>
3. As noted on the plans, a right-of-way permit will be required from the City of Novi.
4. Provide a note that compacted sand backfill (MDOT sand Class II) shall be provided for all utilities within the influence of paved areas, and illustrate and label on the profiles.
5. In the utility quantities tables on sheet C6, show the quantities for storm sewer and sanitary sewer (water main is already shown).
6. The light pole proposed on the northeast landscape island in the water main easement will require a License Agreement
7. Provide a backflow prevention device on all irrigation systems. The backflow prevention device shall be an RPZ, or another approved device based on site conditions such as irrigation head heights (pop-ups), grade changes, berms etc. Installation of the backflow preventer shall be in such a manner as to not require blowing out the system through the backflow preventer. Drain ports and blow out ports shall be included. Please contact Kevin Roby in the Water and Sewer Division at 248-735-5640 with any questions.

Water Main

8. Show the assumed 20-foot-wide existing easement for the existing water main on the east side of Karim Boulevard to be tapped.
9. Revise the 4" fire lead and gate valve to 6".
10. Three sealed sets of utility plans were submitted with the Michigan Department of Environment, Great Lakes & Energy (EGLE) permit application and streamlined checklist for water main construction on December 23, 2020 and are currently under review.

The following comments were addressed during the water main permit review, but are reiterated here for the purpose of the Final Site Plan:

11. Provide a profile for all proposed water main 8-inch and larger, with lengths, materials, and diameters of pipes called out and matching plan view. Also, show sand backfill and label as MDOT Class II.
12. Label the lengths of the two 6-inch hydrant leads that are unlabeled.

13. Remove "Water Main" from the header of the Basis of Design table.

Sanitary Sewer

14. Provide a sanitary sewer monitoring manhole, unique to this site, within a dedicated access easement. Provide a 20-foot wide access easement to the monitoring manhole from the right-of-way (rather than a public sanitary sewer easement).
15. Revise the sanitary lead labels to reflect the quantities table and City standard of SDR 23.5 for leads.

Storm Sewer

16. Provide conveyance (pipe) calculations.
 - a. A minimum cover depth of 3 feet shall be maintained over all proposed storm sewer. Grades shall be elevated, and minimum pipe slopes shall be used to maximize the cover depth. In situations where the minimum cover cannot be achieved, Class V pipe must be used with an absolute minimum cover depth of 2 feet. An explanation shall be provided where the cover depth cannot be provided.
 - b. Provide a 0.1-foot drop in the downstream invert of all storm structures where a change in direction of 30 degrees or greater occurs.
 - c. Match the 0.80 diameter depth above invert for pipe size increases.
 - d. Storm manholes with differences in invert elevations exceeding two feet shall contain a 2-foot-deep plunge pool.
17. Provide profiles for all storm sewer 12-inch and larger.
18. Label all inlet storm structures on the profiles. Inlets are only permitted in paved areas and when followed by a catch basin within 50 feet.
19. Label the 10-year HGL on the storm sewer profiles and ensure the HGL remains at least 1-foot below the rim of each structure.
20. Illustrate all pipes intersecting storm structures on the storm profiles.
21. Provide a schedule listing the casting type, rim elevation, diameter, and invert sizes/elevations for each proposed, adjusted, or modified storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.
22. Show and label all roof conductors and show where they tie into the storm sewer.

Storm Water Management Plan

23. The Storm Water Management Plan (SWMP) for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the Engineering Design Manual.
24. Revise the proposed access easement from right-of-way to detention area from 12 feet to 15 feet wide. Also, extend the easement to each pond access path (in addition to the "leg" already shown for the pretreatment structure).

25. Provide a 5-foot wide stone bridge/access route allowing direct access to the standpipe from the bank of the basin during high-water conditions (i.e. stone 6-inches above high water elevation). Provide a detail and/or note as necessary.
26. Provide manufacturer's details and sizing calculations for the pretreatment structure on the plans. The treated flow rate should be based on the 1-year storm event intensity (~1.6 In/Hr). Higher flows shall be bypassed.
27. Provide release rate calculations for the three design storm events (first flush, bank full, 100-year).
28. Due to maintenance concerns, each restricting orifice in the control structure shall be a minimum of **1 square-inch in size**, even though this may result in a flow rate above that calculated.
29. The primary outlet standpipe shall be designed with a secondary outer pipe with numerous holes. The stone filter would rest against this outer pipe and would help protect the outlet standpipe from clogging.

Paving & Grading

30. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed.
31. There is existing sidewalk for the entirety of the Karim Boulevard frontage.
32. Revise the sidewalk cross section to indicate a maximum cross-slope of 2% / ¼" per foot.
33. Clarify whether detectable warning surface is proposed for the sidewalk ramps on the south and east sides of the building.
34. The sidewalk crossings through the drive approaches shall be striped through the approaches since they are proposed as asphalt.
35. The end islands shall conform to the City standard island design, or variations of the standard design, while still conforming to the standards as outlined in Section 2506 of Appendix A of the Zoning ordinance (i.e. 2' minor radius, 15' major radius, minimum 8' wide, 3' shorter than adjacent 19' stall).
36. Remove drainage structure boxout details in favor of the concrete collar detail on the City standard paving details sheets.
37. Call out the MDOT detail 'M' in plan view and reference the detail shown on sheet C5.
38. Building drawings for the proposed boulder retaining wall design and all associated calculations shall be signed and sealed by the design engineer responsible.

Soil Erosion and Sediment Control

39. A SESC permit is required. A full review has not been completed at this time. The review checklist detailing all SESC requirements is attached to this letter. Please address the comments below and submit a SESC permit application under separate cover. The application can be found on the City's website at <http://cityofnovi.org/Reference/Forms-and-Permits.aspx>.

The following must be submitted with the Final Site Plan:

40. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**
41. An itemized construction cost estimate must be submitted to the Community Development Department for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving (square yardage), right-of-way paving, grading, and the storm water basin (basin construction, control structure, pre-treatment structure and restoration).

The following must be submitted with the Stamping Set:

(Please note that all documents must be submitted together as a package with the Stamping Set submittal with a legal review transmittal form that can be found on the City's website. Partial submittals will not be accepted.)

42. A draft copy of the Storm Drainage Facility Maintenance Easement Agreement (SDFMEA), as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department. Once the agreement is approved by the City's Legal Counsel, this agreement will then be sent to City Council for approval/acceptance. The SDFMEA will then be recorded at the office of the Oakland County Register of Deeds. This document is available on our website.
43. A draft copy of the 20-foot wide easement for the water main to be constructed onsite must be submitted to the Community Development Department. This document is available on our website.
44. A draft copy of the 20-foot wide easement for the sanitary sewer monitoring manhole access to be constructed onsite must be submitted to the Community Development Department. This document is available on our website.

The following must be addressed prior to construction:

45. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430). **Be advised that scheduling the pre-construction meeting can take 2-4 weeks.**
46. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application required). No fee is required for this permit.

47. Material certifications must be submitted to Spalding DeDecker for review prior to the construction of any onsite utilities. Contact Ted Meadows at 248-844-5400 for more information.
48. Construction inspection fees in an amount to be determined must be paid to the Community Development Department.
49. Legal escrow fees in an amount to be determined must be deposited with the Community Development Department. **All unused escrow will be returned to the payee at the end of the project.** This amount includes engineering legal fees only. There may be additional legal fees for planning legal documents.
50. A storm water performance guarantee in an amount to be determined (equal to 120% of the cost required to complete the storm water management facilities) as specified in the Storm Water Management Ordinance must be posted at the Community Development Department.
51. Water and Sanitary Sewer Fees must be paid prior to the pre-construction meeting. Contact the Water & Sewer Division at 248-347-0498 to determine the amount of these fees.
52. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Community Development Department. Signs must be installed in accordance with MMUTCD standards.
53. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department, Building Division (248-347-0430) for forms and information. The financial guarantee and inspection fees will be determined during the SESC review.
54. A permit for all proposed work activities within the road right-of-way must be obtained from the City of Novi. This application is available from the City Engineering Division or on the City website and can be filed once the Final Site Plan has been submitted. Please contact the Engineering Division at 248-347-0454 for further information. Please submit the cover sheet, standard details and plan sheets applicable to the permit only.
55. The permit for water main construction (as aforementioned, already under review) must be obtained from EGLE.
56. Permits for the construction of each retaining wall exceeding 48 inches in height (measured from bottom of the footing to top of the wall), including the boulder retaining walls surrounding the detention basins, must be obtained from the Community Development Department (248-347-0415).

The following must be addressed prior to issuance of a Temporary Certificate of Occupancy (TCO) approval for the development:

57. The amount of the incomplete site work performance guarantee for any outstanding site improvement items (limited to top course of pavement and other minor items), is calculated at 1.2 times the amount required to complete the site improvements (as specified in the Performance Guarantee Ordinance).
58. All easements and agreements referenced above must be executed, notarized, and approved by the City Attorney and Engineering Division.
59. A Bill of Sale for the utilities conveying the improvements to the City of Novi must be submitted to the Community Development Department. This document is available on our website.
60. The City's consultant Engineer Spalding DeDecker will prepare the record drawings for this development. The record drawings will be prepared in accordance with Article XII, Design and Construction Standards, Chapter 11 of the Novi Code of Ordinances.
61. Submit to the Community Development Department, Waivers of Lien from any parties involved with the installation of each utility as well as a Sworn Statement listing those parties and stating that all labor and material expenses incurred in connection with the subject construction improvements have been paid.
62. Submit a Maintenance Bond to the Community Development Department in an amount to be determined (equal to 25 percent of the cost of the construction of the utilities to be accepted). This bond must be for a period of two years from the date that the Utility Acceptance Permit is issued by the City of Novi Engineering Division. This document is available on our website.
63. Submit an up-to-date Title Policy (dated within 90 days of City Council consideration of acceptance) for the purpose of verifying that the parties signing the Easement and Bill of Sale documents have the legal authority to do so. Please be sure that all parties of interest shown on the title policy (including mortgage holders) either sign the easement documents themselves or provide a Subordination Agreement. Please be aware that the title policy may indicate that additional documentation is necessary to complete the acceptance process.

Prior to preparing stamping sets, the Applicant is advised to provide any revised sheets directly to the Engineering Division for an informal review and approval.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Engineering Review of Preliminary Site Plan
Karim Blvd Surgery Center
JSP20-0036

01/11/2020
Page 8 of 8

Please contact Victor Boron at (248) 735-5695 with any questions.

A handwritten signature in black ink, appearing to read "Victor B Boron", with a horizontal line underneath.

Victor Boron
Project Engineer

cc: Christian Carroll, Community Development
Ben Croy, P.E., Engineering
Kate Richardson, Engineering

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

December 23, 2020

Karim Boulevard Surgery Center Preliminary Site Plan - Landscaping

Review Type

Preliminary Landscape Review

Job

JSP19-0036

Property Characteristics

- Site Location: 24301 Karim Boulevard
- Site Acreage: 18.47 ac.
- Site Zoning: OS-1
- Adjacent Zoning: North:NCC, East, South: OS-1, West: RM-1
- Plan Date: 12/17/2020

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Preliminary Site Plan submittal and underlined items need to be addressed on Final Site Plans. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying landscape chart are summaries and are not intended to substitute for any Ordinance.

Recommendation

This project is **recommended for approval for Preliminary Site Plan, assuming the required landscape waiver is granted by the Planning Commission.** The other minor revisions noted can be addressed on the Final Site Plans.

LANDSCAPE WAIVER REQUIRED BY PROPOSED PLAN

4.5 foot wall proposed as a buffer along the west property line in lieu of the required landscaped berm – *supported by staff as it is consistent with the wall on the property to the south, and additional landscaping around the detention pond will provide additional visual buffering.*

Ordinance Considerations

Existing and proposed overhead and underground utilities, including hydrants. (LDM 2.e.(4))
Provided

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. All of the existing trees but one is shown as being removed.
2. Four woodland replacements are proposed to be planted on the site as replacement for one regulated 42" dbh tree on the site that will be removed.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. The project is adjacent to residentially-zoned property to the west.
2. A 4.5 foot tall wall to match the wall on the property to the south is proposed instead of the required 4.5-6' tall landscaped berm. **This requires a landscape waiver, which would be supported by staff.**

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. The required berm is proposed between the entries, but not on the north and south ends of the frontage. **Please provide hedges for those areas to block the view of the parking bays in those areas.**
2. The required greenbelt landscaping is provided.

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

The required parking lot interior and perimeter parking lot trees are proposed.

Building foundation Landscaping (Zoning Sec 5.5.3.D)

The required building foundation landscaping is proposed.

Detention Basin Landscaping (LDM 3)

The required detention basin landscaping is proposed.

Plant List (LDM 4 and 9)

1. Provided
2. 14 of 24 species used (58%) are native to Michigan.
3. The tree diversity meets the standards of the Landscape Design Manual.

Planting Notations and Details (LDM)

Provided

Irrigation (LDM 1.a.(1)(e) and 2.s)

1. The proposed landscaping must be provided with sufficient water to become established and survive over the long term.
2. Please provide an irrigation plan or note how this will be accomplished if an irrigation plan is not provided on Final Site Plans.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader rmeader@cityofnovi.org.



Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART

Review Date: December 23, 2020
Project Name: JSP20 – 0036: Karim Blvd Surgery Center
Plan Date: December 17, 2020
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan.
Underlined items need to be addressed for Final Site Plan.

LANDSCAPE WAIVER REQUIRED BY PROPOSED PLAN

4.5 foot wall proposed as a buffer along the west property line in lieu of the required landscaped berm – supported by staff as it is consistent with the wall on the property to the south, and additional landscaping around the detention pond will provide additional visual buffering.

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements (LDM (2))				
Landscape Plan (Zoning Sec 5.5.2, LDM 2.e.)	<ul style="list-style-type: none"> ▪ New commercial or residential developments ▪ Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. ▪ 1"=20' minimum with proper North. Variations from this scale can be approved by LA ▪ Consistent with plans throughout set 	Scale: 1" = 30'	Yes	
Project Information (LDM 2.d.)	Name and Address	<ul style="list-style-type: none"> • Location map • Project name and address in title block 	Yes	
Owner/Developer Contact Information (LDM 2.a.)	Name, address and telephone number of the owner and developer or association	Yes	Yes	
Landscape Architect contact information (LDM 2.b.)	Name, Address and telephone number of RLA/PLA/LLA who created the plan	Yes	Yes	
Sealed by LA. (LDM 2.g.)	Requires original signature	Yes	Yes	<u>Live signature is required on printed stamping sets.</u>
Miss Dig Note (800) 482-7171 (LDM.3.a.(8))	Show on all plan sheets	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
Zoning (LDM 2.f.)	Include all adjacent zoning	Shown on C1 <u>Parcel:</u> OS-1 <u>North:</u> NCC <u>East, South:</u> OS-1 <u>West:</u> RM-1	Yes	
Survey information (LDM 2.c.)	<ul style="list-style-type: none"> ▪ Legal description or boundary line survey ▪ Existing topography 	Sheet C1	Yes	
Existing plant material Existing woodlands or wetlands (Section 37)	<ul style="list-style-type: none"> ▪ Show location type and size. Label to be saved or removed. ▪ Plan shall state if none exists. 	<ul style="list-style-type: none"> ▪ Sheet C1 ▪ Proposed removals on Sheets C3 and L1 ▪ Replacement calculations on L1 ▪ Tree chart on C1 ▪ Fencing protecting off-site trees is not sufficient 	<ul style="list-style-type: none"> ▪ Yes ▪ Yes ▪ Yes ▪ Yes ▪ No 	<u>Please extend the tree protection fencing along the north property line to protect all of the off-site trees.</u>
Soil types (LDM.2.r.)	<ul style="list-style-type: none"> ▪ As determined by Soils survey of Oakland county ▪ Show types, boundaries 	Listed on Sheet C1	Yes	
Existing and proposed improvements (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Yes	Yes	
Existing and proposed utilities (LDM 2.e.(4))	<ul style="list-style-type: none"> ▪ Overhead and underground utilities, including hydrants ▪ Trees must be located at least 10 feet from hydrants and utility structures such as catch basins and manholes. ▪ Trees should also be located 5 feet from underground utility lines. 	<ul style="list-style-type: none"> ▪ Overhead lines are shown along the west property line ▪ Utility layout allows all required trees to be planted. 	Yes	
Proposed grading. 2' contour minimum (LDM 2.e.(1))	Provide proposed contours at 2' interval	Proposed contours and spot elevations are provided on Sheet C4	Yes	
Snow deposit (LDM.2.q.)	Show snow deposit areas on plan	Yes	Yes	

LANDSCAPING REQUIREMENTS
Parking Area Landscape Requirements LDM 1.c. & Calculations (LDM 2.o.)

Item	Required	Proposed	Meets Code	Comments
General requirements (LDM 1.c)	<ul style="list-style-type: none"> Clear sight distance within parking islands No evergreen trees 	No shrubs or other blocking vegetation in parking areas	Yes	
Name, type and number of ground cover (LDM 1.c.(5))	As proposed on planting islands	Seed and sod are clearly labeled	Yes	
General (Zoning Sec 5.5.3.C.ii)				
Parking lot Islands (a, b. i)	<ul style="list-style-type: none"> A minimum of 200 SF to qualify A minimum of 200sf unpaved area per tree planted in an island 6" curbs Islands minimum width 10' BOC to BOC 	Yes	Yes	All parking lot islands with trees have sufficient area.
Curbs and Parking stall reduction (c)	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	Parking spaces adjacent to edge and 7' sidewalk are 17' long.	Yes	
Contiguous space limit (i)	Maximum of 15 contiguous spaces	15 is maximum bay length	Yes	
Plantings around Fire Hydrant (d)	No plantings with matured height greater than 12' within 10 ft. of fire hydrants	<ul style="list-style-type: none"> No new or existing plantings are shown too close to hydrants. The FDC is clear of blocking vegetation 	Yes	
Landscaped area (g)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes	Yes	
Clear Zones (LDM 2.3.(5))	25 ft corner clearance required. Refer to Zoning Section 5.5.9	Clear zone is provided.	Yes	
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use areas up to 50,000sf x 7.5%	<ul style="list-style-type: none"> $A = x \text{ sf} * 7.5\% = A \text{ sf}$ $50,000 * 7.5\% = 3750 \text{ sf}$ 		Yes	
B = Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 1 %	<ul style="list-style-type: none"> $B = x \text{ sf} * 1\% = B \text{ sf}$ $(53019 - 50000) * 1\% = 30 \text{ sf}$ 		Yes	

Item	Required	Proposed	Meets Code	Comments
Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)				
A. = Total square footage of vehicular use area up to 50,000 sf x 5%	$A = x \text{ sf} * 5\% = A \text{ sf}$	NA		
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5%	$B = 0.5\% \times 0 \text{ sf} = B \text{ SF}$	NA		
All Categories				
C = A+B Total square footage of landscaped islands	<ul style="list-style-type: none"> ▪ C = A + B ▪ 3750 + 30 = 3780 SF 	3971 sf	Yes	
D = C/200 Number of canopy trees required	<ul style="list-style-type: none"> ▪ D = xx/200 = xx trees ▪ D = 3780/200 = 19 trees 	19 trees	Yes	
Perimeter Green space	<ul style="list-style-type: none"> ▪ 1 Canopy tree per 35 lf ▪ 1154/35 = 33 trees 	36 trees including 6 double-counted greenbelt canopy trees	Yes	
Accessway perimeter	<ul style="list-style-type: none"> ▪ 1 canopy tree per 35 lf on each side of road, less widths of access drives. ▪ (xx lf)/35 = xx trees 	The entry perimeters were included in the overall parking lot calculation and sufficient trees are located along them	Yes	
Parking land banked	<ul style="list-style-type: none"> ▪ NA 	None		
Berms, Walls and ROW Planting Requirements				
Berms				
<ul style="list-style-type: none"> ▪ All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours ▪ Berm should be located on lot line except in conflict with utilities. ▪ Berms should be constructed with 6" of topsoil. 				
Residential Adjacent to Non-residential (Sec 5.5.3.A) & (LDM 1.a)				
Berm requirements (Zoning Sec 5.5.A)	Landscaped berm 4.5-6 feet high required along west property line	A 4.5 foot tall wall is proposed along the west property line in lieu of the required berm.	No	<ol style="list-style-type: none"> 1. A landscape waiver is requested for the wall. 2. Staff supports the waiver because the proposed wall height is the same as the wall on the property to the south. 3. The applicant should raise the height of the ground at the

Item	Required	Proposed	Meets Code	Comments
				wall as much as possible, as was done on the property to the south, to increase the effective height of the wall.
Planting requirements (LDM 1.a.)	LDM Novi Street Tree List	NA		
Cross-Section of Berms (LDM 2.j)				
Slope, height and width	<ul style="list-style-type: none"> ▪ Label contour lines ▪ Maximum 33% ▪ Min. 3 feet flat horizontal area ▪ Minimum 3 feet high ▪ Constructed of loam with 6' top layer of topsoil. 	A berm cross section detail that meets the city requirements is provided on Sheet L3	Yes	
Type of Ground Cover		Lawn seed is indicated	Yes	
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	There are no overhead lines along Karim Blvd.	NA	
Walls (LDM 2.k & Zoning Sec 5.5.3.vi)				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	<ul style="list-style-type: none"> ▪ The landscape plan notes that the border wall shall match the existing wall on the property to the south. ▪ The landscape plan also notes that a detail for the boulder walls in the detention basin are on the Civil detail plans, but no such detail exists. 	<ul style="list-style-type: none"> ▪ TBD ▪ No 	<u>Please provide construction details for both walls, including all materials and colors. The border wall must be brick faced masonry on both sides of the wall.</u>
Walls greater than 3 ½ ft. should be designed and sealed by an Engineer		No details provided		<u>As the border wall will be 4.5 feet tall, an engineer must create the drawings for that wall.</u>
ROW Landscape Screening Requirements (Sec 5.5.3.B. ii)				
Greenbelt width (2)(3) (5)	Parking: 20 ft. No Pkg: 25 ft	20 ft min.	Yes	

Item	Required	Proposed	Meets Code	Comments
Min. berm crest width	2 ft	2 ft	Yes	
Minimum berm height (9)	3 ft	3 ft in the areas where the height is possible.	Yes	<u>Since a berm couldn't be provided to block the northern and southern bays of parking, please hedges for those spaces.</u>
3' wall	(4)(7)	No		
Canopy deciduous or large evergreen trees Notes (1) (10)	<ul style="list-style-type: none"> ▪ Parking: 1 tree per 35 lf ▪ $xx/35 = x$ trees ▪ $(307-50)/35 = 7$ trees 	7 trees	Yes	
Sub-canopy deciduous trees Notes (2)(10)	<ul style="list-style-type: none"> ▪ Parking: 1 tree per 20 lf ▪ $xx/20 = x$ trees ▪ $(307-50)/20 = 13$ trees 	13 trees	Yes	
Canopy deciduous trees in area between sidewalk and curb (Novi Street Tree List)	<ul style="list-style-type: none"> ▪ Parking & No Parking: 1 tree per 35 lf ▪ $(307-192)/35 = 4$ trees 	4 trees	Yes	
Non-Residential Zoning Sec 5.5.3.E.iii & LDM 1.d (2)				
Refer to Planting in ROW, building foundation landscape, parking lot landscaping and LDM				
Interior Street to Industrial subdivision (LDM 1.d.(2))	<ul style="list-style-type: none"> ▪ 1 canopy deciduous or 1 large evergreen per 35 l.f. along ROW ▪ No evergreen trees closer than 20 ft. ▪ 3 sub canopy trees per 40 l.f. of total linear frontage ▪ Plant massing for 25% of ROW 	NA		
Screening of outdoor storage, loading/unloading (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)		Loading zone is screened from the west by the wall and parking lot trees.	Yes	
Transformers/Utility boxes (LDM 1.e from 1 through 5)	<ul style="list-style-type: none"> ▪ A minimum of 2ft. separation between box and the plants ▪ Ground cover below 4" is allowed up to pad. ▪ No plant materials within 8 ft. from the doors 	<ul style="list-style-type: none"> ▪ Transformer is indicated at the southwest corner of the building with acceptable screening. ▪ Screening detail is provided. 	Yes	
Building Foundation Landscape Requirements (Sec 5.5.3.D)				
Interior site landscaping SF	<ul style="list-style-type: none"> ▪ Equals to entire perimeter of the building x 8 with a minimum width of 4 ft. ▪ A: $x \text{ lf} \times 8\text{ft} = x \text{ SF}$ 	<ul style="list-style-type: none"> ▪ 4930 sf ▪ Shaded areas in inset indicate that required area is provided 	Yes	

Item	Required	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> A = (650-59)*8 = 4726sf 			
<i>Zoning Sec 5.5.3.D.ii. All items from (b) to (e)</i>	If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space	86% of Karim Blvd frontage is landscaped	Yes	
Detention/Retention Basin Requirements (LDM 3)				
Planting requirements (Sec. 5.5.3.E.iv)	<ul style="list-style-type: none"> Clusters of large native shrubs shall cover 70-75% of the basin rim area 10" to 14" tall grass along sides of basin Refer to wetland for basin mix Trees around east, south and west sides of basins at 1/35lf 	<ul style="list-style-type: none"> It appears that at least 70% of the basin rims will be landscaped with large native shrubs. Trees are provided around the basins as required. 	Yes	<ol style="list-style-type: none"> If desired, the 4 TDs on the south side of the southern detention pond can be changed to OV or NS and used as the woodland replacements, since the parking lot perimeter trees are close enough in that area to shade the northern basin. This would reduce the number of trees required on the site by 4. If that change is made, please use a tree with a larger canopy to replace the NS in that area to increase the shading for the pond.
Phragmites Control (Sec 5.5.6.C)	<ul style="list-style-type: none"> Any and all populations of Phragmites australis on site shall be included on tree survey. Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site. 	A note on L2 says that none was found on the site, but if any is found it will be removed.	Yes	
LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS				
Landscape Notes – Utilize City of Novi Standard Notes				
Installation date (LDM 2.I. & Zoning Sec 5.5.5.B)	Provide intended date	Spring 2023-Nov 15	Yes	
Maintenance & Statement of intent (LDM 2.m & Zoning	<ul style="list-style-type: none"> Include statement of intent to install and guarantee all 	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
Sec 5.5.6)	materials for 2 years. ■ Include a minimum one cultivation in June, July and August for the 2-year warranty period.			
Plant source (LDM 2.n & LDM 3.a.(2))	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
Irrigation plan (LDM 2.s.)	A fully automatic irrigation system or an alternate method of providing sufficient water for plant establishment and survival is required on Final Site Plans.	A note indicates that an irrigation system will be provided for the site.	Yes	1. <u>Please add irrigation plan or information as to how plants will be watered sufficiently for establishment and long- term survival on the Final Site Plans.</u> 2. <u>If xeriscaping is used, please provide information about plantings included.</u>
Other information (LDM 2.u)	Required by Planning Commission	NA		
Establishment period (Zoning Sec 5.5.6.B)	2 yr. Guarantee	Yes	Yes	
Approval of substitutions. (Zoning Sec 5.5.5.E)	City must approve any substitutions in writing prior to installation.	Yes	Yes	
Plant List (LDM 4. 9) – Include all cost estimates				
Quantities and sizes	Refer to LDM suggested plant list	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names		■ 14 of 24 species used (58%) are native to Michigan ■ Tree diversity meets the requirements of LDM Section 4	■ Yes ■ Yes	
Type and amount of lawn		Seed and Sod	Yes	
Cost estimate (LDM 2.t)		For all new plantings, mulch and sod as listed on the plan	Provided	Yes
Planting Details/Info (LDM 2.i) – Utilize City of Novi Standard Details				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
Multi-stem Tree		Yes	Yes	
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	Yes	Yes	
Other Plant Material Requirements (LDM 3)				
General Conditions (LDM 3.a)	Plant materials shall not be planted within 4 ft. of property line	Yes	Yes	
Plant Materials & Existing Plant Material (LDM 3.b)	Clearly show trees to be removed and trees to be saved.	Yes	Yes	
Landscape tree credit (LDM3.b.(d))	Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM	No		
Plant Sizes for ROW, Woodland replacement and others (LDM 3.c)	2.5" canopy trees 6' evergreen trees	On plant list		
Plant size credit (LDM3.c.(2))	NA	No		
Prohibited Plants (LDM 3.d)	No plants on City Invasive Species List	None are used	Yes	
Recommended trees for planting under overhead utilities (LDM 3.e)	Label the distance from the overhead utilities	Narrow cultivar of bald cypress is used and is accepted	Yes	
Collected or Transplanted trees (LDM 3.f)		No		
Nonliving Durable Material: Mulch (LDM 4)	<ul style="list-style-type: none"> ▪ Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth ▪ Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate. 	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> ▪ Refer to section for additional information 			

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

TRAFFIC REVIEW



AECOM
 27777 Franklin Road
 Southfield
 MI, 48034
 USA
 aecom.com

Project name:
 JSP20-36 – Karim Blvd Surgery Center
 Preliminary Site Plan Traffic Review

To:
 Barbara McBeth, AICP
 City of Novi
 45175 10 Mile Road
 Novi, Michigan 48375

From:
 AECOM

Date:
 January 13, 2021

CC:
 Lindsay Bell, Madeleine Kopko, Kate Richardson,
 Victor Boron, Christian Carroll

Memo

Subject: JSP20-36 – Karim Blvd Surgery Center Preliminary Site Plan Traffic Review

The preliminary site plan was reviewed to the level of detail provided and AECOM **approval** for the applicant to move forward with the comments provided below are adequately addressed to the satisfaction of the City.

GENERAL COMMENTS

1. The applicant, Supply Line International Real Estate Holdings LLC, is proposing a 28,353 SF building consisting of 16,941 SF surgery center and 11,412 SF general office space.
2. The development is located on the west side of Karim Blvd, between Grand River Ave and 10 Mile Road. Karim Blvd is under the jurisdiction of the City of Novi.
3. The site is currently zoned OS-1 (Office Service).
4. The following traffic-related waivers/variances may apply to this development:
 - a. Parking setback if spaces are not adjusted.
 - b. Possible opposite side driveway spacing if not adjusted.
 - c. Bicycle clear path width if not adjusted.
 - d. End island radius and length if not adjusted.

TRAFFIC IMPACTS

1. AECOM performed an initial trip generation based on the ITE Trip Generation Manual, 10th Edition, as follows.

ITE Code: – 610 (Hospital) and 710 (General Office Building)
 Development-specific Quantity: 16,941 SF (610) and 11,412 SF (710)
 Zoning Change: N/A

	Estimated Trips	Estimated Peak-Direction Trips	City of Novi Threshold	Above Threshold?
AM Peak-Hour Trips	15 + 37 = 52	10 + 32 = 42	100	No
PM Peak-Hour Trips	16 + 14 = 30	11 + 12 = 23	100	No
Daily (One-Directional) Trips	182 + 129 = 311	N/A	750	No

- The City of Novi generally requires a traffic impact study/statement if the number of trips generated by the proposed development exceeds the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour, or if the project meets other specified criteria.

Trip Impact Study Recommendation	
Type of Study:	Justification
None	-

TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City's Code of Ordinances. Items marked with ZO are listed in the City's Zoning Ordinance. Items marked with ADA are listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices.

The values in the 'Compliance' column read as 'met' for plan provision meeting the standard it refers to, 'not met' stands for provision not meeting the standard and 'inconclusive' indicates applicant to provide data or information for review and 'NA' stands for not applicable for subject Project. The 'remarks' column covers any comments reviewer has and/or 'requested/required variance' and 'potential variance'. A potential variance indicates a variance that will be required if modifications are not made or further information provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
1	Driveway Radii O Figure IX.1	25'	Met	Within range, nonstandard.
2	Driveway Width O Figure IX.1	25'	Met	Within range, nonstandard.
3	Driveway Taper O Figure IX.11			
3a	Taper length	N/A	-	
3b	Tangent	N/A	-	
4	Emergency Access O 11-194.a.19	Multiple access points	Met	
5	Driveway sight distance O Figure VIII-E	360'	Met	
6	Driveway spacing			
6a	Same-side O 11.216.d.1.d	269'	Met	
6b	Opposite side O 11.216.d.1.e	27' and 242'	Inconclusive	27' spacing nearly directly across. Reduce to width of driveway as offset for no waiver.
7	External coordination (Road agency)	N/A	-	
8	External Sidewalk Master Plan & EDM	N/A	-	There is existing sidewalk along Karim Blvd for the full length of the proposed development.
9	Sidewalk Ramps EDM 7.4 & R-28-J	At driveways	Met	

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
10	Any Other Comments:			

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
11	Loading zone ZO 5.4	40'x17' in rear	Met	Applicant could consider providing more separation from nearest parking spaces.
12	Trash receptacle ZO 5.4.4	In rear	Met	Applicant should provide truck turning paths to show access.
13	Emergency Vehicle Access	Radii given	Met	
14	Maneuvering Lane ZO 5.3.2	24'	Met	
15	End islands ZO 5.3.12			
15a	Adjacent to a travel way	3.37' to 3.41' shorter than adjacent space. Variable radii (8' to 15')	Not met	Required to be 3' shorter than the adjacent parking space. Curb height for landscaped areas not including a parking overhang should be 6". There are instances where the 15' standard radius is not met.
15b	Internal to parking bays	Flush with spaces	Met	
16	Parking spaces ZO 5.2.12	Setback indicated	Not met	Northside of the development the parking overhang is less than 10' from the side.
17	Adjacent parking spaces ZO 5.5.3.C.ii.i	<15 spaces	Met	
18	Parking space length ZO 5.3.2	17' at curb, 19' without	Met	
19	Parking space Width ZO 5.3.2	9'	Met	
20	Parking space front curb height ZO 5.3.2	4"	Met	
21	Accessible parking – number ADA	7 spaces	Not met	Hospital out-patient should be 10% accessible spaces. 8 spaces for surgery and 3 for office area, for a total of 11 required. Applicant should ensure the 8 surgery spaces have good access to the patient entry and patient discharge areas (north and east side rather than east and south side).
22	Accessible parking – size ADA	Meets or exceeds requirements	Met	
23	Number of Van-accessible space ADA	5 spaces	Met	
24	Bicycle parking			

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
24a	Requirement ZO 5.16.1	3 Provided	Met	
24b	Location ZO 5.16.1	Appears <120' from door	Met	
24c	Clear path from Street ZO 5.16.1	5' in some areas	Not Met	6' clear path required. Widen short sidewalk section to 8' to account for overhang. Note that just the area from bicycle parking to a ramp must be widened.
24d	Height of rack ZO 5.16.5.B	3'	Met	
24e	Other (Covered / Layout) ZO 5.16.1	N/A	-	-
25	Sidewalk – min 5' wide Master Plan	5' plus 2' overhang	Met	
26	Sidewalk ramps EDM 7.4 & R-28-J	Indicated	Met	
27	Sidewalk – distance back of curb EDM 7.4	Abutting curb	Met	Allowable for commercial.
28	Cul-De-Sac O Figure VIII-F	N/A	-	-
29	EyeBrow O Figure VIII-G	N/A		
30	Minor/Major Drives ZO 5.10	N/A	-	-
31	Any Other Comments:			

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
32	Signing: Sizes MMUTCD	Included	Met	
33	Signing table: quantities and sizes	Included	Met	
34	Signs 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post MMUTCD	Included	Met	
35	Signs greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post MMUTCD	Included	Met	
36	Sign bottom height of 7' from final grade MMUTCD	Included	Met	
37	Signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign MMUTCD	Included	Met	
38	FHWA Standard Alphabet series used for all sign language MMUTCD	Included	Met	
39	High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity MMUTCD	Included	Met	
40	Parking space striping notes	Included	Met	

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
41	The international symbol for accessibility pavement markings ADA	Included	Met	
42	Crosswalk pavement marking detail	N/A	-	
43	Any Other Comments:	The applicant should consider coordinating with the City of Novi to ensure that speed limit signs are placed on Karim Blvd.		

Note: Hyperlinks to the standards and Ordinances are for reference purposes only, the applicant and City of Novi to ensure referring to the latest standards and Ordinances in their entirety.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Patricia Thompson, EIT
Traffic Engineer



Paula K. Johnson, PE
Senior Transportation Engineer



Saumil Shah, PMP
Project Manager

FACADE REVIEW



January 11, 2021

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375- 3024

Façade Review Status Summary:
Approved, Full Compliance
(Dumpster material to be revised)

Re: **FACADE ORDINANCE REVIEW**
Karim Blvd. Surgery Center, JSP20-36
 Façade Region: 2, Zoning District: NCC

Dear Ms. McBeth;

The following Façade Review is based on the drawings prepared by AJ Design, dated 12/17/20. The percentages of materials proposed for each façade are as shown on the table below. The maximum (and minimum) percentages listed in the Schedule Regulating Façade Materials of Ordinance Section 5.15 are shown in the right hand column. Materials in non-compliance with the Façade Schedule, if any, are highlighted in bold.

Façade Region 2	East (Front)	West	North	South	Façade Ordinance Maximum (Maximum)
Brick	52%	86%	56%	72%	100%
GFRC Panels	40%	9%	40%	18%	50%
Cast Stone	8%	5%	4%	10%	75%

As shown above the proposed building design is in full compliance with the Façade Ordinance. A Section 9 Waiver is not required for this project. The dumpster enclosure indicated on Sheer C5 indicates poured concrete with simulated brick pattern. This material (painted concrete) is not permitted by the Façade Ordinance. It is recommended that the dumpster detail be revised to indicate “utility brick to match the primary building.”

Notes to the Applicant:

1. All roof top equipment must be screened from view from all vantage points both on and off site using raised parapets of independent roof mounted screens. The screens must be constructed of materials compliant with the Façade Chart.
2. Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board will be compared to materials delivered to the site. It is the applicant's responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department's Online Inspection Portal with the following link. Please click on "Click here to Request an Inspection" under "Contractors", then click "Façade".

<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

If you have any questions regarding this project, please do not hesitate to call.

Sincerely,
DRN & Associates, Architects PC

A handwritten signature in black ink, appearing to read "Douglas R. Necci". The signature is fluid and cursive, written over the printed name below.

Douglas R. Necci, AIA

WETLAND & WOODLAND REVIEW



PLAN REVIEW CENTER REPORT
January 12, 2021
Karim Boulevard Surgery Center
Preliminary Site Plan – Wetlands & Woodlands

Review Type

Preliminary Wetlands & Woodlands Review

Job #

JSP19-0036

Property Characteristics

- Site Location: 24301 Karim Boulevard
- Site Acreage: 18.47 ac.
- Plan Date: 12/17/2020

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection and Chapter 12, Article V, Wetlands and Watercourse Protection. Items in **bold** below must be addressed and incorporated as part of the revised Preliminary Site Plan submittal and underlined items need to be addressed on Final Site Plans. This review is a summary and is not intended to substitute for any Ordinance.

Recommendation

This project is **recommended for approval for Preliminary Site Plan**, assuming the applicant promises to make the revisions and additions noted below are incorporated into the Final Site Plans.

Regulated Wetlands:

ECT reviewed the pre-application plan, Novi aerial photos, Novi GIS, and the City of Novi Official Wetlands and Woodlands Maps. As a result of these analyses, it does not appear as if the proposed project site contains City-Regulated Wetlands.

Regulated Woodlands and Regulated Trees:

1. ECT also reviewed the pre-application plan, Novi aerial photos, Novi GIS, and the City of Novi Official Wetlands and Woodlands Maps for regulated woodlands. As a result of these analyses, it does not appear as if the proposed project site contains City-Regulated Woodlands.
2. The tree survey does indicate that there is a regulated tree on the property that will be removed, a 42" dbh elm. All but one tree on the property will also be removed, but they are not of a regulated size.
3. Per the provisions of Section 37-8, the regulated tree to be removed must be replaced with four (4) replacement credits. The plan indicates that four (4) 3" caliper replacement trees, *Ostrya virginiana*, will be planted on the site, on the east side of the northern detention pond.
4. A Woodland Replacement Performance financial guarantee for the planting of on-site replacement trees will be required. This financial guarantee will be based on the number of on-site woodland replacement trees (credits) being provided at a per tree value of \$400. Currently, this Woodland Replacement Performance Guarantee would be \$1,600 (4 Woodland Replacement Credits Required x \$400/Credit) for the on-site Woodland Replacements proposed.

5. Based on a successful inspection of the installed on-site Woodland Replacement trees, the Woodland Replacement financial guarantee will be returned to the Applicant. A Woodland Maintenance financial guarantee in the amount of twenty-five percent (25%) of the original Woodland Replacement financial guarantee will then be provided by the applicant. This Woodland Maintenance financial guarantee will be kept for a period of 2-years after the successful inspection of the on-site woodland replacement tree installation. It should be noted however that the minimum Woodland Maintenance Guarantee amount is \$1,000.
6. The Applicant will be required to pay the City of Novi Tree Fund at a value of \$400/credit for any Woodland Replacement Tree Credits that cannot be placed on-site.
7. Per Section 37-8(h), *"The Applicant shall provide preservation/conservation easements as directed by the City of Novi Community Development Department for any areas of woodland replacement trees to be installed in a currently non-regulated woodland area. The applicant shall demonstrate that all proposed woodland replacement trees will be guaranteed to be preserved as planted with a conservation easement or landscape easement to be granted to the City. This language shall be submitted to the City Attorney for review. The executed easement must be returned to the City Attorney within 60 days of the issuance of the City of Novi Woodland permit. These easement areas shall be indicated on the Plan."* Please show the easement boundaries on the landscape plan.
8. Per Section 37-9, *"Woodland areas shall be separated from construction areas by the installation of "barrier" fencing either of plastic or wood slat materials, a copy of the fence detail is available from the parks, recreation and forestry department or the community development department. These materials shall be attached to five-foot "T" poles spaced at five-foot intervals and shall have a tree protection sign affixed to the fence every fifty (50) feet in such a manner to be clearly visible to workers near the site. This barrier shall be installed at the critical root zone (CRZ) perimeter of the onsite trees to be protected prior to initiating project construction. Should it not be possible to place the protection fencing at the CRZ of a regulated tree due to practical hardship, the applicant may provide replacement value for the tree into the city tree fund. The applicant may also choose to allow the tree in question to remain at his or her option. Accurate critical root zones must be depicted on the site plan for all regulated trees within fifty (50) feet of proposed grading or construction activities."*
9. **Please extend the fencing to protect all trees to remain on and off the site within the bounds stated above. The fence staking shall be inspected and approved by the City of Novi prior to any removals.**

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader@cityofnovi.org.



Rick Meader – Landscape Architect

FIRE REVIEW



December 23, 2020

TO: Barbara McBeth- City Planner
Lindsay Bell-Plan Review Center
Christian Carroll-Plan Review Center
Madeleine Kopko-Planning Assistant

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
Dave Staudt

Andrew Mutch

Laura Marie Casey

Kelly Breen

Hugh Crawford

Justin Fischer

City Manager
Peter E. Auger

Director of Public Safety
Chief of Police
David E. Molloy

Fire Chief
Jeffery R. Johnson

Assistant Chief of Police
Erick W. Zinser

Assistant Chief of Police
Scott R. Baetens

Assistant Fire Chief
John B. Martin

RE: Karim Blvd Surgery Center

PSP# 20-0094

Project Description:

Build a one story medical building.

Comments:

1. **All** fire hydrants **MUST** be installed and operational prior to any combustible material is brought on site. **IFC 2015 3312.1**
2. **CORRECTED 12/23/20** - **MUST** add a fire hydrant to the southwest corner of the structure
3. **CORRECTED 12/23/20** - Hydrants shall be spaced approximately three hundred (300) feet apart online in commercial, industrial, and multiple-residential areas. In cases where the buildings within developments are fully fire suppressed, hydrants shall be no more than five hundred (500) feet apart. The spacing of hydrants around commercial and/or industrial developments shall be considered as individual cases where special circumstances exist upon consultation with the fire chief. **(D.C.S. Sec. 11-68 (f)(1)c)**
4. A hazardous chemical survey is required to be submitted to the Planning & Community Development Department for distribution to the Fire Department at the time any Preliminary Site Plan is submitted for review and approval. Definitions of chemical types can be obtained from the Fire Department at (248) 735-5674.
5. The ability to serve at least two thousand (2,000) gallons per minute in single-family detached residential; three thousand (3,000) gallons per school areas; and at least four thousand (4,000) gallons per minute in office, industrial and shopping centers is essential. **(D.C.S. Sec.11-68(a))**
6. **CORRECTED 12/22/20** - Fire apparatus access drives to and from buildings through parking lots shall have a minimum fifty (50) feet outside turning radius and designed to support

Novi Public Safety Administration
45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

a minimum of thirty-five (35) tons. (D.C.S. Sec 11-239(b)(5))

7. A 6" minimum fire lead is required to building for fire suppression sprinkler system. Plans show a 4" on page C6 being used.

Recommendation:

APPROVED WITH CONDITIONS at this time, until all items above can be addressed. When item #7 is addressed that should correct #5.

Sincerely,

A handwritten signature in black ink that reads "Andrew Copeland". The signature is written in a cursive style with a large, looping initial 'A'.

Andrew Copeland – Acting Fire Marshal
City of Novi Fire Department

APPLICANT RESPONSE LETTER



January 20, 2021

Ms. Barbara McBeth
City Planner
City of Novi
45175 Ten Mile Road
Novi, MI 48375

Re: Proposed Karim Blvd.
Surgery Center & Office Building
Parcel #050-022-024-476-031
24301 Karim Blvd, Novi, 48375

Dear Ms. McBeth:

This letter is provided on behalf of Karim Blvd RE Holdings, LLC in response to the City of Novi's Plan Review Report dated January 13, 2021 ("Review Report") with respect to the surgery center and office building proposed for development on the above site.

Accompanying this Letter is a copy of the Review Report, containing our review responses. A revised set of plans responding to the Review Report will be included with our Final Site Plan package, which we will submit as soon as possible following Preliminary Site Plan approval.

In addition, accompanying this Letter is a color render copy of our Site Plan. Façade material samples will be delivered to the City of Novi.

As part of our approval process, will be seeking variances and/or waivers for the following matters:

1. **Parking Setback:** When a setback line was included on our plan along the South boundary it was determined parking spaces did not encroach into 10' setback. We do respectfully request a variance for those parking spaces along the North property line where the required 2' overhang for spaces with a 4" curb encroach into the minimum 10' setback. After reviewing our plan to explore alternatives, we determined the plan could not be modified without diminishing the adjacent drives, sidewalks and landscaped areas below safe or acceptable standards.

In further support of our request, we would note the parking spaces along the North property line face the rear side of the adjacent building on the Grand Oaks Centre development to the North. In addition, the setback area along our North Property Line will be heavily landscaped in accordance with our Landscape Plan.

Ms. Barbara McBeth

January 20, 2021

Page 2

2. **Screen Wall in Lieu of Berm:** We seek a variance and/or waiver for our proposed use of a 4.5' screen wall along the western boarder of our property, in lieu of a berm. In order to meet landscaping, parking and stormwater detention requirements (now planned for a 100-year event), there was simply not enough room to fit a berm. We created similar spacing to a berm by locating our stormwater detention along our western border. In addition, our 4.5' screen wall along with heavy adjacent landscaping provide the same screening a berm would otherwise provide. Further, our proposed 4.5' wall is consistent with the screen wall on the office building site to the immediate south.

3. **Opposite Side Driveway Spacing:** We also seek a variance with respect to spacing requirements in relation to the driveway on the opposite side of Karim Blvd. Alternative configurations for our North drive were explored which entailed moving the entry point of the drive South to provide greater spacing. However, it was determined that such a reconfiguration of the of the drive would result in an awkward and unsafe traffic patten on our site. Similarly, we determined reducing the width of our drive would do little to provide spacing in relation to the opposite drive but would reduce the safe traffic and pedestrian movement provided by our drive as planned.

In further support for our request, we would note there is a relatively low volume of traffic on Karim Blvd. In addition, we would be willing to install speed limit signs in front of our site along Karim Blvd. as an additional safety precaution.

We look forward to discussing our project with you further at our upcoming Preliminary Site Plan Meeting on January 27. If you have any questions or comments in the meantime, I can be reached at:

Cell Phone: (248) 752-0270

Email: trumantimmis@timmisgroup.com

Thank you in advance for your help.

Sincerely,

TIMMIS GROUP, LTD.

Truman D. Timmis
Owner's Representative for
Supply Line International Real Estate Holdings, LLC

CC: Josh Kaplan
Ari Berris



PLAN REVIEW CENTER REPORT

Planning Review

KARIM BLVD SURGERY CENTER

JSP 20-36

January 13, 2021

PETITIONER

Karim Blvd RE Holdings, LLC

REVIEW TYPE

Preliminary Site Plan

PROPERTY CHARACTERISTICS

Section	24	
Site Location	West of Karim Blvd, South of Grand River Ave; 22-24-476-031	
Site School	Novi Community School District	
Site Zoning	OS-1 Office Service District	
Adjoining Zoning	North	NCC Non-Center Commercial
	East	OS-1 Office Service District; B-3 General Business
	West	RM-1 Low Density, Low Rise, Multiple-Family
	South	OS-1 Office Service District
Current Site Use	Vacant	
Adjoining Uses	North	Commercial
	East	Office/Commercial
	West	Multiple-Family Residential
	South	Office
Site Size	3 acres	
Plan Date	December 17, 2020	

PROJECT SUMMARY

The applicant is proposing to construct a one-story, 16,941 square foot surgery center, with a two-story 11,412 square foot office for general office use. The surgery center is planned for use by orthopedic surgeons, physical medicine & rehab specialists, and pain management specialists. The surgery center will be a multispecialty surgery center with planned procedures mostly focused on out-patient orthopedic surgery and pain management procedures. Any planned procedures will consist of same-day outpatient procedures in morning/early afternoon and be discharged by the end of standards business hours (5 pm). The site is south of Grand River Avenue and west of Karim Boulevard, and is zoned OS-1: Office Service District. The Future Land Use map indicates Community Office for the entirety of the property.

RECOMMENDATION

Approval of the Preliminary Site Plan is recommended by staff. The plan mostly conforms to the requirements of the Zoning Ordinance, with any deviations noted below. All reviewers recommend approval of the Preliminary Site Plan. Please address these items as part of a Revised Preliminary Site Plan submittal. **Planning Commission approval of the Preliminary Site Plan, Stormwater Management Plan, and Woodland Use Permit will be required.** **Understood and we will provide the requested information.**

ORDINANCE REQUIREMENTS

This project was reviewed for compliance with the Zoning Ordinance, with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other areas of the ordinance, as noted. The plans show general compliance with ordinance requirements. Please address the items in **bold** with the next submittal.

1. Building Setbacks (Section 3.1.21.D): **Provide dimension(s) from the portion of the building closest to the property line, which appears to be the canopy on the north and east property lines to verify compliance.** **The requested dimensioning will be provided. We are in compliance.**
2. Parking Setbacks (Section 3.1.21): The required 2 foot overhang for spaces with 4 inch curbing is included in the required minimum parking setback. The proposed parking spaces along the north property line encroach into the minimum 10 foot setback. A few of the proposed spaces along the south property line also encroach into the minimum 10 foot setback. **It is suggested that two spaces along the south property line be removed to fall into compliance. A dimensional variance of the spaces along the north property line would be supported by staff if the setback cannot be met with additional revisions. Revise as necessary with the next submittal.**
A setback line is not shown in the plans on the south side. We will provide that information and review if there is an overhang issue.
3. Modification of Parking Setback Requirements (Section 3.6.2.Q): The Planning Commission may approve parking setback waivers for this project as the sum total of the current proposed setbacks is greater than the minimum required for the site. **A variance will be sought for parking spaces on the North side of the site.**
4. End Islands (Section 5.3.12): While dimensions have now been provided for end islands, it appears that some end islands do not comply with the general dimensions as required by Section 5.3.12 of the Zoning Ordinance. **Revise the dimensions of any end islands out of compliance to fall into compliance with the Zoning Ordinance.** **So noted and the revisions to the dimensions will be made.**
5. Barrier Free Spaces (Barrier Free Code): After the use of the structure was clarified by the applicant, a more accurate determination of the required parking was able to be completed. Hospital out-patient facilities require 10% of the required spaces to be barrier free spaces and the additional office area follows the typical ADA chart requirements. 8 barrier free spaces are required for the surgery center and 3 barrier free spaces are required for the office use for a total of 11 barrier free spaces required. Only 7 barrier free spaces have been provided with most of the spaces adjacent to the office entrance. **Provide 11 barrier free spaces, preferably with 8 spaces in front of the surgery center and 3 spaces in front of the office use, to fall into compliance with the barrier free requirement for the site.** **We will review and make the requested changes.**
6. Bicycle Parking Facilities (Section 5.16): A 6 foot clear path to the bicycle parking facility from the sidewalk system/street is required. Currently, only a 5 foot clear path is provided (7 foot path with 2 foot overhang for parking). **Widen walkway from 7 feet to 8 feet to fall into compliance.**
So noted and the requested change will be made.
7. Dumpster Enclosure (Section 21-145 (c), Code of Ordinances): **Painted concrete is not a permitted material. It is recommended that the dumpster detail be revised to indicate "utility brick to match the primary building."** See Façade Review for additional comments.
Applicant proposes to use C-Brick masonry units for the dumpster enclosure. The same masonry units are proposed for the screen wall along the western boarder of the site. Samples will be delivered to the City of Novi, and product literature is included with this response.

8. Rooftop Equipment (Section 4.19.2.E.ii): **Indicate whether any rooftop equipment is proposed and how it will be screened if proposed. Indicate the height of any rooftop equipment if proposed.** See Façade Review for additional comments. **The rooftop HVAC units will be located on the building. The final size and location of rooftop units is TBD. Rooftop units will be screened and located to comply with height limitations.**
9. Pedestrian Connectivity (Non-Motorized Facilities): **Connect the exit near the southwest portion of the building to the sidewalk system.** **So noted and the connection will be made.**
10. Photometric Plan (Section 5.7): Review the comments below and revise accordingly.

Revised photometric plans and cut-off angle information will be provided with our final site plan submission.

- a. Average Light Levels (Section 5.7.3.E): Based on the provided plan, the average light levels appear to slightly exceed the 4:1 ratio required (4.04:1 indicated). **Revise as necessary to fall into compliance.** **The lighting plan has been revised to meet the 4:1 ratio.**

- b. Minimum Illumination (Section 5.7.3.K): Appears to comply. **Provide the minimum illumination near the building entrances/adjacent to the building to verify compliance.**

Building mounted and canopy lighting fixtures have been added, and associated lighting calculations show the required illumination level is met at the entrances.

- c. Cut-off Angles (Section 5.7.3.L): **Provide the cut-off angles of the lights near the residential district to verify compliance (or indicate with a note on the plans).** **Photometric reports for site lighting are provided with this submission. Cut-off angles are shown on the last page of the reports.**

11. Woodland Permit: A Woodland Use Permit is required for the proposed removal of one tree that is over 36 inches diameter-at-breast-height (DBH). Refer to the Landscape Review for comments on this moving forward.

12. Project & Street Naming Committee: **A project name may be required for this project. Please contact Madeleine Daniels in the Planning Division at 248-347-0579 or mdaniels@cityofnovi.org to find out more information.** **The working title for the project is the Karim Blvd. Surgery Center & Office Building.** **A project name request form has been obtain, and a name will be submitted in time for the February committee meeting.**

13. Opposite Side Driveway Spacing (Section 11-216(d)(1)e., Code of Ordinances): **Provide dimensions of spacing.** Refer to Traffic & Engineering Reviews for additional comments. **If a variance is sought, please indicate as such in the response letter.** **We have reviewed the location of our North drive and have determined there is not a practical way to relocate the drive without compromising on site traffic circulation. A variance will be sought.**

14. Planning Chart: Please refer to the attached Planning Chart for additional comments to address in the Revised Preliminary and/or Final Site Plan submittal.

OTHER REVIEWS

- a. Engineering Review: Engineering is recommending approval of the Preliminary Site Plan with conditions to be addressed as part of the Final Site Plan Submittal.
- b. Landscape Review: Landscape is recommending approval of the Preliminary Site Plan with comments to be addressed in the Final Site Plan submittal.
- c. Traffic Review: Traffic is recommending approval of the Preliminary Site Plan with comments to be addressed in the Final Site Plan Submittal.
- d. Façade Review: Façade is recommending approval of the Preliminary Site Plan with comments to be addressed in the Final Site Plan Submittal.
- e. Woodland Review: Woodland is recommending approval of the Preliminary Site Plan with comments to be addressed in the Final Site Plan submittal.
- f. Fire Review: Fire is recommending approval of the Preliminary Site Plan with comments to be addressed in the Final Site Plan Submittal.

NEXT STEP: PLANNING COMMISSION MEETING

This Site Plan will be tentatively scheduled to go before the **Planning Commission on January 27, 2021** as a Public Hearing. Please provide the following via email by **January 20, 2021**:

1. Site Plan submittal in PDF format (maximum of 10MB). **NO CHANGES MADE.**

2. A response letter addressing ALL the comments from ALL the review letters and a request for waivers/variances as you see fit.
3. A color rendering of the Site Plan (optional, to be used for Planning Commission presentation).
4. A sample board of building materials as required by our Façade Consultant.

FINAL SITE PLAN SUBMITTAL

After receiving Planning Commission's approval of the Preliminary Site Plan, please follow the [Final Site Plan Checklist](#) and submit for approval:

1. **Seven** copies of Final Site Plan sets (24" x 36", folded) addressing ALL comments from Preliminary Site Plan Review.
2. Response letter addressing ALL comments from ALL review letters and **refer to sheet numbers where the change is reflected.**
3. [Final Site Plan Application](#)
4. [No Revision Façade Affidavit](#) (if no façade changes have been made)
5. An itemized engineering cost estimate including sanitary sewer, watermain, storm sewer, paving and grading costs, size 8.5" x 11" (The cost estimate should not include soil erosion or demolition costs.)
6. An itemized landscaping cost estimate including greenbelt and greenbelt ornamental trees, perennials, pond plantings, shrubs, edging, mulch, seed mix and seeded lawn, size 8.5" x 11" (The cost estimate should not include woodland trees, replacement trees or mitigation.)
7. Recommended, but not required: A [Soil Erosion Permit Application](#)

ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER

After receiving Final Site Plan approval, plans addressing the comments in all the staff and consultant review letters should be submitted electronically for informal review and approval prior to printing Stamping Sets. A letter from either the applicant or the applicant's representative addressing comments in this and other review letters and associated charts is to be submitted with the electronic stamping set. This letter should address all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

If required, drafts for all legal documents with a legal transmittal are to be submitted along with stamping sets.

STAMPING SET APPROVAL

Stamping sets will be required for this project. After having received all the review letters from City staff the applicant should make the appropriate changes on the plans and submit **12 size 24" x 36" copies with original signature and original seals on the cover sheet (subsequent pages may use electronic seal with signature)**, to the Community Development Department for final Stamping Set approval.

PRE-CONSTRUCTION MEETING

A Pre-Construction meeting is required for this project. Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled, so it is suggested you contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] once the Final Site Plan has been approved to begin the Pre-Con checklist. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah.

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or ccarroll@cityofnovi.org.

A handwritten signature in blue ink that reads "Christian Carroll". The signature is written in a cursive style with a blue highlight behind the name.

Christian Carroll, Planner



PLANNING REVIEW CHART: OS-1, Office Service

Review Date: January 13, 2021
Review Type: Preliminary Site Plan Review
Project Name: JSP 20-36 Karim Blvd Surgery Center
 West of Karim Blvd, South of Grand River
Plan Date: December 17, 2020
Prepared by: Christian Carroll, Planner
E-mail: ccarroll@cityofnovi.org **Phone:** (248) 735-5607

Items in **Bold** need to be addressed by the applicant with next submittal. Underlined items require Planning Commission approval. *Italicized* items are to be noted.

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan <i>(adopted July 26, 2017)</i>	Community Office	No change		
Zoning <i>(Effective January 8, 2015)</i>	OS-1, Office Service	No change		
Uses Permitted <i>(Sec 3.1.21.B & C)</i>	Uses permitted listed in Section 3.1.21.B & C	Surgery Center & general office uses	Yes	Principle permitted uses
Height, Bulk, Density, and Area Limitations (Sec. 3.1.21.D)				
Frontage on a Public Street <i>(Sec. 5.12)</i>	Frontage on a Public Street is required	The site has frontage and access to Karim Blvd	Yes	
Access to a Major Thoroughfare <i>(Sec. 5.13)</i>	Vehicular access shall be provided only to an existing or planned major thoroughfare or freeway service drive OR access driveway on other street type is not across street from existing or planned single-family uses	Driveway onto Karim Blvd	Yes	
Building Height <i>(Sec. 3.1.21.D)</i>	30 ft.	29 ft 8 in	Yes	Will rooftop equipment exceed 30 ft?
Building Setbacks (Sec. 3.1.21.D) OS-1 District				
Front (east)	20 ft.	~100 ft Dimensions will be provided	Yes	Provide dimension from portion of the building closest to the property line, which appears to be the canopy.
Side (north)	15 ft.	81.5 ft Dimensions will be provided	Yes	Provide dimension from portion of the building closest to the property line, which appears to be the canopy.
Side (south)	15 ft.	81.8 ft	Yes	
Rear (west)	20 ft.	88.2 ft	Yes	
Parking Setbacks (Sec. 3.1.21) Refer to applicable notes in Sec. 3.6.2				

Item	Required Code	Proposed	Meets Code	Comments
Front (east)	Front (east): 20 ft.	21 ft	Yes	
Side (north)	10 ft.	10.86 ft (8.86 ft with overhang)	No	Does not comply, 2' overhang encroaches - waiver supported by staff if this cannot be met with additional revisions.
Side (south)	10 ft.	We will review. We believe a line was turned off. ~ 10 ft (~ 8 ft with overhang) Information will be provided.	No	Does not comply, 2' overhang encroaches - waiver not supported by staff (it is suggested to remove 2 spaces to fall into compliance).
Rear (west)	10 ft.	~ 40 ft	Yes	
Note to District Standards (Sec. 3.6.2)				
Exterior Side Yard Abutting a Street (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to front yard.		NA	
Lot Coverage (Sec. 3.6.2.D)	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space requirements as set forth in this Ordinance.		NA	
Off-Street Parking in Front Yard (Sec 3.6.2.E)	Off-street parking shall be permitted in the front yard, except that said parking shall observe the minimum off-street parking setback requirements in the Development Standards of Sec. 3.1 and Sec. 5.5.3 of this ordinance.	Complies	Yes	
Residential Setback (Sec. 3.6.2.L)	Wherever property directly abuts or is adjacent to residentially zoned	Complies	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	property, the minimum yard setback shall be twenty (20) feet.			
Wetland/Watercourse Setback (Sec 3.6.2.M)	A setback of 25ft from wetlands and from high watermark course shall be maintained		NA	
Parking setback screening (Sec 3.6.2.P)	Required parking setback area shall be landscaped per Sec. 5.5.3.	Provided	Yes	<i>See Landscape review for comments</i>
Modification of parking setback requirements (Sec 3.6.2.Q)	The Planning Commission may modify parking setback requirements based on conditions listed in Sec. 3.6.2.Q	Parking setbacks conform to the minimum required	Yes	<u>The Planning Commission may approve parking setback waivers for this project.</u>
OS-1 District Required Conditions (Sec. 3.17)				
Interior Display (Sec. 3.17.1)	No interior display shall be visible from the exterior of the building.	Not proposed	Yes	
Outdoor Storage (Sec. 3.17.2)	The outdoor storage of goods or materials shall be prohibited.	Not proposed	Yes	
Warehousing (Sec. 3.17.3)	Warehousing or indoor storage of goods or material, beyond that normally incident to the permitted uses, shall be prohibited.	Not proposed	Yes	
Parking, Loading, Dumpster, and Other Equipment Requirements				
Number of Parking Spaces (Sec. 5.2.12.D)	Professional offices of doctors, dentists, veterinarian or similar professions; outpatient clinics: 1 space for each 175 sf GLA for buildings greater than 5,000 sf 1,808 sf + 10,291 sf = 12,099 sf / 175 sf = 69 spaces required Storage:	131 spaces provided; 127 spaces required.	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	<p>1 space for each 700 sf, 4,482 sf / 700 sf = 7 spaces required</p> <p>General Office:</p> <p>1 space for each 222 sf GLA (under 100,000 sf)</p> <p>5,301 sf + 6,111 sf = 11,412 sf / 222 = 51 spaces required</p> <p>Total required: 127 spaces</p>			
<p>Parking Space & Maneuvering Lane Dimensions (Sec. 5.3.2)</p>	<p>90° spaces: 9 ft. x 19 ft. parking spaces with 24 ft. drives</p> <p>9 ft. x 17 ft. parking spaces along 7 ft. interior sidewalks, provided a 4 in. curb at these locations & along landscaping</p>	<p>Appears to comply</p>	<p>Yes</p>	
<p>Parking stall located adjacent to a parking lot entrance (public or private) (Sec. 5.3.13)</p>	<p>Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer</p>	<p>Appears to comply</p>	<p>Yes</p>	
<p>End Islands (Sec. 5.3.12)</p>	<ul style="list-style-type: none"> - End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 ft. wide, have an outside radius of 15 ft., and be constructed 3 ft. shorter than the adjacent parking stall 	<p>Does not comply</p> <p style="color: red;">We will review and make revisions as needed/required.</p>	<p>No</p>	<p>Some end islands do not meet the required dimensions. Revise, as necessary.</p>

Item	Required Code	Proposed	Meets Code	Comments
Barrier Free Spaces (Barrier Free Code)	Hospital out-patient (10% accessible): 8 for surgery center, 3 for office area = 11 spaces required	<i>We will review and make revisions as needed</i> 7 spaces provided including 2 van accessible spaces	No	Include additional spaces to fall into compliance.
Barrier Free Space Dimensions (Barrier Free Code)	8 ft. wide with 5 ft. wide access aisle for standard accessible; 8 ft. wide with 8 ft. wide access aisle for van accessible	Provided	Yes	
Barrier Free Signs (Barrier Free Design Graphics Manual)	1 barrier free sign per space	Signage provided	Yes	See Traffic comments.
Minimum Number of Bicycle Parking (Sec. 5.16.1)	One (1) space for each twenty (20) employees on the maximum shift, minimum two (2) spaces = 3 spaces	3 spaces provided	Yes	
Bicycle Parking Facilities (Sec. 5.16)	<ul style="list-style-type: none"> - Located along principal building entrance approach, clearly visible - No farther than 120 ft. from the entrance being served - When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations - Spaces to be paved and the bike rack shall be inverted "U" design min. of 36" tall - Shall be accessible via 6 ft. paved access from street 	<p>Complies</p> <p>Complies</p> <p>Complies</p> <p>Complies</p> <p>Does not comply</p>	No	<p><i>Noted and will make revisions sidewalk will be widened from 7' to 8'</i></p> <p>Widen walkway from 7' to 8' to fall into compliance (6' clear path, with 2' overhang for vehicles).</p>
Bicycle Parking Lot layout (Sec 5.16.5.A)	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft.	Layout shown	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	double			
Loading Spaces (Sec. 5.4.1)	Loading space shall be provided in the rear yard or in the case of a double frontage lot, in the interior side yard, in the ratio of five (5) square feet per front foot of building up to a total area of three-hundred sixty (360) square feet per building.	91 ft + 53 ft = 144 ft of frontage = 360 sf loading zone required 680 sf loading zone provided	Yes	
Dumpster (Sec 4.19.2.F)	<ul style="list-style-type: none"> - Located in rear yard - Attached to the building or no closer than 10 ft. from building if not attached - Not located in parking setback - If no setback, then it cannot be any closer than 10 ft. from property line. - Away from Barrier free Spaces 	Complies	Yes	
Dumpster Enclosure (Sec. 21-145. (c) Chapter 21 City Code of Ordinances)	<ul style="list-style-type: none"> - Screened from public view - A wall or fence 1 ft. higher than height of refuse bin - And no less than 5 ft. on three sides - Posts or bumpers to protect the screening - Hard surface pad - Screening Materials: Masonry, wood or evergreen shrubbery 	Does not comply C-Brick masonry units are proposed for the dumpster enclosure. The same masonry units are proposed for the screen wall.	No	Painted concrete is not permitted. It is recommended that the dumpster detail be revised to indicate "utility brick to match the primary building." See Façade Review for additional comments.
Roof top equipment and wall mounted utility equipment (Sec. 4.19.2.E.ii)	All roof top equipment must be screened, and all wall mounted utility equipment must be enclosed and	Rooftop units will comply with height requirements and will be screened in compliance with applicable requirements. Complies?	Yes?	Indicate whether any rooftop equipment is proposed and how it will be screened. Provide height of rooftop equipment. See Façade

Item	Required Code	Proposed	Meets Code	Comments
	integrated into the design and color of the building			Review for additional comments.
Roof top appurtenances screening	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road or adjacent property.	Complies?	Yes?	
Transformer/ Generator	- Provide location of any proposed transformers/ generators etc.	Complies – one proposed	Yes	
Non-Motorized Facilities				
ARTICLE XI. OFF-ROAD NON-MOTORIZED FACILITIES Sec. 11-256. Requirement. (c) & Sub. Ord. Sec. 4.05	<ul style="list-style-type: none"> - In the case of new streets and roadways to be constructed as part of the project, a sidewalk shall be provided on both sides of the proposed street or roadway. - Sidewalks along arterials and collectors shall be 6 feet or 8 feet wide as designated by the "Bicycle and Pedestrian Plan," but not along industrial service streets per Subdivision Ordinance. - Whereas sidewalks along local streets and private roadways shall be five (5) feet wide. 	<p>N/A</p> <p>5 ft sidewalk required along Karim Blvd</p> <p>N/A</p>	<p>Yes</p>	<p>Existing sidewalk along Karim Blvd</p>
Pedestrian Connectivity	- Whether the traffic circulation features within the site and parking areas are designed to assure safety and convenience of	Sidewalks are existing/proposed throughout the site	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	both vehicular and pedestrian traffic both within the site and in relation to access streets - Building exits must be connected to sidewalk system or parking lot.	Exits shown – not all exits appear to be connected to the sidewalk system	No	Connection will be made. Connect exit near southwest portion of the building to the sidewalk system.
Lighting and Photometric Plan (Sec. 5.7)				
Intent (Sec. 5.7.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky	A lighting and photometric plan is provided	Yes	
Lighting Plan (Sec. 5.7.A.i)	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures	Provided	Yes	
Building Lighting (Sec. 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.	Not applicable	NA	
Lighting Plan (Sec.5.7.A.2.ii)	Specifications for all proposed & existing lighting fixtures	Provided	Yes	
	Photometric data	Provided	Yes	
	Fixture height	Provided	Yes	
	Mounting & design	Provided	Yes	
	Glare control devices (Also see Sec. 5.7.3.D)	Provided	Yes	
	Type & color rendition of lamps	Provided	Yes	
	Hours of operation	Provided	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties	Provided	Yes	
Maximum Height (Sec. 5.7.3.A)	Height not to exceed maximum height of zoning district (or 25 ft. where adjacent to residential districts or uses	Provided – 20 ft.	Yes	
Standard Notes (Sec. 5.7.3.B)	<ul style="list-style-type: none"> - Electrical service to light fixtures shall be placed underground - Flashing light shall not be permitted - Only necessary lighting for security purposes & limited operations shall be permitted after a site's hours of operation 	Provided	Yes	
Security Lighting (Sec. 5.7.3.H) Lighting for security purposes shall be directed only onto the area to be secured.	<ul style="list-style-type: none"> - All fixtures shall be located, shielded and aimed at the areas to be secured. - Fixtures mounted on the building and designed to illuminate the facade are preferred 	Provided	Yes	
Average Light Levels (Sec. 5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1	4.04:1 <i>The plan has been revised to meet the 4:1 ratio.</i>	No	Appears to slightly exceed amount based on calculation provided.
Type of Lamps (Sec. 5.7.3.F)	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps	Provided	Yes	
Min. Illumination (Sec. 5.7.3.K)	Parking areas: 0.2 min	Provided	Yes	Provide minimum lumens near
	Loading & unloading	Provided	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	areas: 0.4 min			entrances/next to building. <i>Building mounted and canopy lighting fixtures have been added, and the associated lighting calculation shows lighting requirement is met.</i>
	Walkways: 0.2 min	Provided	Yes	
	Building entrances, frequent use: 1.0 min	Provided	Yes	
	Building entrances, infrequent use: 0.2 min	Provided	Yes	
Max. Illumination adjacent to Non-Residential (Sec. 5.7.3.K)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	Provided	Yes	
Cut-off Angles (Sec. 5.7.3.L)	When adjacent to residential districts: - All cut off angles of fixtures must be 90° - maximum illumination at the property line shall not exceed 0.5 foot candle - No direct light source shall be visible at the property line (adjacent to residential) at ground level	Appears to comply	Yes?	<i>Photometric reports for site lighting are provided with this submission. Cut-off angles are shown on the last page of the reports.</i> Provide cut-off angles of lights near residential to verify compliance (note on plans).
Building Code and Other Requirements				
Woodlands (City Code Ch. 37)	Replacement of removed trees	Woodland Permit Required for 1 Tree over 36" DBH, see Landscape Review. <i>It is understood a woodland permit will be issued in conjunction with site plan / landscaping plan approval.</i>		
Wetlands (City Code Ch. 12, Art. V)	Mitigation of removed wetlands at ratio of 1.5:1 emergent wetland, 2:1 for forested wetlands	No wetlands on site		
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building	Provided	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).			
Economic Impact Information	- Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied, if known)	Total cost and job creation provided as requested	Yes	Total cost: \$8.5 million Jobs: 100 temporary construction jobs, 68 permanent jobs
Phasing	- All projects must be completed within two years of the issuance of any starting permit or phasing plan should be provided	One Phase	Yes	
Development/ Business Sign & Street Addressing	- Signage if proposed requires a permit. - The applicant should contact the Building Division for an address prior to applying for a building permit.	N/A	N/A	Contact Maureen Underhill at 248.735.5602 or munderhill@cityofnovi.org for more information.
Project & Street Naming Committee	Some projects may need approval from the Street & Project Naming Committee	A name will be applied for in time for None proposed – contact to see if required. the February Committee meeting.	No	Contact Madeleine Daniels at 248.347.0579 or via email at mdaniels@cityofnovi.org
Parcel Split or Combination or Condominium Approval	Any parcel splits or combinations or condominium approvals must be completed before Stamping Set approval.	N/A	N/A	N/A

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4 and 5 of the zoning ordinance for further details
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.



PLAN REVIEW CENTER REPORT

January 11, 2020

Engineering Review
Karim Blvd Surgery Center
JSP20-0036

Applicant

Karim Blvd RE Holdings, LLC

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: West side of Karim Boulevard between Ten Mile Road and Grand River Avenue
- Site Size: 3.00 acres
- Plan Date: 12/14/2020 revision
- Design Engineer: Nowak & Fraus Engineers

Project Summary

- Construction of an approximately 28,353 square-foot building and associated parking. Site access would be provided via two proposed entrances on Karim Boulevard.
- Water service would be provided by an 8-inch extension from the existing 12-inch water main along the east side of Karim Boulevard. A 2-inch domestic lead and a 4-inch fire lead would be provided to serve the building, along with four hydrants.
- Sanitary sewer service would be provided by a 6-inch lead to the existing 8-inch sanitary sewer along the west side of Karim Boulevard.
- Storm water would be collected by a single storm sewer collection system and discharged to two proposed on-site detention basins, with final discharge to the Karim Boulevard storm sewer system.

Recommendation

Approval of the Preliminary Site Plan is recommended, with items to be addressed at Final Site Plan submittal. Noted, items will be addressed at the Final Site Plan submittal.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11 of the Code of Ordinances, the Storm Water Management Ordinance and the Engineering Design

Manual with the following exceptions, which can be addressed at Final Site Plan submittal:

General All items have been reviewed. Information requested is information that is provided for final site plan and stamping sets. The information requested will be provided.

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
2. **Only at the time of the printed Stamping Set submittal**, provide the City's standard detail sheets for water main (5 sheets), sanitary sewer (3 sheets), storm sewer (2 sheets), and paving (2 sheets). The most updated details can be found on the City's website at this location: <http://cityofnovi.org/Government/City-Services/Public-Services/Engineering-Division/Engineering-Standards-and-Construction-Details.aspx>
3. As noted on the plans, a right-of-way permit will be required from the City of Novi.
4. Provide a note that compacted sand backfill (MDOT sand Class II) shall be provided for all utilities within the influence of paved areas, and illustrate and label on the profiles.
5. In the utility quantities tables on sheet C6, show the quantities for storm sewer and sanitary sewer (water main is already shown).
6. The light pole proposed on the northeast landscape island in the water main easement will require a License Agreement
7. Provide a backflow prevention device on all irrigation systems. The backflow prevention device shall be an RPZ, or another approved device based on site conditions such as irrigation head heights (pop-ups), grade changes, berms etc. Installation of the backflow preventer shall be in such a manner as to not require blowing out the system through the backflow preventer. Drain ports and blow out ports shall be included. Please contact Kevin Roby in the Water and Sewer Division at 248-735-5640 with any questions.

Water Main

8. Show the assumed 20-foot-wide existing easement for the existing water main on the east side of Karim Boulevard to be tapped.
9. Revise the 4" fire lead and gate valve to 6".
10. Three sealed sets of utility plans were submitted with the Michigan Department of Environment, Great Lakes & Energy (EGLE) permit application and streamlined checklist for water main construction on December 23, 2020 and are currently under review.

The following comments were addressed during the water main permit review, but are reiterated here for the purpose of the Final Site Plan:

11. Provide a profile for all proposed water main 8-inch and larger, with lengths, materials, and diameters of pipes called out and matching plan view. Also, show sand backfill and label as MDOT Class II.
12. Label the lengths of the two 6-inch hydrant leads that are unlabeled.

13. Remove "Water Main" from the header of the Basis of Design table.

Sanitary Sewer

14. Provide a sanitary sewer monitoring manhole, unique to this site, within a dedicated access easement. Provide a 20-foot wide access easement to the monitoring manhole from the right-of-way (rather than a public sanitary sewer easement).
15. Revise the sanitary lead labels to reflect the quantities table and City standard of SDR 23.5 for leads.

Storm Sewer

16. Provide conveyance (pipe) calculations.
 - a. A minimum cover depth of 3 feet shall be maintained over all proposed storm sewer. Grades shall be elevated, and minimum pipe slopes shall be used to maximize the cover depth. In situations where the minimum cover cannot be achieved, Class V pipe must be used with an absolute minimum cover depth of 2 feet. An explanation shall be provided where the cover depth cannot be provided.
 - b. Provide a 0.1-foot drop in the downstream invert of all storm structures where a change in direction of 30 degrees or greater occurs.
 - c. Match the 0.80 diameter depth above invert for pipe size increases.
 - d. Storm manholes with differences in invert elevations exceeding two feet shall contain a 2-foot-deep plunge pool.
17. Provide profiles for all storm sewer 12-inch and larger.
18. Label all inlet storm structures on the profiles. Inlets are only permitted in paved areas and when followed by a catch basin within 50 feet.
19. Label the 10-year HGL on the storm sewer profiles and ensure the HGL remains at least 1-foot below the rim of each structure.
20. Illustrate all pipes intersecting storm structures on the storm profiles.
21. Provide a schedule listing the casting type, rim elevation, diameter, and invert sizes/elevations for each proposed, adjusted, or modified storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.
22. Show and label all roof conductors and show where they tie into the storm sewer.

Storm Water Management Plan

23. The Storm Water Management Plan (SWMP) for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the Engineering Design Manual.
24. Revise the proposed access easement from right-of-way to detention area from 12 feet to 15 feet wide. Also, extend the easement to each pond access path (in addition to the "leg" already shown for the pretreatment structure).

25. Provide a 5-foot wide stone bridge/access route allowing direct access to the standpipe from the bank of the basin during high-water conditions (i.e. stone 6-inches above high water elevation). Provide a detail and/or note as necessary.
26. Provide manufacturer's details and sizing calculations for the pretreatment structure on the plans. The treated flow rate should be based on the 1-year storm event intensity (~1.6 In/Hr). Higher flows shall be bypassed.
27. Provide release rate calculations for the three design storm events (first flush, bank full, 100-year).
28. Due to maintenance concerns, each restricting orifice in the control structure shall be a minimum of **1 square-inch in size**, even though this may result in a flow rate above that calculated.
29. The primary outlet standpipe shall be designed with a secondary outer pipe with numerous holes. The stone filter would rest against this outer pipe and would help protect the outlet standpipe from clogging.

Paving & Grading

30. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed.
31. There is existing sidewalk for the entirety of the Karim Boulevard frontage.
32. Revise the sidewalk cross section to indicate a maximum cross-slope of 2% / ¼" per foot.
33. Clarify whether detectable warning surface is proposed for the sidewalk ramps on the south and east sides of the building.
34. The sidewalk crossings through the drive approaches shall be striped through the approaches since they are proposed as asphalt.
35. The end islands shall conform to the City standard island design, or variations of the standard design, while still conforming to the standards as outlined in Section 2506 of Appendix A of the Zoning ordinance (i.e. 2' minor radius, 15' major radius, minimum 8' wide, 3' shorter than adjacent 19' stall).
36. Remove drainage structure boxout details in favor of the concrete collar detail on the City standard paving details sheets.
37. Call out the MDOT detail 'M' in plan view and reference the detail shown on sheet C5.
38. Building drawings for the proposed boulder retaining wall design and all associated calculations shall be signed and sealed by the design engineer responsible.

Soil Erosion and Sediment Control

39. A SESC permit is required. A full review has not been completed at this time. The review checklist detailing all SESC requirements is attached to this letter. Please address the comments below and submit a SESC permit application under separate cover. The application can be found on the City's website at <http://cityofnovi.org/Reference/Forms-and-Permits.aspx>.

The following must be submitted with the Final Site Plan:

40. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**
41. An itemized construction cost estimate must be submitted to the Community Development Department for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving (square yardage), right-of-way paving, grading, and the storm water basin (basin construction, control structure, pre-treatment structure and restoration).

The following must be submitted with the Stamping Set:

(Please note that all documents must be submitted together as a package with the Stamping Set submittal with a legal review transmittal form that can be found on the City's website. Partial submittals will not be accepted.)

42. A draft copy of the Storm Drainage Facility Maintenance Easement Agreement (SDFMEA), as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department. Once the agreement is approved by the City's Legal Counsel, this agreement will then be sent to City Council for approval/acceptance. The SDFMEA will then be recorded at the office of the Oakland County Register of Deeds. This document is available on our website.
43. A draft copy of the 20-foot wide easement for the water main to be constructed onsite must be submitted to the Community Development Department. This document is available on our website.
44. A draft copy of the 20-foot wide easement for the sanitary sewer monitoring manhole access to be constructed onsite must be submitted to the Community Development Department. This document is available on our website.

The following must be addressed prior to construction:

45. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430). **Be advised that scheduling the pre-construction meeting can take 2-4 weeks.**
46. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application required). No fee is required for this permit.

47. Material certifications must be submitted to Spalding DeDecker for review prior to the construction of any onsite utilities. Contact Ted Meadows at 248-844-5400 for more information.
48. Construction inspection fees in an amount to be determined must be paid to the Community Development Department.
49. Legal escrow fees in an amount to be determined must be deposited with the Community Development Department. **All unused escrow will be returned to the payee at the end of the project.** This amount includes engineering legal fees only. There may be additional legal fees for planning legal documents.
50. A storm water performance guarantee in an amount to be determined (equal to 120% of the cost required to complete the storm water management facilities) as specified in the Storm Water Management Ordinance must be posted at the Community Development Department.
51. Water and Sanitary Sewer Fees must be paid prior to the pre-construction meeting. Contact the Water & Sewer Division at 248-347-0498 to determine the amount of these fees.
52. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Community Development Department. Signs must be installed in accordance with MMUTCD standards.
53. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department, Building Division (248-347-0430) for forms and information. The financial guarantee and inspection fees will be determined during the SESC review.
54. A permit for all proposed work activities within the road right-of-way must be obtained from the City of Novi. This application is available from the City Engineering Division or on the City website and can be filed once the Final Site Plan has been submitted. Please contact the Engineering Division at 248-347-0454 for further information. Please submit the cover sheet, standard details and plan sheets applicable to the permit only.
55. The permit for water main construction (as aforementioned, already under review) must be obtained from EGLE.
56. Permits for the construction of each retaining wall exceeding 48 inches in height (measured from bottom of the footing to top of the wall), including the boulder retaining walls surrounding the detention basins, must be obtained from the Community Development Department (248-347-0415).

The following must be addressed prior to issuance of a Temporary Certificate of Occupancy (TCO) approval for the development:

57. The amount of the incomplete site work performance guarantee for any outstanding site improvement items (limited to top course of pavement and other minor items), is calculated at 1.2 times the amount required to complete the site improvements (as specified in the Performance Guarantee Ordinance).
58. All easements and agreements referenced above must be executed, notarized, and approved by the City Attorney and Engineering Division.
59. A Bill of Sale for the utilities conveying the improvements to the City of Novi must be submitted to the Community Development Department. This document is available on our website.
60. The City's consultant Engineer Spalding DeDecker will prepare the record drawings for this development. The record drawings will be prepared in accordance with Article XII, Design and Construction Standards, Chapter 11 of the Novi Code of Ordinances.
61. Submit to the Community Development Department, Waivers of Lien from any parties involved with the installation of each utility as well as a Sworn Statement listing those parties and stating that all labor and material expenses incurred in connection with the subject construction improvements have been paid.
62. Submit a Maintenance Bond to the Community Development Department in an amount to be determined (equal to 25 percent of the cost of the construction of the utilities to be accepted). This bond must be for a period of two years from the date that the Utility Acceptance Permit is issued by the City of Novi Engineering Division. This document is available on our website.
63. Submit an up-to-date Title Policy (dated within 90 days of City Council consideration of acceptance) for the purpose of verifying that the parties signing the Easement and Bill of Sale documents have the legal authority to do so. Please be sure that all parties of interest shown on the title policy (including mortgage holders) either sign the easement documents themselves or provide a Subordination Agreement. Please be aware that the title policy may indicate that additional documentation is necessary to complete the acceptance process.

Prior to preparing stamping sets, the Applicant is advised to provide any revised sheets directly to the Engineering Division for an informal review and approval.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Engineering Review of Preliminary Site Plan
Karim Blvd Surgery Center
JSP20-0036

01/11/2020
Page 8 of 8

Please contact Victor Boron at (248) 735-5695 with any questions.

A handwritten signature in black ink that reads "Victor Boron". The signature is fluid and cursive, with a long horizontal flourish extending to the right.

Victor Boron
Project Engineer

cc: Christian Carroll, Community Development
Ben Croy, P.E., Engineering
Kate Richardson, Engineering



CITY OF NOVI ENGINEERING DIVISION SOIL EROSION AND SEDIMENTATION CONTROL PLAN CHECKLIST

PROJECT: _____ SESC Application #: SE -

Contact Name: _____ DATE COMPLETED: _____

Phone Number: _____ DATE OF PLAN: _____

Fax Number: _____ **STATUS:**

General Requirements – Following the initial Soil Erosion and Sedimentation Control permit application to the Community Development Department, all SESC plan revisions shall be submitted directly to the Engineering Department for further review and/or permit approval. One (1) copy of revised soil erosion plans, including response letter addressing the comments below, shall be submitted for each subsequent review until the plan has been given approval by the Engineering Department, at which point five (5) copies will be required for permit approval. Plans shall be signed and sealed, and the bond must be submitted to the Treasurer’s Office prior to permit issuance.

ITEM NO.	ITEM	Provided on Plans	COMMENTS
1.	Plan shall be at scale of not more than 1" = 200', include legal description, location, proximity to lakes, streams or wetlands, slopes, etc.	<input type="checkbox"/>	
2.	Plan shall include a soil survey or a written description of soil types of the exposed land area.	<input type="checkbox"/>	
3.	Plan shall show the limits of earth disruption.	<input type="checkbox"/>	
4.	Plan shall show tree protection fencing and location of trees to be protected.	<input type="checkbox"/>	
5.	Plan shall show all existing and proposed on-site drainage and dewatering facilities (i.e. structure details, rim elev., etc.)	<input type="checkbox"/>	
6.	Detailed sequence of construction shall be provided on plans structured similar to the following, supplemented with site specific items: 1) Install tracking mat, 2) Install temp. SESC measures, 3) Construct storm water basins and install treatment structures, if applicable, 4) Install storm sewer, with inlet protection to follow immediately, 5) Remove all temp. SESC measures once site is stabilized.	<input type="checkbox"/>	
7.	Plan must address maintenance of soil erosion and sedimentation control measures (temporary and permanent)	<input type="checkbox"/>	
8.	Provide a note stating if dewatering is anticipated or encountered during construction a dewatering plan must be submitted to the Engineering Division for review.	<input type="checkbox"/>	
9.	A grading plan shall be provided, or grade information shown on plan.	<input type="checkbox"/>	

10.	Note that it is the developer's responsibility to grade and stabilize disturbances due to the installation of public utilities.	<input type="checkbox"/>	
11.	The CSWO shall be listed on permit application.	<input type="checkbox"/>	
12.	Plan sealed by registered civil engineer with original signature.	<input type="checkbox"/>	
13.	An itemized cost estimate (Silt Fence, Inlet Filters, Topsoil/Seed/Mulch, Const. Access, etc.) shall be provided.	<input type="checkbox"/>	The SESC financial guarantee will be \$. The SESC inspection fees will be \$.
14.	Potential stockpile areas shall be shown on the plan, with note stating a ring of silt fence will be installed surrounding any stockpiled material.	<input type="checkbox"/>	
15.	Sediment basin: Provide filter on standpipe outlet structure until site is stabilized, then removed. Noted on plan and standpipe detail(s).	<input type="checkbox"/>	
16.	Provide a note on the plan stating the storm water basin will be stabilized prior to directing flow to the basin.	<input type="checkbox"/>	
17.	Pretreatment Structures: Noted to inspect weekly for sediment accumulation until site is stabilized, and will clean as required.	<input type="checkbox"/>	.
18.	Attach the Oakland County standard detail sheet.	<input type="checkbox"/>	
19.	Construction mud tracking entrance: 75'x20', 6" of 1" to 3" stone, on geotextile fabric.	<input type="checkbox"/>	
20.	Silt fence: 6" anchor trench, stakes 6' on center. Prominent line type on plan, with legend.	<input type="checkbox"/>	
21.	Provide Silt Sack with overflow capability as the inlet protection, and provide detail on plans.	<input type="checkbox"/>	
22.	Catch basin inlet filters shall be provided on existing roadways along construction route for reasonable distance from site.	<input type="checkbox"/>	
23.	Street sweeping and dust control shall be noted on plan as responsibility of contractor.	<input type="checkbox"/>	
24.	Vegetation shall be established within 5 days of final grade, or whenever disturbed areas will remain unchanged for 30 days or greater. 3-4" of topsoil will be used where vegetation is required.	<input type="checkbox"/>	
25.	Vegetated buffer strips (25' wide wherever possible) shall be created or retained along the edges of all water bodies, water courses or wetlands.	<input type="checkbox"/>	
26.	Diversion berms or terracing shall be implemented where necessary.	<input type="checkbox"/>	
27.	All drainage ditches shall be stabilized with erosion control blanket and shall utilize check dams as necessary. Drainage ditches steeper than 3% shall be sodded.	<input type="checkbox"/>	

28.	Slopes steeper than 1V:6H (16%) shall be stabilized with erosion control blanket. Add this note as a general note, and also in a prominent location near any berm, etc. where a significant slope is proposed.	<input type="checkbox"/>	
29.	All culvert end sections must contain grouted rip-rap in accordance with ordinance specifications.	<input type="checkbox"/>	

ADDITIONAL COMMENTS:

1. Please note that installation of silt fencing or tree protection fencing shall not occur prior to the initial City pre-construction meeting. When natural features exist on the site, inspection of staking may be required prior to installation of the fencing.
- 2.

Reviewed By:



PLAN REVIEW CENTER REPORT

December 23, 2020

Karim Boulevard Surgery Center Preliminary Site Plan - Landscaping

Review Type

Preliminary Landscape Review

Job

JSP19-0036

Property Characteristics

- Site Location: 24301 Karim Boulevard
- Site Acreage: 18.47 ac.
- Site Zoning: OS-1
- Adjacent Zoning: North:NCC, East, South: OS-1, West: RM-1
- Plan Date: 12/17/2020

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Preliminary Site Plan submittal and underlined items need to be addressed on Final Site Plans. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying landscape chart are summaries and are not intended to substitute for any Ordinance.

Recommendation

This project is **recommended for approval for Preliminary Site Plan, assuming the required landscape waiver is granted by the Planning Commission.** The other minor revisions noted can be addressed on the Final Site Plans.

LANDSCAPE WAIVER REQUIRED BY PROPOSED PLAN

4.5 foot wall proposed as a buffer along the west property line in lieu of the required landscaped berm – *supported by staff as it is consistent with the wall on the property to the south, and additional landscaping around the detention pond will provide additional visual buffering.* **A waiver will be requested for the wall.**

Ordinance Considerations

Existing and proposed overhead and underground utilities, including hydrants. (LDM 2.e.(4))
Provided

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. All of the existing trees but one is shown as being removed.
2. Four woodland replacements are proposed to be planted on the site as replacement for one regulated 42" dbh tree on the site that will be removed.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. The project is adjacent to residentially-zoned property to the west.
2. A 4.5 foot tall wall to match the wall on the property to the south is proposed instead of the required 4.5-6' tall landscaped berm. **This requires a landscape waiver, which would be supported by staff.** **A waiver has been/will be requested for the wall height.**

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. The required berm is proposed between the entries, but not on the north and south ends of the frontage. **Please provide hedges for those areas to block the view of the parking bays in those areas.** **Noted and the hedges will be provided as requested.**
2. The required greenbelt landscaping is provided.

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

The required parking lot interior and perimeter parking lot trees are proposed.

Building foundation Landscaping (Zoning Sec 5.5.3.D)

The required building foundation landscaping is proposed.

Detention Basin Landscaping (LDM 3)

The required detention basin landscaping is proposed.

Plant List (LDM 4 and 9)

1. Provided
2. 14 of 24 species used (58%) are native to Michigan.
3. The tree diversity meets the standards of the Landscape Design Manual.

Planting Notations and Details (LDM)

Provided

Irrigation (LDM 1.a.(1)(e) and 2.s)

1. The proposed landscaping must be provided with sufficient water to become established and survive over the long term.
2. Please provide an irrigation plan or note how this will be accomplished if an irrigation plan is not provided on Final Site Plans.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader rmeader@cityofnovi.org.



Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART

Review Date: December 23, 2020
Project Name: JSP20 – 0036: Karim Blvd Surgery Center
Plan Date: December 17, 2020
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan.
Underlined items need to be addressed for Final Site Plan.

LANDSCAPE WAIVER REQUIRED BY PROPOSED PLAN

4.5 foot wall proposed as a buffer along the west property line in lieu of the required landscaped berm – supported by staff as it is consistent with the wall on the property to the south, and additional landscaping around the detention pond will provide additional visual buffering.

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements (LDM (2))				
Landscape Plan (Zoning Sec 5.5.2, LDM 2.e.)	<ul style="list-style-type: none"> ▪ New commercial or residential developments ▪ Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. ▪ 1"=20' minimum with proper North. Variations from this scale can be approved by LA ▪ Consistent with plans throughout set 	Scale: 1" = 30'	Yes	
Project Information (LDM 2.d.)	Name and Address	<ul style="list-style-type: none"> • Location map • Project name and address in title block 	Yes	
Owner/Developer Contact Information (LDM 2.a.)	Name, address and telephone number of the owner and developer or association	Yes	Yes	
Landscape Architect contact information (LDM 2.b.)	Name, Address and telephone number of RLA/PLA/LLA who created the plan	Yes	Yes	
Sealed by LA. (LDM 2.g.)	Requires original signature	Yes <i>Original signatures will be provided as requested.</i>	Yes	<u>Live signature is required on printed stamping sets.</u>
Miss Dig Note (800) 482-7171 (LDM.3.a.(8))	Show on all plan sheets	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
Zoning (LDM 2.f.)	Include all adjacent zoning	Shown on C1 <u>Parcel: OS-1</u> <u>North: NCC</u> <u>East, South: OS-1</u> <u>West: RM-1</u>	Yes	
Survey information (LDM 2.c.)	<ul style="list-style-type: none"> Legal description or boundary line survey Existing topography 	Sheet C1	Yes	
Existing plant material Existing woodlands or wetlands (Section 37)	<ul style="list-style-type: none"> Show location type and size. Label to be saved or removed. Plan shall state if none exists. 	<ul style="list-style-type: none"> Sheet C1 Proposed removals on Sheets C3 and L1 Replacement calculations on L1 Tree chart on C1 Fencing protecting off-site trees is not sufficient 	<ul style="list-style-type: none"> Yes Yes Yes Yes No 	<p style="color: red;">Fence will be extended as requested.</p> <p><u>Please extend the tree protection fencing along the north property line to protect all of the off-site trees.</u></p>
Soil types (LDM.2.r.)	<ul style="list-style-type: none"> As determined by Soils survey of Oakland county Show types, boundaries 	Listed on Sheet C1	Yes	
Existing and proposed improvements (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Yes	Yes	
Existing and proposed utilities (LDM 2.e.(4))	<ul style="list-style-type: none"> Overhead and underground utilities, including hydrants Trees must be located at least 10 feet from hydrants and utility structures such as catch basins and manholes. Trees should also be located 5 feet from underground utility lines. 	<ul style="list-style-type: none"> Overhead lines are shown along the west property line Utility layout allows all required trees to be planted. 	Yes	
Proposed grading. 2' contour minimum (LDM 2.e.(1))	Provide proposed contours at 2' interval	Proposed contours and spot elevations are provided on Sheet C4	Yes	
Snow deposit (LDM.2.q.)	Show snow deposit areas on plan	Yes	Yes	

LANDSCAPING REQUIREMENTS
Parking Area Landscape Requirements LDM 1.c. & Calculations (LDM 2.o.)

Item	Required	Proposed	Meets Code	Comments
General requirements (LDM 1.c)	<ul style="list-style-type: none"> Clear sight distance within parking islands No evergreen trees 	No shrubs or other blocking vegetation in parking areas	Yes	
Name, type and number of ground cover (LDM 1.c.(5))	As proposed on planting islands	Seed and sod are clearly labeled	Yes	
General (Zoning Sec 5.5.3.C.ii)				
Parking lot Islands (a, b. i)	<ul style="list-style-type: none"> A minimum of 200 SF to qualify A minimum of 200sf unpaved area per tree planted in an island 6" curbs Islands minimum width 10' BOC to BOC 	Yes	Yes	All parking lot islands with trees have sufficient area.
Curbs and Parking stall reduction (c)	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	Parking spaces adjacent to edge and 7' sidewalk are 17' long.	Yes	
Contiguous space limit (i)	Maximum of 15 contiguous spaces	15 is maximum bay length	Yes	
Plantings around Fire Hydrant (d)	No plantings with matured height greater than 12' within 10 ft. of fire hydrants	<ul style="list-style-type: none"> No new or existing plantings are shown too close to hydrants. The FDC is clear of blocking vegetation 	Yes	
Landscaped area (g)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes	Yes	
Clear Zones (LDM 2.3.(5))	25 ft corner clearance required. Refer to Zoning Section 5.5.9	Clear zone is provided.	Yes	
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use areas up to 50,000sf x 7.5%	<ul style="list-style-type: none"> $A = x \text{ sf} * 7.5\% = A \text{ sf}$ $50,000 * 7.5\% = 3750 \text{ sf}$ 		Yes	
B = Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 1 %	<ul style="list-style-type: none"> $B = x \text{ sf} * 1\% = B \text{ sf}$ $(53019 - 50000) * 1\% = 30 \text{ sf}$ 		Yes	

Item	Required	Proposed	Meets Code	Comments
Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)				
A. = Total square footage of vehicular use area up to 50,000 sf x 5%	$A = x \text{ sf} * 5\% = A \text{ sf}$	NA		
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5%	$B = 0.5\% \times 0 \text{ sf} = B \text{ SF}$	NA		
All Categories				
C = A+B Total square footage of landscaped islands	<ul style="list-style-type: none"> ▪ C = A + B ▪ 3750 + 30 = 3780 SF 	3971 sf	Yes	
D = C/200 Number of canopy trees required	<ul style="list-style-type: none"> ▪ D = xx/200 = xx trees ▪ D = 3780/200 = 19 trees 	19 trees	Yes	
Perimeter Green space	<ul style="list-style-type: none"> ▪ 1 Canopy tree per 35 lf ▪ 1154/35 = 33 trees 	36 trees including 6 double-counted greenbelt canopy trees	Yes	
Accessway perimeter	<ul style="list-style-type: none"> ▪ 1 canopy tree per 35 lf on each side of road, less widths of access drives. ▪ (xx lf)/35 = xx trees 	The entry perimeters were included in the overall parking lot calculation and sufficient trees are located along them	Yes	
Parking land banked	<ul style="list-style-type: none"> ▪ NA 	None		
Berms, Walls and ROW Planting Requirements				
Berms				
<ul style="list-style-type: none"> ▪ All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours ▪ Berm should be located on lot line except in conflict with utilities. ▪ Berms should be constructed with 6" of topsoil. 				
Residential Adjacent to Non-residential (Sec 5.5.3.A) & (LDM 1.a)				
Berm requirements (Zoning Sec 5.5.A)	Landscaped berm 4.5-6 feet high required along west property line	A 4.5 foot tall wall is proposed along the west property line in lieu of the required berm.	No	<ol style="list-style-type: none"> 1. A landscape waiver is requested for the wall. 2. Staff supports the waiver because the proposed wall height is the same as the wall on the property to the south. 3. The applicant should raise the height of the ground at the

The site has been worked and reworked. What has been proposed maximized grades while still staying within slope maximums and minimums.

Item	Required	Proposed	Meets Code	Comments
				wall as much as possible, as was done on the property to the south, to increase the effective height of the wall.
Planting requirements (LDM 1.a.)	LDM Novi Street Tree List	NA		
Cross-Section of Berms (LDM 2.j)				
Slope, height and width	<ul style="list-style-type: none"> ▪ Label contour lines ▪ Maximum 33% ▪ Min. 3 feet flat horizontal area ▪ Minimum 3 feet high ▪ Constructed of loam with 6' top layer of topsoil. 	A berm cross section detail that meets the city requirements is provided on Sheet L3	Yes	
Type of Ground Cover		Lawn seed is indicated	Yes	
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	There are no overhead lines along Karim Blvd.	NA	
Walls (LDM 2.k & Zoning Sec 5.5.3.vi)				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	<ul style="list-style-type: none"> ▪ The landscape plan notes that the border wall shall match the existing wall on the property to the south. ▪ The landscape plan also notes that a detail for the boulder walls in the detention basin are on the Civil detail plans, but no such detail exists. 	<ul style="list-style-type: none"> ▪ TBD ▪ No 	<p>Please provide construction details for both walls, including all materials and colors. The border wall must be brick faced masonry on both sides of the wall.</p> <p>If the wall is approved, details will be provided on the final site plan submittal. Engineered plans for the wall will be provided.</p>
Walls greater than 3 ½ ft. should be designed and sealed by an Engineer		No details provided		<u>As the border wall will be 4.5 feet tall, an engineer must create the drawings for that wall.</u>
ROW Landscape Screening Requirements (Sec 5.5.3.B. ii)				
Greenbelt width (2)(3) (5)	Parking: 20 ft. No Pkg: 25 ft	20 ft min.	Yes	

Item	Required	Proposed	Meets Code	Comments
Min. berm crest width	2 ft	2 ft	Yes	
Minimum berm height (9)	3 ft	Hedges will be added to the landscape plan. 3 ft in the areas where the height is possible.	Yes	Since a berm couldn't be provided to block the northern and southern bays of parking, please hedges for those spaces.
3' wall	(4)(7)	No		
Canopy deciduous or large evergreen trees Notes (1) (10)	<ul style="list-style-type: none"> ▪ Parking: 1 tree per 35 lf ▪ $xx/35 = x$ trees ▪ $(307-50)/35 = 7$ trees 	7 trees	Yes	
Sub-canopy deciduous trees Notes (2)(10)	<ul style="list-style-type: none"> ▪ Parking: 1 tree per 20 lf ▪ $xx/20 = x$ trees ▪ $(307-50)/20 = 13$ trees 	13 trees	Yes	
Canopy deciduous trees in area between sidewalk and curb (Novi Street Tree List)	<ul style="list-style-type: none"> ▪ Parking & No Parking: 1 tree per 35 lf ▪ $(307-192)/35 = 4$ trees 	4 trees	Yes	
Non-Residential Zoning Sec 5.5.3.E.iii & LDM 1.d (2)				
Refer to Planting in ROW, building foundation landscape, parking lot landscaping and LDM				
Interior Street to Industrial subdivision (LDM 1.d.(2))	<ul style="list-style-type: none"> ▪ 1 canopy deciduous or 1 large evergreen per 35 l.f. along ROW ▪ No evergreen trees closer than 20 ft. ▪ 3 sub canopy trees per 40 l.f. of total linear frontage ▪ Plant massing for 25% of ROW 	NA		
Screening of outdoor storage, loading/unloading (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)		Loading zone is screened from the west by the wall and parking lot trees.	Yes	
Transformers/Utility boxes (LDM 1.e from 1 through 5)	<ul style="list-style-type: none"> ▪ A minimum of 2ft. separation between box and the plants ▪ Ground cover below 4" is allowed up to pad. ▪ No plant materials within 8 ft. from the doors 	<ul style="list-style-type: none"> ▪ Transformer is indicated at the southwest corner of the building with acceptable screening. ▪ Screening detail is provided. 	Yes	
Building Foundation Landscape Requirements (Sec 5.5.3.D)				
Interior site landscaping SF	<ul style="list-style-type: none"> ▪ Equals to entire perimeter of the building x 8 with a minimum width of 4 ft. ▪ A: $x \text{ lf} \times 8\text{ft} = x \text{ SF}$ 	<ul style="list-style-type: none"> ▪ 4930 sf ▪ Shaded areas in inset indicate that required area is provided 	Yes	

Item	Required	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> A = (650-59)*8 = 4726sf 			
Zoning Sec 5.5.3.D.ii. All items from (b) to (e)	If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space	86% of Karim Blvd frontage is landscaped	Yes	
Detention/Retention Basin Requirements (LDM 3)				
Planting requirements (Sec. 5.5.3.E.iv)	<ul style="list-style-type: none"> Clusters of large native shrubs shall cover 70-75% of the basin rim area 10" to 14" tall grass along sides of basin Refer to wetland for basin mix Trees around east, south and west sides of basins at 1/35lf 	<ul style="list-style-type: none"> It appears that at least 70% of the basin rims will be landscaped with large native shrubs. Trees are provided around the basins as required. <p style="color: red;">This request/suggestion will be reviewed by the landscape architect and the Owner. If the change is made a tree with a larger canopy will be used for pond shading. Note that the pond is a detention pond and will not retain water.</p>	Yes	<p>1. If desired, the 4 TDs on the south side of the southern detention pond can be changed to OV or NS and used as the woodland replacements, since the parking lot perimeter trees are close enough in that area to shade the northern basin. This would reduce the number of trees required on the site by 4.</p> <p>2. If that change is made, please use a tree with a larger canopy to replace the NS in that area to increase the shading for the pond.</p>
Phragmites Control (Sec 5.5.6.C)	<ul style="list-style-type: none"> Any and all populations of Phragmites australis on site shall be included on tree survey. Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site. 	A note on L2 says that none was found on the site, but if any is found it will be removed.	Yes	
LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS				
Landscape Notes – Utilize City of Novi Standard Notes				
Installation date (LDM 2.I. & Zoning Sec 5.5.5.B)	Provide intended date	Spring 2023-Nov 15	Yes	
Maintenance & Statement of intent (LDM 2.m & Zoning	<ul style="list-style-type: none"> Include statement of intent to install and guarantee all 	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
Sec 5.5.6)	materials for 2 years. ▪ Include a minimum one cultivation in June, July and August for the 2-year warranty period.			
Plant source (LDM 2.n & LDM 3.a.(2))	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
Irrigation plan (LDM 2.s.)	A fully automatic irrigation system or an alternate method of providing sufficient water for plant establishment and survival is required on Final Site Plans.	An irrigation plan will be added / included in the final site plan document set. A note indicates that an irrigation system will be provided for the site.	Yes	1. <u>Please add irrigation plan or information as to how plants will be watered sufficiently for establishment and long- term survival on the Final Site Plans.</u> 2. <u>If xeriscaping is used, please provide information about plantings included.</u>
Other information (LDM 2.u)	Required by Planning Commission	NA		
Establishment period (Zoning Sec 5.5.6.B)	2 yr. Guarantee	Yes	Yes	
Approval of substitutions. (Zoning Sec 5.5.5.E)	City must approve any substitutions in writing prior to installation.	Yes	Yes	
Plant List (LDM 4. 9) – Include all cost estimates				
Quantities and sizes	Refer to LDM suggested plant list	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names		▪ 14 of 24 species used (58%) are native to Michigan ▪ Tree diversity meets the requirements of LDM Section 4	▪ Yes ▪ Yes	
Type and amount of lawn		Seed and Sod	Yes	
Cost estimate (LDM 2.t)		For all new plantings, mulch and sod as listed on the plan	Provided	Yes
Planting Details/Info (LDM 2.i) – Utilize City of Novi Standard Details				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
Multi-stem Tree		Yes	Yes	
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	Yes	Yes	
Other Plant Material Requirements (LDM 3)				
General Conditions (LDM 3.a)	Plant materials shall not be planted within 4 ft. of property line	Yes	Yes	
Plant Materials & Existing Plant Material (LDM 3.b)	Clearly show trees to be removed and trees to be saved.	Yes	Yes	
Landscape tree credit (LDM3.b.(d))	Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM	No		
Plant Sizes for ROW, Woodland replacement and others (LDM 3.c)	2.5" canopy trees 6' evergreen trees	On plant list		
Plant size credit (LDM3.c.(2))	NA	No		
Prohibited Plants (LDM 3.d)	No plants on City Invasive Species List	None are used	Yes	
Recommended trees for planting under overhead utilities (LDM 3.e)	Label the distance from the overhead utilities	Narrow cultivar of bald cypress is used and is accepted	Yes	
Collected or Transplanted trees (LDM 3.f)		No		
Nonliving Durable Material: Mulch (LDM 4)	<ul style="list-style-type: none"> ▪ Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth ▪ Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate. 	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> ▪ Refer to section for additional information 			

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.



AECOM
 27777 Franklin Road
 Southfield
 MI, 48034
 USA
 aecom.com

Project name:
 JSP20-36 – Karim Blvd Surgery Center
 Preliminary Site Plan Traffic Review

To:
 Barbara McBeth, AICP
 City of Novi
 45175 10 Mile Road
 Novi, Michigan 48375

From:
 AECOM

Date:
 January 13, 2021

CC:
 Lindsay Bell, Madeleine Kopko, Kate Richardson,
 Victor Boron, Christian Carroll

Memo

Subject: JSP20-36 – Karim Blvd Surgery Center Preliminary Site Plan Traffic Review

The preliminary site plan was reviewed to the level of detail provided and AECOM **approval** for the applicant to move forward with the comments provided below are adequately addressed to the satisfaction of the City.

GENERAL COMMENTS

1. The applicant, Supply Line International Real Estate Holdings LLC, is proposing a 28,353 SF building consisting of 16,941 SF surgery center and 11,412 SF general office space.
2. The development is located on the west side of Karim Blvd, between Grand River Ave and 10 Mile Road. Karim Blvd is under the jurisdiction of the City of Novi.
3. The site is currently zoned OS-1 (Office Service).
4. The following traffic-related waivers/variances may apply to this development:
 - a. Parking setback if spaces are not adjusted.
 - b. Possible opposite side driveway spacing if not adjusted.
 - c. Bicycle clear path width if not adjusted.
 - d. End island radius and length if not adjusted.

TRAFFIC IMPACTS

1. AECOM performed an initial trip generation based on the ITE Trip Generation Manual, 10th Edition, as follows.

ITE Code: – 610 (Hospital) and 710 (General Office Building)
 Development-specific Quantity: 16,941 SF (610) and 11,412 SF (710)
 Zoning Change: N/A

	Estimated Trips	Estimated Peak-Direction Trips	City of Novi Threshold	Above Threshold?
AM Peak-Hour Trips	15 + 37 = 52	10 + 32 = 42	100	No
PM Peak-Hour Trips	16 + 14 = 30	11 + 12 = 23	100	No
Daily (One-Directional) Trips	182 + 129 = 311	N/A	750	No

2. The City of Novi generally requires a traffic impact study/statement if the number of trips generated by the proposed development exceeds the City’s threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour, or if the project meets other specified criteria.

Trip Impact Study Recommendation	
Type of Study:	Justification
None	-

TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City’s Code of Ordinances. Items marked with ZO are listed in the City’s Zoning Ordinance. Items marked with ADA are listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices.

The values in the ‘Compliance’ column read as ‘met’ for plan provision meeting the standard it refers to, ‘not met’ stands for provision not meeting the standard and ‘inconclusive’ indicates applicant to provide data or information for review and ‘NA’ stands for not applicable for subject Project. The ‘remarks’ column covers any comments reviewer has and/or ‘requested/required variance’ and ‘potential variance’. A potential variance indicates a variance that will be required if modifications are not made or further information provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
1	Driveway Radii O Figure IX.1	25’	Met	Within range, nonstandard.
2	Driveway Width O Figure IX.1	25’	Met	Within range, nonstandard.
3	Driveway Taper O Figure IX.11			
3a	Taper length	N/A	-	
3b	Tangent	N/A	-	
4	Emergency Access O 11-194.a.19	Multiple access points	Met	
5	Driveway sight distance O Figure VIII-E	360’	Met	
6	Driveway spacing			
6a	Same-side O 11.216.d.1.d	269’	Met	
6b	Opposite side O 11.216.d.1.e	27’ and 242’	Inconclusive	27’ spacing nearly directly across. Reduce to width of driveway as offset for no waiver.
7	External coordination (Road agency)	N/A	-	
8	External Sidewalk Master Plan & EDM	N/A	-	There is existing sidewalk along Karim Blvd for the full length of the proposed development.
9	Sidewalk Ramps EDM 7.4 & R-28-J	At driveways	Met	

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
10	Any Other Comments:			

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
11	Loading zone ZO 5.4	40'x17' in rear	Met	Applicant could consider providing more separation from nearest parking spaces.
12	Trash receptacle ZO 5.4.4	In rear	Met	Applicant should provide truck turning paths to show access.
13	Emergency Vehicle Access	Radii given	Met	
14	Maneuvering Lane ZO 5.3.2	24'	Met	
15	End islands ZO 5.3.12			
15a	Adjacent to a travel way	3.37' to 3.41' shorter than adjacent space. Variable radii (8' to 15')	Not met Revisions will be made.	Required to be 3' shorter than the adjacent parking space. Curb height for landscaped areas not including a parking overhang should be 6". There are instances where the 15' standard radius is not met.
15b	Internal to parking bays	Flush with spaces	Met	
16	Parking spaces ZO 5.2.12	Setback indicated	Not met A variance will be sought.	Northside of the development the parking overhang is less than 10' from the side.
17	Adjacent parking spaces ZO 5.5.3.C.ii.i	<15 spaces	Met	
18	Parking space length ZO 5.3.2	17' at curb, 19' without	Met	
19	Parking space Width ZO 5.3.2	9'	Met	
20	Parking space front curb height ZO 5.3.2	4"	Met	
21	Accessible parking – number ADA	7 spaces	Not met Will review and revise as requested.	Hospital out-patient should be 10% accessible spaces. 8 spaces for surgery and 3 for office area, for a total of 11 required. Applicant should ensure the 8 surgery spaces have good access to the patient entry and patient discharge areas (north and east side rather than east and south side).
22	Accessible parking – size ADA	Meets or exceeds requirements	Met	
23	Number of Van-accessible space ADA	5 spaces	Met	
24	Bicycle parking			

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
24a	Requirement ZO 5.16.1	3 Provided	Met	
24b	Location ZO 5.16.1	Appears <120' from door	Met	
24c	Clear path from Street ZO 5.16.1	5' in some areas	Not Met will review and make the necessary changes	6' clear path required. Widen short sidewalk section to 8' to account for overhang. Note that just the area from bicycle parking to a ramp must be widened.
24d	Height of rack ZO 5.16.5.B	3'	Met	
24e	Other (Covered / Layout) ZO 5.16.1	N/A	-	-
25	Sidewalk – min 5' wide Master Plan	5' plus 2' overhang	Met	
26	Sidewalk ramps EDM 7.4 & R-28-J	Indicated	Met	
27	Sidewalk – distance back of curb EDM 7.4	Abutting curb	Met	Allowable for commercial.
28	Cul-De-Sac O Figure VIII-F	N/A	-	-
29	EyeBrow O Figure VIII-G	N/A		
30	Minor/Major Drives ZO 5.10	N/A	-	-
31	Any Other Comments:			

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
32	Signing: Sizes MMUTCD	Included	Met	
33	Signing table: quantities and sizes	Included	Met	
34	Signs 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post MMUTCD	Included	Met	
35	Signs greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post MMUTCD	Included	Met	
36	Sign bottom height of 7' from final grade MMUTCD	Included	Met	
37	Signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign MMUTCD	Included	Met	
38	FHWA Standard Alphabet series used for all sign language MMUTCD	Included	Met	
39	High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity MMUTCD	Included	Met	
40	Parking space striping notes	Included	Met	

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
41	The international symbol for accessibility pavement markings ADA	Included	Met	
42	Crosswalk pavement marking detail	N/A	-	
43	Any Other Comments:	The applicant should consider coordinating with the City of Novi to ensure that speed limit signs are placed on Karim Blvd.		

Note: Hyperlinks to the standards and Ordinances are for reference purposes only, the applicant and City of Novi to ensure referring to the latest standards and Ordinances in their entirety.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Patricia Thompson, EIT
Traffic Engineer



Paula K. Johnson, PE
Senior Transportation Engineer



Saumil Shah, PMP
Project Manager



January 11, 2021

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375- 3024

Façade Review Status Summary:
Approved, Full Compliance
(Dumpster material to be revised)

Re: **FACADE ORDINANCE REVIEW**
Karim Blvd. Surgery Center, JSP20-36
 Façade Region: 2, Zoning District: NCC

Dear Ms. McBeth;

The following Façade Review is based on the drawings prepared by AJ Design, dated 12/17/20. The percentages of materials proposed for each façade are as shown on the table below. The maximum (and minimum) percentages listed in the Schedule Regulating Façade Materials of Ordinance Section 5.15 are shown in the right hand column. Materials in non-compliance with the Façade Schedule, if any, are highlighted in bold.

Façade Region 2	East (Front)	West	North	South	Façade Ordinance Maximum (Maximum)
Brick	52%	86%	56%	72%	100%
GFRC Panels	40%	9%	40%	18%	50%
Cast Stone	8%	5%	4%	10%	75%

As shown above the proposed building design is in full compliance with the Façade Ordinance. A Section 9 Waiver is not required for this project. The dumpster enclosure indicated on Sheer C5 indicates poured concrete with simulated brick pattern. This material (painted concrete) is not permitted by the Façade Ordinance. It is recommended that the dumpster detail be revised to indicate “utility brick to match the primary building.”

Notes to the Applicant:

1. All roof top equipment must be screened from view from all vantage points both on and off site using raised parapets of independent roof mounted screens. The screens must be constructed of materials compliant with the Façade Chart.

Noted. Rooftop units will be screened.

2. Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board will be compared to materials delivered to the site. It is the applicant's responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department's Online Inspection Portal with the following link. Please click on "Click here to Request an Inspection" under "Contractors", then click "Façade".

<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

If you have any questions regarding this project, please do not hesitate to call.

Sincerely,
DRN & Associates, Architects PC



Douglas R. Necci, AIA



PLAN REVIEW CENTER REPORT
January 12, 2021
Karim Boulevard Surgery Center
Preliminary Site Plan – Wetlands & Woodlands

Review Type

Preliminary Wetlands & Woodlands Review

Job #

JSP19-0036

Property Characteristics

- Site Location: 24301 Karim Boulevard
- Site Acreage: 18.47 ac.
- Plan Date: 12/17/2020

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection and Chapter 12, Article V, Wetlands and Watercourse Protection. Items in **bold** below must be addressed and incorporated as part of the revised Preliminary Site Plan submittal and underlined items need to be addressed on Final Site Plans. This review is a summary and is not intended to substitute for any Ordinance.

Recommendation

This project is **recommended for approval for Preliminary Site Plan**, assuming the applicant promises to make the revisions and additions noted below are incorporated into the Final Site Plans.

Regulated Wetlands:

ECT reviewed the pre-application plan, Novi aerial photos, Novi GIS, and the City of Novi Official Wetlands and Woodlands Maps. As a result of these analyses, it does not appear as if the proposed project site contains City-Regulated Wetlands.

Regulated Woodlands and Regulated Trees:

1. ECT also reviewed the pre-application plan, Novi aerial photos, Novi GIS, and the City of Novi Official Wetlands and Woodlands Maps for regulated woodlands. As a result of these analyses, it does not appear as if the proposed project site contains City-Regulated Woodlands.
2. The tree survey does indicate that there is a regulated tree on the property that will be removed, a 42" dbh elm. All but one tree on the property will also be removed, but they are not of a regulated size.
3. Per the provisions of Section 37-8, the regulated tree to be removed must be replaced with four (4) replacement credits. The plan indicates that four (4) 3" caliper replacement trees, *Ostrya virginiana*, will be planted on the site, on the east side of the northern detention pond.
4. A Woodland Replacement Performance financial guarantee for the planting of on-site replacement trees will be required. This financial guarantee will be based on the number of on-site woodland replacement trees (credits) being provided at a per tree value of \$400. Currently, this Woodland Replacement Performance Guarantee would be \$1,600 (4 Woodland Replacement Credits Required x \$400/Credit) for the on-site Woodland Replacements proposed.

5. Based on a successful inspection of the installed on-site Woodland Replacement trees, the Woodland Replacement financial guarantee will be returned to the Applicant. A Woodland Maintenance financial guarantee in the amount of twenty-five percent (25%) of the original Woodland Replacement financial guarantee will then be provided by the applicant. This Woodland Maintenance financial guarantee will be kept for a period of 2-years after the successful inspection of the on-site woodland replacement tree installation. It should be noted however that the minimum Woodland Maintenance Guarantee amount is \$1,000.
6. The Applicant will be required to pay the City of Novi Tree Fund at a value of \$400/credit for any Woodland Replacement Tree Credits that cannot be placed on-site.
7. Per Section 37-8(h), *"The Applicant shall provide preservation/conservation easements as directed by the City of Novi Community Development Department for any areas of woodland replacement trees to be installed in a currently non-regulated woodland area. The applicant shall demonstrate that all proposed woodland replacement trees will be guaranteed to be preserved as planted with a conservation easement or landscape easement to be granted to the City. This language shall be submitted to the City Attorney for review. The executed easement must be returned to the City Attorney within 60 days of the issuance of the City of Novi Woodland permit. These easement areas shall be indicated on the Plan."* Please show the easement boundaries on the landscape plan.
8. Per Section 37-9, *"Woodland areas shall be separated from construction areas by the installation of "barrier" fencing either of plastic or wood slat materials, a copy of the fence detail is available from the parks, recreation and forestry department or the community development department. These materials shall be attached to five-foot "T" poles spaced at five-foot intervals and shall have a tree protection sign affixed to the fence every fifty (50) feet in such a manner to be clearly visible to workers near the site. This barrier shall be installed at the critical root zone (CRZ) perimeter of the onsite trees to be protected prior to initiating project construction. Should it not be possible to place the protection fencing at the CRZ of a regulated tree due to practical hardship, the applicant may provide replacement value for the tree into the city tree fund. The applicant may also choose to allow the tree in question to remain at his or her option. Accurate critical root zones must be depicted on the site plan for all regulated trees within fifty (50) feet of proposed grading or construction activities."*
9. **Please extend the fencing to protect all trees to remain on and off the site within the bounds stated above. The fence staking shall be inspected and approved by the City of Novi prior to any removals. Fencing will be extended.**

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader@cityofnovi.org.



Rick Meader – Landscape Architect



December 23, 2020

TO: Barbara McBeth- City Planner
Lindsay Bell-Plan Review Center
Christian Carroll-Plan Review Center
Madeleine Kopko-Planning Assistant

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
Dave Staudt

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Laura Marie Casey

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Fire Chief
Jeffery R. Johnson

Assistant Chief of Police
Erick W. Zinser

Assistant Chief of Police
Scott R. Baetens

Assistant Fire Chief
John B. Martin

RE: Karim Blvd Surgery Center

PSP# 20-0094

Project Description:

Build a one story medical building.

Comments:

1. **All** fire hydrants **MUST** be installed and operational prior to any combustible material is brought on site. **IFC 2015 3312.1**
2. **CORRECTED 12/23/20** - **MUST** add a fire hydrant to the southwest corner of the structure
3. **CORRECTED 12/23/20** - Hydrants shall be spaced approximately three hundred (300) feet apart online in commercial, industrial, and multiple-residential areas. In cases where the buildings within developments are fully fire suppressed, hydrants shall be no more than five hundred (500) feet apart. The spacing of hydrants around commercial and/or industrial developments shall be considered as individual cases where special circumstances exist upon consultation with the fire chief. **(D.C.S. Sec. 11-68 (f)(1)c)**
4. A hazardous chemical survey is required to be submitted to the Planning & Community Development Department for distribution to the Fire Department at the time any Preliminary Site Plan is submitted for review and approval. Definitions of chemical types can be obtained from the Fire Department at (248) 735-5674.
5. The ability to serve at least two thousand (2,000) gallons per minute in single-family detached residential; three thousand (3,000) gallons per school areas; and at least four thousand (4,000) gallons per minute in office, industrial and shopping centers is essential. **(D.C.S. Sec.11-68(a))**
6. **CORRECTED 12/22/20** - Fire apparatus access drives to and from buildings through parking lots shall have a minimum fifty (50) feet outside turning radius and designed to support

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a minimum of thirty-five (35) tons. (D.C.S. Sec 11-239(b)(5))

7. A 6" minimum fire lead is required to building for fire suppression sprinkler system. Plans show a 4" on page C6 being used. The fire lead will be revised from 4" to 6" as requested.

Recommendation:

APPROVED WITH CONDITIONS at this time, until all items above can be addressed. When item #7 is addressed that should correct #5.

Sincerely,

A handwritten signature in black ink that reads "Andrew Copeland". The signature is written in a cursive, flowing style.

Andrew Copeland – Acting Fire Marshal
City of Novi Fire Department