

FIRE STATION NO.2 JSP26-17

FIRE STATION No. 2 JSP26-17

Consideration at the request of HED | BRW Architects on behalf of City of Novi for Fire Station No.2 JSP26-17 for Preliminary Plan and Stormwater Management Plan review and approval of the location, character, and extent of the proposed improvements. The subject property is zoned RA Residential Acreage and is located north of Thirteen Mile Road and east of Novi Road (Section 2). The City proposes to develop a new fire station on the currently vacant 2.15-acre parcel.

Required Action

Approval of the location, character, and extent of the proposed fire station and related improvements under the Planning Enabling Act

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval Recommended	06/12/26	<ul style="list-style-type: none"> • Master Plan Amendment proposed to change the Future Land Use designation from Industrial/Office to Public/Quasi Public to reflect the municipal ownership of the site • Items to be addressed at Final Site Plan submittal
Engineering	Approval Recommended	06/08/26	<ul style="list-style-type: none"> • Items to be addressed at Final Site Plan submittal
Landscape	Approval Recommended	05/28/26	<ul style="list-style-type: none"> • Items to be addressed at Final Site Plan submittal
Traffic	Approval Recommended	06/03/26	<ul style="list-style-type: none"> • Items to be addressed at Final Site Plan submittal
Façade	Approval Not Recommended	06/08/26	<ul style="list-style-type: none"> • Items to be addressed at Final Site Plan submittal
Fire	Approval Recommended	05/27/26	<ul style="list-style-type: none"> • Meets Fire Department standards

MOTION SHEET:

Approval – Preliminary Plan and Stormwater Management Plan

In the matter of Fire Station No. 2 JSP26-17, motion to **approve** the location, character, and extent of the proposed Fire Station No. 2 improvements as reflected in the Preliminary Plan and Stormwater Management Plan based on the following:

1. Pursuant to Section 61 of the Michigan Planning Enabling Act (MCL 125.3861), the finding of "location, character, and extent" is appropriate;
2. The project is consistent with the goals, policies, and future land use direction established in the Master Plan, and fits within the future direction of the community as contemplated by the Master Plan as detailed in the Planning Review.

MAPS

Location

Zoning

Future Land Use

Natural Features

JSP26-17 FIRE STATION NO. 2 LOCATION MAP



LEGEND

 Subject Property

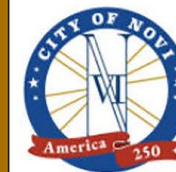
Thoroughfare Classification

 Arterial

 Minor Arterial

 Residential Collector

 Local Residential Street

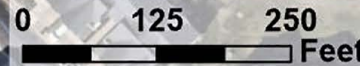


Map Author: Diana Shanahan
Project: 42000 13 Mile Road

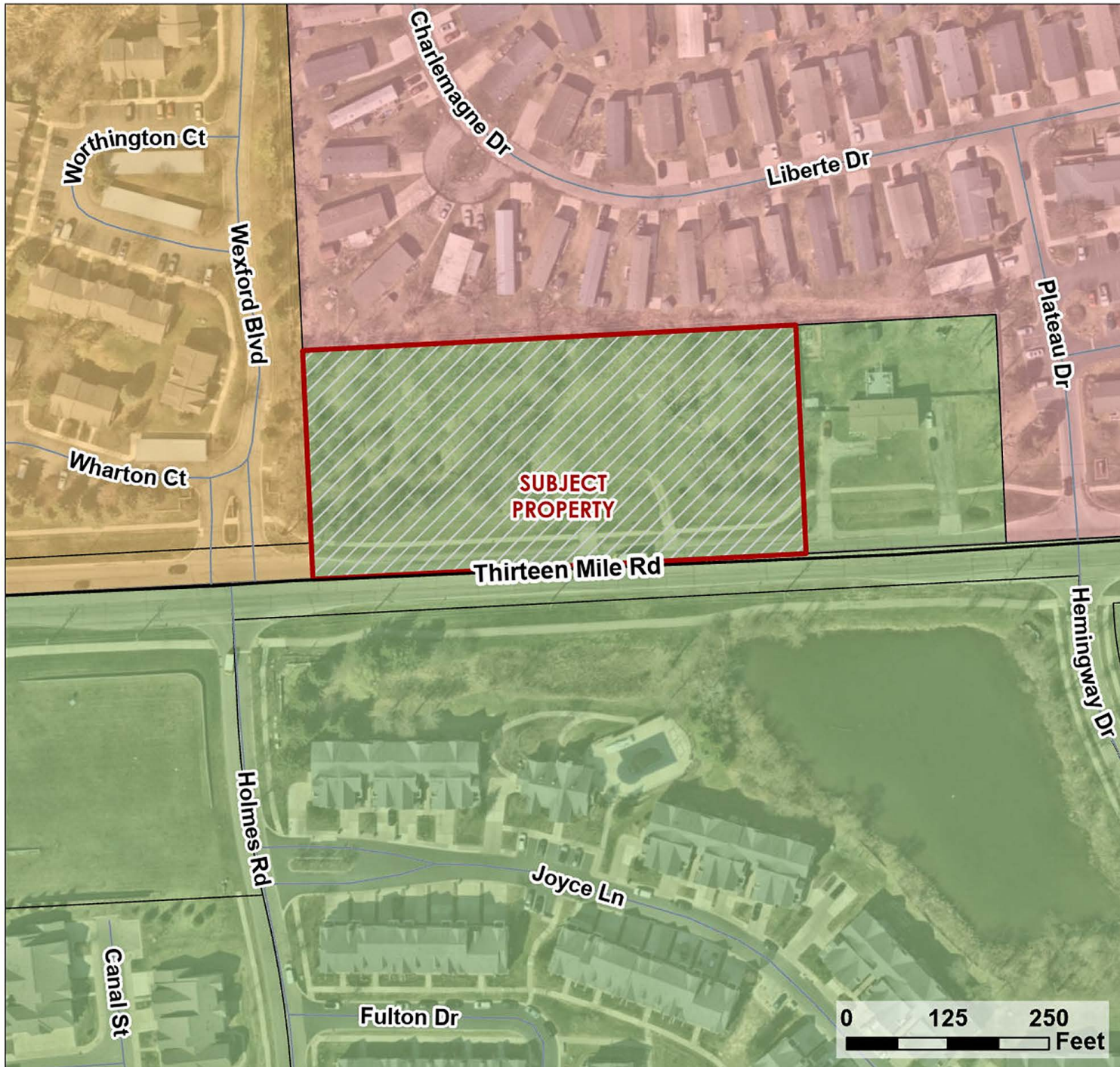
Date: 06/26/26
Version #: 1

City of Novi

Community Development Department
City Hall / Civic Center
45175 Ten Mile Road, Novi, MI 48375
cityofnovi.org



JSP26-17 FIRE STATION NO. 2 ZONING MAP



LEGEND

 Subject Property

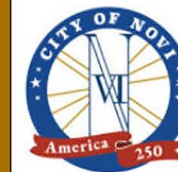
Zoning District

 MH: Mobile Home

 R-4: One-Family Residential

 RA: Residential Acreage

 RM-1: Low-Density Multiple-Family



Map Author: Diana Shanahan
Project: 42000 13 Mile Road

Date: 06/26/26
Version #: 1

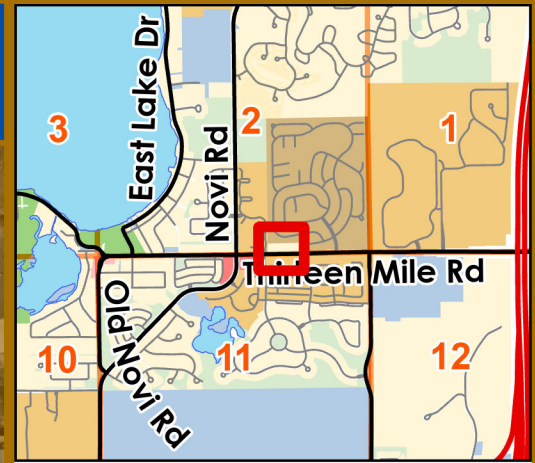
City of Novi

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City Hall / Civic Center
45175 Ten Mile Road, Novi, MI 48375
cityofnovi.org



FIRE STATION 2

PROPOSED FUTURE LAND USE MAP AMENDMENT



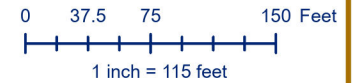
Land Use Description

- Community Commercial
- Manufactured Housing
- Multiple Family
- Single Family



City of Novi

Dept. of Community Development
 Novi City Hall
 45175 Ten Mile Rd
 Novi, MI 48375
 cityofnovi.org

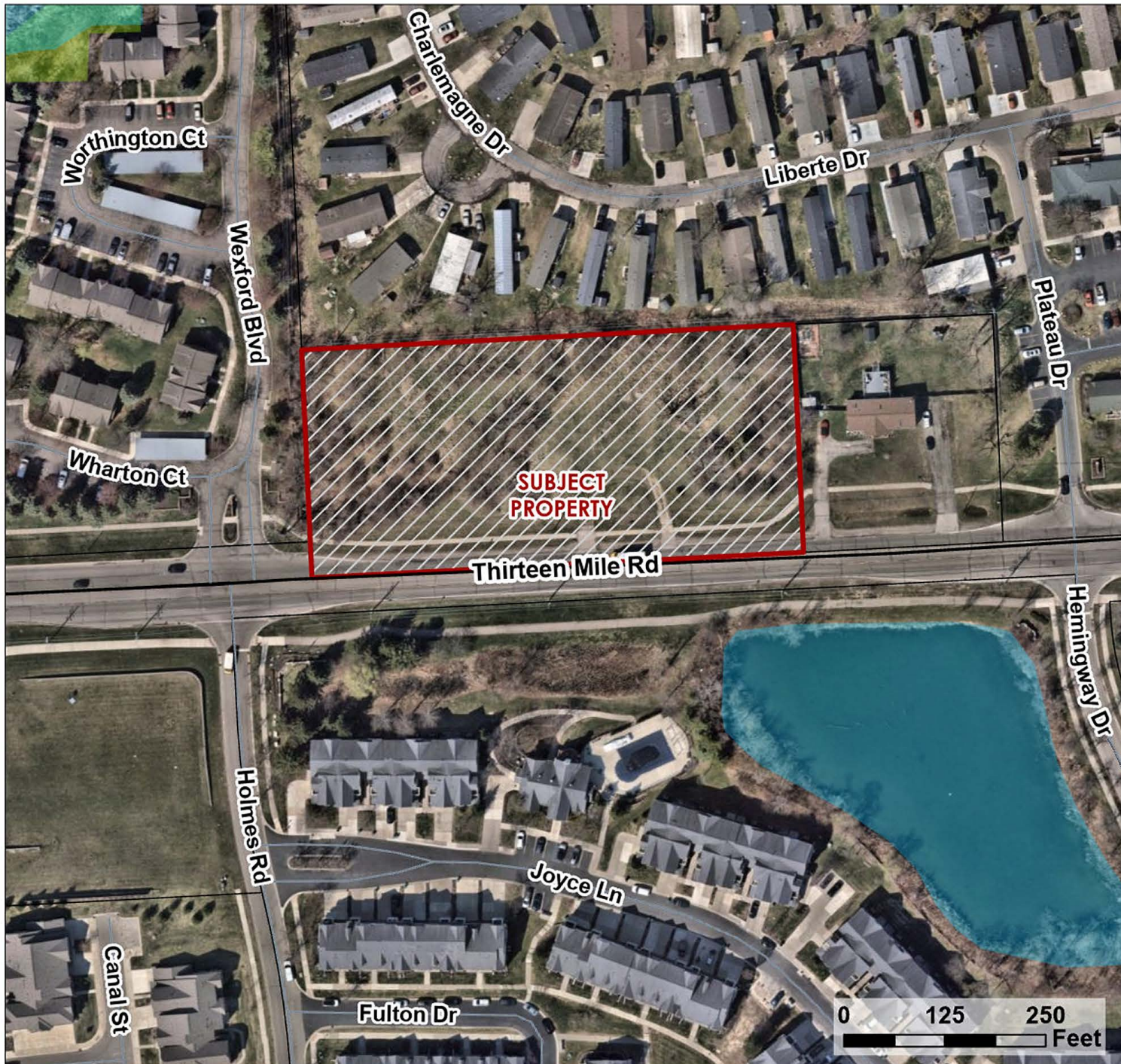


Map Author: J. Gartha
 Date: 6/4/26



Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

JSP26-17 FIRE STATION NO. 2 NATURAL FEATURES MAP



LEGEND

-  Subject Property
-  Wetlands
-  Woodlands

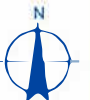


Map Author: Diana Shanahan
Project: 42000 13 Mile Road

Date: 06/26/26
Version #: 1

City of Novi

Community Development Department
City Hall / Civic Center
45175 Ten Mile Road, Novi, MI 48375
cityofnovi.org



SITE PLAN AND BUILDING ELEVATIONS

ZONING DESIGNATION: RESIDENTIAL ACREAGE (RA)
 MAX BUILDING COVERAGE: 25% PROVIDED: 16%
 NUMBER OF EMPLOYEES ON MAXIMUM SHIFT: 7
 PARKING ACCOMMODATES SHIFT CHANGE OVERLAP (4 SECURE SPACES)
 REFERENCE CIVIL FOR PAVING DIMENSIONS
 REFERENCE LANDSCAPE FOR PLANTINGS

SITE LEGEND

PATTERN	DESCRIPTION	PATTERN	DESCRIPTION	PATTERN	DESCRIPTION
---	PROPERTY LINE	- - -	DEMOLITION	□	SOD
- - -	ZONING SETBACK	□	PAVING (RE: CIVIL)	▨	DECOMPOSED GRANITE
- - -	FIRE LANE STRIPING	▨	CONCRETE PAVING	○	EXISTING TREE TO REMAIN
EX - EX	EXISTING FENCING	▨	CONCRETE SIDEWALK		
X - X	CHAIN LINK FENCING	▨	ASPHALT PAVING		
○ - ○	DECORATIVE METAL PANEL FENCING	▨	LANDSCAPE (RE: LANDSCAPE)		
▨	MASONRY SCREEN WALL	▨	LANDSCAPE PLANTINGS		
▨	SCREEN FENCE				
▨	BUILDING				
▨	NEW CONSTRUCTION				
▨	EXISTING BUILDING				



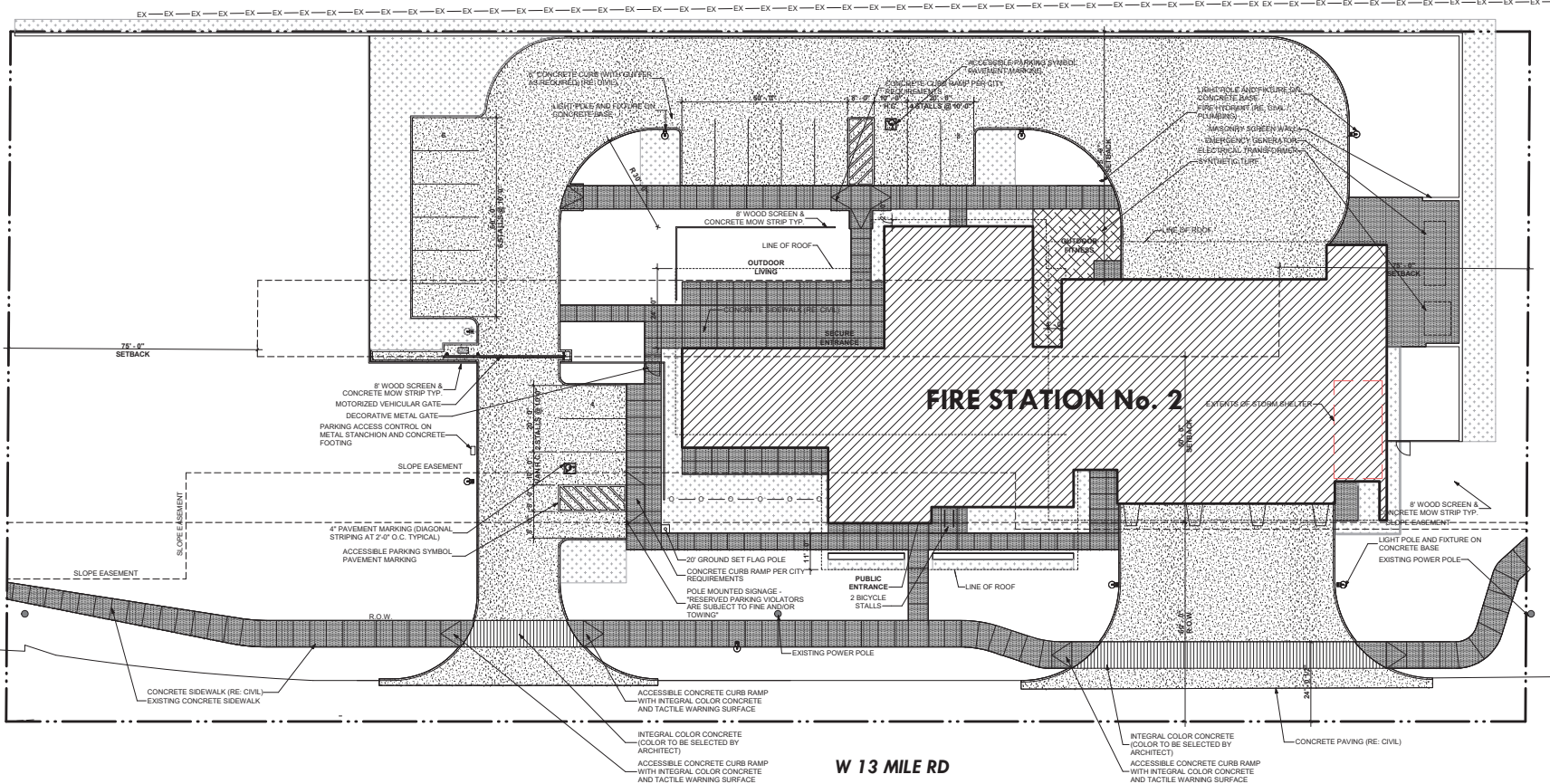
City of Novi

43175 Term Mile Road
 Novi, MI 48375

Fire Station No.2

42000 W. 13 Mile Rd.
 Novi, MI 48377

Date Issued For
 05-15-2025 Preliminary Site Application



W 13 MILE RD

FOR REFERENCE ONLY NOT FOR CONSTRUCTION

HED

125 West 5th St
 Royal Oak, Michigan
 48067 USA
 (248) 262-1500
 WWW.HED.CO

BRWARCHITECTS

3335 TRAVIS STREET
 SUITE 330
 DALLAS, TEXAS 75204
 314-528-8704
 BRWA@GMAIL.COM



1 ARCHITECTURAL SITE PLAN

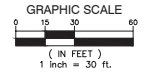
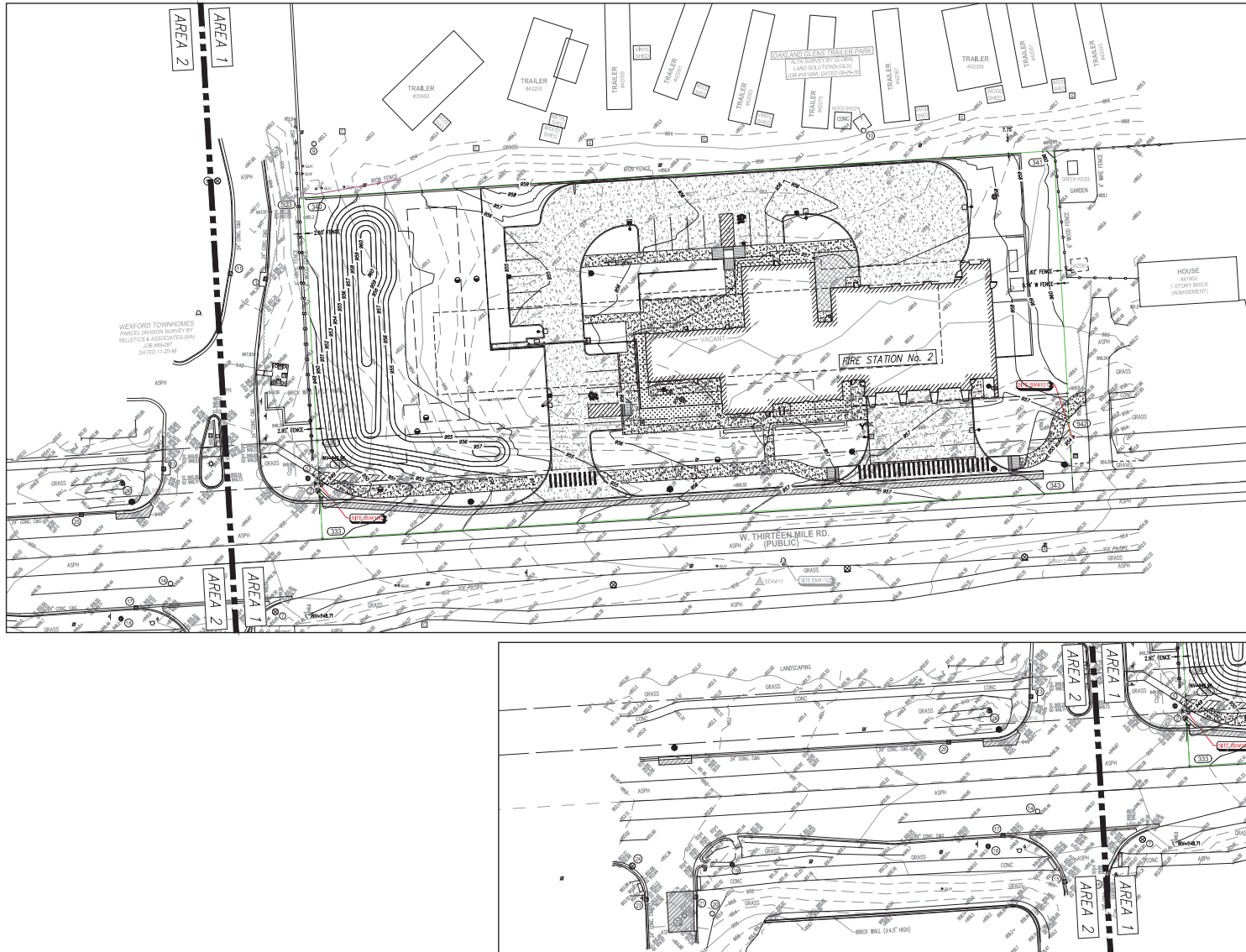
1/16" = 1'-0"
 0' 8' 16' 32'

PRELIMINARY SITE PLAN

©2025
 2025-CO308-001

Architectural Site Plan

AS101



LEGEND

--- PROPOSED METEORIC	● PROPOSED SAN MANHOLE (SAM)
--- PROPOSED SANITARY	● PROPOSED STORM MANHOLE (SM)
--- PROPOSED STORM SEWER	● PROPOSED CATCH BASIN (CB)
--- PROPOSED GAS MAIN	● PROPOSED ALLEY (AL)
--- PROPOSED ELECTRIC	● PROPOSED END SECTION (ES)
● PROPOSED HYDRANT	● PROPOSED REEF CATCH BASIN (RCB) W/REEF COVER OR STORMPIPE (SP) W/ BAR GRAVE COVER
● PROPOSED GATE	○ UTILITY CROSSING (SEE DATA TABLE)
● W/ELL # & WELL (EW)	○ 1" - STRUCTURE PIPE
● PROPOSED TAPPING SLAVE	○ 2" - STRUCTURE PIPE
● W/ELL # & WELL (EW)	○ SANITARY STREET STRUCTURE
STANDARD BITUMINOUS PAVEMENT	○ SANITARY STREET STRUCTURE
HEAVY-DUTY BITUMINOUS PAVEMENT	○ WATERMAIN STRUCTURE
DEEP-STRENGTH BITUMINOUS PAVEMENT	○ STRUCTURE NO.
CONCRETE PAVEMENT	○ STRUCTURE PIPE
CONCRETE SIDEWALK	
MILL PAVEMENT	

GRADING LEGEND

● TO 000.00 PROPOSED TOP OF CURB ELEVATION	● TP 000.00 TOP OF PAVEMENT ELEVATION
● 000.00 PROPOSED OUTER ELEVATION	● TW 000.00 TOP OF WALL ELEVATION
● 110.00 EXISTING CONTOURS	● FT 000.00 FINISH GRADE ELEVATION
● 110.00 PROPOSED CONTOURS	● TML 000.00 TOP OF MALL ELEVATION
	● MC 000.00 MATCH EXISTING ELEVATION
	→ FLOW ARROW

- GRADING NOTES**
- CONTRACTOR TO PLACE ALL NEW PAVEMENT TO THE GRADES INDICATED, OR MATCH ORIGINAL GRADES IF NEW GRADES ARE NOT SHOWN. CONTRACTOR SHALL CONFIRM MINIMUM PAVEMENT SLOPES ARE ATTAINED IN ALL AREAS.
 - PROPOSED GRADES MAY BE BASED ON AN INTERPOLATION OF DATA SHOWN ON THE TOPOGRAPHIC SURVEY. THE INTERPOLATED DATA IS APPROXIMATE AND SHOULD BE CHECKED SLIGHTLY BASED ON THE ACCURACY OF THE SURVEY. CONTRACTOR SHALL CONFIRM THAT THE PROPOSED GRADES SHOWN ON THIS PLAN WILL NOT CREATE A STANDING WATER CONDITION (E.G. A LOW SPOT OR PAVEMENT SLOPES LESS THAN 1% ON AN UPRIGHT CONDITION WITH SLOPES IN EXCESS OF 1% CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF THEY BELIEVE THAT ONE OF THESE SITUATIONS WILL OCCUR BASED ON THE PROPOSED GRADES.
 - ALL PAVEMENT PLACED WITHIN BARBER FREE PARKING AREAS (DETAILS AND ACCESS AREAS) SHALL HAVE A MAXIMUM SLOPE OF 3% IN ANY DIRECTION, INCLUDING MEASURES ORIGINALLY INDICATED. THE AREAS CONTRACTOR SHALL ADJUST SLOPES AS NECESSARY TO PREVENT ADA COMPLIANT SLOPES AS WELL AS PROVIDING RE-DRAINED TRANSITION SLOPES OUTSIDE OF THE BARBER FREE PARKING AREAS. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF TRANSITION ZONES WILL EXCEED MAXIMUM OR SLOPES. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE PATTERNS WITH ALL NECESSARY PAVEMENT RE-GRADING.
 - ALL BARBER FREE RAMPS AND ADA ACCESSIBLE ROUTES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT VERSION OF ADA05 SECTION 4-08 "SLOPEWAY RAMP" AND DETECTABLE WARNING DETAILS.
 - CONTRACTOR IS RESPONSIBLE FOR CONTROLLING STORM WATER DURING CONSTRUCTION OPERATIONS. IF PAVEMENT IS CONSTRUCTED, ALL OF THE PAVED AREAS SHALL BE USED BEHIND SLOPES AND NOT BE RETURNED TO THE ORIGINAL GRADE. CONTRACTOR SHALL CONSTRUCT APPROPRIATE TEMPORARY MEASURES TO PROTECT ADJACENT PROPERTIES.

RESTORATION NOTE

RESTORE ALL NON-PAVED AREAS WITH 3" OF CLEAN TOPSOIL AND SEED MIX (SEE SCHEDULE) INCLUDING 20% PRIMAVER PRIMAVER. SEE GRADING AND FINISH. PLACE MULCH IN ALL GREEN AREAS OR SLOPES IN EXCESS OF 1% VERTICAL. PLACE NORTH AMERICAN GREEN GROSS MULCH BLANKET IMMEDIATELY AFTER SEEDING. USE METAL STAPLES FOR MANUFACTURER'S RECOMMENDATIONS TO HOLD MULCH IN PLACE.



City of Novi
46175 Ten Mile Road
Novi, MI 48375

Fire Station No. 2
42000 W. 13 Mile Rd.
Novi, MI 48377

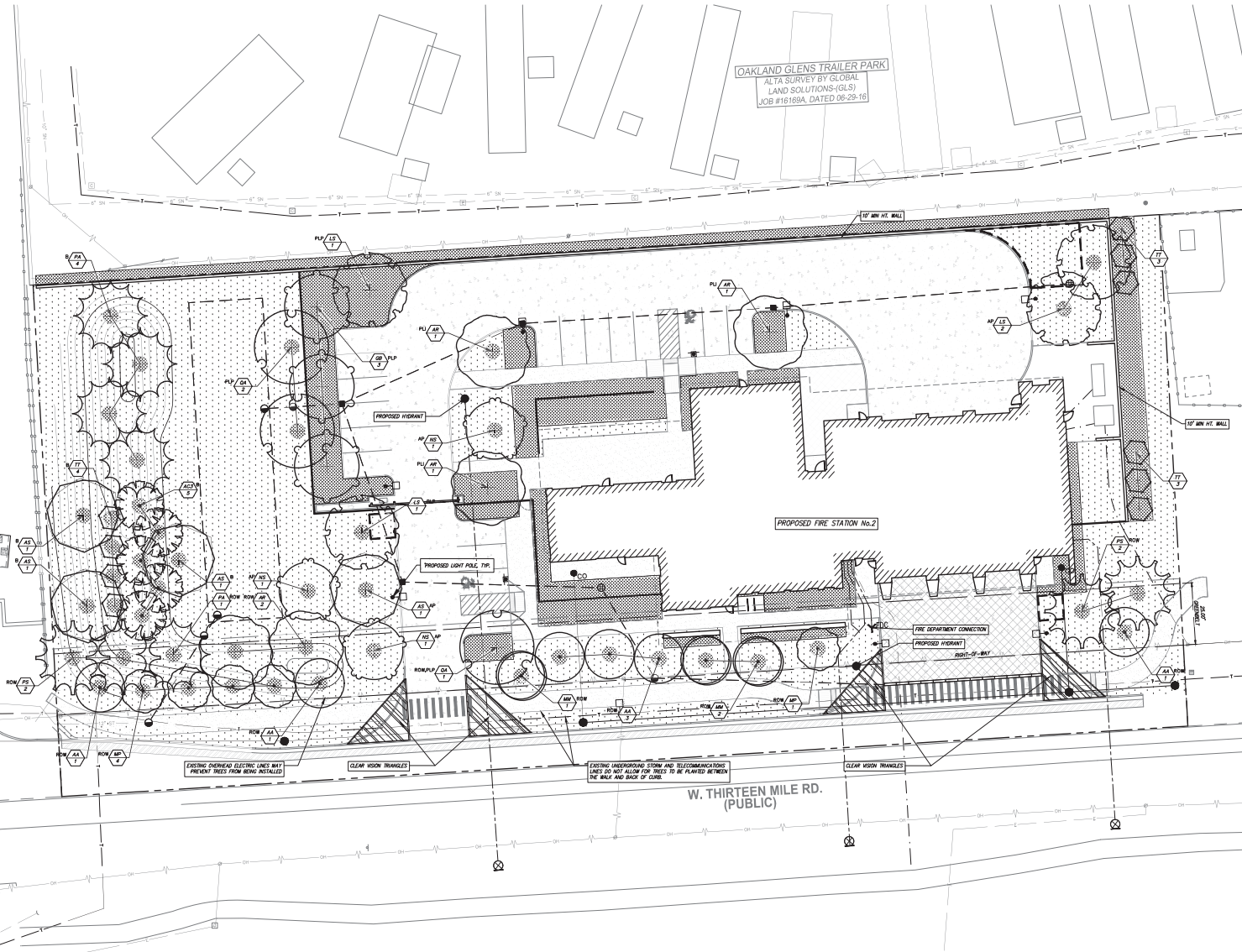
Date Issued For
05-04-2026 30% Progress Design
05-15-2026 Preliminary Site Application

NOT FOR CONSTRUCTION FOR REFERENCE ONLY



PRELIMINARY SITE PLAN

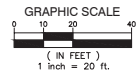
Grading Plan
C6.1



OAKLAND GLENS TRAILER PARK
 ALTA SURVEY BY GLOBAL
 LAND SOLUTIONS-(GLS)
 JOB #16189A, DATED 08-29-16

PROPOSED FIRE STATION No. 2

W. THIRTEEN MILE RD.
 (PUBLIC)



LEGEND

- PLANT TYPE (DESIGNATION) QUANTITY
- SNOW DEPOSIT AREA
- PROPOSED MOWN AND LANDSCAPED AREA
- SELECTION FOND PLANTING MIX
- LAWN RESTORATION
- PROPOSED 4" DIAMETER MALLEE BUSH FOR NON LANDSCAPED TREES
- PROPOSED LAMP POST

TREE DESIGNATION TYPES:

- PLP - PARKING LOT PERIMETER
- PI - PARKING LOT INTERIOR
- AI - ACCESSORY PAVEMENT
- NS - SIDE WALKWAY
- ST - STREET TREE
- F - FOLIAGE AREA
- B - LANDSCAPE BERRY BUSHES AND BILLS
- S - STORM BUSH PERIMETER

TREE AND PLANT SCHEDULE NOTES:

- CONTRACTOR TO VERIFY ALL PLANT QUANTITIES ON PLANS
- PLANT SPECIES SELECTIONS PROVIDED TO MEET CITY OF NOVI ORDINANCE REQUIREMENTS.
- DO NOT USE DWARF SPECIES OF ANY PLANT UNLESS SPECIFIED.

LAWN SEEDING NOTES:

- SEED ALL NON WATER DISTURBED AREAS, UNLESS OTHERWISE NOTED, WITH THE FOLLOWING MIXTURE:
 25% PERENNIAL BLERGESS
 25% CENTURY BLERGESS
 25% ANNUAL BLERGESS
 25% CENTURY RED FESCUE
- APPLY AT A RATE OF 5-6 LBS / 1,000 SF
- MACH BLENKETS SHALL BE USED ON ALL SLOPES 10% OR GREATER



City of Novi

45175 Ten Mile Road
 Novi, MI 48375

Fire Station No. 2

42000 W. 13 Mile Rd.
 Novi, MI 48377

Date Issued For
 05-04-2026 35% Progress Design
 05-15-2026 Preliminary Site Application

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See both sides of drawing for full project description and specifications



123 West 51 Street
 Royal Oak, Michigan
 48067 USA
 (248) 282-1500
 WWW.HED.DESIGN



2025-CO0308-002



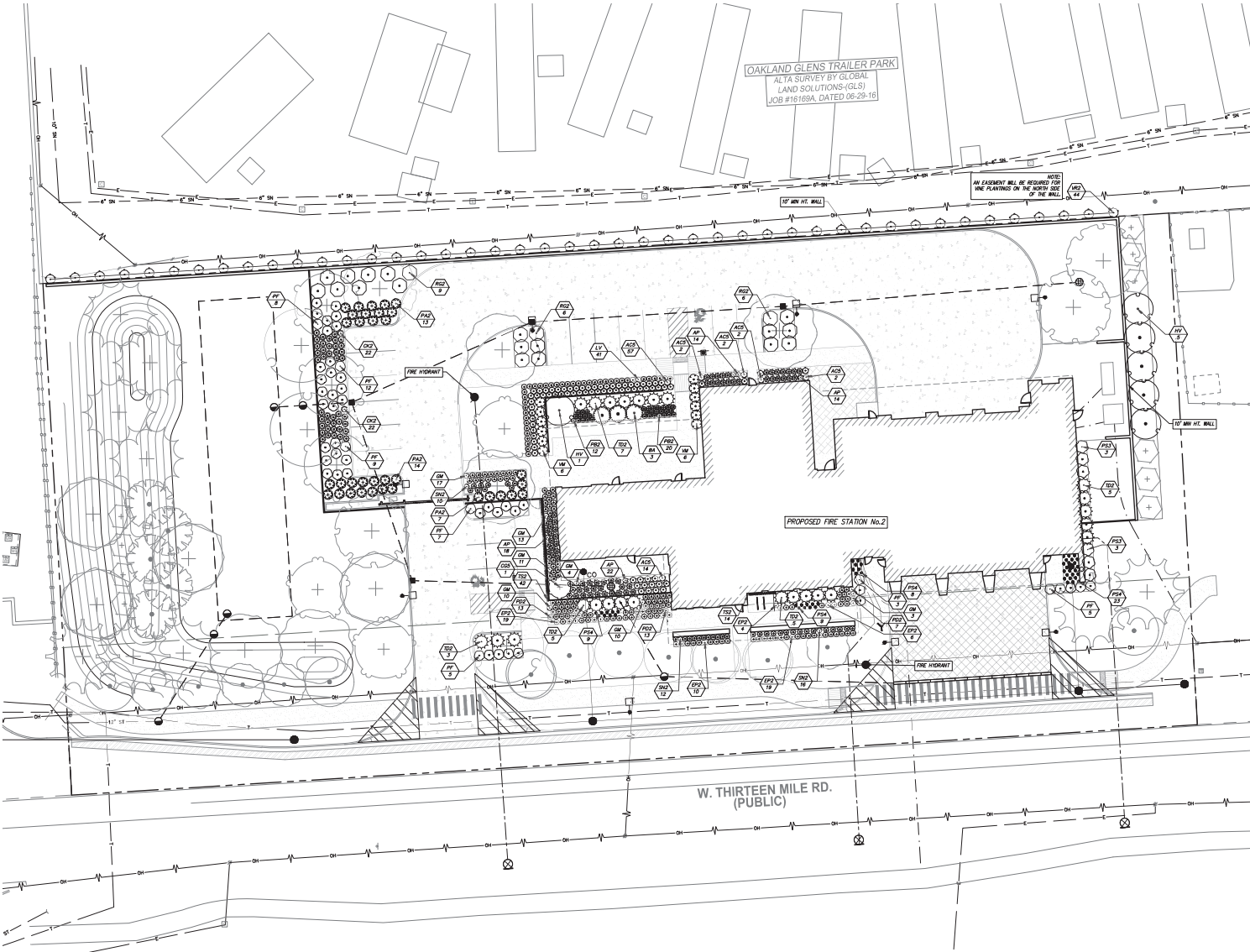
LANDSCAPE ARCHITECT
 NICHOLAS WALLACE, P.L.A.
 SPALDING DEDBECKER
 (571) 534-4443 EXT. 1008
 nicholas@spaldingdedecker.com

PRELIMINARY SITE PLAN

Tree Planting Plan

L1.1





LEGEND

PLANT TYPE (DESIGNATION)
 QUANTITY
 PROPOSED LAMP POST

- NOVI SPECIFICATIONS**
- WHETHER IN THIS ORDINANCE LANDSCAPE PLANTINGS ARE REQUIRED OR PERMITTED, THEY SHALL BE PLANTED BY AN APPROVED AND TRAINED LANDSCAPE ARCHITECT.
 - ALL PLANT MATERIALS SHALL BE INSTALLED BETWEEN MARCH 15TH AND NOVEMBER 15TH. ALL INSTALLED LANDSCAPES INCLUDING PLANT MATERIALS, MULCH, STAKING, IRRIGATION, AND SOAKING MUST BE INSTALLED AND INSPECTED BY THE CITY PRIOR TO ISSUANCE OF A TEMPORARY CERTIFICATE OF OCCUPANCY. AT THAT TIME, A FINANCIAL GUARANTEE OF 1.2 TIMES THE COST OF ANY DEFICIENCIES WILL BE HELD IN FULL RESPECT TO A FINAL CERTIFICATE OF OCCUPANCY. IN ORDER TO RECEIVE A FINAL CERTIFICATE OF OCCUPANCY, THE DEFICIENCIES MUST BE ADDRESSED WITHIN 30 DAYS DURING THE MARCH 15TH TO NOVEMBER 15TH PLANTING SEASON. IF THE DEFICIENCIES ARE NOT ADDRESSED IN THE PRE-DETERMINED TIME FRAME, THE CITY WILL CASH IN THE AMOUNT BEING HELD FOR THE OUTSTANDING ITEMS AND REPEAT THOSE ITEMS.
 - A CITY REPRESENTATIVE WILL PERFORM LANDSCAPE INSPECTIONS FOLLOWING A REQUEST FROM THE DEVELOPER TO CHECK THE PROGRESS OF THE PLANTING FROM MARCH 15TH TO NOVEMBER 15TH. A FINANCIAL GUARANTEE OF 1.2 TIMES THE COST OF ANY DEFICIENCIES WILL BE HELD IN FULL RESPECT TO A TEMPORARY CERTIFICATE OF OCCUPANCY AS OUTLINED ABOVE. BEGINNING APRIL 30TH, THE APPROVED FIRM HAS 30 DAYS TO COMPLETE ITEMS BY THE CITY WILL CASH IN THE AMOUNT BEING HELD AND FINISH THE JOB.
 - THE ESTABLISHMENT PERIOD FOR THE PLANT MATERIAL GUARANTEE WILL BEGIN REQUIRING AT THE FINAL CERTIFICATE OF OCCUPANCY INSPECTION APPROVAL TO 2 YEARS FROM THAT DATE, WITH A MAXIMUM OF 30 DAYS TO COMPLETE. IN CASE OF A HEALTHY GROWING CONDITION AT THE COMPLETION OF THE ESTABLISHMENT PERIOD, AT THE END OF THE ESTABLISHMENT PERIOD, ANY PLANTING, WHICH ARE JOB DEAD OR WEAKER, SHALL BE REPLACED.
 - REVISE OR AMENDMENT/CHANGE ORDERS
 - THE OWNER OF DEVELOPER MUST NOTIFY THE CITY OF THE INSTALLATION CONSULTANT. THE CITY MAY REJECT ANY MATERIAL WHICH IS SUBJECT TO AN UNDESIRABLE GROWING CONDITION.
 - WHICH CHANGES REGARDING PLANT MATERIALS FOR THE APPROVED AND STAMPED LANDSCAPE PLAN MAY BE ALLOWED UPON WRITTEN NOTIFICATION 75% AND WRITTEN SIGN-OFF BY THE CITY LANDSCAPE ARCHITECT OF SPECIES, SIZE, QUANTITY, AND LOCATION.
 - WHICH CHANGES DUE TO SEASONAL PLANTING PROBLEMS AND LACK OF PLANT AVAILABILITY MAY BE APPROVED IN WRITING BY THE CITY LANDSCAPE ARCHITECT WHEN THERE IS NO RECEIPT FOR THE QUANTITY OF PLANT MATERIALS, NO SIGNIFICANT CHANGE IN SIZE OR LOCATION OF PLANT MATERIAL, THE NEW PLANT MATERIAL IS COMPATIBLE WITH THE AREA AND IS OF THE SAME GENERAL TYPE/SPECIES/CHARACTERISTICS EXCEPTING SAME DESIGN CHARACTERISTICS (NATURE IDENTIC COLOR) AS THE MATERIAL BEING REPLACED. IF THESE CHANGES ARE NOT FULFILLED OR CHANGES ARE SIGNIFICANT FROM APPROVED PLAN, THE LANDSCAPE PLAN SHALL BE REVISED AND RESUBMITTED FOR PLAN APPROVAL.
 - MAINTENANCE
 - MAINTENANCE OF REQUIRED PLANTINGS BY THE OWNER SHALL BE CARRIED OUT SO AS TO PRESENT A HEALTHY APPEARANCE, FREE FROM WEEDS AND SOILING.
 - TO ASSURE PROPER MAINTENANCE AND AS A CONDITION OF FINAL SITE PLAN APPROVAL, THE PROPERTY OWNER SHALL ENTER INTO AND RECORD WITH THE OFFICE OF THE CLERK OF COURTS A COUNTY AGREEMENT OF CARE AND MAINTENANCE AGREEMENT. THIS AGREEMENT SHALL PROVIDE FOR THE MAINTENANCE RESTRICTIONS TO BE MAINTAINED BY THE MASTER STEEL. EACH OF WHICH SHALL BE APPROVED BY THE CITY ATTORNEY. SUCH AGREEMENT SHALL BE FILED WITH THE CLERK OF COURTS AS A CONDITION OF THE CITY'S DUTY RESPONSIBLE FOR MAINTENANCE, AND SHALL PROVIDE THE PROCEDURAL AUTHORITY AND FINANCE FOR CITY OFFICE OF RECORDS AS THE RESPONSIBLE PARTY. SUCH INSTRUMENT SHALL ALSO INCLUDE PROVISIONS THAT ALL UNLIVELY AND DEAD MATERIAL SHALL BE REMOVED WITHIN ONE (1) MONTH OF THE NEXT APPROVED PLANTING SEASON. WITHOUT RECORD FROM ALL LANDSCAPE ARCHITECTS BE PROVIDED WITH AN IRRIGATION SYSTEM (SEE STAKED, GUY WIRE) AND TREE WRAP ARE TO BE REMOVED AFTER ONE MONTH. SUCH PLANTINGS SHALL BE SUBJECT FOR THE (1) YEAR SEASONS AFTER DATE OF ACCEPTANCE OF THE INSTALLATION. IF DEATHS OF WEEDS EXCEED THE PERCENT SPECIFIED IN QUANTITY OF THE NEW COST OF OCCUPANCY, OR IF WEEDS ARE ALLOWED TO OBSTRUCT VISION ACROSS ANY PORTION OF THE SEASONS AND THE RESPONSIBLE PARTY IS UNWILLING TO RESPECT THE PROGRAM, THE CITY WILL HAVE SOON UNLIVELY AND SHALL ASSESS THE COST OF SUCH ABANDONED MATERIALS IN THE MANNER PROVIDED BY THE DEVELOPER AND APPROVED BY THE CITY IN SUCH INSTRUMENT.
 - RESPONSIBILITY AND CERTIFICATES OF OCCUPANCY. THE OWNER OF THE PROPERTY SUBJECT TO THE REQUIREMENTS OF THIS SECTION SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING PER LANDSCAPE ARCHITECT THE APPROVED FINAL LANDSCAPE PLAN AS STATED IN THIS SECTION. WHERE THE PROPERTY IS OCCUPIED BY A PORTION OTHER THAN THE OWNER, THE OCCUPANT SHALL ALSO BE RESPONSIBLE FOR MAINTENANCE. ALL LANDSCAPES MUST REMAIN FOREVER IN THE SECTION SHALL BE TREATED AS A SITE IMPROVEMENT FOR PURPOSES OF SUBSECTION 3002-8 & 11. THESE REQUIREMENTS SUPERSEDE ALL OTHER PLANTING REQUIREMENTS OR SPECIFICATIONS.



LANDSCAPE ARCHITECT:
NICHOLAS WALLACE, P.E.
SPALDING & DEBECKER
(313) 678-4400 EXT. 1208
nwallace@sp-dbg.com

PRELIMINARY SITE PLAN



City of Novi

46175 Ten Mile Road
Novi, MI 48377

Fire Station No.2

42000 W. 13 Mile Rd.

Date Issued For
06-14-2026 30% Progress Design
06-15-2026 Preliminary Site Application

NOT FOR CONSTRUCTION



HED
123 West 61st Street
Royal Oak, Michigan
48067 USA
(248) 262-1500
WWW.HED.DESIGN

BRWARCHITECTS
3333 TRAVIS STREET
SUITE 200
DALLAS, TEXAS 75244
BRWARCHITECTS.COM

2025-C00308-002

Foundation Planting Plan

L1.2



Know what's below. Call before you dig.





PLANNING REVIEW



PLAN REVIEW CENTER REPORT

June 12, 2026

Planning Review

Fire Station No. 2

JSP 26-0018

PETITIONER

HED Architects on behalf of the City of Novi

REVIEW TYPE

Preliminary Plan

PROPERTY CHARACTERISTICS

Section	2	
Site Location	North of Thirteen Mile Road, East of Novi Road; 42000 13 Mile Road	
Site School	Walled Lake Consolidated Schools	
Site Zoning	RA: Residential Acreage	
Adjoining Zoning	North	MH: Manufactured Home
	East	RA: Residential Acreage
	West	RM-1: Low Density Multiple Family
	South	RA: Residential Acreage
Current Site	Vacant	
Adjoining Uses	North	Oakland Glens Mobile Home community
	East	Single Family Home
	West	Wexford Townhomes community
	South	Brownstones at the Vistas community
Site Size	2.15 acres	
Plan Date	May 15, 2026	

PROJECT SUMMARY

The applicant, on behalf of the City of Novi, proposes a new Fire Station No. 2 on a 2.15-acre parcel on the north side of Thirteen Mile Road, between Novi Road and Meadowbrook Road. The property is zoned Residential Acreage and is currently vacant. The Future Land Use map indicates Single Family. An amendment to the Master Plan has been proposed to change the Future Land Use designation to Public/Quasi-Public to reflect the municipal ownership of the site.

RECOMMENDATION

Approval of the **Plan is recommended**. The plan mostly conforms to the requirements of the Zoning Ordinance, with a few non-conforming items noted in the review letters. **Planning Commission review and recommendation to the City Council of the Plan is required.**

PLANNING COMMISSION AUTHORITY

Section 61 of the Michigan Planning Enabling Act (MCL 125.3861) requires a planning commission to review the "location, character, and extent" of a municipality's proposed construction projects. Since case law has determined a local government is not subject to its own zoning ordinance when performing a governmental function (*Morrison et al. v. City of East Lansing*), the review of a project by the planning commission is to focus on whether the proposal is consistent with the adopted master plan. The purpose of the review is to determine if the project fits within the future direction for the community.

2025 MASTER PLAN

The adopted 2025 Master Plan designates the subject property for Single Family use, which is consistent with the current Residential Acreage zoning district.

The Public/Quasi Public land use category is intended for “non-park facilities and properties under the ownership of public municipalities, non-profits, utility companies, public and private schools, and religious institutions.” This would include uses such as government offices, schools, essential services, and cemeteries. During the 2025 Master Plan process, all properties owned by the City and other governmental entities or public utilities were designated as Public/Quasi Public or Public Park.

One of the Guiding Principles in the Master Plan is the statement “Novi is a community that builds on its assets” (Chapter 11: Action Plan, Page 127). Further, when community survey respondents were asked what they liked about Novi, one of the top four responses was the quality of municipal services. “These assets are foundational for a community sought after as a place to reside and attract business.” The Public Safety Bond approved by voters, and the new Fire Station projects proposed as a result, will build on the City’s assets.

Another of the Guiding Principles in the Master Plan is the statement: “A community that promotes welfare, health, and safety for its residents” (Chapter 11: Action Plan, Page 128). The Master Plan talks about the Novi Fire Department’s 2022-2027 Strategic Plan, and the effort to seek accreditation. The new Fire Station proposed promotes the welfare, health and safety of both Novi residents and the emergency personnel that will serve the community from the station. As described by the designers, the new facilities will have greatly improved operational efficiencies to better serve the community as well as a focus on the health and wellness of everyone that works there. For example, there will be a decontamination zone for after-event cleaning to help reduce exposure to carcinogens.

Also in the Action Plan, the Master Plan lists the goals and specific actions to achieve the City’s desired outcomes and initiatives. The following statements from the Action Plan apply to the proposed Fire Station No. 2 project:

- **Goal B Community Identity:** “The City’s identity is largely based on its high-quality residential neighborhoods and schools, destination retail and convention space, and its parks. The City should supplement that identity by enhancing preservation of its historic resources and expanding its cultural opportunities. New development of land should continue to be of high-quality design and materials.” The proposed new Fire Station No. 2 appears to be consistent with this goal, with elevations showing a mix of brick, stone, and standing seam metal. The façade review indicates the design is in full compliance with the façade ordinance.
- **Action Item B1:** “Encourage the use of high quality right-of-way plantings, site landscaping, and building materials to enhance the appearance of the community.” The landscaping plan shows an attractive landscape design with foundation plantings, greenbelt accents, and street trees.
- **Goal C Environmental Stewardship:** “The City of Novi is significantly enhanced by the preservation of natural resources in both residential and non-residential areas. Maintain public and private stewardship of the natural environment using low-impact development techniques.” The proposed plan attempts to avoid impacting as many regulated woodland trees as possible by maintaining the existing berm although it is deficient in height.
- **Goal D Infrastructure:** Invest wisely in the ongoing maintenance and improvements to existing infrastructure, including utilities and the transportation network....” The proposed new Fire Station No. 2 appears to be consistent with this goal as the City is investing in new public safety facilities that will serve the community for decades to come.
- **Action Item D7:** “Implement the recommendations of the Active Mobility Plan.” The proposed plan includes bike parking facilities which are recommended in the AMP.

ORDINANCE REQUIREMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the

Zoning Ordinance. Please see the attached chart for additional information pertaining to ordinance requirements.

1. Noise Impact Statement: For municipal uses, the I-1 District states a Noise Analysis is required subject to the standards of Section 5.14.10.B. Such analysis "shall be prepared by a certified sound engineer qualified to evaluate noise emissions under maximum operating conditions." HED states that the Noise Analysis is underway by an acoustician, and lists several noise attenuation strategies that will be implemented:
 - a. A heavily vegetated landscape berm is located at the property line adjacent to the residential zone to further decrease noise levels.
 - b. The specified generator will include the manufacturer's level 3 sound attenuation enclosure.
 - c. The generator will be tested on a schedule during daytime hours only and activated in the event of power loss to the facility.
 - d. The generator will be located behind a masonry screen wall with sound attenuation panels if necessary to bring dB level into compliance with the City's performance standards.
 - e. HVAC equipment is rooftop mounted and screened by the building's parapet wall assembly.
 - f. The potentially specified station alerting devices will be provided with volume control.
 - g. Landscaping and fencing surround outdoor living areas for staff.

When provided by the applicant, Staff will review to ensure sound levels do not exceed 55 dB during night hours and 60 dB during day-time hours at the residential property line as required by the Ordinance.

2. Screening Wall: The current plan shows a 10-foot masonry screening wall will be constructed on the north and east side of the property to help mitigate the negative impacts on adjacent residents. See Landscape Review for detailed comments on berms vs. screening wall.
3. Items that do not conform to the Ordinance requirements: The following items do not conform to the standard Ordinance requirements:
 - a. Overhead door faces a residential district. Due to the need to pull emergency vehicles into the apparatus bays the overhead doors need to face the residential district.
 - b. Use of a 10-foot wall instead of the required 6-foot landscaped berm to buffer residential properties from non-residential use.
 - c. The Landscape Plan is deficient by seven parking lot perimeter trees, primarily where the screening wall is proposed and does not allow room for planting.
 - d. Deficiency in one accessway perimeter tree.
 - e. No street trees are provided due to utility conflicts.
 - f. Use of a hedge instead of a berm to screen the west parking bay from Thirteen Mile Road.
 - g. Deficiency in building foundation landscaping (60% required, 54% proposed).
 - h. The east façade elevations do not meet the minimum brick & stone (30% required, 10% proposed), and the amount of standing seam metal roof (40%) and fiber cement panels (50%) exceed allowable percentages (25% each).
4. Plan Review Chart: Planning review chart provides additional comments and requests clarification for certain items. **Please address them in addition to the comments provided in this letter.**

OTHER REVIEWS

- a. Engineering Review: Engineering recommends approval of the Preliminary Plan. Additional comments to be addressed with final site plan.

- b. Landscape Review: Landscape recommends approval of the Preliminary Plan. Additional comments to be addressed with final site plan.
- c. Traffic Review: Traffic recommends approval of the Preliminary Plan. Additional comments to be addressed with final site plan.
- d. Facade Review: **Facade does not recommend approval at this time.** The east elevations do not meet the minimum brick & stone (30% required, 10% proposed), and the amount of standing seam metal roof and fiber cement panels exceed allowable percentages.
- e. Fire Review: Fire recommends approval.

NEXT STEP: PLANNING COMMISSION MEETING

The site plan will be scheduled for Planning Commission's consideration on July 8, 2026. Please provide the following by July 1, 2026:

1. Original Plan submittal in PDF format (maximum of 10MB). **NO CHANGES MADE.**
2. A response letter addressing ALL the comments from ALL the review letters, especially noting any changes that will be made.

FINAL PLAN SUBMITTAL

After receiving Planning Commission's approval of the Plan, please follow the [Final Site Plan Checklist](#) and submit for approval¹:

1. Six copies of Final Plan sets addressing all comments from Preliminary review,
2. Response letter addressing ALL the comments from ALL the review letters and **refer to sheet numbers where the change is reflected.**
3. [Final Site Plan Application](#)
4. [Final Site Plan Checklist](#)
5. Engineering Cost Estimate
6. Landscape Cost Estimate
7. Drafts of any legal documents (note that off-site easements need to be executed and any on-site easements need to be submitted in draft form before stamping sets will be stamped)

ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER

After receiving Final Plan approval, please submit the following for Electronic stamping set approval:

1. Plans addressing the comments in all of the staff and consultant review letters in PDF format.
2. Response letter addressing all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

STAMPING SET APPROVAL

Stamping sets are still required for this project. After having received all of the review letters from City staff the applicant should make the appropriate changes on the plans and submit **8 size 24" x 36" copies with original signature and original seals**, to the Community Development Department for final Stamping Set approval.

PRE-CONSTRUCTION MEETING

A Pre-Construction meeting is required for this project. Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued. **No work on the site may be commenced before a pre-construction meeting is held.** There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have

¹ While the zoning ordinance (e.g., "final site plan" requirements) does not apply to the City, the process described here is an appropriate way for the Department to assist in the finalization of plans for the project and the appropriate retention of same.

questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

Note that as part of the construction process performance and payment guarantees will be required of the contractor prior to commencement of any work.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0475 or lbell@cityofnovi.org.



Lindsay Bell, AICP – Director of Planning



PLANNING REVIEW CHART: RA – Residential Acreage

Project Name: JSP26-17 Fire Station No.2 (42000 13 Mile Road)
Review Date: April 23, 2026
Review Type: Preliminary Site Plan
Plan Date: May 15, 2026
Prepared By: Lindsay Bell, AICP, lbell@cityofnovi.org (248) 347-0587

PROJECT SUMMARY

The applicant proposes a new **Fire Station No. 2** on a 2.15-acre parcel on the north side of 13 Mile Road, east of Novi Road. The property is zoned RA: Residential Acreage and is currently vacant.

NOTES

- This chart serves as a working summary and is not intended to replace any Ordinance, requirement, or standard of the City of Novi.
- References to relevant ordinance sections are indicated in parenthesis. Please refer to the [City of Novi Ordinance](#) for complete details.
- Comments highlighted in **bold** must be addressed in the Preliminary Site Plan submittal response letter.

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan (Adopted 6/25/25)	Single Family	Municipal facility building	Yes	
Zoning (Effective 1/8/15)	R-A: Residential Acreage	R-A: Residential Acreage	Yes	No change proposed
Uses Permitted (Section 3.1.1.B & C)	B: Principal Permitted Uses C: Special Land Uses	Municipal uses/Publicly owned buildings		
Noise Impact Statement (Sec. 5.14.10.B.i)	Noise Analysis to be prepared by a design professional: <ul style="list-style-type: none"> • Description of noise emissions • Compliance with 5.14.10.A • Hours of operation Soundproofing measures	Emergency generator testing anticipated, as well as noise emissions from emergency vehicles; Hours of operation are 24 hr/7 days as essential service	TBD	See Planning Review
RA: Residential Acreage - Height, Bulk, Density and Area Limitations (Section 3.1.1)				
Lot Size (Section 3.1.1.D)	RA zoning requires: <ul style="list-style-type: none"> - Minimum 1 acre lots - Minimum 150 ft lot width 	2.15 acre; 1.87 acre net	Yes	
Lot Width (Section 3.1.1.D)	150 feet	457 ft	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Maximum Lot Coverage (By All Buildings) (Section 3.1.1.D)	25%	16%	Yes	
Building Setbacks (Section 3.1.1.D)	Front: 45 ft minimum	26.79	No	See Note to District Standards, Sec 3.6.2.B for non-residential uses in residential district
	Rear: 50 ft minimum	58.7 feet	Yes	
	Side: 20 ft one side, 50 ft total two sides	42.2 feet east 203 feet west	Yes	
Building Height (Section 3.1.1.D)	Maximum 35 feet or 2 ½ stories, whichever is less	32' 1"	Yes	
Parking Setbacks (Section 3.6.2.B)	Off-street parking must be at least 20 feet from interior side or rear lot lines and meet the building setback from front and exterior sides.	26 feet from north lot line	Yes	
Minimum Floor Area (Section 3.1.1.D)	1,000 sq ft per unit	12,873 sf	Yes	
Dwelling Unit Density (Section 3.1.1.D)	0.8		NA	
Note To District Standards (Section 3.6.2)				
Area Requirements (Section 3.6.2.A)	Lot width shall be measured at the intersection of the front setback line and the side lot lines. The distance between side lot lines shall not be less than 90% of the required minimum lot width between the front setback line and the main building.	Complies	Yes	
Building and Parking Setbacks (Section 3.6.2.B)	Non-Residential Uses: For all uses other than SF, building setbacks shall be at least 75 feet. The minimum building setback from access streets may be reduced to 50 feet for fire department structures where quick access to the street network is required.	Structure setback from 13 Mile does not observe 50-foot setback Setbacks on north and east sides does not observe 75-foot setback	No No	<u>See Planning Review</u>
Exterior Side Yard Abutting a Street (Section 3.6.2.C)	All exterior side yards abutting a street shall have a setback equal to the front yard setback		NA	

Item	Required Code	Proposed	Meets Code	Comments
	requirement of the district in which located			
Wetland/Watercourse Setback (Section 3.6.2.M)	A wetland and watercourse setback shall be maintained in all districts	No wetlands present	NA	
Site Standards (Section 5)				
Off-Street Parking (Sec. 5.2.12.E)	Fire notes 7 vehicles in largest shift, with enough for shift change = 14 + 4 public	20 spaces	Yes	
Parking Space Dimensions and Maneuvering Lanes (Sec. 5.3.2)	- 90° Parking: 9 ft. x 19 ft. - 24 ft. two way drives - 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping	90° Parking with 10' x 20' shown 24-25 ft two way drives shown 6" curb with 10' x 20' spaces	Yes	
End Islands (Sec. 5.3.12)	- End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 ft. wide, have an outside radius of 15 ft., and be constructed 3 ft. shorter than the adjacent parking stall	No "end islands" present	NA	
Parking stall located adjacent to a parking lot entrance (public or private) (Sec. 5.3.13)	Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	~22 feet?	No	<u>See Planning Review</u>
Barrier Free Spaces Barrier Free Code	With 20 spaces, 1 BF van-accessible space required	2 shown	Yes	
Barrier Free Space Dimensions Barrier Free Code	- 8' wide with an 8' wide access aisle for van accessible spaces - 8' wide with a 5' wide access aisle for regular accessible spaces	Van accessible: 10' with 8' aisle	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Barrier Free Signs Barrier Free Code	One sign for each accessible parking space.	Shall comply	TBD	
Corner Clearance (Sec. 5.9)	No fence, wall plant material, sign or other obstruction shall be permitted within the clear view zone above a height of 2 feet from established street grade	Shown	Yes	
Minimum number of Bicycle Parking (Sec. 5.16.1) Essential Services	None required	2 racks shown	Yes	
Bicycle Parking Lot layout (Sec 5.16.6)	Parking space width: 7 ft. One tier width: 11 ft. Two tier width: 18 ft. Maneuvering lane width: 4 ft. Parking space depth: 32 in.		TBD	<p>The diagram, titled '5.16.6 Bicycle Parking Lot Layout', illustrates a parking arrangement with four rows of spaces. The top and bottom rows are 48 inches deep, while the two middle rows are 32 inches deep. The total width of the lot is 18 feet, and the maneuvering lane width is 4 feet. The total length of the lot is 7 feet.</p>
Bicycle Parking General requirements (Sec. 5.16)	No farther than 120 ft. from the entrance being served Spaces to be paved and the bike rack shall be inverted "U" design Shall be accessible via 6 ft. paved sidewalk	Shown at main entrance	Yes	Provide rack detail and layout detail as shown above in FSP submittal
Design & Construction Standards				
Public Sidewalks (Chapter 11, Section 11-256(c))	An 8 ft wide public sidewalk shall be constructed along all arterial and collector roads except in industrial districts	Sidewalk existing on Thirteen Mile Road within ROW and sidewalk easements	Yes	Show width of sidewalk
Internal Sidewalks (Chapter 11, Section 11-256(c), Subdivision Ordinance Section 4.05)	Minimum 5 ft wide sidewalks are required on both sides of internal streets. Sidewalks may be omitted on only one side if that side cannot be developed	Sidewalks shown within site	Yes	
Active Mobility Plan	No additional pathways shown.		NA	
Accessory and Rooftop Structures (Sec. 4.19)				

Item	Required Code	Proposed	Meets Code	Comments
Dumpster <i>(Sec 4.19.2.F)</i>	<ul style="list-style-type: none"> - Located in rear yard - Attached to the building or no closer than 10 ft. from building if not attached - Not located in parking setback - If no setback, then it cannot be any closer than 10 ft, from property line. - Away from Barrier free Spaces 			<i>Dumpster not proposed – plans indicate residential trash bins would be used</i>
Dumpster Enclosure <i>(Sec. 21-145. (c) Chapter 21 of City Code of Ordinances)</i>	<ul style="list-style-type: none"> - Screened from public view - A wall or fence 1 ft. higher than height of refuse bin - And no less than 5 ft. on three sides - Posts or bumpers to protect the screening - Hard surface pad. - Screening Materials: Masonry, wood or evergreen shrubbery 		NA	<i>Dumpster not proposed – plans indicate residential trash bins would be used</i>
Roof top equipment and wall mounted utility equipment <i>(Sec. 4.19.2.E.ii)</i>	<p>All roof top equipment, including mechanical and electrical equipment, shall not exceed the maximum permitted building height limits, unless the following are met: For every 1 foot of excess height, it shall be set back 5 feet from any and all building faces. No roof top appurtenance shall exceed 5 feet above max height of district.</p>	<p>All roof mounted mechanical equipment will be screened in accordance with ord</p>	TBD	Verify presence and screening of any roof top equipment
Roof top appurtenances screening	<p>Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road or adjacent property.</p>	<p>Response letter indicates screening will be provided</p>		
Transformers/ Utility Boxes <i>(Sec. 4.19.2.I)</i>	<ul style="list-style-type: none"> - If under 4-ft in height may be located next to a building in a rear or 	<p>Side yard location, screening proposed</p>	No	<u>See Planning Review</u>

Item	Required Code	Proposed	Meets Code	Comments
	side yard and meet the setback for accessory building; - Shall not interfere with pedestrian or vehicle flow; - Units over 4 ft shall be located in the rear yard - All units must be screened per Landscape Design Manual			
Flagpoles (Sec 4.19.2.B)	May be located in front or exterior side yard, no closer to ROW than ½ the distance between the ROW and Principal building	Flag pole located near SW of building, 20 ft. height	Yes	
Lighting and Photometric Plan (Sec. 5.7)				
Intent (Sec. 5.7.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky			
Lighting Plan (Sec. 5.7.2.A.i)	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures	Provided	Yes	
Building Lighting (Sec. 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.			
Lighting Specifications (Sec. 5.7.A.2.ii)	Specifications for all proposed & existing lighting fixtures	Provided	Yes	
	Photometric data	Provided	Yes	
	Fixture height	Provided	Yes	
	Mounting & design	Provided	Yes	
	Glare control devices (Also see Sec. 5.7.3.D)	Provided	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	Type & color rendition of lamps	Provided	Yes	
	Hours of operation	Provided	Yes	
Max Height (Sec. 5.7.3.A)	Height not to exceed maximum height of 25 feet	25 feet	Yes	
Standard Notes (Sec. 5.7.3.B)	<ul style="list-style-type: none"> - Electrical service to light fixtures shall be placed underground - Flashing light shall not be permitted - Only necessary lighting for security purposes & limited operations shall be permitted after a site's hours of operation 		TBD	Provide standard notes on the plan
Indoor Lighting (Sec. 5.7.3.H)	Indoor lighting shall not be the source of exterior glare or spillover			
Security Lighting (Sec. 5.7.3.I) Lighting for security purposes shall be directed only onto the area to be secured.	<ul style="list-style-type: none"> - All fixtures shall be located, shielded and aimed at the areas to be secured. - Fixtures mounted on the building and designed to illuminate the facade are preferred 			
Color Spectrum Management (Sec. 5.7.3.F)	Non-Res and Multifamily: For all permanent lighting installations - minimum Color Rendering Index of 70 and Correlated Color Temperature of no greater than 3000 Kelvin	3000K 80 CRI	Yes	
Parking Lot Lighting (Sec. 5.7.3.J)	<ul style="list-style-type: none"> - Provide the minimum illumination necessary to ensure adequate vision and comfort. Full cut-off fixtures shall be used to prevent glare and spillover.	Provided	Yes	
Min. Illumination (Sec. 5.7.3.L)	Parking areas: 0.2 fc min	0.5 fc min	Yes	
	Loading & unloading areas: 0.4 fc min		NA	
	Walkways: 0.2 fc min	0.6 fc min	Yes	
	Building entrances, frequent use: 1.0 fc min	2.5 fc	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	Building entrances, infrequent use: 0.2 min	3.1 fc	Yes	
Average Light Level (Sec.5.7.3.L)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1	Not shown	TBD	Please calculate ratio for paved parking/drive areas in next submittal
Max. Illumination adjacent to Residential (Sec. 5.7.3.M)	<ul style="list-style-type: none"> - Fixture height not to exceed 25 feet - Cut off angle of 90 degrees or less - No direct light source shall be visible at the property line adjacent to residential at ground level - Maximum illumination at the prop line not to exceed 0.5 fc. 	25 ft proposed Max. illumination at property line will not exceed 0.5 fc.	Yes	
Other Permit and Legal Requirements				
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).		TBD	
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).		TBD	See this chart and other reviews for missing information
Woodlands (City Code Ch. 37)	Replacement of removed trees	No regulated trees on site	NA	
Wetlands (City Code Ch. 12, Art. V)	Mitigation of removed wetlands at ratio of 1.5:1 emergent wetland, 2:1 for forested wetlands	No regulated wetland on site	NA	
Building Exits	Building exits must be connected to sidewalk system or parking lot.	Appears to comply	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Signs <i>(Chapter 28)</i>	Signage, if proposed, requires a permit.		TBD	For permit information contact Ordinance at (248) 735-5678.
Development and Street Names	Must be approved by the Project and Street Naming Committee		NA	

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

6/8/2026

Engineering Review

Fire Station 2
JSP26-0017

APPLICANT

HED Architects

REVIEW TYPE

Preliminary Site Plan

PROPERTY CHARACTERISTICS

- Site Location: Located on the north side of Thirteen Mile Road east of Novi Road in Section 11 of the City of Novi
- Site Size: 2.15 acres
- Plan Date: 5/15/2026
- Design Engineer: Spalding DeDecker

PROJECT SUMMARY

- Construction of an approximately 13,000 square-foot fire station building and associated parking. Site access would be provided via public roadways.
- Water service would be provided by an 8-inch extension from the existing 16-inch water main along the south side of Thirteen Mile Road. Two domestic leads and one fire lead are proposed to serve the building, along with two hydrants.
- Sanitary sewer service would be provided by an off-site extension from the existing 8-inch sanitary sewer along the south side of Thirteen Mile Road. Two leads are proposed to serve the building, along with monitoring manholes.
- Storm water would be collected by a single storm sewer collection system and discharged to an underground detention basin that outlets to storm sewer in the right-of-way.

RECOMMENDATION

Approval of the Preliminary Site Plan is **recommended**. At this time, the plan meets the general requirements of the design and construction standards as set forth in [Chapter 11 of the City of Novi Code of Ordinances](#), the Storm Water Management Ordinance and the [Engineering Design Manual](#) with the following items to be addressed at the time of Final Site Plan submittal:

COMMENTS

1. Provide sight distance measurements for the Thirteen Mile Road entrance in accordance with Figure VIII-E of the [Design and Construction Standards, Chapter 11 of the City of Novi Code of Ordinances](#).
2. A same-side/opposite-side driveway spacing Waiver is not required at this time driveways are more than 185 feet away from existing drives.
3. Provide a traffic control plan for the proposed road work activity Thirteen Mile Road.
4. Provide a note that compacted sand backfill (MDOT sand Class II) shall be provided for all utilities within the influence of paved areas; illustrate and label on the profiles.
5. Provide a construction materials table on the utility plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
6. Provide a utility crossing table indicating that at least 18-inch vertical clearance will be provided, or that additional bedding measures will be utilized at points of conflict where adequate clearance cannot be maintained.
7. Provide a note stating if dewatering is anticipated or encountered during construction, then a dewatering plan must be submitted to the Engineering Division for review.
8. Generally, all proposed trees shall remain outside utility easements. Where proposed trees are required within a utility easement, the trees shall maintain a minimum 5-foot horizontal separation from water main and storm sewer and 10-foot horizontal separation from sanitary sewer. All utilities shall be shown on the landscape plan, or other appropriate sheet, to confirm the separation distance.
9. The dedication of the master-planned right-of-way is requested for the project along Thirteen Mile Road.
10. A [Right-of-Way Permit](#) will be required from the City of Novi.
11. **Only at the time of the printed Stamping Set submittal**, provide the City's standard detail sheets for water main (5 sheets), sanitary sewer (3 sheets), storm sewer (2 sheets), and paving (2 sheets). The most updated details can be found on the City's website under [Engineering Standards and Construction Details](#).

WATER MAIN

12. Provide a profile for all proposed public water main 8-inch or larger at time of final site plan submittal.
13. Indicate why unit factor of 2 per employee was used as opposed to the Oakland County REU unit factor of 0.4 per employee. A peaking factor of 2.5 should be used for water main.
14. Water Systems must have the ability to serve at least two thousand (2,000) gallons per minute in single-family detached residential; three thousand (3,000) gallons per minute in apartment, cluster residential and similar complexes, institutional and school areas; and at least four thousand (4,000) gallons per minute in office, industrial and shopping centers is essential.

15. 6-inch hydrant leads are allowed for leads less than or equal to 25 feet in length. 8-inch leads are required for leads greater than 25 feet in length.
16. All gate valves 6 inches or larger shall be placed in a well with the exception of a hydrant shut off valve. A valve shall be placed in a box for water main smaller than 6 inches. Show valve locations for hydrants and leads.
17. In the general notes and on the profile, add the following note: "Per the Ten States Standards Article 8.8.3, one full 20-foot pipe length of water main shall be used whenever storm sewer or sanitary sewer is crossed, and the pipe shall be centered on the crossing, in order to ensure 10-foot separation between water main and sewers." Additionally, show the 20-foot pipe lengths on the profile.
18. Once all water main comments are addressed, submit EGLE application and all associated files directly to Engineering for EGLE submittal.
19. A sealed set of utility plans along with the [Michigan Department of Environment, Great Lakes & Energy \(EGLE\) permit application](#) for water main construction, the [Streamlined Water Main Permit Checklist](#), [Contaminated Site Evaluation Checklist](#), [Basis of Design](#), and an electronic version of the utility plan should be submitted to the Engineering Division for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets, and the standard detail sheets.

IRRIGATION

20. Provide irrigation plans at time of final site plan submittal.

SANITARY SEWER

21. Show the existing right-of-way for Wexford Townhomes, relocated sanitary sewer so that it is at least 10 feet from the edge of the curb on Thirteen Mile Road. An off-site sanitary sewer easement will be required from Wexford Townhomes.
22. Indicate why the unit factor of 4 per employee was used as opposed to the Oakland County REU unit factor of 0.4 per employee.
23. Sanitary Basis of Design calculations should use peaking factor of 4.0 and 3.2 People/REU, peaking factor of 4.0 is only for sanitary not for water main.
24. Note on the construction materials table that 6-inch sanitary leads shall be a minimum SDR 23.5, and mains shall be SDR 26.
25. Provide a note on the Utility Plan and sanitary profile stating the sanitary leads will be buried at least 5 feet deep where under the influence of pavement.
26. Once all sanitary sewer comments are addressed, submit EGLE application and all associated files directly to Engineering for EGLE submittal.
27. An electronic copy of the utility plans along with the [Michigan Department of Environment, Great Lakes & Energy \(EGLE\) permit application](#), and the Streamlined Sanitary Sewer Permit Certification Checklist should be submitted to the Engineering Division for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets, and the standard detail sheets. It should be indicated with the application if an expedited EGLE review is requested. EGLE will charge a fee that can be paid directly to the State.

STORM SEWER

28. Provide profiles for all storm sewer 12-inch and larger at time of final site plan submittal. All storm pipes accepting surface drainage shall be 12-inch or larger. A minimum cover depth of 3 feet shall be maintained over all proposed storm sewer.
29. Provide a 0.1-foot drop in the downstream invert of all storm structures where a change in direction of 30 degrees or greater occurs.
30. Match the 0.80 diameter depth above invert for pipe size increases.
31. Storm manholes with differences in invert elevations exceeding two feet shall contain a 2-foot-deep plunge pool.
32. Provide a four-foot-deep sump and an oil/gas separator in the last storm structure prior to discharge to the underground detention system.
33. Label the 10-year HGL and the 100-year HGL on the storm sewer profiles and ensure the HGL remains at least 1-foot below the rim of each structure.
34. Illustrate all pipes intersecting storm structures on the storm profiles.
35. Provide a schedule listing the casting type, rim elevation, diameter, and invert sizes/elevations for each proposed, adjusted, or modified storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.
36. Show and label all roof conductors and show where they tie into the storm sewer.
37. Provide a storm sewer basis of design table at time of final site plan submittal.

STORM WATER MANAGEMENT PLAN

38. The Storm Water Management Plan (SWMP) for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the [Engineering Design Manual](#).
39. Provide calculations verifying the post-development runoff rate directed to the proposed receiving drainage course does not exceed the pre-development runoff rate for the site.
40. The SWMP must address the discharge of storm water off-site, and evidence of its adequacy must be provided. This should be done by comparing pre- and post-development discharge rates. The area being used for this off-site discharge should be delineated and the ultimate location of discharge shown.
41. Provide manufacturer's details and sizing calculations for the pretreatment structure(s) on the plans. Provide drainage area and runoff coefficient calculations specific to the area tributary to each treatment structure. The treated flow rate should be based on the 1-year storm event intensity (~1.6 In/Hr).
42. Pretreatment structure shall limit the concentration of Total Suspended Solids (TSS) to 80% based on the 110-micron particle size. The NJDEP standard of 50% removal is also allowable, as it is for the target median particle size of 75-microns.

43. The flow restriction shall be accomplished by methods other than a pipe restriction in an oversized pipe due to the potential for clogging and restrictor removal. A perforated standpipe, weir design, baffle wall, etc. should be utilized instead.
44. The primary outlet standpipe shall be designed with a secondary outer pipe with numerous holes. The stone filter would rest against this outer pipe and would help protect the outlet standpipe from clogging.

UNDERGROUND DETENTION REQUIREMENTS

45. Provide 3-foot clearance between the groundwater elevation and the bottom of the underground detention facility. If a closed pipe system is proposed, then a 3-foot clearance is not required.
46. Provide the overland routing that would occur in the event the underground system cannot accept flow. This route shall be directed to a recognized drainage course or drainage system.
47. Based on type of system proposed provide an underdrain along the downstream side of the underground detention system which is tied into a manhole as a means of secondary storm water conveyance to the outlet.
48. Provide a table or note addressing the required bedding depth vs. bearing capacity of the underlying soils in the vicinity of the underground detention system per the manufacturer's specifications.
49. Provide a note on the plans stating the City's inspecting engineers shall verify the bearing capacity of the native soils to verify an adequate bedding depth is provided.
50. Void Space of aggregate bedding will be allowed using the following parameters:
 - a. Using stone with a 40% void space, a 20% factor of Safety will be applied. Therefore, a 0.3 void ratio should be used in calculation to determine the allowed void storage volume.
51. Based on type of system proposed provide an isolator row in the underground detention system in addition to the swirl concentrator chamber or upstream infiltration practices. Contact the Engineering Division for further information.
52. Provide a note on the underground detention detail that aggregate porosity will be tested, and results provided to the City's inspecting engineers.
53. Provide 8-inch inspection ports on storage rows.
54. For isolator rows, 12-inch inspection ports will be required every 100 feet and manholes will be required as directed. Underground storage systems without an isolator row shall include 4-foot diameter manholes at one end of each row for maintenance access purposes.
55. Provide critical elevations (V_{CP-R} , V_{ED} and V_{100}) for the detention system. Also, provide a cross-section for the underground detention system. Ensure that there is at least 1 foot of freeboard between the 100-year (V_{100}) elevation and the subgrade elevation beneath the pavement.
56. The underground detention system shall be kept outside of the influence of any planting areas.

PAVING & GRADING

57. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed.
58. Revise the pathway cross-section to indicate a maximum cross-slope of 2%.
59. Specify the product proposed and provide a detail for the detectable warning surface for barrier free ramps. The product shall be the concrete-embedded detectable warning plates, or equal, and shall be approved by the Engineering Division. Stamped concrete will not be acceptable.
60. Verify the slopes along the ingress/egress routing to the building from the barrier-free stalls. All barrier-free stalls shall comply with Michigan Barrier-Free regulations.
61. Provide at least 3-foot buffer distance between the sidewalk and any fixed objects, including hydrants and irrigation backflow devices. Include a note on the plan where the 3-foot separation cannot be provided.
62. Revise pavement cross section for asphalt, pavement for Thirteen Mile Road should match Detail 2B for collector and industrial roads.
63. Revise pavement cross sections, Class II sand is not allowed as a pavement base, 21 AA aggregate can be used or you may use limestone. Note should be revised to remove class II sand.
64. Provide pavement cross sections for each type of pavement proposed on-site or refer to City of Novi standard details. Cross-sections must meet or exceed city standards. Remove any pavement types from Legend that are not proposed on-site.
65. Concrete walks on-site may have Class II sand base; concrete walks on-site may be changed to 4" concrete on 4" base.
66. Standard concrete drive approach for commercial/industrial driveways requires 8" concrete on 8" aggregate base.
67. Provide additional spot grades as necessary to demonstrate that a minimum 5-percent slope away from the building is provided for a minimum distance of ten feet around the perimeter of the building.
68. The grade of the drive approach shall not exceed 2-percent within the first 25 feet of the intersection. Provide spot grades as necessary to establish this grade.
69. The City standard straight-faced curb (MDOT F-4 curb detail) shall be provided. Remove detail and attach City standard paving details.

SOIL EROSION & SEDIMENT CONTROL

70. A SESC permit is required (link to [Soil Erosion Permit Application](#)). A review will be done when a completed packet is submitted to Sarah Marchioni at Community Development.

OFF-SITE EASEMENTS

71. Any off-site utility easements anticipated must be executed **prior to Stamping Set Approval**. If you have not already done so, drafts of the easements and a recent title search shall be submitted to the Community Development

Department as soon as possible for review and shall be approved by the Engineering Division and the City Attorney prior to executing the easements.

- a. Off-Site Title Policy
- b. Off-Site Sanitary Sewer Easement

THE FOLLOWING MUST BE SUBMITTED WITH THE NEXT SUBMITTAL:

72. A letter from either the applicant or the applicant's engineer must be submitted with the next submittal highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**
73. An itemized construction cost estimate must be submitted to the Community Development Department for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving (square yardage, should include number of detectable warning plates), right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pre-treatment structure and restoration).

REQUIRED LEGAL DOCUMENTS

The following must be submitted with the Stamping Set: All documents must be submitted together as a package with the Stamping Set submittal with the [legal review transmittal form](#) that is attached to this review letter. Partial submittals will **not** be accepted. Links to the PDF copy of the easements are below, word document versions of each legal document can be found on the City's Website under [Forms and Permits](#)).

74. A draft copy of the Declaration of Covenant for Storm Drainage Facility Maintenance, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department. Once the agreement is approved by the City's Legal Counsel, this agreement will then be sent to City Council for approval/acceptance. The agreement will then be recorded at the office of the Oakland County Register of Deeds. This document has been provided to the applicant.
75. A draft copy of the 20-foot-wide [Sanitary Sewer Easement](#) needed for the off-site sanitary sewer extension.
76. A draft copy of the Quit Claim Deed for the proposed 60-foot-wide right-of-way along Thirteen Mile Road must be submitted for review and acceptance by the City.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Humna Anjum at (248) 735-5632 or email at hanjum@cityofnovi.org with any questions.

Humna Anjum, EIT
Project Engineer

cc: Lindsay Bell, Community Development
Stacey Choi, Planning Assistant
Kate Purpura, Project Engineer
Ben Croy, City Engineer

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

May 28, 2026
Fire Station #2
Preliminary Site Plan - Landscape

Review Type

Preliminary Site Plan Landscape Review

Job #

JSP26-0017

Property Characteristics

- Site Location: 42000 Thirteen Mile Road
- Site Acreage: 2.19 ac.
- Site Zoning: RA
- Adjacent Zoning: North, East: MH, South: RA, West: RM-1
- Plan Date: 5/15/2026

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the Final Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Chart are summaries and are not intended to substitute for any Ordinance.

LANDSCAPE WAIVERS REQUIRED FOR THE PROPOSED LAYOUT AND LANDSCAPING:

- Use of a wall instead of the required landscaped berm to buffer residential properties to north and east.
- Deficiency in parking lot perimeter trees for 222lf along the screening wall (6 trees) and one more
- No street trees are provided due to utility conflicts.
- Use of a hedge instead of a berm to screen the west parking bay.
- Deficiency in percentage of building frontage not landscaped (54% instead of 60%).

Please add the City Project Number, JSP26-0017, to the bottom right corner of the cover sheet.

Ordinance Considerations

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. No tree survey or chart are provided.
2. No trees are proposed to be saved.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. The property is adjacent to residential property on the north, east and west sides.
2. The required berm is proposed on the west side. Screening walls are proposed along the east and north sides.
3. **This requires a landscape waiver.**

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. The required greenbelt width and landscaping are provided.
2. The required berm is not provided in front of the parking, but a hedge is proposed to screen the west parking lot. **This requires a landscape waiver. It is supported by staff.**

3. No street trees are proposed along Thirteen Mile Road due to utility conflicts. **This requires a landscape waiver.** *It is supported by staff.*

Existing and proposed overhead and underground utilities, including hydrants. (LDM 2.e.(4))

1. All utilities and light posts are included on the landscape plan.
2. All spacing between trees and utilities is correctly provided.

Parking Lot Landscaping

1. The required parking lot interior area and trees are proposed.
2. Only 8 of the 17 required trees are provided and 2 of those are over 15 feet away from the paving.
3. A landscape waiver for 6 trees that can't be planted along the screening wall is required.
4. If the steps spelled out on the landscape chart to add more perimeter trees are followed, the deficiency will only be increased by one. **This would require a landscape waiver.**
5. The plan is one short of the number of accessway perimeter trees proposed. **See the chart for more details on accessway perimeter trees so the need for another landscape waiver can be avoided.**

Building Foundation Landscaping (Zoning Sec. 5.5.3.D)

1. The required foundation landscape area is provided.
2. Less than 60% of the 13 Mile Road frontage is landscaped. **This requires a waiver.**

Plant List (LDM 4.)

1. 22 of 34 species shown (65%) are native to Michigan.
2. The proposed tree diversity meets the requirements of the Landscape Design Manual.

Planting Notations and Details (LDM)

1. Provided
2. **See the landscape chart for notes.**

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

No new above-ground stormwater detention pond is proposed.

Irrigation (LDM 1.a.(1)(e) and 2.s)

1. **The proposed landscaping must be provided with sufficient water to become established and survive over the long term.**
2. **Please provide an irrigation plan or note how this will be accomplished if an irrigation plan is not provided on Final Site Plans.**

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader@cityofnovi.org.

Thank you for your consideration.



Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART – PRELIMINARY SITE PLAN

Review Date: May 28, 2026
Project Name: JSP26-0017: Fire Station #2
Project Location: 42000 13 Mile Road
Plan Date: 5/15/2026
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the Final Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and is not intended to substitute for any Ordinance.

Despite the RA zoning of the site, it must meet the buffering requirements for I-1 due to the expected noise emanating from the site.

LANDSCAPE WAIVERS REQUIRED BY PLAN:

- Use of a wall instead of the required landscaped berm to buffer residential properties
- Deficiency in parking lot perimeter trees for 222lf along the screening wall (6 trees) and one more tree
- No street trees are provided due to utility conflicts.
- Use of a hedge instead of a berm to screen the west parking bay
- Deficiency in percentage of building frontage not landscaped

Please add the City Project Number, JSP26-0017, to the bottom right corner of the cover sheet.

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements (LDM 10)				
Landscape Plan (Zoning Sec 5.5.2, LDM 10)	<ul style="list-style-type: none"> • New commercial or residential developments • Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. • 1"=20' minimum with proper North. Variations from this scale can be approved by LA • Consistent with plans throughout set 	Scale: 1" = 20'	Yes	
Project Information	Name and Address	<ul style="list-style-type: none"> • Location map on L-1.0 • The address has been added to the title block 	Yes	
Owner/Developer Contact Information	Name, address and telephone number of the owner and	The information has been added to the title block	Yes	

Item	Required	Proposed	Meets Code	Comments
	developer or association			
Landscape Architect contact information	Name, Address and telephone number of RLA/PLA/LLA who created the plan	Nick Wallace PLA	Yes	
Sealed by LA.	Requires original signature	Copy of seal and signature is on the landscape plans	Yes	
Miss Dig Note (800) 482-7171	Show on all plan sheets	No	No	Please add this to the landscape plans and site plans
Zoning	Include all adjacent zoning	Site: RA <ul style="list-style-type: none"> • North, East: MH • South: RA • West: RM-1 Shown on L-1.0	Yes	
Survey information	<ul style="list-style-type: none"> • Legal description or boundary line survey • Existing topography 	<ul style="list-style-type: none"> • Description on Sheet C-2.1 • Survey on Sheet C-2.2 	Yes	
Existing plant material Existing woodlands or wetlands	<ul style="list-style-type: none"> • Show location type and size. Label to be saved or removed. • Plan shall state if none exists. 	<ul style="list-style-type: none"> • No tree survey is provided • No removals are indicated • According to the maps provided, there is no existing woodland or wetland on or abutting the site. 	NA	
Soil types	<ul style="list-style-type: none"> • As determined by Soils survey of Oakland county • Show types, boundaries 	<ul style="list-style-type: none"> • Soils info on Sheet C1.1 • Entire site is Urban land (59) 	Yes	
Existing and proposed improvements	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Changes to the site are shown on the site plan and landscape plan	Yes	
Existing and proposed utilities	<ul style="list-style-type: none"> • Overhead and underground utilities, including hydrants • Proposed light posts 	<ul style="list-style-type: none"> • Existing and proposed utilities are on the Utility Plan. • They are also shown on the landscape plan. • Light posts are shown 	<ul style="list-style-type: none"> • Yes • Yes • Yes 	

Item	Required	Proposed	Meets Code	Comments
Proposed grading. 2' contour minimum	Provide proposed contours at 2' interval	<ul style="list-style-type: none"> The proposed berm contours are shown on the grading and landscape plans. No TW/BW elevations are provided for the screening walls. A note indicates that the wall will be 10 feet tall. 	<ul style="list-style-type: none"> Yes No Yes 	Please show TW/BW elevations on the residential side of the screening wall. It should be at least 10 feet tall on the north side of the wall.
Snow deposit	Show snow deposit areas on plan	Snow deposit areas are shown on each end of the site.	Yes	Please shift the eastern snow deposit area southward so the northern accessway perimeter tree can be planted within 15 feet of the pavement.

LANDSCAPING REQUIREMENTS

Berms, Walls and ROW Planting Requirements

Berms

- All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours
- Berm should be located on lot line except in conflict with utilities.
- Berms should be constructed of loam with 6" top layer of topsoil.

Residential Adjacent to Non-residential (Zoning Sec 5.5.3.a.v & LDM 1.a.(1))

Berm requirements	<ul style="list-style-type: none"> The site is adjacent to residential property on the north, east and west. A 6-foot landscaped berm is required between the station use and the residential properties adjacent to it. 	<ul style="list-style-type: none"> A 9-10' tall landscaped berm is proposed on the west end of the property. A screening wall is proposed along the north property line and most of the east property line. A callout indicates that the actual height elevation will be set at construction, but the wall will have a minimum height of 10 feet. A sound study is currently underway 	<ul style="list-style-type: none"> Yes TBD 	<ol style="list-style-type: none"> A landscape waiver is required to use a wall instead of the required landscaped berm. Please show TW/BW elevations on the residential sides of the walls as well as the FFE of the residences near the site. Please change the riverbank grape to Virginia Creeper as grape cannot cling to the wall but Virginia Creeper can. Deer may eat arborvitae if they are known to be in the area.
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Walls (Zoning Sec. 5.5.3.A.vi)

Item	Required	Proposed	Meets Code	Comments
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	<ul style="list-style-type: none"> Two long walls are proposed along the north and east property lines A note indicates that details are still being developed. 	TBD	Please provide a standard detail showing the appearance of the wall on both sides on the Final Site Plans.
Walls 4 feet or greater in height shall be designed and sealed by an Engineer		<ul style="list-style-type: none"> No details are provided. 10-foot is indicated for the east wall 	No	An engineer will need to design the walls. They will be reviewed with the building review.
ROW Landscape Screening Requirements (Zoning Sec 5.5.3.b.ii)				
Greenbelt width	25 feet	26.65 ft to building 25 ft to parking	<ul style="list-style-type: none"> Yes Yes 	
Berm requirements (Zoning Sec 5.5.3.b.ii) – Using I-1 requirements				
Min. berm crest width	<ul style="list-style-type: none"> Adjacent to pkg: 3 feet Not adjacent to pkg: 0 feet 	<ul style="list-style-type: none"> No berm is proposed A hedge has been added to screen the parking spaces. 	Yes	A landscape waiver is required for the hedge in lieu of the berm.
Minimum berm height	<ul style="list-style-type: none"> Adjacent to pkg: 3 feet Not adjacent to pkg: 0 feet 	See above	Yes	See above
3' wall	(4)(7)	No walls exist or are proposed in the greenbelt	NA	
Canopy deciduous or large evergreen trees	<ul style="list-style-type: none"> Adjacent to pkg: 1 tree per 40 feet Not adjacent to pkg: 1 tree per 60 feet $(460-65-25)/60=8$ trees 	8 trees	Yes	As most of the frontage is not adjacent to parking, the “not adjacent to parking” requirement may be used for the entire frontage.
Sub-canopy deciduous trees	<ul style="list-style-type: none"> Adjacent to pkg: 1 tree per 35 feet Not adjacent to pkg: 1 tree per 40 feet $(460-65-25)/40 = 9$ trees 	14 trees	Yes	<ol style="list-style-type: none"> If desired, the number of trees proposed can be reduced to 9. No fewer than 4 trees should be between the drives.
Canopy deciduous trees in area between sidewalk and curb	<ul style="list-style-type: none"> 1 tree per 45 feet $(460-60-97)/45=7$ trees 	0 trees	No	A waiver will be required due to the conflict caused by the installation of the

Item	Required	Proposed	Meets Code	Comments
				sanitary sewer line in the right-of-way. It is supported by staff.
Cross-Section of Berms (LDM 10.i)				
Slope, height and width	<ul style="list-style-type: none"> Label contour lines Maximum 33% Constructed of loam 6" top layer of topsoil 	Cross sections are provided	Yes	
Type of Ground Cover		Lawn seed mix	Yes	
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	Utility lines are shown on the ROW cross section	Yes	
Parking Area Landscape Requirements (Zoning Sec. 5.5.3.c & LDM 5)				
General requirements	<ul style="list-style-type: none"> Clear sight distance within parking islands No evergreen trees 	No plantings will conflict with interior circulation	Yes	
Name, type and number of ground cover	As proposed on planting islands	Lawn is indicated across the site	Yes	
General (Zoning Sec 5.5.3.c.ii & LDM 5)				
Parking lot Islands	<ul style="list-style-type: none"> A minimum of 200 SF to qualify Minimum 200 SF per tree planted in island 6" curbs Islands minimum width 10' BOC to BOC 	All islands are sized appropriately.	Yes	
Curbs and Parking stall reduction	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	All spaces appear to be 20 feet long	Yes	Spaces could be shortened to 17' if there is 2' of overhang available.
Contiguous space limit	<ul style="list-style-type: none"> Maximum of 15 contiguous spaced All endcap islands should also be at least 200sf with 1 tree planted in it. 	No bay shown is longer than 8 spaces	Yes	
Plantings around Fire Hydrant	<ul style="list-style-type: none"> No plantings with matured height greater than 12' within 10 ft. of fire hydrants of utility structures (manholes, catch basins). Trees also need to have at least 5 feet 	<ul style="list-style-type: none"> A proposed hydrant and FDC are shown. No plantings conflict with them. 	Yes	

Item	Required	Proposed	Meets Code	Comments
	between the trunk and underground utility lines.			
Landscaped area	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	All areas will be landscaped.	Yes	
Clear Zones	Section 5.9 (see below)	Yes	Yes	
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, C, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.c.iii)				
A = Total square footage of vehicular use area up to 50,000 sf x 7.5%	$A = x \text{ SF} \times 7.5\% = A \text{ sf}$	NA	NA	
B = Total square footage of additional paved vehicular use areas over 50,000 SF) x 1 %	$B = x \text{ SF} \times 1\% = B \text{ sf}$	NA	NA	
Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.c.iii)				
A = Total square footage of vehicular use area up to 50,000 sf x 5%	$A = x \text{ SF} \times 6\%$ $A = 9631 \times 6\% = 578\text{sf}$	Calculation is provided	Yes	
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5 %	$B = (x \text{ SF} - 50000) \times 0.5\%$	NA		
All Categories				
Total square footage of landscaped islands required	$C = A + B$ $C = 578 + 0 = 578\text{sf}$	1428 sf	Yes	The 1487sf should not be included as interior landscape area as it is outside the limits of the parking lot. It's not needed anyway.
Number of canopy trees required	$D = C/200 = \text{xx Trees}$ $D = 578/200 = 3 \text{ trees}$	3 trees	Yes	
Parking Lot Perimeter Trees	1 Canopy tree per 35 lf <ul style="list-style-type: none"> • $596/35 = 17 \text{ trees}$ • Less 222 lf along wall for which a waiver is required (6 trees) • $374/35 = 11 \text{ trees}$ 	8 trees (2 of those are too far from the drive to count)	No	<ol style="list-style-type: none"> 1. Trees must be within 15 feet of the pavement to count as a perimeter tree. 2. Please move the two white oaks west of the parking lot that are further than 15 feet away from the paving to south of the 8-space bay, where 2 trees are needed.

Item	Required	Proposed	Meets Code	Comments
				<ol style="list-style-type: none"> 3. Please shift the three trees along the west drive southward 12 feet so there is room for another tree north of the LS there. Label that tree as PLP. 4. Please relabel the AS along the west drive from AP to PLP 5. By doing the above, 10 trees can be provided. 6. A landscape waiver is also required for the 6 trees that can't be planted along the north wall.
<p>Accessway Perimeter Trees (Zoning Sec 5.5.3.C.iv.j.)</p>	<p>1 Canopy tree per 35 lf $224/35 = 6$ trees</p>	<p>5 trees</p>	<p>No</p>	<ol style="list-style-type: none"> 1. Trees must be within 15 feet of the pavement to count as a perimeter tree. 2. Please add 2 AP trees to the west side of the east accessway. 3. Please move the two AP trees that are further than 15 feet from the pavement to areas where they can be within that distance. 4. Move the NS at the northwest corner of the building westward 5 feet so it can provide some shade for the paving. 5. Change the pine near the east side of the east drive to a deciduous canopy tree and double-count it as an accessway perimeter and ROW tree.
<p>Other Landscaping</p>				
<p>Other Screening (Zoning Sec 3.14, 3.15, 4.55, 4.56)</p>				
<p>Screening of outdoor storage, loading/unloading</p>		<p>No loading area is shown</p>	<p>TBD</p>	

Item	Required	Proposed	Meets Code	Comments
Transformers/Utility boxes <i>(LDM 6)</i>	<ul style="list-style-type: none"> A minimum of 2ft. separation between box and the plants Ground cover below 4" is allowed up to pad. No plant materials within 8 ft. from the doors 	Sufficient screening is provided with walls and/or plantings	Yes	
Building Foundation Landscape Requirements <i>(Zoning Sec. 5.5.3.D)</i>				
Interior site landscaping	<ul style="list-style-type: none"> Building perimeter less man doors and vehicular doors x 8 Located at building foundation Minimum 4' wide landscape bed widths 435*8 = 3480sf 	3480sf	Yes	
Building Frontage Landscaping	Minimum of 60% of building facing road must be landscaped $60\% * 215 = 129\text{lf}$	116lf (54%)	No	A landscape waiver is required for the deficiency.
Detention/Retention Basin Requirements <i>(Zoning Sec. 5.5.3.e & LDM 3)</i>				
Planting requirements	<ul style="list-style-type: none"> Clusters of large native shrubs shall cover 70-75% of the basin rim area located at 10 feet above the permanent water level or pond bottom if it's a dry pond. Canopy trees at 1/35lf of the east, south and west sides of the pond, located at about 10 feet away from the permanent water level 10" to 14" tall grass along sides of basin Refer to wetland for basin mix 	<ul style="list-style-type: none"> Underground detention will be used so no detention pond landscaping is required. The maintenance path is shown on the landscape plan. 	NA	
Phragmites & Japanese Knotweed Control <i>(Zoning Sec 5.5.6.B.vii)</i>	<ul style="list-style-type: none"> Any and all populations of Phragmites australis and/or Japanese knotweed on the site shall be included on tree survey. 	None indicated	TBD	

Item	Required	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site. 			
LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS				
Landscape Notes – Utilize City of Novi Standard Notes (Zoning Sec 5.5.5 & 5.5.6 & LDM 10.h.(14))				
Installation date	<ul style="list-style-type: none"> Provide intended dates Should be between March 15 and November 15. 	Mar 15 – Nov 15	Yes	
Maintenance & Statement of intent	<ul style="list-style-type: none"> Include statement of intent to install and guarantee all materials for 2 years. Include a minimum one cultivation in June, July and August for the 2-year warranty period. 		Yes	Please remove Note 11.C.3.
Plant source	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
Irrigation plan (Zoning Sec 5.5.6.B & LDM 10.I & m.)	A method for providing the water required for plant establishment and long-term survival must be provided – either an automated irrigation system, hoses or other means	None	TBD	<ol style="list-style-type: none"> Need on the final site plan Please provide either an irrigation system plan or information regarding the alternative method that will be used to water the plants If an irrigation system is used, it should <u>meet the requirements listed at the end of the chart.</u> If an existing irrigation system is modified to include the new landscape areas, a <u>note to that effect must be added to the plan.</u>
Approval of substitutions. (Zoning Sec 5.5.5.E)	City must approve any substitutions <u>in writing</u> prior to installation.	Yes	Yes	
Plant List (LDM 4, 11)				
Quantities and sizes	<ul style="list-style-type: none"> A minimum of 50% of species used on the 	A plant list is provided	Yes	

Item	Required	Proposed	Meets Code	Comments
Root type	site, not including any woodland replacements, must be native to Michigan. <ul style="list-style-type: none"> The Tree Diversity standards of the Landscape Design Manual Section 4 must be met for all non-woodland replacement trees used. 	Yes	Yes	
Botanical and common names		<ul style="list-style-type: none"> 22 of 34 species used (65%) are native to Michigan The tree diversity meets the requirements of LDM section 4 	Yes	Please use Virginia Creeper on the wall instead of Riverbank grape because the grape's tendrils wouldn't be able to cling to the wall.
Type and amount of lawn		Lawn seed is shown and quantities are given	Yes	
Cost estimate (LDM 2.f)	For all new plantings, mulch and sod as listed on the plan	Yes	Yes	
Planting Details/Info (LDM Part III) – Utilize City of Novi Standard Details				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		Yes	Yes	
Multi-stem Tree		Yes	Yes	
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	No		
Other Plant Material Requirements (LDM 3)				
General Conditions (LDM 3.a)	Plant materials shall not be planted within 4 ft. of property line	No	NA	No plants are proposed near property lines
Plant Materials & Existing Plant Material (LDM 3.b)	Clearly show trees to be removed and trees to be saved.	No trees are proposed to be saved on site.	NA	
Landscape tree credit (LDM3.b.(d))	<ul style="list-style-type: none"> Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM 	No		
Plant Sizes for ROW, Woodland replacement and	Refer to Landscape Design Manual for requirements	On plant list	Yes	

Item	Required	Proposed	Meets Code	Comments
others (LDM 3.c)				
Plant size credit (LDM3.c.(2))	NA	No		
Prohibited Plants (LDM 3.d)	No plants on City Invasive Species List	No prohibited plants are proposed		
Recommended trees for planting under overhead utilities (LDM 3.e)	Label the distance from the overhead utilities	Canopy trees are shown near overhead lines	No	
Nonliving Durable Material: Mulch (LDM 4)	<ul style="list-style-type: none"> Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate. 	On details	Yes	

NOTES:

1. This table is a working summary chart and is not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

Irrigation System Requirements

- Any booster pump installed to connect the project’s irrigation system to an existing irrigation system must be downstream of the RPZ.
- The RPZ must be installed in accordance with the 2015 Michigan Plumbing Code.
- The RPZ must be installed in accordance with the manufacture installation instructions for winterization that includes drain ports and blowout ports.
- The RPZ must be installed a minimum of 12-inches above FINISHED grade.
- Attached is a handout that addresses winterization installation requirements to assist with this.
- A plumbing permit is required.
- The assembly must be tested after installation with results recorded on the City of Novi test report form.

TRAFFIC REVIEW



AECOM
 39575 Lewis Dr, Ste. 400
 Novi
 MI, 48377
 USA
 aecom.com

Project name:
 JSP26-17 – City of Novi Fire Station #2
 Preliminary Traffic Review

To:
 Barbara McBeth, AICP
 City of Novi
 45175 10 Mile Road
 Novi, Michigan 48375

From:
 AECOM

Date:
 June 3, 2026

CC:
 Lindsay Bell, Humna Anjum, Diana Shanahan, Milad
 Alesmail, Stacey Choi, Kate Purpura

Memo

Subject: JSP26-17 – City of Novi Fire Station #2 Preliminary Traffic Review

The preliminary site plan was reviewed to the level of detail provided and AECOM recommends **approval** for the applicant to move forward as long as the comments provided below are adequately addressed to the satisfaction of the City.

GENERAL COMMENTS

1. The applicant, HED Architects, is proposing a new fire station.
2. The development is located on the north side of 13 Mile Road, east of Wexford Boulevard. 13 Mile Road is under the jurisdiction of the City of Novi.
3. The site is zoned R-A (Residential Acreage).
4. There are no traffic related deviations required at this time.

TRAFFIC IMPACTS

1. AECOM did not perform an initial trip generation based on the ITE Trip Generation Manual, 11th Edition, as it is not applicable for a fire station.
2. The City of Novi generally requires a traffic impact study/statement if the number of trips generated by the proposed development exceeds the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour, or if the project meets other specified criteria.

Trip Impact Study Recommendation	
Type of Study:	Justification
None	-

TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City's Code of Ordinances. Items marked with ZO are listed in the City's Zoning Ordinance. Items marked with ADA are listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices.

The values in the 'Compliance' column read as 'met' for plan provision meeting the standard it refers to, 'not met' stands for provision not meeting the standard and 'inconclusive' indicates applicant to provide data or information for review and 'NA' stands for not applicable for subject Project. The 'remarks' column covers any comments reviewer has and/or 'requested/required variance' and 'potential variance'. A potential variance indicates a variance that will be required if modifications are not made or further information provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
1	Driveway Radii O Figure IX.3	30'	Met	Within range.
2	Driveway Width O Figure IX.3	24' and 64'1"	Met	Within range and exceeds range.
3	Driveway Taper O Figure IX.11			
3a	Taper length	-	N/A	
3b	Tangent	-	N/A	
4	Emergency Access O 11-194.a.19	2 driveways	Met	
5	Driveway Sight Distance O Figure VIII-E	-	N/A	
6	Driveway Spacing			
6a	Same-side O 11.216.d.1.d	-	N/A	
6b	Opposite side O 11.216.d.1.e	-	N/A	
7	External Coordination (Road Agency)	-	N/A	
8	External Sidewalk Master Plan & EDM	5' proposed	Met	Meets existing.
9	Sidewalk Ramps EDM 7.4 & R-28-K	Indicated, detail provided	Met	
10	Any Other Comments:			

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
11	Loading Zone ZO 5.4	-	N/A	
12	Trash Receptacle ZO 5.4.4	Noted	Met	The applicant indicated trash is proposed to be handled via residential bins.
13	Emergency Vehicle Access	2 access points	Met	
14	Maneuvering Lane ZO 5.3.2	24'	Met	
15	End Islands ZO 5.3.12			
15a	Adjacent to a travel way	Dimensioned	Met	
15b	Internal to parking bays	-	N/A	
16	Parking Spaces ZO 5.2.12	18 proposed		See Planning review letter.
17	Adjacent Parking Spaces ZO 5.5.3.C.ii	<15 spaces per bay	Met	
18	Parking Space Length ZO 5.3.2	20'	Met	Could reduce to standard 19' length.
19	Parking Space Width ZO 5.3.2	10'	Met	Could reduce to standard 9' width.

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
20	Parking Space Front Curb Height ZO 5.3.2	6"	Met	
21	Accessible Parking – number ADA	1 required, 2 proposed	Met	
22	Accessible Parking – size ADA	20' x 10' with 8' aisle	Met	Could reduce parking space to standard 19' x 8'.
23	Number of Van Accessible Space ADA	1 required, 2 proposed	Met	
24	Bicycle Parking			
24a	Requirement ZO 5.16.1	Proposed	Met	
24b	Location ZO 5.16.1	Indicated	Met	
24c	Clear Path from Street ZO 5.16.1	6'	Met	
24d	Height of Rack ZO 5.16.5.B	Not provided, 3' required	Not Met	Provide in future submittal.
24e	Other (Covered / Layout) ZO 5.16.1 , Text Amendment 18.301	Not provided	Not Met	Provide in future submittal. Refer to Text Amendment 18.301.
25	Sidewalk – min 5' wide Master Plan	Varies 5' – 11'	Met	
26	Sidewalk Ramps EDM 7.4 & R-28-K	Indicated, detail provided	Met	
27	Sidewalk – distance back of curb EDM 7.4	-	N/A	
28	Cul-De-Sac O Figure VIII-F	-	N/A	
29	EyeBrow O Figure VIII-G	-	N/A	
30	Turnaround ZO 5.10	-	N/A	
31	Any Other Comments:			

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
32	Signing - sizes MMUTCD	Provided	Met	
33	Signing Table - quantities and sizes	Listed on site plan, detail provided	Partially Met	List both the R7-8 and R7-8p signs in the "Proposed Sign Legend" on sheets C1.1 and C5.1.
34	Signs 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post MMUTCD	Provided	Met	
35	Signs greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post MMUTCD	Provided	Met	
36	Sign bottom height of 7' from final grade MMUTCD	Indicated	Partially Met	The 7' should be to the bottom of the R7-8 sign and not the R7-8a sign.
37	Signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign MMUTCD	N/A	-	

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
38	FHWA Standard Alphabet series used for all sign language MMUTCD	Indicated to comply with MMUTCD	Met	
39	High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity MMUTCD	Indicated to comply with MMUTCD	Met	
40	Parking space striping notes	Indicated	Met	Fix pavement marking labels at south accessible parking area on sheet AS101.
41	The international symbol for accessibility pavement markings ADA	Detail not provided	Not Met	Provide state detail in future submittal.
42	Crosswalk Pavement Marking Detail	Detail provided	Met	
43	Any Other Comments:	Provide information on how traffic will be maintained during construction along 13 Mile Road.		

Note: Hyperlinks to the standards and Ordinances are for reference purposes only, the applicant and City of Novi to ensure referring to the latest standards and Ordinances in its entirety.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Paula K. Johnson, PE
Senior Transportation Engineer



Saumil Shah, PE
Project Manager

FAÇADE REVIEW



June 8, 2026

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Façade Review Status:
Not Approved, Section 9 Waiver
Not Recommended.

Re: FACADE ORDINANCE
Novi Fire Station No. 2, JSP26-17, Façade Region: 1, Zoning District: RA

Dear Mrs. Bell, Director of Planning,

The following Façade Review is based on the drawings by BRW Architects, dated 5/15/26. The percentages of materials for each façade are shown on the table below. The maximum and minimum percentages required by the Façade Ordinance are shown in the right-hand column. Materials in non-compliance, if any, are highlighted in bold. This project is located in Façade Region 1.

	South (Front)	North	West	East	Ordinance Maximum (Minimum)
Brick	21%	10%	36%	10%	100% (30% Min.)
Stone	19%	32%	23%	0%	50%
Combined Brick & Stone	40%	42%	59%	10%	100% (30% Min.)
Standing Seam Metal Roof	31%	18%	8%	50%	25%
Standing Seam Metal Wall Panel	21%	17%	24%	0%	25%
Trespa Panel	8%	2%	11%	0%	25%
BOK Fence Syatem (Flat Metal)	0%	16%	0%	0%	50%
Fiber Cement Panels	0%	5%	0%	40%	25%

As shown above the east façade has the following deviations, the minimum amount of Brick and Stone are not provided, and the percentage of Standing Seam Metal Roof and Cement Fiber Panels exceeds the maximum amount allowed. A Section 9 Waiver would be required for these deviations.

Recommendation – The east façade will be highly visible from 13 Mile Road as well as the neighboring residential property. Therefore, it is recommended that the east façade be revised to more closely comply with the Ordinance. Raising the transition line between Brick and Cement Fiber Siding for example would more closely match the the percentages required by the Façade Ordinance.

Notes to the Applicant:

Inspections – The Façade Ordinance requires inspection(s) for all projects. The applicant should request inspection of the brick prior to installation. It is the applicant's responsibility to request the inspection at the appropriate time (before installation). Inspections may be requested using the Novi Building Department's Online Inspection Portal.

RTU Screening - It should be noted that all roof top units must be screened from view from all vantage points both on-site and off-site using materials in compliance with the Façade Ordinance.

Sincerely,
DRN & Architects PC


Douglas R. Necci, AIA

FIRE REVIEW



May 27, 2026

TO: Barbara McBeth - City Planner
Lindsay Bell - Plan Review Center
Diana Shanahan – Plan Review Center
Stacey Choi – Planning Assistant

CITY COUNCIL

Mayor
Justin Fischer

Mayor Pro Tem
Laura Marie Casey

Dave Staudt

Brian Smith

Matt Heintz

Priya Gurumurthy

Aaron Martinez

City Manager
Victor Cardenas

Director of Public Safety
Chief of Police
Erick W. Zinser

Fire Chief
John B. Martin

Assistant Chief of Police
Scott R. Baetens

Assistant Fire Chief
Todd Seog

Novi Public Safety Administration
45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

RE: City of Novi – Fire Station #2
Preliminary Site Plan

PreAPP26-006
PSP26-022
JSP26-0017

Project Description:

Build new Fire Station on vacant lot 2.186 acres.
Address listed on parcel is – 42000 13 Mile Rd. Novi, Mi. 48374

Comments:

1. **All** fire hydrants **MUST** be installed and operational prior to any combustible material is brought on site. **IFC 2015 3312.1**
2. For new buildings and existing buildings, you **MUST** comply with the International Fire Code Section 510 for Emergency Radio Coverage. This shall be completed by the time the final inspection of the fire alarm and fire suppression permits.
3. Fire apparatus access drives to and from buildings through parking lots shall have a minimum fifty (50) feet outside turning radius and designed to support a minimum of thirty-five (35) tons. **(D.C.S. Sec 11-239(b)(5))**
4. Fire lanes will be designated by the Fire Chief or his designee when it is deemed necessary and shall comply with the Fire Prevention Ordinances adopted by the City of Novi. The location of all “fire lane – no parking” signs are to be shown on the site plans. **(Fire Prevention Ord.)**
5. The minimum width of a posted fire lane is 20 feet. The minimum height of a posted fire lane is 14 feet. **(D.C.S Sec. 158-99(a).)**
6. Fire hydrant spacing shall be measured as “hose laying distance” from fire apparatus. Hose laying distance is the distance the fire apparatus travels along improved access routes between hydrants or from a hydrant to a structure.
7. Hydrants shall be spaced approximately three hundred (300) feet apart online in commercial, industrial, and multiple-residential areas. In cases where the buildings within developments are fully fire suppressed, hydrants shall be no more than five hundred (500) feet apart. The spacing of hydrants around commercial and/or industrial

developments shall be considered as individual cases where special circumstances exist upon consultation with the fire chief. **(D.C.S. Sec. 11-68 (f)(1)c)**

8. **SEE NOTE BELOW** - A hazardous chemical survey is required to be submitted to the Planning & Community Development Department for distribution to the Fire Department at the time any Preliminary Site Plan is submitted for review and approval. Definitions of chemical types can be obtained from the Fire Department at (248) 735-5674.
9. The installation of security gates across a fire apparatus access road shall be approved by the fire chief. Where security gates are installed, they shall have an approved means of emergency operation. The security gates and the emergency operation shall be maintained operational at all times. Electric gate operators, where provided, shall be listed in accordance with UL 325. Gates intended for automatic operation shall be designed, constructed and installed to comply with the requirements of ASTM F 2200
10. Outside Fire Alarm Horn/Strobe device will need to be installed, on building, closest to final FDC location. Current proposal is to have a remote "post" FDC, away from building. This can be reviewed at Fire Alarm installation.

Recommendation:

Items noted above were acknowledged by HED/BRW Architects in review letter received from them dated 5/15/26 and are acceptable.

Item #8 – Hazardous Material Chemical Inventory will be handled by Fire Dept. staff internally and will be on file with the Fire Marshals office upon approval of final occupancy.

Item #9 – Security gates and features are acceptable and will be reviewed by Fire Marshal during install.

The Fire Dept. does not have any objections to this Preliminary Site Plan at this time.

Sincerely,



Andrew Copeland – Fire Marshal
City of Novi Fire Department
cc: file

APPLICANT RESPONSE LETTER

June 29, 2026

Charles Boulard, Com. Dev. Director
Community Development
City of Novi
45175 Ten Mile Rd
Novi, MI 48375

RE: Fire Station 02 - City of Novi Review Comments

Dear Charles:

HED is pleased to submit the following conformed AEC responses to the recent city review comments received on June 12, 2026. The purpose of the responses is to memorialize recognition of the city's review comments by the design team as we move forward with the next phases of the design effort.

Also, as discussed in today's meeting with your department staff, due to budget constraints we are seeking alleviation from city development ordinances for several items per the following:

Item	Topic / Request	Proposed Action
Screen wall at rear property line.	REDUCE length & height	Reduce length per meeting at limits of drive lane length. Maintain screen wall along northeast + east prop. line. Shorten length along northwest side prop. line. Reduce height to 8'-0" ft. from 10'-0" ft. Expand tree planting along northwest property line where screen wall is reduced as noted above.
West Berm	DELETE	Delete to allow above ground detention pond. Continue with planned tree plantings for screening.
Detention Pond	REPLACE	Replace below ground w/ above ground det. pond.
Tree Plantings	REDUCE quantity	Re-design based on VE proposal for review to save costs.
Low Plantings	REDUCE quantity	Re-design based on VE proposal for review to save costs.
Xeriscape	Design for xeriscape	Reduces irrigation / water usage needs. Reduces maintenance effort & time performed by Fire Dept.
RoW Sidewalk	REDUCE Width	City will accept 6'-0" ft. from the current 8'-0" ft. width.

Should you have any questions regarding these responses, please contact me.

Sincerely,



Steve Jackson
Assoc. Sr. Project Manager

PLANNING REVIEW FIRE STATION #2 REPORT

Planning Review Chart

Zoning and Use Requirements

1. Noise Impact Statement (Sec 5.14.10.B.i) - TBD –

City Review Comment: Noise Analysis to be prepared by a design professional:

- Description of noise emissions
- Compliance with 5.14.10.A
- Hours of operation

Soundproofing measures

City Comments: When provided by the applicant, Staff will review to ensure sound levels do not exceed 55 dB during night hours and 60 dB during day-time hours at the residential property line as required by the Ordinance.

HED/BRW Response: A licensed acoustical consultant will provide a full report noting compliance with City standards.

RA: Residential Acreage – Height, Bulk, Density and Area Limitations (Section 3.1.1)

1. Building Setbacks (Section 3.1.1.D) - Front: 45 ft minimum setback

City Review Comment: See Note to District Standards, Sec 3.6.2.B for non-residential uses in residential district.

HED/BRW Response: Noted, City to provide directive. Setbacks are to be 75' (side & rear), 50' (front). This will be a requested variation to the zoning requirements due to non-residential use. In addition to the requested 60' right of way the buildable area of the site from front to rear is approximately 23'.

Note to District Standards (Section 3.6.2)

1. Building and Parking Setbacks (Section 3.6.2.B)

City Review Comment: This is a deviation from ordinance standards. - Non-Residential Uses: For all uses other than SF, building setbacks shall be at least 75 feet. The minimum building setback from access streets may be reduced to 50 feet for fire department structures where quick access to the street network is required.

HED/BRW Response: Noted, City to provide directive. Setbacks are to be 75' (side & rear), 50' (front). This will be a requested variation to the zoning requirements due to non-residential use. In addition to the requested 60' right of way the buildable area of the site from front to rear is approximately 23'.

Site Standards (Section 5)

1. **City Review Comment:** Parking stall located adjacent to a parking lot entrance (public or private) (Sec. 5.3.13) – Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer. City Comments: See Planning Review Provide dimension on the plan – might be a deviation

HED/BRW Response: Site security gate location requires public parking spaces to be located ample maneuvering distance from vehicular gate. The narrow depth of the site prohibits ample parking and providing the public parking stall outside of the requested distance. A waiver will be required, City to provide directive if alternative solution is required.

SDA Response: Parking will be reviewed to accommodate 25' offset from the right-of-way. This will be from the current 33' right-of-way not the proposed 60' right-of-way.

2. **City Review Comment:** Barrier free signs – One sign for each accessible parking space

SDA Response: A sign for each accessible parking space will be provided

3. Bicycle Parking General Requirements (Sec. 5.16) – TBD

Parking space width: 7 ft.

One tier width: 11 ft.

Two tier width: 18 ft.

Maneuvering lane width: 4 ft.

Parking space depth: 32 in.

City Review Comment: See below

HED/BRW Response: A review of the bicycle parking will be completed and adjusted accordingly prior to the final site plan (FSP) review submittal.

SDA Response: A City standard detail for bicycle parking will be provided in drawings for construction.

4. Bicycle Parking General Requirements (Sec. 5.16) – Compliant with comment
City Review Comment: Provide rack detail and layout detail as shown above in FSP submittal.
SDA Response: A review of the bicycle parking will be completed and adjusted accordingly prior to the final site plan review submittal.

Design & Construction Standards

1. Public Sidewalks (Chapter 11, section 11-256(c)) – Compliant with comment
City Review Comment: Show width of sidewalk
HED/BRW Response: Dimension of public sidewalk will be provided in drawings for construction.
SDA Response: Dimensions are provided on C5.1

Accessory and Rooftop Structures (Sec. 4.19)

1. Roof top equipment and wall mounted utility equipment (Sec. 4.19.2.E.ii) – Verify presence and screening of any roof top equipment
HED/BRW Response: Required rooftop equipment screening will be dimensioned and noted in elevations issued for construction.
2. Transformers/Utility Boxes (Sec. 4.19.2.I) – Note all accessory structures on the plan
HED/BRW Response: Side yards equipment is fully screened from adjacent properties. City to provide directive if alternate location is required. Placement is to minimize cost of utility runs across site and into mechanical spaces within the building.

Lighting and Photometric Plan (Sec. 5.7)

1. Standard Notes (Sec. 5.7.I) – TBD - Provide standard notes on the plan.
HED/BRW Response: Will provide in next phase.
2. Average Light Level (Sec. 5.7.3.L) – TBD - Please calculate ratio for paved parking/drive areas in next submittal.
HED/BRW Response: Will provide in next phase.

FAÇADE REVIEW

1. **The East façade does not meet zoning requirements**
HED/BRW Response: Materials on the East façade will be revised to meet a 30% masonry minimum. This will be reflected in subsequent submittals.
2. Standing seam metal roof areas exceeded the maximum percentage
HED/BRW Response: Standing seam metal roof is below 3/12" slope and thus not considered a façade material. Please clarify as it was not clearly specified in the zoning requirements. The percentage of standing seam metal roof will be greatly reduced in drawings issued for construction.
3. Fiber cement maximum percentage was exceeded on the east façade
HED/BRW Response: Materials will be revised to bring the east façade into zoning requirements.

Other Permit and Legal Requirements

1. Design and Construction Standards Manual – TBD – Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).
SDA Response: Provided on sheets C1.1, C2.1, and C2.2. City to confirm if additional information is required. Once provided, the information can be added prior to the final site plan submittal.
2. General layout and dimension of proposed physical improvements – TBD - See this chart and other reviews for missing information
SDA Response: Will address per the items listed in the chart. However, City to confirm if additional information is needed.
3. Signs – Signage, if proposed, requires a permit
HED/BRW Response: Noted.

ENGINEERING REVIEW

General

1. Provide sight distance measurements for the Thirteen Mile Road entrance in accordance with Figure VIII-E of the Design and Construction Standards.
SDA Response: However, a review of the standards will be completed and plans will be updated prior submitting the FSP.
2. A same-side/opposite-side driveway spacing Waiver is not required at this time driveways are more than 185 feet away from existing drives.
SDA Response: Noted.
3. Provide a traffic control plan for the proposed road work activity Thirteen Mile Road.
SDA Response: We encourage the traffic control plan is provided by the contractor performing the work. Team will work with City on requirements for the FSP.
4. Provide a note that compacted sand backfill (MDOT sand Class II) shall be provided for all utilities within the influence of paved areas; illustrate and label on the profiles.
SDA Response: Sand backfill note will be added and illustrated on profiles.
5. Provide a construction materials table on the utility plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
SDA Response: A construction materials table will be added to the utility plan.
6. Provide a utility crossing table indicating that at least 18-inch vertical clearance will be provided, or that additional bedding measures will be utilized at points of conflict where adequate clearance cannot be maintained.
SDA Response: A utility crossing table will be added to the utility plan.
7. Provide a note stating if dewatering is anticipated or encountered during construction, then a dewatering plan must be submitted to the Engineering Division for review.
SDA Response: A dewatering note will be added.
8. Generally, all proposed trees shall remain outside utility easements. Where proposed trees are required within a utility easement, the trees shall maintain a minimum 5-foot horizontal separation from water main and storm sewer and 10-foot horizontal separation from sanitary sewer. All utilities shall be shown on the landscape plan, or other appropriate sheet, to confirm the separation distance.
SDA Response: A review of trees and utilities will be completed, including showing utilities on appropriate sheets
9. The dedication of the master-planned right-of-way is requested for the project along Thirteen Mile Road.
SDA Response: The master planned 60' right-of-way is already included on all sheets.
10. A Right-of-Way Permit will be required from the City of Novi.
SDA Response: Noted.
11. Only at the time of the printed Stamping Set submittal, provide the City's standard detail sheets for water main (5 sheets), sanitary sewer (3 sheets), storm sewer (2 sheets), and paving (2 sheets). The most updated details can be found on the City's website under Engineering Standards and Construction Details.
SDA Response: Standard detail sheets will be provided.

Water Main

12. Provide a profile for all proposed public water main 8-inch or larger at time of final site plan submittal.
SDA Response: Water main profiles will be provided in FSP.
13. Indicate why unit factor of 2 per employee was used as opposed to the Oakland County REU unit factor of 0.4 per employe. A peaking factor of 2.5 should be used for water main.
SDA Response: Peaking factors will be updated as noted.
14. Water Systems must have the ability to serve at least two thousand (2,000) gallons per minute in single-family detached residential; three thousand (3,000) gallons per minute in apartment, cluster residential and similar complexes, institutional and school areas; and at least four thousand (4,000) gallons per minute in office, industrial and shopping centers is essential.
SDA Response: Noted.

15. 6-inch hydrant leads are allowed for leads less than or equal to 25 feet in length. 8-inch leads are required for leads greater than 25 feet in length.
SDA Response: Noted
16. All gate valves 6 inches or larger shall be placed in a well with the exception of a hydrant shut off valve. A valve shall be placed in a box for water main smaller than 6 inches. Show valve locations for hydrants and leads.
SDA Response: Locations will be detailed in the FSP.
17. In the general notes and on the profile, add the following note: "Per the Ten States Standards Article 8.8.3, one full 20-foot pipe length of water main shall be used whenever storm sewer or sanitary sewer is crossed, and the pipe shall be centered on the crossing, in order to ensure 10-foot separation between water main and sewers." Additionally, show the 20-foot pipe lengths on the profile.
SDA Response: Above note will be added to the general notes and pipe lengths will be included on water main profiles.
18. Once all water main comments are addressed, submit EGLE application and all associated files directly to Engineering for EGLE submittal.
SDA Response: Noted.
19. A sealed set of utility plans along with the Michigan Department of Environment, Great Lakes & Energy (EGLE) permit application for water main construction, the Streamlined Water Main Permit Checklist, Contaminated Site Evaluation Checklist, Basis of Design, and an electronic version of the utility plan should be submitted to the Engineering Division for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets, and the standard detail sheets.
SDA Response: Noted.

Irrigation

20. Provide irrigation plans at time of final site plan submittal.
SDA Response: Irrigation locations will be provided in future submittals. However, standard practice is to include the irrigation as a design-build provided by the landscape contractor. Once the irrigation contractor is selected, they can provide a plan for review. City to confirm acceptable practice.

Sanitary Sewer

21. Show the existing right-of-way for Wexford Townhomes, relocated sanitary sewer so that it is at least 10 feet from the edge of the curb on Thirteen Mile Road. An off-site sanitary sewer easement will be required from Wexford Townhomes.
SDA Response: The existing right-of-way for Wexford Townhomes is shown on the plans but will be clearly defined with notes. A 60' right-of-way was proposed but never dedicated. If needed, an easement will be provided.
22. Indicate why the unit factor of 4 per employee was used as opposed to the Oakland County REU unit factor of 0.4 per employee.
SDA Response: This was an error and will be updated accordingly in the FSP
23. Sanitary Basis of Design calculations should use peaking factor of 4.0 and 3.2 People/REU, peaking factor of 4.0 is only for sanitary not for water main.
SDA Response: Noted. This will be updated in the FSP
24. Note on the construction materials table that 6-inch sanitary leads shall be a minimum SDR 23.5, and mains shall be SDR 26.
SDA Response: Above note will be added to the utility plan.
25. Provide a note on the Utility Plan and sanitary profile stating the sanitary leads will be buried at least 5 feet deep where under the influence of pavement.
SDA Response: Above noted will be added to the utility plan.

26. Once all sanitary sewer comments are addressed, submit EGLE application and all associated files directly to Engineering for EGLE submittal.
SDA Response: Noted.
27. An electronic copy of the utility plans along with the Michigan Department of Environment, Great Lakes & Energy (EGLE) permit application, and the Streamlined Sanitary Sewer Permit Certification Checklist should be submitted to the Engineering Division for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets, and the standard detail sheets. It should be indicated with the application if an expedited EGLE review is requested. EGLE will charge a fee that can be paid directly to the State.
SDA Response: Noted.

Storm Sewer

28. Provide profiles for all storm sewer 12-inch and larger at time of final site plan submittal. All storm pipes accepting surface drainage shall be 12-inch or larger. A minimum cover depth of 3 feet shall be maintained over all proposed storm sewer.
SDA Response: Profiles will be included in the FSP
29. Provide a 0.1-foot drop in the downstream invert of all storm structures where a change in direction of 30 degrees or greater occurs.
SDA Response: Noted
30. Match the 0.80 diameter depth above invert for pipe size increases.
SDA Response: Noted
31. Storm manholes with differences in invert elevations exceeding two feet shall contain a 2-foot-deep plunge pool.
SDA Response: Noted
32. Provide a four-foot-deep sump and an oil/gas separator in the last storm structure prior to discharge to the underground detention system.
SDA Response: Noted. A hydrodynamic separated will be detailed prior to submitting the FSP
33. Label the 10-year HGL and the 100-year HGL on the storm sewer profiles and ensure the HGL remains at least 1-foot below the rim of each structure.
SDA Response: HGL labels will be provided on the storm profiles
34. Illustrate all pipes intersecting storm structures on the storm profiles.
SDA Response: Pipe intersections will be illustrated on the storm profiles.
35. Provide a schedule listing the casting type, rim elevation, diameter, and invert sizes/elevations for each proposed, adjusted, or modified storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.
SDA Response: A schedule will be provided on the utility plan.
36. Show and label all roof conductors and show where they tie into the storm sewer.
SDA Response: Roof conductors and their tie-ins will be shown.
37. Provide a storm sewer basis of design table at time of final site plan submittal.
SDA Response: A storm sewer basis of design table will be provided.

Storm Water Management Plan

38. The Storm Water Management Plan (SWMP) for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the Engineering Design Manual.
SDA Response: Noted
39. Provide calculations verifying the post-development runoff rate directed to the proposed receiving drainage course does not exceed the pre-development runoff rate for the site.
SDA Response: Runoff rate calculations will be provided.

40. The SWMP must address the discharge of storm water off-site, and evidence of its adequacy must be provided. This should be done by comparing pre- and post-development discharge rates. The area being used for this off-site discharge should be delineated and the ultimate location of discharge shown.
SDA Response: This will be addressed in the FSP
41. Provide manufacturer's details and sizing calculations for the pretreatment structure(s) on the plans. Provide drainage area and runoff coefficient calculations specific to the area tributary to each treatment structure. The treated flow rate should be based on the 1-year storm event intensity (~1.6 In/Hr).
SDA Response: Treatment structure details and calculations will be provided.
42. Pretreatment structure shall limit the concentration of Total Suspended Solids (TSS) to 80% based on the 110-micron particle size. The NJDEP standard of 50% removal is also allowable, as it is for the target median particle size of 75-microns.
SDA Response: Noted.
43. The flow restriction shall be accomplished by methods other than a pipe restriction in an oversized pipe due to the potential for clogging and restrictor removal. A perforated standpipe, weir design, baffle wall, etc. should be utilized instead.
SDA Response: Noted.
44. The primary outlet standpipe shall be designed with a secondary outer pipe with numerous holes. The stone filter would rest against this outer pipe and would help protect the outlet standpipe from clogging.
SDA Response: Noted

Underground Detention Requirements

45. Provide 3-foot clearance between the groundwater elevation and the bottom of the underground detention facility. If a closed pipe system is proposed, then a 3-foot clearance is not required.
SDA Response: Noted.
46. Provide the overland routing that would occur in the event the underground system cannot accept flow. This route shall be directed to a recognized drainage course or drainage system.
SDA Response: Overflow routing will be provided.
47. Based on type of system proposed provide an underdrain along the downstream side of the underground detention system which is tied into a manhole as a means of secondary storm water conveyance to the outlet.
SDA Response: Underdrain will be provided with the detention system.
48. Provide a table or note addressing the required bedding depth vs. bearing capacity of the underlying soils in the vicinity of the underground detention system per the manufacturer's specifications.
SDA Response: A bedding depth vs. bearing capacity table/note will be provided.
49. Provide a note on the plans stating the City's inspecting engineers shall verify the bearing capacity of the native soils to verify an adequate bedding depth is provided.
SDA Response: Above note will be provided.
50. Void Space of aggregate bedding will be allowed using the following parameters:
Using stone with a 40% void space, a 20% factor of Safety will be applied. Therefore, a 0.3 void ratio should be used in calculation to determine the allowed void storage volume.
SDA Response: Noted
51. Based on type of system proposed provide an isolator row in the underground detention system in addition to the swirl concentrator chamber or upstream infiltration practices. Contact the Engineering Division for further information.
SDA Response: Noted. We will coordinate appropriate treatment with the engineering division.
52. Provide a note on the underground detention detail that aggregate porosity will be tested, and results provided to the City's inspecting engineers.
SDA Response: The above note will be provided.

53. Provide 8-inch inspection ports on storage rows.
SDA Response: 8-inch inspection ports will be provided.
54. For isolator rows, 12-inch inspection ports will be required every 100 feet and manholes will be required as directed. Underground storage systems without an isolator row shall include 4-foot diameter manholes at one end of each row for maintenance access purposes.
SDA Response: Noted.
55. Provide critical elevations (V_{CP-R} , V_{ED} and V_{100}) for the detention system. Also, provide a cross-section for the underground detention system. Ensure that there is at least 1 foot of freeboard between the 100-year (V_{100}) elevation and the subgrade elevation beneath the pavement.
SDA Response: Elevations will be provided in FSP
56. The underground detention system shall be kept outside of the influence of any planting areas.
SDA Response: Noted.

Paving & Grading

57. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed.
SDA Response: A construction materials table will be provided on the paving plan.
58. Revise the pathway cross-section to indicate a maximum cross-slope of 2%.
SDA Response: Pathway cross-section will be revised.
59. Specify the product proposed and provide a detail for the detectable warning surface for barrier free ramps. The product shall be the concrete-embedded detectable warning plates, or equal, and shall be approved by the Engineering Division. Stamped concrete will not be acceptable.
SDA Response: Product is noted on barrier free details provided on sheet C5.2
60. Verify the slopes along the ingress/egress routing to the building from the barrier-free stalls. All barrier-free stalls shall comply with Michigan Barrier-Free regulations.
SDA Response: Detailed grading including spot grades and slopes will be provided with the FSP plans.
61. Provide at least 3-foot buffer distance between the sidewalk and any fixed objects, including hydrants and irrigation backflow devices. Include a note on the plan where the 3-foot separation cannot be provided.
SDA Response: A review of all areas will be completed and adjusted as necessary.
62. Revise pavement cross section for asphalt, pavement for Thirteen Mile Road should match Detail 2B for collector and industrial roads.
SDA Response: Asphalt pavement cross section will be revised.
63. Revise pavement cross sections, Class II sand is not allowed as a pavement base, 21 AA aggregate can be used or you may use limestone. Note should be revised to remove class II sand.
SDA Response: Class 2 sand will be removed and replaced with 21AA
64. Provide pavement cross sections for each type of pavement proposed on-site or refer to City of Novi standard details. Cross-sections must meet or exceed city standards. Remove any pavement types from Legend that are not proposed on-site.
SDA Response: Pavement cross-sections will be provided based on geotechnical recommendations and at a minimum meet the City of Novi standard details.
65. Concrete walks on-site may have Class II sand base; concrete walks on-site may be changed to 4" concrete on 4" base.
SDA Response: Noted.
66. Standard concrete drive approach for commercial/industrial driveways requires 8" concrete on 8" aggregate base.
SDA Response: Pavement cross section for drive approach will be revised.

67. Provide additional spot grades as necessary to demonstrate that a minimum 5-percent slope away from the building is provided for a minimum distance of ten feet around the perimeter of the building.

SDA Response: Additional spot grades will be provided.

68. The grade of the drive approach shall not exceed 2-percent within the first 25 feet of the intersection. Provide spot grades as necessary to establish this grade.

SDA Response: Noted.

69. The City standard straight-faced curb (MDOT F-4 curb detail) shall be provided. Remove detail and attach City standard paving details.

SDA Response: City standard curb detail will be used.

Soil Erosion & Sediment Control

70. A SESC permit is required (link to Soil Erosion Permit Application). A review will be done when a completed packet is submitted to Sarah Marchioni at Community Development.

SDA Response: SESC plan will be completed based on City standards and submitted for permit review.

Off-Site Easements

71. Any off-site utility easements anticipated must be executed prior to Stamping Set Approval. If you have not already done so, drafts of the easements and a recent title search shall be submitted to the Community Development Department as soon as possible for review and shall be approved by the Engineering Division and the City Attorney prior to executing the easements.

- i. Off-Site Title Policy
- ii. Off-Site Sanitary Sewer Easement

SDA Response: Off site title policy and easements have not been completed to date but will be completed.

The Following Must Be Submitted with the Next Submittal:

72. A letter from either the applicant or the applicant's engineer must be submitted with the next submittal highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.

SDA Response: Team will provide.

73. An itemized construction cost estimate must be submitted to the Community Development Department for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. The estimate must be itemized for each utility (water, sanitary, storm sewer), on-site paving (square yardage, should include number of detectable warning plates), right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pre-treatment structure and restoration).

SDA Response: A detailed estimate will be provided.

Required Legal Documents

74. A draft copy of the Declaration of Covenant for Storm Drainage Facility Maintenance, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department. Once the agreement is approved by the City's Legal Counsel, this agreement will then be sent to City Council for approval/acceptance. The agreement will then be recorded at the office of the Oakland County Register of Deeds. This document has been provided to the applicant.

SDA Response: Team will coordinate with City to provide.

75. A draft copy of the 20-foot-wide Sanitary Sewer Easement needed for the off-site sanitary sewer extension.

SDA Response: Will provide.

76. A draft copy of the Quit Claim Deed for the proposed 60-foot-wide right-of-way along Thirteen Mile Road must be submitted for review and acceptance by the City.

SDA Response: Noted.

LANDSCAPE REVIEW

Landscape Plan Requirements (LDM 10)

1. Miss dig Note (800) 482-7171 – Please add this to the landscape plans and site plans
SDA Response: Note will be added to each landscape plan sheet.
2. Proposed grading. 2' contour minimum - Please show TW/BW elevations on the residential side of the screening wall. It should be at least 10 feet tall on the north side of the wall.
SDA Response: Contours are shown in all plan drawings at 1' intervals. Wall details and elevations will be added in future FSP
3. Snow deposit - Please shift the eastern snow deposit area southward so the northern accessway perimeter tree can be planted within 15 feet of the pavement.
SDA Response: Snow deposit area will be shifted south. The Accessway perimeter tree will be brought within 15' of the pavement.

Berms, Walls and ROW Planting Requirements

4. Berm Requirements –
 - a. A landscape waiver is required to use a wall instead of the required landscaped berm
SDA Response: Noted
 - b. Please show TW/BW elevations on the residential sides of the walls as well as the FFE of the residences near the site.
SDA Response: Will provide.
 - c. Please change the riverbank grape to Virginia Creeper as grape cannot cling to the wall but Virginia Creeper can.
SDA Response: Will replace grape with creeper
 - d. Deer may eat arborvitae if they are known to be in the area.
SDA Response: Will replace arborvitae with Eastern Red Cedar
5. Material, height and type of construction footing - Please provide a standard detail showing the appearance of the wall on both sides on the Final Site Plans.
SDA Response: Wall detail and materials will be added to final plan set.
6. Walls 4 feet or greater in height shall be designed and sealed by an Engineer – An engineer will need to design the walls. They will be reviewed with the building review.
SDA Response: Wall shall be designed by a licensed engineer.
7. Min. berm crest width – A landscape waiver is required for the hedge in lieu of the berm.
SDA Response: A landscape waiver will be requested.
8. Minimum berm height – See above
SDA Response: A landscape waiver will be requested.
9. Canopy deciduous or large evergreen trees – As most of the frontage is not adjacent to parking, the “not adjacent to parking” requirement may be used for the entire frontage
SDA Response: Noted.
10. Sub-canopy deciduous trees
 1. If desired, the number of trees proposed can be reduced to 9.
SDA Response: Will reduce
 2. No fewer than 4 trees should be between the drives.
SDA Response: Noted
11. Canopy deciduous trees in area between sidewalk and curb – A waiver will be required due to the conflict caused by the installation of the sanitary sewer line in the right-of-way. *It is supported by staff.*
SDA Response: A landscape waiver will be requested.

Parking Area Landscape Requirements (Zoning Sec. 5.5.3.c & LDM 5)

12. Curbs and Parking stall reduction – Spaces could be shortened to 17' if there is 2' of overhand available.
SDA Response: Noted.

13. Total square footage of landscaped islands required - The 1487sf should not be included as interior landscape area as it is outside the limits of the parking lot. It's not needed anyway.
SDA Response: Calculations will be edited to reflect this.

14. Parking Lot Perimeter Trees
 1. Trees must be within 15 feet of the pavement to count as a perimeter tree.
SDA Response: Trees will be shifted as noted
 2. Please move the two white oaks west of the parking lot that are further than 15 feet away from the paving to south of the 8-space bay, where 2 trees are needed.
SDA Response: Trees will be relocated as noted
 3. Please shift the three trees along the west drive southward 12 feet so there is room for another tree north of the LS there. Label that tree as PLP.
SDA Response: Trees will be shifted and relabeled
 4. Please relabel the AS along the west drive from AP to PLP
SDA Response: Trees will be relabeled
 5. By doing the above, 10 trees can be provided.
SDA Response: Noted
 6. A landscape waiver is also required for the 6 trees that can't be planted along the north wall.
SDA Response: A waiver will be requested

15. Accessway Perimeter Trees (Zoning Sec 5.5.3.C.iv.j.)
 1. Trees must be within 15 feet of the pavement to count as a perimeter tree.
SDA Response: Trees will be moved.
 2. Please add 2 AP trees to the west side of the east accessway.
SDA Response: Trees cannot be added due to the underground utilities. However, a review will be completed as detailed design continues.
 3. Please move the two AP trees that are further than 15 feet from the pavement to areas where they can be within that distance.
SDA Response: Trees will be moved
 4. Move the NS at the northwest corner of the building westward 5 feet so it can provide some shade for the paving.
SDA Response: Tree will be relocated
 5. Change the pine near the east side of the east drive to a deciduous canopy tree and double-count it as an accessway perimeter and ROW tree.
SDA Response: The pine will be replaced with a canopy tree.

Building Foundation Landscape Requirements (Zoning Sec. 5.5.3.D)

16. Building Frontage Landscaping – A landscape waiver is required for the deficiency.
SDA Response: A landscape waiver will be requested.

Landscaping notes, details, and general requirements

17. Maintenance & Statement of intent – Please remove Note 11.C.3.
SDA Response: Note will be removed

18. Irrigation plan (Zoning Sec 5.5.6.B & LDM 10.1 & m.)
 1. Need on the final site plan
SDA Response: Irrigation locations will be provided in future submittals. However, standard practice is to include the irrigation as a design-build provided by the landscape contractor. Once the irrigation contractor is selected, they can provide a plan for review. City to confirm acceptable practice.
 2. Please provide either an irrigation system plan or information regarding the alternative method that will be used to water the plants
SDA Response: See above

3. If an irrigation system is used, it should meet the requirements listed at the end of the chart. 4. If an existing irrigation system is modified to include the new landscape areas, a note to that effect must be added to the plan.

SDA Response: See above

19. Botanical and common names - Please use Virginia Creeper on the wall instead of Riverbank grape because the grape's tendrils wouldn't be able to cling to the wall.

SDA Response: Virginia Creeper will be replaced with River Grape.

PRELIMINARY TRAFFIC REVIEW

Internal Site Operations

1. Bicycle Parking – Height of Rack – Provide in future submittal
SDA Response: Will provide in FSP
2. Bicycle Parking – Other (Covered/layout) – Provide in future submittal. Revert to text amendment 18.301
SDA Response: Will provide in FSP

Signing and Striping

3. Signing Table – Quantities and sizes – List Both the R7-8 and R7-8p signs in the proposed sign legend on sheets C1.1 and C5.1.
SDA Response: Will update sign legend
4. Sign bottom height of 7' from the final grade – The 7' should be to the bottom of the R7-8 sign and not the R7-8a sign
SDA Response: Will update the sign detail
5. Parking space striping notes – Fix pavement marking labels at south accessible parking area on sheet AS101
HED/BRW Response: Noted – Final design plans will reflect correction.
6. The international symbol for accessibility pavement markings/ADA - Provide state detail in future submittal
SDA Response: Will coordinate to provide acceptable detail in future submittals
7. Any other comments – Provide information on how traffic will be maintained during construction along 13 Mile Road
SDA Response: Site construction will not impact 13 Mile Road traffic. Temporary shoulder closures and lane shifts to center turn lane may be required periodically. Traffic control plans and permit will be provided as necessary.

Fire Department Review

1. All fire hydrants MUST be installed and operational prior to any combustible material is brought on site. IFC 2015 3312.1
SDA Response: Hydrants will meet the hydrants as provide on City Standard Detail Sheets
2. For new buildings and existing buildings, you MUST comply with the International Fire Code Section 510 for Emergency Radio Coverage. This shall be completed by the time the final inspection of the fire alarm and fire suppression permits.
HED/BRW Response: Noted.
3. Fire apparatus access drives to and from buildings through parking lots shall have a minimum fifty (50) feet outside turning radius and designed to support a minimum of thirty-five(35) tons. (D.C.S. Sec 11-239(b)(5))
HED/BRW Response: Noted.
4. Fire lanes will be designated by the Fire Chief or his designee when it is deemed necessary and shall comply with the Fire Prevention Ordinances adopted by the City of Novi. The location of all "fire lane – no parking" signs are to be shown on the site plans. (Fire Prevention Ord.)
SDA Response: Fire lanes and sign locations will be coordinated with Fire Chief

5. The minimum width of a posted fire lane is 20 feet. The minimum height of a posted fire lane is 14 feet. (D.C.S Sec. 158-99(a).)
SDA Response: Noted
6. Fire hydrant spacing shall be measured as “hose laying distance” from fire apparatus. Hose laying distance is the distance the fire apparatus travels along improved access routes between hydrants or from a hydrant to a structure.
SDA Response: Noted
7. Hydrants shall be spaced approximately three hundred (300) feet apart online in commercial, industrial, and multiple-residential areas. In cases where the buildings within developments are fully fire suppressed, hydrants shall be no more than five hundred (500) feet apart. The spacing of hydrants around commercial and/or industrial developments shall be considered as individual cases where special circumstances exist upon consultation with the fire chief. (D.C.S. Sec. 11-68 (f)(1)c)
SDA Response: Noted
8. A hazardous chemical survey is required to be submitted to the Planning & Community Development Department for distribution to the Fire Department at the time any Preliminary Site Plan is submitted for review and approval. Definitions of chemical types can be obtained from the Fire Department at (248) 735-5674.
SDA Response: Per letter, Hazardous Material Chemical Inventory will be handled by Fire Dept. staff internally and will be on file with the Fire Marshals office upon approval of final occupancy.
9. The installation of security gates across a fire apparatus access road shall be approved by the fire chief. Where security gates are installed, they shall have an approved means of emergency operation. The security gates and the emergency operation shall be maintained operational at all times. Electric gate operators, where provided, shall be listed in accordance with UL 325. Gates intended for automatic operation shall be designed, constructed and installed to comply with the requirements of ASTM F 2200
SDA Response: Per letter, security gates and features are acceptable and will be reviewed by Fire Marshal during install.
10. Outside Fire Alarm Horn/Strobe device will need to be installed, on building, closest to final FDC location. Current proposal is to have a remote “post” FDC, away from building. This can be reviewed at Fire Alarm installation.
HED/BRW Response: Noted – Final design plans will reflect this need.

END OF RESPONSES