



COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals

ZONING BOARD APPEALS DATE: May 10, 2022

REGARDING: 707 S Lake Drive, Parcel # 50-22-03-454-007 (PZ22-0013)

BY: Larry Butler, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant

Rayburn Properties

Variance Type

Setback Variance

Property Characteristics

Zoning District: Single-Family Residential (R4)

Location: East of West Park Drive and North of 12 Mile Road

Parcel #: 50-22-03-454-007

Request

The applicant is requesting variances from the City of Novi Ordinance Section 3.1.5 D for a rear yard setback of 15.25 (35 feet minimum allowed, variance of 19.83 feet); A front yard setback of 27.17 feet (30 feet minimum allowed, variance of 2.83 feet); A maximum lot coverage of 30% (25% maximum allowed, variance of 5%). These variances will accommodate the building of a new home. This property is zoned Single-Family residential (R4).

II. STAFF COMMENTS:

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we **grant** the variance in Case No. **PZ22-0013**, sought by _____, for _____ because Petitioner has shown practical difficulty requiring _____.

(a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because _____.

Zoning Board of Appeals

Rayburn Properties
Case # PZ22-0013

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(b) The property is unique because_____.

(c) Petitioner did not create the condition because_____.

(d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because_____.

(e) The relief if consistent with the spirit and intent of the ordinance because_____.

(f) The variance granted is subject to:

1._____.

2._____.

3._____.

4._____.

2. I move that we **deny** the variance in Case No. **PZ22-0013**, sought by _____, for_____ because Petitioner has not shown practical difficulty requiring_____.

(a) The circumstances and features of the property including_____ are not unique because they exist generally throughout the City.

(b) The circumstances and features of the property relating to the variance request are self-created because_____.

(c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that _____.

(d) The variance would result in interference with the adjacent and surrounding properties by_____.

(e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to_____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Larry Butler
Deputy Director Community Development - City of Novi



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ZONING BOARD OF APPEALS APPLICATION

APPLICATION MUST BE FILLED OUT COMPLETELY

RECEIVED

MAR 30 2022

CITY OF NOVI
COMMUNITY DEVELOPMENT

I. PROPERTY INFORMATION (Address of subject ZBA Case)				Application Fee: \$250- Meeting Date: May 10, 2022 ZBA Case #: PZ 22-0013	
PROJECT NAME / SUBDIVISION Rayburn Properties LLC					
ADDRESS 707 S. Lake Dr.		LOT/SUITE/SPACE #			
SIDWELL # 50-22-03 - 454 - 007		May be obtain from Assessing Department (248) 347-0485			
CROSS ROADS OF PROPERTY South Lake Drive and Bernstadt St					
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			REQUEST IS FOR: <input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE		
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input type="checkbox"/> NO					
II. APPLICANT INFORMATION					
A. APPLICANT		EMAIL ADDRESS nancy@ghannam.us		CELL PHONE NO. 313-575-6161	
NAME Nancy Ghannam		TELEPHONE NO. 2483740361			
ORGANIZATION/COMPANY Rayburn Properties LLC		FAX NO. 3139451199			
ADDRESS 41716 Hampshire St		CITY Novi		STATE MI	ZIP CODE 48375
B. PROPERTY OWNER <input checked="" type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER					
Identify the person or organization that owns the subject property:		EMAIL ADDRESS nancy@ghannam.us		CELL PHONE NO. 313-575-6161	
NAME Nancy M Ghannam		TELEPHONE NO. 313-575-6161			
ORGANIZATION/COMPANY Rayburn Properties LLC		FAX NO. 313-945-1199			
ADDRESS 41716 Hampshire St		CITY Novi		STATE Mi	ZIP CODE 48375
III. ZONING INFORMATION					
A. ZONING DISTRICT					
<input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input checked="" type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____					
B. VARIANCE REQUESTED					
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:					
1. Section <u>3.1.5 D</u>		Variance requested		<u>19.75 foot Rear Yard Setback variance</u>	
2. Section <u>3.1.5 D</u>		Variance requested		<u>2.83 foot Front Yard Setback variance</u>	
3. Section <u>3.1.5 D</u>		Variance requested		<u>increase of 7% lot coverage to a total of 32%</u>	
4. Section _____		Variance requested		_____	
IV. FEES AND DRAWINGS					
A. FEES					
<input checked="" type="checkbox"/> Single Family Residential (Existing) \$200 <input type="checkbox"/> (With Violation) \$250 <input type="checkbox"/> Single Family Residential (New) \$250 <input type="checkbox"/> Multiple/Commercial/Industrial \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> Signs \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> House Moves \$300 <input type="checkbox"/> Special Meetings (At discretion of Board) \$600					
B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF					
<ul style="list-style-type: none"> • Dimensioned Drawings and Plans • Site/Plot Plan • Existing or proposed buildings or addition on the property • Number & location of all on-site parking, if applicable 			<ul style="list-style-type: none"> • Existing & proposed distance to adjacent property lines • Location of existing & proposed signs, if applicable • Floor plans & elevations • Any other information relevant to the Variance application 		



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**ZONING BOARD OF APPEALS VARIANCE
APPLICATION CHECKLIST**

The following items are required for a complete Variance application. Incomplete applications will be returned.

Signed Application Form

Complete the Zoning Board of Appeals application form. Application must be signed by the applicant and the property owner (if different).

Response to Variance Review Standards – Dimensional, Use, or Sign

Select the applicable Review Standards for the requested Variance and complete in full. Use additional paper if needed. If you don't know which Review Standards to complete, call the Community Development Department at 248.347.0415 for guidance.

Dimensioned Site Plan (1 copy & 1 digital copy submitted as a PDF)

- Existing or proposed buildings or additions on the property.
- Number and location of all on-site parking spaces.
- Existing and proposed distances to adjacent property lines.
- Location of existing and proposed signs, if applicable.
- Any other information relevant to the Variance application.

Dimensioned Drawings and Plans (1 copy & 1 digital copy submitted as a PDF)

- Floor plans and elevations with all proposed buildings and additions.
- All existing and proposed signs on the property (photographs may be used).
- For use variances, include floor plan showing the existing and proposed layout and functions of each area.
- For multi-family residential structures or projects, a summary showing the existing and proposed number of dwelling units by type (efficiency, one-bedroom, two-bedroom, etc.)

Other Helpful Information – Optional (1 copy & 1 digital copy submitted as a PDF)

- Photographs of the lot or structure that shows the special conditions or circumstances described in the application.
- Photographs or maps that show how other properties in the area enjoy the same type of property rights related to the Variance.
- Letters of support from the neighbors who would be most affected by your request.

Fee (make check payable to the City of Novi)

Single Family Residential (Existing) \$200 (With Violation) \$250
Single Family Residential (New) \$250
Multiple/Commercial/Industrial \$300 (With Violation) \$400
Signs \$300 (With Violation) \$400
House Moves \$300
Special Meetings (At discretion of Board) \$600

Additional Information

In the course of reviewing the application, the Planning Department staff may request additional information from the applicant.



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**REVIEW STANDARDS
DIMENSIONAL VARIANCE**

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.

Not Applicable Applicable If applicable, describe below:

The length(depth) of the lot on the South side of South Lake Drive is a total of 120 feet, which is not enough to place a 3 car garage in the rear of the home. The front of the home is being reserved for lake views with plenty of windows. A Variance is requested to avoid being limited to a 1+ car garage.

and/or

- b. Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.

Not Applicable Applicable If applicable, describe below:

and/or

- c. Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.

Not Applicable Applicable If applicable, describe below:

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

There has been no changes to this lot at all, so the size of the lot was purchased as it currently sits and has not been altered, and therefore, the shape and size of the lot was not self created. To place a 3 car garage in the rear of the home, place a cover on the front porch, and to increase the lot coverage of 25% to 30% are necessary as can be seen on the preliminary plans.

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

It is impossible to properly use a 1 to a 1 1/2 car garage on this property if no rear yard set back variance is granted. There will be at least 4 people living in this house from the same family, and a 3 car garage is necessary for the quiet enjoyment of the home, which will become the homestead of David and Nancy Ghannam. The front yard variance is necessary to place a cover/roof over a part of the front porch, and the lot coverage is necessary to place a reasonable home on the premises.

Standard #4. Minimum Variance Necessary.

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

The rear yard setback request, along with the front yard and lot coverage requests are the absolute minimum necessary to place the garage, driveway and front cover to the porch.

Standard #5. Adverse Impact on Surrounding Area.

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

The designs for this custom home will greatly beautify the neighborhood and will not affect the lake views of the neighbors or the enjoyment of other properties in the neighborhood. We have talked to many of the neighbors, and they are excited to get rid of the old house on the property and build this beautiful new house.

NOT FOR PERMIT

GENERAL NOTES

WOOD TRUSS SPECIFICATIONS

- Designs shall conform with the latest version of NDS, "National Design Specification for Wood Construction" by the American Forest & Paper Association, and Design Standard for Metal Plate Connected Wood Truss Construction by the American Institute of Steel Construction, Inc. and the local code jurisdiction.
- Trusses shall be spaced as indicated on the plans unless the designer determines that different spacing is required to meet deflection requirements.
- Minimum deflection of floor trusses shall be limited to 1/80 for total load and 1/480 for live load. Maximum deflection of roof trusses shall be limited to 1/60 for total load and 1/240 for live load.
- Adequate care shall be built into floor and parallel chord roof trusses to compensate for normal dead load deflection.

FLOOR JOIST LOADING CRITERIA

DECK LOADING:
LIVE LOAD 30 P.S.F.
DEAD LOAD 10 P.S.F.
TOTAL LOAD 40 P.S.F.
LIVE LOAD DEFLECTION L/480
TOTAL LOAD DEFLECTION L/240

SECOND FLOOR LOADING:
LIVE LOAD 40 P.S.F.
DEAD LOAD 10 P.S.F.
TOTAL LOAD 50 P.S.F.
LIVE LOAD DEFLECTION L/480
TOTAL LOAD DEFLECTION L/240

FLOOR JOIST TOLERABLE:
LIVE LOAD 40 P.S.F.
DEAD LOAD 20 P.S.F.
TOTAL LOAD 60 P.S.F.
LIVE LOAD DEFLECTION L/120
TOTAL LOAD DEFLECTION L/60

CONC. DECK JOIST LOADING CRITERIA

DECK LOADING:
LIVE LOAD 30 P.S.F.
DEAD LOAD 10 P.S.F.
TOTAL LOAD 40 P.S.F.
LIVE LOAD DEFLECTION L/480
TOTAL LOAD DEFLECTION L/240

- A 15% increase in allowable stresses for short term loading is allowed. Drift loading shall be accounted for per the "Minimum Residential Code" requirements.
- Additional seismic design shall be provided per current "Minimum Residential Code" requirements.
- The notes, or other special features shall be designed using the appropriate dead load and deflection in the notes, and shall be considered where appropriate.
- All conventional framed floor decks shall be 2" x 10" or 2" x 12" Douglas Fir or better.

HANDLING AND ERECTION SPECIFICATIONS

- Trusses are to be handled with particular care during fabrication, handling, delivery, unloading and installation in order to avoid damage and warping of the trusses.
- Temporary and permanent bracing for holding the trusses in a straight and plumb position is fully required and shall be designed and installed by the erecting contractor. Temporary bracing during installation, includes cross bracing between the trusses to prevent tipping or "doming" of the trusses.
- Permanent bracing shall be installed in accordance with the latest of the "National Design Standard" as published by the American Forest & Paper Association and H.B.-9 and D.B.-88 as published by the true plate Institute. Permanent bracing consists of lateral and diagonal bracing not to exceed spacing requirements of the true fabricator. Top chords of trusses must be continuously braced by roof sheathing unless otherwise noted on the truss shop drawings. Bottom chords must be braced at intervals not to exceed 10' o.c. or as noted on the true fabricator drawings.
- Construction loads greater than the design loads of the trusses shall not be applied to the trusses at any time.
- No loads shall be applied to the truss until all fastening and required bracing is installed.
- The supervision of the true erecting shall be under the direct control of persons experienced in the installation and proper bracing of wood trusses.
- Field modification or cutting of pre-engineered roof trusses is strictly prohibited unless approved prior written consent and details from a licensed professional structural engineer experienced in wood truss design and modification.

SOIL REQUIREMENTS & EARTH WORK AND CONCRETE

- All top soil, organic and vegetative material should be removed prior to construction. Any required fill shall be clean, granular material compacted to at least 95% of maximum dry density as determined by ASTM D-1557.
- Foundations bearing on existing soils have been designed for a minimum allowable soil bearing capacity of 3000 psf.
- Notify the engineer immediately if the allowable soil bearing capacity is less than 3000 psf so that the foundations can be redesigned for the new allowable bearing capacity.
- Backfill shall not be placed against the wall until the wall has sufficient strength and has been anchored to the floor above or has been sufficiently braced to prevent damage by the backfill.
- Fill shall be free of vegetation and foreign material. The fill shall be compacted to assure uniform support of the slab and, except where approved, the fill depths shall not exceed 24 inches for clean sand or gravel and 6 inches for earth.
- 3/8" Vapor retarder. A 6 mil polyethylene or approved vapor retarder with joints lapped not less than 6 inches shall be placed between the concrete floor slab and the base course or the prepared subgrade where no base course exists.
- Concrete work shall conform to the requirements of ACI 301-36, "Specifications for Structural Concrete for Buildings", except as modified by supplemental requirements.
- Concrete shall have a minimum of 3000 psi, 28 day compressive strength, unless noted otherwise. (4 sacks) 1/2 sack cement ratio not to exceed 6 gallons per sack. Exterior concrete slabs shall have a minimum of 4000 psi, 28 day compressive strength, 4" MIN. air entrainment.
- The use of additives such as fly ash or calcium chloride is not allowed without prior review from the architect.
- 405.1 Concrete or masonry foundations. Foundations that retain earth and enclose habitable or vehicle spaces located below grade. Drainage tiles, gravel or crushed stone drains, perforated pipe or other approved systems or materials shall be installed at or below the area to be protected and shall discharge by gravity or mechanical means into an approved drainage system. Gravel or crushed stone drains shall extend at least 1 foot beyond the outside edge of the footing and 6 inches above the top of the footing and be covered with an approved filter membrane material. The top of open joints of drain tiles shall be protected with strips of building paper and the drainage tiles or perforated pipe shall be placed on a minimum of 2 inches of washed gravel or crushed rock at least one sieve size larger than the tile joint opening or perforation and covered with not less than 6 inches of the same material.
- Exception: A drainage system is not required when the foundation is installed on well-drained ground or sand-gravel mixture soils according to the Unified Soil Classification System, Group 1 soils, as detailed in Table R405.1.

STRUCTURAL STEEL SPECIFICATIONS

- Structural steel shapes, plates, bars, etc. are to be ASTM A-36 (unless noted other wise) designed and constructed per the 1989 AISC "Specifications For The Design, Fabrication, and Erection Of Steel For Buildings", and the latest edition of the AISC "Manual Of Steel Construction".
- Steel columns shall be ASTM A-501, Grade K55. Structural tubing shall be ASTM A500, grade B, Fy=46 KSI.
- Labels shall conform with the latest AISI D11 "Specifications For Labeling In Building Construction", and shall utilize EPOXY electrodes unless noted otherwise.
- Bolted connections shall utilize ASTM A-325 bolts tightened to a " snug fit" condition (unless noted otherwise).

REINFORCING STEEL SPECIFICATIONS

- Reinforcing bars, couels and ties shall conform to ASTM-616 grade 60 requirements and shall be free of rust, dirt, and mud.
- Reinforcing bars shall conform to ASTM A-95 and be positioned at the mid height of slabs in U.C.
- Reinforcing shall be placed and securely tied in place sufficiently ahead of placing of concrete to allow inspection and correction, if necessary without delaying the concrete placement.
- Extend reinforcing bars a minimum of 36" around corners and lap bars at splices a minimum of 24" in U.C.
- Labeling of reinforcing steel is not allowed.

STAIRWAYS AND HANDRAILS

- R311.1 Width:
Stairways shall not be less than 36 inches (914 mm) in clear width at all points above the permitted handrail height and below the required headroom height. Handrails shall not project more than 4.5 inches (114 mm) on either side of the stairway and the minimum clear width of the stairway, at and below the handrail height, including treads and landings, shall not be less than 3'-0" (914 mm) where a handrail is installed on one side and 27 inches (686 mm) where handrails are provided on both sides.
- R311.2 Height:
Handrail height, measured vertically from the sloped plane adjoining the tread nosing or finish surface of step slope, shall be not less than 34 inches (864 mm) and not more than 38 inches (965 mm).

Exceptions:
1. The use of a volute, turnout or starting railing shall be allowed over the lowest tread.

SMOKE ALARMS

- R314.3 Smoke Alarms
Smoke alarms shall be installed in the following locations:
1. In each sleeping room.
2. Outside each separate sleeping area in the immediate vicinity of the bedrooms.
3. On each additional story of the dwelling, including basements and habitable attics but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening floor or ceiling between the adjacent level provided that the lower level is less than one full story below the upper level.
- Where more than one smoke alarm is installed within an individual dwelling unit, the alarm devices shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit.

CARBON MONOXIDE DETECTOR

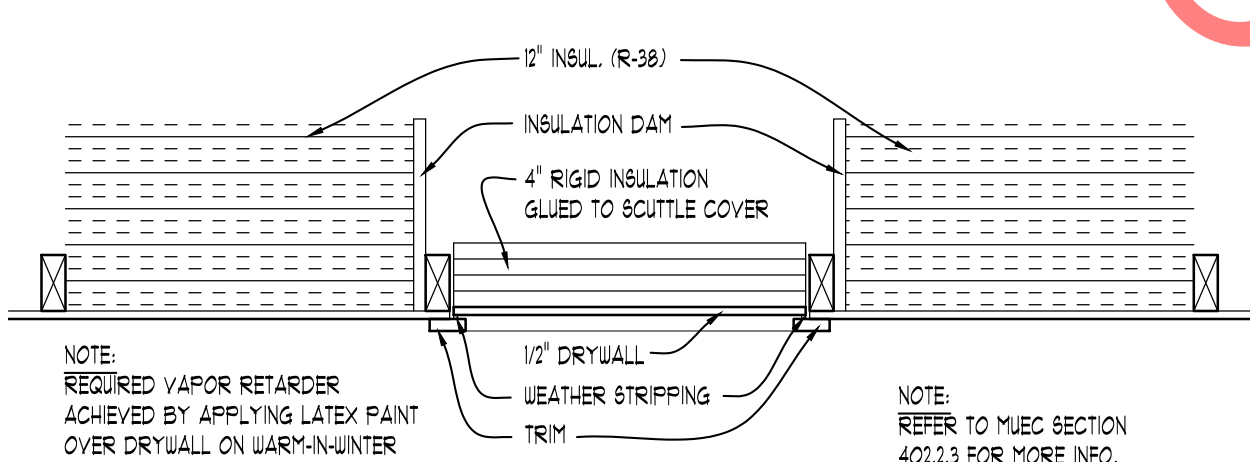
- Carbon monoxide detectors shall be located in the vicinity of the bedrooms, which may include a device capable of detecting carbon monoxide near all sleeping bedrooms. In areas with the dwelling adjacent to an attached garage and in areas adjacent to any fuel-burning appliances, carbon monoxide detectors shall not be placed within fifteen feet of fuel-burning heating or cooling appliances such as gas stoves, furnaces, or fireplaces, or in or near any utility lines such as bedrooms.

FLASHING AND WEEPHOLES

- R703.5 Flashing:
Flashing shall be located beneath the first course of masonry above finished ground level above the foundation wall, or lap and at other points of support, including structural floor, wall angles and inlets, when masonry veneer is designed in accordance with Section R703.1. See Section R703.8 for additional requirements.
- R703.6 Weepholes:
Weepholes shall be provided in the outside edge of masonry at a minimum spacing of 33 inches (838 mm) on center. Weepholes shall not be less than 3/4 inch (19 mm) in diameter. Weepholes shall be located immediately above the flashing.
- R703.7 Flashing:
Approved corrosion-resistant flashing shall be applied when masonry is in contact with any water into the wall cavity or penetration of water to the building structural framing components. Self-adhered membranes used as flashing shall comply with ASTM A711. The flashing shall extend to the surface of the exterior wall finish. Approved corrosion-resistant flashing shall be installed at all of the following locations:
1. Exterior windows and door openings. Flashing at exterior windows and door openings shall extend to the surface of the exterior wall finish or to the water-resistive barrier for subsequent drainage.
2. At the intersection of chimneys or other masonry construction with frame or masonry walls with projecting tiles or finished under eaves copings.
3. Under and at the ends of masonry wood or metal copings and sills.
4. Continuously above all projecting wood trim.
5. Where exterior porches, decks or stairs attach to a wall or floor assembly of wood-frame construction.
6. At wall and roof intersections, I.T. At built-in gutters.

FIREPLACES

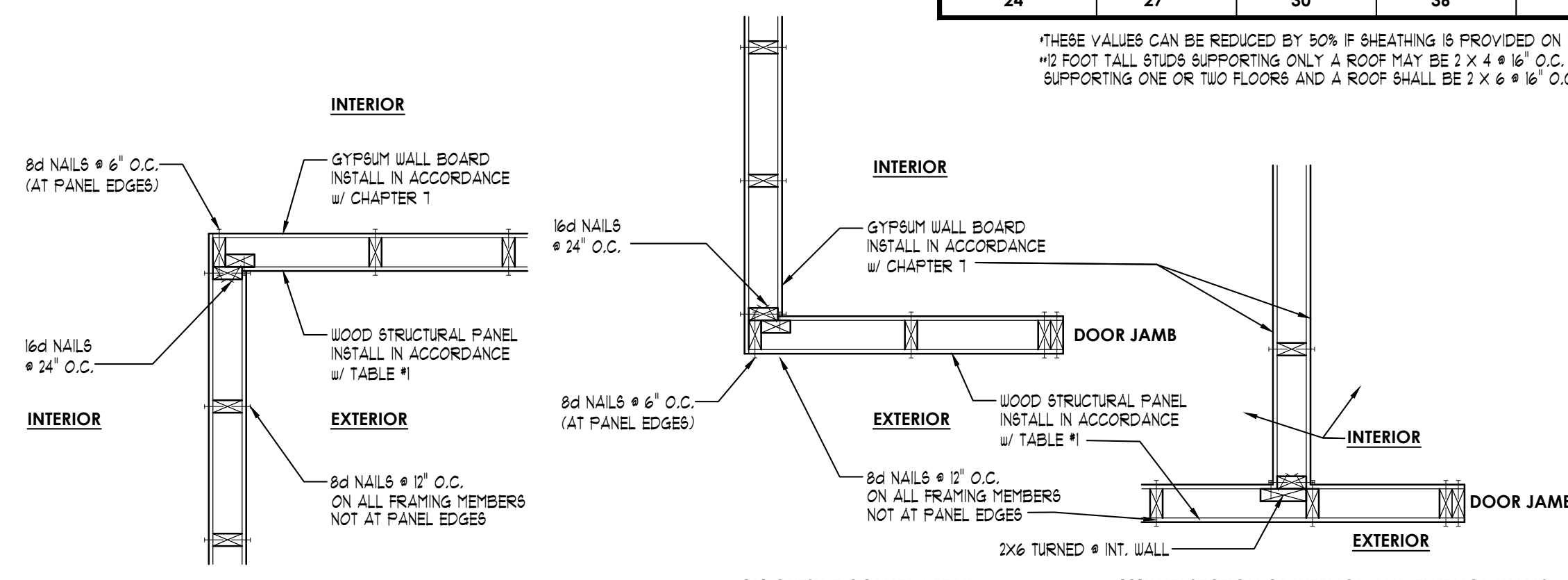
- R100.10 Hearth extension dimensions.
Hearth extensions shall extend at least 16 inches (406 mm) front of and at least 8 inches (203 mm) beyond each side of the fireplace opening, or larger, 2. Where the fireplace opening is 6 square feet (0.6 m²) in the hearth extension shall extend at least 20 inches (508 mm) in front of and at least 12 inches (305 mm) beyond each side of the fireplace opening.



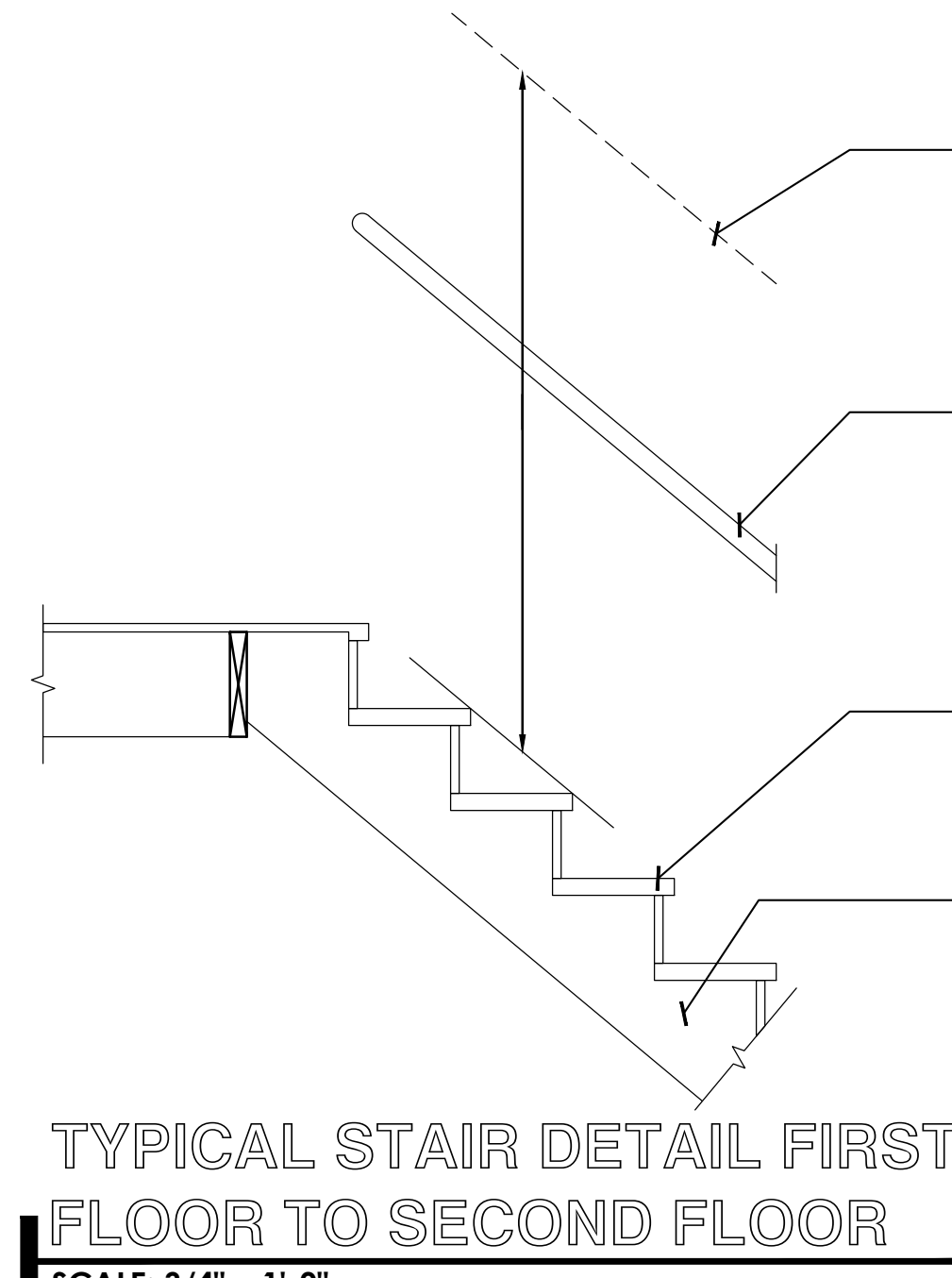
ATTIC ACCESS DETAIL
SCALE: 1" = 1'-0"

LENGTH OF BRACED WALL PANEL (INCHES)				MAXIMUM OPENING HEIGHT NEXT TO BRACED WALL PANEL (% OF WALL HEIGHT)
8-FOOT WALL	9-FOOT WALL	10-FOOT WALL	12-FOOT WALL**	
48"	54"	60"	72"	100%
32"	36"	40"	48"	85%
24"	27"	30"	36"	65%

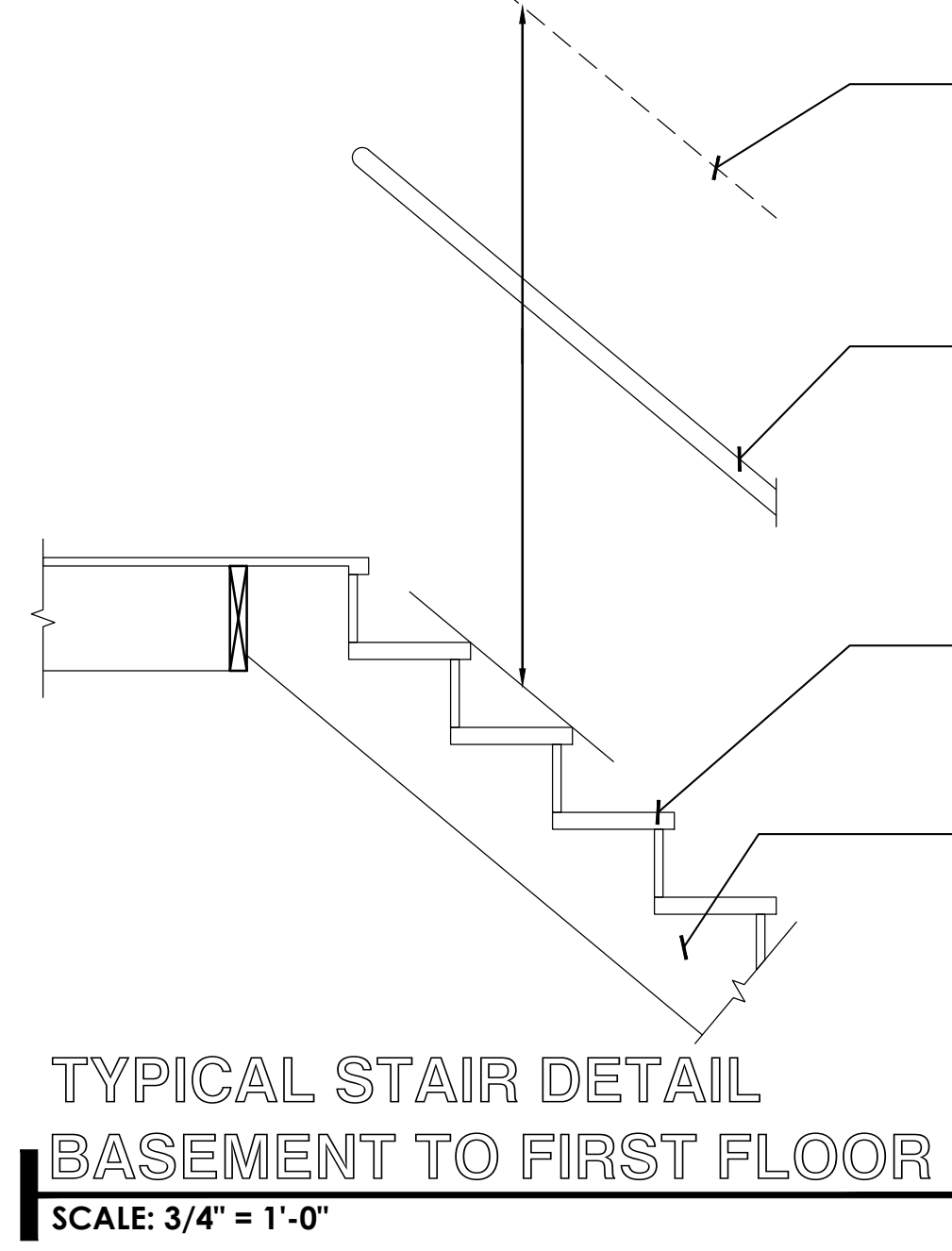
* THESE VALUES CAN BE REDUCED BY 50% IF SHEATHING IS PROVIDED ON INTERIOR AND EXTERIOR OF ROOF-TALL STUDS SUPPORTING ONLY A ROOF MAY BE 2' X 4' @ 16" O.C. OR ROOF-TALL STUDS SUPPORTING ONE OR TWO FLOORS AND A ROOF SHALL BE 2' X 6' @ 16" O.C.



WALL BRACING DETAIL
NO SCALE



TYPICAL STAIR DETAIL FIRST FLOOR TO SECOND FLOOR
SCALE: 3/4" = 1'-0"



TYPICAL STAIR DETAIL BASEMENT TO FIRST FLOOR
SCALE: 3/4" = 1'-0"

TABLE R602.3.(5)
SIZE, HEIGHT AND SPACING OF WOOD STUDS o.

STUD SIZE (INCHES)	BEARING WALLS				NONBEARING WALLS	
	Laterally unsupported stud height (feet)	Maximum spacing when supporting roof-ceiling assembly or a roof-ceiling-habitable attic assembly (inches)	Maximum spacing when supporting one floor plate or roof-ceiling-habitable attic assembly (inches)	Maximum spacing when supporting two floor plates or roof-ceiling-habitable attic assembly (inches)	Maximum spacing when supporting one floor plate (feet)	Maximum spacing when supporting two floor plates (feet)
2x3 b	-	-	-	-	10	14
2x4	10	24	16	c	24	24
3x4	10	24	24	16	24	24
2x5	10	24	24	-	24	24
2x6	10	24	24	16	24	24

- a. Labeled heights are distances between points of lateral support perpendicular to the plane of the wall. Bearing walls shall be sheathed on not less than one side or bracing shall be installed not greater than 1 foot apart measured vertically from either end of the stud. Increases in unsupported height are permitted where in compliance with Exception 1 of Section R602.3.1 or designed in accordance with accepted engineering practice.
- b. Stud not to be used in exterior walls.
- c. A habitable attic assembly supported by 2 x 4 studs is limited to a roof span of 32 feet. Where the roof span exceeds 32 feet, the stud shall be increased to 2 x 6 or the studs shall be designed in accordance with accepted engineering practice.

TABLE R703.8.1
ALLOWABLE SPANS FOR LINTELS SUPPORTING MASONRY VENEER a,b,c,d

SIZE OF STEEL ANGLE a,c,d (INCHES)	NO STORY ABOVE	ONE STORY ABOVE	TWO STORIES ABOVE	NO. OF JOIST OR EQUIVALENT REINFORCING BARS b,e
3x3x1/2	6'-0"	4'-6"	3'-0"	1
4x3x1/2	8'-0"	6'-0"	4'-6"	1
5x3x1/2	10'-0"	8'-0"	6'-0"	2
6x3x1/2	14'-0"	9'-6"	7'-0"	2
2-4x3x1/2	20'-0"	12'-0"	9'-6"	4

- a. Long leg of angle shall be placed in a vertical position.
- b. Depth of reinforcing bars shall not be less than 8 inches and all ends of hollow masonry lintels shall be grouted solid. Reinforcing bars shall extend not less than 8 inches into the support.
- c. Steel members indicated are adequate typical examples; other steel members meeting structural design requirements shall be permitted to be used.
- d. Either steel angle or reinforced lintel shall span opening.

TYPICAL CONVENTIONAL ROOF FRAMING
* RIGID BEAM SIZE WILL BE EQUAL TO THE RAFTER CUT EDGE *

RAFTER SPANS	0'-0" - 4'-0"	4'-0" - 8'-0"	8'-0" - 12'-0"	12'-0" - 16'-0"
LUMBER SIZE	2x4	2x6	2x8	2x12

TK DESIGN
CREATIVE COLLABORATIVE

WWW.TKHOMEDSIGN.COM
2600 PONTIAC TRAIL
SOUTH LYNN, MD 21840
PHONE: (248)-446-1900
FAX: (248)-446-1901

CLIENT / PROJECT
**RAYBURN PROPERTIES
GHANNAH RESIDENCE**

JOB No. 22-125
DRAWN: ECT
CHECKED: ECT
FRAMED: ECT
REVIEW: ECT
FINAL: 4-10-22
REVISION: -

SCALE:
PER PLAN

SHEET #
GN1

NOT FOR PERMIT / NOT FOR CONSTRUCTION

FOUNDATION NOTES

NOTE:
ALL FOOTINGS ARE DESIGNED FOR 3000 P.S.F. SOIL BRG. CAPACITY 1.00 P.S.F. ROOF SNOW LOAD. FOR VARYING CONDITIONS REFER TO TABLE R403.1(1), R403.1(2), & R403.1(3) OF THE 2018 IRC.

- ALL COLUMNS SHOWN SHALL BE 3" DIA. SCHEDULE 40 STANDARD STEEL PIPE COLUMN ON 30" X 30" X 18" DEEP CONC. FIG. TOP OF CONCRETE FIG. TO BE 4" BELOW FINISH BASEMENT SLAB. (TYPICAL UNLESS NOTED OTHERWISE)
- WHERE STEEL BEAMS REST ON FOUNDATION WALLS, 6" SIZE BEAM POCKET APPROPRIATELY AND SHIM AS REQUIRED.
- AS REQUIRED DROP FLOOR FLOOR SHEATHING 3/4" FOR MUDSET TILE INSTALLATION.
- VERIFY ALL UTILITY LOCATIONS W/ BUILDER.
- PROVIDE GUARDRAIL AT STAIRS DURING CONSTRUCTION.
- PROVIDE LADDERING UNDER ANY WALL RUNNING PARALLEL W/ JOIST THAT DOES NOT LAND DIRECTLY ON A JOIST.
- PROVIDE SQUASH BLOCKS UNDER ALL BEARING CONDITIONS.
- GROUT SOLID * BEARING CONDITIONS WHERE BLOCK IS USED.
- PROVIDE 2" X 24" (MIN. R-10) RIGID PERIMETER INSULATION AT ALL BASEMENT SLABS THAT ARE LESS THAN 4" BELOW EXTERIOR FINISHED GRADE.

NOTE:
PROVIDE MIN. 12" X 4" HEADER AT ALL INTERIOR & EXTERIOR DOOR & WINDOW OPENINGS (UNLESS NOTED OTHERWISE).

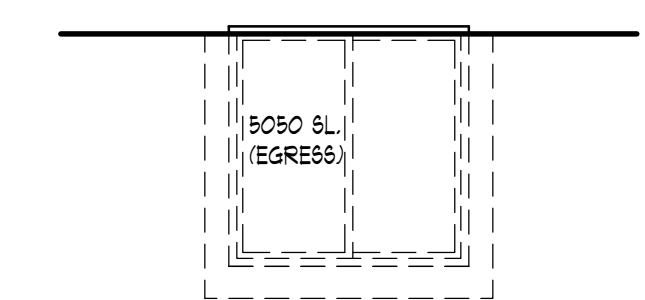
NOTE:
PROVIDE MIN. (1) JACK STUD & (1) KING STUD AT EACH END OF ALL HEADERS (UNLESS NOTED OTHERWISE).

NOTE:
PROVIDE MIN. (1) JOIST OR LADDER FRAMING UNDER ALL UPPER FLOOR PARALLEL PARTITIONS.

NOTE:
GROUT ALL CONCRETE BLOCK CORERS SOLD THAT SUPPORT POINT LOADS FROM ABOVE (TYPICAL).

NOTE:
WOOD BEAM
STEEL BEAM

□ POINT LOAD
○ POINT LOAD FROM ABOVE



OPT. EGRESS WINDOW WELL DETAIL
SCALE 1/4" = 1'-0"

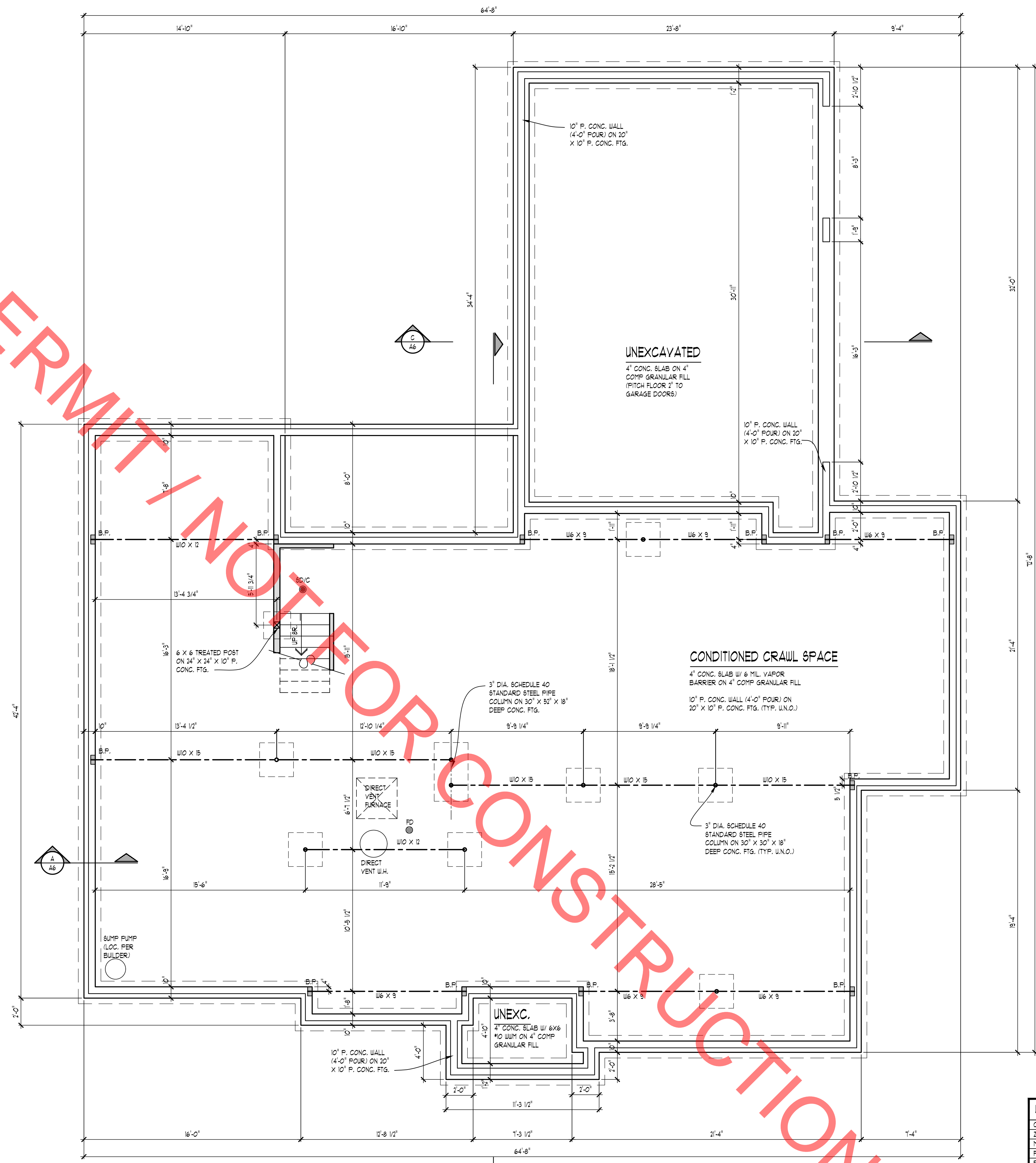
EGRESS WINDOW WELL

OPT. WINDOW WELL TO BE FILLED W/ PEA GRAVEL DOWN TO TOP OF HOUSE DRAIN TILE. THE DRAIN INTO HOUSE DRAIN TILE FROM BOTTOM OF WINDOW WELL.

RAILING OR METAL REMOVABLE GRATE + LADDER OVER TOP (AS CODE REQUIRES)

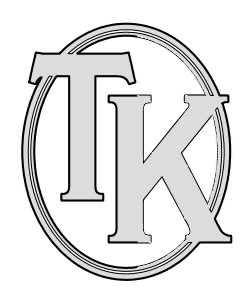
WINDOW WELLS WITH A DEPTH GREATER THAN 44" BELOW GRADE SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER OR STEPS USABLE WITH THE WINDOW IN THE FULLY OPEN POSITION.

WINDOW WELL SHALL HAVE HORIZONTAL DIMENSIONS THAT PROVIDE A MIN. NET CLEAR AREA OF 9 SQ. FT. WITH A MIN HORIZONTAL PROJECTION AND WIDTH OF 36".



FOUNDATION PLAN
SCALE 1/4" = 1'-0"

LOT INFORMATION:	
CITY / TOWNSHIP:	XX
ZONE:	XX
MINIMUM SETBACKS:	
FRONT:	XX'
REAR:	XX'
SIDE / TOTAL:	XX' / XX'
MAX ROOF HEIGHT:	XX'
MEASURED:	MEDIAN OR TOP OF RIDGE
LOT COVERAGE:	XXX%
LOT SIZE:	XXXXX SQ.FT.
MAX S.F.:	XXX X LOT SIZE
HOUSE FOOTPRINT:	XXXXX SQ.FT.
FRONT PORCH:	XXXXX SQ.FT.
REAR PATIO:	XXXXX SQ.FT.
GARAGE:	XXXXX SQ.FT.
TOTAL FOOTPRINT:	XXXXX S.F. / LOT SIZE XXXX S.F. + XXXX S.F.
FAR:	XXX
FIRST FLOOR:	XXXXX S.F.
SECOND FLOOR:	XXXXX S.F.
GARAGE IF ATTACHED:	XXXXX S.F.
TOTAL FLOOR AREA:	XXXXX S.F.
TOTAL AREA / LOT SIZE:	XXXXX X XXX%



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REPORTED TO THE ENGINEER WITH THE HARD COPY.
CALL AND SEE AT 48 HOURS PRIOR TO ANY EXCAVATION
CONSTRUCTION TO BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

CLIENT / PROJECT	RAYBURN PROPERTIES GHANNAM RESIDENCE
JOB No.	22-125
DRAWN:	ECT
CHECKED:	ECT
FRAMED:	ECT
REVIEW	4-10-22
REVISION	-
SCALE:	PER PLAN
SHEET #	A-1

NOT FOR PERMITTING PURPOSES

PLAN NOTES

INTERIOR WALLS:
1/2" GYPSUM WALL BOARD ON EACH SIDE OF 2x4 WOOD STUDS @ 16" O.C. 3/4" THICK TYPICAL (UNLESS NOTED OTHERWISE). ALL DIMENSION TAKEN FROM STUD EDGES

EXTERIOR WALLS:
SIDING AND/OR MASONRY WITH AIRSPACE, MOISTURE BARRIER PAPER (HOUSE WRAP) ON 1/8" O.S.B. SHEATHING ON 2x8 WOOD STUDS @ 16" O.C. OR AS NOTED. MIN. R-50 WALL CONSTRUCTION 1/2" GYPSUM WALL BOARD (5/8" & SCREWS). WALL TO BE 6" THICK WITH SIDING AND 10" THICK WITH MASONRY (TYPICAL UNLESS NOTED OTHERWISE). ALL DIMENSION TAKEN FROM FRAMING (FLOOR PLANS) OR FOUNDATION CORNERS (FOUNDATION PLAN)

- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH 20-MINUTE FIRE RATED DOORS (OR EQUIVALENT PER 203 B IRC SECTION R302.5).
- VENT ALL EXHAUST FANS TO EXTERIOR.
- WHEN POSSIBLE DIRECT ALL FLUES AND VENTS THAT PENETRATE ROOF BEHIND MAIN RIDGE.
- INSTALL WATER SUPPLY AND DRAIN BOX (GREY BOX) AT WASHING MACHINE LOCATION.
- USE MOISTURE RESISTANT DRYWALL AT ALL AREAS SUSCEPTIBLE TO MOISTURE.
- ALL FIRST FLOOR INTERIOR DOORS TO BE FRAMED 6'-8" TALL. ALL SECOND FLOOR INTERIOR DOORS TO BE FRAMED 6'-8" UNLESS NOTED OTHERWISE. VERIFY W/ BUILDER.
- PROVIDE GUARDRAIL AT STAIRS DURING CONSTRUCTION.
- PROVIDE SQUASH BLOCKS UNDER ALL BEARING CONDITIONS.
- GARAGE WALLS TO BE 2x8 STUDS IF OVER 10'-0" TALL.

NOTE:
PROVIDE MIN. 12" X 4" HEADER AT ALL INTERIOR & EXTERIOR DOOR & WINDOW OPENINGS (UNLESS NOTED OTHERWISE).

NOTE:
PROVIDE MIN. (1) JACK STUD & (1) KING STUD AT EACH END OF ALL HEADERS (UNLESS NOTED OTHERWISE).

NOTE:
PROVIDE MIN. (1) JOIST OR LADDER FRAMING UNDER ALL UPPER FLOOR PARALLEL PARTITIONS.

NOTE:
PORCH CLG. FINISH PER BUILDER'S SPEC.

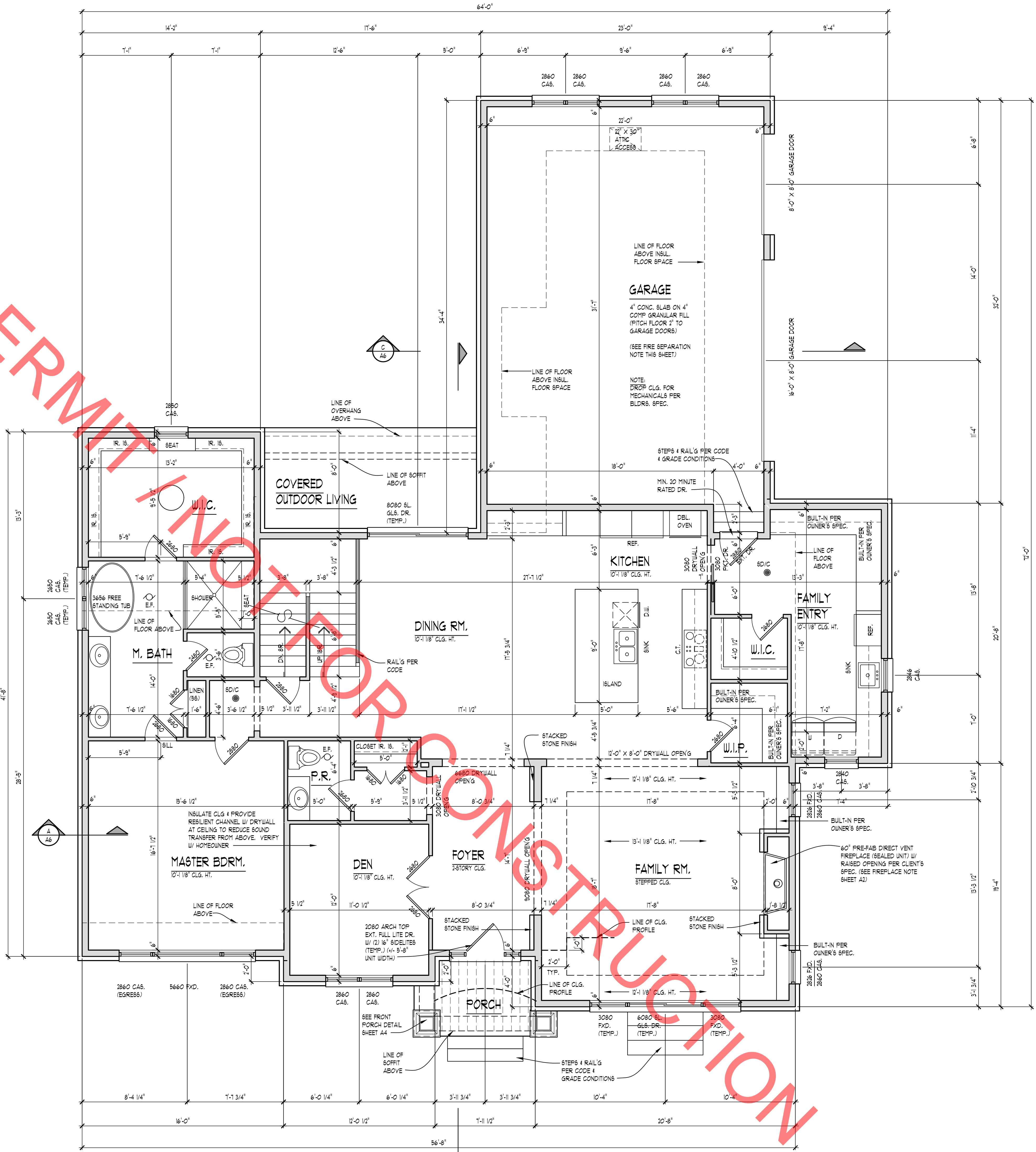
NOTE:
S.D. ○
S.O.C. ●
ALL SMOKE & CARBON MONOXIDE DETECTORS INTERCONNECTED W/ BATTERY BACK-UP PER CODE.

NOTE:
DOOR & WINDOW LOCATIONS:
ALL DOORS & WINDOWS ARE ASSUMED TO BE EITHER IN THE CENTER OF THE WALL MASS OR MIN. 4 INCHES FROM PERPENDICULAR WALL FOR CENTER UNLESS NOTED OTHERWISE.

NOTE:
VERIFY DROPPED FLOOR AREAS FOR TILE WITH BUILDER.

FIREPLACE NOTE
ALL FIREPLACE DIMENSIONS & ROUGH OPENINGS TO BE VERIFIED BY MANUFACTURER'S SPECS INCLUDING BUT NOT LIMITED TO WIDTH, DEPTH, HEIGHT, CHIMNEY CLEARANCES, ETC. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL SPECS TO CARPENTER PRIOR TO FRAMING.

FIRE SEPARATION NOTE
FIRE SEPARATION (R302.6)
GARAGE SPACE BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 1/2-INCH TYPE X GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2-INCH GYPSUM BOARD OR EQUIVALENT. ALL OTHER GARAGE SPACE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2-INCH GYPSUM BOARD APPLIED TO THE GARAGE SIDE. DROP CLG. UNDER FLR. ADV. (ENCLOSE MECHANICAL AND STRUCTURAL ELEMENTS) VERIFY W/ BLDR.



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

AREA SUMMARY:
FINISHED BONUS RM. 80 S.F.

AREA SUMMARY:
HABITABLE SPACE AREA:
FIRST FLOOR 678 S.F.
SECOND FLOOR 1036 S.F.
TOTAL AREA 1715 S.F.

AREA SUMMARY:
OVERALL FLOOR AREA:
FIRST FLOOR 1286 S.F.
SECOND FLOOR 1671 S.F.
TOTAL AREA 4057 S.F.



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CALL AND SEE AT 48178 PONTIAC TRAIL SUITE 114 LYON MI 48178
CONSTRUCTION TO BE THE SOLE RESPONSIBILITY OF THE PERMIT HOLDER.

CLIENT / PROJECT
RAYBURN
PROPERTIES
GHANNAM
RESIDENCE

JOB No.	22-125
DRAWN:	ECT
CHECKED:	ECT
FRAMED:	ECT
REVIEW	
FINAL:	4-10-22
REVISION	

SCALE:
PER PLAN

SHEET #
A-2

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PLAN NOTES

INTERIOR WALLS:
1/2" GYPSUM WALL BOARD ON EACH SIDE OF 2x4 WOOD STUDS @ 16" O.C. 3 1/2" THICK TYPICAL (UNLESS NOTED OTHERWISE). ALL DIMENSION TAKEN FROM STUD EDGES

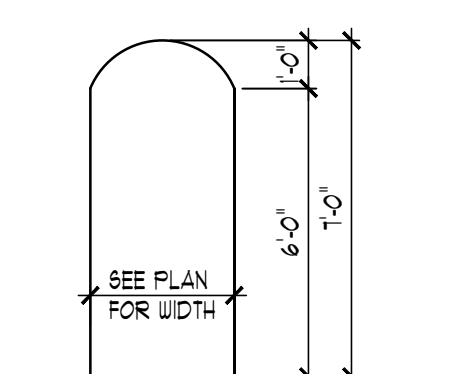
EXTERIOR WALLS:
SING AND/OR MASONRY WITH AIRSPACE MOISTURE BARRIER PAPER (HOUSE WRAP) ON 1/4" O.S.B. SHEATHING ON 2x6 WOOD STUDS @ 16" O.C. OR AS NOTED. MIN. R-10 WALL CONSTRUCTION. 1/2" GYPSUM WALL BOARD (GLUE & SCREWS). WALL TO BE 6" THICK WITH SING AND 1/2" THICK WITH MASONRY (TYPICAL UNLESS NOTED OTHERWISE). ALL DIMENSION TAKEN FROM FRAMING (FLOOR PLANS) OR FOUNDATION CORNERS (FOUNDATION PLAN)

1. OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH 20-MINUTE FIRE RATED DOORS (OR EQUIVALENT PER 20B MRC SECTION R302.3.1).
2. VENT ALL EXHAUST FANS TO EXTERIOR.
3. WHEN POSSIBLE DIRECT ALL FLUES AND VENTS THAT PENETRATE ROOF BEHIND MAIN RIDGE.
4. INSTALL WATER SUPPLY AND DRAIN BOX (GREY BOX) AT WASHING MACHINE LOCATION.
5. USE MOISTURE RESISTANT DRYWALL AT ALL AREAS SUSCEPTIBLE TO MOISTURE.
6. ALL FIRST FLOOR INTERIOR DOORS TO BE FRAMED 6'-8" TALL. ALL SECOND FLOOR INTERIOR DOORS TO BE FRAMED 6'-0" UNLESS NOTED OTHERWISE. VERIFY W/ BUILDER
7. PROVIDE GUARDRAIL AT STAIRS DURING CONSTRUCTION.
8. PROVIDE SQUASH BLOCKS UNDER ALL BEARING CONDITIONS.
9. GARAGE WALLS TO BE 2x6 STUDS IF OVER 10'-0" TALL.

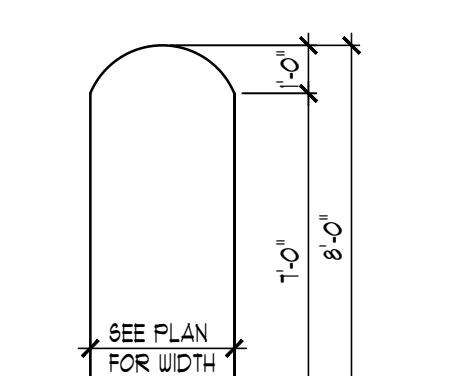
NOTE:
PROVIDE MIN. (2) 2" X 4" HEADER AT ALL INTERIOR & EXTERIOR DOOR & WINDOW OPENINGS (UNLESS NOTED OTHERWISE).

NOTE:
PROVIDE MIN. (1) JACK STUD & (1) KING STUD AT EACH END OF ALL HEADERS (UNLESS NOTED OTHERWISE).

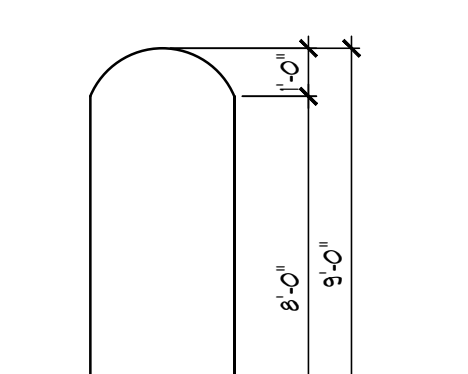
NOTE:
PROVIDE MIN. (1) JOIST OR LADDER FRAMING UNDER ALL UPPER FLOOR PARALLEL PARTITIONS



TYP. 1'-0" HIGH ARCH ELEVATION
SCALE: 1/4" = 1'-0"



TYP. 8'-0" HIGH ARCH ELEVATION
SCALE: 1/4" = 1'-0"

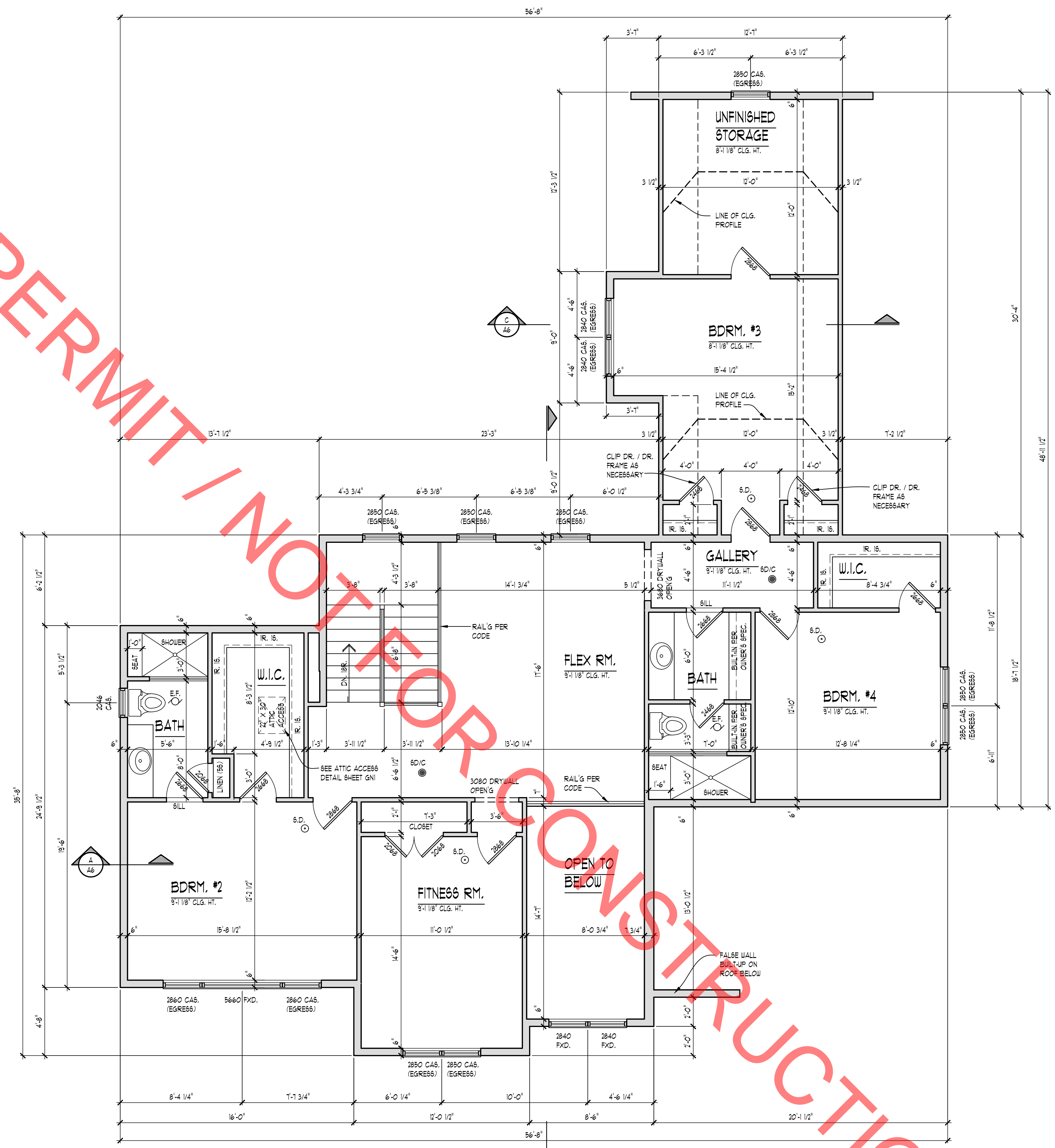


TYP. 9'-0" HIGH ARCH ELEVATION
SCALE: 1/4" = 1'-0"

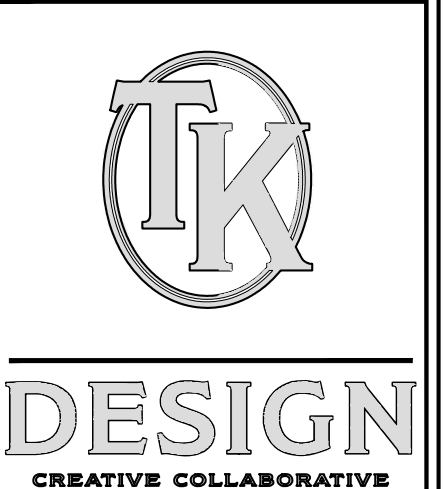
NOTE:
8-D. ○
6-DIC ●
ALL BREAK & CARBON MONOXIDE DETECTORS INTERCONNECTED W/ BATTERY BACK-UP PER CODE.

NOTE:
DOOR & WINDOW LOCATIONS:
ALL DOORS & WINDOWS ARE ASSUMED TO BE EITHER IN THE CENTER OF THE WALL MASS OR MIN. 4" INCHES FROM PERPENDICULAR WALL FOR CABING UNLESS NOTED OTHERWISE

NOTE:
VERIFY DROPPED FLOOR AREAS FOR TILE W/ BUILDER



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



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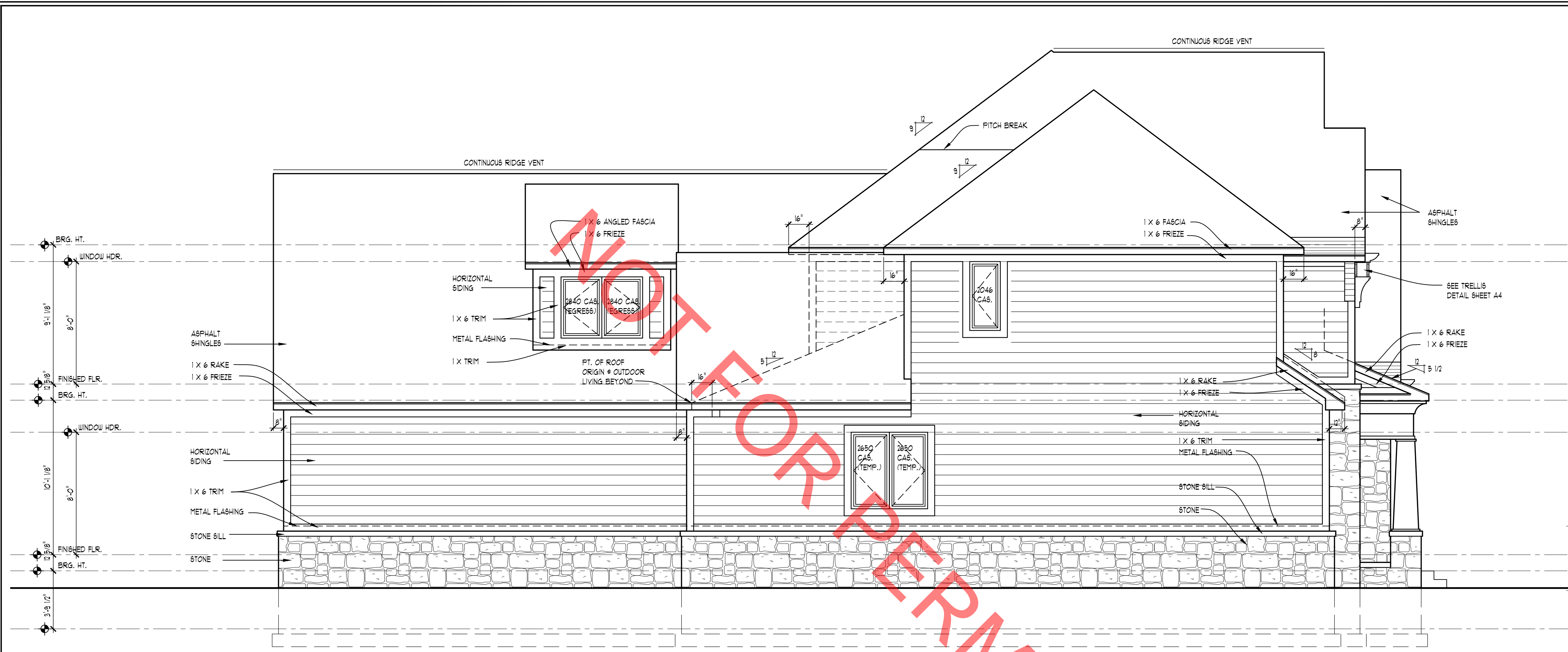
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CALL AND DO NOT RE-DESIGN UNTIL 3 DAYS PRIOR TO ANY DELAYING CONSTRUCTION TO THE FULL RESPONSIBILITY OF THE CONTRACTOR.

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RAYBURN PROPERTIES
GHANNAM RESIDENCE

JOB No. 22-125
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FINAL: 4-10-22
REVISION: -

SCALE:
PER PLAN

SHEET #
A-3

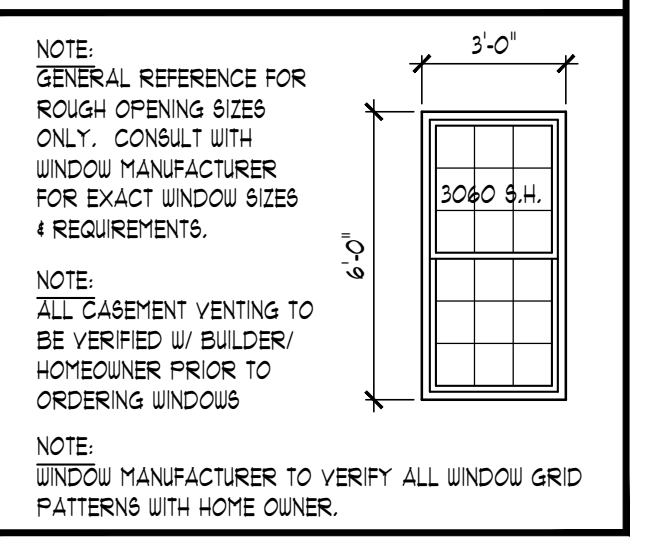


LEFT ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION NOTES

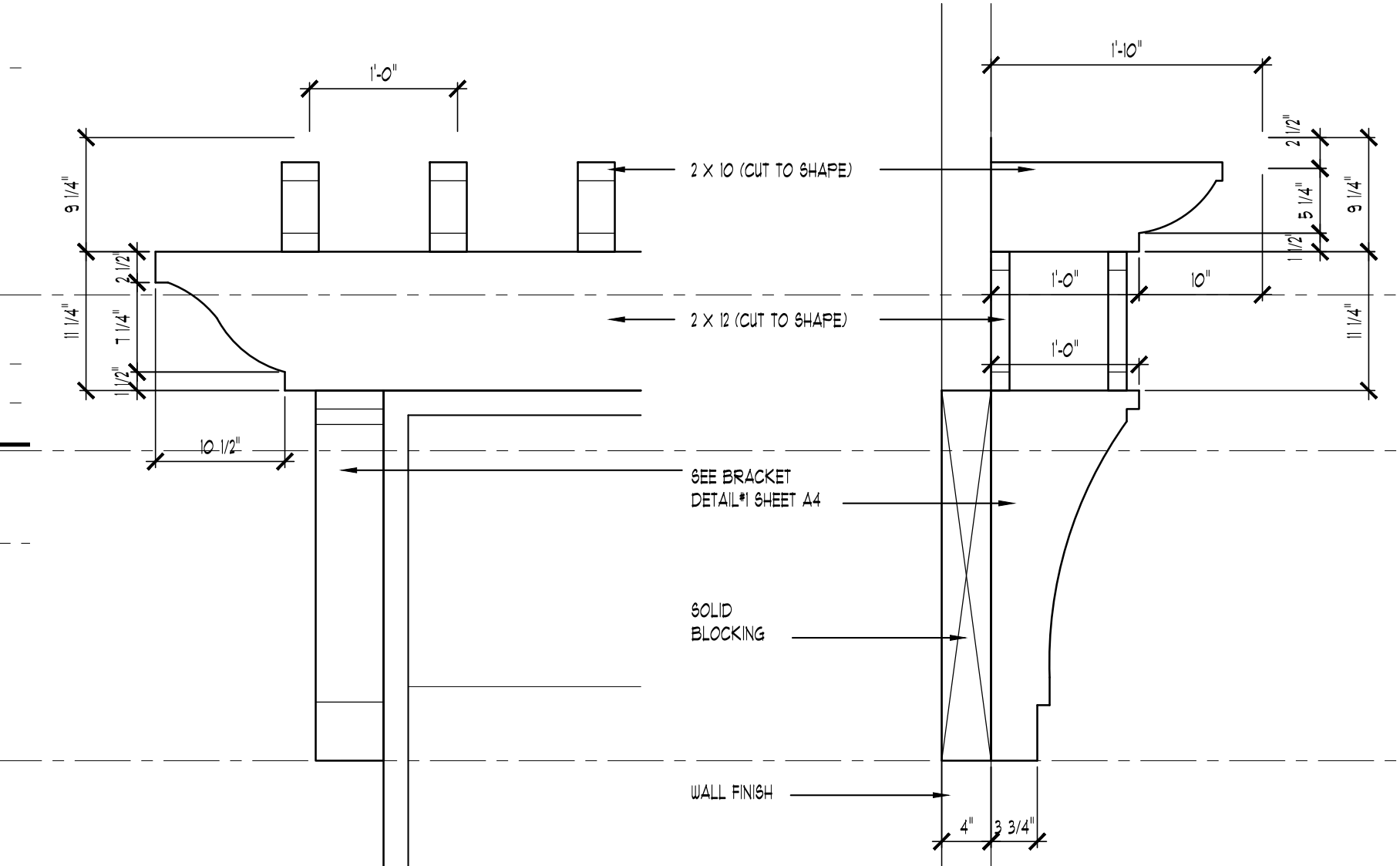
1. ALL ROOF SADDLES TO BE O.S.B. SHEATHED WITH ICE & WATER SHIELD AND SHINGLES.
2. PROVIDE ICE & WATER SHIELD MIN. 6'-0" COVERAGE AT ALL VALLEYS.
3. FIREPLACE FLUE TO BE DETERMINED PER MANUFACTURER'S SPECIFICATION.
4. METAL FLASHING AS REQUIRED BY CODE.
5. ROOF & BOPFIT VENTS AS REQUIRED BY CODE.
6. PROVIDE DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES.
7. CARPENTER TO VERIFY THICKNESS OF MASONRY PRIOR TO BUILDING BRICK RACK.

TYPICAL WINDOW DESIGNATION



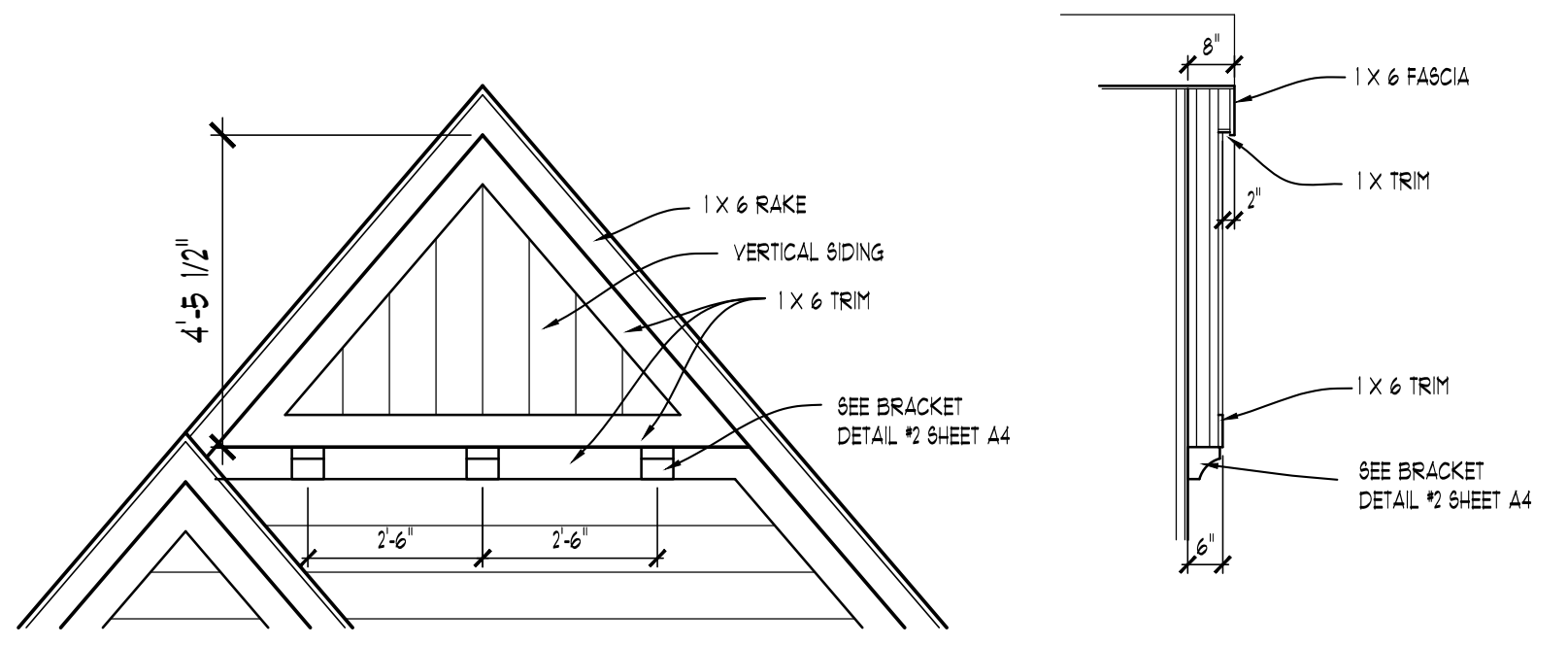
NOTE:
OVERHANG DIMENSIONS (O.A.) ARE FROM SHEATHING U.N.O.

NOTE:
ALL WINDOW SILLS OVER 6'-0" ABOVE EXTERIOR GRADE OR SURFACE SHALL BE MINIMUM 14" ABOVE FINISHED FLOOR OR HAVE 84MM LITERS PER CODE REQUIREMENTS

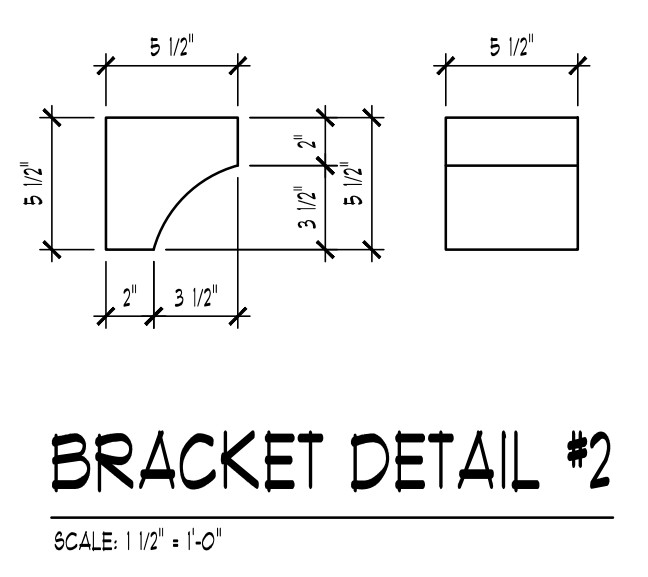


TRELLIS DETAIL
SCALE: 1" = 1'-0"

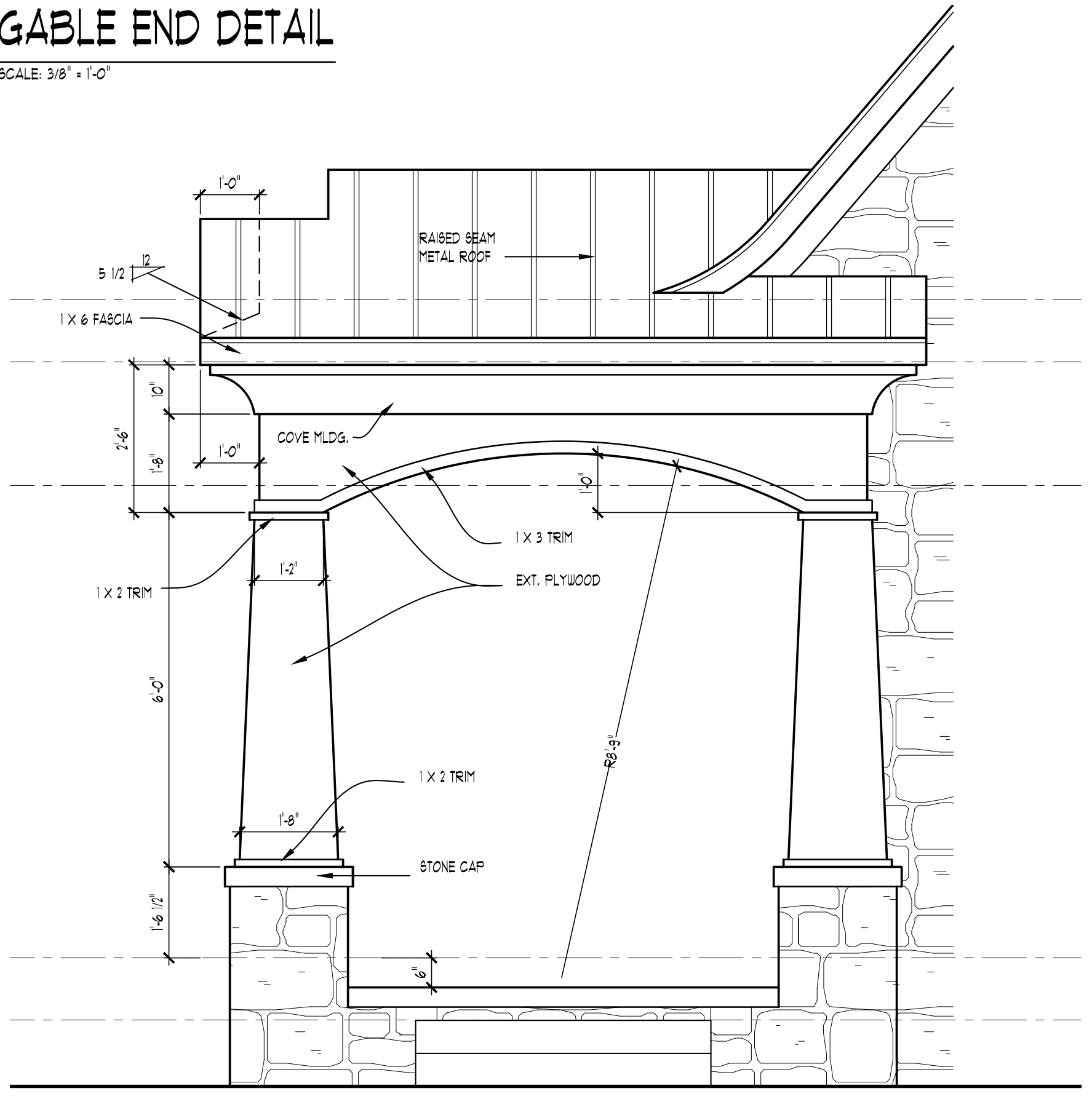
BRACKET DETAIL #1
SCALE: 1" = 1'-0"



GABLE END DETAIL
SCALE: 3/8" = 1'-0"



BRACKET DETAIL #2
SCALE: 1/2" = 1'-0"



FRONT PORCH DETAIL
SCALE: 1/2" = 1'-0"



FRONT ELEVATION (LAKE VIEW)
SCALE: 1/4" = 1'-0"

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JOB No. 22-125

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SCALE: PER PLAN

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A-4

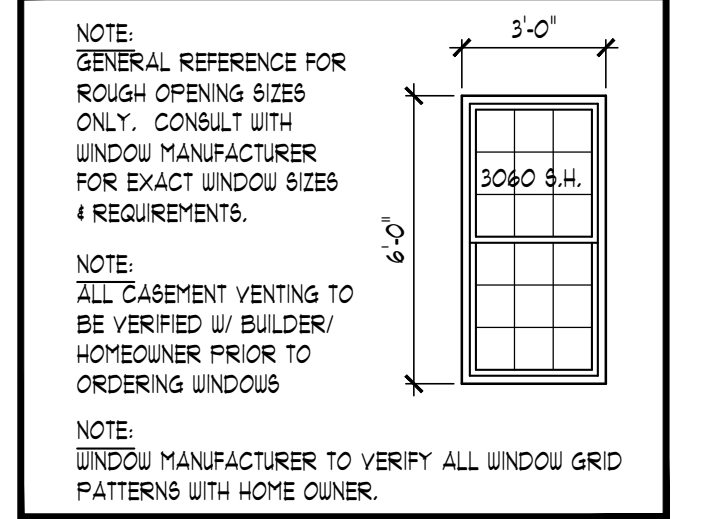
ELEVATION NOTES

- ALL ROOF SADDLES TO BE O.S.B. SHEATHED WITH ICE & WATER SHIELD AND SHINGLES.
- PROVIDE ICE & WATER SHIELD MIN. 6'-0" COVERAGE AT ALL VALLEYS.
- FIREPLACE FLUE TO BE DETERMINED PER MANUFACTURER'S SPECIFICATION.
- METAL FLASHING AS REQUIRED BY CODE.
- ROOF & SOFFIT VENTS AS REQUIRED BY CODE.
- PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES.
- CARPENTER TO VERIFY THICKNESS OF MASONRY PRIOR TO BUILDING BRICK RACK.

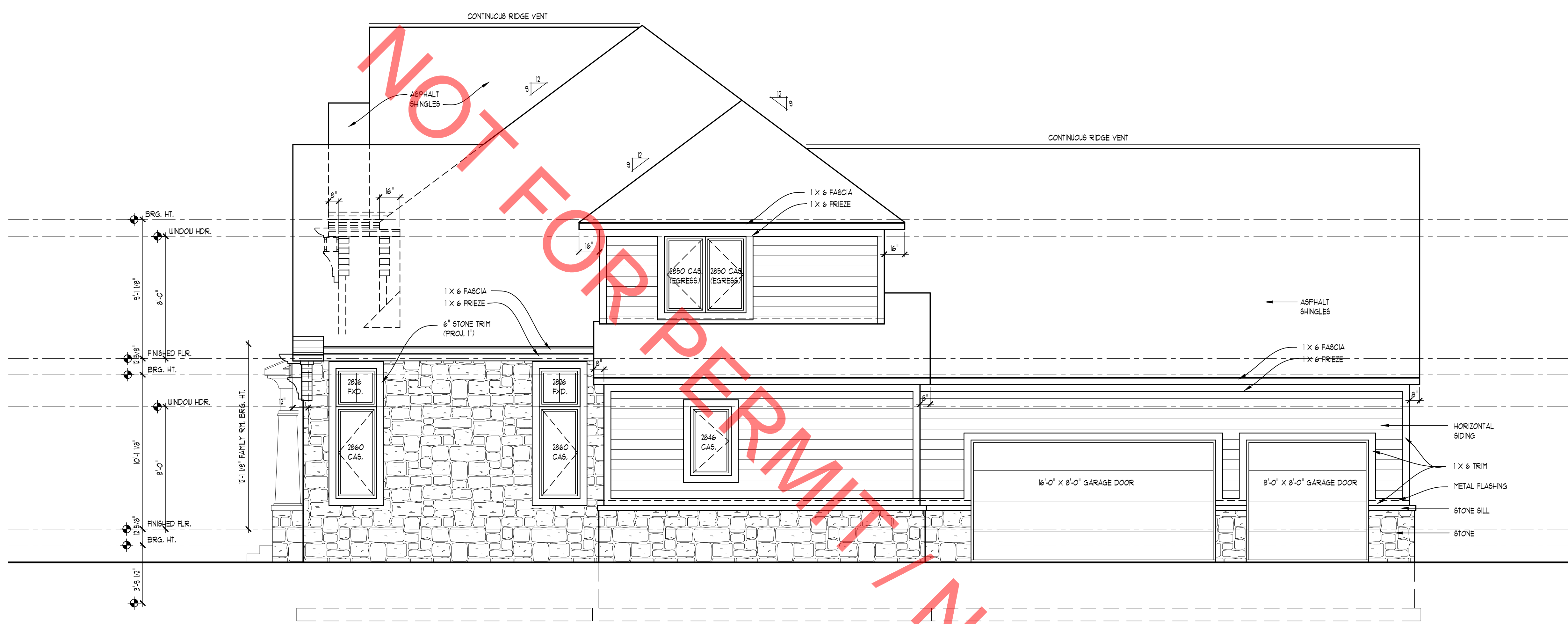
NOTE:

OVERHANG DIMENSIONS (O.H.) ARE FROM SHEATHING U.N.O.

TYPICAL WINDOW DESIGNATION

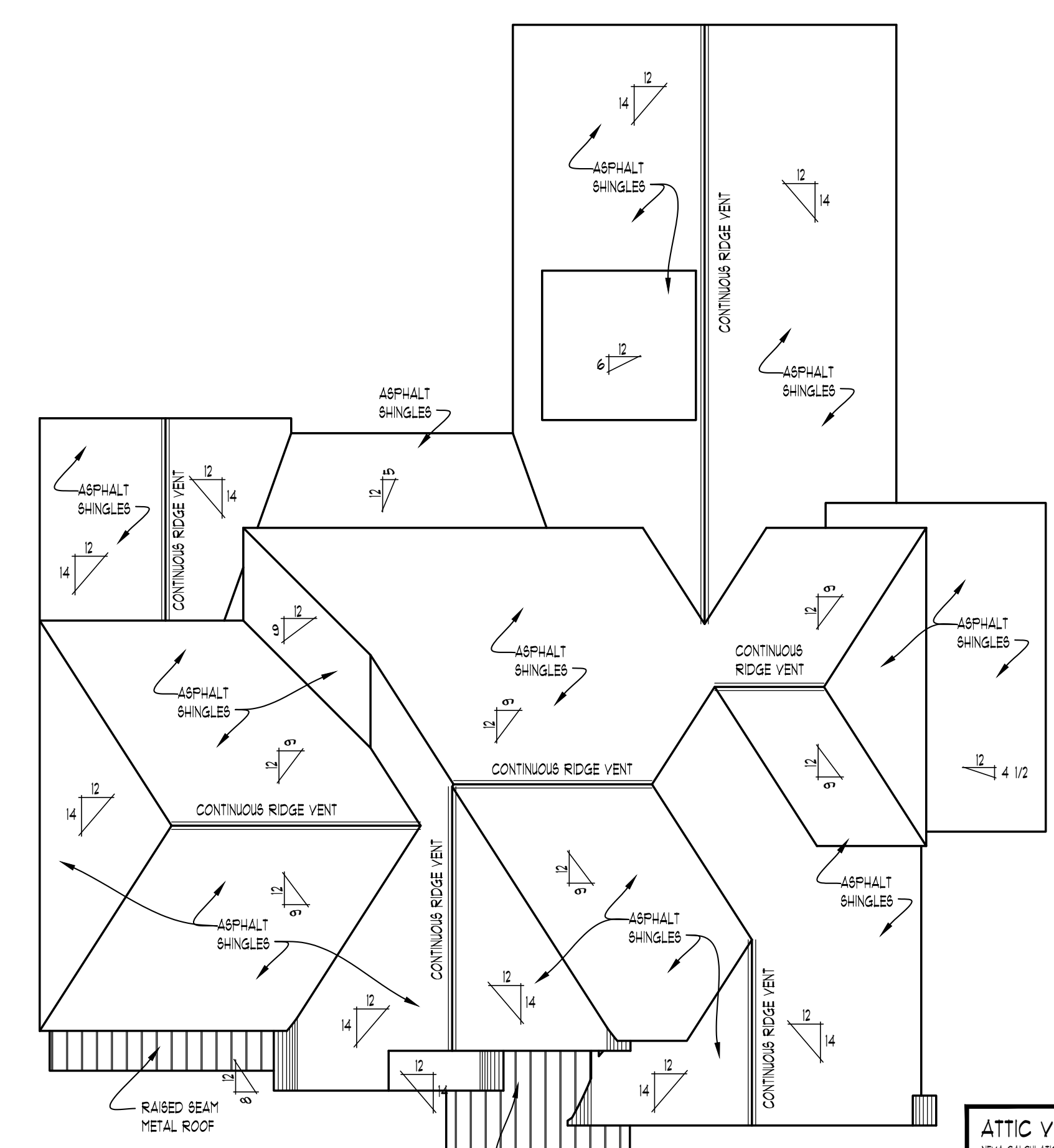


NOTE: ALL WINDOW SILL TO BE VERIFIED BY BUILDER/HOMEOWNER PRIOR TO ORDERING WINDOWS. WINDOW MANUFACTURER TO VERIFY ALL WINDOW GRID PATTERNS WITH HOME OWNER.



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



ROOF PLAN

SCALE: 1/8" = 1'-0"

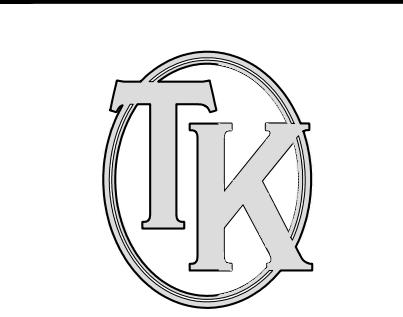
ATTIC VENTILATION CALCULATIONS:
 AREA OF ATTIC OVER HEATED SPACE = 2173 SQ. FT.
 770/80 = 9.49 (SQ. FT. REQ'D)
 9.49 X 144 = 1367 (SQ. INCH CONVERSION)
 2667 X 0.50 = 1333

1331" SOX EXHAUST (NEAR RIDGE OF ROOF)
 1331" SOX INTAKE (SOFFITS / UNDEREAVE)
 RIDGE VENTING: (8 SQ. INCH P.L.F. ASSUMED)
 1331" SQ. INCHES / 861 = 14" (LINEAR FT. OF RIDGE VENT REQ'D)
 (18" LINEAR FT. RIDGE AVAILABLE)



REAR ELEVATION (STREET VIEW)

SCALE: 1/4" = 1'-0"



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 CONSTRUCTION TO THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

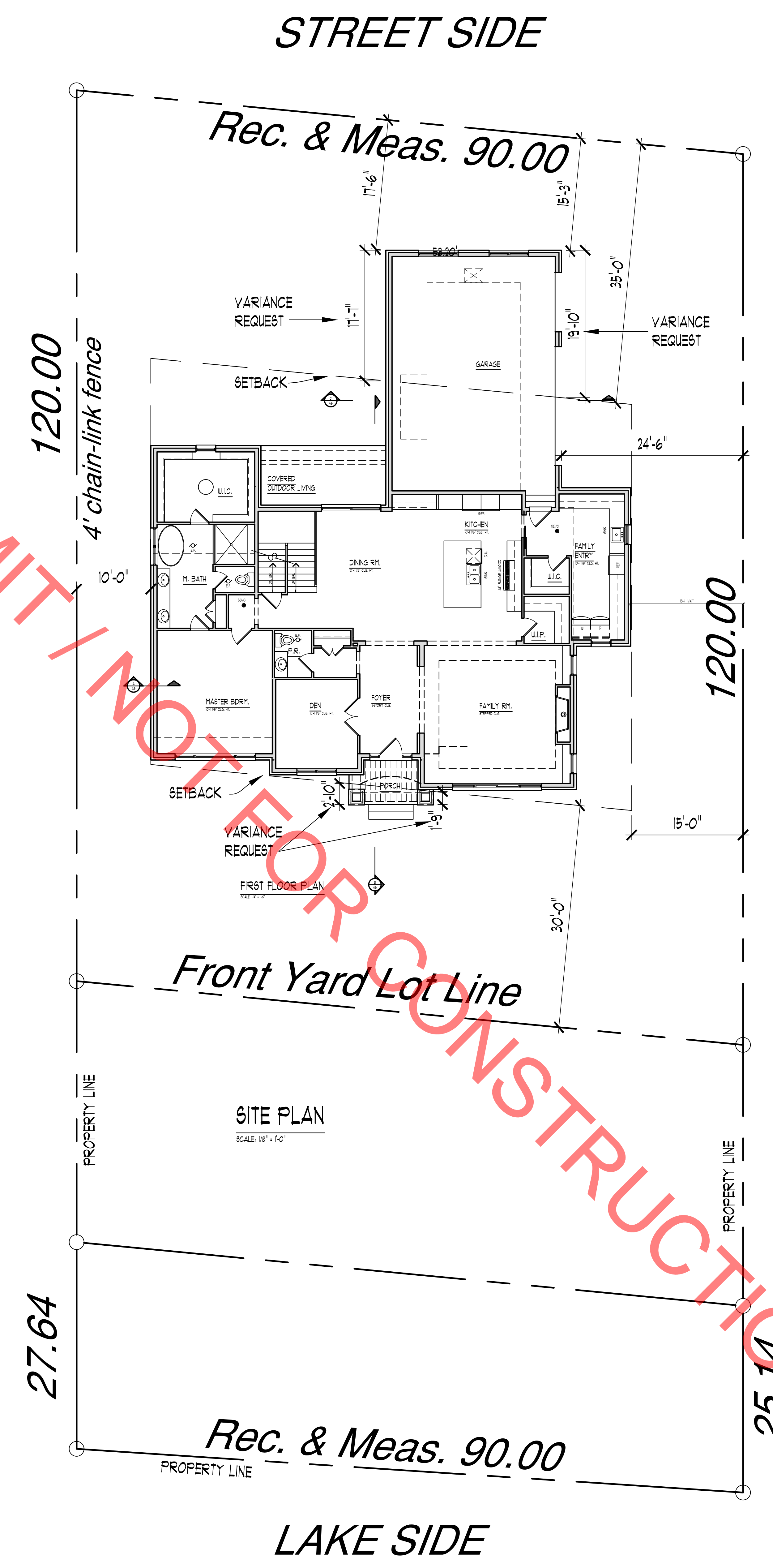
CLIENT / PROJECT
 RAYBURN
 PROPERTIES
 GHANNAM
 RESIDENCE

JOB No. 22-125
DRAWN: ECT
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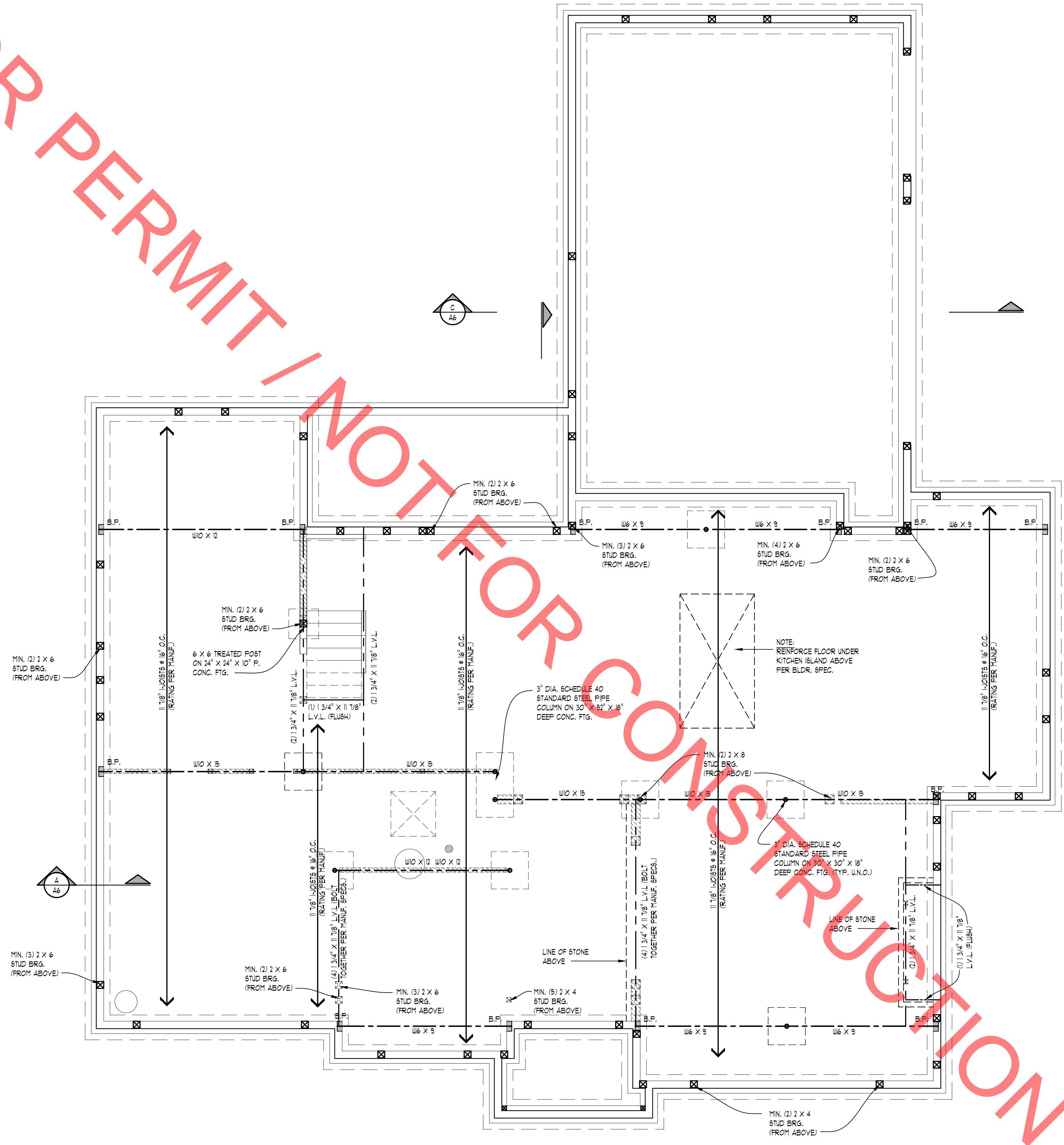
CLIENT / PROJECT	RAYBURN PROPERTIES GHANNAM RESIDENCE
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JOB No.	22-125
DRAWN:	ECT
CHECKED:	ECT
FRAMED:	ECT
REVIEW	4-10-22
REVISION	-

SCALE:
PER PLAN

SHEET #
SITE

NOT FOR PERMIT / NOT FOR CONSTRUCTION



FOUNDATION PLAN STRUCTURE
SCALE 1/4" = 1'-0"

NOTE:
PROVIDE MIN. (2) 2 X 4 HEADER AT ALL INTERIOR EXTERIOR DOOR & WINDOW OPENINGS (UNLESS NOTED OTHERWISE).

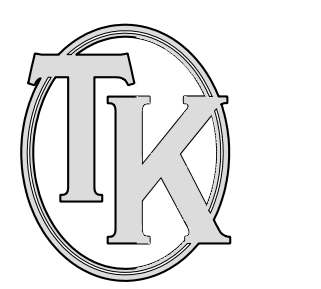
NOTE:
PROVIDE MIN. (1) JACK STUD & (1) KING STUD AT EACH END OF ALL HEADERS (UNLESS NOTED OTHERWISE).

NOTE:
PROVIDE MIN. (1) JOIST OR LADDER FRAMING UNDER ALL UPPER FLOOR PARALLEL PARTITIONS.

NOTE:
GROUT ALL CONCRETE BLOCK CORNER SOLID THAT SUPPORT POINT LOADS FROM ABOVE (TYPICAL).

NOTE:
WOOD BEAM
STEEL BEAM
BRG. WALL
BRG. WALL ABOVE
BRG. WALL & BRG. WALL ABOVE
POINT LOAD
POINT LOAD FROM ABOVE

- STRUCTURAL SHEATHING NOTES:**
- DESIGNED FOR SEISMIC ZONE A-C AND WIND SPEEDS OF 15 M.P.H. OR LESS.
 - WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION R602.10 OF THE IBC IRC CODE. BRACING REQUIREMENTS SHALL BE PER TABLE R602.10.3.
 - EXTERIOR BRACED WALL PANELS (BWP) SHALL BE CONSTRUCTED IN ACCORDANCE WITH CS-UBP METHOD AS PRESCRIBED IN SECTION R602.10.4 (I.N.O.).
 - ALL SHEATHABLE SURFACES OF EXTERIOR WALLS (INCLUDING AREAS ABOVE AND BELOW OPENINGS AND GABLE END WALLS) SHALL BE CONTINUOUSLY SHEATHED WITH WOOD STRUCTURAL PANEL (WSP) SHEATHING WITH A MINIMUM THICKNESS OF 3/8". SHEATHING SHALL BE SECURED WITH MINIMUM 6d COMMON NAILS SPACED AT 6" O.C. AT PANEL EDGES AND SPACED AT 12" O.C. AT INTERMEDIATE SUPPORTS.
 - LENGTH REQUIREMENTS FOR BRACED WALL PANELS WITH CS-UBP METHOD SHALL BE IN ACCORDANCE WITH TABLE R602.10.3.
- PROVIDE 6d COMMON NAILS AT 6" O.C. SPACING AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS.
- R403.1.6. WALLS 24" TOTAL LENGTH OR SHORTER CONNECTING OFFSET BRACED WALL PANELS SHALL BE ANCHORED TO THE FOUNDATION WITH A MINIMUM OF ONE ANCHOR BOLT LOCATED IN THE CENTER THIRD OF THE PLATE SECTION AND SHALL BE ATTACHED TO ADJACENT BRACED WALL PANELS AT CORNERS AS SHOWN IN ITEM 3 OF TABLE R602.3(1).
- SEE CONTIGUOUS PORTAL FRAME PANEL CONSTRUCTION DETAIL (CS-PF) SHEET 042 FOR HEADER / CORNER FRAMING INFORMATION. HEADER PROVIDED MUST BE MINIMUM 3" X 11 1/4" SOLID BAIN OR LAMINATED VENER LUMBER (L.V.L.).



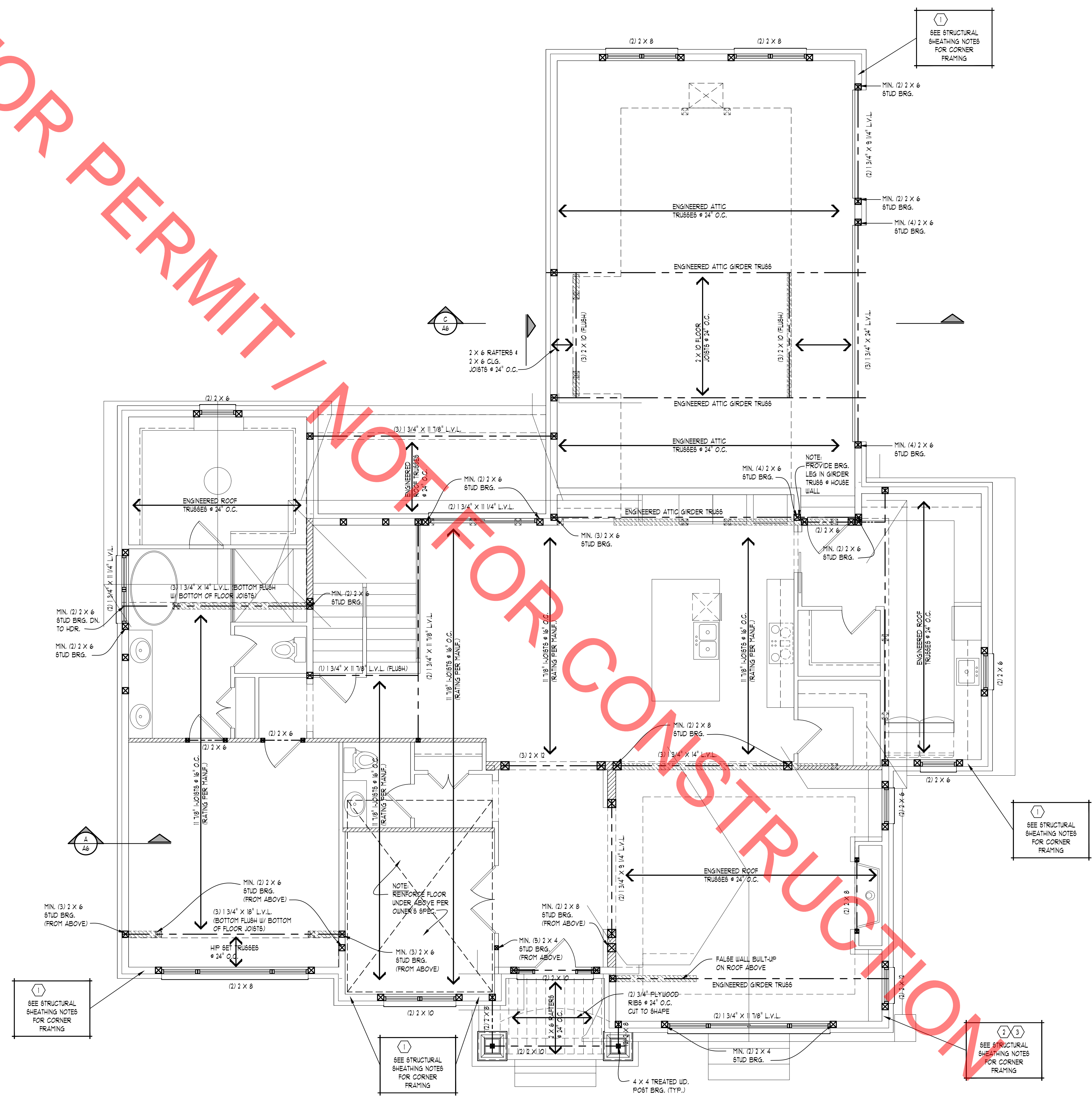
DESIGN
CREATIVE COLLABORATIVE

WWW.TKHOMEDESIGN.COM
26030 PONTIAC TRAIL
SOUTH LYON, MI 48178
PHONE: (248)-446-1960
FAX: (248)-446-1961

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REPORTED TO THE DESIGNER IMMEDIATELY. ANY
CALLS AND/OR VISITS MUST BE MADE PRIOR TO ANY
CONSTRUCTION TO THE SOLE RESPONSIBILITY OF THE PERMIT HOLDER.

CLIENT / PROJECT	RAYBURN PROPERTIES GHANNAM RESIDENCE
JOB No.	22-125
DRAWN:	ECT
CHECKED:	ECT
FRAMED:	ECT
REVIEW	
FINAL:	4-10-22
REVISION	-
SCALE:	PER PLAN
SHEET #	S1

NOT FOR PERMIT / NOT FOR CONSTRUCTION



FIRST FLOOR PLAN STRUCTURE
SCALE: 1/4" = 1'-0"

- NOTE:**
PROVIDE MIN. (2) 2 X 4 HEADER AT ALL INTERIOR EXTERIOR DOOR & WINDOW OPENINGS (UNLESS NOTED OTHERWISE).
- NOTE:**
PROVIDE MIN. (1) JACK STUD & (1) KING STUD AT EACH END OF ALL HEADERS (UNLESS NOTED OTHERWISE).
- NOTE:**
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- SEE CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION DETAIL (CS-PF) SHEET 044 FOR HEADER / CORNER FRAMING INFORMATION. HEADER PROVIDED MUST BE MINIMUM 3" X 11 1/4" SOLID BAIN OR LAMINATED VENEER LUMBER (L.V.L.).
- SEE STRUCTURAL SHEATHING NOTES FOR CORNER FRAMING.
- SEE STRUCTURAL SHEATHING NOTES FOR CORNER FRAMING.
- SEE STRUCTURAL SHEATHING NOTES FOR CORNER FRAMING.
- SEE STRUCTURAL SHEATHING NOTES FOR CORNER FRAMING.

TK

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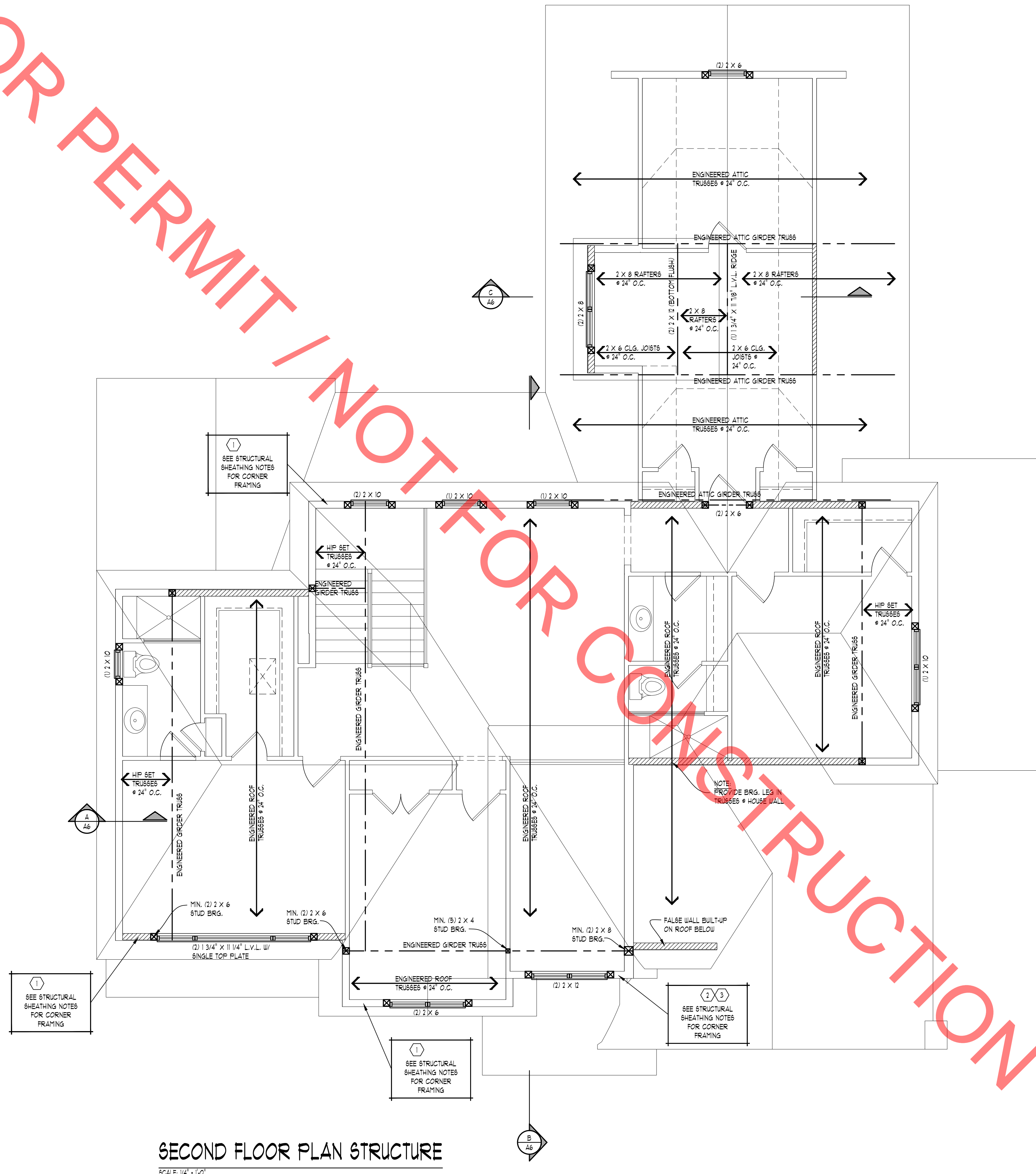
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REPORTED TO THE ENGINEER IMMEDIATELY. PLEASE ADVISE BY
CALL AND NOT BY EMAIL PRIOR TO ANY EXCAVATION
CONSTRUCTION TO THE SOLE RESPONSIBILITY OF THE OWNER/CLIENT.

CLIENT / PROJECT	RAYBURN PROPERTIES GHANNAM RESIDENCE
JOB No.	22-125
DRAWN:	ECT
CHECKED:	ECT
FRAMED:	ECT
REVIEW	
FINAL:	4-10-22
REVISION	

SCALE:
PER PLAN

SHEET #
S2

NOT FOR PERMIT / NOT FOR CONSTRUCTION



SECOND FLOOR PLAN STRUCTURE
SCALE: 1/4" = 1'-0"

NOTE:
PROVIDE MIN. (2) 2 X 4 HEADER AT ALL INTERIOR EXTERIOR DOOR & WINDOW OPENINGS (UNLESS NOTED OTHERWISE).

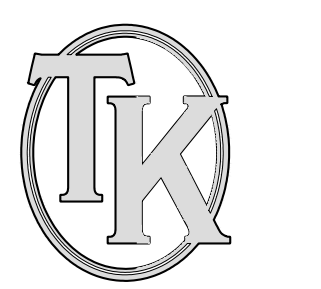
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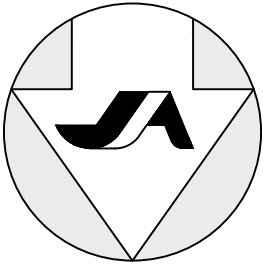
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REPORTED TO THE DESIGNER IMMEDIATELY. ANY CHANGES
CALL AND DO AT OWNERS RISK 15 DAYS PRIOR TO ANY EXCAVATION
CONSTRUCTION OR THE SOLE RESPONSIBILITY OF THE OWNER/CLIENT.

CLIENT / PROJECT	RAYBURN PROPERTIES GHANNAM RESIDENCE
JOB No.	22-125
DRAWN:	ECT
CHECKED:	ECT
FRAMED:	ECT
REVIEW	
FINAL:	4-10-22
REVISION	
SCALE:	PER PLAN
SHEET #	S3

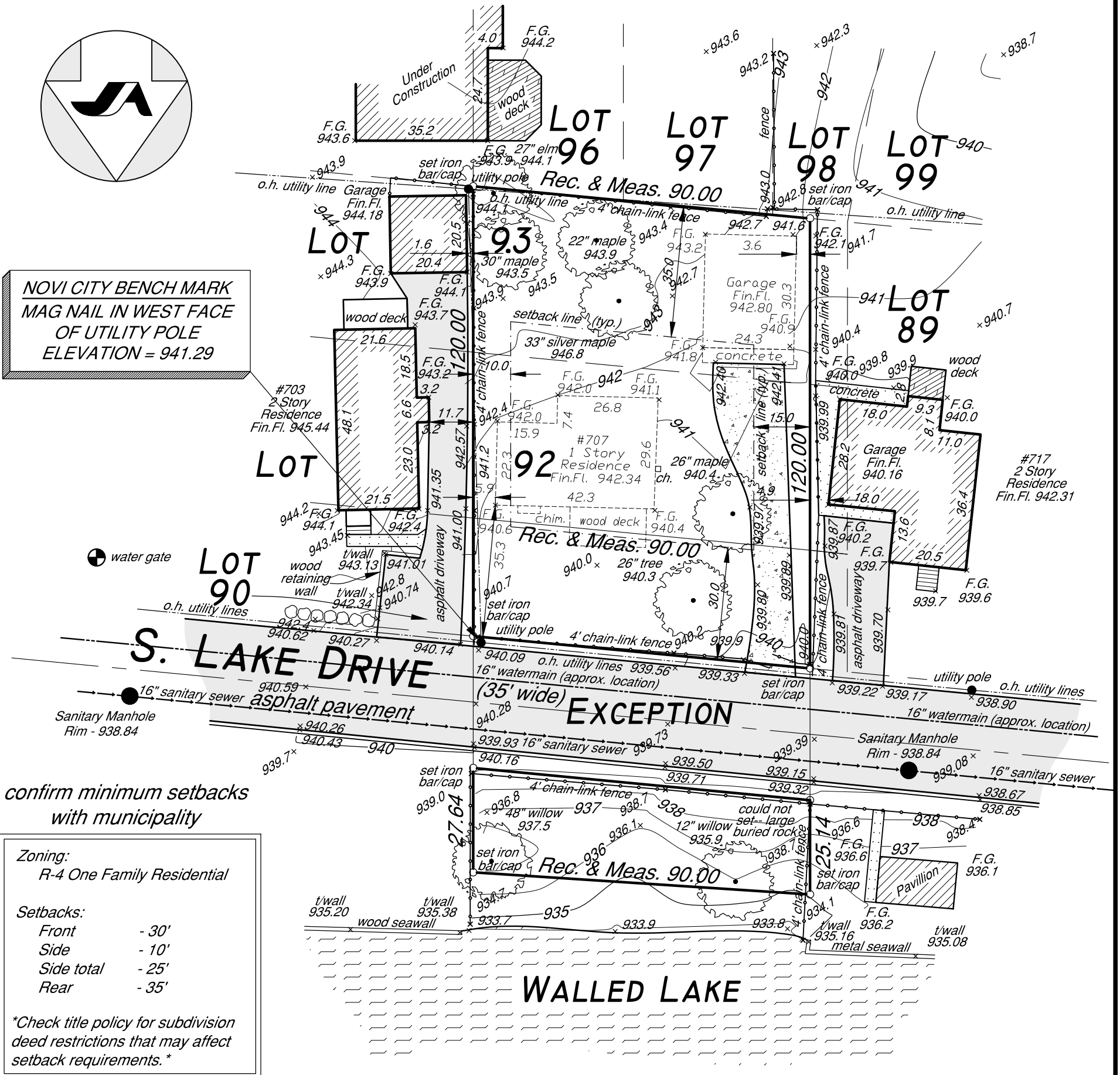
LEGAL DESCRIPTION

THE EAST 90.00 FEET OF THE WEST 100.00 FEET OF LOTS 92 AND 93M, IDLEMERE PARK SUBDIVISION, AS RECORDED IN LIBER 17, PAGE 29 OF PLATS, OAKLAND COUNTY RECORDS (PARCEL 1)

PART OF THE SOUTHWEST FRACTIONAL 1/4 OF SECTION 3, BEGINNING AT A POINT SOUTH 83°53'00" EAST, 10.00 FEET FROM THE NORTHWEST CORNER OF LOT 92, IDLEMERE PARK SUBDIVISION, THENCE RUN NORTH 91.80 FEET TO THE SOUTH SHORE OF WALLED LAKE; THENCE SOUTH 86°15'00" EAST, 90.00 FEET; THENCE RUN SOUTH 94.50 FEET; THENCE RUN NORTH 83°53'00" WEST, 90.00 FEET TO THE POINT OF BEGINNING, EXCEPTING 35.00 FOOT RIGHT-OF-WAY FOR STREET PURPOSES. ALL OF THE ABOVE LAND IS LOCATED IN SECTION 3, TOWNSHIP 1 NORTH, RANGE 8 EAST, IDLEMERE PARK SUBDIVISION, AS RECORDED IN LIBER 17, PAGE 29 OF PLATS, OAKLAND COUNTY RECORDS. (PARCEL 2)



NOVI CITY BENCH MARK
MAG NAIL IN WEST FACE
OF UTILITY POLE
ELEVATION = 941.29



confirm minimum setbacks
with municipality

Zoning:
R-4 One Family Residential

Setbacks:

Front	- 30'
Side	- 10'
Side total	- 25'
Rear	- 35'

Check title policy for subdivision deed restrictions that may affect setback requirements.

TOPOGRAPHIC SURVEY

Prepared For: David E Ghannam, Esq.
17436 College Parkway
3rd Floor
Livonia, MI 48152
(313) 945-0088

Jekabson & Associates, P.C.
Professional Land Surveyors
1320 Goldsmith, Plymouth, MI 48170
(734) 414-7200 (734) 414-7272 fax

by:

Date
8 MAR 2022

Job No.
22-01-007

Scale
1" = 30'

Drawn
AAH

Checked
JGE

Sheet
1 OF 1



Know what's below.
Call before you dig.

TO: CITY OF NOVI
ZONING BOARD OF APPEALS
45175 TEN MILE ROAD
NOVI, MI 48375

Please note my comments to:

707 South Lake Drive, Parcel # 50-22-03-454-007 (PZ22-0013)

Please note my: (Approval) (Objection) to the requested variance.

Comments:

We support the new potential neighbors and their plans to build the home that they desire. The request seems minimal and it will be a major upgrade to the neighborhood. South lake drive has been seeing continuing improvements in housing and this seems fitting and appropriate.

(PLEASE PRINT CLEARLY)

Name: Frank Esposito

Address: 621 S. Lake Dr.

Date: 4-25-22

Zoning Board of Appeals meetings are broadcast live on Spectrum channel 13-1 and AT&T U-verse channel 99. They are also streamed live on the City's website at cityofnovi.org.