



SV TEMPLE PHASE III RAJAGOPURAM JSP24-17

SV TEMPLE PHASE III RAJAGOPURAM JSP24-17

Consideration at the request of Manyan Group for Preliminary Site Plan and Revised Phasing Plan approval. The subject property is located at 26233 Taft Road, situated south of Grand River Avenue and west of Taft Road (Section 16). The property is zoned RA (Residential Acreage). The applicant proposes to construct a 3,100 square foot Rajagopuram entry tower in front of the existing temple, enclose the stairwell and exterior second floor porch, as well as reorder the previously approved phases in order to construct the Rajagopuram prior to the cultural center.

Required Action

Approval or denial of the Preliminary Site Plan and Revised Phasing Plan

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval Recommended	03/20/26	<ul style="list-style-type: none"> • Special Land Use approval for a place of worship was granted on 10/22/08. • Zoning Board of Appeals (ZBA) variance required for proposed height of 52' • Planning Commission approval required for deferred/landbanked bicycle parking • Items to be addressed at Final Site Plan submittal
Engineering	Approval Recommended	08/23/24	<ul style="list-style-type: none"> • Items to be addressed at Final Site Plan submittal
Landscape	Approval Recommended	11/03/25	<ul style="list-style-type: none"> • Items to be addressed at Final Site Plan submittal
Façade	Approval Recommended	03/18/26	<ul style="list-style-type: none"> • Items to be addressed at Final Site Plan submittal
Fire	Approval Recommended	08/27/24	<ul style="list-style-type: none"> • Items to be addressed at Final Site Plan submittal

MOTION SHEET:

Approval – Preliminary Site Plan and Revised Phasing Plan

In the matter of SV Temple Phase III Rajagopuram JSP24-17, motion to **approve** the Preliminary Site Plan and Revised Phasing Plan based on and subject to the following:

1. Revision of sequence of development to construct the Rajagopuram entry tower (*currently Phase III*) prior to the Cultural Center (*currently Phase II*).
2. Deferral of the landbanked bicycle parking spaces per Section 5.16.2, until such time as the Cultural Center is constructed (*15 bicycle parking spaces required, 6 spaces provided, 9 spaces deferred*).
3. The Zoning Board of Appeals granting a variance from:
 - i. Section 3.35.3 of the Zoning Ordinance to permit a height of 52 feet for the entry tower. (*35 feet or 2 ½ stories permitted, variance of 17 feet*).
4. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
5. (*additional conditions here, if any*)

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

– OR –

Denial – Preliminary Site Plan and Revised Phasing Plan

In the matter of SV Temple Phase III Rajagopuram JSP24-17, motion to **deny** the Preliminary Site Plan and Revised Phasing Plan... (*because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.*)

MAPS

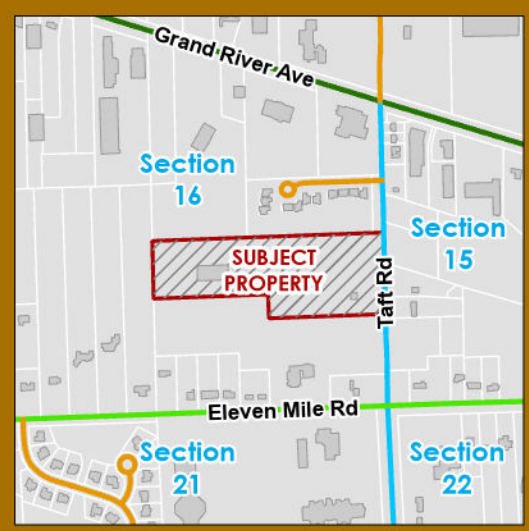
Location

Zoning

Future Land Use

Natural Features

SRI VENKATESWARA TEMPLE - PHASE 3 RAJAGOPURAM FUTURE LAND USE MAP



LEGEND

-  Subject Property
- Thoroughfare Classification
 -  Arterial
 -  Minor Arterial
 -  Residential Collector
 -  Local Residential Street

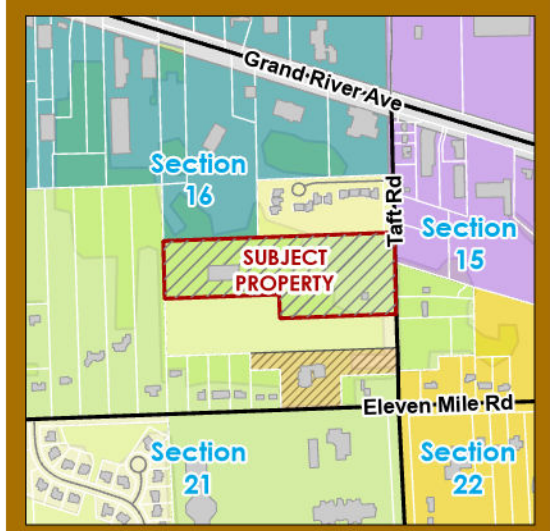
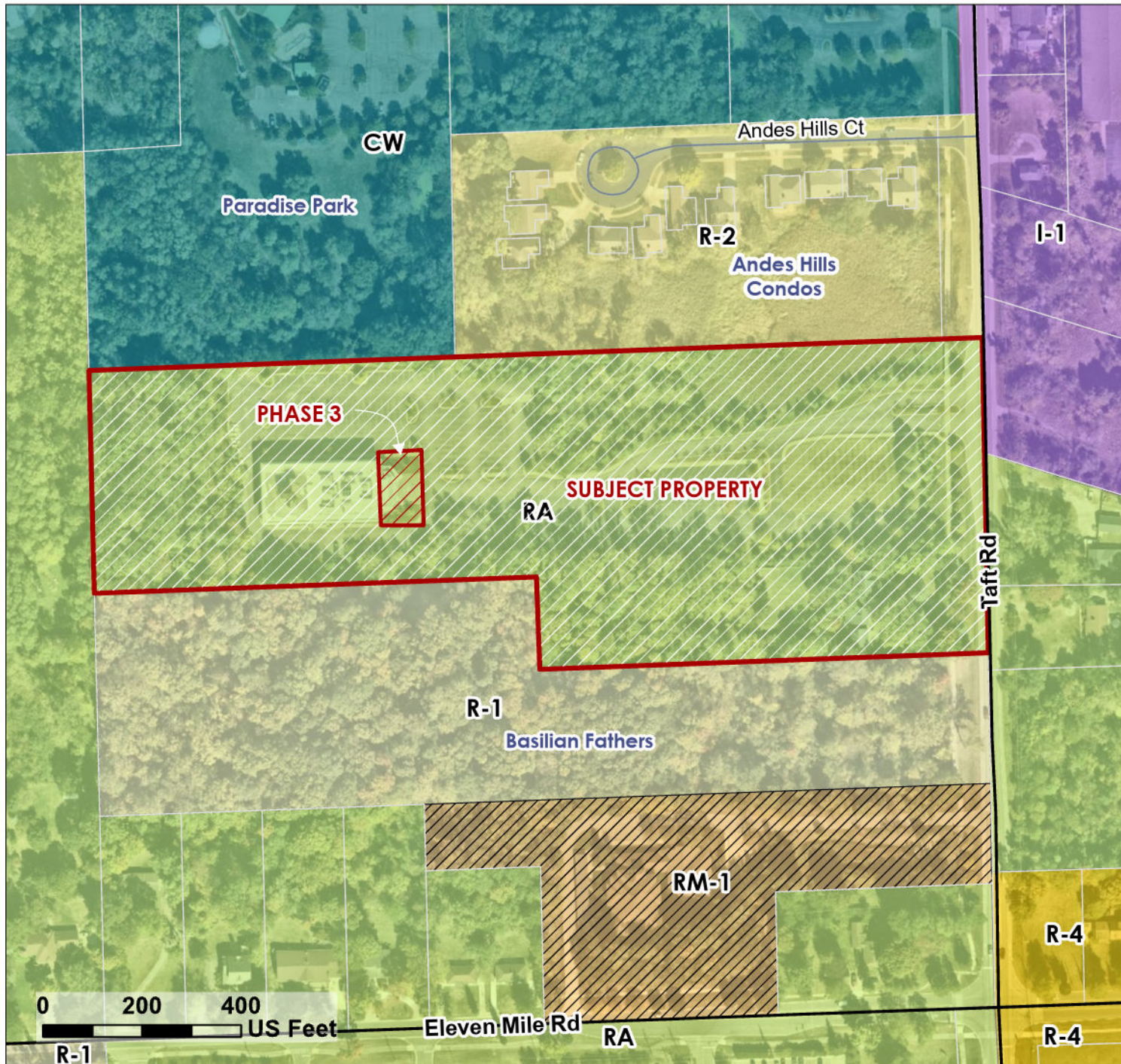


Map Author: Diana Shanahan
 Project: SV Temple - Phase 3
 Date: 03/25/26
 Version #: 1









City of Novi
 Community Development Department
 City Hall / Civic Center
 45175 Ten Mile Road, Novi, MI 48375
 cityofnovi.org



SRI VENKATESWARA TEMPLE - PHASE 3 RAJAGOPURAM ZONING DISTRICT MAP



LEGEND

-  Subject Property
- Zoning District
-  CW: City West
-  I-1: Light Industrial
-  R-1: One-Family Residential
-  R-2: One-Family Residential
-  R-4: One-Family Residential
-  RA: Residential Acreage
-  RM-1: Low-Density Multiple-Family
-  Planned Rezoning Overlay (PRO)

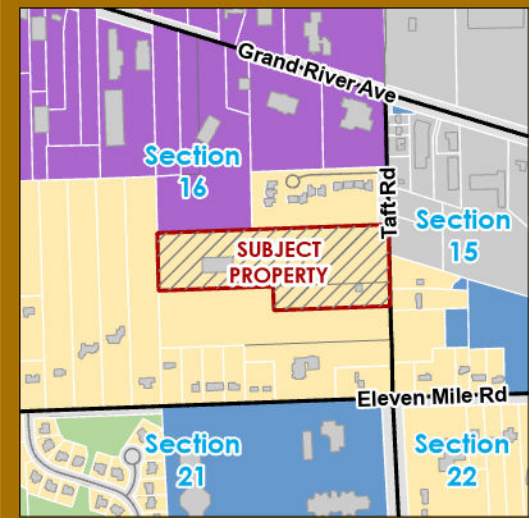
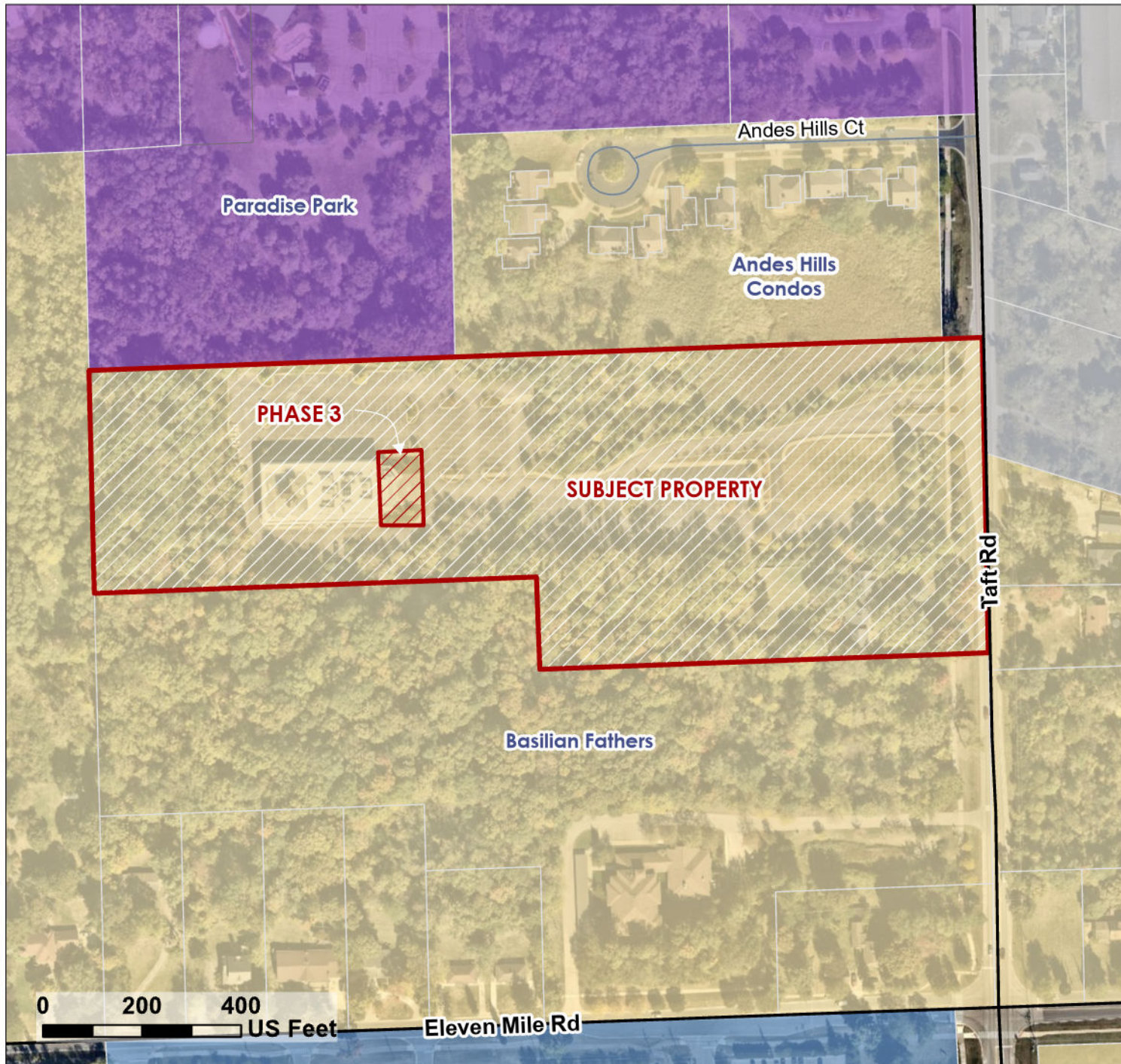


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SRI VENKATESWARA TEMPLE - PHASE 3 RAJAGOPURAM LAND USE MAP



LEGEND

Subject Property

Future Land Use Classification

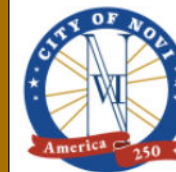
Single Family

Private Park

Public/Quasi-Public

General Mixed-Use

Industrial/Office



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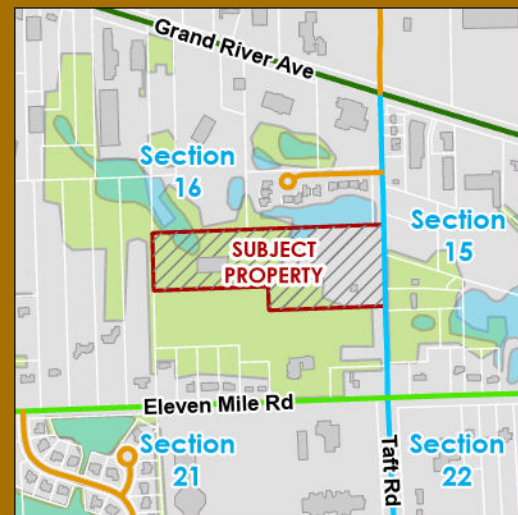
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SRI VENKATESWARA TEMPLE - PHASE 3 RAJAGOPURAM NATURAL FEATURES MAP



LEGEND

-  Subject Property
-  Wetlands
-  Woodlands



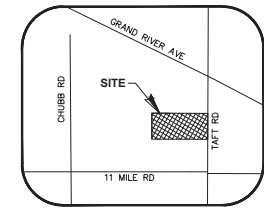
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SITE PLAN AND BUILDING ELEVATIONS

SITE PLAN FOR SRI VENKATESWARA TEMPLE & CULTURAL CENTER



LOCATION MAP
NOT TO SCALE

CLIENT

SRI VENKATESWARA TEMPLE & CULTURAL CENTER
26233 TAFT RD, NOV, MI 48374
PHONE: (248) 449-9049

ENGINEER

FAIRWAY ENGINEERING LLC

28525 BECK ROAD, SUITE 114 WIXOM, MICHIGAN 48393
C:(248) 938-4902
CONTACT: MR. MARK MAHAJAN
P:(248) 214-5913

LANDSCAPE ARCHITECT

VERT VERDE LANDSCAPE ARCHITECTURE
PLYMOUTH, MI
CONTACT: MR. JAMES GRAY
EMAIL: jgray@vertverde.com
P:(734) 249-3568

SITE ADDRESS

26233 TAFT RD, NOV, MI 48374

TAX ID NUMBER

50-22-76-451-081

ZONING

R-A -RESIDENTIAL ACREAGE

LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN PART OF THE SOUTHEAST 1/4 SECTION 16, T01N-R08E, CITY OF NOV, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULAR DESCRIBED AS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 16; THENCE NORTH 01°42'31" WEST, ALONG THE EAST LINE OF SAID SECTION 16, 525.59 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 87°16'51" WEST 668.75 FEET; THENCE NORTH 02°42'14" WEST 137.31 FEET; THENCE SOUTH 87°16'51" WEST 659.26 FEET; THENCE NORTH 01°59'05" WEST 330.91 FEET; THENCE NORTH 87°16'51" EAST 1331.99 FEET TO THE EAST LINE OF SAID SECTION 16; THENCE SOUTH 01°42'31" EAST, ALONG SAID EAST LINE OF SECTION 16, 468.97 FEET TO THE POINT OF BEGINNING, CONTAINING 12.22 ACRES OF LAND AND BEING SUBJECT TO THAT PART NOW USED AS TAFT ROAD.

CITY OF NOV PROJECT NO. : JSP24-0017

BENCH MARK
EXIST STORM SEWER MANHOLE RIM 948.71 LOCATED ON EAST OF THE TEMPLE ENTRANCE

SHEET INDEX

C-1	COVER SHEET
C-2	EXISTING TOPOGRAPHY
C-3	EXISTING AS-BUILT & PROPOSED PLAN
C-4	PHASING PLAN SHEET 1 OF 2
C-5	PHASING PLAN SHEET 2 OF 2
C-6	PROPOSED SITE PLAN (ENLARGED)
L-1	LANDSCAPE PLAN SHEET 1 OF 4
L-2	LANDSCAPE PLAN SHEET 2 OF 4
L-3	LANDSCAPE PLAN SHEET 3 OF 4
L-4	LANDSCAPE PLAN SHEET 4 OF 4
LP-1	SITE LIGHTING PHOTOMETRIC PLAN SHEET 1 OF 4
LP-2	SITE LIGHTING PHOTOMETRIC PLAN SHEET 2 OF 4
LP-3	SITE LIGHTING PHOTOMETRIC PLAN SHEET 3 OF 4
LP-4	SITE LIGHTING PHOTOMETRIC PLAN SHEET 4 OF 4
A-1.1	PROPOSED ELEVATION PLAN
A-1.2	PROPOSED FLOOR PLAN
A-1.3	PROPOSED SECTIONS

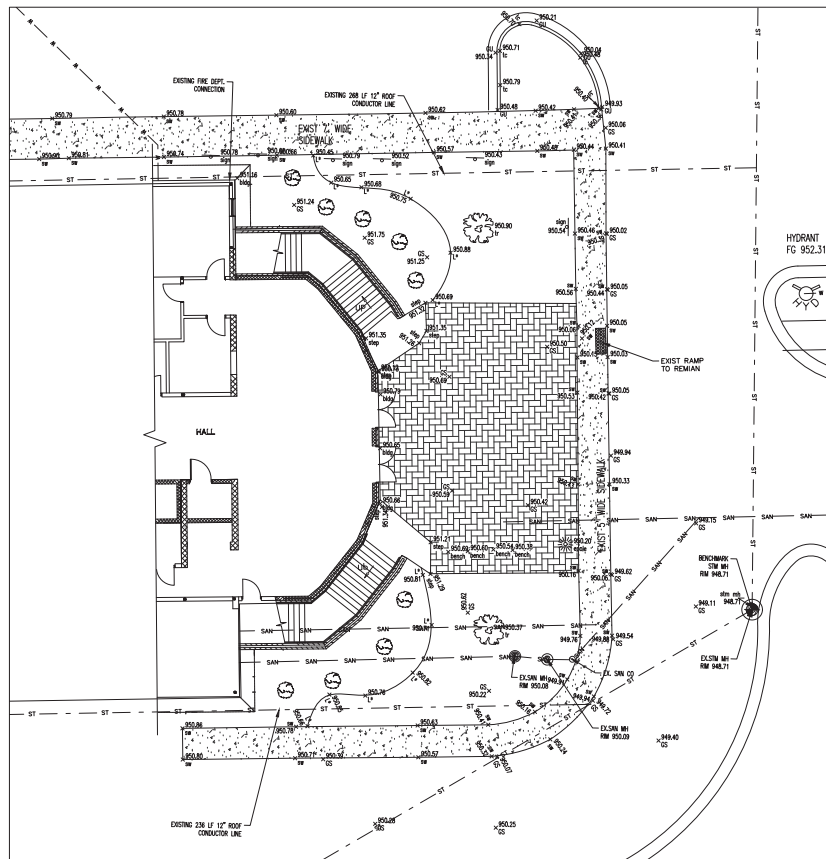
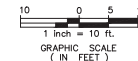


4/8/2024

DATE	ISSUE	BY	DATE	ISSUE	BY	PROJECT	SRI VENKATESWARA TEMPLE & CULTURAL CENTER 26233 TAFT RD, NOV, MI 48374	FAIRWAY ENGINEERING LLC 28525 BECK ROAD, SUITE 114 WIXOM, MI 48393-4743 P:(248) 214-5913	DATE 02-16-24	OKD. BY	DATE	72 HOURS BEFORE YOU DIG CALL MISS DIG! 800-482-7171 (TOLL FREE)	JOB No. 23-1016 SHEET C-1 SHEET 1 OF 14
02/24/23	REVISED AS PER CITY COMMENTS	BK							DRAWN	AG			COVER SHEET
02/23/26	REVISED AS PER CITY COMMENTS	BK						DESIGN	MM				
02/26/26	REVISED AS PER OWNER COMMENTS	BK						SECTION	16 T-1-N-R-8-E				



NORTH



EXISTING TOPOGRAPHY
SCALE 1"=10'

LEGEND

- EXIST. STORM SEWER
- EXIST. STORM SEWER STRUCTURE
- EXIST. GRAVITY SEWER LINE
- EXIST. SANITARY SEWER MANHOLE
- EXIST. DOMESTIC WATER LINE
- EXIST. HYDRANT
- EXIST. OVERHEAD WIRES
- EXIST. UTILITY POLE
- BENCH MARK
- EXISTING GROUND ELEVATION
- EXIST. BUILDING
- EXIST. CONCRETE SIDEWALK
- EXIST. BRICK PAVERS
- EXIST. TREE

DATE	ISSUE	BY	DATE	ISSUE	BY
12/24/23	REVISED AS PER CITY COMMENTS	DK			
02/03/24	REVISED AS PER CITY COMMENTS	BK			
02/26/24	REVISED AS PER OWNER COMMENTS	BK			
02/03/24	REVISED AS PER CITY COMMENTS	BK			

PROJECT
SRI VENKATESWARA TEMPLE
& CULTURAL CENTER
28233 TAFT RD, NOVI, MI 48374

FAIRWAY ENGINEERING LLC
LAND DEVELOPMENT - STRUCTURAL - GEOTECH
28235 BECK ROAD, SUITE 114 WIXOM, MI 48393-4743
P:(248) 214-5913

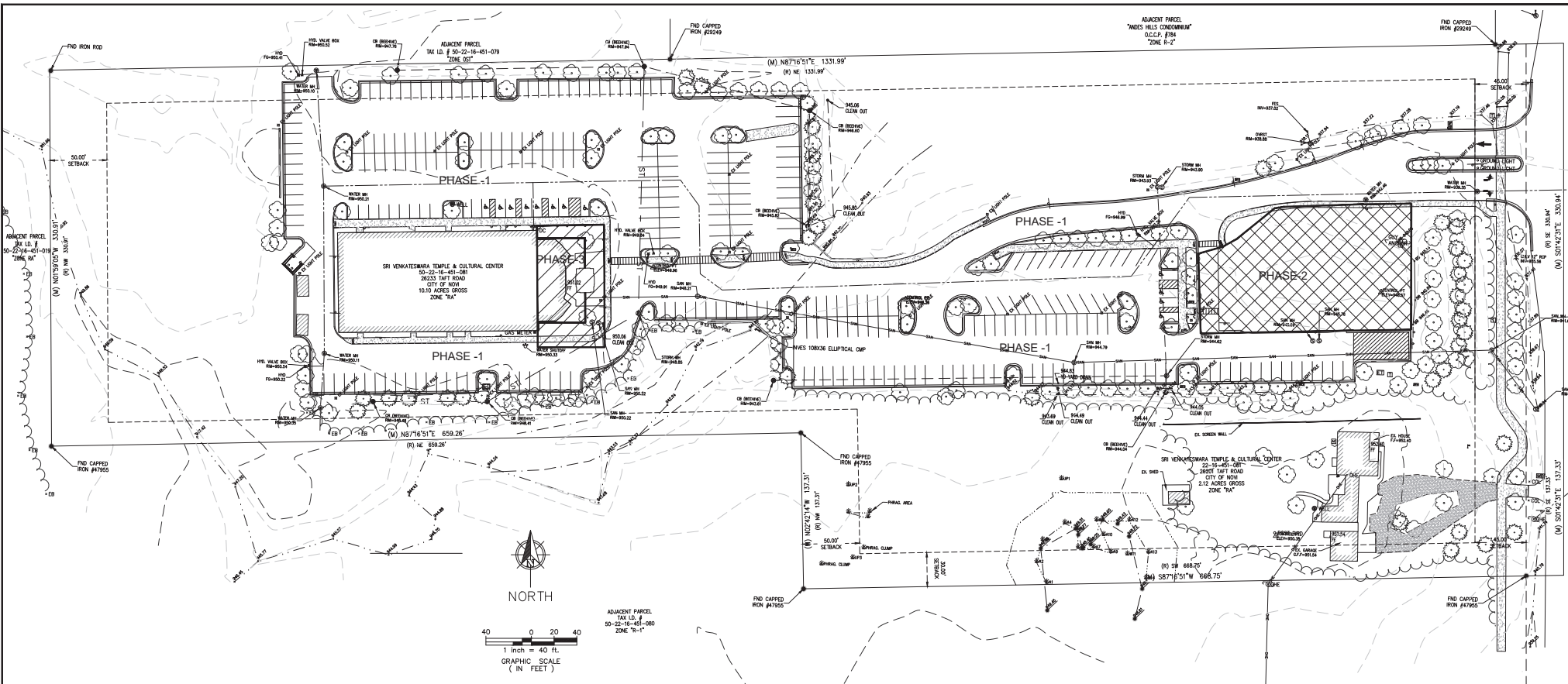
DATE	02-16-24	CHK. BY	DATE
DRAWN	AG		
DESIGN	MM		
SECTION	16 T-1-N, R-8-E		



72 HOURS
3 WORKING DAYS
BEFORE YOU DIG
CALL MISS DIG
800-482-7171
(TOLL FREE)

EXISTING TOPOGRAPHY

JOB No 23-1016
SHEET C-2
SHEET 2 OF 14



SITE DATA

EXISTING ZONING	RA
GROSS SITE AREA	12.22 ACRES
BUILDING SETBACKS	REQUIRED PROVIDED
TAFT ROAD SETBACK	75' 75'
WEST SETBACK PROP. LINE	50' 251.86'
NORTH SETBACK PROP. LINE	75' 114.50'
SOUTH SETBACK PROP. LINE	75' 78'

REQUIRED PARKING
 THE PRAYER HALL WILL PROVIDE AN OCCUPANCY 1 PERSON / 7 SQ. FT. (BASED ON THE EQUIVALENT OF PEOPLE SITTING IN CHAIRS) AND THE MULTI-PURPOSE ROOM WILL PROVIDE AN OCCUPANCY OF 1 PERSON / 15 SQ. FT. (BASED ON THE EQUIVALENT OF PEOPLE SITTING AT TABLES AND CHAIRS)

WITH ONE PARKING SPACE FOR EVERY THREE OCCUPANTS OF BOTH OF THE ROOMS COMBINED A TOTAL OF 306 PARKING SPACES WOULD BE REQUIRED (PRAYER HALL REQUIRES 194 SPACES AND THE MULTI-PURPOSE ROOM REQUIRES 112 SPACES).

SIMULATIONS USE OF TEMPLE AND THE CULTURAL CENTER HAS BEEN RESTRICTED PER THE DEVELOPER'S AGREEMENT WITH THE CITY.

PROVIDED PARKING	12
HANDI CAP SPACES	234
STANDARD SPACES	306
TOTAL SPACES	306-SPACES

PROVIDED PHASE 1 PARKING = 306 SPACES

FIRE DEPARTMENT NOTES:

ALL WEATHER ACCESS ROADS CAPABLE OF SUPPORTING 35 TONS SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS PRIOR TO CONSTRUCTION ABOVE THE FOUNDATION.

ALL WATER MAINS AND FIRE HYDRANTS ARE TO BE INSTALLED AND BE IN SERVICE PRIOR TO CONSTRUCTION ABOVE THE FOUNDATION.

THE BUILDING ADDRESS IS TO BE POSTED FACING THE STREET THROUGHOUT CONSTRUCTION. THE ADDRESS IS TO BE AT LEAST 3 INCHES HIGH ON A CONTRASTING BACKGROUND.

THE LOCATION OF THE FIRE DEPARTMENT CONNECTIONS ON THE TEMPLE AND CULTURAL CENTER SHALL BE COORDINATED BETWEEN THE ARCHITECT, THE SPRINKLER DESIGNER, AND THE FIRE DEPARTMENT. THEY SHALL BE IN AN ACCESSIBLE LOCATION ON THE FRONT/ADDRESS SIDE OF THE BUILDING AND WITHIN 100' OF THE HYDRANT.



LEGEND

	PROPERTY LINE
	RIGHT OF WAY
	SECTION LINE
	SETBACK LINES
	EXIST STORM SEWER
	EXIST STORM SEWER STRUCTURE
	EXIST GRAVITY SEWER LINE
	EXIST SANITARY SEWER MANHOLE
	EXIST DOMESTIC WATER LINE
	EXIST HYDRANT
	PHASE-1 EXISTING
	PHASE-2 FUTURE
	PHASE-3 PROPOSED

DATE	ISSUE	BY	DATE	ISSUE	BY	PROJECT
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02/28/26	REVISED AS PER OWNER COMMENTS	BK				
04/22/26	REVISED AS PER CITY COMMENTS	BK				

SRI VENKATESWARA TEMPLE & CULTURAL CENTER
 26233 TAFT RD, NOVI, MI 48374

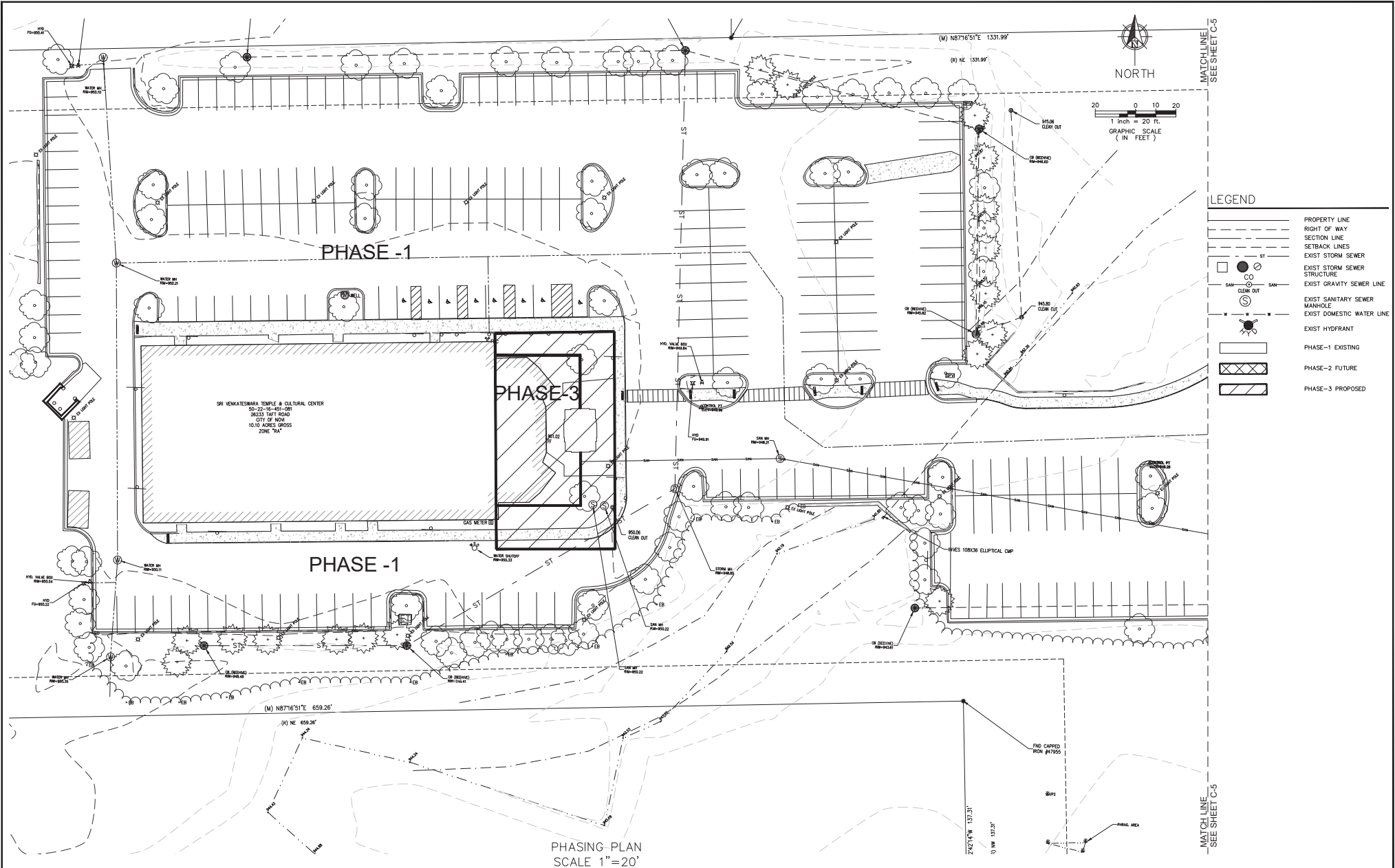
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 LAND DEVELOPMENT - STRUCTURAL - GEOTECH
 2825 BECK ROAD, SUITE 114 WIXOM, MI 48393-4743
 P(248) 214-5913

DATE	02-16-24	CHK. BY	DATE
DRAWN	AG		
DESIGN	MM		
SECTION	16 T-1-N, R-8-E.		



EXISTING AS-BUILT & PROPOSED PLAN

JOB No. 23-1016
 SHEET C-3
 SHEET 3 OF 14



LEGEND

	PROPERTY LINE
	RIGHT OF WAY
	SECTION LINE
	SETBACK LINES
	EXIST STORM SEWER
	EXIST STORM SEWER STRUCTURE
	EXIST GRAVITY SEWER LINE
	EXIST SANITARY SEWER
	EXIST SANITARY SEWER MANHOLE
	EXIST DOMESTIC WATER LINE
	EXIST HYDRANT
	PHASE-1 EXISTING
	PHASE-2 FUTURE
	PHASE-3 PROPOSED

PHASING PLAN
SCALE 1"=20'

DATE	ISSUE	BY	DATE	ISSUE	BY	PROJECT
12/24/24	REVISED AS PER CITY COMMENTS	BK				
02/23/26	REVISED AS PER CITY COMMENTS	BK				
02/28/26	REVISED AS PER OWNER COMMENTS	BK				
04/02/26	REVISED AS PER CITY COMMENTS	BK				

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LAND DEVELOPMENT - STRUCTURAL - GEOTECH
2825 BECK ROAD, SUITE 114 WIXOM, MI 48393-4743
P(248) 214-5913

DATE 02-16-24 CKD. BY DATE
DRAWN AG
DESIGN MM
SECTION 16 T-1-N, R-8-E.



72 HOURS
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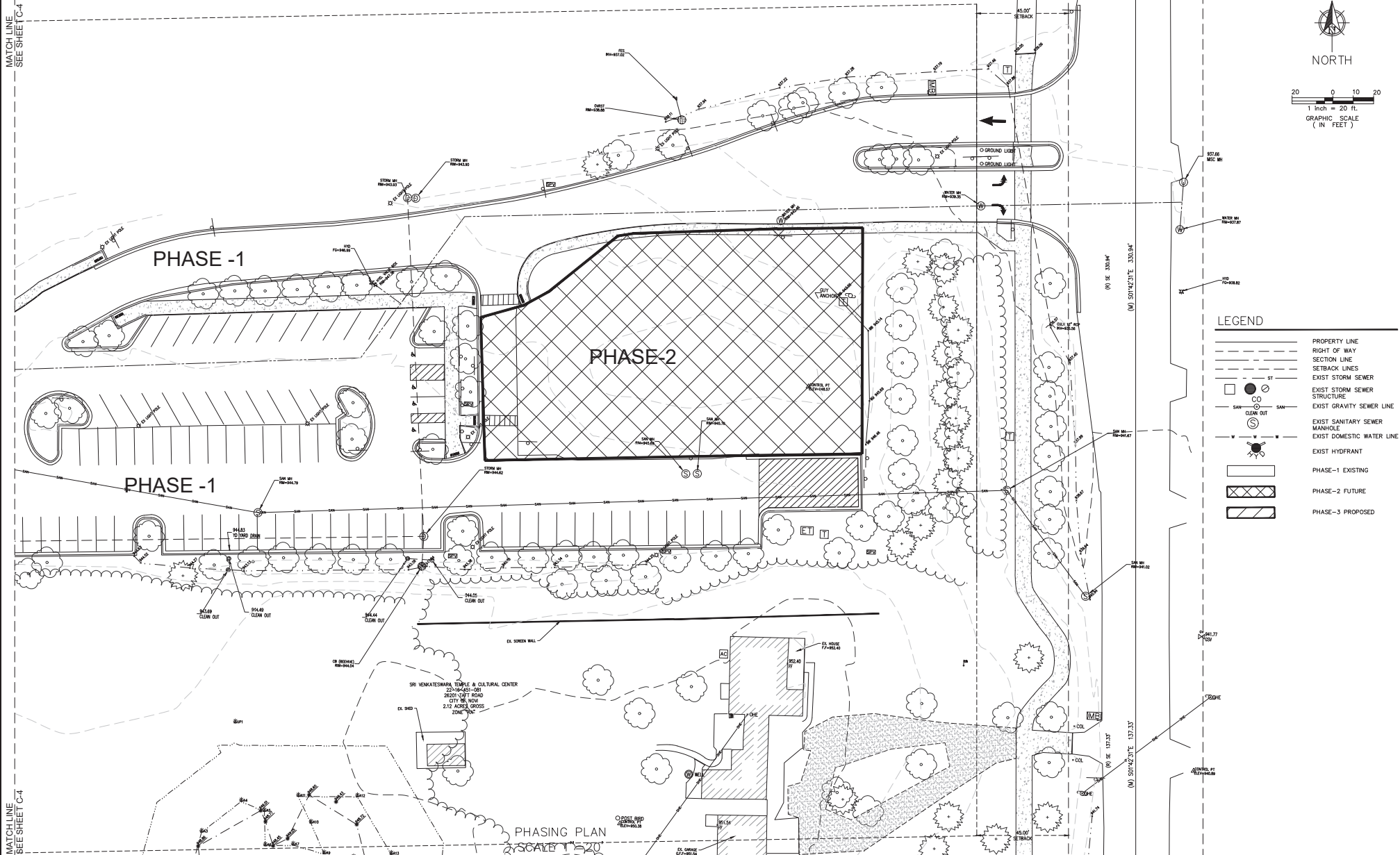
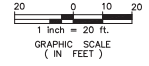
PHASING PLAN
SHEET 1 OF 2
JOB No 23-1016
SHEET C-4
SHEET 4 OF 14

MATCH LINE
SEE SHEET C-4

MATCH LINE
SEE SHEET C-4



NORTH



LEGEND

	PROPERTY LINE
	RIGHT OF WAY
	SECTION LINE
	SETBACK LINES
	EXIST STORM SEWER
	EXIST STORM SEWER STRUCTURE
	EXIST GRAVITY SEWER LINE
	EXIST GRAVITY SEWER MANHOLE
	EXIST SANITARY SEWER MANHOLE
	EXIST DOMESTIC WATER LINE
	EXIST HYDRANT
	PHASE-1 EXISTING
	PHASE-2 FUTURE
	PHASE-3 PROPOSED

PHASING PLAN
SCALE 1"=20'

DATE	ISSUE	BY	DATE	ISSUE	BY	PROJECT
12/28/25	REVISED AS PER CITY COMMENTS	BK				SRI VENKATESWARA TEMPLE & CULTURAL CENTER 26233 TAFT RD, NOVI, MI 48374
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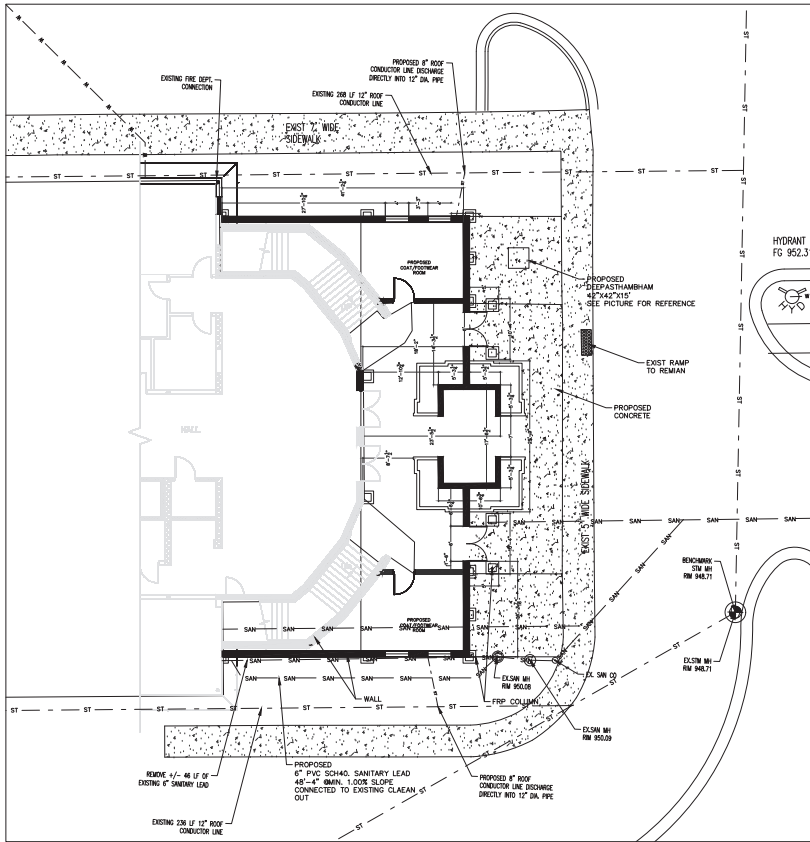
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DATE 02-16-24 OKD. BY DATE
DRAWN AG
DESIGN MM
SECTION 16 T-1-N-R-8-E



72 HOURS
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PHASING PLAN
SHEET 2 OF 2
JOB No 23-1016
SHEET C-5
SHEETS OF 14



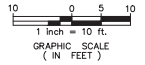
PROPOSED PLAN
SCALE 1"=10'



DEEPASTHAMBHAM
(ILLUSTRATION ONLY)



NORTH



LEGEND

- ST — EXIST STORM SEWER
- EXIST STORM SEWER STRUCTURE
- SAN — EXIST GRAVITY SEWER LINE
- CLEAN OUT EXIST SANITARY SEWER MANHOLE
- W — EXIST DOMESTIC WATER LINE
- ⊙ EXIST HYDRANT
- DE — EXIST OVERHEAD WIRES
- ⊕ EXIST UTILITY POLE
- ⊙ BENCH MARK
- ▭ PROP. BUILDING
- ▭ PROP. CONCRETE
- ▨ EXIST BRICK PAVERS
- ▭ EXIST TREE
- SAN — PROPOSED SANITARY LEAD

GENERAL NOTES

1. NOTIFY THE CITY OF NOVI, A MINIMUM OF 48 HOURS PRIOR TO START OF CONSTRUCTION.
2. ALL CONSTRUCTION MUST BE CONFORMING TO THE CURRENT STANDARDS AND SPECIFICATIONS ADOPTED BY THE CITY OF NOVI.
3. ALL UTILITIES TO BE UNDERGROUND.
4. CALL MISS DIG (800-482-7171) A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
5. ALL EXCAVATION UNDER THE 45 DEGREE ZONE OF INFLUENCE LINE OF PAVEMENTS, BIKE PATHS, SIDEWALKS, AND/OR DRIVE APPROACHES, EXISTING OR PROPOSED, SHALL BE BACKFILLED AND COMPACTED WITH SAND (CLASS II MOIST) TO AT LEAST 95% OF MAXIMUM DRY DENSITY OF THE SOIL USED.
6. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES FROM HIS OPERATIONS.
7. PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT, ENGINEERING SITE INSPECTION IS REQUIRED.
8. PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT, AND MAINTENANCE ACTIVITIES SHALL BE ACCORDING TO THE MOST CURRENT MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).
9. ALL SIGNS AND TRAFFIC CONTROL DURING CONSTRUCTION AND MAINTENANCE ACTIVITIES SHALL BE SUBMITTED TO THE ENGINEERING DIVISION FOR REVIEW.
10. IF DEWATERING IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION A DEWATERING PLAN MUST BE SUBMITTED TO THE ENGINEERING DIVISION FOR REVIEW.
11. A MINIMUM OF 18" VERTICAL SEPARATION SHALL BE MAINTAINED WHERE UTILITIES ARE CROSSING EACH OTHER. ADDITIONAL BEDDING MEASURES SHALL BE UTILIZED AT THE POINT OF CROSSING WHERE ADEQUATE CLEARANCE CANNOT BE MAINTAINED.

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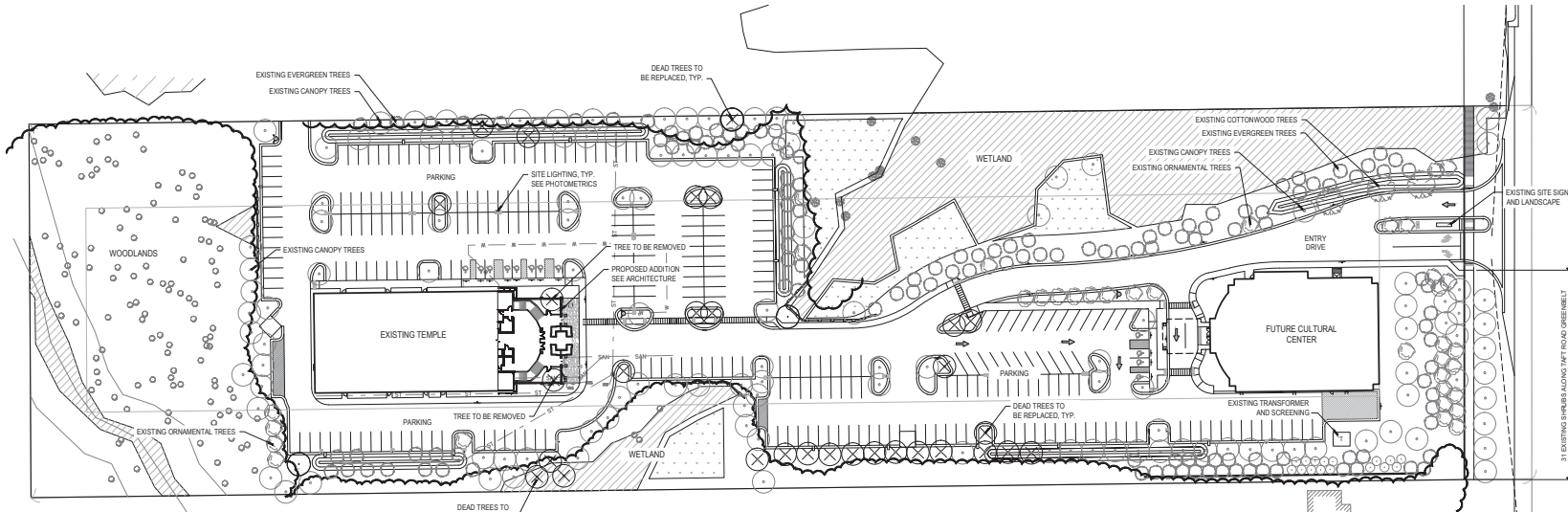
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DATE	02-16-24	CKD. BY	DATE
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SECTION	16 T-1-N, R-8-E		



PROPOSED PLAN
(ENLARGED)

JOB No. 23-1016
SHEET C-6
SHEET 16 OF 14



Project:
Sri Venkateswara Temple & Cultural Center
26233 Taft Road
Novi, Michigan 48374

Project Sponsor:
Sri Venkateswara Temple
26233 Taft Road
Novi, MI 48374

Sheet Name:
Existing Conditions Plan

RIGHT OF WAY LANDSCAPE SCREENING:

CANOPY TREES REQUIRED:	10 (Original Approved Plan 2009)
CANOPY TREES REMAINING 2024:	6
FOUR (4) CANOPY TREES WILL BE PLANTED TO COMPLY WITH THE APPROVED PLAN - SEE SHEET L-2	
ORNAMENTAL TREES REQUIRED:	17 (Original Approved Plan 2009)
ORNAMENTAL TREES REMAINING 2024:	18

***Note:** There are 14 evergreen trees shown as ROW trees on the original plan but not included in any calculation. Thirteen (13) of these trees remain.

REQUIRED STREET TREES:

CANOPY TREES REQUIRED:	10 (Original Approved Plan 2009)
CANOPY TREES REMAINING 2024:	10

PARKING LOT LANDSCAPE:

PARKING LOT TREES REQUIRED:	130 (Original Approved Plan 2009)
PARKING LOT TREES REMAINING 2024:	94

THIRTY (30) TREES ARE DEAD / MISSING AND WILL BE REPLACED TO COMPLY WITH THE APPROVED PLAN - SEE SHEETS L-2 & L-3

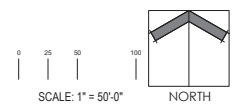
***Note:** 15 trees are shown as parking lot trees (PL) on the original plan around the cultural center planned for a future phase. These will be installed when that phase is developed.

PERIMETER TREES REQUIRED:

PERIMETER TREES REQUIRED:	79 (Original Approved Plan 2009)
PERIMETER TREES REMAINING 2024:	81

***Note:** Four (4) trees are shown as perimeter trees (PT) on the original plan around the cultural center planned for a future phase. These will be installed when that phase is developed.

NOT FOR CONSTRUCTION



NOVI PROJECT # JSP24-0017

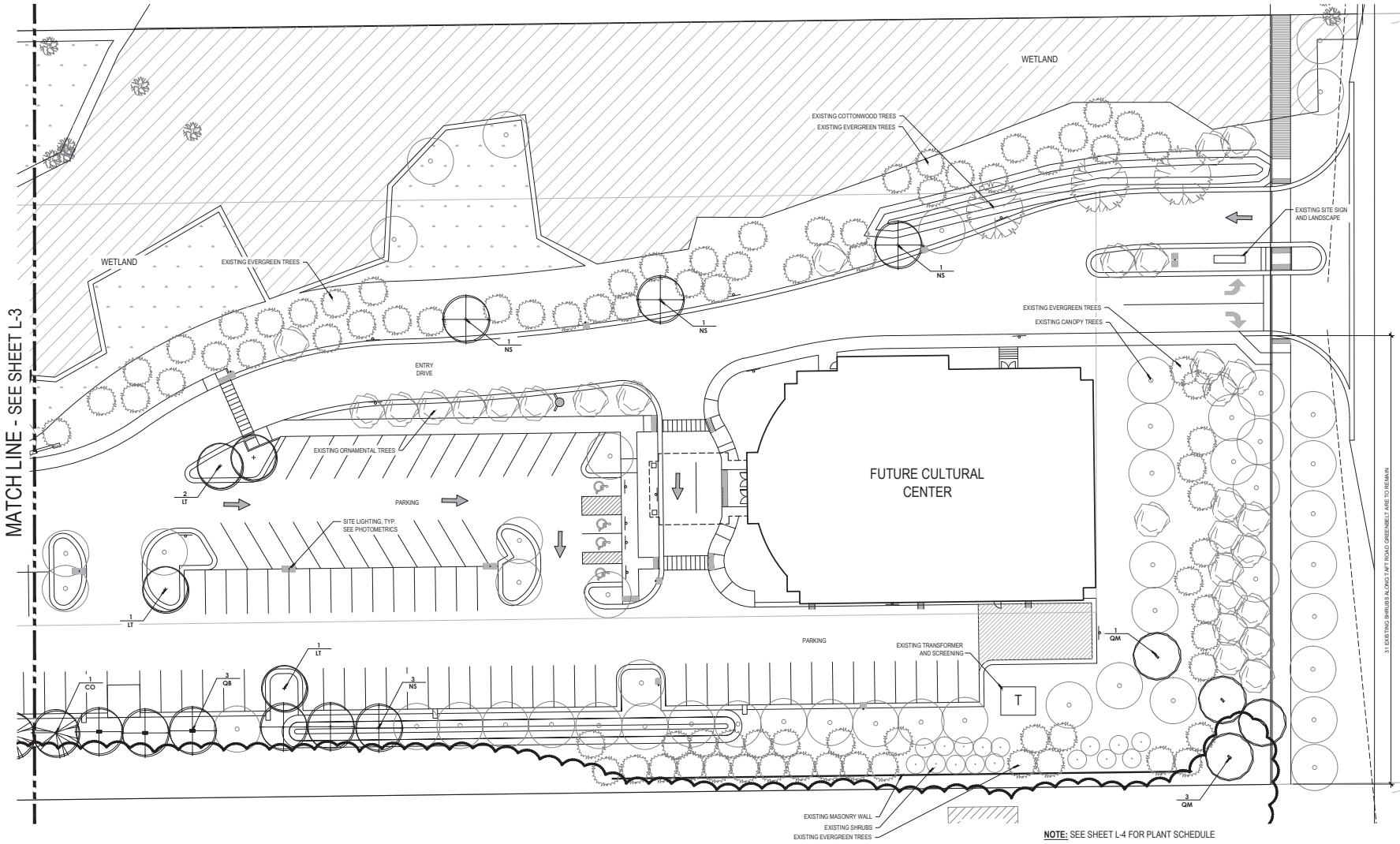
SCALE: 1" = 50'-0"

NORTH



Drawn: JG
Checked: JG
Date: 10.2024
Scale: 1" = 50'-0"

Project Number:
24.035
Sheet Number:
L-1



NOT FOR CONSTRUCTION

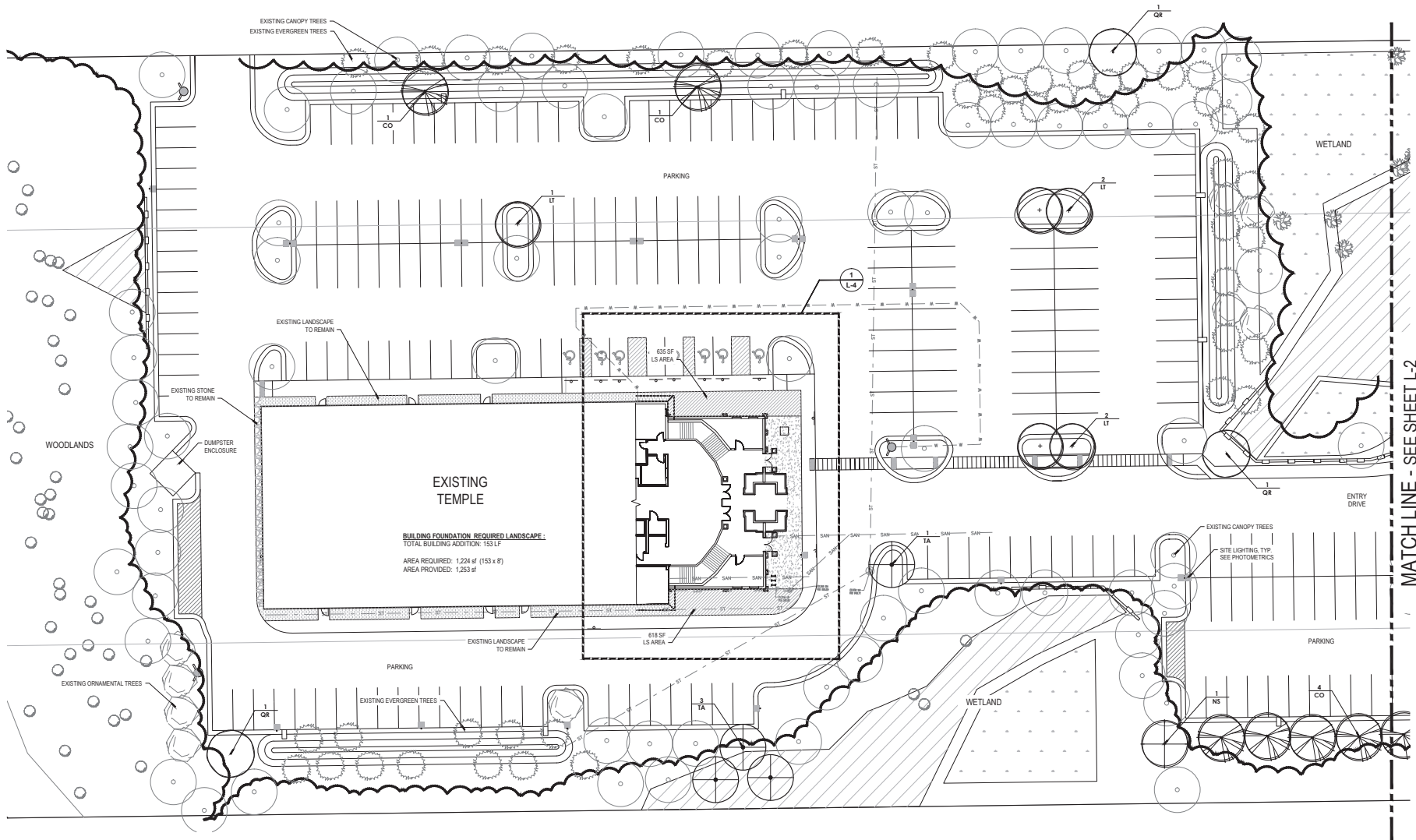


NOVI PROJECT # JSP24-0017 SCALE: 1" = 20'-0" NORTH



Drawn: JG
Checked: JG
Date: 10.2024
Scale: 1" = 20'-0"

Project Number:
24.035
Sheet Number:
L-2



NOTE: SEE SHEET L-4 FOR PLANT SCHEDULE

**NOT FOR
CONSTRUCTION**



NOVI PROJECT # JSP24-0017



Drawn: JG
Checked: JG
Date: 10.2024
Scale: 1" = 20'-0"

Project Number:
24.035
Sheet Number:
L-3

Project:
Sri Venkateswara Temple & Cultural Center
26233 Taft Road
Novi, Michigan 48374

Project Sponsor:
Sri Venkateswara Temple
26233 Taft Road
Novi, MI 48374

Sheet Name:
Enlargement Plan and Details



Drawn: JG
Checked: JG
Date: 10.20.2024
Scale: 1" = 10'-0"

Project Number:
24.035

Sheet Number:
L-4

CITY OF NOVI MAINTENANCE NOTES

MAINTENANCE OR REQUIRED PLANTING BY THE OWNER SHALL BE CARRIED OUT SO AS TO PRESENT A HEALTHY, NEAT AND ORDERLY APPEARANCE FREE FROM REFUSE AND DEBRIS.

ALL UNHEALTHY AND DEAD MATERIAL SHALL BE REPLACED WITHIN THREE (3) MONTHS, OR THE NEXT APPROPRIATE PLANTING PERIOD, WHICHEVER OCCURS FIRST.

ALL LANDSCAPED AREAS SHALL BE PROVIDED AN AUTOMATIC IRRIGATION SYSTEM (SEE ATTACHED PLANS).

TREE STAKES, GUY WIRES AND TREE WRAP SHALL BE REMOVED AFTER ONE WINTER SEASON.

PLANTINGS SHALL BE GUARANTEED FOR TWO (2) GROWING SEASONS AFTER DATE OF THE ACCEPTANCE OF INSTALLATION.

IF GRASS OR WEEDS EXCEED THE HEIGHT SPECIFIED IN CHAPTER 21 OF THE NOVI CODE OF ORDINANCES, OR IF SHRUBS ARE ALLOWED TO OBSTRUCT VISION ACROSS ANY PORTION OF THE ISLAND AND THE RESPONSIBLE PARTY IS UNWILLING TO RECTIFY THE PROBLEM THE CITY WILL ABATE SUCH VIOLATIONS AND SHALL ACCESS THE COST OF SUCH ABATEMENT MEASURES IN THE MANNER PROPOSED BY THE DEVELOPER AND APPROVED BY THE CITY IN SUCH INSTRUMENT.

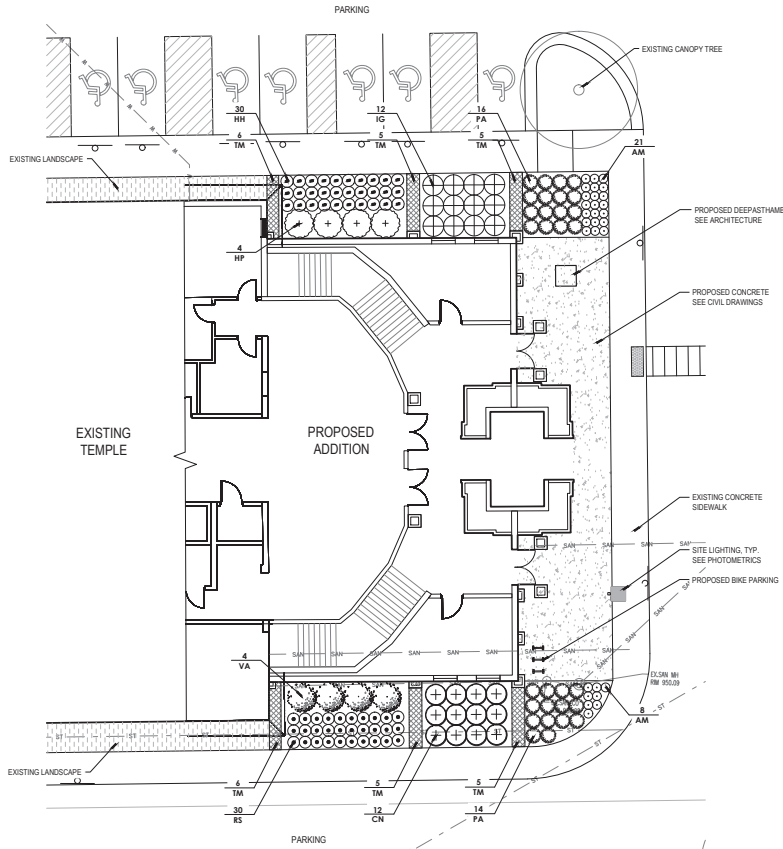
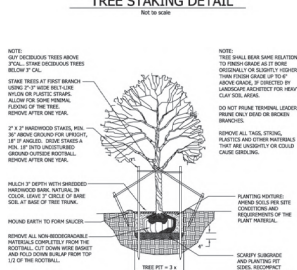
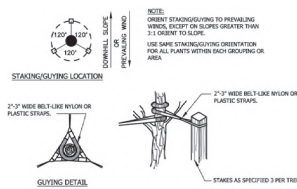
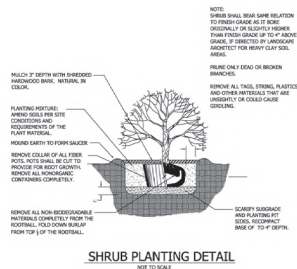
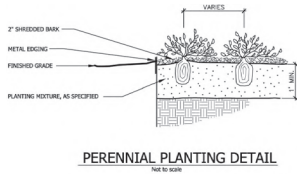
CITY OF NOVI LANDSCAPE NOTES

- ALL PLANT MATERIALS ARE TO BE INSTALLED IN A SOUND, WORKMAN-LIKE MANNER AND IN ACCORDANCE WITH THE CURRENT CITY OF NOVI PLANTING REQUIREMENTS
- ALL PLANT MATERIALS SHALL BE INSTALLED BETWEEN MARCH 15th AND NOVEMBER 15th.
- ALL PLANT MATERIALS ARE TO BE NORTHERN NURSERY GROWN NO.1 GRADE AND INSTALLED ACCORDING TO ACCEPTED PLANTING PROCEDURES. ALL PLANT MATERIALS SHALL CONFORM TO THE CURRENT AM STANDARDS FOR NURSERY STOCK. THEY SHALL BE PLANTED ACCORDING TO THE CITY OF NOVI PLANTING DETAILS AND SPECIFICATIONS. THE CITY SHALL HAVE THE RIGHT TO INSPECT THE PLANT MATERIALS PRIOR TO PLANTING AND TO REJECT ANY PLANT MATERIALS DEEMED TO NOT MEET THE STANDARDS OF THE ZONING ORDINANCE.
- ALL TREES SHALL HAVE A CENTRAL LEADER AND A RADIAL BRANCHING STRUCTURE. PARK GRADE TREES ARE NOT ACCEPTABLE. ALL TREES SHALL BE BALLED AND BURLEAPPED (B&B).
- ANY DECIDUOUS CANOPY TREES WITH BRANCHES THAT MIGHT TEND TO DEVELOP INTO "Y" CROTCHES SHALL BE SUBORDINATED SO AS NOT TO BECOME DOMINANT BRANCHES.
- MULCH SHALL BE NATURAL COLOR, FINELY SHREDDED HARDWOOD BARK FOR ALL PLANTINGS. 3" THICK FOR TREES IN 4-FOOT DIAMETER CIRCLE WITH 5" PULLED AWAY FROM TRUNK. 2-3" THICK FOR SHRUBS AND SHRUB BEDS AND 2" THICK BARK FOR PERENNIALS.
- ALL PLANT MATERIAL SHALL BE WARRANTED FOR TWO (2) FULL YEARS AFTER DATE OF ACCEPTANCE BY THE CITY OF NOVI. ALL UNHEALTHY AND DEAD MATERIAL SHALL BE REPLACED WITHIN THREE (3) MONTHS OR THE NEXT APPROPRIATE PLANTING PERIOD WHICHEVER COMES FIRST.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION, INCLUDING WATERING, CULTIVATION, WEED CONTROL AND SOIL ENRICHMENTS AS MAY BE NECESSARY.
- ANY SUBSTITUTIONS OR DEVIATIONS FROM THE LANDSCAPE PLAN MUST BE APPROVED IN WRITING BY THE CITY OF NOVI PRIOR TO INSTALLATION.
- ALL TREE WRAP, STAKES, AND GUYS MUST BE REMOVED BY JULY 1ST FOLLOWING THE FIRST WINTER SEASON AFTER INSTALLATION.
- ALL LANDSCAPE AREAS ARE TO BE MAINTAINED IN HEALTHY GROWING CONDITION FREE OF DEBRIS AND REFUSE AND IN CONFORMANCE WITH THE APPROVED LANDSCAPE PLAN.
- CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS AND EXCESS MATERIALS FROM THE SITE PRIOR TO FINAL ACCEPTANCE.
- PLANT MATERIALS, EXCEPT SOD, GROUND COVERS, AND CREEPING VINE TYPE PLANTINGS, SHALL NOT BE LOCATED WITHIN FOUR (4) FEET OF THE PROPERTY LINE.
- ALL TRANSFORMERS ARE TO BE SCREENED IN ACCORDANCE WITH THE CITY OF NOVI ORDINANCE AND SO AS TO NOT CONFLICT WITH DTE RESTRICTIONS. (SEE TYPICAL DETAILS).
- THE OWNER IS RESPONSIBLE FOR REQUEST OF FINAL INSPECTION AND ACCEPTANCE OF THE LANDSCAPE AT THE END OF THE 2-YEAR GUARANTEE PERIOD.
- THE PROVIDER OF THE FINANCIAL GUARANTEE FOR THE LANDSCAPE INSTALLATION SHALL BE FULLY RESPONSIBLE FOR COMPLETION OF THE LANDSCAPE INSTALLATION AND MAINTENANCE PER THE APPROVED LANDSCAPE PLAN AND APPLICABLE CITY ORDINANCES.

THE DETAILS AND NOTES SHOWN ON THIS PAGE ARE STANDARDS. THESE DETAILS ARE NOT NEARLY ALL INCLUSIVE AND ARE NOT MEANT TO SUBSTITUTE FOR ANY ZONING OR CODE REQUIREMENT. FOR COMPLETE LANDSCAPE REQUIREMENTS, SEE THE ZONING ORDINANCE LANDSCAPE SECTION 5.5, THE LANDSCAPE DESIGN MANUAL AND THE APPROPRIATE REFERENCES WITHIN THE APPLICABLE ZONING CLASSIFICATION AND ANY OTHER APPLICABLE CODE REQUIREMENTS.

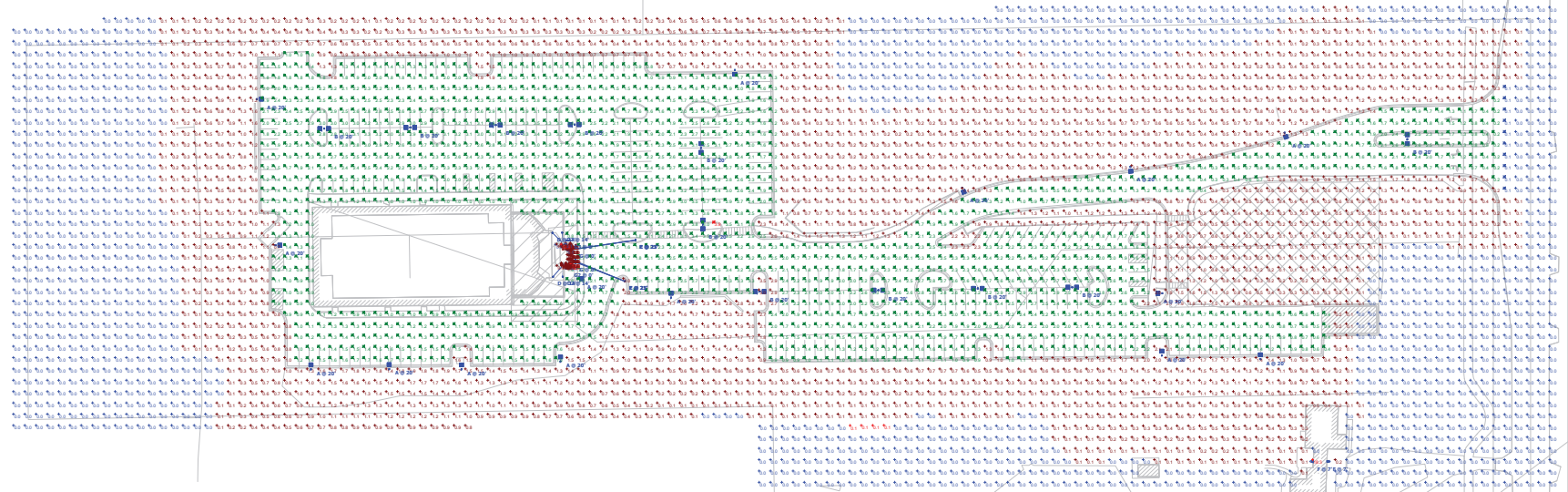
PLANT SCHEDULE

QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	ROOT	COMMENTS	UNIT	TOTAL	NATIVE
Interior Parking, Perimeter Parking, Greenbelt Plantings										
7	CO	<i>Cobea acuminata</i>	Northern Huckleberry	2.5" cal.	as shown	88B	Single straight trunk	\$ 400.00	\$ 2,800.00	X
8	LT	<i>Liriodendron tulipifera</i>	Tulip Tree	2.5" cal.	as shown	88B	Single straight trunk	\$ 400.00	\$ 3,200.00	X
7	NS	<i>Nyssa sylvatica</i>	Blackgum	2.5" cal.	as shown	88B	Single straight trunk	\$ 400.00	\$ 2,800.00	X
4	QM	<i>Quercus macrocarpa</i>	Burr Oak	2.5" cal.	as shown	88B	Single straight trunk	\$ 400.00	\$ 1,600.00	X
3	QR	<i>Quercus rubra</i>	Red Oak	2.5" cal.	as shown	88B	Single straight trunk	\$ 400.00	\$ 1,200.00	X
3	GB	<i>Quercus garbinifolia</i>	Swamp White Oak	2.5" cal.	as shown	88B	Single straight trunk	\$ 400.00	\$ 1,200.00	X
4	TA	<i>Tilia americana</i>	Redmond American Basswood	2.5" cal.	as shown	88B	Single straight trunk	\$ 400.00	\$ 1,600.00	X
Foundation Plantings										
12	CV	<i>Chamaecyparis a. 'Nana'</i>	True Dwarf Hinoki False Cypress	24" ht.	as shown	cont.	Well rooted	\$ 50.00	\$ 600.00	
4	HP	<i>Hydrangea p. Little Quicksilver</i>	Little Quicksilver Hydrangea	30" ht.	as shown	cont.	Well rooted	\$ 50.00	\$ 200.00	
12	KG	<i>Koeleria glabra 'Gem Bar'</i>	Gem Box Highberry Holly	24" ht.	as shown	88B		\$ 50.00	\$ 600.00	
32	TM	<i>Thuja s. m. 'Danebrog'</i>	Danebrog Tree	24" cal.	as shown	88B	Trim to Hedge	\$ 50.00	\$ 1,600.00	
4	VA	<i>Viburnum acerifolium</i>	Mapleleaf Viburnum	30" ht.	as shown	88B		\$ 50.00	\$ 200.00	X
30	PA	<i>Pennisetum a. 'Karlfo Rose'</i>	Karlfo Rose Dwarf Fountain Grass	#1	as shown	cont.	Well rooted	\$ 15.00	\$ 450.00	
30	BS	<i>Penstemon a. 'Blue Jean Baby'</i>	Blue Jean Baby Russian Sage	#1	as shown	cont.	Well rooted	\$ 15.00	\$ 450.00	
30	HH	<i>Hosta 'Hollyon'</i>	Hosta Hosta	#1	as shown	cont.	Well rooted	\$ 15.00	\$ 450.00	
29	AM	<i>Allium 'Millennium'</i>	Millennium Ornamental Onion	#1	as shown	cont.	Well rooted	\$ 15.00	\$ 435.00	
								Irrigation (Existing)	\$ -	
								30 CY Double Shredded Hardwood	\$ 30.00	\$ 1,800.00
								100 Seed (SOD) - damage repair	\$ 1.00	\$ 100.00
								0 Seed - Detention Pond (STD)	\$ 6.00	\$ -
								0 Semi-Low Biopass Soil (SOD)	\$ 6.00	\$ -
Landscape Cost Estimate								\$ 1	\$ 23736.80	



1 FOUNDATION LANDSCAPE PLAN
L-3

NOT FOR CONSTRUCTION



Plan View
Scale - 1" = 50ft

Symbol	Label	QTY	Manufacturer	Catalog Number	Lumens per Lamp	LLF	Wattage	Polar Plot	CRI	CCT
	A	45	Lithonia Lighting	DSX1 LED P3 50K 80CRI TSW	13466	0.9	102.17		80	50K
	B	33	Lithonia Lighting	DSX1 LED P3 50K 80CRI TSW	13466	0.9	204.34		80	50K
	D	4	LUMENPULSE	LBL-120-30K-WFL-XX-XX-SNW	3559	0.9	50		80	30K
	D2	4	LUMENPULSE	LBL-120-30K-M-XX-XX-SNW	4888	0.9	50		80	30K
	E	12	LUMENPULSE	LBL-120-30K-FL-XX-XX-SNW	4242	0.9	50		80	30K
	G	4	LUMENPULSE	LOI ASHRAE-120-48-30K-WW-TSS-XX-XX-ASL	848	0.9	20		80	30K
	G2	2	LUMENPULSE	LOI RO-120-48-30K-WW-TSS-XX-XX-ASL	1514	0.9	34		80	30K
	G3	2	LUMENPULSE	LOI HO-120-48-30K-WW-TSS-XX-XX-ASL	3028	0.9	61.2		80	30K
	F	15	EXISTING	EXISTING	1086	0.9	100			

Statistics						
Description	Symbol	Max	Min	Max/Min	Avg/Min	Avg
Calc Zone #1	+	3.9 fc	0.0 fc	N/A	N/A	0.9 fc
Parking	X	3.9 fc	0.1 fc	39.0:1	19.0:1	1.9 fc
Parking without Tower		3.9 fc	0.1 fc	39.0:1	19.0:1	1.9 fc
Tower - east	+	17.5 fc	5.1 fc	3.4:1	1.9:1	9.9 fc
Tower - north	+	12.9 fc	3.1 fc	4.2:1	2.5:1	7.8 fc
Tower - south	+	18.0 fc	4.1 fc	4.4:1	2.6:1	10.7 fc

General Note

1. SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
2. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"
3. ELECTRICAL SERVICE TO NEW GRADE MOUNTED FIXTURES SHALL BE ROUTED IN CONDUIT UNDERGROUND.
4. FLASHING LIGHT SHALL NOT BE PERMITTED.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION SEVERE CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2019. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT CONTROL@GASSERBUSH.COM OR 734-266-6705.

Alternates Note

THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.

Ordering Note

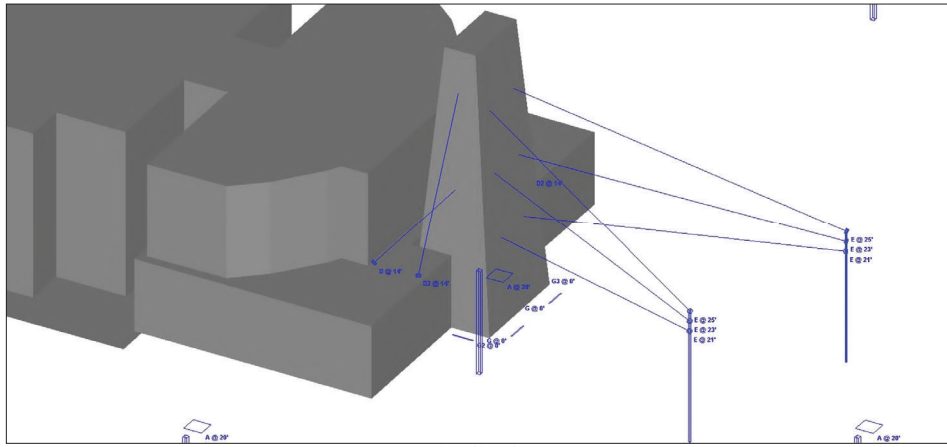
FOR INQUIRES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

Drawing Note

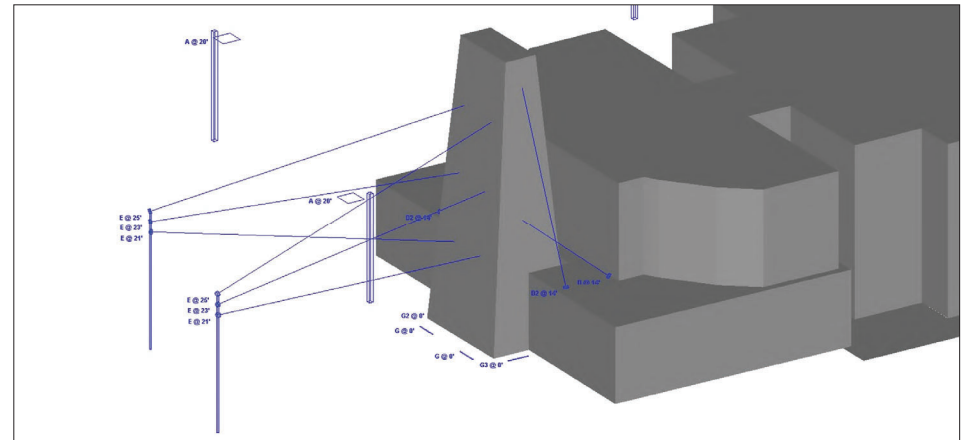
THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

Mounting Height Note

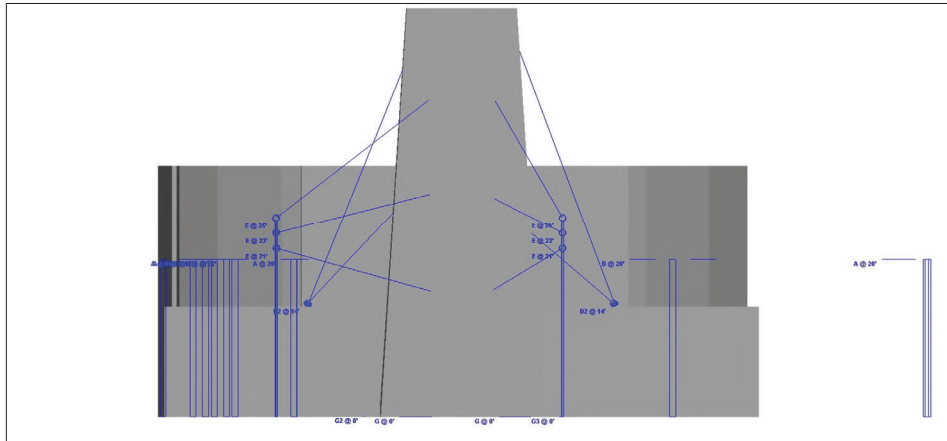
MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.



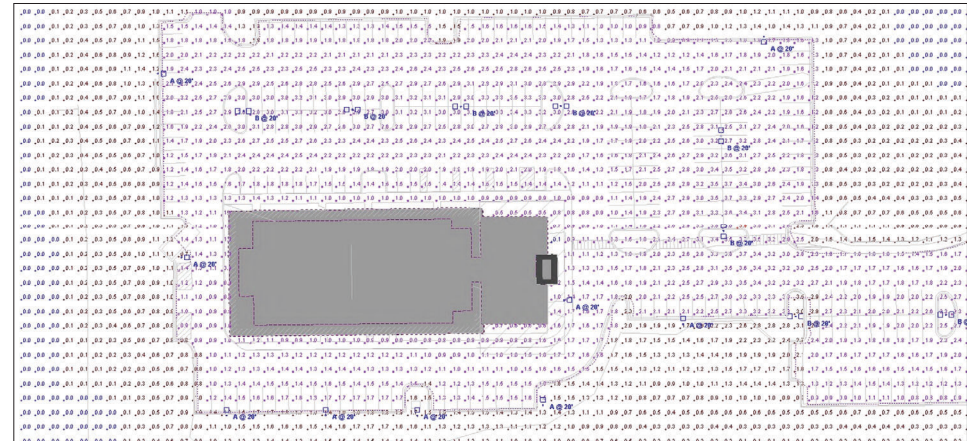
TOWER - SOUTHEAST



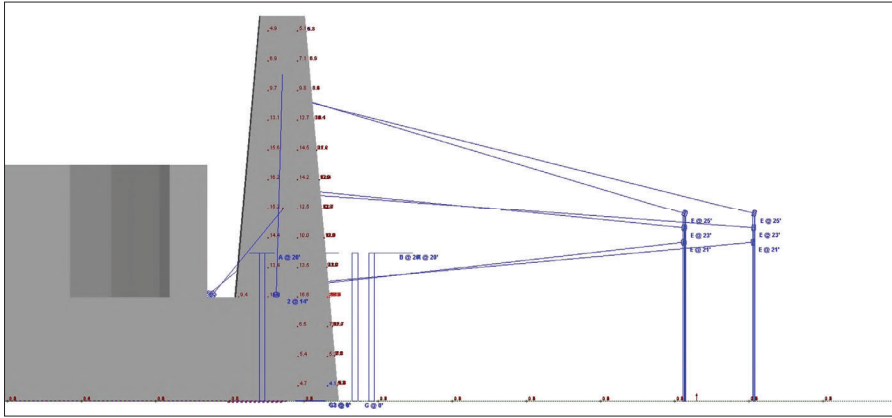
TOWER - NORTHEAST



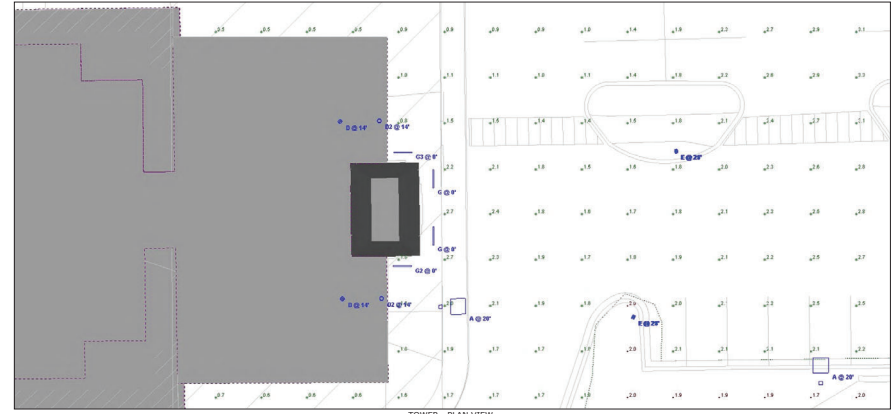
TOWER - EAST



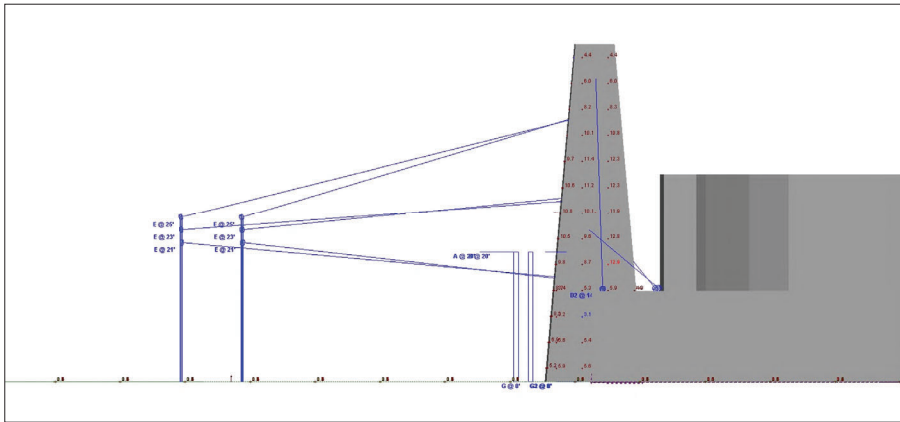
PLAN VIEW WITHOUT TOWER LIGHTING



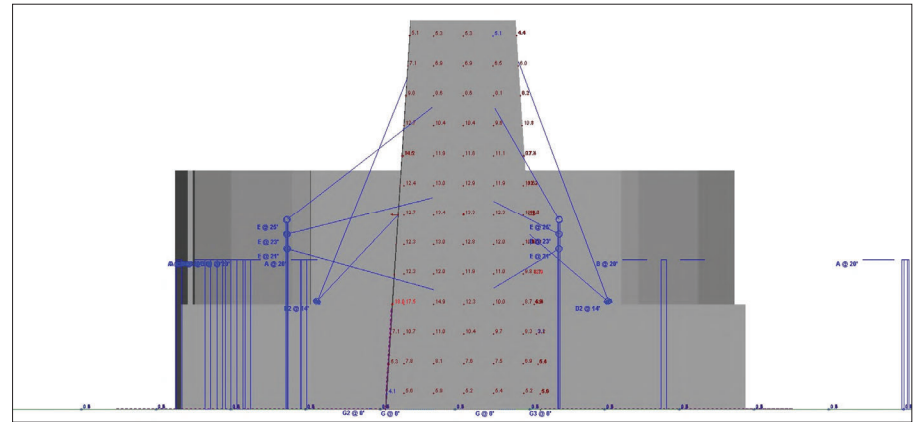
TOWER - SOUTH



TOWER - PLAN VIEW



TOWER - NORTH



TOWER - EAST

D-Series Size 1 LED Area Luminaire



Specifications

EPN	0.68 ft
Length	32.71"
Width	14.26"
Height H1	7.88"
Height H2	2.23"
Weight	26 lbs



Introduction
The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficiency, long life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Recommended by a **IESNA** (Illuminating Engineering Society) Design Select program and is a 50 lumen/W luminaire. See www.iesna.org for more information.

Ordering Information

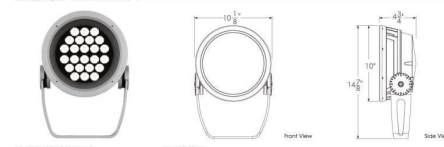
EXAMPLE: DSK1 LED P7 40K 70CR TM MVOLT SPA NTAIRZ PIRVN D0XBZ

Series	SKU	Color Temperature	Color Rendering	Mounting	Finish	Notes
DSK100	DSK100	3000K	90Ra	Surface Mount	Black	Standard
	DSK100	4000K	90Ra	Surface Mount	Black	Standard
	DSK100	5000K	90Ra	Surface Mount	Black	Standard

Mounting	SKU	Color Temperature	Color Rendering	Mounting	Finish	Notes
DSK100	DSK100	3000K	90Ra	Surface Mount	Black	Standard
	DSK100	4000K	90Ra	Surface Mount	Black	Standard
	DSK100	5000K	90Ra	Surface Mount	Black	Standard

Specification Sheet

Project Name _____ City _____
Type: **D, O, E** Catalog / Part Number _____



Photometric Summary

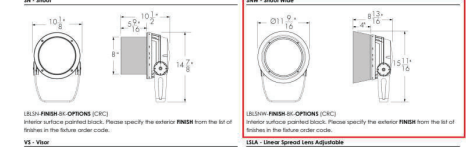
Specimen	Delivered output (lm)	Intensity (candle)
AN (2)	4,222	593,280
VN (2)	3,314	172,676
NS (10)	3,543	82,668
NF (20)	3,673	33,303
NA (30)	3,704	19,246
FL (40)	4,248	11,469
TM (100)	4,026	1,497
VW (100)	4,484	2,226
NA (100)	3,687	56,700 (82.5%)
NW (100)	4,544	13,024 (83%)

Optic

Extra	Very	Narrow	Narrow	Round
Maculux	Tlood 47°	MOE	Very Wide Flood 90°	Asymmetric
Asymmetric	Asymmetric	Asymmetric	Asymmetric	Asymmetric

Specification Sheet

Project Name _____ City _____
Type: **G, O, C** Catalog / Part Number _____



Photometric Summary

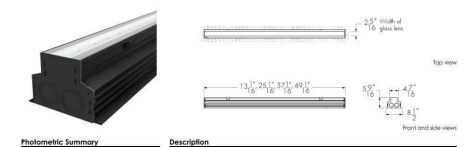
Delivered output (lm)	Intensity (candle)
10'x10'	4,110
10'x12'	4,110
10'x14'	4,110
10'x16'	3,876
10'x18'	3,642
10'x20'	3,408
12'x20'	4,223
12'x24'	4,033
12'x28'	4,212
12'x32'	4,056
12'x36'	3,898
12'x40'	4,548
12'x44'	4,070

Optical Accessories (Order Separately)

Accessory	SKU	Notes
Linear spread lens adjustable	IBSNWS	N/A
Wire guard	IBSNWS	N/A

Specification Sheet

Project Name _____ City _____
Type: **G, O, C** Catalog / Part Number _____



Photometric Summary

Delivered output (lm)	Intensity (candle)
10'x10'	4,110
10'x12'	4,110
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10'x16'	3,876
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General Note

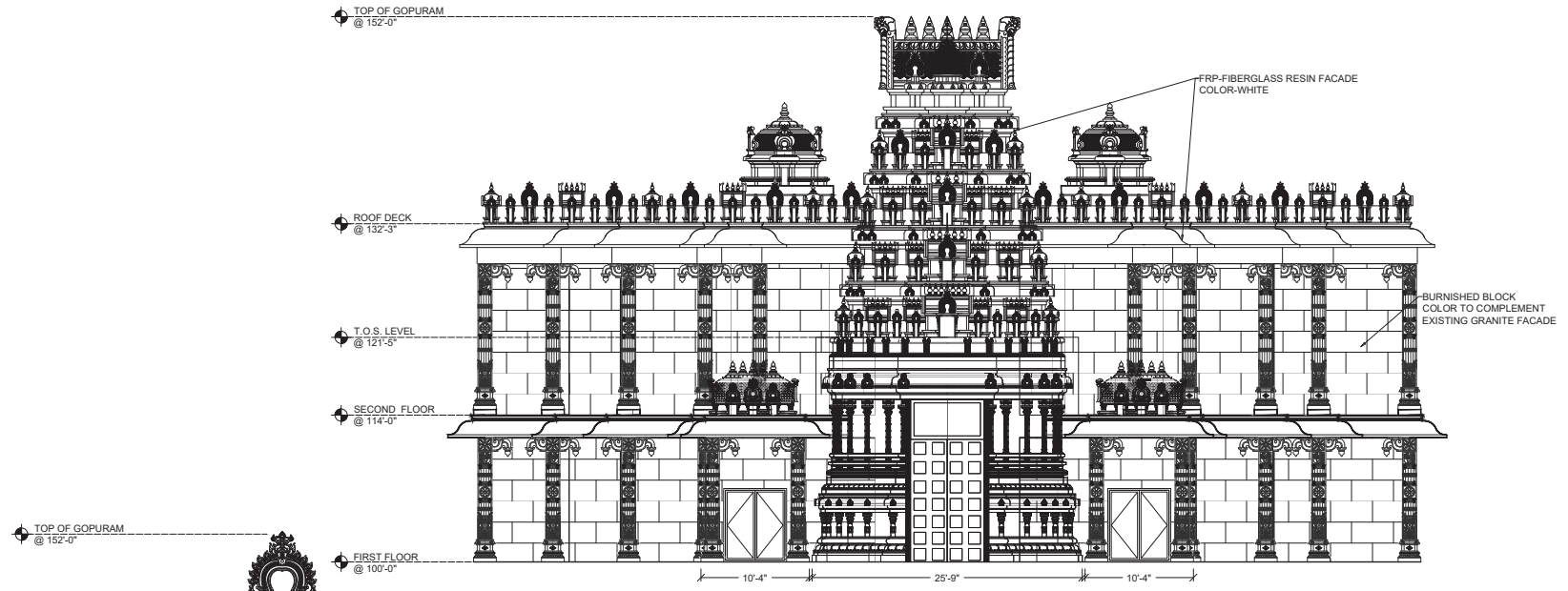
- SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
- CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"

MEEC
Michigan Electrical Engineering Consultants
17700 Eureka Road, Suite 200
Farmington, MI 48335
734-666-0810
www.meecc.com

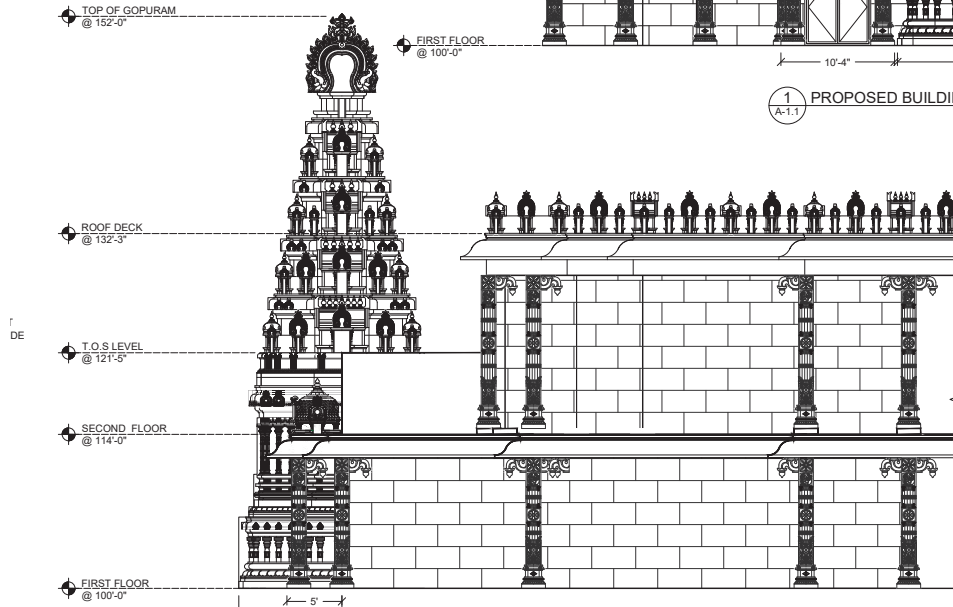
MECHANICAL ELECTRICAL ENGINEERING CONSULTANTS

SV TEMPLE AND CULTURAL CENTER
26232 14th Road, Novi, Michigan
SITE LIGHTING PHOTOMETRIC PLAN

Designer: TSD/S/KS
Date: 04/08/2016
Scale: Not to Scale
Drawing No.: 4 of 4



1 PROPOSED BUILDING EAST ELEVATION WITH FRP DECORATION
 (A-1.1) Scale: 3/16"=1'-0"



1 PROPOSED BUILDING NORTH ELEVATION WITH FRP DECORATION
 (A-1.1) Scale: 3/16"=1'-0"

DATE	ISSUE	BY	DATE	ISSUE	BY
10/27/25	REVISED AS PER CITY COMMENTS	BK			

PROJECT
**SRI VENKATESWARA TEMPLE
 & CULTURAL CENTER**
 26233 TAFT RD, NOVI, MI 48374

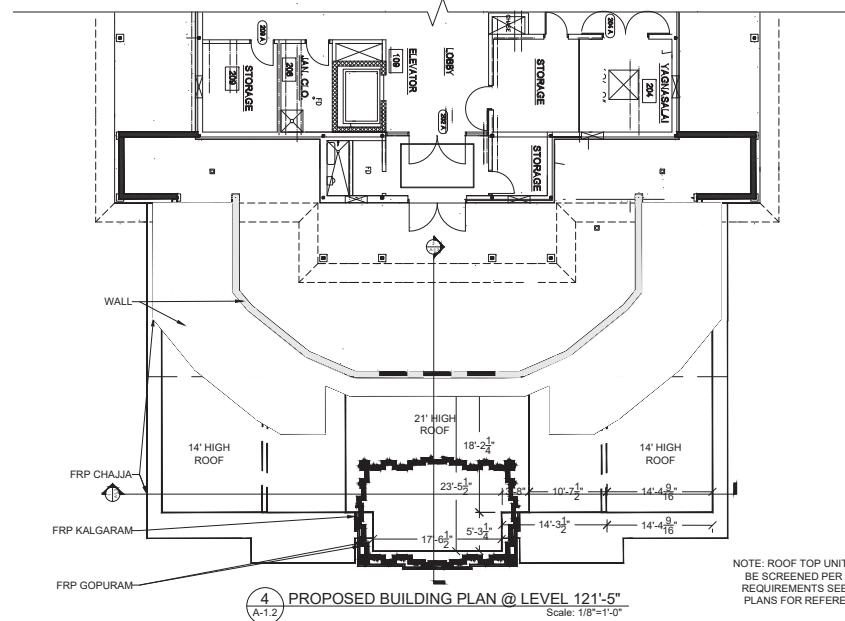
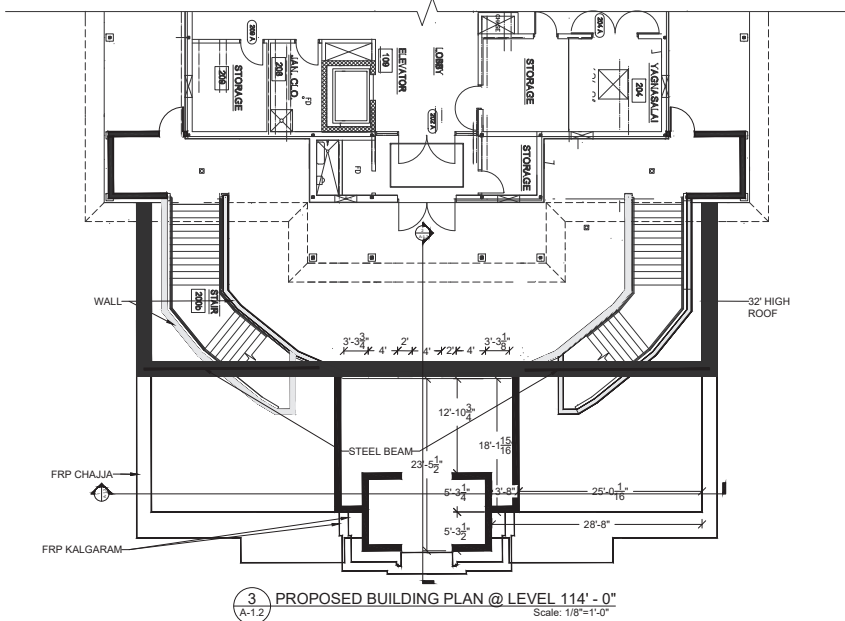
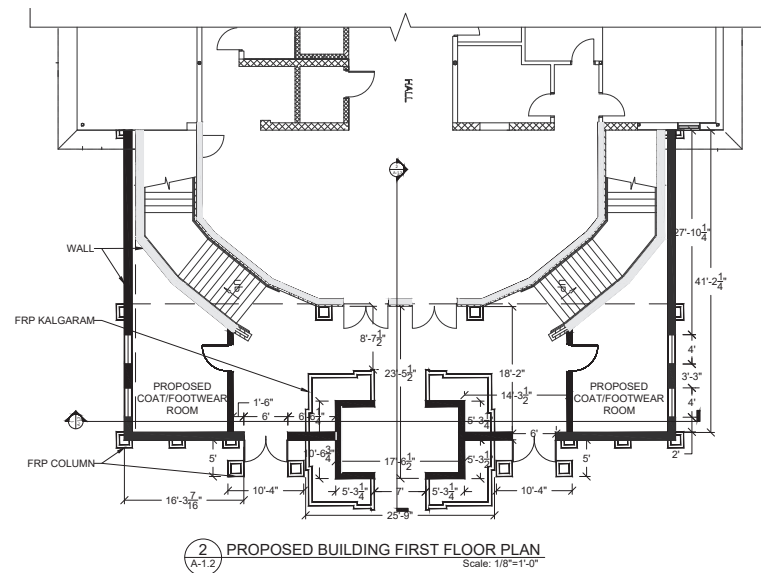
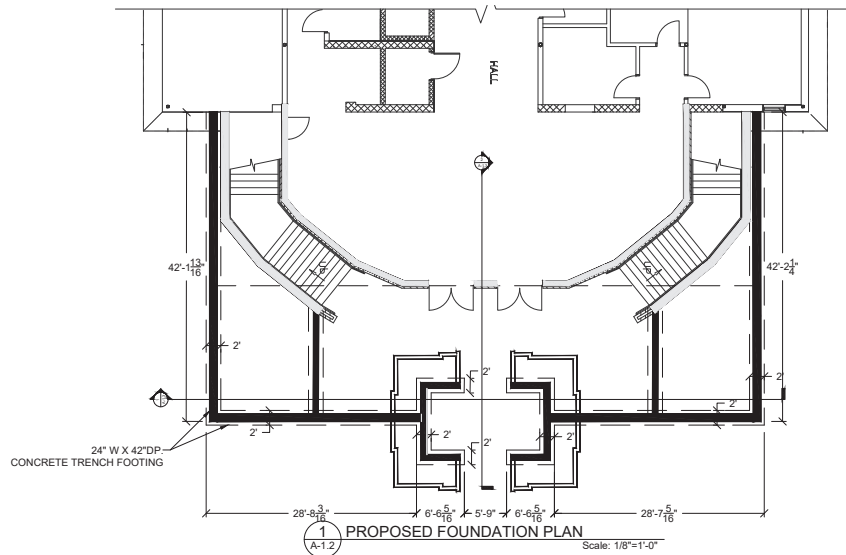
FAIRWAY ENGINEERING, LLC
 LAND DEVELOPMENT - STRUCTURAL - GEOTECH
 28225 BECK ROAD, SUITE 114 WIXOM, MI 48393-4743
 P(248) 214-5913

DATE	02-16-24	OKD. BY	DATE
DRAWN	POOJA		
DESIGN	MM		
SECTION	16 T-1-N, R-8-E		



PROPOSED ELEVATION PLAN

JOB No	23-1016
SHEET	A-1.1
SHEET 1 OF 3	



NOTE: ROOF TOP UNITS WILL BE SCREENED PER CITY REQUIREMENTS SEE MEP PLANS FOR REFERENCE.

DATE	ISSUE	BY	DATE	ISSUE	BY	PROJECT
10/27/25	REVISED AS PER CITY COMMENTS	BK				SRI VENKATESWARA TEMPLE & CULTURAL CENTER
						26233 TAFT RD, NOVI, MI 48374

SRI VENKATESWARA TEMPLE & CULTURAL CENTER
26233 TAFT RD, NOVI, MI 48374

FAIRWAY ENGINEERING LLC
LAND DEVELOPMENT - STRUCTURAL - GEOTECH
2825 BECK ROAD, SUITE 114 WIXOM, MI 48393-4743
P(248) 214-5913

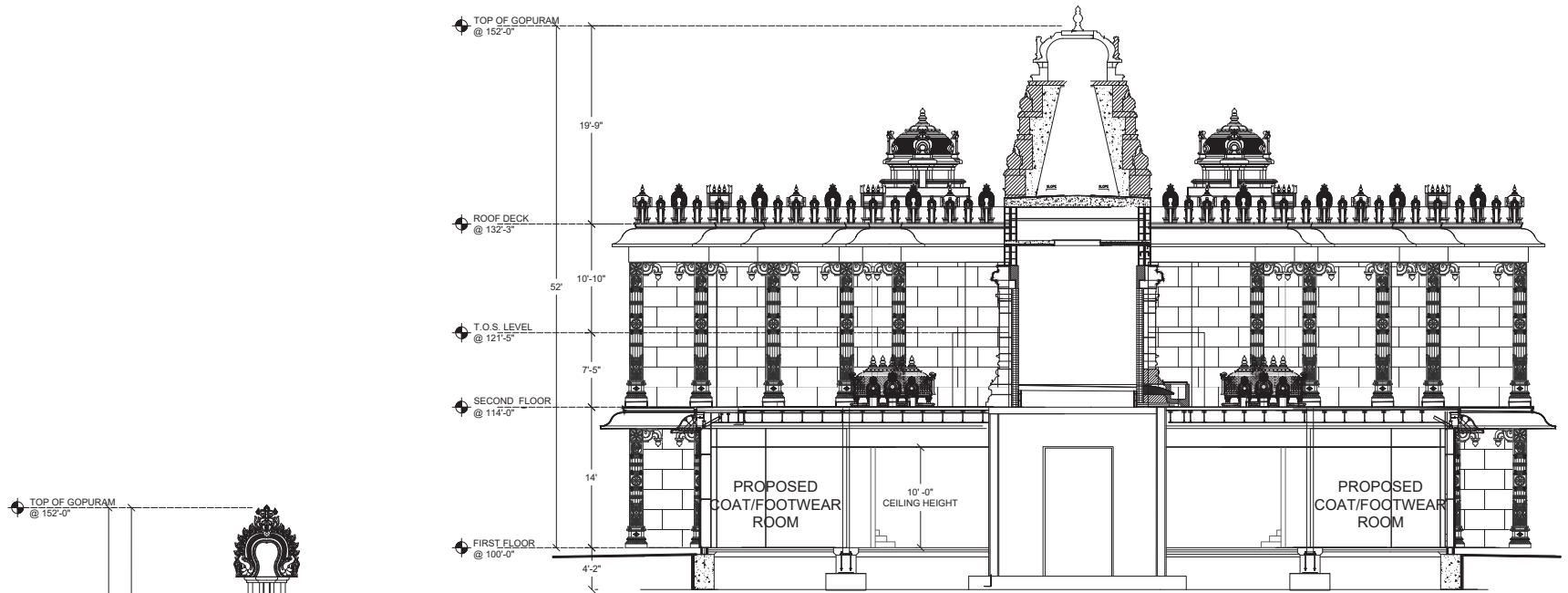
DATE 02-16-24 OKD. BY DATE
DRAWN POOJA
DESIGN MM



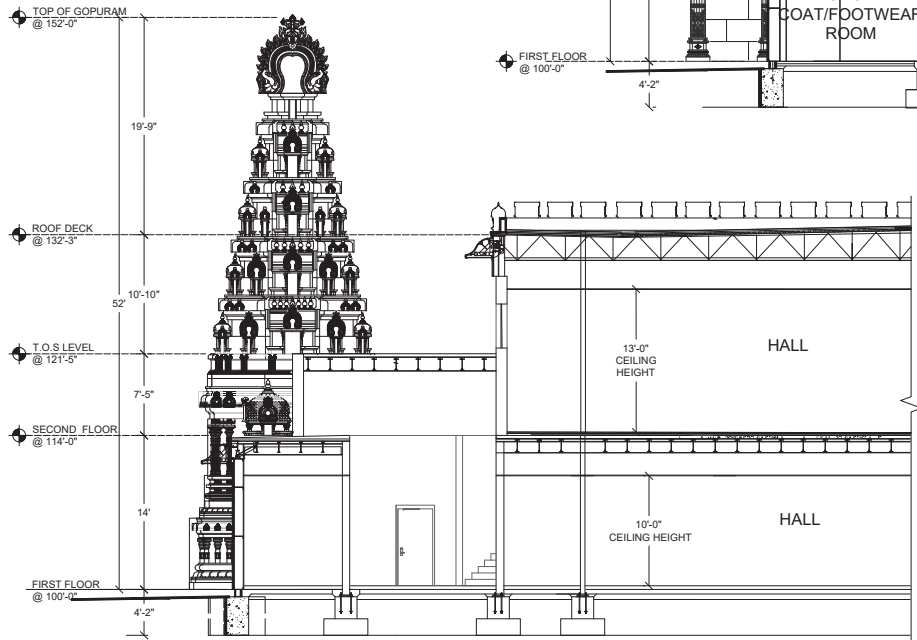
72 HOURS
3 WORKING DAYS
BEFORE YOU DIG
CALL MISS DIG
800-482-7171
(TOLL FREE)

PROPOSED FLOOR PLAN

JOB No 23-1016
SHEET A-1.2
SHEET 2 OF 3



1 PROPOSED BUILDING NORTH-SOUTH SECTION WITH FRP DECORATION
Scale: 3/16"=1'-0"



1 PROPOSED BUILDING EAST-WEST SECTION WITH FRP DECORATION
Scale: 3/16"=1'-0"

DATE	ISSUE	BY	DATE	ISSUE	BY	PROJECT
10/27/25	REVISED AS PER CITY COMMENTS	BK				

SRI VENKATESWARA TEMPLE
& CULTURAL CENTER
26233 TAFT RD, NOVI, MI 48374

FAIRWAY ENGINEERING LLC
LAND DEVELOPMENT - STRUCTURAL - GEOTECH
2825 BECK ROAD, SUITE 114 WIXOM, MI 48393-4743
P(248) 214-5913

DATE	02-28-24	CHK. BY	DATE
DRAWN	POOJA		
DESIGN	MM		
SECTION	16 T-1-N-R-8-E		



PROPOSED SECTIONS

JOB No 23-1016
SHEET A-1.3
SHEET 3 OF 3

PLANNING REVIEW



PLANNING REVIEW

SV Temple Phase III Rajagopuram
 JSP24-17
 March 20, 2026

PETITIONER:

Manyam Group | Praveen Manyam

REVIEW TYPE:

Second Revised Preliminary Site Plan

PROPERTY CHARACTERISTICS:

Section	16	
Site Location	26233 Taft Road, Novi, Michigan (50-22-16-451-081)	
Site School District	Novi Community School District	
Site Zoning	RA: Residential Acreage	
Adjoining Zoning	North	CW: City West and R-2: One Family Residential District
	East	I-1: Light Industrial and RA: Residential Acreage
	West	RA: Residential Acreage
	South	R-1: One-Family Residential
Current Site Use	Religious Institution	
Adjoining Uses	North	Industrial and Residential
	East	Industrial and Residential
	West	Residential
	South	Residential
Site Size	12.22 acres (former site 10.11 acres, parcel combination added 2.11 acres)	
Plan Date	02/26/2026	

PROJECT SUMMARY

The applicant proposes to construct an approximately 3,100 square-foot decorative gateway structure, featuring a 52' tall Rajagopuram tower, at the east entrance of the 24,283 square-foot existing two-story temple. A 42"x42"x15' Deepasthambham (traditional lamp post) is proposed on the north side of the entrance. To accommodate these improvements, existing brick pavers, four benches, and a light pole near the entrance area will be removed.

In addition, the existing second floor exterior porch, approximately 1,900 square feet, will be enclosed, including the two exterior stairways. While these stairs are not used daily, they serve as a ceremonial grand entrance during special events. Ongoing maintenance issues with the heat tape system installed underneath the stair tiles have prompted the enclosure. Minor interior renovations include the addition of two new coat/footwear rooms adjacent to the stairways.

The project also includes the completion of intended parapet decorative panels from the original design in 2008 but were not added at that time.

PROJECT HISTORY

The Sri Venkateswara Temple and Cultural Center project underwent multiple reviews between 2008 and 2010, resulting in the following approvals:

- **October 22, 2008:** The Planning Commission approved the Special Land Use Permit, Preliminary Site Plan, Phasing Plan (Phase 1 - Temporary Temple/Priest Residence, Phase 2 - Temple, Phase 3 - Cultural Center), Wetland Permit, Woodland Permit, and Stormwater Management Plan (SP08-08B).

- **November 12, 2008:** The Zoning Board of Appeals granted variances for the temple height (35 feet allowed, 37'-4.5" feet proposed) and the placement of the cultural center dumpster in the side yard. A variance request for a parking deficiency (308 spaces required, 274 proposed) was postponed for further review.
- **February 25, 2009:** The Planning Commission reaffirmed Special Land Use approval and approved a Revised Preliminary Site Plan, Phasing Plan (Phase 1 – Temple, Phase 2 - Cultural Center), Wetland Permit, Woodland Permit, and Stormwater Management Plan (SP08-08C). The revisions included elimination of the temporary temple/priest residence (formerly Phase 1 of the project) to meet parking requirements, increasing parking to 306 spaces.
- **October 2, 2009:** Final Stamping Set approval
- **May 12, 2010:** The Planning Commission approved the revised Phasing Plan (Phase 1 - Temple, Phase 2 - Cultural Center, and Phase 3 – Maha Rajagopuram), subject to the applicant working with staff on the phased elevations A, B, and C (SP10-18). The Rajagopuram, a gateway entry structure to the temple, was previously included as part of Phase 1.

The Special Land Use approval for a place of worship in the R-A district, originally granted by the Planning Commission on 10/22/08 and reaffirmed on 2/25/09, remains valid as no change of use is proposed.

The Phasing Plan previously approved by the Planning Commission established:

- Phase 1 - Temple
- Phase 2 - Cultural Center
- Phase 3 - Rajagopuram

The construction of Phase 1 was completed in 2012. The applicant is requesting to revise the sequence of development by constructing the Rajagopuram (currently Phase 3) prior to the Cultural Center (currently Phase 2). This modification requires Planning Commission approval.

Zoning Board of Appeals approvals expire after one year; therefore, a new approval will be required for the proposed height of 52'.

The project site (parcel 50-22-16-451-032, 10.11 acres) was combined with the adjacent parcel to the south (Parcel 50-22-16-451-033, 2.11 acres) on January 1, 2025, resulting in a new combined parcel (Parcel 50-22-16-451-081) totaling 12.22 acres.

RECOMMENDATION

The revised Preliminary Site Plan is **approved** by Planning and Façade. Previously the Preliminary Site Plan was **approved** by Engineering and **conditionally approved** by Landscape and Fire with items to be addressed in the Final Site Plan submittal. The approvals are subject to Planning Commission approval of the Preliminary Site Plan and Phasing Plan.

ORDINANCE REQUIREMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. The items in **bold** must be addressed and incorporated as part of the next submittal.

1. Photometric Plan (Section 5.7.2.A.ii): A photometric plan is required at the time of Preliminary Site Plan as the property abuts residential. The submitted set does not include a photometric plan according to the requirements of the city if any lighting changes are proposed. If lighting changes are proposed, please provide a photometric plan.

Revised Preliminary Site Plan (rPSP): A photometric plan has been provided for the additional lighting proposed for the Rajagopuram project. To confirm compliance with ordinance standards, please verify the ave/min calculations, indicate any proposed shielding and fixture angles to ensure light is not cast toward adjacent properties or transmitted into the night sky, indicate hours of operation, and whether any motion activated lighting is proposed.

2nd Revised Preliminary Site Plan (rrPSP): Not resolved – the following items shall be resolved at Final Site Plan.

The 8.5:1 ave/min ratio for parking lot lighting and 7.9:1 ave/min ratio for the tower-south lighting exceed the required 4:1 standard. Please add north elevation photometric calculations on lighting sheets 1 and 3.

The applicant should revise the lighting plan to meet the ave/min calculation requirements and/or provide a justification in their response letter explaining why the uniformity requirement should not apply to the temple tower illumination. This should include a clear distinction between vertical architecture lighting and horizontal surface lighting, as well as an explanation of whether the tower lighting contributes measurable light to the horizontal plane. Consideration should also be given to providing separate calculations (e.g., with the tower lighting turned off) to isolate and evaluate the parking lot lighting independently.

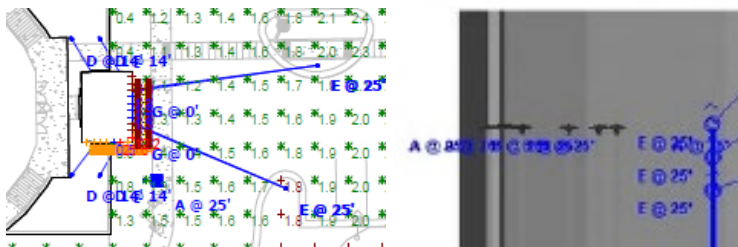
Please indicate hours of operation and whether any motion activated lighting is proposed.

The Final Stamping Set dated 10/2/09 indicates the height for parking lot light poles to be 20 feet and lighting in compliance with the ordinance. No record was found that a subsequent review was conducted for parking lot lighting, however, the photometric plan dated 3/5/26 indicates height of existing light poles to be 25 feet. The applicant is asked to verify height of existing poles and confirm if replacements have been made to the poles or heads to ensure they are still in compliance with ordinance requirements.

rPSP: The parcel boundaries changed when the parcel combination occurred (see note 8 below). Please update the photometric accordingly.

rrPSP: Resolved – The boundary of the combined parcels is now shown on the photometric plan.

rPSP: Some of the fixture labels on the photometric overlap – please revise to ensure the labels are readable.



rrPSP: Not resolved – please ensure labels are readable. This shall be resolved at Final Site Plan.

2. **Façade – Color (Section 5.15.2):** The use of dissonant and/or intense colored façade materials is not permitted. The use of neon, LED, or flashing or color-changing illuminated features is not permitted.

rPSP: The photometric plan indicates color changing pole and deck mounted LED lighting to be used to illuminate the Rajagopuram. Please provide lighting details as requested in the Façade review letter to demonstrate compliance with the ordinance.

rrPSP: Resolved: The applicant notes in their response that all items pertaining to color changing LED lighting have been removed in favor of a standard lighting approach and notes that the tower should always be lit white. The spec sheets have been updated to fixtures with white and static colors. The applicant indicates the fixture being specified is a 3000K standard white light. This will be made a condition of Planning Commission approval. Please refer to the Façade review for further information.

3. Phasing Plan Revisions (Section 6.1.B.vii.d): Reordering of phases requires approval from the Planning Commission. On the next submittal, please indicate that the proposed cultural center would be changed to Phase 3. Clearly differentiate phases not part of the project on plans with screening or boundary lines.

rPSP: Resolved - differentiation of the phases has been indicated on the plans.

4. Height Limit (Section 3.35.3): The proposed height of 52' exceeds ordinance standards of maximum of 35' or 2 ½ stories, whichever is less. The proposed height will require a new Zoning Board of Appeals variance approval.

rPSP: Resolved - the applicant indicates an application will be submitted to the ZBA for approval after receiving Preliminary Site Plan approval.

5. A landscape plan is required with the Preliminary Site Plan submittal. Please see the Landscape Review Letter for additional information.

rPSP: Resolved - Landscaping sheets L-1, L-2, L-3, and L-4 have been added to the plan set. Refer to the Landscape review letter for comments.

6. Bicycle Parking Requirements (Section 5.16): When a principal building is enlarged by 10% or more of the existing gross floor area (13% increase proposed), bicycle parking shall be required, 5% of required automobile spaces, minimum of 8 spaces (306 spaces x 5% = 15 bicycle spaces required).

rPSP: The applicant has provided 6 bicycle parking spaces on an end island east of the temple entrance (which appears to conflict with an existing parking lot fixture). The number of spaces should be increased to meet the minimum requirement and located to ensure adequate space for the bicycle parking lot layout as shown in Section 5.16.6. Provide bicycle parking in multiple locations as the building has multiple entrances.

rrPSP: Not resolved - The 6 bicycle parking spaces have been moved from the end island to the southeast corner of the temple; however, the following items still need to be addressed.

- o **The total number of spaces required (15) has not been provided (see deferral/landbanking note below).**
- o **When 4 or more spaces are required, they should be located at multiple entrances**
- o **Bicycle rack details have not been provided**
- o **The bicycle parking layout has not been dimensioned to ensure compliance**

7. Bicycle Parking – Deferrals/Landbanking (Section 5.16.2): If it can be demonstrated that bicycle parking requirement for the site is not needed to meet current demand, the Planning Commission may allow deferral of the installation of some or all of the required bicycle parking, provided that the site plan designates an area for land banked bicycle parking facilities for future construction.

rrPSP: The applicant should indicate in their response letter if they wish to request land banked bicycle parking to locate a portion of the required bicycle parking spaces near the cultural center at the time that phase is constructed.

8. Parcel ID: A parcel combination was performed for former parcels 50-22-16-451-032 and 50-22-16-451-033 on 01/01/25.

rPSP: Please update the parcel ID (50-22-16-451-081) and legal description on the cover sheet to reflect the new number and show the new parcel boundaries on the site plan.

rrPSP: Not resolved - the boundaries of the combined parcels are now shown on the site plan and photometric plan; however, the parcel ID and legal description have not been updated on the cover sheet - please update with current information. This shall be resolved at Final Site Plan.

9. Planning Review Chart: The Planning Review Chart provides additional comments and requests clarification for certain items. Please address these items in addition to the comments provided in this letter.

NEXT STEP: PLANNING COMMISSION MEETING

As all reviewers now recommend approval or conditional of the Preliminary Site Plan, the project can be scheduled to appear before the Planning Commission for consideration of the revised phasing plan on **April 15, 2026**. The following should be provided via email by **April 8, 2026**:

1. Site Plan submittal in PDF format (maximum of 10MB). **NO CHANGES MADE TO THE APPROVED PLAN.**
2. A response letter addressing all comments from each review letter, including any requests for waivers/variances as appropriate.
3. A color rendering of the Site Plan (to be used for Planning Commission presentation).

FUTURE STEP: ZONING BOARD OF APPEALS (ZBA)

Any variances required shall be requested from the Zoning Board of Appeals (ZBA) prior to the submittal of the Final Site Plan. The ZBA meets on the 2nd Tuesday of each month. To request to appear before the ZBA, an application must be submitted by the first business day of the month for the following month's meeting. ZBA applications should be submitted to Megan Nardone at mnardone@cityofnovi.org.

[Dimensional Variance Zoning Board of Appeals Application Packet](#)

FUTURE STEP: FINAL SITE PLAN

Upon approval from the Planning Commission and Zoning Board of Appeals, the applicant should submit the following for Final Site Plan review and approval:

1. [Final Site Plan Submittal Form](#)
2. [Final Site Plan Checklist](#)
3. Engineering Cost Estimate – an itemized 8.5"x11" estimate including sanitary sewer, watermain, storm sewer, paving and grading costs (The cost estimate should not include soil erosion or demolition costs.)
4. Landscape Cost Estimate – an itemized 8.5"x11" estimate including greenbelt and greenbelt ornamental trees, perennials, pond plantings, shrubs, edging, mulch, seed mix and seeded lawn.
5. Five copies of the Final Site Plan addressing all comments from Preliminary review letters
6. A response letter addressing all comments and referring to sheet numbers where the change is reflected. Please refer to the last (most current) review letters.

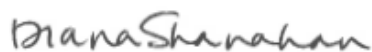
FUTURE STEP: STAMPING SET APPROVAL

Stamping sets are required for this project. After having received all the review letters from City staff, the applicant should make the appropriate changes on the plans and submit **8 size 24" x 36" copies with original signature and original seals**, to the Community Development Department for final stamping set approval.

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If you have any questions concerning the above review or the process in general, please do not hesitate to contact me at (248) 347-0483 or dshanahan@cityofnovi.org.



Diana Shanahan – Planner



PLANNING REVIEW CHART: RA – Residential Acreage & Special Land Use

Project Name: JSP24-17 SV TEMPLE – PHASE III RAJAGOPURAM (26233 Taft Road)

Review Date: March 20, 2026

Review Type: Second Revised Preliminary Site Plan

Plan Date: February 26, 2026

Prepared By: Diana Shanahan, Planner dshanahan@cityofnovi.org (248) 347-0483

NOTES

- This chart serves as a working summary and is not intended to replace any Ordinance, requirement, or standard of the City of Novi.
- References to relevant ordinance sections are indicated in parenthesis. Please refer to the [City of Novi Ordinance](#) for complete details.
- Comments highlighted in **bold** must be addressed prior to the approval of the Preliminary Site Plan.

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan <i>(Adopted 6/25/25)</i>	Single Family	No change proposed	Yes	
Zoning <i>(Effective 1/8/15)</i>	R-A: Residential Acreage	No change proposed	Yes	
Uses Permitted <i>(Section 3.1.1.B & C)</i>	Section 3.1.1.B Principal Permitted Uses Section 3.1.1.C Special Land Uses	Places of Worship - Rajagopuram – covered vestibule addition to existing SV Temple ~3,100 sq ft building addition proposed for a single story, ground floor vestibule space with a second floor to cover existing stairs	Yes	<i>Planning Commission approval for Special Land Use for a Place of Worship was received 10/22/2008.</i>
Phasing Requirements				
Phasing <i>(Ordinance Section 11-7 – Phased Construction)</i>	Projects on which phasing of construction is intended shall provide a separate plan which breaks down all improvement quantities by item; sidewalks, storm sewer, landscaping, pavement, and utilities for each phase. Such phasing limits shall match those approved or to be approved by the Planning Commission.	Phasing plan provided	Yes	<i>The original master plan for Phases 1, 2, and 3 for the property was approved in 2008. The Maha Rajagopuram is considered Phase 3 and was approved as a 37'-4.5" decorative gateway tower structure. Proposed height of 52' will require a ZBA variance but does not affect the approved SLU.</i>
Planning Commission Approval <i>(Section 6.1.B.vii.d)</i>	Site plan review and approval by the Planning Commission is required prior to conducting	Revision to the sequence of development by constructing the Rajagopuram (currently	TBD	The reordering of phases will require approval from Planning Commission

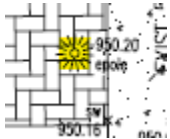
Item	Required Code	Proposed	Meets Code	Comments
	revisions made to any previously approved site plan, including revisions in any phasing plan	Phase 3) prior to the Cultural Center (currently Phase 2)		
Required Conditions: Places of Worship (Section 4.10)				
Minimum Site Size (Section 4.10.1)	Minimum 3 acres	10.11 acres	Yes	No change proposed
Minimum Site Width (Section 4.10.2)	Minimum 200 feet along front yard	Approximately 330 ft	Yes	No change proposed
Site Access (Section 4.10.3)	All access to the site shall be onto a Major Arterial, Arterial or Minor Arterial Road as shown on the City's Thoroughfare Plan	Site is accessed off Taft Road	Yes	No change proposed
Minimum Building Setbacks (Section 4.10.4)	Minimum seventy-five feet from all property lines.	All setbacks are minimum 75 feet	Yes	No change proposed
Parking in Front Yard (Section 4.10.6)	Parking is prohibited in the front yard and shall not be located within 20 feet of any side or rear lot line. However, when a lot abuts a residential lot, parking shall be set back at least 35 feet from all side and rear lot lines.	No additional parking is proposed	Yes	No change proposed
Parking Lot Screening (Section 4.10.7)	Screening of vehicular parking areas to conform with requirements in Section 5.5.3	The proposed addition does not require any additional parking spaces.	Yes	No additional parking lot landscaping is required for this project
Noise Impact Statement (Section 4.10.8)	A noise impact statement is required subject to Section 5.14.10.B	Previously provided during Planning Commission approval in 2008	N/A	No change proposed
Height, Bulk, Density and Area Limitations				
Maximum Lot Coverage (By All Buildings) (Section 3.1.1.D)	25%	Existing as part of approved Phase 3	Yes	
Building Height (Section 3.1.1.D)	Maximum 35 feet or 2 ½ stories, whichever is less	Proposed Rajagopurum height = 52'	No	The 52' proposed height will require a ZBA variance approval.
Height Limit (Section 3.35.3)	Height limitations do not apply to farm buildings, chimneys, church spires, flagpoles, public monuments or commercial wireless towers; for structures requiring special land use	Proposed Rajagopurum height = 52'		Distance to nearest property line = 75'

Item	Required Code	Proposed	Meets Code	Comments
	approval, the ZBA may specify a height limit, provided the height does exceed the distance to the nearest property line.			
Building Setbacks (Section 3.1.1.E and Section 4.10 – Places of Worship)				
Front @ Taft Road (Section 3.6.2.B)	For all non-residential uses:	> 75 ft	Yes	No change to existing setbacks
Side (north and south)	75 ft for all sides	> 300 ft	Yes	
Rear (west)		Approximately 82 ft	Yes	
Parking Setback (Section 3.1.1.E) Refer to applicable notes in Section 3.6.2				
Front @ Taft Rd (Section 4.10.6)	NO parking in front yard for churches	No new parking proposed	N/A	No change to parking proposed
Side (north and south) (Section 4.10.6)	20 ft (not abutting residential) 35 ft (abuts residential)	No new parking proposed	N/A	
Rear (west) (Section 4.10.6)	20 ft (not abutting residential) 35 ft (abutting residential)	No new parking proposed	N/A	
Note To District Standards (Section 3.6.2)				
Area Requirements (Section 3.6.2.A)	Lot width shall be measured between the two points where the front setback line intersects the side lot lines.	Non-residential use	N/A	
Building and Parking Setbacks (Section 3.6.2.B)	For all uses permitted other than single-family or two-family residential, the building or structure setback shall at least equal to: (1) the height of the main building; (2) seventy-five (75) feet; or (3) the setback required in the Development Standards of Section 3.1, whichever is greater	Complies	Yes	
Exterior Side Yard Abutting a Street (Section 3.6.2.C)	All exterior side yards abutting a street shall have a setback equal to the front yard setback requirement of the district in which located	Complies	Yes	
Wetland/Watercourse Setback (Section 3.6.2.M)	A wetland and watercourse setback shall be maintained in all districts	No wetlands impacted	N/A	

Item	Required Code	Proposed	Meets Code	Comments
Parking and Loading Requirements				
Number of Parking Spaces <i>(Section 5.2)</i> Places of Worship <i>(Section 5.2.12.B)</i>	1 for each 3 seats or persons permitted to capacity as regulated by local, county or state fire or building codes or 1 for 6 feet of pews in the main unit of worship, whichever is the greater, plus parking for accessory uses, if determined necessary by the City	No changes to parking proposed. Approved parking for Phase 3 accounted for in Phase 1.	Yes	
Shared Parking Study <i>(Section 5.2.7)</i>	Shared Parking Study is required if the applicant is requesting reduction of parking space due to multiple uses on site. This would require Planning Commission approval	N/A	N/A	
Parking Space Dimensions and Maneuvering Lanes <i>(Section 5.3.2)</i> <i>(Section 5.5.3.C.ii.i)</i>	- 90° Parking: 9 ft x 19 ft - 24 ft two-way drives 9 ft x 17 ft parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping	306 parking spaces exist, no changes proposed	Yes	
Parking Stall Located Adjacent to a Parking Lot Entrance (public or private) <i>(Section 5.3.13)</i>	Not located closer than 25 ft from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	N/A	N/A	
End Islands <i>(Section 5.3.12)</i>	End islands with raised curbs and landscaping are required at the end of all parking bays that abut traffic circulation aisles	End islands are existing, no changes proposed	Yes	
	End islands shall generally be at least 10 ft wide, have a 15 ft major radius, a 2 ft minor radius, and be constructed 3 ft shorter than the adjacent parking stall	End islands are existing, no changes proposed	Yes	
Barrier Free Spaces <i>Barrier Free Code</i>	- 306 parking spaces = 8 required ADA spaces - For every six or fraction of six accessible parking spaces, at least one shall	8 spaces existing adjacent to temple including 4 van accessible, 4 spaces existing adjacent to proposed cultural center	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	be van accessible = 2 van accessible required	including 2 van accessible		
Barrier Free Spaces <i>Barrier Free Code (2012 Michigan Building Code)</i>	Van accessible: - 8 ft wide with an 8 ft wide access aisle (preferred) - or - - 11 ft wide with a 5 ft wide access aisle Standard accessible: - 8 ft wide with a 5 ft wide access aisle	6 van accessible spaces provided 6 standard accessible spaces provided	Yes	
Barrier Free Signs <i>Barrier Free Code</i>	One sign for each accessible parking space	Existing signs provided for each space	Yes	
Loading Spaces <i>(Section 5.4.1)</i>	Required on all premises where receipt or distribution of materials or merchandise occurs and shall be separate from parking areas	Loading area previously constructed	N/A	
Bicycle Parking Requirements <i>(Section 5.16)</i>				
Minimum Number of Bicycle Parking Spaces <i>(Section 5.16.1)</i>	When any principal building is enlarged by 10% or more of the existing gross floor area, or any automobile parking lot is enlarged by 10% or more of existing parking spaces, bicycle parking shall be required and provided as part of site plan review under Section 6.1 5% of required automobile spaces, minimum 8 spaces 306 spaces x 5% = 15 bicycle spaces required	~13% increase in building size proposed 6 spaces provided at southeast corner of temple entrance	No	Please increase the number of bicycle parking spaces to meet the minimum requirement.
Bicycle Parking Location <i>(Section 5.16.1.E)</i>	No farther than 120 ft from the entrance being served	Spaces provided 120' from entrance	Yes	
Bicycle Parking - Multiple Locations <i>(Section 5.16.1.F)</i>	When 4 or more spaces are required for a building with multiple entrances, spaces shall be provided in multiple locations	Proposed in one location for temple entrance	No	Provide bicycle parking in multiple locations
Deferrals/Landbanking <i>(Section 5.16.2)</i>	If it can be demonstrated that the bicycle parking requirement for the site is not needed to meet			The applicant may wish to request land banked parking to locate a portion of the required

Item	Required Code	Proposed	Meets Code	Comments
	current demand, the Planning Commission may allow deferral of the installation of some or all of the required bicycle parking, provided that the site plan designates an area for land banked bicycle parking facilities for future construction.			bicycle parking spaces near the cultural center when that phase is constructed.
Bicycle Rack (Section 5.16.5.B)	Spaces to be paved. Bike rack shall be inverted "U" design, at least 3 ft high	Not provided	No	Provide rack detail in next submittal
Bicycle Parking Accessibility (Section 5.16.5.C)	All bicycle parking shall be accessible from adjacent street(s) and pathway(s) via a paved route that has a minimum width of 6 ft	Sidewalk appears to be 5'	TBD	Dimension sidewalk
Bicycle Parking Lot Layout (Section 5.16.5.A)	- Maneuvering lane width: 4' - Parking space depth: 32" - Parking space width: 7' - One tier width: 11' - Two tier width: 18'	Layout not provided	No	Provide layout in next submittal
Sidewalk Requirements				
Sidewalks (Section 7.4.2 of Eng Design Manual) Article XI. Off-Road Non-Motorized Facilities	Minimum 5 ft sidewalk required	Sidewalks are existing, no changes proposed	Yes	
Pedestrian Connectivity	- Traffic circulation within the site and parking areas should be designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets - Building exits must be connected to sidewalk system or parking lot	Sidewalks are existing at all building exits and a connection to Taft Road is provided	Yes	
Accessory Uses (Section 4.19)				
Roof Top Equipment and Wall Mounted Utility Equipment (Section 4.19.2.E.i)	- All roof top equipment shall be screened from view - All wall mounted utility equipment shall be enclosed and integrated	The proposed project will require the use of roof top equipment. At this preliminary stage, sizing and loads have not been determined.	TBD	Show roof top screening in next submittal

Item	Required Code	Proposed	Meets Code	Comments
	into the design and color of the building, subject to safety and access requirements	Note on Sheet A-1.2 indicates all roof top units will be screened.		
Roof Top Appurtenances Screening (Section 4.19.2.E.ii)	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road, or adjacent property	Note on Sheet A-1.2 indicates all roof top units will be screened.	TBD	Show roof top screening in next submittal
Dumpster (Section 4.19.2.F)	<ul style="list-style-type: none"> - Located in rear yard or interior side yard in case of double frontage - Attached to the building or no closer than 10 ft from building if detached - Not located in parking setback - If no setback, then no closer than 10 ft from property line. - Away from barrier free spaces 	Existing dumpster enclosure located on the west side of the parking lot – no changes proposed	N/A	
Dumpster Enclosure (Section 21-145. (c))	<ul style="list-style-type: none"> - Screened from public view - Screening shall consist of a wall or fence 1 ft higher than height of refuse bin - No less than 5 ft high on three sides - Posts or bumpers to protect the screening - Hard surface pad - Screening Materials: Masonry, wood or evergreen shrubbery 	Existing dumpster enclosure located on the west side of the parking lot – no changes proposed	N/A	
Lighting and Photometric Plan (Section 5.7)				
Intent (Section 5.7.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties and reduce unnecessary transmission of light into the night sky	Photometric plan provided	Yes	
Lighting Plan (Section 5.7.2.A.i)	Site plan showing location of all existing and proposed buildings, landscaping, streets, drives, parking areas and exterior lighting fixtures	Provided	Yes	 <p>Add existing light fixture in area of work to legend on sheet C-2.</p>

Item	Required Code	Proposed	Meets Code	Comments					
Building Lighting (Section 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.	White pole and deck mounted LED lighting to illuminate the Rajagopurum.	No	The use of dissonant and/or intense colored façade materials is not permitted. The use of neon, LED, or flashing or color-changing illuminated features is not permitted. Refer to Section 5.15.2.					
Electrical Service (Section 5.7.3.B)	Electrical service to light fixtures shall be placed underground	Note on lighting plan sheet 1, electrical service to be underground	Yes						
Flashing Light (Section 5.7.3.C)	Flashing light shall not be permitted	Note on lighting plan sheet 1 indicates flashing light not permitted	Yes						
Glare Control (Section 5.7.3.D)	Shall be accomplished primarily through proper selection and application of lighting equipment.	Appears to comply	Yes						
Outdoor Lighting: Average Light Levels (Section 5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1 foot-candles	<table border="1"> <thead> <tr> <th>Avg/Min</th> </tr> </thead> <tbody> <tr> <td>N/A</td> </tr> <tr> <td>8.5:1</td> </tr> <tr> <td>1.8:1</td> </tr> <tr> <td>7.9:1</td> </tr> </tbody> </table>	Avg/Min	N/A	8.5:1	1.8:1	7.9:1	No	The 8.5:1 ave/min ratio does meet the required 4:1 standard. The applicant should provide justification in a response letter distinguishing vertical architecture lighting from horizontal surface lighting and explain why the uniformity requirement should not apply to the temple tower illumination.
Avg/Min									
N/A									
8.5:1									
1.8:1									
7.9:1									
Color Spectrum Management (Section 5.7.3.F)	Non-Res and Multifamily: For all permanent lighting installations - minimum Color Rendering Index (CRI) of 70 and Correlated Color Temperature (CCT) of no greater than 3000K	Schedule on Lighting sheet 1: CRI = 80 (existing) and 90 (new fixtures) CCT = 50K (existing) and 40K (new fixtures)	No	Please revise CCT for new fixtures to be no greater than 3000K (CCT for existing fixtures is existing non-conforming, will need to meet current standards if fixtures are replaced)					
After Hours Lighting (Section 5.7.3.G)	Only necessary lighting for security purposes shall be permitted after hours.	None indicated	TBD	Indicate hours of operation for lighting					
Indoor Lighting (Section 5.7.3.H)	Shall not be the source of exterior glare or spillover	Glare or spillover not indicated	N/A						
Security Lighting (Section 5.7.3.I)	- All fixtures shall be located, shielded, and aimed so that light is not cast toward adjacent properties or streets or unnecessarily transmitted	Not indicated	TBD	Indicate any security lighting in next proposal Indicate any proposed shielding and fixture angles to ensure light is					
Lighting for security purposes shall be directed only onto									

Item	Required Code	Proposed	Meets Code	Comments
the area to be secured.	into the night sky. - Fixtures mounted on the building and designed to illuminate the facade are preferred.			not cast toward adjacent properties or transmitted into the night sky
Parking Lot Lighting (Section 5.7.3.J)	Should be designed to provide the minimum illumination necessary to ensure adequate vision and comfort in parking areas. Full cut-off fixtures shall be used to prevent glare.		No	See Section 5.7.3.E above
Minimum Illumination Levels (foot-candles) (Section 5.7.3.L)	Parking areas:	0.2 min	Complies	Yes
	Loading and unloading areas:	0.4 min	Complies	Yes
	Walkways:	0.2 min	Complies	Yes
	Building entrances, frequent use:	1.0 min	Complies	Yes
	Building entrances, infrequent use:	0.2 min	Complies	Yes
Maximum Illumination Adjacent to Non-Residential (Section 5.7.3.L)	When a site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot-candle	Complies	Yes	Site abuts non-residential district (CW) to the northwest
Maximum Illumination Adjacent to Residential (Section 5.7.3.M)	Fixture height shall not exceed 25 ft	25 ft existing light poles	Yes	Site abuts residential to the northeast, west, and south
	All fixtures shall have a cut-off angle of 90° or less			
	No direct light source shall be visible at the property line (adjacent to residential) at ground level.			
	Maximum illumination at the property line shall not exceed 0.5 foot-candle	1.0 fc at south property line	No	
Other Permit and Legal Requirements				
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Legal description, parcel ID provided on cover sheet is for <u>former</u> parcel 50-22-16-451-032	TBD	Please update the parcel ID (50-22-16-451-081) and legal description on the cover sheet to reflect the new parcel number

Item	Required Code	Proposed	Meets Code	Comments
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).		Yes	
Community Impact Statement	<ul style="list-style-type: none"> - All non-residential projects over 30 acres for permitted use - All non-residential > 10 acres for special land use - All residential > 150 units 		N/A	
Economic Impact	<ul style="list-style-type: none"> - Total cost of the proposed building and site improvements - Number of anticipated jobs created (during construction and after building is occupied, if known) 	None provided	Yes	
Development/ Business Sign	Signage, if proposed, requires a permit.	None proposed		For permit information contact Ordinance at (248) 735-5678.
Development and Street Names	Must be approved by the Project and Street Naming Committee	Does not require approval for project or street names.	N/A	

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

08/23/2024

Engineering Review

SV Temple Phase III Rajagopuram
JS24-0017

APPLICANT

Manyam Group LLC

REVIEW TYPE

Preliminary Site Plan

PROPERTY CHARACTERISTICS

- Site Location: Along Taft Rd just south of Grand River Ave
- Site Size: 10.11 acres
- Plan Date: 02/16/2024
- Design Engineer: Fairway Engineering LLC

PROJECT SUMMARY

- Construction of an approximately 1,180 square-foot Rajagopuram entrance structure and approximately 1,900 square foot of enclosed walls and roofing for the existing exterior stairs. Site access would be provided via private roadways.
- Water service would be provided by the existing 8-inch water main on-site.
- Sanitary sewer service would be provided by the existing 6-inch sanitary sewer leads that connect to the 8-inch main in the parking lot.
- Storm water would continue to be collected by the existing storm sewer collection system.

RECOMMENDATION

Approval of the Preliminary Site Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of the design and construction standards as set forth in [Chapter 11 of the City of Novi Code of Ordinances](#), the Storm Water Management Ordinance and the [Engineering Design Manual](#) with the following items to be addressed at the time of Final Site Plan submittal:

General

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
2. **Only at the time of the printed Stamping Set submittal**, provide the City's standard detail sheets for storm sewer (2 sheets) and paving (2 sheets). The most updated details can be found on the City's website under [Engineering Standards and Construction Details](#).
3. Provide a note that compacted sand backfill (MDOT sand Class II) shall be provided for all utilities within the influence of paved areas; illustrate and label on the profiles.
4. Provide a construction materials table on the utility plan listing the quantity and material type for each utility being proposed.
5. Provide a note stating if dewatering is anticipated or encountered during construction, then a dewatering plan must be submitted to the Engineering Division for review.
6. Show the locations of all light poles on the utility plan and indicate the typical foundation depth for the pole to verify that no conflicts with utilities will occur. Light poles in a utility easement will require a License Agreement.
7. The grading and SESC sheets shall show the tree fence at least as far from the trunk as the critical root zone, defined as a circular area around a tree with a radius measured to the tree's longest dripline radius plus one (1) foot. No grading shall occur within the dripline. If the critical root zone is not fully protected, then replacements for that tree may be required.
8. The FDC cannot be placed inside the walls of the new structure, it needs to be on the outside of the structure/façade. Please show the location of the new FDC that will be provided on the outside of the building.

Irrigation Comments

9. Are there any changes to the existing irrigation proposed with the addition?

Sanitary Sewer

10. The edge of the proposed Rajagopuram is almost right above the northern sanitary sewer lead. Also, the southern wall of the proposed additions would be right over the southernmost sanitary lead, including the foundation in the southeast corner at around 4'2" deep. We suggest that either these leads be relocated or more horizontal spacing be provided.

Storm Sewer

11. Provide a schedule listing the casting type, rim elevation, diameter, and invert sizes/elevations for each proposed, adjusted, or modified storm structure on the utility plan.
12. Show and label all proposed roof conductors/drains for the Rajagopuram structure and show how/where they tie into the existing storm sewer.

Paving & Grading

13. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed.

14. Revise the pathway cross-section to indicate a maximum cross-slope of 2%.
15. Verify the slopes along the ingress/egress routing to the building from the barrier-free stalls. All barrier-free stalls shall comply with Michigan Barrier-Free regulations.
16. Provide at least 3-foot of buffer distance between the sidewalk and any fixed objects, including hydrants and irrigation backflow devices. Include a note on the plan where the 3-foot separation cannot be provided.
17. Show proposed grades for all adjusted sanitary, water, and storm structures.
18. Per MDOT Special Provision for Crushed Concrete; the use of crushed concrete is prohibited on the project within 100 feet of any water course (stream, river, county drain, etc.) and lake, regardless of the application of location of the water course or lake relative to the project limits. Add note to use 21AA crushed limestone base for any pavement within 100 feet of a water course.
19. Provide additional spot grades as necessary to demonstrate that a minimum 5-percent slope away from the building is provided for a minimum distance of ten feet around the perimeter of the building.

Soil Erosion and Sediment Control

20. SESC permit is required. A full review has not been completed at this time. A review will be done when a completed packet is submitted to Sarah Marchioni at Community Development.

The following must be submitted with the Final Site Plan:

21. A letter from either the applicant or the applicant's engineer must be submitted with the Stamping Set highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**
22. An itemized construction cost estimate must be submitted to the Community Development Department for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving (square yardage, should include number do detectable warning plates), and grading.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Engineering Review of Preliminary Site Plan

SV Temple Phase III Rajagopuram

JSP24-0017

08/23/2024

Page 4 of 4

Please contact Ben Nelson at (248)735-5643 or email at bnelson@cityofnovi.org with any questions.

Benjamin Nelson

Ben Nelson,
Project Engineer

cc: Diana Shanahan, Planning Assistant
Humna Anjum, Engineering
Ben Croy, City Engineer

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

November 3, 2025
SV Temple Phase III
Revised Preliminary Site Plan - Landscaping

Review Type

Revised Preliminary Site Plan Landscape Review

Job #

JSP24-0017

Property Characteristics

- Site Location: 26233 Taft Road
- Site Acreage: 10.11 ac.
- Site Zoning: RA
- Adjacent Zoning: North: I-1/R-2; East: RA; South: RA/RT; West: RA
- Plan Date: 10/30/2025

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Preliminary Site Plan submittal. Underlined items must be addressed on the Final Site Plans. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Chart are summaries and are not intended to substitute for any Ordinance.

RECOMMENDATION:

This project is **recommended for approval**. The changes noted below should be addressed on the Final Site Plans.

No landscape waivers are required for the proposed layout unless the applicant does not species native to Michigan for at least 50% of the new foundation plantings.

Missing plantings from the original project are shown as being replaced.

Ordinance Considerations

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. Existing trees in the project area are shown but are not identified. **Please identify the trees being removed (size and description).**
2. There are no wetlands in the project area.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. The project is adjacent to residential properties to the north and west of the site.
2. No screening berm is required for this project.

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. The project does not require any additional greenbelt berm, landscaping or street trees.
2. Missing canopy trees are shown as being replaced.

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. As the proposed addition does not require the addition of any parking spaces, no additional parking lot landscaping is required for this project.
2. Replacement trees are shown being planted.
3. The location of the bike racks in the island east of the building is unacceptable. It reduces the greenspace in that island to an unsurvivable amount.
4. **Please move the bike racks to another location where they won't negatively impact trees or required landscaping.**

Foundation Landscaping (Zoning Sec 5.5.3.D)

Based on the perimeter of the addition (153 net feet), 1224sf of foundation landscaping is required and 1253sf are proposed.

Plant List (LDM 4, 10)

1. Provided
2. A minimum of 50% of the species used in the foundation plantings must be native to Michigan. **Please revised the plantings to meet or exceed this minimum.**

Planting Notations and Details (LDM 10)

All required notes and details are provided.

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

If any changes to the existing basin for this project, the impacted areas must be landscaped per the current ordinance.

Irrigation (LDM 10)

1. If an irrigation system will be used, a plan for it must be provided with Final Site Plans.
2. If alternative means of providing water to the plants for their establishment and long-term survival, information regarding that is also required with Final Site Plans.
3. If an existing system will be extended to cover the new planting areas, please add a note to that effect to the plans. In that case an actual plan will not be required.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader rmeader@cityofnovi.org.



Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART – Revised Preliminary Site Plan

Review Date: November 3, 2025
Project Name: JSP24 – 0017: SV Temple Entry Addition
Project Location: 26233 Taft Road
Plan Date: October 30, 2025
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Revised Preliminary Site Plan. Underlined items need to be addressed on the Final Site Plan.

No landscape waivers are required for the proposed plan if the plant list is corrected as detailed below.

All missing plantings from the original project should be replaced, in accordance with Zoning Ordinance Section 5.5.6.

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements (Landscape Design Manual (LDM) and Zoning Ordinance (Zoning Sec))				
Landscape Plan <i>(Zoning Sec 5.5.2, LDM 2, 10)</i>	<ul style="list-style-type: none"> • New commercial or residential developments • Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. • 1"=20' minimum with proper North. Variations from this scale can be approved by LA • Consistent with plans throughout set 	<ul style="list-style-type: none"> • Overall scale: 1"=50' • Closeup scale: 1"=20' 	Yes	
Project Information <i>(LDM 10)</i>	Name and Address	Yes	Yes	
Owner/Developer Contact Information <i>(LDM 10)</i>	Name, address and telephone number of the owner and developer or association	Yes	Yes	
Landscape Architect contact information <i>(LDM 10)</i>	Name, Address and telephone number of RLA/PLA/LLA who created the plan	James Gray – Vert Verde Landscape Architecture	Yes	
Sealed by LA. <i>(LDM 10)</i>	Requires original signature	Copy of seal and signature	Yes	
Miss Dig Note <i>(800) 482-7171 (LDM 10)</i>	Show on all plan sheets	No	No	Please include the <u>Miss Dig</u> info on the <u>landscape plans.</u>
Zoning <i>(LDM 10)</i>	Include all adjacent zoning	<ul style="list-style-type: none"> • <u>Parcel</u>: RA • <u>North</u>: I-1/R-2 	Yes/No	Please show the adjacent zoning to the

Item	Required	Proposed	Meets Code	Comments
		<ul style="list-style-type: none"> • <u>East</u>: Taft Road/RA • <u>South</u>: RA/RT • <u>West</u>: RA 		west on Sheet C-3.
Survey information (LDM 10)	<ul style="list-style-type: none"> • <u>Legal description or boundary line survey</u> • <u>Existing topography</u> 	Description on Cover Sheet, topo on Sheet C-2	Yes	
Existing plant material Existing woodlands or wetlands (LDM 10)	<ul style="list-style-type: none"> • <u>Show location type and size. Label to be saved or removed.</u> • <u>Plan shall state if none exists.</u> 	Trees in the project area are shown but not identified	Yes/No	Please indicate what the trees in the project area are (deciduous/evergreen) and their size (dbh)
Soil types (LDM10)	<ul style="list-style-type: none"> • <u>As determined by Soils survey of Oakland county</u> • <u>Show types, boundaries</u> 	Not provided	No	Please add the soil information to the plans.
Existing and proposed improvements (LDM 10)	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Building outlines with dimensions are shown on the Landscape Plans	Yes	
Existing and proposed utilities (LDM 10)	Overhead and underground utilities, including hydrants	<ul style="list-style-type: none"> • Existing utilities are on C-2 and C-4 • No new utilities or changes to the existing utilities are proposed 	TBD	Please show all existing or proposed utilities in the project area on the landscape plan
Proposed grading. 2' contour minimum (LDM 10)	Provide proposed contours at 2' interval	None	No	Please show proposed spot elevations in the project area
Snow deposit (LDM 10)	Show snow deposit areas on plan	No	NA	
LANDSCAPING REQUIREMENTS				
Parking Area Landscape Requirements (Zoning Sec 5.5.3.C and LDM 5)				
General requirements (LDM 5)	<ul style="list-style-type: none"> • Clear sight distance within parking islands • No evergreen trees 	No changes to parking lot landscaping are proposed	NA	
Name, type and number of ground cover (LDM 5)	As proposed on planting islands	NA	NA	
General (Zoning Sec 5.5.3.C)				
Parking lot Islands	<ul style="list-style-type: none"> • A minimum of 200 SF to qualify • A minimum of 200sf unpaved area per tree planted in an island • 6" curbs 	No changes to the parking lot are proposed	NA	

Item	Required	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> Islands minimum width 10' BOC to BOC 			
Curbs and Parking stall reduction (Zoning Sec 5.3.12)	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	No changes to the parking lot are proposed	NA	
Contiguous space limit (Zoning sec 5.5.3.C)	Maximum of 15 contiguous spaces	No changes to the parking lot are proposed	NA	
Plantings around Fire Hydrant (Zoning sec 5.5.3.C)	<ul style="list-style-type: none"> No plantings with matured height greater than 12' within 10 ft. of fire hydrants Plant trees at least 5 ft from underground utility lines Plantings near hydrants or FDCs should be no taller than 12" 	No hydrants appear to exist in the project area		
Landscaped area (Zoning sec 5.5.3.C)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	NA	NA	
Clear Zones (Zoning sec 5.5.3.B.ii Footnote 10)	<ul style="list-style-type: none"> 25 ft corner clearance required. Refer to Zoning Section 5.5.9 Road Commission for Oakland County zone for RCOC jurisdiction roads 	NA	NA	
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C)				
A = Total square footage of vehicular use areas up to 50,000sf x 7.5%	<ul style="list-style-type: none"> $A = x \text{ sf} * 7.5 \% = A \text{ sf}$ $50,000 * 7.5\% = 3750 \text{ sf}$ 	No changes to the parking lot are proposed.	NA	
B = Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 1 %	<ul style="list-style-type: none"> $B = x \text{ sf} * 1\% = B \text{ sf}$ $(xxx - 50000) * 1\% = xx \text{ sf}$ 	NA	NA	
Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C)				
A. = Total square footage of vehicular use area up to 50,000 sf x 5%	$A = x \text{ sf} * 6\% = A \text{ sf}$	NA		
B = Total square	$B = 0.5\% x 0 \text{ sf} = B \text{ SF}$	NA		

Item	Required	Proposed	Meets Code	Comments
footage of additional paved vehicular use areas over 50,000 SF x 0.5%				
All Categories				
C = A+B Total square footage of landscaped islands	<ul style="list-style-type: none"> • C = A + B • C = xxx + xxx = xx SF 	NA	NA	
D = C/200 Number of canopy trees required	<ul style="list-style-type: none"> • D = C/200 trees • xx/200 = xx Trees 	NA	NA	No new trees are required but some replacements are proposed.
Perimeter Green space (Zoning Sec 5.5.3.C)	<ul style="list-style-type: none"> • 1 Canopy tree per 35 lf • xx /35 = xx trees 	NA	NA	
Accessway perimeter (Zoning Sec 5.5.3.C)	<ul style="list-style-type: none"> • 1 canopy tree per 35 lf on each side of road, less widths of access drives. • (xx lf)/35 = xx trees 	NA	NA	
Parking land banked (Zoning Sec 5.2.14.D)	<ul style="list-style-type: none"> • NA 	None		
Berms, Walls and ROW Planting Requirements				
Berms (Zoning Sec 5.5.3.A & LDM 1)				
<ul style="list-style-type: none"> • All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours • Berm should be located on lot line except in conflict with utilities. • Berms should be constructed with 6" of topsoil. 				
Residential Adjacent to Non-residential (Sec 5.5.3.A & LDM 1.a)				
Berm requirements (Zoning Sec 5.5.A)	The site is not adjacent to residential so this is not required	The changes proposed do not require any additional berming		
Planting requirements (LDM 1.a.)	LDM Novi Street Tree List	NA		
Adjacent to Public Rights-of-Way (Sec 5.5.3.B and LDM 1.b)				
Berm requirements (Zoning Sec 5.5.3.A.(5))	No berm is required in the TC or TC-1 districts	The changes proposed do not require any additional berming		
Cross-Section of Berms (LDM 10)				
Slope, height and width	<ul style="list-style-type: none"> • Label contour lines • Maximum 33% • Min. 3 feet flat horizontal area • Minimum 3 feet high • Constructed of loam with 6' top layer of topsoil. 	NA	NA	

Item	Required	Proposed	Meets Code	Comments
Type of Ground Cover		NA		
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	NA		
Walls (Zoning Sec 5.5.3.A & LDM 10)				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	No new walls are proposed	NA	
Walls greater than 4 ft. should be designed and sealed by an Engineer		NA		
ROW Landscape Screening Requirements (Zoning Sec 5.5.3.B.ii)				
Greenbelt width	Parking: 20 ft. No Pkg: 25 ft	The project does not impact the greenbelt		
Min. berm crest width	None			
Minimum berm height	None			
3' wall	(2)(3)(4)			
Canopy deciduous or large evergreen trees	<ul style="list-style-type: none"> • Parking: 1 tree per y lf • $y/60 = x$ trees • No Pkg: 1 per y ft • $xx/y = xx$ trees 	No additional plantings are required or proposed for this project	Yes	<ol style="list-style-type: none"> 1. Four replacements will be planted. 2. The location of the bike racks in the island east of the building is unacceptable. It reduces the greenspace in that island to an unsurvivable amount. 3. Please move the bike racks to another location where they won't negatively impact trees or required landscaping.
Sub-canopy deciduous trees)	<ul style="list-style-type: none"> • Parking: 1 tree per y lf • $xx/y = x$ trees • No Pkg: 1 per y ft • $xx/y = x$ trees 	No additional plantings are required or proposed for this project	Yes	
Canopy deciduous	• Parking & No Parking:	No additional	Yes	

Item	Required	Proposed	Meets Code	Comments
trees in area between sidewalk and curb	1 tree per 35 lf • $xx/35 = x$ trees	plantings are required or proposed for this project		
Non-Residential Projects (Zoning Sec 5.5.3.F.iii) Refer to Planting in ROW, building foundation landscape, parking lot landscaping and LDM				
Screening of outdoor storage, loading/unloading (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)		No new loading area is proposed		
Transformers/Utility boxes (LDM 6)	<ul style="list-style-type: none"> A minimum of 2ft. separation between box and the plants Ground cover below 4" is allowed up to pad. No plant materials within 8 ft. from the doors 	No new utility box is proposed		<u>If a new utility box is added, please screen it per the City Utility Box screening detail.</u>
Building Foundation Landscape Requirements (Zoning Sec 5.5.3.D)				
Interior site landscaping SF (Zoning Sec 5.5.3.D)	<ul style="list-style-type: none"> Equals to entire perimeter of the building addition, less door widths x 8 with a minimum width of 4 ft. A: 153 lf x 8ft = 1224 SF 	1253 sf	Yes	
Building Frontage Landscaping (Zoning Sec 5.5.3.D)	If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space	$23/177 = 13\%$	NA	As the temple is not visible from Taft Road, this requirement does not need to be met.
Detention/Retention Basin Requirements (Zoning Sec. 5.5.3.E & LDM 3)				
Planting requirements (Zoning Sec 5.5.3.E & LDM 3)	<ul style="list-style-type: none"> Clusters of large native shrubs shall cover 70-75% of the basin rim area at 10 lf from permanent water level 10" to 14" tall grass along sides of basin Refer to wetland for basin mix Deciduous canopy tree 1/35 of east, south and west sides of pond at 10 feet from permanent water level 	No detention basin landscaping is proposed.	TBD	<u>If the existing pond must be modified for the project, the changed areas must be landscaped per the existing ordinance.</u>
Phragmites and Japanese Knotweed Control (Zoning Sec 5.5.6.B)	<ul style="list-style-type: none"> Any and all populations of Phragmites australis and/or Japanese 	None indicated		It's not required for this project, but you are encouraged to have any Phragmites in your

Item	Required	Proposed	Meets Code	Comments
	<p>Knotweed on site shall be included on tree survey.</p> <ul style="list-style-type: none"> • Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site. 			<p>detention pond or wetland chemically treated by a licensed ANC applicator this fall. It can be done under the City's ANC permit, but you would have to pay for the work. Contact me if you are interested in pursuing this.</p>
LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS				
Landscape Notes – Utilize City of Novi Standard Notes				
Installation date <i>(LDM 10)</i>	Provide intended date	Yes	Yes	
Maintenance & Statement of intent <i>(Zoning Sec 5.5.6 & LDM 10)</i>	<ul style="list-style-type: none"> • Include statement of intent to install and guarantee all materials for 2 years. • Include a minimum one cultivation in June, July and August for the 2-year warranty period. 	Yes	Yes	
Plant source <i>(LDM 10 & 11)</i>	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
Irrigation plan <i>(LDM 10)</i>	<ul style="list-style-type: none"> • A fully automatic irrigation system or a method of providing sufficient water for plant establishment and survival is required on Final Site Plans. • If irrigation won't be used, note how trees will get sufficient water for establishment and long-term survival 	No		<ol style="list-style-type: none"> 1. <u>Please add irrigation plan or information as to how plants will be watered sufficiently for establishment and long- term survival.</u> 2. <u>If xeriscaping is used, please provide information about plantings included.</u> 3. <u>If an existing irrigation system will be used, add a note stating that to the landscape plan.</u>
Other information <i>(LDM 10)</i>	Required by Planning Commission	NA		
Establishment period <i>(Zoning Sec 5.5.6 & LDM 10)</i>	2 yr. Guarantee	Yes	Yes	
Approval of substitutions. <i>(Zoning Sec 5.5.5 & LDM 10)</i>	City must approve any substitutions in writing prior to installation.	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
Plant List (LDM 10 & 11) – Include all cost estimates				
Quantities and sizes	Refer to LDM suggested plant list	Yes	Yes	1. Please break out replacements from new plantings. 2. Only new plantings need to be counted for the financial guarantee and maintenance guarantee.
Root type		Yes	Yes	
Botanical and common names (LDM 4 & 11)		<ul style="list-style-type: none"> Only 1 of 9 species used in the new foundation plantings are native to Michigan No new trees are proposed 	<ul style="list-style-type: none"> No NA 	At least 50% of the new plantings must be native to Michigan.
Cost estimate (LDM 10)	For all new plantings, mulch and sod as listed on the plan	Yes	Yes/No	As noted above, <u>only the new Phase 3 plantings, not replacements, need to be included in the cost estimate.</u>
Planting Details/Info (LDM Part III) – Utilize City of Novi Standard Details				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		No	NA	No evergreen trees are proposed
Multi-stem Tree		No	NA	No multi-stem trees are proposed
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	Not necessary		
Other Plant Material Requirements (LDM 11)				
General Conditions	Plant materials shall not be planted within 4 ft. of property line	NA		
Plant Materials & Existing Plant Material (LDM 11)	Clearly show trees to be removed and trees to be saved.	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
Landscape tree credit (LDM 11)	<ul style="list-style-type: none"> Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM 	No		
Plant Sizes for ROW, Woodland replacement and others (LDM 11)	<ul style="list-style-type: none"> Size determined by use detailed in LDM Table 11.b.(2)a.i Indicate on plant list 	NA		
Plant size credit (LDM 11)	NA	No		
Prohibited Plants (LDM 11.b)	No plants on City Invasive Species List	No prohibited species are proposed	Yes	
Recommended trees for planting under overhead utilities (LDM 11)	Label the distance from the overhead utilities		NA	
Collected or Transplanted trees (LDM 11)		None		
Nonliving Durable Material: Mulch (LDM 12)	<ul style="list-style-type: none"> Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate. 	Mulch is shown on the planting details	Yes	

NOTES:

- This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
- The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
- Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

Irrigation System Requirements

- Any booster pump installed to connect the project's irrigation system to an existing irrigation system must be downstream of the RPZ.
- The RPZ must be installed in accordance with the 2015 Michigan Plumbing Code.
- The RPZ must be installed in accordance with the manufacture installation instructions for winterization that includes drain ports and blowout ports.
- The RPZ must be installed a minimum of 12-inches above FINISHED grade.

5. Attached is a handout that addresses winterization installation requirements to assist with this.
6. A plumbing permit is required.
7. The assembly must be tested after installation with results recorded on the City of Novi test report form.

FAÇADE REVIEW



Phone: (248) 880-6523
E-Mail: dnecci@drnarchitects.com
Web: drnarchitects.com

DRN & ASSOCIATES, ARCHITECTS, PC

50850 Applebrooke Dr., Northville, MI 48167



March 18, 2026

City of Novi Planning Department
45175 W. 10 Mile Rd.
Novi, MI 48375-3024

Façade Review Status Summary:
**Approved, Full Compliance, Section 9 Waiver
Not Required**

Re: FACADE ORDINANCE REVIEW – REVISION NO. 2, PRELIMINARY SITE
PLAN

SV Temple Rajagopuram Addition, JSP24-17

Façade Region: 1, Zoning District: RA

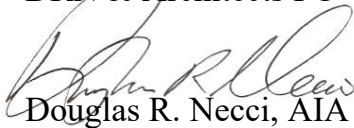
Dear Ms. McBeth;

The following is the Façade Review for the proposed SV Temple Raja gopuram Addition.

The applicant has addressed our prior comment regarding illumination of the Ragagopuram in an Email from Praveen, dated 3/19/26. The applicant states that the proposed LED fixtures are capable of only white light and that the ability for other colors has been deleted. Therefore, a Section 9 Waiver will not be required. This application is now in full compliance with the Façade Ordinance. A mock-up panel illustrating the matching materials is recommended at the time of the Façade Inspection.

If you have any questions regarding this review, please do not hesitate to call.

Sincerely,
DRN & Architects PC



Douglas R. Necci, AIA

FIRE REVIEW



August 27, 2024

TO: Barbara McBeth - City Planner
Lindsay Bell - Plan Review Center
Heather Zeigler – Plan Review Center
Dan Commer – Plan Review Center
Diana Shanahan – Planning Assistant

CITY COUNCIL

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John B. Martin

Assistant Chief of Police
Scott R. Baetens

Assistant Fire Chief
Todd Seog

RE: **ADDENDUM & CLAIRIFICATION** to previous review on 8/13/24 @
SV Temple addition – Phase III

PSP# 24-0040
Preapp23-033 – NOTES

Project Description:
New building frontage and design

- Comments:**
- All fire hydrants MUST be installed and operational prior to any combustible material is brought on site. IFC 2015 3312.1
 - **NEW 8/27/24** - New building frontage to be constructed near front Fire Department Connection (FDC) – access and full operation must be allowed at all times during all construction phases. **FDC must be moved to new location on outside wall. FDC must be within 100' (measured by "hose lay distance"), to hydrant located in front parking lot.**

Recommendation:
Site plan is Approved, pending above notes are followed. See note reference to new FDC location.

Sincerely,

Andrew Copeland – Acting Fire Marshal
City of Novi Fire Department

Novi Public Safety Administration
45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

cc: file

APPLICANT RESPONSE LETTER



April 8, 2026

Diana Shanahan
Planning Assistant
City of Novi, Community Development
45175 Ten Mile Road
Novi, MI 48375

**RE: JSP24-17 SV TEMPLE PHASE III: RAJAGOPURAM
SITE PLAN REVIEW RESPONSE**

Dear Diana,

Thank you for the updated review comments and subsequent discussions as we embark closer to a potential approvable solution to the proposed Phase III Rajagopuram work for the Sri Venkateswara Temple and Cultural Center on Taft Road.

Civil

- **Combined Parcel Information:** Our cover sheet has been updated to reflect the new combined parcel ID and legal description.

Landscape

- **Bicycle Parking and Rack:** Our landscape engineer has provided the attached letter in which we will be providing enhanced details for the proposed bicycle parking and rack for the final site plan approval documents.
- **Number of Bicycle Parking Spaces:** We will be showing the additional nine bicycle parking spaces on the final site plan documents. During our Phase I build out, we were required to complete the parking lot for both Phase I and Phase II work, hence the current number of parking spaces. We are requesting that the additional bicycle parking spaces as required by a calculation of the current parking lot capacity be land banked adjacent to the future Phase II Cultural Center.

Electrical

- **Uniformity Ratios:** The tower lighting has been adjusted to meet the required 4:1 average-to-minimum ratio.

We have discovered through this project development process that at some point, the original light heads for the parking lot have been upgraded



to an LED type fixture and have revised the photometrics accordingly. The poles originally designed were 25' height, however in deference to comments from adjoining neighbors during the Phase I approval process, this height was modified to 20'. The replacement heads placed on these 20' poles are showing to create some hotspot areas through the campus and therefore creating higher ratios than what is allowed. The head used in the replacement project did not provide correct distribution characteristics congruent with achieving the necessary ratios and the light color is at 5K, which does not comply with current ordinances. As a result, we will redesign the existing light fixtures to propose a new solution that would be in better compliance with existing ordinances while keeping the existing pole heights at 20'. We will submit this for the final site plan approval.

- **Operational Hours:** The Owner plans to operate lighting like the current building lighting. The current parking lot lighting runs dusk to dawn. The building lighting currently operates from dusk to 10pm. The Owner plans to coordinate the new tower lighting to be congruent with this schedule.
- **Tower Illumination & Site Impact:** We have added a supplemental view of the parking lot lighting with the tower fixtures turned off. This demonstrates that the tower's vertical architectural illumination does not impact the horizontal plane of the parking lot.
- **Photometric Drawing Label Readability:** Our photometric software (Visual Lighting) uses fixed tags that are anchored to the fixture locations. To ensure the plans are easy to navigate, we have included additional views from multiple angles to clarify any tags that may be difficult to read in the standard view.

Again, thank you for your continued assistance as we look forward to bringing this campus enhancement to fruition.

Sincerely,
MANYAM GROUP LLC

Praveen Manyam

Attachment: Landscape Engineer Response Letter



April 7, 2026

Diana Shanahan, Planner
City of Novi

RE: Response to Review Letter dated 03.20.2026
File Number: JSP24-17

Dear Ms. Shanahan,

The comments provided in your review dated March 03, 2026 will be addressed as follows. Revisions to our plans will appear on the plans submitted for Final Site Plan Approval.

ORDINANCE REQUIREMENTS (page 4)

- Comment 6 – The additional nine (9) required bicycle parking space will be shown on revised plans submitted for final site plan approval
- Comment 6 – Bicycle rack details will be provided on the revised plans submitted for final site plan approval
- Comment 6 – Layout and dimensioning of the bicycle parking will be provided on the revised plans submitted for final site plan approval
- Comment 7 – The applicant would like to request that additional bicycle parking spaces be allowed to be land banked adjacent to the cultural center until the time that that phase is constructed.

If we can provide you any additional information, or answer any questions, please do not hesitate to contact our office.

Sincerely,
Vert Verde Landscape Architecture, LLC

James Gray, PLA
Principal