

**CITY of NOVI CITY COUNCIL**

**Agenda Item 2  
May 12, 2014**

**SUBJECT:** Approval of the request of Stucky Vitale Architects for Detroit Metropolitan Credit Union JSP12-69, for Revised Preliminary Site Plan approval. The subject property is located at the northeast corner of the intersection of Main Street and Novi Road in the TC-1, Town Center District. The development area is 0.83 acres and the applicant is proposing an approximately 5,686 square foot Detroit Metropolitan Credit Union.

**SUBMITTING DEPARTMENT:** Community Development Department - Planning

**CITY MANAGER APPROVAL:** *[Signature]*

**BACKGROUND INFORMATION:**

The applicant is proposing changes to portions of the previously approved Preliminary Site Plan for Detroit Metropolitan Credit Union. The City Council approved the Preliminary Site Plan, Woodland Permit and the Stormwater Management Plan on March 25, 2013. (Relevant meeting minutes are attached.)

The applicant has since revised the plans showing a site layout with minor modifications and the addition of a second floor office/conference space bringing the total building size to 5,686 square foot from 3,000 square feet. These changes prompted the need for a revised Preliminary Site Plan review and approval. All staff and consultant reviews recommended approval of the revised plan and no additional variances or waivers are needed as a result of the revisions.

**Planning Commission Recommendation and City Council Action.**

The Planning Commission considered the request on April 23, 2014. At that meeting, the Planning Commission recommended approval of the revised Preliminary Site Plan. Relevant draft minutes from the Planning Commission meeting are attached. The City Council is asked to approve the Revised Preliminary Site Plan.

**RECOMMENDED ACTION:** Approval of the request of Stucky Vitale Architects for Detroit Metropolitan Credit Union for a Revised Preliminary Site Plan approval subject to the conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan. This motion is made because the plan is otherwise in compliance with Article 16, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

|                        | 1 | 2 | Y | N |
|------------------------|---|---|---|---|
| Mayor Gatt             |   |   |   |   |
| Mayor Pro Tem Staudt   |   |   |   |   |
| Council Member Casey   |   |   |   |   |
| Council Member Fischer |   |   |   |   |

|                        | 1 | 2 | Y | N |
|------------------------|---|---|---|---|
| Council Member Markham |   |   |   |   |
| Council Member Mutch   |   |   |   |   |
| Council Member Wrobel  |   |   |   |   |

Maps  
Location  
Zoning

# Detroit Metropolitan Credit Union JSP12-69

Location



Map Author: Kristen Kapelanski  
Date: 03/06/13  
Project: Detroit Metro Credit Union JSP12-69  
Version #: 1.0

#### MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 232 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.



**City of Novi**

Planning Division  
Community Development  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

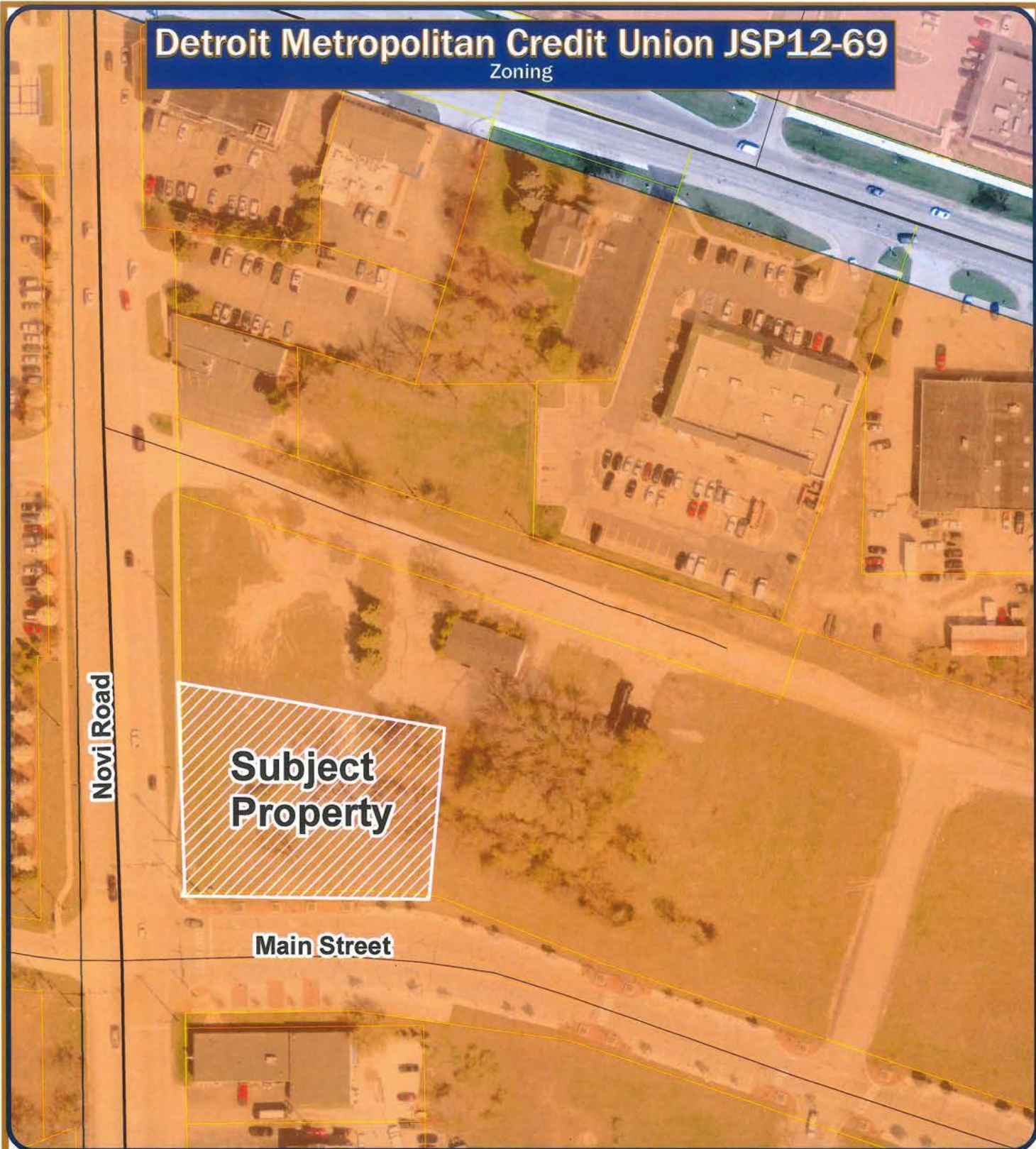


1 inch = 109 feet



# Detroit Metropolitan Credit Union JSP12-69

Zoning



Map Author: Kristen Kapelanski  
 Date: 03/06/13  
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**Map Legend**

- TC: Town Center District
- TC-1: Town Center -1 District



**City of Novi**

Planning Division  
 Community Development  
 45175 W Ten Mile Rd  
 Novi, MI 48375  
[cityofnovi.org](http://cityofnovi.org)



1 inch = 109 feet

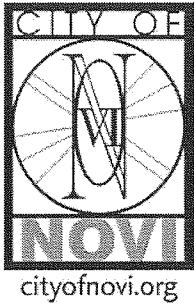


**Site Plan**  
**(Full plan set available for viewing at the Community Development Department.)**





**Planning Commission Draft Minutes – Excerpt**  
**April 23, 2014**



# PLANNING COMMISSION MINUTES

CITY OF NOVI

Regular Meeting

**April 23, 2014 7:00 PM**

Council Chambers | Novi Civic Center | 45175 W. Ten Mile  
(248) 347-0475

## CALL TO ORDER

The meeting was called to order at or about 7:00 PM.

## ROLL CALL

**Present:** Member Anthony, Member Giacometti, Member Lynch, Chair Pehrson, Member Zuchlewski

**Absent:** Member Baratta (excused), Member Greco (Excused)

**Also Present:** Barbara McBeth, Deputy Director of Community Development; Sara Roediger, Planner; Kristen Kapelanski, Planner; Adam Wayne, Engineer; David Beschke, Landscape Architect; Beth Saarela, City Attorney; Pete Hill, City's Environmental Consultant; Matt Carmer, City's Environmental Consultant.

## PLEDGE OF ALLEGIANCE

Member Zuchlewski led the meeting attendees in the recitation of the Pledge of Allegiance.

## APPROVAL OF AGENDA

Moved by Member Lynch and seconded by Member Anthony:

## VOICE VOTE ON THE AGENDA APPROVAL MOTION MADE BY MEMBER LYNCH AND SECONDED BY MEMBER ANTHONY:

**Motion to approve the April 23, 2014 Planning Commission Agenda. Motion carried 5-0.**

## MATTERS FOR CONSIDERATION

### 1. DETROIT METROPOLITAN CREDIT UNION, JSP12-69

Consideration of the request of Stucky Vitale Architects for a recommendation to City Council regarding the Preliminary Site Plan. The subject property is located in Section 23 at the northeast corner of the intersection of Main Street and Novi Road in the TC-1, Town Center District. The development area is 0.83 acres and the applicant has proposed a second story on the previously approved Detroit Metropolitan Credit Union.

Planner Kapelanski said this project is located at the northeast corner of Main Street and Novi Road. The property is surrounded by vacant land to the north and west, Ace Cutting equipment on the opposite side of Main Street to the south and City Center Plaza is on the opposite of Novi Road to the east. The subject property is zoned TC-1, Town Center and is bordered by TC-1 zoning on all sides. The applicant previously proposed and received Preliminary Site Plan approval for a 3,000 sq. ft. financial institution with an accessory drive-through use. The applicant has now added a second story to the building and slightly altered the site layout resulting in a 5,686 sq. ft. building with an accessory drive-through. The City Council previously approved the Preliminary Site Plan, Woodland Permit and Stormwater Management Plan in 2013 after a recommendation from the Planning Commission. All relevant disciplines have reviewed the revised layout and building and are recommending approval of the Revised Preliminary Site Plan. The Planning Commission is asked to make a recommendation to the City Council this evening.

Mike Blanek said as was stated by Planner Kapelanski, we received approval last year for this project with a one story, 3,000 square foot credit union facility and then we received City Council approval. Then by the time the sale of the property went through, it was later in the summer so they decided to wait until 2014 to start the project. During that time, they reassessed their intention for locating the branch here in Novi and they wanted to increase the size of the branch by adding the second story. We've also changed design a little bit. The site plan is very similar to what was approved last time. We added some



additional parking to accommodate that second story which meets all the requirements of all the ordinances in the City. The building is pretty much the same footprint as before, except we have the second story. The exterior is traditional brick and stone. So we're here tonight to ask for approval of the revised scheme.

Member Zuchlewski asked if the second story be used by the credit union or is that going to be a lease space.

Mr. Blaneck said it's going to be used by the credit union. Typically, credit unions are community based organizations and they were intending to maybe have it available to local community area organizations for a meeting hall but we don't have enough parking. There was concern about rather we have enough parking to support that kind of use and the times and days that would be asked for so at this time it's strictly going to be for the credit union staff.

Member Lynch said let me begin by thanking you for working with staff. It looks like there are no issues with this. It looks like a good project.

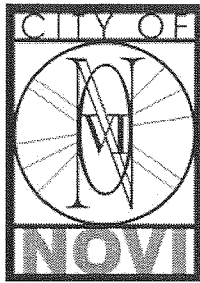
Moved by Member Lynch and seconded by Member Anthony:

**ROLL CALL VOTE THE REVISED PRELIMINARY SITE PLAN APPROVAL MOTION MADE BY MEMBER LYNCH AND SECONDED BY MEMBER ANTHONY:**

**In the matter of Detroit Metropolitan Credit Union, JSP12-69, motion to recommend approval of the Revised Preliminary Site Plan subject to the conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan. This motion is made because it is otherwise in compliance with Article 16, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance. Motion carried 5-0.**

## Planning Review





## PLAN REVIEW CENTER REPORT

March 20, 2014

Revised April 14, 2014

### Planning Review

Detroit Metropolitan Credit Union

**JSP12-69**

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#### Petitioner

Stucky Vitale Architects

#### Review Type

Revised Preliminary Site Plan

#### Property Characteristics

- Site Location: Northeast corner of the intersection of Main St. and Novi Rd. (Section 23)
- Site Zoning: TC-1, Town Center
- Adjoining Zoning: North, South, East and West: TC-1
- Current Site Use: Vacant
- Adjoining Uses: North: Vacant; South: Ace Cutting Equipment (across Main St.); East: vacant; West: City Center Plaza (across Novi Rd.)
- School District: Novi Community District
- Existing Site Size: 7.23 acres
- Proposed Site Size: 0.83 acres
- Plan Date: 02-14-14

#### Project Summary

The applicant is proposing to construct an approximately 5,686 sq. ft. Detroit Metropolitan Credit Union on vacant land located at the northeast corner of Main St. and Novi Rd. The applicant has proposed splitting the parcel off from the existing larger parcel. Associated parking and landscaping would also be constructed. Accessory drive-through banking lanes are proposed.

The plan received Preliminary Site Plan, Woodland Permit and Stormwater Management Plan approval on March 13, 2013 with the following motions:

*In the matter of Detroit Metropolitan Credit Union, JSP12-69, motion to recommend approval of the Preliminary Site Plan to the City Council, subject to the following:*

- a. *City Council approval to permit a decorative fence with brick piers along the rights-of-way in lieu of a brick wall; and*
- b. *The conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan.*

*This motion is made because it is otherwise in compliance with Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.*

*In the matter of Detroit Metropolitan Credit Union, JSP12-69, motion to recommend approval to the City Council of the Woodland Permit, subject to the conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan submittal. This motion is made because the plan is otherwise in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.*

*In the matter of Detroit Metropolitan Credit Union, JSP12-69, motion to recommend approval to the City Council of the Stormwater Management Plan, subject to the conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan. This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinance and all other applicable provisions of the Ordinance.*

## Planning Review

Detroit Metropolitan Credit Union  
JSP12-69

April 14, 2014

Page 2 of 3

The applicant has since revised the plans showing a modified site layout and the addition of a second floor community room/conference space. These changes prompted the need for a revised Preliminary Site Plan review. A revised Preliminary Site Plan review was completed and review letters requiring a resubmittal were sent to the applicant on January 27, 2014. The applicant has now submitted a second revised Preliminary Site Plan.

### Recommendation

**Staff recommends approval of the revised Preliminary Site Plan.** There are minor planning related items to be addressed on the Final Site Plan submittal. The revised Preliminary Site Plan must be approved by the City Council after the review and recommendation of the Planning Commission.

### Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 16 (TC-1, Town Center District), Article 24 (Schedule of Regulations), Article 25 (General Provisions) and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed by the applicant.

1. Second Floor Use: The applicant previously indicated the second floor use as 'community space' to be used as an accessory use to the proposed credit union. Per the letter submitted on April 14, 2014, the applicant has revised this use from 'community space' to 'conference facility' to be used by credit union staff only for business meetings, etc. As such, for purposes of parking, an office designation has been applied to the second floor space. **The applicant should revise the nomenclature on the upper level floor plan to indicate the office/conference use by credit union employees only in future submittals.**
2. Minor Items: There are minor items noted in the planning review chart and lighting review chart. **The applicant should adjust the plans accordingly for the Final Site Plan submittal.**
3. City Council Approval: In the TC-1 District, proposed developments on parcels over 5 acres in area must be approved by the City Council after the review and recommendation of the Planning Commission. **Given the scope of the changes, approval of the revised Preliminary Site Plan by the City Council after a recommendation from the Planning Commission is required.**
4. Parcel Split: The applicant has indicated and the plan shows a proposed parcel split. This must be completed before Stamping Sets can be stamped approved by the Planning Division.
5. Shared Access Drive: The main entrance to the subject property is accessed via a shared drive to be located on a parcel separate from the subject property and terminating 175 feet north of Main St. **The applicant should provide additional information regarding where the shared drive will lead or where it will connect to existing drives and buildings and future development sites.**
6. Drive-through Lanes: Drive-through lanes are considered a permitted accessory use to a financial institution in the TC-1 District and have been permitted in other locations as a typical complementary use. Please note this standard for drive-through lanes is separate and distinct from Zoning Ordinance regulations for drive-through restaurants in the TC-1 District. The proposed drive-through lanes meet the standards for dimensional requirements, stacking spaces and circulation and buffering.
7. Signage: Exterior Signage is not regulated by the Planning Division or Planning Commission. Please contact Jeannie Niland (248.347.0438) for information regarding sign permits.3

### Site Addressing

The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found on the Internet at [www.cityofnovi.org](http://www.cityofnovi.org) under the forms page of the Community Development Department.

Please contact Jeannie Niland [248.347.0438] in the Community Development Department with any specific questions regarding addressing of sites.

**Planning Review**

Detroit Metropolitan Credit Union  
JSP12-69

April 14, 2014

Page 3 of 3

**Pre-Construction Meeting**

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

**Chapter 26.5**

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

**Response Letter**

A letter from either the applicant or the applicant's representative addressing comments in this and other review letters is required prior to consideration by the Planning Commission and with the next plan submittal.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me.



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Kristen Kapelanski, AICP, Planner  
248-347-0586 or kkapelanski@cityofnovi.org

**Planning Review Summary Chart**

Detroit Metro Credit Union JSP12-69

Plan Dated: 02-14-14

Revised Preliminary Site Plan

| Item                                 | Required  | Proposed                | Meets Requirements? | Comments   |
|--------------------------------------|---|-------------------------|---------------------|--|
| Master Plan                          | TC Commercial   | No change proposed      | Yes                 |  |
| Zoning                               | TC-1  | TC-1                    | Yes                 |  |
| Use (Sec. 1602)                      | Retail businesses, restaurants, offices and service establishments  | Drive-thru credit union | Yes                 |  |
| Building Height (Sec. 2400)          | Maximum 65 feet   | 31'                     | Yes                 |  |
| <b>Building Setbacks (Sec. 2400)</b> |   |                         |                     |  |
| Front (west)                         | Between 80 and 137 feet from centerline of Novi Rd.   | 126 feet                | Yes                 |  |
| Exterior Side (south)                | Max. 10 ft.<br>Min. 0 ft.   | 10 feet                 | Yes                 |  |
| Interior Side (north)                | 0 feet  | 76 feet                 | Yes                 |  |
| Rear (east)                          | 0 feet  | 80 feet (to canopy)     | Yes                 |  |
| <b>Parking Setbacks (Sec. 2400)</b>  |   |                         |                     |  |
| Front (west)                         | 20 feet and screened by a brick wall or berm  | 24 feet                 | Yes                 |  |
| Exterior Side (south)                |   | 20 feet                 |                     |  |
| Interior Side (north)                |   | 10 feet                 |                     |  |
| Rear (east)                          |   | 12 feet                 |                     |  |
| Number of Parking Spaces (Sec. 2505) | Bank: One space for every 150 sq. ft. gross floor area.<br><br>3,226 sq. ft. / 150 = 23 spaces required<br><br>Office: One space for every 222 sq. ft. gross leasable area<br><br>2,460 sq. ft. / 222 = 11 spaces<br><br>23 + 11 = 34 spaces required | 35 spaces proposed      | Yes                 | Per the letter submitted on 04-14-14, the applicant has indicated the second floor space will be available as conference/ meeting space for credit union staff only. |
| Parking Space Dimensions (Sec. 2506) | 90-degree spaces should be 9 feet wide by 19 feet   | 9' x 17'                | Yes                 |  |



| Item   | Required  | Proposed                                  | Meets Requirements? | Comments |
|--|---|---|---------------------|----------|
|  | deep with a 24-foot wide aisle; when adj. to landscaping, spaces can be 17 feet deep, with a 2 foot overhang into the landscaped area                       |   |                     |          |
| Barrier Free Spaces (Barrier Free Code)                        | 2 barrier free required (1 van accessible)  | 2 van accessible provided                 | Yes                 |          |
| Barrier Free Space Dimensions (Barrier Free Code)              | 8' wide with a 5' wide access aisle (8' wide access aisle for van accessible)   | 8' x 17'                                  | Yes                 |          |
| Barrier Free Signs (Barrier Free Design Graphics Manual)       | One barrier free sign is required per space.  | Signs shown                               | Yes                 |          |
| Open Space (Sec. 1603)   | 15% open space required   | 49.5% open space provided                 | Yes                 |          |
| Stacking Spaces for Drive-through (Sec. 2506)                  | 3 vehicles inclusive of the vehicle at the window   | Min. 3 vehicles shown in each lane        | Yes                 |          |
| Drive-through Lane Delineated (Sec. 2506)                      | Drive-through lanes shall be striped, marked, or otherwise delineated.  | Striping provided                         | Yes                 |          |
| Bypass Lane for Drive-through (Sec. 2506)                      | Drive-through facilities shall provide 1 bypass lane. Such bypass lane shall be a minimum of 18' in width, unless otherwise determined by the Fire Marshal. | 24' bypass lane shown                     | Yes                 |          |
| Width and Centerline Radius of Drive-through Lanes (Sec. 2506) | Drive-through lanes shall have a minimum 9' width and centerline radius of 25'.   | 9' width<br>Centerline radius of 25'      | Yes                 |          |
| Drive-through Lanes  | Drive-through lanes shall be  | Drive-through lanes are situated near the | Yes                 |          |

| Item   | Required   | Proposed  | Meets Requirements?       | Comments   |
|--|--|---|---------------------------|--|
| Separation (Sec. 2506)   | separate from the circulation routes and lanes necessary for ingress to, and egress from, the property.  | center of the site so as not to interfere with the general circulation routes.  |                           |  |
| Dumpster and Refuse (Chapter II, Sec. 16-20; Chapter II Sec. 21, division 8; Appendix A Sec. 2520.1; & Appendix A Sec. 2503.1.D) | <p>Refuse must be contained properly</p> <p>For dumpsters:<br/>Screen wall or fence required for all dumpsters, must be at least five feet in height, and provided on three sides.<br/>Enclosure to match building materials</p> <p>No detached accessory building shall be located closer than ten (10) feet to any main building nor shall it be located closer than (6) feet to any interior side lot or rear lot line.</p> | <p>Dumpster set back 10 feet from nearest property line and 96 feet from building.</p> <p>Screening of 6 feet provided on three sides to match building façade.</p> | Yes                       |  |
| Town Center Features   | Decorative features and pedestrian plazas are required   | Plaza proposed at the southwest corner of the site.   | Yes                       | <b>See the landscape review letter for additional information.</b>   |
| Exterior Signs   | Exterior Signage is not regulated by the Planning Division or Planning Commission.   |   |                           | Please contact <a href="#">Jeannie Niland (248.347.0438)</a> in the neighborhood services division if new signage is proposed. |
| Exterior Lighting (Sec. 2511)  | Photometric plan and exterior lighting details needed at final site plan.  | Photometric plan submitted  | See lighting review chart |  |

Prepared by Kristen Kapelanski, (248) 347-0586 or [kkapelanski@cityofnovi.org](mailto:kkapelanski@cityofnovi.org)

**Lighting Review Summary Chart**

Detroit Metropolitan Credit Union JSP12-69

Revised Preliminary Site Plan Review

Plan Date: 01-28-13

| Item                                   | Required  | Meets Requirements? | Comments   |
|--|---|---------------------|--|
| Intent (Section 2511.1)                | Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties, reduce unnecessary transmission of light into the night sky   | Yes                 |  |
| Lighting plan (Section 2511.2.a.1)     | Site plan showing location of all existing and proposed buildings, landscaping, streets, drives, parking areas and exterior lighting fixtures   | Yes                 |  |
| Lighting Plan (Section 2511.2.a.2)     | Specifications for all proposed and existing lighting fixtures including: <ul style="list-style-type: none"> <li>▪ Photometric data</li> <li>▪ Fixture height</li> <li>▪ Mounting &amp; design</li> <li>▪ Glare control devices</li> <li>▪ Type and color rendition of lamps</li> <li>▪ Hours of operation</li> <li>▪ Photometric plan</li> </ul> | <b>No</b>           | <p><b>The applicant should include manufacturer's specifications for all proposed fixtures. At a minimum, it appears under canopy fixtures are proposed with specifications not included.</b></p> <p><b>The applicant should include the hours of operation.</b></p> |
| Required conditions (Section 2511.3.a) | Height not to exceed maximum height of zoning district (65 feet) or 25 feet where adjacent to residential districts or uses.  | Yes                 |  |
| Required Notes (Section 2511.3.b)      | - Electrical service to light fixtures shall be placed underground<br>- No flashing light shall be permitted<br>- Only necessary lighting for security purposes and limited operations shall be permitted after a site's hours of operation.  | <b>No</b>           | <p><b>The applicant should add the required notes to the photometric plan.</b></p>   |

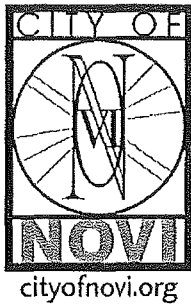
| Item  | Required  | Meets Requirements? | Comments   |
|---|---|---------------------|--|
| Required conditions (Section 2511.3.e)                              | Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1.   | Yes                 |  |
| Required conditions (Section 2511.3.f)                              | Use of true color rendering lamps such as metal halide is preferred over high and low pressure sodium lamps.  | Yes                 |  |
| Minimum Illumination (Section 2511.3.k)                             | <ul style="list-style-type: none"> <li>- Parking areas- 0.2 min</li> <li>- Loading and unloading areas- 0.4 min</li> <li>- Walkways- 0.2 min</li> <li>- Building entrances, frequent use- 1.0 min</li> <li>- Building entrances, infrequent use- 0.2 min</li> </ul> | Yes                 |  |
| Maximum Illumination adjacent to Non-Residential (Section 2511.3.k) | When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle  | <b>No</b>           | <b>Illumination levels at the property line near the proposed dumpster appear to exceed 1 foot candle. Proposed lighting should be adjusted accordingly.</b> |
| Cut off Angles (Section 2511.3.1(2))                                | All cut off angles of fixtures must be 90 degrees when adjacent to residential districts  | <b>Yes?</b>         | <b>The applicant should include manufacturer's specifications for all proposed fixtures.</b>   |

Prepared by Kristen Kapelanski, AICP  
kkapelanski@cityofnovi.org

(248) 347-0586



## Engineering Review



## PLAN REVIEW CENTER REPORT

January 24, 2014

### Engineering Review

Detroit Metropolitan Credit Union  
JSP12-0069

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#### Petitioner

Stucky Vitale Architects, applicant

#### Review Type

Revised Preliminary Site Plan

#### Property Characteristics

- Site Location: N. of Main Street E. of Novi Rd
- Site Size: 0.887 acres
- Plan Date: December 20, 2013

#### Project Summary

- Construction of an approximately 5,686 square-foot building and associated parking. Site access would be provided an ingress/egress easement over the proposed driveway connecting to Main Street.
- Water service would be provided by a 2-inch domestic lead from the existing 12-inch water main on Main Street along with an additional hydrant west of the proposed development.
- Sanitary sewer service would be provided by extending an 8-inch sanitary sewer onto the development as a public utility.
- Storm water would be collected by a single storm sewer collection system and detained in an underground detention system prior to discharging into the storm sewer network on Novi Rd.

#### Recommendation

**Approval of the Revised Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.**

#### Comments:

The Revised Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

Additional Comments (to be addressed prior to the Final Site Plan submittal):

General

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
2. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal.
3. Submit IWC Non-Domestic form to the City of Novi.

Water Main

4. Provide a profile for the proposed water main with the pipe invert and stationing of all valves, fittings, flanges, hydrants, blow-offs, high and low points, and any other appurtenances.
5. Three (3) sealed sets of revised utility plans along with the MDEQ permit application (1/07 rev.) for water main construction and the Streamlined Water Main Permit Checklist should be submitted to the Engineering Department for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets.

Sanitary Sewer

6. Revise the sanitary sewer easement to a 20 ft wide easement centered on the proposed sanitary sewer.
7. Provide a profile of the proposed sanitary sewer showing a minimum cover of 4 feet.
8. Provide the service area and basis of design for the proposed sanitary sewer extension.
9. Seven (7) sealed sets of revised utility plans along with the MDEQ permit application (11/07 rev.) for sanitary sewer should be submitted to the Engineering Department for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets. The submitted application must meet all requirements listed in Wayne County's Sanitary Sewer Approval Checklist (8/28/2013) and is subject to any applicable review fees by the Wayne County Department of Public Services. For information regarding an expedited review by the MDEQ, please contact their office directly.

Storm Sewer

10. Provide a profile of the proposed storm sewer showing a minimum cover of 3 feet. Indicate all structure types and diameters.
11. Provide hydraulic calculations verifying that the storm sewer network on Novi Rd is capable of accepting the proposed discharge from the site.

#### Storm Water Management Plan

12. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual.
13. Denote an overland route for storm water that would occur in the event that the underground system cannot accept flow. This route shall be directed to a recognized drainage course or drainage system. Verify that any structures accepting overland flow are capable of handling the 100-year flood capacity.
14. Provide an underground detention system cross-section with critical elevations (bankfull and 100-year storm hydraulic grade lines) demonstrating that the detention system is 3 feet above ground water and has the required 1 foot of freeboard between the high water elevation and the subgrade below the pavement.
15. Verify that the proposed feature at the corner of Novi Rd. and Main Street does not conflict with the underground detention system. The applicant must also demonstrate that the underground detention system is capable of carrying the load imposed by the proposed feature.
16. Revise the composite 'c' factor calculation to ' $26,227/38,637=0.68$ ' from ' $38,637/26,227=0.68$ ' as shown.

#### Paving & Grading

17. Provide a minimum of 6 spot elevations where the pathway crosses the driveway (one at each corner and two in the center of the driveway on each side of the pathway). Spot elevations shall also be provided to demonstrate a level landing adjacent to each side of the pathway crossing.
18. Revise the plan set to provide a 5 foot wide pedestrian safety pathway along Main Street versus 4.2 feet wide as provided.
19. Revise the sidewalk cross-section to show 4" thick of 4000 psi concrete (8" thick through commercial/industrial drives) over 6" thick of 21AA crushed limestone. The stone base shall extend a minimum of 1" beyond the forms.
20. Revise the pavement cross-section(s) to note that 21AA aggregate shall be used as the base course.

#### Off-Site Easements

21. All off-site water and sanitary sewer easements must be dedicated as a public easement.

#### **The following must be submitted at the time of Final Site Plan submittal:**

22. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
23. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the



determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

**The following must be submitted at the time of Stamping Set submittal:**

24. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
25. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.
26. A draft copy of the 20-foot wide easement for the sanitary sewer to be constructed on the site must be submitted to the Community Development Department.
27. An executed copy of the private ingress/egress easement for shared use of the drive entry from Main Street must be submitted to the Community Development Department.
28. An executed copy of the 20-foot wide easement for the sanitary sewer to be constructed off-site must be submitted to the Community Development Department.
29. Executed copies of any required off-site utility easements must be submitted to the Community Development Department.

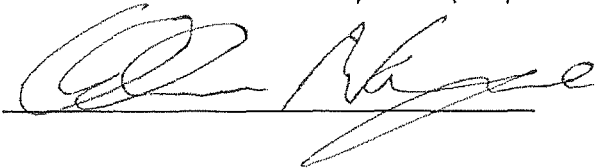
**The following must be addressed prior to construction:**

30. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
31. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.
32. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
33. A permit for work within the right-of-way of Main Street and Novi Road must be obtained from the City of Novi. The application is available from the City

Engineering Department and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Department at 248-347-0454 for further information.

34. A permit for work within the right-of-way of Novi Rd must be obtained from the Road Commission for Oakland County. Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the City. Provide a note on the plans indicating all work within the right-of-way will be constructed in accordance with the Road Commission for Oakland County standards.
35. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the water main plans have been approved.
36. A permit for sanitary sewer construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the sanitary sewer plans have been approved.
37. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
38. A storm water performance guarantee, equal to 1.5 times the amount required to complete storm water management and facilities as specified in the Storm Water Management Ordinance, must be posted at the Treasurer's Office.
39. An incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.
40. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.

Please contact Adam Wayne at (248) 735-5648 with any questions.



cc: Matthew Preisz, Engineering  
Brian Coburn, Engineering  
Kristen Kapelanski, Community Development Department  
Michael Andrews, Water & Sewer Dept.

**Traffic Review**

March 10, 2014

Barbara McBeth, AICP  
Deputy Director of Community Development  
City of Novi  
45175 W. Ten Mile Rd.  
Novi, MI 48375

**SUBJECT: Detroit Metropolitan Credit Union, JSP12-0069,  
Traffic Review of Second Revised Preliminary Site Plan, PSP14-0029**

Dear Ms. McBeth:

At your request, we have reviewed the above and offer the following recommendation and supporting comments.

### **Recommendation**

We recommend approval of the second preliminary site plan, subject to the items shown below in **bold** being satisfactorily addressed on the final site plan.

### **Site Description**

What is the applicant proposing, and what are the surrounding land uses and road network?

1. The applicant is proposing to construct a two-story, 5,686-s.f. building on the northeast corner of Novi Road and Main Street. The 3,226-s.f. first floor would house the usual functions of a credit union, including a large lobby and three drive-through lanes (one equipped with an ATM). The 2,460-s.f. second floor would include a "community room," kitchenette, rest rooms, elevator, and stairway. The applicant has stated that the use of the second floor would "not be concurrent with branch operations."
2. Vehicular access would be provided via a new, two-lane shared access drive along the east side of the site that would (presumably) be shared by others in the future. Pedestrian access would be provided via sidewalk stubs to the Main Street and Novi Road sidewalks.

### **Trip Generation & Traffic Study**

Was a traffic study submitted and was it acceptable? How much new traffic would be generated?

3. The credit union ("branch operations") can be expected to generate 478 one-way vehicle trips per weekday, 39 in the AM peak hour (22 entering and 17 exiting) and 100 in the PM peak hour (49 entering and 51 exiting). We are unable to forecast trip generation by the community room, as we do not know how many persons would be allowed to attend an event in that room.

### **Vehicular Access Locations**

Do the proposed "driveway" locations meet City spacing standards?



4. Yes. The proposed shared drive would be 228 ft east of Novi Road, or well in excess of the minimum same-side driveway spacing (105 ft for 25 mph) to both the west and east. The opposite-side spacing standard does not apply to a Non-Residential Collector such as Main.

#### **Vehicular Access Improvements**

Will there be any improvements to the abutting road(s) at the proposed access point(s)?

5. No. Based on existing PM peak-hour volumes on Main (recently counted for the Panera Drive-Through study), Main adjacent to the subject site appears to now be serving roughly 2,000 vehicles per day. Neither a left-turn passing lane nor a right-turn deceleration lane and/or taper are therefore warranted (based on DCS Figures IX.8 and IX.10).
6. The proposed shared driveway would end 175 ft north of the north curb of Main Street. As shown on our attached aerial, this would end that driveway just a few feet short of existing pavement that connects to Paul Bunyon. Since we first raised this issue, the applicant has indicated that “the road will be barricaded.” The curb now proposed at the end of this drive would not, by itself, constitute “effective barricading” (to quote part of our earlier letter). **The final site plan should propose, per page 605a of the 2011 Michigan Manual on Uniform Traffic Control Devices (MMUTCD), a Type 3 barricade for “total closure,” mounted on wood posts embedded in the ground a short distance behind the proposed curb.**
7. As noted in our previous review letters, **“The owner and the party responsible for operating and maintaining the shared drive (if different than the owner) need to be specified on the site plan. Given that that drive would be on a parcel separate from the credit union, a general-purpose cross access easement acceptable to the City Attorney should be recorded by the owner of the property within which the new drive would lie.”**

#### **Access Drive Design & Control**

Are the proposed design, pavement markings, and signage satisfactory?

8. The drive widths are now satisfactory, but **the 10-ft internal curb radius at the south driveway should be increased to provide a smoother entry path for the ATM drive-through lane. This may require enlarging the northerly island slightly to avoid widening the drive beyond 16 ft.**
9. As requested in our last review letter, **“the final site plan should include a Signing and Pavement Marking Plan proposing:**
  - a. **An 18-inch-wide white stop bar on the shared drive, 4 ft in advance of the Main Street sidewalk, accompanied by a 20-ft-long double solid yellow centerline.” Unlike the current plan, the stop bar should parallel the sidewalk (i.e., the implied crosswalk) and extend to the curb face, and the word “STOP” should not be painted on the pavement.**
  - b. **“Two 24-inch STOP (R1-1) signs, one on the south end of the shared drive, 4 ft in advance of the Main Street sidewalk, and one on the exiting side of the north drive, 4 ft in advance of the property line.”** The signs now proposed are not located as requested and are not labeled as they must be.

- c. **“Back-to-back (north- and south-facing) ONE WAY (R6-1) signs on the property line on the north side of the south drive (mounted, per the MMUTCD, at a 7-ft height).”** Both the engineering and architectural plans now show back-to-back signs on both sides of the driveway; however, **the requested signs should appear only on the north side of the drive, and they must be rotated 90 degrees from the orientation shown. Only one sign should be proposed on the south side of the south drive: a DO NOT ENTER (R5-1) sign, facing the drive-through lanes / parking lot.**
- d. **“A white pavement arrow pointing generally west from the center of the south drive (optional, but if this or any other pavement arrows are proposed, they should be shown on the plan as solid black but labeled as white).”** If this arrow is, indeed, to be painted on the pavement, it should be shown on the engineering plan as solid black (not subdued as currently).
- e. **“Signs and markings internal to the site, along with revised details, described below.”**
- f. **“A note indicating that all signs and markings will comply with the 2011 Michigan Manual on Uniform Traffic Control Devices (MMUTCD).”**
- g. **“A Sign Quantities Table, listing each traffic and parking control sign by standard description, MMUTCD sign code, number of signs required, and number of posts required.”**

#### **Pedestrian Access**

Are pedestrians safely and reasonably accommodated?

10. Yes.

#### **Circulation & Parking**

Can vehicles safely and conveniently maneuver through the site?

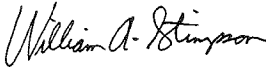
- 11. The two large landscape islands immediately east of the drive-through lanes still lack the 15-ft corner radii and 8-ft minimum width generally required by Sec 2506.13 of the Zoning Ordinance. **To meet this ordinance requirement, the group of four parking spaces must be shifted north at least 3 ft, and the southeast and northeast curb radii increased to 15 ft (from the currently proposed 2.5 ft and 10 ft, respectively).** (This will result in a slightly over-width but acceptable north parking aisle as it passes this island.)
- 12. **“A plan note should be included stating that all parking space dimensions (width as well as length) are referenced to the face of curb.”**
- 13. Per the MMUTCD and City policy:
  - a. **“Drive-through lane striping, undesignated parking space stripes, wheelchair symbols in the barrier-free parking spaces, and optional directional arrows must be white.”** As indicated above, arrows to be actually painted must be shown solid black, not subdued.

- b. **“Crosshatching of the barrier-free access aisle, and striping of barrier-free spaces, must be blue. Abutting barrier-free and non-barrier-free parking spaces should be separated by abutting blue and white stripes.”**
- c. **“The main barrier-free sign must be a RESERVED PARKING [wheelchair symbol] ONLY (R7-8) sign.”** The sign detail now appearing on sheet SP1.1 is incorrect.
- d. **“The VAN ACCESSIBLE supplemental sign – to be used for both barrier-free spaces in this case – should be labeled with its MMUTCD code: R7-8P. Although these signs will be just behind the sidewalk, we recommend that a minimum mounting height of 6’-3” be used to enhance pedestrian safety.”** This requested height applies to the lower sign (the R7-8P).

Sincerely,  
CLEARZONING, INC.

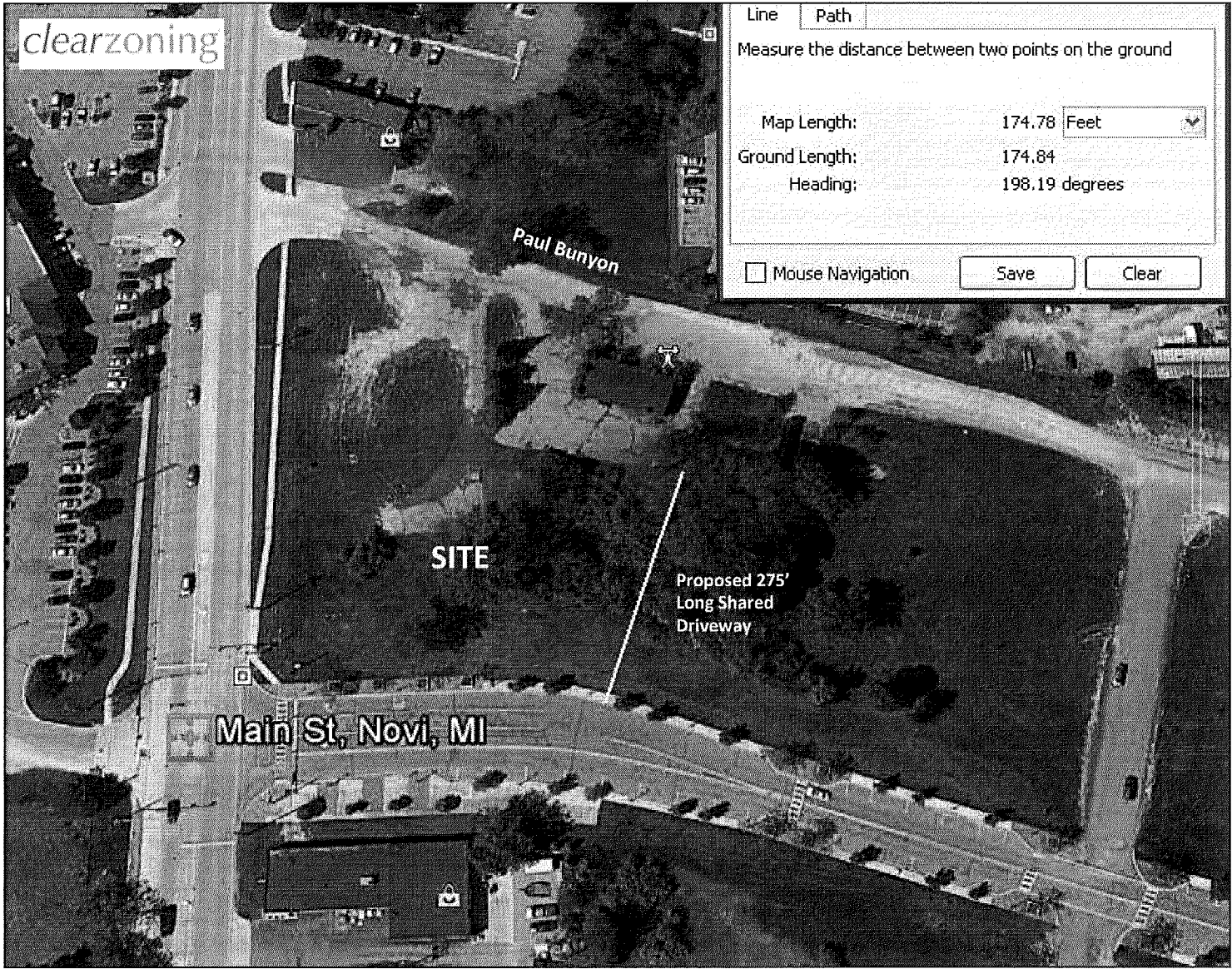


Rodney L. Arroyo, AICP  
President



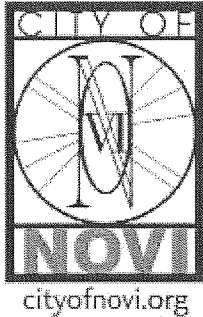
William A. Stimpson, P.E.  
Director of Traffic Engineering

Attachment: Aerial photo



Vicinity Aerial Photo for Proposed Detroit Metropolitan Credit Union

## Landscape Review



## **PLAN REVIEW CENTER REPORT**

March 20, 2014

### **Landscape Revised Preliminary Site Plan**

Detroit Metro Credit Union JSP#12-69

#### **Petitioner**

Stucky Vitale Architects

#### **Review Type**

Revised Preliminary Site Plan

#### **Property Characteristics**

- Site Location: Northeast corner of the intersection of Main St. and Novi Rd.
- Site Zoning: TC-1, Town Center
- Adjoining Zoning: North, South, East and West: TC-1
- Current Site Use: Vacant
- Adjoining Uses: North: Vacant; South: (across Main St.); West: vacant; East:  
City Center Plaza (across Novi Rd.)
- School District: Novi Community District
- Existing Site Size: 0.887 acres
- Plan Date: 2/14/14

#### **Recommendation**

**Approval of the revised Preliminary Site Plan for Detroit Metropolitan Credit Union JSP12-69 is recommended.**

#### **Ordinance Considerations**

##### **TC-1 District (Sec. 1602)**

1. Significant pedestrian orientation is a stated intent of the TC-1 District. Architectural amenities such as decorative paving, pedestrian scale lighting, landscape features and focal points are in keeping with the intent and theme of the district. The Applicant is proposing many of these features. A pedestrian plaza is proposed adjacent to the building. The plaza includes three tables with seating and is an attractive amenity. A fourth table stands alone on a small plaza north of the building.
2. The Applicant has also included a paved and landscape area on the prominent corner. A fountain located at the intersections was initially proposed on previously submitted plans, although it has been removed from the current submittal. It should be restored. Alternately previous reviews by staff included the suggestion that the Applicant install central

raised pad in this area and work in cooperation with the Novi Parks and Recreation Department on the installation of rotating artwork. This remains an option.

3. The Applicant has included connecting walkways to the south, east and west sides of the building.
4. The existing planters are to be refurbished and will remain.

**Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Sec. 2509.3.b.)**

1. A 3' tall decorative brick wall is required along the Novi Road and Main Street right-of-ways adjacent to parking and vehicular access areas. A decorative fence with brick piers has been approved by the Planning Commission. The Applicant has proposed decorative fencing with brick piers in areas adjacent to parking.
2. Required and provided right-of-way greenbelt planting calculations and plantings are required. A 20' wide landscape greenbelt is required. This greenbelt has been adequately provided. Calculations for the required landscape along the greenbelt frontages have been provided and requirements have been met.
3. Twenty five foot clear vision areas must be maintained and depicted on the plan at all vehicular intersections. This requirement has been met.

**Street Tree Requirements (Sec. 2509.3.b.)**

1. No Street Trees are required in Town Center District.

**Parking Landscape (Sec. 2509.3.c.)**

1. Interior Parking Landscape Area is required. Adequate landscape area has been provided.
2. Parking Lot Canopy Trees are required. Calculations show that 18 trees are required. This requirement has been met.
3. Please show snow storage areas on the plan as required.

**Parking Lot Perimeter Canopy Trees (Sec. 2509.3.c.(3))**

1. Perimeter Parking Lot Canopy Trees are required per 35 LF surrounding parking and access areas. This requirement has been met.

**Building Foundation Landscape (Sec. 2509.3.d.)**

1. A minimum 4' wide landscape bed is required around the entire building foundation with the exception of access areas. This requirement has been met.
2. A total of 8' x the length of the building foundation landscape area is required. A total of 1,728 s.f. is required. This requirement has been met.

**Plant List (LDM)**

1. A Plant List per the requirements of the Ordinance and the Landscape Design Manual has been provided.

**Planting Notations and Details (LDM)**

1. Required planting details and notations per the requirements of the Ordinance and the Landscape Design Manual have been provided.

**Irrigation (Sec. 2509 3.f.(6)(b))**

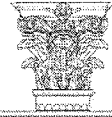
1. An Irrigation Plan must be provided upon final stamping set submittal.

*Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification.*

Reviewed by: David R. Beschke, RLA



## Façade Review



March 18, 2013

City of Novi Planning Department  
 45175 W. 10 Mile Rd.  
 Novi, MI 48375-3024

**Re: FACADE ORDINANCE - Facade Review – Revised Preliminary No. 2**  
**Detroit Metropolitan Credit Union, PSP14-0029**  
 Façade Region: 1, Zoning District: TC-1

Dear Ms. McBeth;

The following is the Façade Review for Preliminary Site Plan Approval of the above referenced project based on the drawings prepared by Stucky Vitale Architects, dated 2/14/14. The percentages of materials proposed for each façade are as shown on the table below. The maximum percentages allowed by the Schedule Regulating Façade Materials (AKA Façade Chart) of Ordinance Section 2520 are shown in the right hand column. Materials in non-compliance with the Façade Chart, if any, are highlighted in bold. This project is located in the TC-1 District and is therefore also subject to Section 1603.9 of the Ordinance.

|                     | West<br>(Front) | South | East | North | Ordinance Maximum<br>(Minimum) |
|---------------------|-----------------|-------|------|-------|--------------------------------|
| Brick               | 35%             | 35%   | 55%  | 40%   | 100% (30%)                     |
| Cultured Stone      | 45%             | 25%   | 5%   | 30%   | 50%                            |
| Limestone           | 15%             | 25%   | 35%  | 15%   | 50%                            |
| Standing Deam Metal | 0%              | 10%   | 0%   | 10%   | 25%                            |
| Flat Metal (Fascia) | 5%              | 5%    | 5%   | 5%    | 50%                            |

The applicant has made significant revisions to the façade resulting from the addition of a second floor.

**Recommendation** - As shown above the percentages of all materials are in full compliance with the Façade Ordinance, Section 2520. A Section 9 Waiver is not required. Section 1603.9 of the Ordinance places additional requirements on building located in the TC-1 District; that exterior building facades “shall be primarily of brick and stone.” The proposed design has a minimum of 80% Brick on each façade and therefore complies with this requirement. A sample board has been provided indicating carefully coordinated harmonious colors.

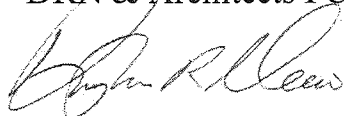
**Notes to the Applicant:**

1. The Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample will be compared to materials delivered to the site. It is the applicant's responsibility to request the inspection of each façade material at the appropriate time. Materials must be approved before installation on the building. Please use the Novi Building Department's Online Inspection Portal by following the link below. Please click on "Click here to Request an Inspection" under "Contractors", then click "Façade".

**<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>**

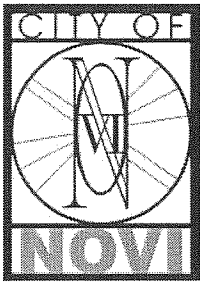
If you have any questions regarding this project please do not hesitate to call.

Sincerely,  
DRN & Architects PC

A handwritten signature in black ink, appearing to read "Douglas R. Necci". The signature is fluid and cursive, written over the printed name below.

Douglas R. Necci, AIA

## Fire Review



**March 18, 2014**

TO: Barbara McBeth, Deputy Director of Community Development  
Sara Roediger- Plan Review Center  
Kristen Kapelanski- Plan Review Center

**CITY COUNCIL**

**Mayor**  
Bob Gatt

**Mayor Pro Tem**  
Dave Staudt

Gwen Markham

Andrew Mutch

Justin Fischer

Wayne Wrobel

Laura Marie Casey

**City Manager**  
Clay J. Pearson

**Director of Public Safety  
Chief of Police**  
David E. Molloy

**Director of EMS/Fire Operations**  
Jeffery R. Johnson

**Assistant Chief of Police**  
Victor C.M. Lauria

**Assistant Chief of Police**  
Jerrod S. Hart

RE: Preliminary Site Plan – **Detroit Metro Credit Union**

PSP# 14-0029

**Project Description:**

New 5,686 Sq. Ft. building (B-use group – Credit Union), on 3.8 total acre site.

**Comments:**

1) Meets Fire Department Requirements

**Recommendation:**

Recommended for Approval.

Sincerely,

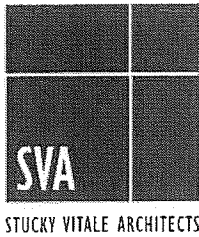
Joseph Shelton- Fire Marshal  
City of Novi – Fire Dept.

cc: file

Novi Public Safety Administration  
45125 W. Ten Mile Road  
Novi, Michigan 48375  
248.348.7100  
248.347.0590 fax

cityofnovi.org

**Applicant Response Letter**



April 15, 2014

Barbara McBeth, AICP  
Deputy Director of Community Development  
City of Novi  
45175 West Ten Mile Road  
Novi, MI 48375

Re: Detroit Metropolitan Credit Union – New Facility  
Case No.: JSP 12-69  
Architects' Project No.: 2012.023

Dear Ms. McBeth:

This letter is in response to your request for a maximum occupancy count for the proposed new branch credit union facility at Novi Road, Novi, Michigan 48375. Please find below the information that you requested.

The occupancy will be limited to 39 occupants (members and staff), for the second floor conference room area. This intended use of the space will be used for staff meetings and training at the branch.

Sincerely,

Mike Blanek, AIA  
Associate

**City Council Minutes – Excerpt  
March 25, 2013**



**REGULAR MEETING OF THE COUNCIL OF THE CITY OF NOVI  
MONDAY, MARCH 25, 2013 AT 7:00 P.M.  
COUNCIL CHAMBERS – NOVI CIVIC CENTER – 45175 W. TEN MILE ROAD**

**Mayor Gatt called the meeting to order at 7:00 P.M.**

**PLEDGE OF ALLEGIANCE**

**ROLL CALL:** Mayor Gatt, Mayor Pro Tem Staudt, Council Members Casey, Fischer, Margolis (absent, excused), Mutch, Wrobel

**ALSO PRESENT:** Clay Pearson, City Manager  
Victor Cardenas, Assistant City Manager  
Thomas Schultz, City Attorney

**APPROVAL OF AGENDA:**

**CM-13-03-038 Moved by Mutch, seconded by Wrobel; CARRIED UNANIMOUSLY:**

**To approve the Agenda as presented.**

**Roll call vote on CM-13-03-038**                      **Yeas: Staudt, Casey, Fischer, Mutch, Wrobel, Gatt**  
**Nays: None**  
**Absent: Margolis**

1. Approval of the request of Stucky Vitale Architects for Detroit Metropolitan Credit Union JSP12-69, for the Preliminary Site Plan, Woodland Permit and Stormwater Management Plan approval. The subject property is located at the northeast corner of the intersection of Main Street and Novi Road in the TC-1, Town Center District. The development area is 0.83 acres and the applicant is proposing an approximately 3,000 square foot Detroit Metropolitan Credit Union.

Mr. Pearson said there was a positive recommendation from staff and Planning Commission.

**CM-13-03-042 Moved by Fischer, seconded by Casey; CARRIED UNANIMOUSLY:**

**Motion 1**

**To approve the request of Stucky Vitale Architects for Detroit Metropolitan Credit Union JSP12-69, Preliminary Site Plan based on, with, and subject to the following:**

- a. **City Council approval to permit a decorative fence with brick piers along the rights-of-way in lieu of a brick wall;**
- b. **Subject to the conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan; and This motion is made based on and subject to the**

**site plan and site being in compliance with all applicable provisions of the Zoning Ordinance, including Articles 16, 24 and 25, and all applicable City Zoning Ordinance approvals, decisions, conditions and permits.**

Mayor Pro Tem Staudt is pleased with the new direction that is developing on Main Street. He asked the applicant to present the project.

Mike Blanic, Stucky-Vitale Architects, the Credit Union had put this on hold for a time period and they are asking for the final approval tonight. They created the feature at the corner for pedestrian use to link Main Street together.

Member Wrobel will support this project. Main Street was supposed to be grandiose but the plan had gone awry. We need progress at that location but wish we could have done the original plan.

Member Mutch questioned the pedestrian feature at the corner. It was discussed in the landscape review that it would be more appropriate to consider something where art work could be displayed. Deputy Community Development Director McBeth said it has been included. Member Mutch asked about the building location and that it is setting farther back than we have seen in the past. Ms. McBeth said it was the better location for the building. They needed a spot for the underground vault for stormwater detention. Member Mutch it was a lot of property to stay undeveloped and hopefully it will be a nice entrance to the area. He would support it as proposed.

Mayor Gatt is very pleased and is looking forward to the development.

**Roll call vote on CM-13-03-042**                      **Yeas: Wrobel, Gatt, Staudt, Casey, Fischer, Mutch**  
**Nays: None**  
**Absent: Margolis**

**CM-13-03-043**                      **Moved by Fischer, seconded by Casey; CARRIED UNANIMOUSLY:**

**Motion 2**

**To approve the request of Stucky Vitale Architects for Detroit Metropolitan Credit Union JSP12-69, Woodland Permit, based on, with and subject to the conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan. This motion is made because, with those items addressed, the Plan will be in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.**

**Roll call vote on CM-13-03-043**                      **Yeas: Gatt, Staudt, Casey, Fischer, Mutch, Wrobel**  
**Nays: None**

**Absent: Margolis**

**CM-13-03-044 Moved by Fischer, seconded by Casey; CARRIED UNANIMOUSLY:**

**Motion 3**

**Approval of the request of Stucky Vitale Architects for Detroit Metropolitan Credit Union JSP12-69, Storm Water Management Plan, subject to the conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan. This motion is made because, with those items addressed, the Plan will be in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.**

**Roll call vote on CM-13-03-044**

**Yeas: Staudt, Casey, Fischer, Mutch, Wrobel,  
Gaff**

**Nays: None**

**Absent: Margolis**



NORTHWEST CORNER OF SECTION 23, TOWN 1 NORTH, RANGE B EAST

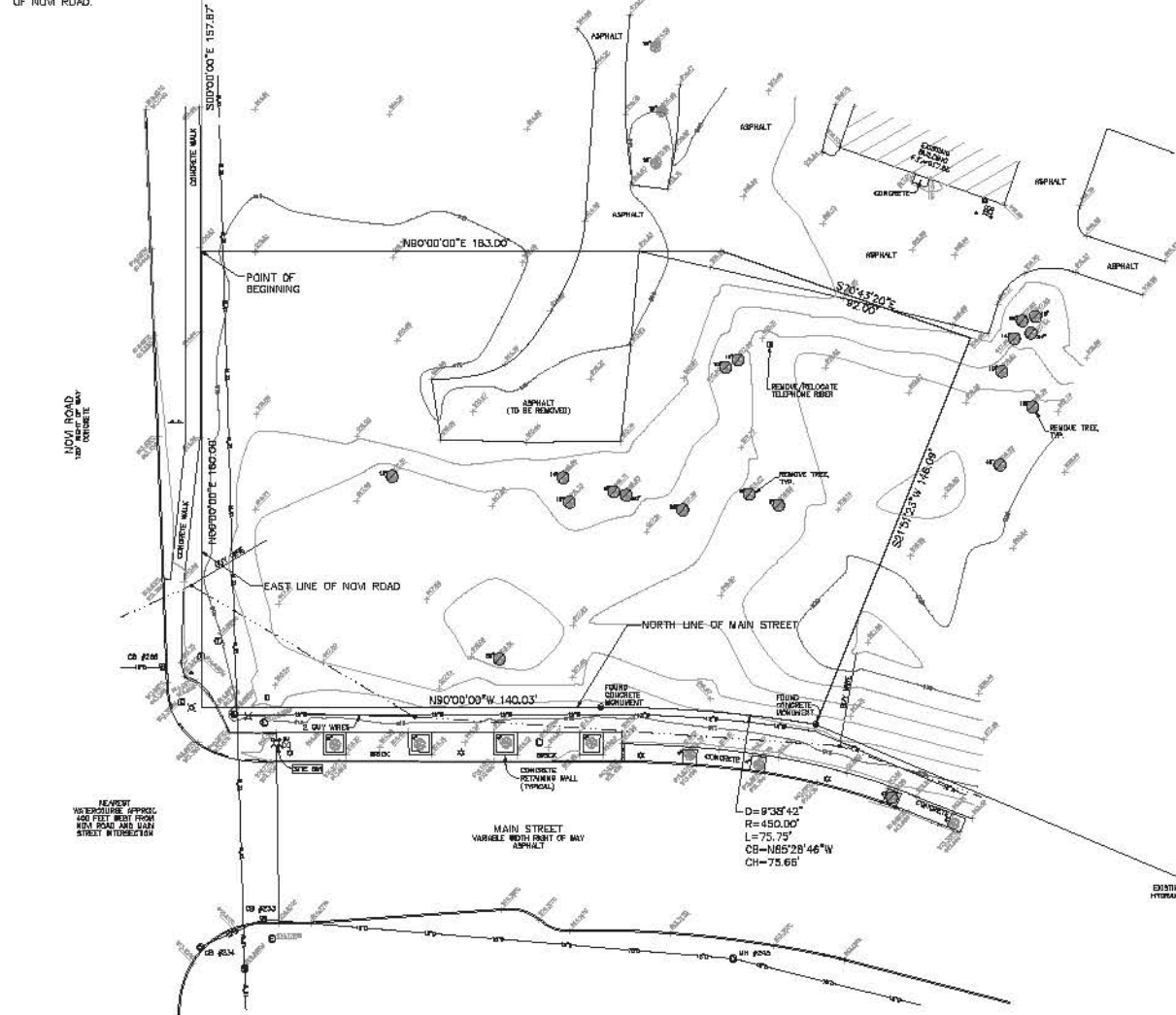
558.41'

580.00'±

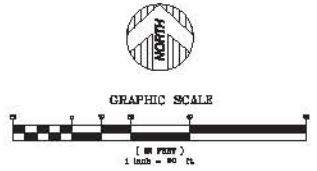
N80°00'00"E 60.00'

EAST LINE OF NOVIA ROAD AND SOUTH LINE OF PAUL BUNYON ROAD.

WEST LINE OF SECTION 23 AND CENTERLINE OF NOVIA ROAD.



**PROPOSED PROPERTY DESCRIPTION:**  
 PART OF LOTS 1 AND THE GENERAL CORNER ELEMENTS OF THE NORTH PART OF THE "MAIN STREET CONDOMINIUM - REPLAT 1" AS PROVIDED IN LUMP 26333, PAGE 233, OAKLAND COUNTY RECORDS, BEING PART OF THE NORTHWEST 1/4 OF SECTION 23, TOWN 1 NORTH, RANGE B EAST, NVA, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS:  
 COMMENCING AT THE NORTHWEST CORNER OF SECTION 23, THENCE SOUTHWEST 28.21 FEET ALONG THE WEST LINE OF SAID SECTION 23 AND THE CENTERLINE OF NOVIA ROAD (150.00 FEET WIDE), THENCE NORTHWEST 88.00 FEET TO THE EAST LINE OF SAID NOVIA ROAD AND THE SOUTH LINE OF PAUL BUNYON ROAD (75.00 FEET WIDE), THENCE SOUTHWEST 150.00 FEET TO THE POINT OF BEGINNING, THENCE NORTHWEST 150.00 FEET, THENCE SOUTHWEST 140.00 FEET, THENCE FOLLOWING A CURVED ALIGNMENT ALONG THE NORTH LINE OF MAIN STREET, (1) 75.25 FEET ALONG A POST-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 450.00 FEET, A CENTRAL ANGLE OF 9°38'42" AND A CHORD BEARING NORTH 46°14'58" WEST, (2) 75.25 FEET TO THE EAST LINE OF SAID NOVIA ROAD, THENCE NORTHWEST 183.00 FEET TO THE POINT OF BEGINNING.



**BENCHMARK**  
 BUT BEYOND TOP ARROW ON HYDRAULIC AT THE NORTHWEST CORNER OF NOVIA ROAD AND MAIN STREET. ELEVATION = 518.14 FEET, 88 DATUM.

**WETLANDS**  
 NO WETLANDS EXIST ON SITE.

**MANHOLE SCHEDULE**

ROUND CATCH BASIN (FOR 18" DIA.)  
 RM-1132A  
 4" C. 80.00 L.E.  
 12" W. 80.00 L.E.

SQUARE CATCH BASIN (FOR 24")  
 RM-1132B  
 12" C. 80.00 L.E.  
 12" W. 80.00 L.E.

SQUARE CATCH BASIN (FOR 24")  
 RM-1132C  
 12" C. 80.00 L.E.  
 12" W. 80.00 L.E.

SQUARE CATCH BASIN (FOR 24")  
 RM-1132D  
 12" C. 80.00 L.E.  
 12" W. 80.00 L.E.

SQUARE CATCH BASIN (FOR 24")  
 RM-1132E  
 12" C. 80.00 L.E.  
 12" W. 80.00 L.E.

SQUARE CATCH BASIN (FOR 24")  
 RM-1132F  
 12" C. 80.00 L.E.  
 12" W. 80.00 L.E.

SQUARE CATCH BASIN (FOR 24")  
 RM-1132G  
 12" C. 80.00 L.E.  
 12" W. 80.00 L.E.

SQUARE CATCH BASIN (FOR 24")  
 RM-1132H  
 12" C. 80.00 L.E.  
 12" W. 80.00 L.E.

SQUARE CATCH BASIN (FOR 24")  
 RM-1132I  
 12" C. 80.00 L.E.  
 12" W. 80.00 L.E.

SQUARE CATCH BASIN (FOR 24")  
 RM-1132J  
 12" C. 80.00 L.E.  
 12" W. 80.00 L.E.

SQUARE CATCH BASIN (FOR 24")  
 RM-1132K  
 12" C. 80.00 L.E.  
 12" W. 80.00 L.E.

SQUARE CATCH BASIN (FOR 24")  
 RM-1132L  
 12" C. 80.00 L.E.  
 12" W. 80.00 L.E.

SQUARE CATCH BASIN (FOR 24")  
 RM-1132M  
 12" C. 80.00 L.E.  
 12" W. 80.00 L.E.

SQUARE CATCH BASIN (FOR 24")  
 RM-1132N  
 12" C. 80.00 L.E.  
 12" W. 80.00 L.E.

SQUARE CATCH BASIN (FOR 24")  
 RM-1132O  
 12" C. 80.00 L.E.  
 12" W. 80.00 L.E.

SQUARE CATCH BASIN (FOR 24")  
 RM-1132P  
 12" C. 80.00 L.E.  
 12" W. 80.00 L.E.

SQUARE CATCH BASIN (FOR 24")  
 RM-1132Q  
 12" C. 80.00 L.E.  
 12" W. 80.00 L.E.

SQUARE CATCH BASIN (FOR 24")  
 RM-1132R  
 12" C. 80.00 L.E.  
 12" W. 80.00 L.E.

SQUARE CATCH BASIN (FOR 24")  
 RM-1132S  
 12" C. 80.00 L.E.  
 12" W. 80.00 L.E.

SQUARE CATCH BASIN (FOR 24")  
 RM-1132T  
 12" C. 80.00 L.E.  
 12" W. 80.00 L.E.

SQUARE CATCH BASIN (FOR 24")  
 RM-1132U  
 12" C. 80.00 L.E.  
 12" W. 80.00 L.E.

SQUARE CATCH BASIN (FOR 24")  
 RM-1132V  
 12" C. 80.00 L.E.  
 12" W. 80.00 L.E.

SQUARE CATCH BASIN (FOR 24")  
 RM-1132W  
 12" C. 80.00 L.E.  
 12" W. 80.00 L.E.

SQUARE CATCH BASIN (FOR 24")  
 RM-1132X  
 12" C. 80.00 L.E.  
 12" W. 80.00 L.E.

SQUARE CATCH BASIN (FOR 24")  
 RM-1132Y  
 12" C. 80.00 L.E.  
 12" W. 80.00 L.E.

SQUARE CATCH BASIN (FOR 24")  
 RM-1132Z  
 12" C. 80.00 L.E.  
 12" W. 80.00 L.E.

**LEGEND**

|     |                                      |
|-----|--------------------------------------|
| (P) | FOUND INSTRUMENT (AS NOTED)          |
| (M) | PROPOSED AND RECALCULATED DIMENSIONS |
| (D) | RECORDED DIMENSIONS                  |
| (O) | MEASURED DIMENSIONS                  |
| (S) | BOUNDARY LINE                        |
| (E) | ELECTRIC MANHOLE                     |
| (P) | ELECTRIC PANEL                       |
| (U) | UTILITY POLE                         |
| (M) | SIDE WALK                            |
| (T) | TELEPHONE MANHOLE                    |
| (R) | TELEPHONE RISER                      |
| (S) | SMOOTH MANHOLE                       |
| (S) | ROUND CATCH BASIN                    |
| (S) | SQUARE CATCH BASIN                   |
| (S) | STORM DRAIN MANHOLE                  |
| (S) | FIRE HYDRANT                         |
| (S) | WATER GATE MANHOLE                   |
| (S) | WATER VALVE                          |
| (S) | WELL                                 |
| (S) | LAMP POST                            |
| (S) | SEWER POST SIGN                      |
| (S) | DOUBLE POST SIGN                     |
| (S) | TREE WITH DIAMETER IN INCHES         |
| (S) | PROPOSED BOUNDARY LINE               |
| (S) | EXISTING                             |
| (S) | CONTOUR LINE                         |
| (S) | CONCRETE CURB                        |
| (S) | EDGE OF CONCRETE (GOING)             |
| (S) | EDGE OF ASPHALT (GOING)              |
| (S) | EDGE OF ASPHALT (ASPH.)              |
| (S) | EDGE OF DRIVE                        |
| (S) | WALL (AS NOTED)                      |
| (S) | OVERHEAD UTILITY LINE                |
| (S) | SEWER LINE                           |
| (S) | STORM LINE                           |
| (S) | WATER LINE                           |

NOT FOR CONSTRUCTION

**SVI**

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 27172 WOODBROOK AVENUE  
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 EASTLAND, MI 48021  
 (586)772-2222 PHONE  
 (586)772-4048 FAX  
 KTA PROJECT NO. 12-00092

Project:

DETROIT METROPOLITAN  
 CREDIT FACILITY -  
 NEW FACILITY  
 NOVIA RD + MAIN STREET  
 NOVIA, MI 48070

Issued for:

PRE APPLICATION METRICS SURVEY  
 PRE APPLICATION PERMITS/DESIGN  
 SPA APPROVAL, 2018  
 SPA APPROVAL, 2020  
 SPA APPROVAL, NEW GENVA

UTILITY WARNING

UNDERGROUND UTILITIES MAY BE LOCATED AT ANY DEPTH AND ARE NOT SHOWN ON THIS PLAN. ANY UNEXPECTED UTILITIES WILL BE IDENTIFIED AND DELETED FROM THIS PLAN.

THE OPERATOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF AND RE-ESTABLISHMENT OF ALL UTILITIES LOCATED WITHIN THE PROJECT AREA.

THE OPERATOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF AND RE-ESTABLISHMENT OF ALL UTILITIES LOCATED WITHIN THE PROJECT AREA.

THE OPERATOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF AND RE-ESTABLISHMENT OF ALL UTILITIES LOCATED WITHIN THE PROJECT AREA.

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Drawn by: DSH

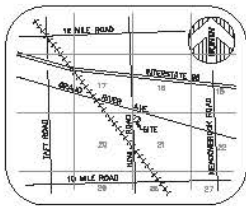
Checked by: MCK

Sheet Title:  
 TOPOGRAPHIC SURVEY

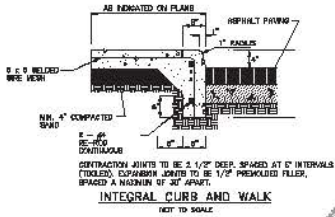
Project No.:  
 2012.023

Sheet No.:  
 C-1

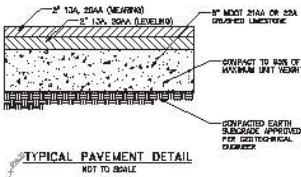




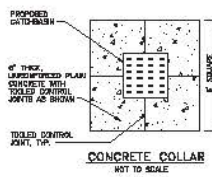
VICINITY MAP  
1-0007



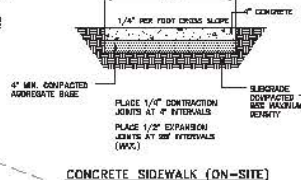
INTEGRAL CURB AND WALK  
NOT TO SCALE



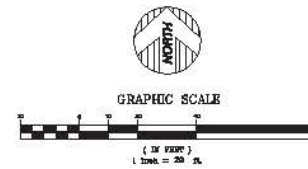
TYPICAL PAVEMENT DETAIL  
NOT TO SCALE



CONCRETE COLLAR  
NOT TO SCALE



CONCRETE SIDEWALK (ON-SITE)  
NOT TO SCALE



GRAPHIC SCALE  
(1" = 20' @ 24")  
1" LONG = 20' @ 24"

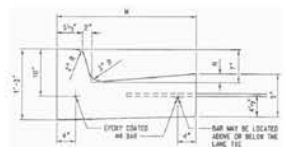
- GRADING NOTES:**
- TOTAL DISRUPTION AREA = 0.967 ACRES
  - PRIOR TO THE START OF CONSTRUCTION A PERMIT FOR SOIL EROSION AND SEDIMENTATION CONTROL MUST BE OBTAINED FROM THE OFFICE OF THE OKLAHOMA COUNTY PUBLIC WORKS COMMISSION.
  - PRIOR TO THE START OF CONSTRUCTION A CITY OF NEW HOLDEN LAND USE PERMIT MUST BE OBTAINED.

**PAVEMENT QUANTITIES**

|                   |           |
|-------------------|-----------|
| CONCRETE PAVEMENT | 3,800 SF  |
| ASPHALT PAVEMENT  | 21,650 SF |
| CONCRETE CURB     | 1,350 LF  |

SITE CONTRACTOR TO VERIFY ALL QUANTITIES

- LEGEND**
- 102.02X DISTING SPOT GRADE
  - 102.02X IMPROVED SPOT GRADE
  - FF FINISH FLOOR
  - G SLURRY GRADE
  - TP TOP OF CURB GRADE
  - TP TOP OF PAVEMENT GRADE
  - TW TOP OF WALK GRADE
  - FW FINISHED GRADE
  - ASPHALT PAVEMENT
  - CONCRETE PAVEMENT

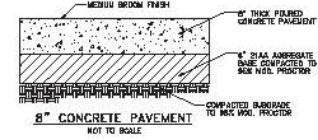


MOOT CONCRETE CURB & GUTTER DETAIL "C"  
NOT TO SCALE

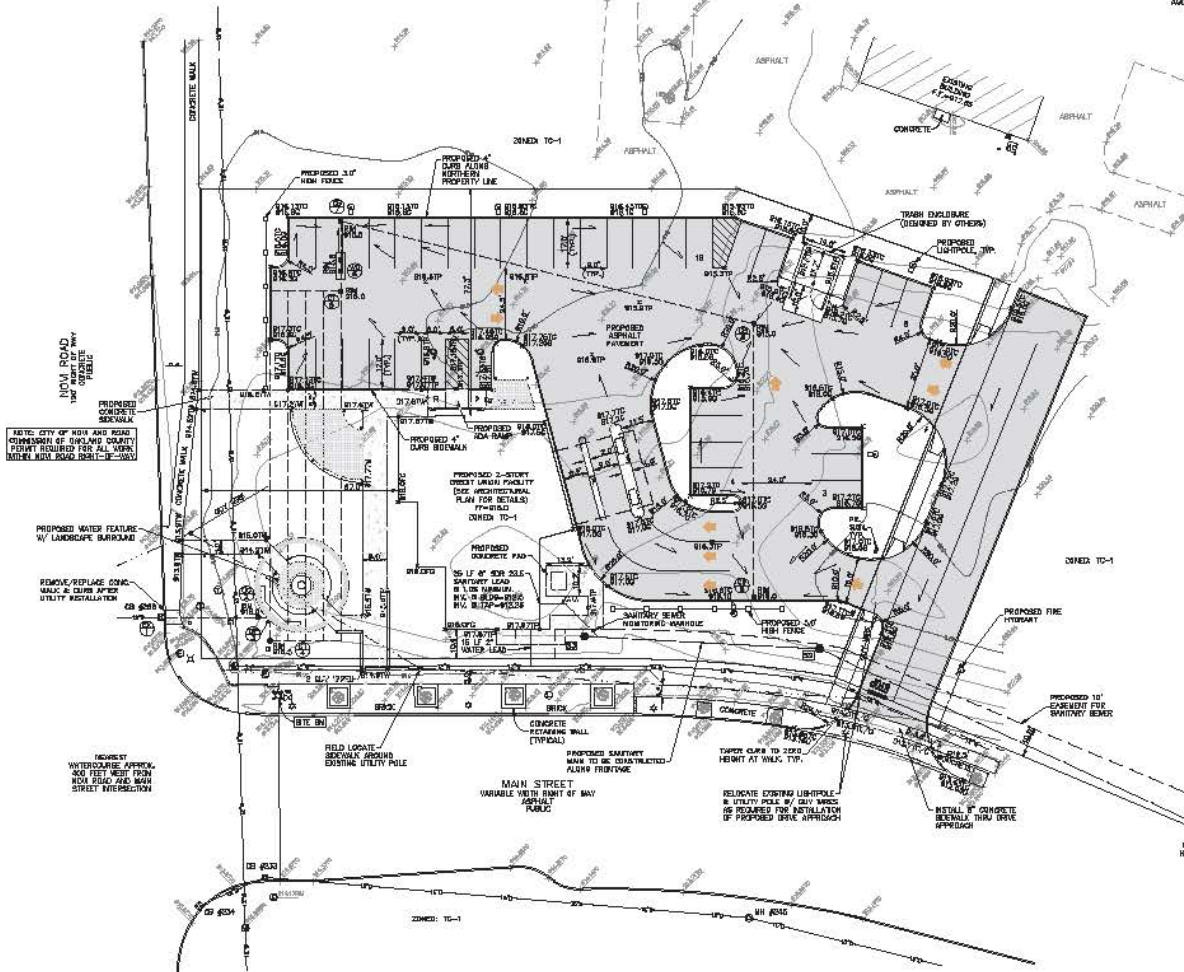
| DETAIL | SECTION       | LANE TIES | CONCRETE | EQ. / L.F.T. |
|--------|---------------|-----------|----------|--------------|
| C1     | 1'-4" x 1'-0" | AS SHOWN  | 0.0500   |              |
| C2     | 1'-4" x 1'-0" | AS SHOWN  | 0.0500   |              |
| C3     | 1'-4" x 1'-0" | AS SHOWN  | 0.0500   |              |
| C4     | 1'-4" x 1'-0" | AS SHOWN  | 0.0500   |              |
| C5     | 1'-4" x 1'-0" | AS SHOWN  | 0.0500   |              |
| C6     | 1'-4" x 1'-0" | AS SHOWN  | 0.0500   |              |



CONCRETE DUMPSTER PAD  
NOT TO SCALE



8" CONCRETE PAVEMENT  
NOT TO SCALE



NOTE: CITY OF NEW HOLDEN AND OKLAHOMA COUNTY COMMISSION OF OKLAHOMA COUNTY PERMIT REQUIRED FOR ALL WORK UNDER NEW ROAD RIGHT-OF-WAY.

PROPOSED WATER FEATURE W/ LANDSCAPE BARRIERS

REMOVE/REPLACE CONC WALK & CURB AFTER UTILITY INSTALLATION

HIGHEST WATERGRADE APPROX. 300 FEET WEST FROM 10th ROAD AND MAIN STREET INTERSECTION

FIELD LOCATE, RECONSTRUCT EXISTING UTILITY POLE

PROPOSED SANITARY MAIN TO BE CONSTRUCTED ALONG FRONTAGE

TAPER CURB TO ZERO HEIGHT AT WALK TOP

REDUCED CONTROL LIGHTING & UTILITY POLE BY 60% HEIGHTS AS REQUIRED FOR INSTALLATION OF PROPOSED WIRE APPROACH

INSTALL 8" CONCRETE SIDEWALK THRU DRIVE APPROACH

**SWA**

STUCKY WITALE ARCHITECTS  
21172 WOODWARD AVENUE  
BOWAL OAK, MI 48067-0925  
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KTA PROJECT NO. 12-00592

Project 1

DETROIT METROPOLITAN CREDIT UNION - NEW FACILITY  
NEW RD & MAIN STREET  
NOR, MI 48175

Issued for:

PRE-APPLICATOR MEETING REVIEW  
PRE-APPLICATOR PERMITS/COMMISSION ENDORSE  
SPA APPROVAL, CLEAR  
SPA APPROVAL, SIGN  
SPA APPROVAL, REVISIONS

UTILITY WARNING

UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. CALL BEFORE YOU DIG.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES OF ALL DEPT'S NOT SHOWN ON THIS DRAWING.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES OF ALL DEPT'S NOT SHOWN ON THIS DRAWING.

Drawn by: DEH  
Checked by: MDK

Sheet Title:  
GRADING & UTILITY PLAN

Project No. 1  
**2012.023**  
Sheet No. **C-2**

NOT FOR CONSTRUCTION

DO NOT SCALE DIMENSIONS



VICINITY MAP  
1"=400'

**GENERAL BESC NOTES**

1. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO STANDARDS AND SPECIFICATIONS OF CALIFORNIA COUNTY BOARD COMMISSION.
2. DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE EFFECTIVENESS OF EROSION AND SEDIMENT CONTROL MEASURES. ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
3. EROSION AND ANY SEDIMENTATION FROM NEARBY SITES ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO DRILLAGE OR FLOW OFF THE SITE. THIS INCLUDES WASHWATER, WASTEWATER, FLOODING, BOTH NATURAL AND MAN-MADE OPEN DITCHES, STORM DRAIN, STREAM, LAKES AND POND.
4. ALL MATERIAL TRACKED INTO EXISTING ROADS FROM THE SITE DUE TO CONSTRUCTION SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR. ALL MUD/DIRT TRACKED OR SPILLED ON PUBLIC SURFACES WITHIN THIS SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
5. PROPOSED SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION, OR ANY DEFERRED LAND AREA SHALL BE COMPLETED WITHIN A CALIBRATED DATE AFTER FINAL COMPLETION OF THE FINAL EARTH CHANGE. THIS SHALL BE SUBJECT TO PERMANENTLY STABILIZE A DISBURSED AREA AFTER EARTH CHANGE HAS BEEN COMPLETED OR OTHER NECESSARY EARTH STABILIZATION MEASURES SHALL BE IMPLEMENTED IMMEDIATELY. ALL TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED. ALL PERMANENT SOIL EROSION CONTROL MEASURES WILL BE IMPLEMENTED AND ESTABLISHED BEFORE A CERTIFICATE OF OCCUPANCE IS ISSUED.

**SOIL EROSION CONTROL NOTES**

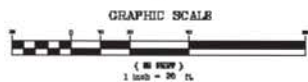
1. ALL SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED AS INDICATED ON THE APPROVED PLAN PRIOR TO THE START OF ANY CONSTRUCTION.
2. ALL MUD TRACKED ONTO THE EXISTING ROAD FROM THE SITE DUE TO CONSTRUCTION OR THE DELIVERY OF MATERIALS SHALL BE REMOVED PROMPTLY.
3. DURING THE CONSTRUCTION OF THE BUILDING WITHIN THE SITE, THE DEVELOPER SHALL APPROVE TO HAVE THE EXISTING AREAS SHOWN AND CLEANED AND MUD FILTERS CLEANED AS REQUIRED.

**BESC MAINTENANCE SCHEDULE NOTES**

1. THE CONTRACTOR SHALL REGULARLY INSPECT THE SOIL EROSION/SEDIMENTATION MEASURES. THE FOLLOWING SCHEDULE SHALL BE MAINTAINED IF ANY DAMAGE HAS OCCURRED:
  1. MUD MAT MAINTENANCE SHALL INCLUDE THE REMOVAL OF ANY MUD/DIRT ACCUMULATED WHEN THE MUDWATER HEIGHT ACCUMULATES TO 1/2 TO 1/3 OF THE HEIGHT OF THE FENCE. THE CONTRACTOR IS RESPONSIBLE TO REMOVE, REPLACE, REPAIR, OR RECALIBRATE THE SALTWATER FENCE SHOULD IT FAIL OR BE DAMAGED DURING CONSTRUCTION.
  2. MUD FILTER MAINTENANCE SHALL INCLUDE THE REMOVAL OF ANY ACCUMULATED MUD OR OTHER DEBRIS.

**SOIL EROSION & SEDIMENTATION CONTROL NOTES**

1. ALL DRAINAGE DITCHES MUST BE CONFORMING TO THE CURRENT STANDARDS AND SPECIFICATIONS ADOPTED BY THE CITY OF LOS ANGELES.
2. CALL FOR THE RECORD DRAWING (604-400-7777) OR (310) A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
3. ALL SOIL EROSION AND MUD SHALL BE CONTROLLED AND CONTAINED ON SITE. ALL PUBLIC DRAINAGE STRUCTURES REQUIRING CLEANING SHALL BE CLEANED PRIOR TO APPROVAL.
4. ALL EXCAVATION DEEPER OF WITHIN 3 FEET OF PUBLIC PAVEMENT EXISTING OR PROPOSED SHALL BE PROTECTED AND CONTACTED WITH SAND CLASS 4 MUD FOR THE CITY OF LOS ANGELES.
5. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING PUBLIC UTILITIES AND MAINTAINING IN THE PUBLIC RIGHT-OF-WAY.
6. PRIOR TO THE ISSUANCE OF ANY OCCUPANCY PERMIT, ALL SOIL-EROSION AND STORM DEFENSE WORK SHALL BE COMPLETED AND APPROVED, AND ALL REQUIRED AIR-SALT FENCE APPROVED.
7. THE SOIL EROSION CONTROL MEASURES WILL BE MAINTAINED WEEKLY AND AFTER EVERY STORM EVENT BY THE SITE CONTRACTOR.



**SOL MAP & LEGEND**

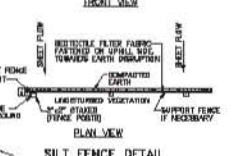
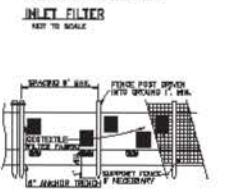
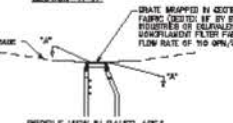
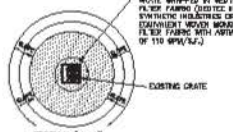
- AREA ELEMENT LOAD 0 TO 4 PERCENT SLOPES
- 0.4 URBAN LAND
- SEE SOL REPORT PROJECT NO. 10078 FOR MORE INFO FOR SOIL REPORT.

| SOIL EROSION QUANTITIES |        |
|-------------------------|--------|
| MUD MAT                 | 1 EA   |
| INLET FILTERS           | 6 EA   |
| SILT FENCE              | 650 LF |

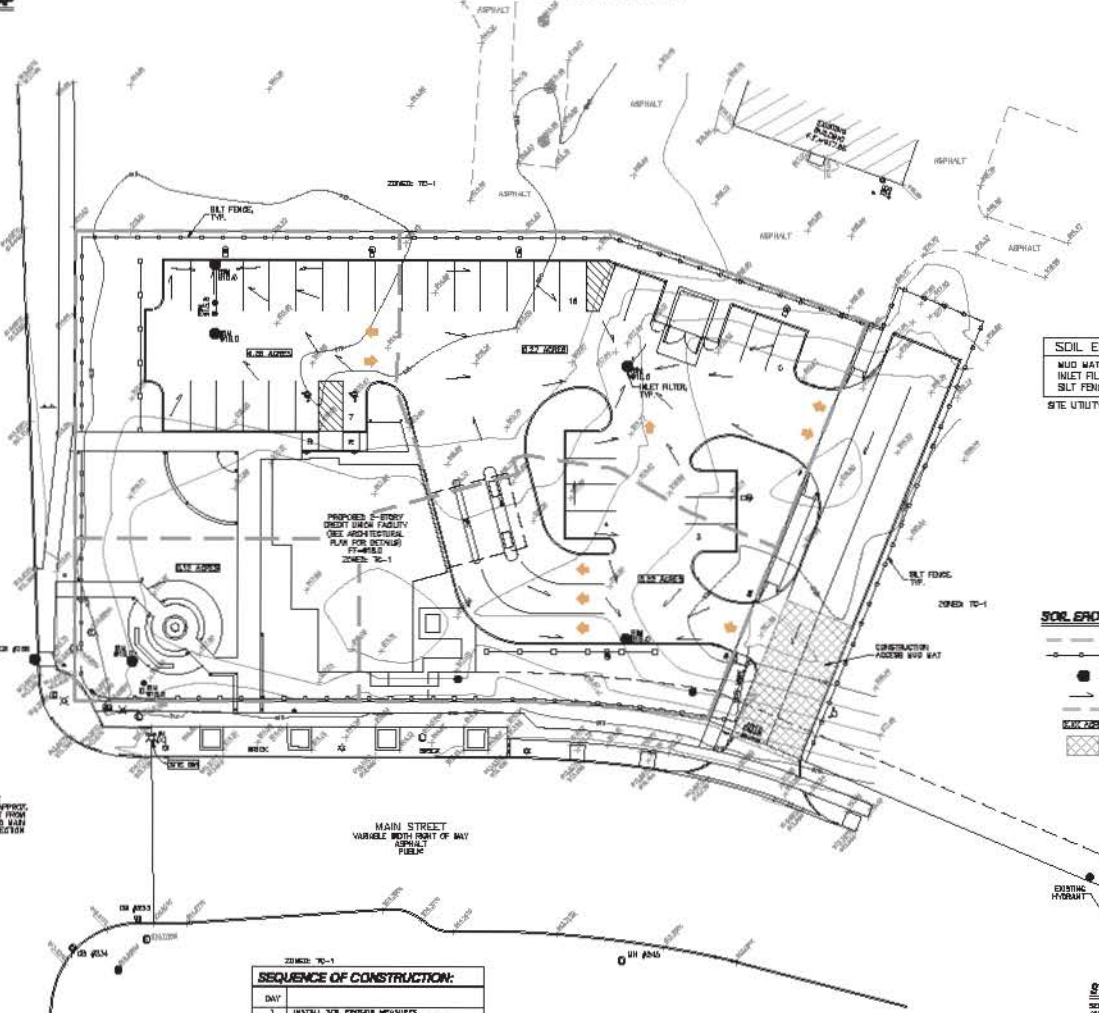
SEE UTILITY CONTRACTOR TO VERIFY ALL QUANTITIES

**SOIL EROSION LEGEND**

- LIMITS OF DESCRIPTION
- SILT FENCE
- INLET FILTER
- DRAINAGE APRON
- DRAINAGE LIMITS
- DRAINAGE AREA
- GRAVEL MUD MAT



**STANDARD DETAIL NOTE**  
SEE DRAINAGE DESIGN STANDARD STORM DRAIN NOTES AND DETAILS AND SOIL EROSION DETAIL SHEETS FOR MORE INFORMATION.



**SEQUENCE OF CONSTRUCTION:**

| DAY | ACTIVITY                           |
|-----|------------------------------------|
| 1   | INSTALL SOIL EROSION MEASURES      |
| 2   | REMOVE EXISTING PAVEMENT AND PAVED |
| 3   | INSTALL LANDSCAPING LIMITS         |
| 4   | INSTALL PAVEMENT                   |
| 5   | BEGIN CONSTRUCTION OF BUILDING     |
| 6   | INSTALL LANDSCAPING                |
| 7   | REMOVE SOIL EROSION MEASURES       |

**SV&A**  
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**KEM-TEC & ASSOCIATES**  
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(508) 772-2222 PHONE  
(508) 772-4048 FAX  
KTR PROJECT NO. 12-00092

**Project:**  
DETROIT METROPOLITAN  
CREDIT UNION -  
NEW FACILITY  
NORTH RD + MAIN STREET  
NORTH MI 48106

**ISSUED FOR:**  
FOR APPLICATION/PERMITS ONLY  
FOR APPLICATION/PERMITS ONLY  
FOR APPROVAL ONLY  
FOR APPROVAL ONLY  
FOR APPROVAL ONLY

**UTILITY WARNING:**  
PROTECT EXISTING UTILITIES FROM FIELD LAYOUT.  
811  
Call before you dig.  
The contractor shall be responsible for the installation of utility markers for all utilities in the project area.

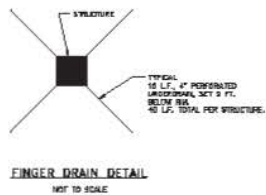
Drawn by: DCH  
Checked by: MCK

Sheet Title:  
**SOIL EROSION & SEDIMENTATION CONTROL PLAN**  
Project No.:  
**2012.023**

Sheet No.:  
**C-3**

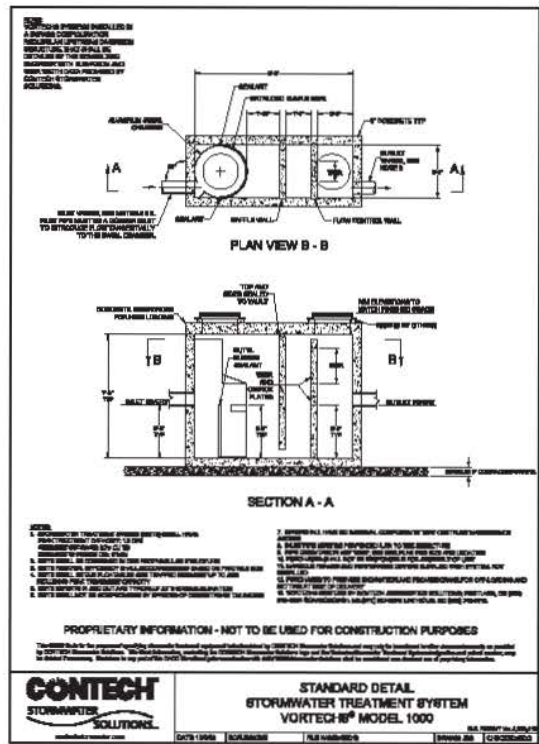
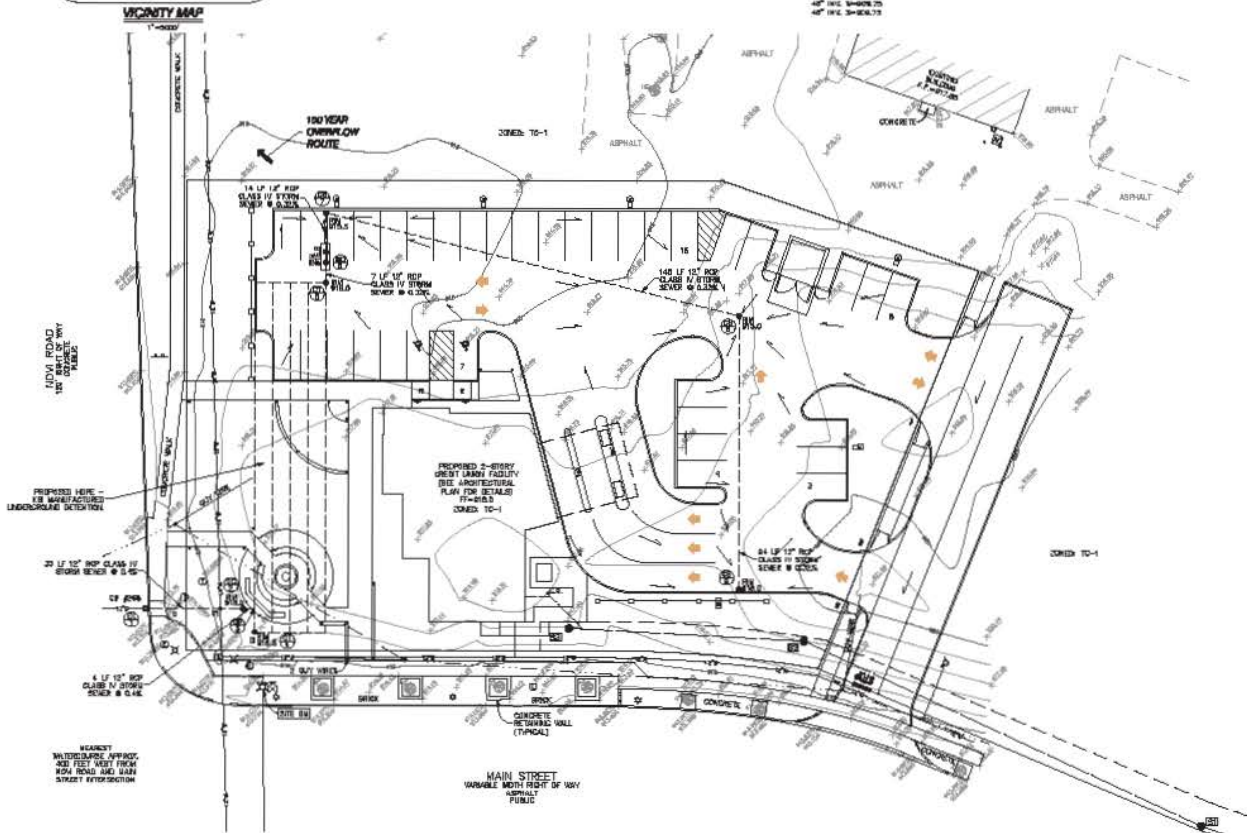
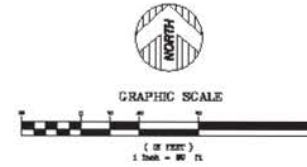
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**STORM STRUCTURE SCHEDULE**

|                                    |                                 |
|------------------------------------|---------------------------------|
| 1. EXISTING STRUCTURE<br>18\"/>    | 2. WATER QUALITY UNIT<br>18\"/> |
| 3. 6\"/>                           | 4. 6\"/>                        |
| 5. DETENTION SYSTEM TANK<br>18\"/> | 6. 4\"/>                        |
| 7. 4\"/>                           | 8. 4\"/>                        |
| 9. 4\"/>                           | 10. 4\"/>                       |



**PRE-DEVELOPMENT SUMMARY**

C = 0.35  
 I 10YR = 172 (1/105) = 3,000 IN/HR 1"=0  
 A = 0.887 ADRB  
 Q=QA = 1.21 CFS

**POST-DEVELOPMENT SUMMARY**

BTE AREA = 36,627 SF  
 BUILDING = 4,092 X 0.93 = 3,804 SF  
 PAVEMENT = 17,147 X 0.80 = 14,300 SF  
 CREST = 17,466 X 0.35 = 6,113 SF  
 C FACTOR = 20,277/36,627 = 0.56

Required Storage = 7,784 #3  
 Using 48" diameter pipe = 12.56 of pipe LF  
 Required 48" diameter pipe = 620 LF

Provided 48" diameter pipe = 623 LF

Highest Invert Elevation = 908.70  
 Highest Crown of Pipe Elevation = 913.70

48" pipes are partially full  
 Therefore, pipes are at 88% full, or 0.52' below the crown elevation (calculated by trial and error iteration 913.62)

48" PPE = 12.56 SF/LF OF STORAGE  
 623 LF OF 48" PPE = 7,826 OF STORAGE

Area captured of basin = 4,002 acres  
 Weighted runoff coefficient of capture area = 0.68 Coefficient

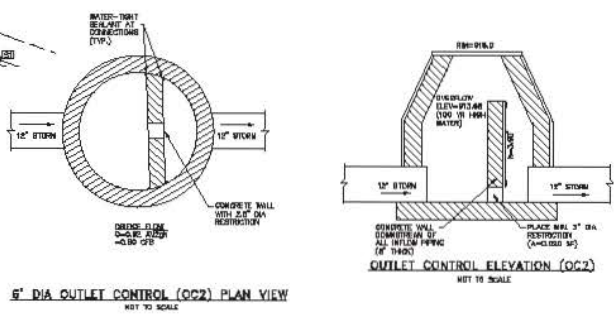
Qp = Maximum allowable outflow from the site = 0.133 cfs

Qs = Maximum allowable outflow per acre imperviousness (B.S.A. area imperviousness) = 0.021 cfs/acre imperv.

Storage time defined as the instant Storage begins until peak storage is obtained (hrs) = 0.912 hrs

Maximum volume of water stored in the detention basin per acre imperviousness = 1,200 cfs/acre imperv.

Required volume of water stored in the detention basin for the design peak storm in cubic feet = 776 cfs



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 KTA PROJECT NO. 12-00592

Project:  
 DETROIT METROPOLITAN  
 CREDIT UNION -  
 NEW FACILITY  
 NOW RD + MAIN STREET  
 NOW, MI 48376

Issued for:  
 PRE APPLICATION SUBMITTAL UNDER  
 PRELIMINARY CONSTRUCTION PERMITS  
 SVA APPROVAL 08/20  
 SVA APPROVAL 08/20  
 SVA APPROVAL 08/20  
 SVA APPROVAL 08/20

UTILITY WARNING  
 SPECIFIC UTILITY LOCATIONS ARE SHOWN  
 BASED ON THE MOST RECENT RECORDS  
 AVAILABLE TO US.  
 THE CONTRACTOR SHALL BE RESPONSIBLE  
 FOR THE PROTECTION OF ALL UTILITIES  
 LOCATED UNDER OR ADJACENT TO THE  
 PROJECT. THE CONTRACTOR SHALL BE  
 RESPONSIBLE FOR OBTAINING ALL NECESSARY  
 PERMITS AND APPROVALS FROM ALL  
 APPLICABLE AGENCIES AND UTILITIES  
 BEFORE CONSTRUCTION BEGINS. THE  
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 OBTAINING ALL NECESSARY PERMITS AND  
 APPROVALS FROM ALL APPLICABLE  
 AGENCIES AND UTILITIES BEFORE  
 CONSTRUCTION BEGINS.

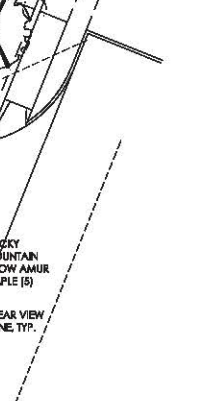
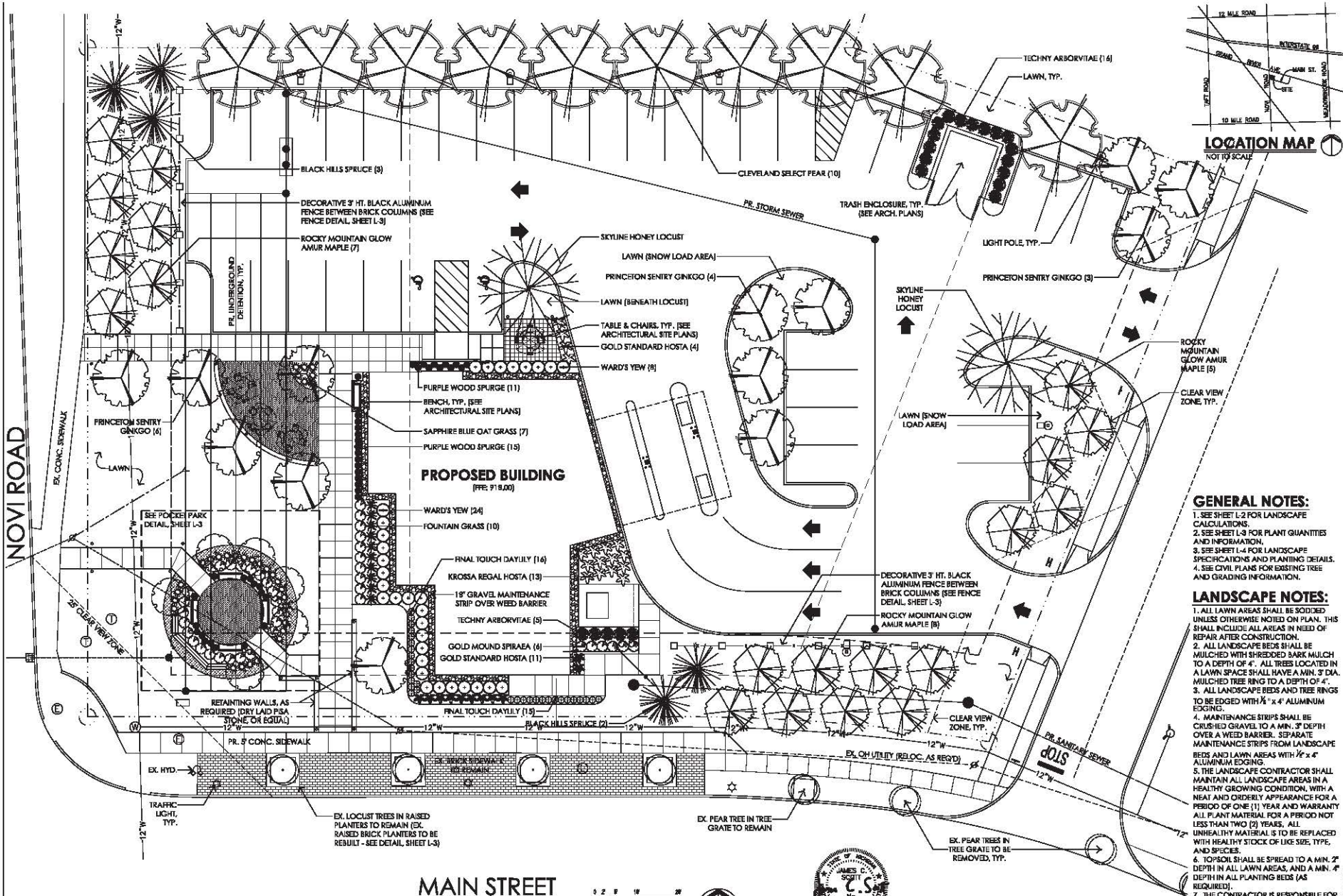
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 Checked by: MCK

Sheet Title:  
**STORM WATER  
 MANAGEMENT PLAN**

Project No.:  
**2012.023**  
 Sheet No.:  
**C-4**

DO NOT SCALE DIMENSIONS  
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MAIN STREET



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**Project:**  
 DETROIT METROPOLITAN CREDIT UNION - NEW FACILITY  
 NOVI RD & MAIN ST  
 NOVI, MI 48375  
 SECTION 23

**Issued for:**  
 SPA APPROVAL 1.28.13  
 SPA APPROVAL 2.14.14

**Drawn by:**  
 BMW  
**Checked by:**  
 JCS

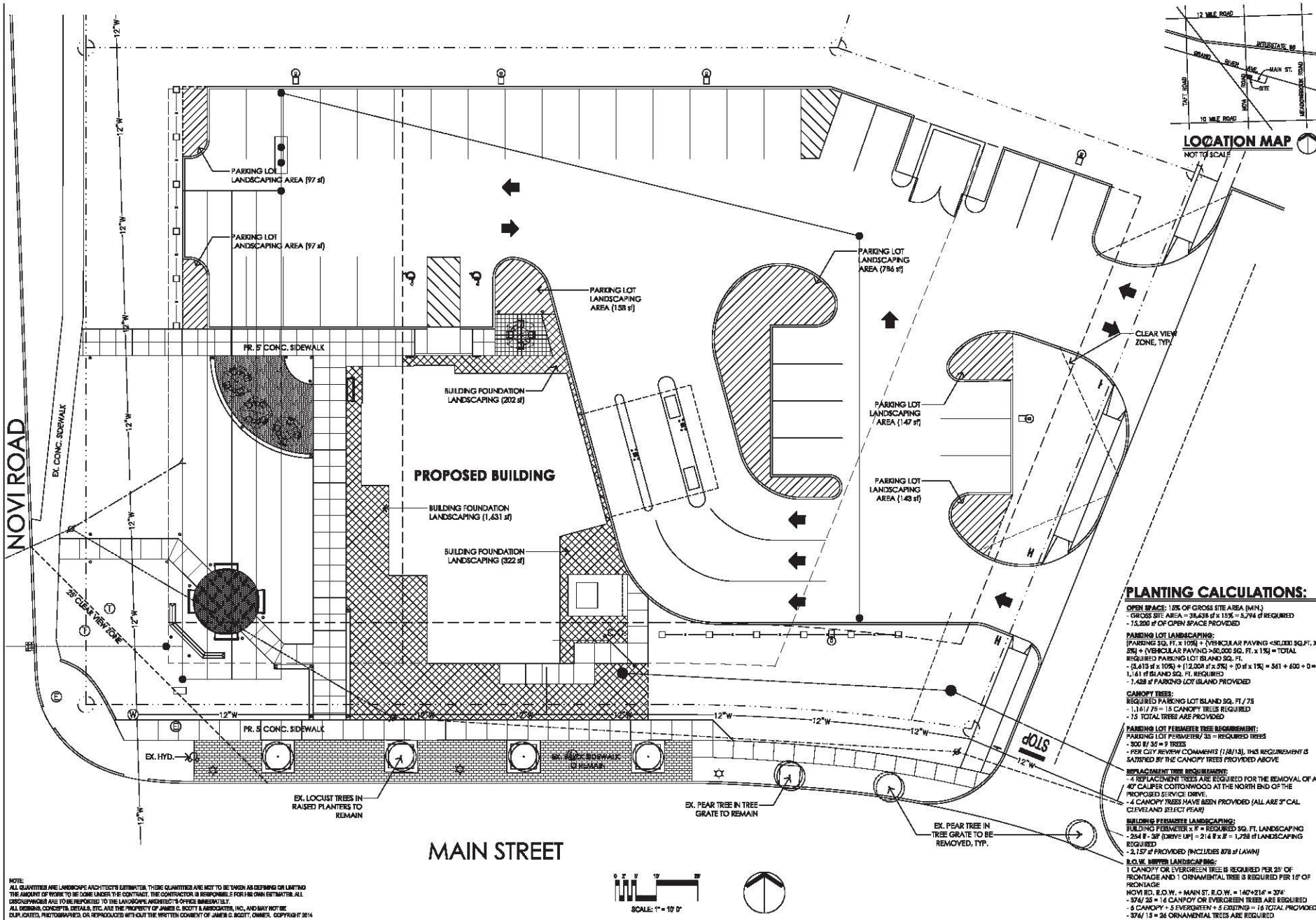
**Sheet Title:**  
 LANDSCAPE PLAN

**Project No.:**  
 2012.023

**Sheet No.:**  
 L-1

18 NOT SCALE - DIMENSIONS TO BE REPORTED TO THE LANDSCAPE ARCHITECT'S OFFICE IMMEDIATELY





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Project :  
 DETROIT METROPOLITAN  
 CREDIT UNION  
 NEW FACILITY  
 NOVI RD & MAIN ST  
 NOVI, MI 48375  
 SECTION 23

Issued for :  
 SPA APPROVAL 1.28.13  
 SPA APPROVAL 2.14.14

**PLANTING CALCULATIONS:**

**OPEN SPACE:** 10% OF GROSS SITE AREA (MIN.)  
 - GROSS SITE AREA = 98,438 sq ft x 10% = 9,844 sq ft REQUIRED  
 - 15,500 sq ft OF OPEN SPACE PROVIDED

**PARKING LOT LANDSCAPING:**  
 (PARKING SQ. FT. x 10%) + (VEHICULAR PAVING > 30,000 SQ. FT. x 1%) + (VEHICULAR PAVING > 50,000 SQ. FT. x 1%) = TOTAL REQUIRED PARKING LOT ISLAND SQ. FT.  
 - (5,415 sq ft x 10%) + (12,000 sq ft x 1%) + (0 sq ft x 1%) = 561 + 600 + 0 = 1,161 sq ft ISLAND SQ. FT. REQUIRED  
 - 1,408 sq ft PARKING LOT ISLAND PROVIDED

**CANOPY TREES:**  
 REQUIRED PARKING LOT ISLAND SQ. FT. / 75  
 - 1,161 / 75 = 15 CANOPY TREES REQUIRED  
 - 15 TOTAL TREES ARE PROVIDED

**PARKING LOT PERIMETER TREE REQUIREMENT:**  
 PARKING LOT PERIMETER / 35 = REQUIRED TREES  
 - 300 / 35 = 9 TREES  
 - PER CITY REVIEW COMMENTS (7/28/13), THIS REQUIREMENT IS SATISFIED BY THE CANOPY TREES PROVIDED ABOVE

**REPLACEMENT TREE REQUIREMENT:**  
 - 4 REPLACEMENT TREES ARE REQUIRED FOR THE REMOVAL OF A 40" CALIPER COTTONWOOD AT THE NORTH END OF THE PROPOSED SERVICE DRIVE.  
 - 4 CANOPY TREES HAVE BEEN PROVIDED (ALL ARE 5" CAL CLEVELAND SELECT PEAR)

**BUILDING PERIMETER LANDSCAPING:**  
 BUILDING PERIMETER x 5' = REQUIRED SQ. FT. LANDSCAPING  
 - 264' x 5' = 1,320 SQ. FT. LANDSCAPING REQUIRED  
 - 2,157 sq ft PROVIDED (INCLUDES 878 sq ft LAWN)

**EDGE WALKER LANDSCAPING:**  
 1 CANOPY OR EVERGREEN TREE IS REQUIRED PER 25' OF FRONTAGE AND 1 ORNAMENTAL TREE IS REQUIRED PER 10' OF FRONTAGE  
 NOV RD, E.O.W. + MAIN ST, E.O.W. = 142' x 216' = 304'  
 - 304' / 25' = 12 CANOPY OR EVERGREEN TREES ARE REQUIRED  
 - 8 CANOPY + 5 EVERGREEN + 5 EXOTIC = 18 TOTAL PROVIDED  
 374' / 15' = 25 ORNAMENTAL TREES ARE REQUIRED  
 - 26 ORNAMENTAL TREES ARE PROVIDED

**NOTE:**  
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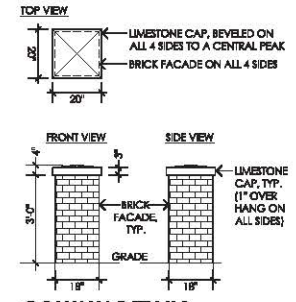
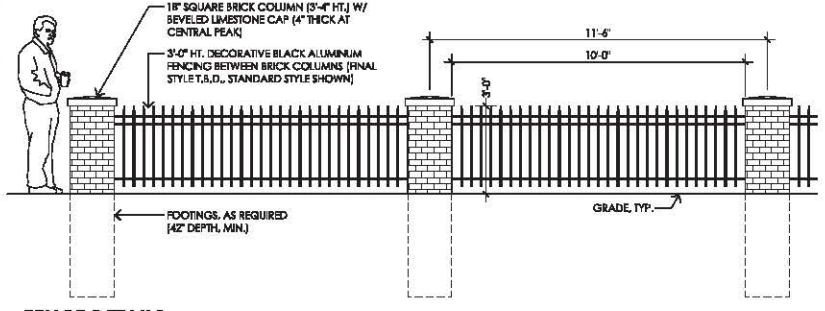
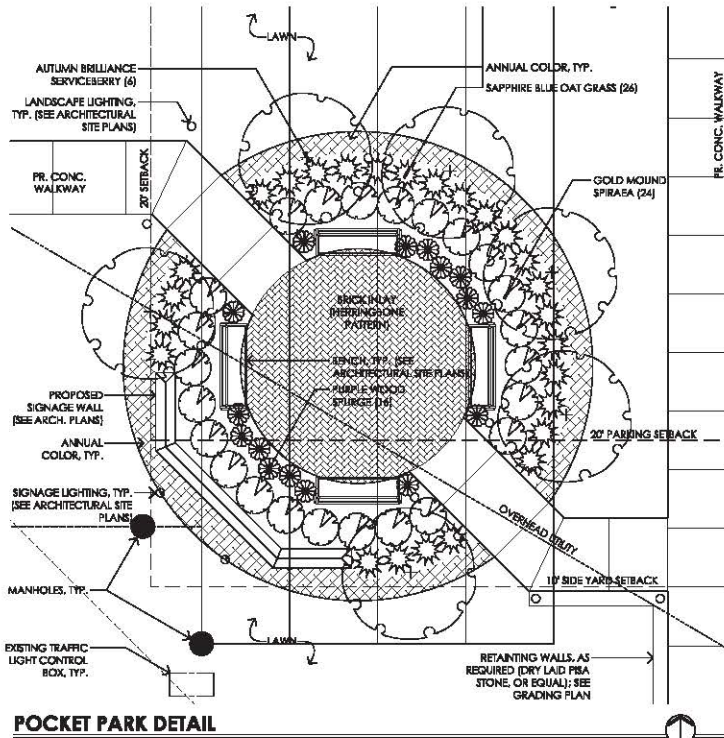
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 JCS

Sheet Title :  
 COUNTABLE  
 LANDSCAPE  
 AREAS

Project No. :  
 2012.023

Sheet No. :  
 L-2

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**FENCE DETAILS**  
SCALE 1/8" = 1' 0"

**COLUMN DETAILS**  
SCALE 1/8" = 1' 0"

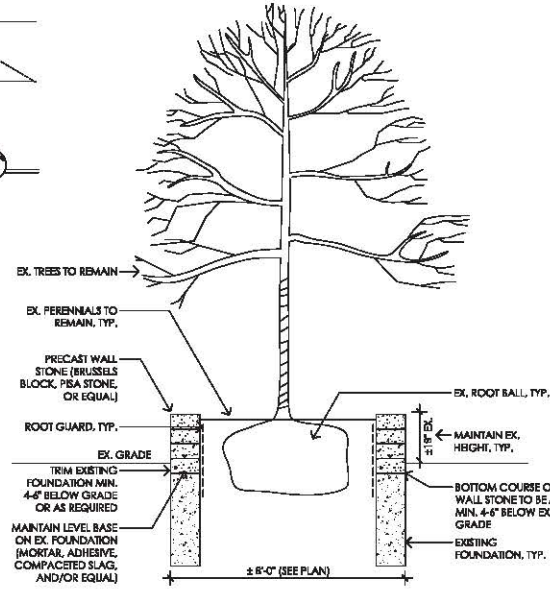
**POCKET PARK DETAIL**

**LANDSCAPE NOTES:**

1. ALL LAWN AREAS SHALL BE SODED UNLESS OTHERWISE NOTED ON PLAN. THIS SHALL INCLUDE ALL AREAS IN NEED OF REPAIR AFTER CONSTRUCTION.
2. ALL LANDSCAPE BEDS SHALL BE MULCHED WITH SHREDDED BARK MULCH TO A DEPTH OF 4". ALL TREES LOCATED IN A LAWN SPACE SHALL HAVE A MIN. 3" DIA. MULCHED TREE RING TO A DEPTH OF 4".
3. ALL LANDSCAPE BEDS AND TREE RINGS TO BE EDGED WITH 1/2" x 4" ALUMINUM EDGING.
4. MAINTENANCE STRIPS SHALL BE CRUSHED GRAVEL TO A MIN. 3" DEPTH OVER A WEED BARRIER. SEPARATE MAINTENANCE STRIPS FROM LANDSCAPE BEDS AND LAWN AREAS WITH 1/2" x 4" ALUMINUM EDGING.
5. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL LANDSCAPE AREAS IN A HEALTHY GROWING CONDITION, WITH A NEAT AND ORDERLY APPEARANCE FOR A PERIOD OF ONE (1) YEAR AND WARRANTY ALL PLANT MATERIAL FOR A PERIOD NOT LESS THAN TWO (2) YEARS. ALL UNHEALTHY MATERIAL IS TO BE REPLACED WITH HEALTHY STOCK OF LIKE SIZE, TYPE, AND SPECIES.
6. TOPSOIL SHALL BE SPREAD TO A MIN. 2" DEPTH IN ALL LAWN AREAS, AND A MIN. 4" DEPTH IN ALL PLANTING BEDS (AS REQUIRED).
7. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL TREE STAKING AND GUYING WHEN APPROPRIATE, AS APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER.

**IRRIGATION NOTES**

1. AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM SHALL BE PROFESSIONALLY DESIGNED PRIOR TO CONSTRUCTION. THIS SYSTEM SHALL BE AS EFFICIENT AS POSSIBLE WHILE MINIMIZING THE AMOUNT OF OVERSPRAY AND RUNOFF.
2. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ADEQUATELY WATER THE PLANT MATERIAL PROPOSED ON THE PLAN. Drip OR SPRAY HEADS SHALL BE USED IN ALL PLANTING BEDS AND ROTARY HEADS SHALL BE USED IN ALL LAWN AREAS.
3. PLANTING BEDS SHALL BE PLACED ON SEPARATE ZONES FROM LAWN AREAS.
4. OVERSPRAY OF ANY PUBLIC ROAD, SIDEWALK, PARKING AREA, OR BUILDING SHALL NOT BE PERMITTED. SLEEVING AND ADDITIONAL HEADS SHALL BE PROVIDED TO PREVENT THIS SITUATION.
5. PROPER SLEEVING SHALL BE PROVIDED TO SUPPLY IRRIGATION TO THE ENTRY AND PARKING LOT PLANTING ISLANDS.
6. ALL VALVES AND TIMERS SHALL BE OPTIMAL ACCESSIBLE AND ADJUSTABLE IN ORDER TO REACH OPTIMAL PLANT HEALTH.



- NOTES:**
1. EXACT METHOD OF CONSTRUCTION OF THE EXISTING PLANTER BOXES IS UNKNOWN. THIS DETAIL ASSUMES THAT THERE IS A CONCRETE FOUNDATION TO THE FROST LINE AND THAT THERE IS A POURED CONCRETE OR MASONRY BLOCK WALL BEHIND THE EXISTING BRICK FACADE.
  2. ALL WALL SECTIONS (FACADE, CORE/SIDING, AND CAPSTONES) ABOVE GRADE SHALL BE REMOVED AND DISCARDED.
  3. PROPER CARE SHALL BE TAKEN TO PREVENT DAMAGE TO ANY EXISTING PLANT MATERIAL WITHIN THE PLANTER BOXES.

**PLANTER WORK DETAIL**  
SCALE 1/8" = 1' 0"

**PROPOSED PLANTING SCHEDULE & COST ESTIMATE**

| SYMB.                                   | QUAN. | COMMON NAME                       | BOTANICAL NAME                                | SIZE      | ROOT   | COMMENTS                        | UNIT           | TOTAL            |
|---|-------|-----------------------------------|---|-----------|--------|---------------------------------|----------------|------------------|
| ☀                                       | 2     | SKYLINE HONEY LOCUST              | GLIEDTZIA TRIACANTHOS VAR. INERMIS 'SKYLINE'  | 3" CAL.   | B & B  | FULL EVEN CROWN SPACED AS SHOWN | \$ 400         | \$ 800           |
| ☀                                       | 10    | CLEVELAND SELECT PEAR             | PIRUS CALLERYANA 'CLEVELAND SELECT'           | 3" CAL.   | B & B  | FULL EVEN CROWN; 30" O.C.       | \$ 250         | \$2,500          |
| ☀                                       | 13    | PRINCETON SENTRY GINKGO           | GINKGO BILOBA 'PRINCETON SENTRY'              | 3" CAL.   | B & B  | STRONG CENTRAL LEADER; 18" O.C. | \$ 200         | \$3,200          |
| ☀                                       | 5     | BLACK HILLS SPRUCE                | PICEA GLAUCICA VAR. DENSATA                   | 8" HT.    | B & B  | EVEN HAMB; 11" O.C.             | \$ 325         | \$1,625          |
| ☀                                       | 20    | ROCKY MOUNTAIN GLOW AVAR MAPLE    | ACER GINNALA 'SCHMIDT'                        | 2.5" CAL. | B & B  | STRONG CENTRAL LEADER; 12" O.C. | \$ 250         | \$5,000          |
| ☀                                       | 6     | AUTUMN BRILLIANCE SERVICEBERRY    | AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' | 6" HT.    | B & B  | CLUMP FORM; SPACED AS SHOWN     | \$ 200         | \$1,200          |
| ☀                                       | 21    | TECHNY ARBORVITAE                 | TAXUS OCCIDENTALIS 'TECHNY'                   | 5'-4" HT. | B & B  | EVEN HAMB; 9" O.C.              | \$ 50          | \$1,050          |
| ☀                                       | 32    | WARD'S YEW                        | TAXUS x MEDIA 'WARD'                          | 24" SPR.  | B & B  | EVEN HAMB; 9" O.C.              | \$ 50          | \$1,600          |
| ☀                                       | 40    | GOLD MOUND SPIRAEA                | SPIRAEA x BUNALDIA 'GOLD MOUND'               | 18" HT.   | 3 GAL. | EVEN HAMB; 30" O.C.             | \$ 50          | \$2,000          |
| ☀                                       | 17    | KROSSA REGAL HOSTA                | HOSTA 'KROSSA REGAL'                          | -         | 1 GAL. | FULL WELL ROOTED; 9" O.C.       | \$ 15          | \$ 255           |
| ☀                                       | 11    | GOLD STANDARD HOSTA               | HOSTA 'GOLD STANDARD'                         | -         | 1 GAL. | FULL WELL ROOTED; 30" O.C.      | \$ 16          | \$ 166           |
| ☀                                       | 10    | FOUNTAIN GRASS                    | PENNISETUM ALOPECUROIDES                      | -         | 1 GAL. | FULL WELL ROOTED; 30" O.C.      | \$ 15          | \$ 150           |
| ☀                                       | 33    | SAPPHIRE BLUE OAT GRASS           | HELICTROTRICHON SEMPERVIRENS 'SAPPHIRE'       | -         | 1 GAL. | FULL WELL ROOTED; 2" O.C.       | \$ 15          | \$ 495           |
| ☀                                       | 31    | RNAL TOUCH DAYLILY                | HEMEROCALLIS 'RNAL TOUCH'                     | -         | 1 GAL. | FULL WELL ROOTED; 18" O.C.      | \$ 15          | \$ 465           |
| ☀                                       | 20    | PURPLE WOOD SPURGE                | BURSERIA AMYGDALOIDES 'PURPURE'               | -         | 1 GAL. | FULL WELL ROOTED; 18" O.C.      | \$ 15          | \$ 750           |
|   | 1,480 | SQ. YARDS SOG                     | -   | -         | -      | -                               | \$ 6           | \$8,700          |
|   | 21    | CU. YARDS SHREDDED HARDWOOD MULCH | -   | -         | -      | -                               | \$ 65          | \$1,365          |
|   | 3     | CU. YARDS 10A LANDSCAPE STONE     | -   | -         | -      | -                               | \$ 65          | \$ 195           |
| AUTOMATIC UNDERGROUND IRRIGATION SYSTEM |       |                                   |   |           |        |                                 | W/ RAIN SENSOR | \$ 5,000         |
| <b>TOTAL:</b>                           |       |                                   |   |           |        |                                 |                | <b>\$ 36,965</b> |

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Project :  
DETROIT METROPOLITAN  
CREDIT UNION -  
NEW FACILITY  
NCVI RD & MAIN ST  
NOVI, MI 48375  
SECTION 23

Issued for :  
SPA APPROVAL 1.28.13  
SPA APPROVAL 2.14.14

Drawn by :  
BMW  
Checked by :  
JCS

Sheet Title :  
LANDSCAPE  
PLAN DETAILS

Project No. :  
2012.023

Sheet No. :  
L-3

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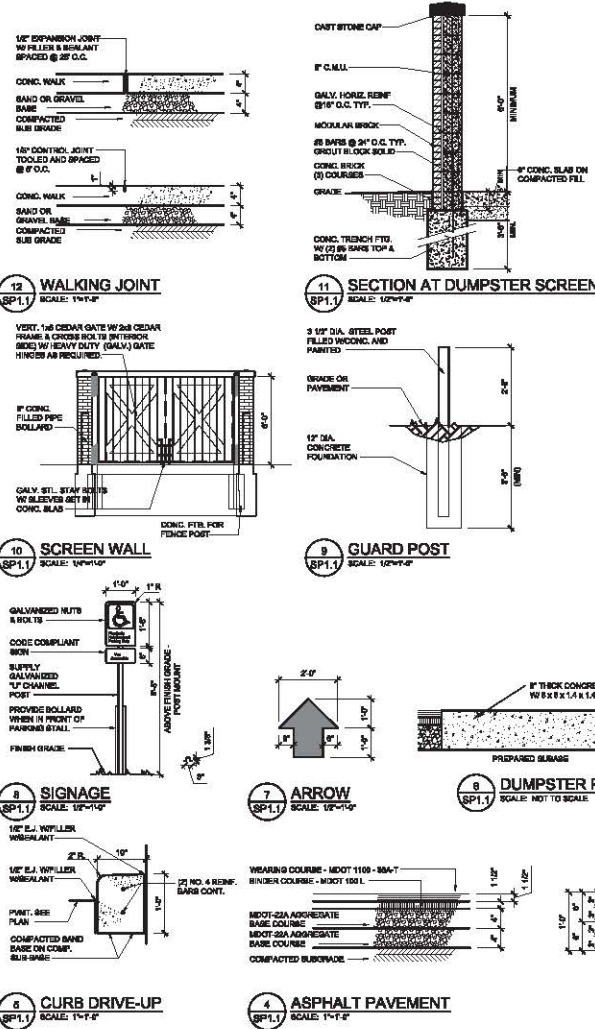




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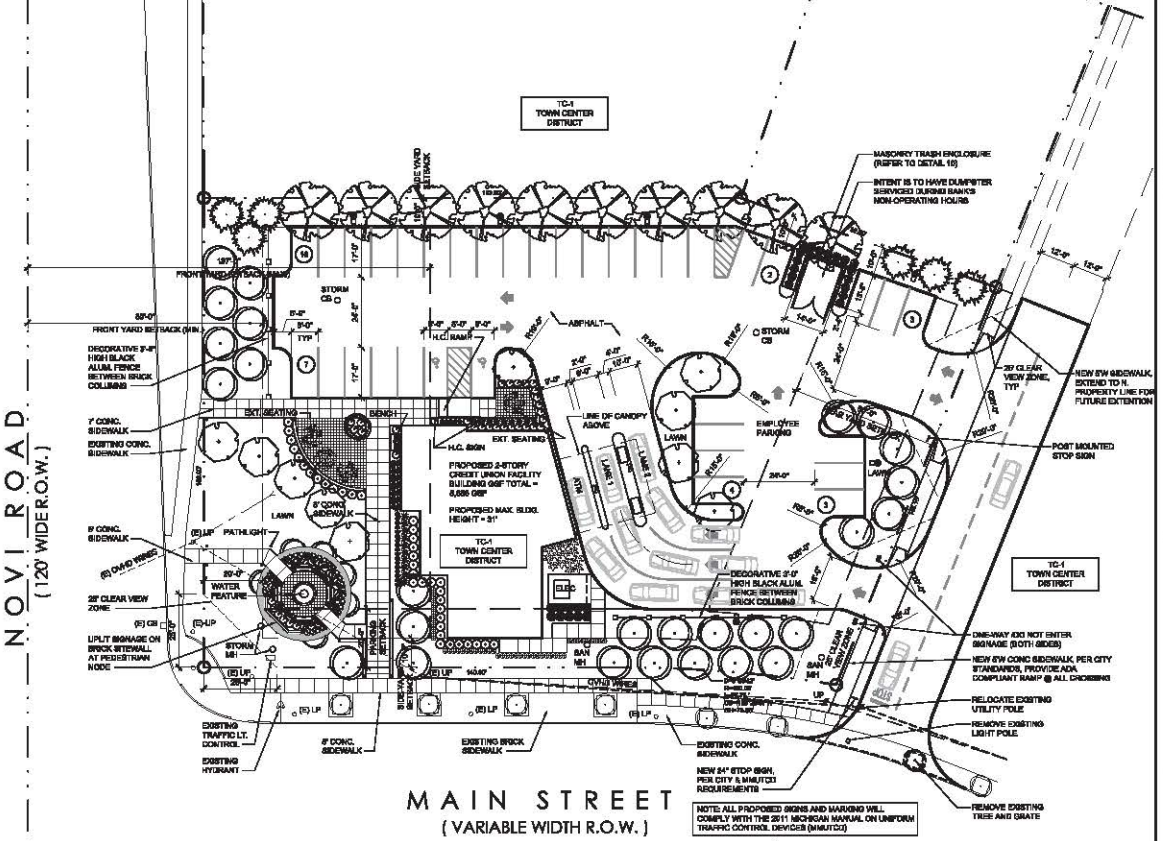
PARCELS A,  
PART OF LOTS 1 AND THE GENERAL COMMON ELEMENTS OF THE NORTH PART OF THE MAIN STREET COMMERCIAL - REPLAT # 1 AS DESCRIBED  
IN LIBER 2438, PAGE 283, GARLAND COUNTY RECORDS, BEING PART OF THE NORTHWEST 1/4 SECTION 25, TOWN 1 NORTH, RANGE 3 EAST, N04,  
GARLAND COUNTY, MICHIGAN, DESCRIBED AS:  
COMMENCING AT THE NORTH WEST CORNER OF SECTION 25; THENCE S67°07'00" E 80.00 FEET ALONG THE WEST LINE OF SAID SECTION 25 AND  
THE CENTERLINE OF MAIN ROAD (120.00 FEET WIDE); THENCE N67°07'00" E 80.00 FEET TO THE EAST LINE OF SAID MAIN ROAD AND THE SOUTH  
LINE OF MAIN BAYVIEW ROAD (20.00 FEET WIDE); THENCE S00°00'00" E 107.00 FEET TO THE POINT OF BEGINNING; THENCE N07°00'00" E 120.00  
FEET; THENCE S70°22'40" E 107.00 FEET; THENCE S67°07'00" E 144.00 FEET; THENCE THE FOLLOWING 2 COURSES ALONG THE NORTH LINE OF MAIN  
STREET; (1) 72.75 FEET ALONG A NON-TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 402.80 FEET, A CENTRAL ANGLE OF 17°04'00" AND A  
CHORD BEARING N87°59'30" W 150.00 FEET; (2) 120.00 FEET TO THE EAST LINE OF SAID MAIN ROAD; THENCE N07°00'00" E 160.00 FEET  
TO THE POINT OF BEGINNING.

CONTAINING 12 SHEETS.

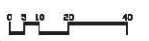


NOVI ROAD  
(120' WIDER.O.W.)

MAIN STREET  
(VARIABLE WIDTH R.O.W.)



ARCHITECTURAL SITE PLAN  
SCALE: 1"=30'  
PRELIMINARY



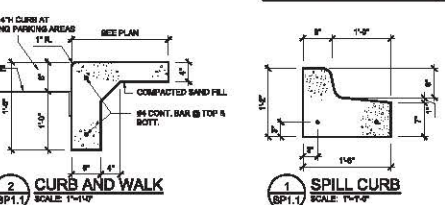
| TYPE    | MANUFACTURE   | PRODUCT      | MODEL    |
|---------|---------------|--------------|----------|
| BENCH-1 | LANDSCAPEFORM | MULTIPLICITY | FL201-01 |
| BENCH-2 | LANDSCAPEFORM | MULTIPLICITY | FL204-01 |
| CHAIR-1 | LANDSCAPEFORM | MULTIPLICITY | FL204-01 |
| TABLE   | LANDSCAPEFORM | FLUXUS-01    | FL201-01 |

|  |   |
|--|---|
| OPEN SPACES = 50% OF SHORE SETBACK AREA (MIN.)                               | OPEN SETBACK AREA: 352' x 120' = 42,240 SF  |
| BUILDING + PROVIDED AREA = 18,282 + 16,171 GSF                               | 18,282 + 16,171 = 34,453 SF   |
| LANDSCAPE AT PARKING SPACES AND CANOPY TREES                                 | (PARKING 6.5' x 19' + PROVIDED AREA) = 60,000 SF ± 2' (EQUILATERAL PARKING) = 60,000 SF ± 16' = TOTAL REQ. LANDSCAPE AT PARKING |
| CANOPY TREES AT PARKING SPACES REQUIRED = 1,262.78 ± 14.68 THEREFORE 18 REQ. | 47 CANOPY TREES AND 12 ENVIRONMENT TREES (36 TREES TOTAL) PROVIDED  |

| SYMBOL | PRIORITY LINE |
|--------|---------------|
|        | LET LINE      |
|        | FIRE HYDRANT  |
|        | LIGHT FEATURE |
|        | LIGHT FEATURE |

| REQUIREMENT  | PROVIDED                                    |
|--|---|
| 3 BENCHES FOR 180 (60 S.F. AREA)                     | 1 BENCH (58 S.F.)                           |
| 100 S.P. PER 20 PARKING SPACES - 3 REQUIRED          | 100 S.P. PER 20 PARKING SPACES - 3 PROVIDED |
| 1 HO PER 20 PARKING SPACES - 3 REQUIRED              | 1 HO PER 20 PARKING SPACES - 3 PROVIDED     |
| STAIRWAYS - 3 SPACES / DRIVE-UP ISLANDS - 3 REQUIRED | 1 DRIVE-UP ISLAND                           |



NOTE: ALL LANDSCAPED AREAS TO BE PROVIDED WITH PERMANENT PLANTING FOR SOIL COVERAGE.

Project: DETROIT METROPOLITAN CREDIT UNION - NEW FACILITY  
NOVI RD + MAIN STREET  
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SECTION 23

Issued for: FIRE-APPLICATION MEETING 10/31/12, OWNER REVIEW 11/21/12, PRE-APPLICATION SUBMISSION 01/03/13, COORDINATION 01/25/13, SPA APPROVAL 01/28/13, REVIEW 03/23/13, SPA APPROVAL 12/20/13, REVISED SPA 02/14/14

Drawn by: AJD  
Checked by: JAV, MJB  
ARCHITECTURAL SITE PLAN - PRELIMINARY  
Project No.: 2012.023  
Sheet No.: SP.1.1

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| LUMINAIRE SCHEDULE |       |     |   |   |      |                                       |          |      |       |  |
|--------------------|-------|-----|---|---|------|---------------------------------------|----------|------|-------|--|
| Symbol             | Label | Qty | Catalog Number                          | Description   | Lamp | File                                  | Lumens   | LF   | Watts |  |
| □                  | LA    | 8   | LPHONIA 080X1 LED 800 700 KIK 184 MODEL | 080X1 LED WITH (2) 30 LED LIGHT ENGINE. TYPIC. TAN OPTIC. 4000K. @ 700mA                        | LED  | 080X1_LED_00 C_700_40K_14 M_SVGL2.kim | Absolute | 0.96 | 131   |  |
| ⊗                  | LE    | 8   | 0801-AM BEVO 2700 848 120               | 6" LED DOWNLIGHT. 2700K. 100% LUMENS. STANDARD. DISTRIBUTION WITH CLEAR TEM SPECULAR REFLECTION | LED  | EVO_27_18_8 AK_120.kim                | Absolute | 0.90 | 15.4  |  |
| ○                  | G     | 20  | LPHONIA 080RE 090 RB                    | 6" IN ROUND ROLLARD ONE 30 WATT CLEAR 6-17 METAL HALIDE. VERTICAL. BASE-DOWN POSITION           | MH   | 080R07-03                             | 3400     | 0.72 | 72    |  |

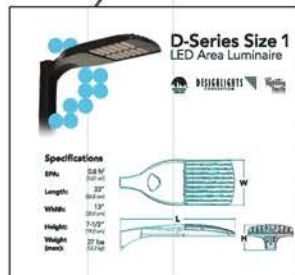
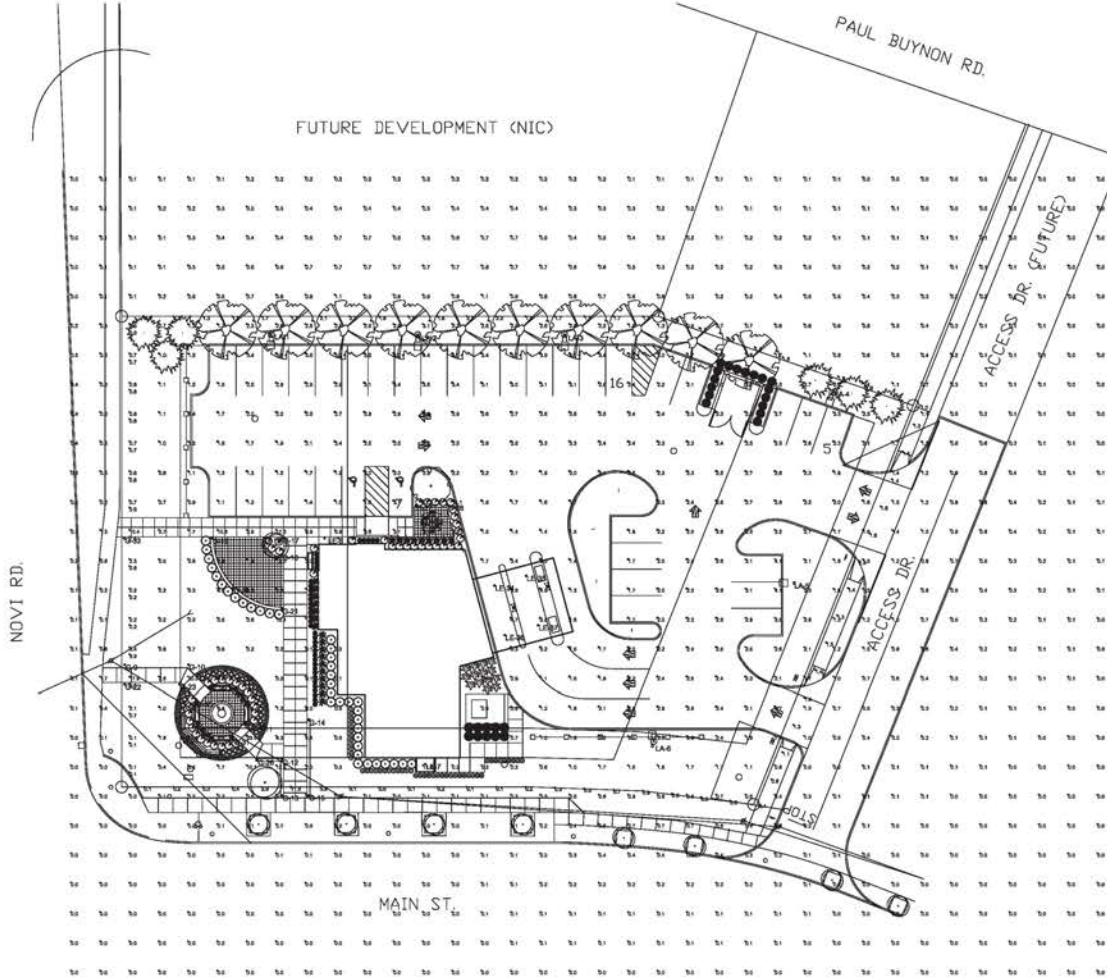
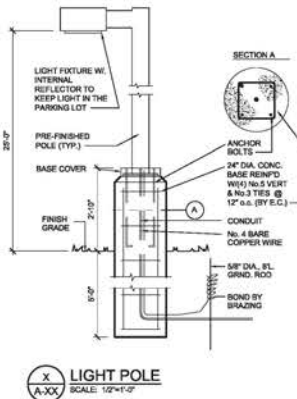
| STATISTICS         |        |        |         |        |         |         |  |
|--------------------|--------|--------|---------|--------|---------|---------|--|
| Description        | Symbol | Avg    | Max     | Min    | Max/Min | Avg/Min |  |
| OVERALL LTG VALUES | +      | 1.1 fc | 25.6 fc | 0.0 fc | N/A     | N/A     |  |
| PARKING LOT        | X      | 2.0 fc | 6.8 fc  | 0.1 fc | 62.1    | 23.1    |  |
| PROPERTY LINE      | +      | 1.6 fc | 11.8 fc | 0.0 fc | N/A     | N/A     |  |

| LUMINAIRE LOCATIONS |       |       |       |      |             |      |  |
|---------------------|-------|-------|-------|------|-------------|------|--|
| No.                 | Label | X     | Y     | Mt   | Orientation | Tilt |  |
| 1                   | LA    | -48.2 | 133.0 | 25.0 | 180.0       | 0.0  |  |
| 2                   | LA    | 95.4  | 133.0 | 25.0 | 180.0       | 0.0  |  |
| 3                   | LA    | 148.4 | 133.0 | 25.0 | 180.0       | 0.0  |  |
| 4                   | LA    | 239.8 | 134.4 | 25.0 | 180.0       | 0.0  |  |
| 5                   | LA    | 220.7 | 80.3  | 25.0 | 48.9        | 0.0  |  |
| 6                   | LA    | 178.2 | 14.0  | 25.0 | -0.8        | 0.0  |  |
| 7                   | LE    | 100.6 | 7.8   | 8.3  | 0.0         | 0.0  |  |
| 8                   | LE    | 94.1  | 92.3  | 8.3  | 0.0         | 0.0  |  |
| 9                   | G     | -1.6  | 41.4  | 3.0  | 0.0         | 0.0  |  |
| 10                  | G     | 20.1  | 41.8  | 3.0  | 0.0         | 0.0  |  |
| 11                  | G     | 43.2  | 20.5  | 3.0  | 0.0         | 0.0  |  |
| 12                  | G     | 32.0  | 9.2   | 3.0  | 0.0         | 0.0  |  |
| 13                  | G     | 30.0  | -2.9  | 3.0  | 0.0         | 0.0  |  |
| 14                  | G     | 81.0  | 22.7  | 3.0  | 0.0         | 0.0  |  |
| 15                  | G     | 81.0  | -2.9  | 3.0  | 0.0         | 0.0  |  |
| 16                  | G     | 31.9  | 78.8  | 3.0  | 0.0         | 0.0  |  |
| 17                  | G     | 32.2  | 84.8  | 3.0  | 0.0         | 0.0  |  |
| 18                  | G     | 48.0  | 84.8  | 3.0  | 0.0         | 0.0  |  |
| 19                  | G     | 28.1  | 84.4  | 3.0  | 0.0         | 0.0  |  |
| 20                  | G     | 35.3  | 87.8  | 3.0  | 0.0         | 0.0  |  |
| 21                  | G     | 32.0  | 80.8  | 3.0  | 0.0         | 0.0  |  |
| 22                  | G     | -1.7  | 34.7  | 3.0  | 0.0         | 0.0  |  |
| 23                  | G     | 17.9  | 34.8  | 3.0  | 0.0         | 0.0  |  |
| 24                  | G     | 17.9  | 18.5  | 3.0  | 0.0         | 0.0  |  |
| 25                  | G     | 22.4  | 11.9  | 3.0  | 0.0         | 0.0  |  |
| 26                  | G     | 43.8  | 9.2   | 3.0  | 0.0         | 0.0  |  |
| 27                  | G     | 37.8  | 36.6  | 3.0  | 0.0         | 0.0  |  |
| 28                  | G     | 108.3 | 86.7  | 3.0  | 0.0         | 0.0  |  |
| 29                  | G     | 27.8  | 34.1  | 3.0  | 0.0         | 0.0  |  |
| 30                  | G     | 22.6  | 28.0  | 3.0  | 0.0         | 0.0  |  |
| 31                  | G     | 35.4  | 18.2  | 3.0  | 0.0         | 0.0  |  |
| 32                  | G     | 40.4  | 21.2  | 3.0  | 0.0         | 0.0  |  |
| 33                  | G     | -1.8  | 84.8  | 3.0  | 0.0         | 0.0  |  |
| 34                  | LE    | 124.4 | 88.4  | 13.0 | 0.0         | 0.0  |  |
| 35                  | LE    | 130.2 | 71.7  | 13.0 | 0.0         | 0.0  |  |
| 36                  | LE    | 127.6 | 51.6  | 13.0 | 0.0         | 0.0  |  |
| 37                  | LE    | 139.3 | 34.8  | 13.0 | 0.0         | 0.0  |  |

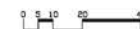
**NOTES**

- SEE MH COLUMN OF LUMINAIRE LOCATIONS FOR MOUNTING HEIGHTS.
- SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTORS.
- CALCULATIONS ARE SHOWN IN FOOTNOTES AT GRADE.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURED LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIOUS FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP. GMA DOES NOT ACT AS THE CIVIL OR STRUCTURAL ENGINEER AND DOES NOT DETERMINE BASE REQUIREMENTS. POLE SPECIFICATIONS ARE NOT INCLUDED WITH EXTERIOR LIGHTING PHOTOMETRIC ANALYSIS. THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDISPENSIBLE ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.



TYPICAL LTG VALUES AT GRADE  
SCALE: 1"=20'



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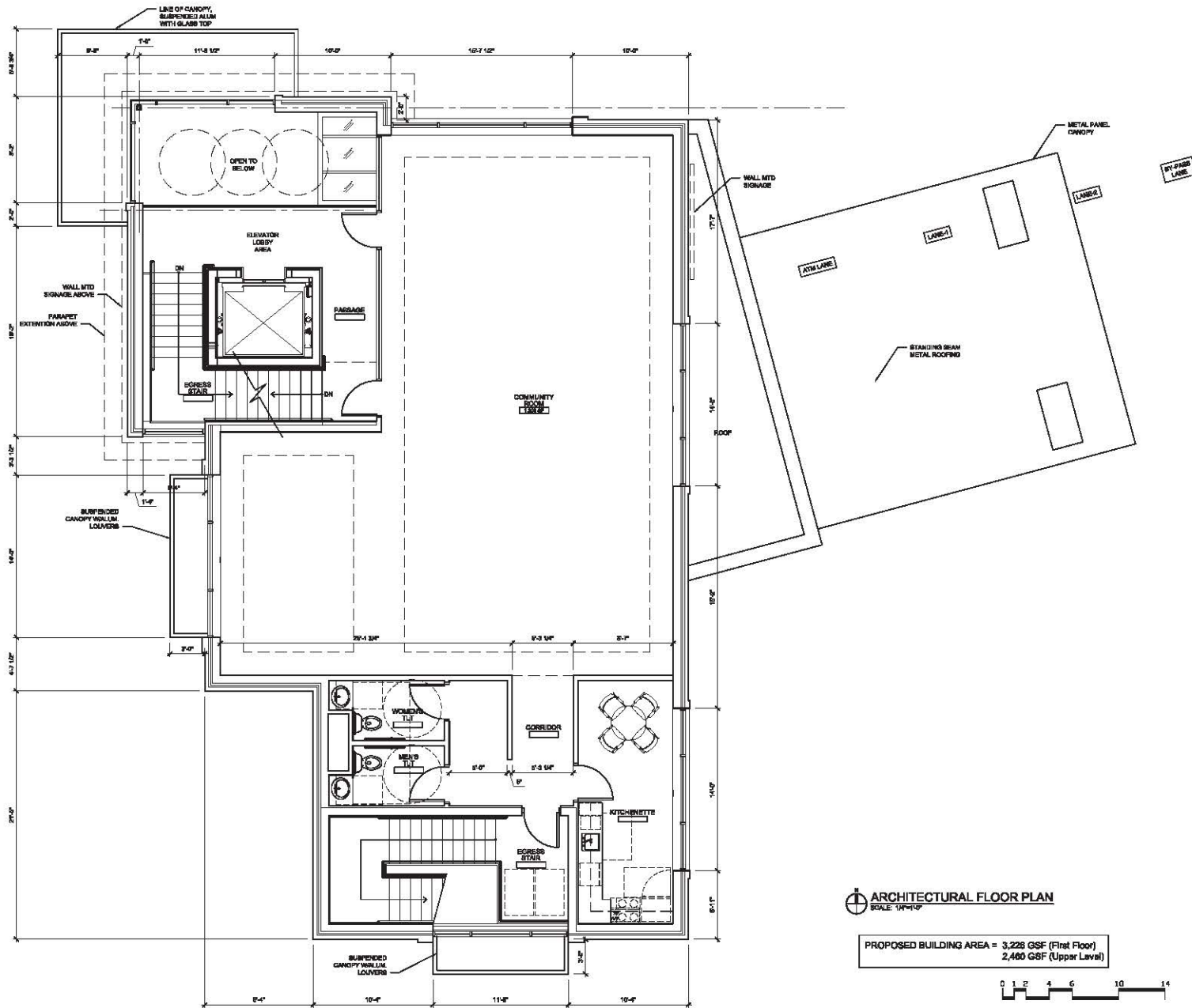
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PHOTOMETRIC  
STUDY (GASSER BUSH  
ASSOCIATES)

Project No. #  
2012.023

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**SP1.2**

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**ARCHITECTURAL FLOOR PLAN**  
SCALE: 1/8"=1'-0"

PROPOSED BUILDING AREA = 3,228 GSF (First Floor)  
2,480 GSF (Upper Level)



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REVIEW 10.17.13  
REVIEW 11.11.13  
SPA APPROVAL 12.20.13  
REVISED BFA 02.14.14

**Drawn by :**  
AJD  
**Checked by :**  
JAV, MJB

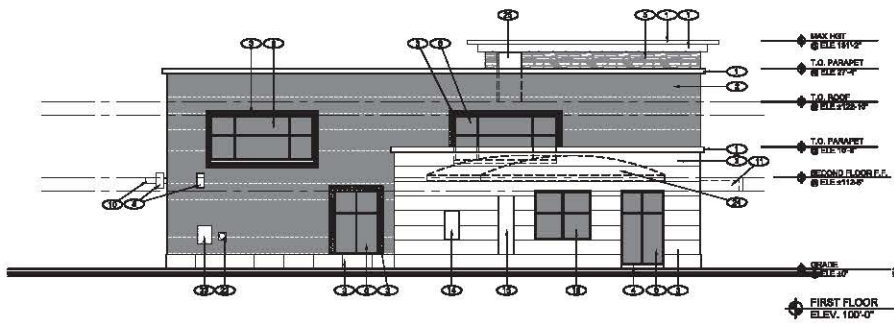
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ARCHITECTURAL  
FLOOR PLAN  
UPPER LEVEL

**Project No. :**  
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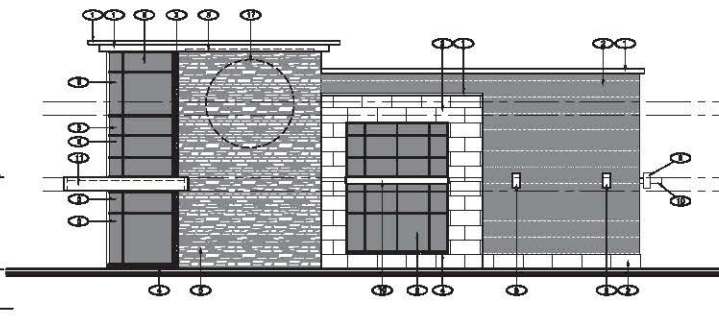
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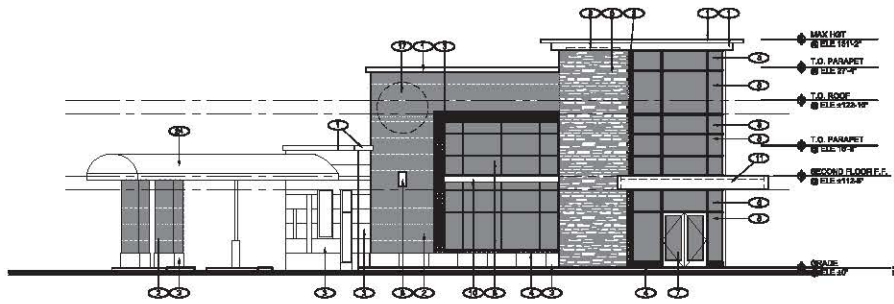




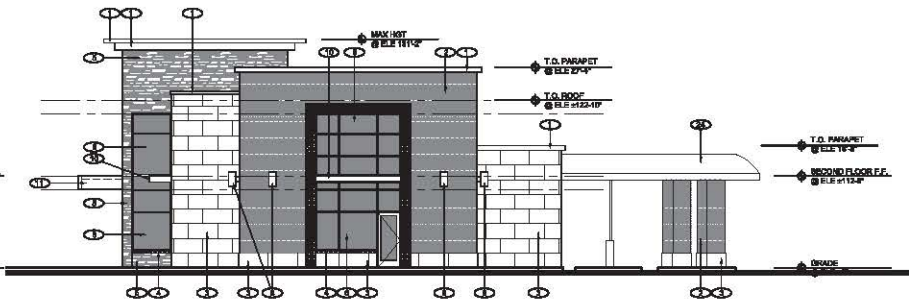
4 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

**ELEVATION KEY NOTES:**

- 1 PREFINISHED METAL COPING SYSTEM
- 2 BRICK #1 1/2 RUNNING BOND, TYPICAL
- 3 STONE #1 SMOOTH FINISH EXCF
- 4 STONE #1 SMOOTH, BLEACHED GR
- 5 STONE #1 LEIDRE STONE, NATURAL COLOR
- 6 ALUM. SIDINGFRONT SYSTEM, INSULATED LOW-E GLASS, REFER TO WINDOW TYPES
- 7 AUTOMATIC ALUM. SIDINGFRONT ENTRANCE DOORS WITH PUSH BUTTON
- 8 WALL SOUNDE LIGHT FIXTURE
- 9 RECESSED LINEAR LED LIGHT FIXTURE IN COPING SYSTEM FOR WALL WASH
- 10 PREFINISHED ALUM. BLINDSIDE CANOPY
- 11 PREFINISHED ALUM. CANOPY WITH STRUCTURAL GLASS TOP
- 12 LANE INDICATOR SIGNAL, SUSPENDED
- 13 PACKAGE RECEIVER M.O., PAINTED
- 14 NIGHT DEPORT M.O.
- 15 MATH
- 16 BULLET RESISTANT TELLER WINDOW CONTRACTOR TO COORDINATE INSTALL
- 17 WALL SIGN PROPOSED LOCATION
- 18 CONCRETE FOUNDATION @ 4" BELOW FIN GRADE, MIN
- 19 VAV SYSTEM BY OTHERS, CONTRACTOR TO COORDINATE INSTALLATION
- 20 CONC. FILLED, PAINTED STEEL BOLLARD
- 21 ALUM SIDINGFRONT DOOR AND FRAME AS SCHEDULED
- 22 ELECTRICAL SERVICE METER - PAINT TO MATCH ADJ BRICK COLOR
- 23 OT CABINET - PAINT TO MATCH ADJ BRICK COLOR
- 24 PREFINISHED STANDING BEAM METAL CANOPY ROOF, CURVED WITH INTEGRAL DUCTS
- 25 ROOF ACCESS DOOR, PREFINISHED FM INSULATED WITH HM FRAME

| FACADE MATERIAL COVERAGE        |     |
|---------------------------------|-----|
| MASONRY:                        |     |
| BRICK, CHALKSTONE & LEIDRESTONE | 70% |
| GLASS / SIDINGFRONT:            | 25% |
| PREFINISHED ALUM COPING/PANELS: | 5%  |

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RJB  
Checked by:  
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Sheet Title:  
EXTERIOR  
ELEVATIONS

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