



COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals

ZONING BOARD APPEALS DATE: June 12, 2018

REGARDING: 25565 Clark Ave, Parcel # 50-22-22-201-016 (PZ18-0022)

BY: Larry Butler, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant

Scott A. Lang

Variance Type

Dimensional Variance

Property Characteristics

Zoning District:	Single Family Residential
Location:	West of Novi Road and South of Grand River Avenue
Parcel #:	50-22-22-201-016

Request

The applicant is requesting variance from the City of Novi Zoning Code of Ordinance Section 4.19(e), 1 for a 573 square foot variance to build a 1423 square foot structure. This property is zoned Single Family Residential (R-4).

II. STAFF COMMENTS:

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we **grant** the variance in Case No. **PZ18-0022**, sought by _____, for _____ because Petitioner has shown practical difficulty requiring _____.
- (a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because _____.
- (b) The property is unique because _____.
- (c) Petitioner did not create the condition because _____.

(d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because_____.

(e) The relief if consistent with the spirit and intent of the ordinance because _____.

(f) The variance granted is subject to:

1. _____.

2. _____.

3. _____.

4. _____.

2. I move that we **deny** the variance in Case No. **PZ18-0022**, sought by _____ for _____ because Petitioner has not shown practical difficulty requiring _____.

(a) The circumstances and features of the property including _____ are not unique because they exist generally throughout the City.

(b) The circumstances and features of the property relating to the variance request are self-created because _____.

(c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that _____.

(d) The variance would result in interference with the adjacent and surrounding properties by _____.

(e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to _____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Larry Butler
Deputy Director Community Development
City of Novi



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ZONING BOARD OF APPEALS APPLICATION

APPLICATION MUST BE FILLED OUT COMPLETELY

RECEIVED

MAY 08 2018

CITY OF NOVI
COMMUNITY DEVELOPMENT

Application Fee: \$200.00
 Meeting Date: June 12th, 2018
 ZBA Case #: PZ 18-0022

I. PROPERTY INFORMATION (Address of subject ZBA Case)			
PROJECT NAME / SUBDIVISION Detached Garage (Novi Heights Subdivision) <u>25565 Clark</u>			
ADDRESS 25565 Clark St, Novi, MI 48375		LOT/SIUTE/SPACE #	
SIDWELL # <u>50-22-22-201-016</u>		May be obtain from Assessing Department (248) 347-0485	
CROSS ROADS OF PROPERTY Clark St and 11 Mile Rd			
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		REQUEST IS FOR: <input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE	
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
II. APPLICANT INFORMATION			
A. APPLICANT		EMAIL ADDRESS <u>slangjeep@gmail.com</u>	CELL PHONE NO. <u>248.633.5039</u>
NAME <u>Scott A Lang</u>		TELEPHONE NO. <u>248.633.5039</u>	
ORGANIZATION/COMPANY		FAX NO.	
ADDRESS <u>25565 Clark St</u>		CITY <u>Novi</u>	STATE <u>MI</u>
			ZIP CODE <u>48375</u>
B. PROPERTY OWNER <input checked="" type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER			
Identify the person or organization that owns the subject property:		EMAIL ADDRESS <u>slangjeep@gmail.com</u>	CELL PHONE NO. <u>248.633.5039</u>
NAME <u>Scott A Lang</u>		TELEPHONE NO. <u>248.633.5039</u>	
ORGANIZATION/COMPANY		FAX NO.	
ADDRESS <u>25565 Clark St</u>		CITY <u>Novi</u>	STATE <u>Mi</u>
			ZIP CODE <u>48375</u>
III. ZONING INFORMATION			
A. ZONING DISTRICT			
<input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input checked="" type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____			
B. VARIANCE REQUESTED			
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:			
1. Section <u>4.19(e)1</u> Variance requested <u>proposed 1423 sq ft (573 sq ft variance)</u>			
2. Section _____ Variance requested _____			
3. Section _____ Variance requested _____			
4. Section _____ Variance requested _____			
IV. FEES AND DRAWINGS			
A. FEES			
<input checked="" type="checkbox"/> Single Family Residential (Existing) \$200 <input type="checkbox"/> (With Violation) \$250 <input type="checkbox"/> Single Family Residential (New) \$250 <input type="checkbox"/> Multiple/Commercial/Industrial \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> Signs \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> House Moves \$300 <input type="checkbox"/> Special Meetings (At discretion of Board) \$600			
B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF			
<ul style="list-style-type: none"> • Dimensioned Drawings and Plans • Site/Plot Plan • Existing or proposed buildings or addition on the property • Number & location of all on-site parking, if applicable • Existing & proposed distance to adjacent property lines • Location of existing & proposed signs, if applicable • Floor plans & elevations • Any other information relevant to the Variance application 			



ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

DIMENSIONAL USE SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

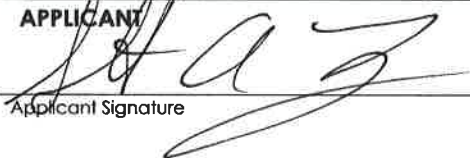
The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING ADDITION TO EXISTING HOME/BUILDING SIGNAGE

ACCESSORY BUILDING USE OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

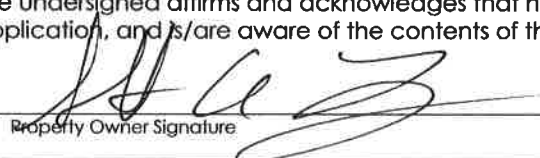

Applicant Signature

5/8/2018
Date

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.


Property Owner Signature

5/8/2018
Date

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

GRANTED

DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

Chairperson, Zoning Board of Appeals

Date



Community Development Department

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Novi, MI 48375
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**REVIEW STANDARDS
DIMENSIONAL VARIANCE**

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.

Not Applicable Applicable If applicable, describe below:

Easement on lot prevents me from placing the garage near the house.

and/or

- b. Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.

Not Applicable Applicable If applicable, describe below:

and/or

- c. Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.

Not Applicable Applicable If applicable, describe below:

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

This variance is the result of the property owner, the purpose of this garage is to store a boat and car, largely to keep the boat out of the driveway or behind the house to minimize the neighbors from having to look at a boat sitting outside all year round.

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

The variance will not impact use of the residential property, the location in the back of the property doesn't interfere with overhead line easements, or adjacent properties.

Standard #4. Minimum Variance Necessary.

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

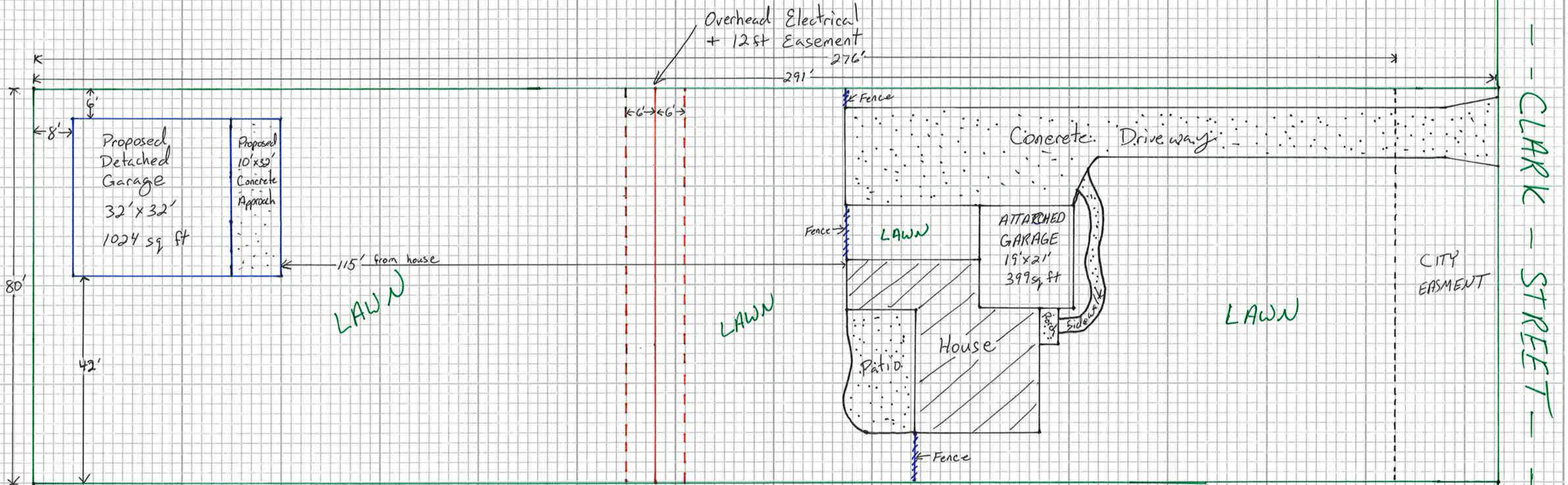
The variance is of minimum size to complete the construction of a detached garage in the backyard for the storage of the property owners boat and car, and to allow for some additional storage. Our lot and others are semi wooded, and my neighbors to the north and south have half acre or greater lots, and the garage will not interfere with site lines or their properties, because placement will be near the western boundary (back portion) of the property.

Standard #5. Adverse Impact on Surrounding Area.

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

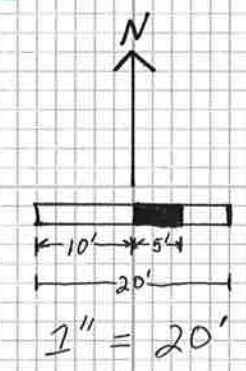
The variance, is for the construction of a detached garage for the purpose of storing a boat and car, with some additional storage space, largely to keep the boat out of the driveway or behind the house to minimize the neighbors from having to look at a boat sitting outside all year round. The garage will match the color of the house and increase the value of the property. Neighbors in the same subdivision, have similar setups of an attached and detached garage similar in size.

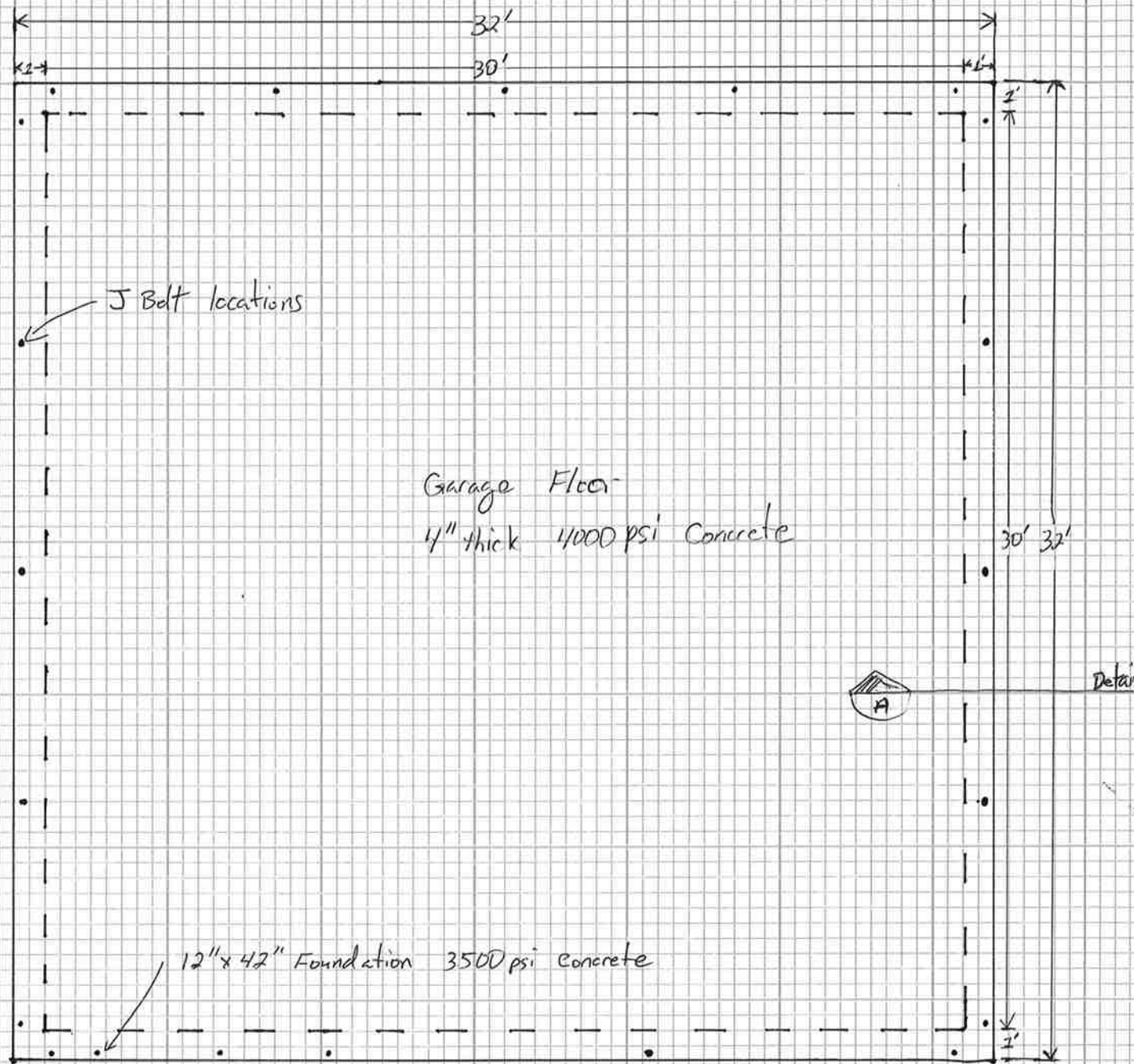
Scott + Cynthia Lang
 25565 Clark St Novi MI 48375
 SIDWELL# 50-22-22-201-016
 NOVI HEIGHTS SUB DIVISION
 NORTH 80' of LOT 12



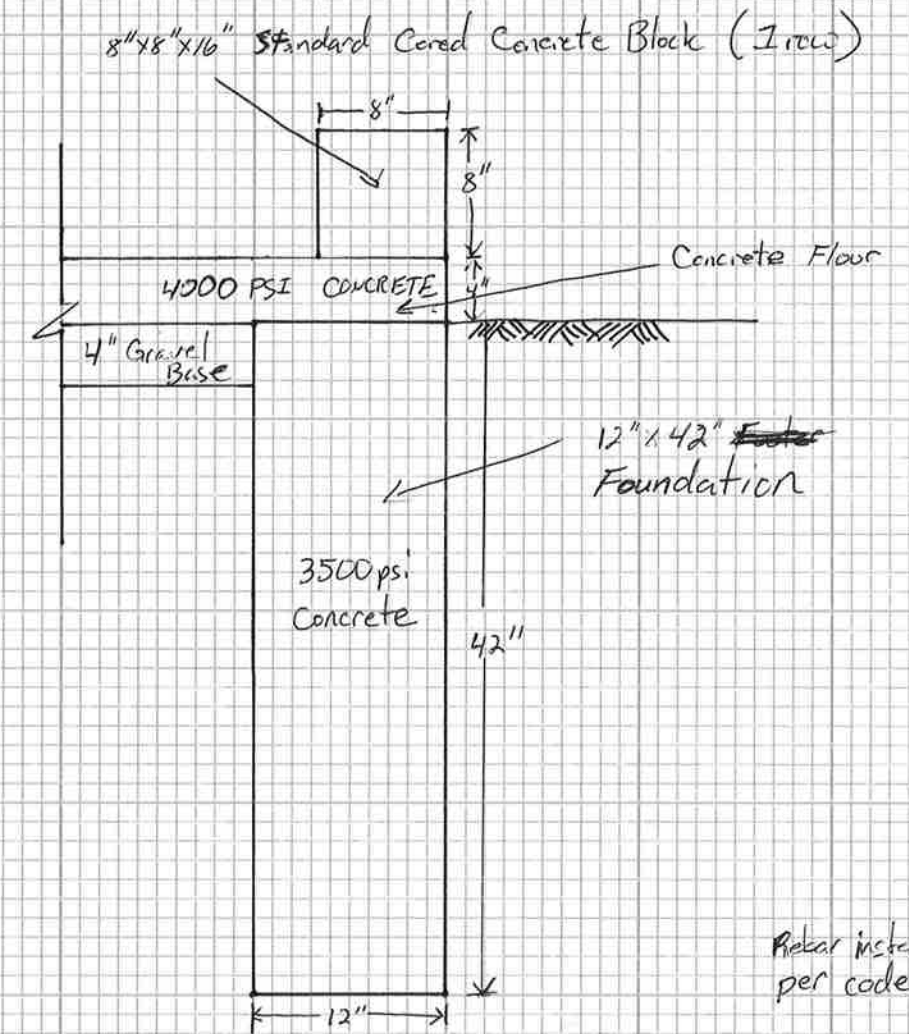
CLARK STREET

Site Plan





Foundation Plan View
1" = 5'



Rebar installed per code requirements

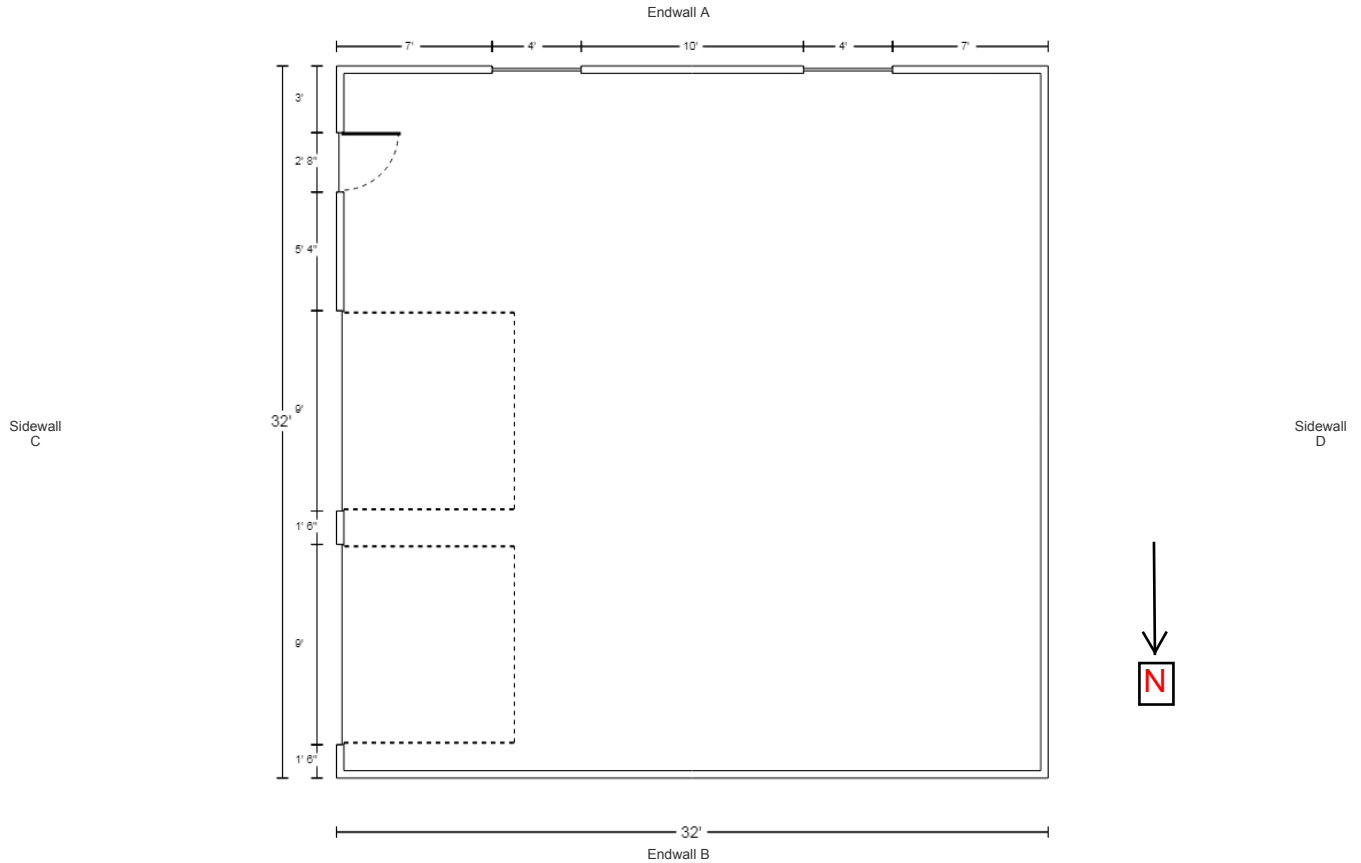
Foundation Cross Section
1" = 1'



WIXOM, 10400 ASSEMBLY PARK DR, WIXOM, MI, 248-344-1140

Garage Floor Plan

**Illustration may not depict all selections.



<p>Design Name: Garage Design Design ID: 332056125623 Estimate ID: 8197</p>	<p>Estimated Total Price: \$10665.59* <small>*Today's estimated price, future pricing may go up or down. Tax, labor, and delivery not included. Price does not reflect mail-in rebates.</small></p>
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Floor type (concrete, dirt, gravel) is NOT included in estimated price. The floor type is used in the calculation of materials needed. Labor, foundation, steel beams, paint, electrical, heating, plumbing, and delivery are also NOT included in estimated price. This is an estimate. It is only for general price information. This is not an offer and there can be no legally binding contract between the parties based on this estimate. The prices stated herein are subject to change depending upon the market conditions. The prices stated on this estimate are not firm for any time period unless specifically written otherwise on this form. The availability of materials is subject to inventory conditions.

MENARDS IS NOT RESPONSIBLE FOR ANY LOSS INCURRED BY THE GUEST WHO RELIES ON PRICES SET FORTH HEREIN OR ON THE AVAILABILITY OF ANY MATERIALS STATED HEREIN. All information on this form, other than price, has been provided by the guest and Menards is not responsible for any errors in the information on this estimate, including but not limited to quantity, dimension and quality. Please examine this estimate carefully.

MENARDS MAKES NO REPRESENTATIONS, ORAL, WRITTEN OR OTHERWISE THAT THE MATERIALS LISTED ARE SUITABLE FOR ANY PURPOSE BEING CONSIDERED BY THE GUEST. BECAUSE OF WIDE VARIATIONS IN CODES, THERE ARE NO REPRESENTATIONS THAT THE MATERIALS LISTED HEREIN MEET YOUR CODE REQUIREMENTS. THE PLANS AND/OR DESIGNS PROVIDED ARE NOT ENGINEERED. LOCAL CODE OR ZONING REGULATIONS MAY REQUIRE SUCH STRUCTURES TO BE PROFESSIONALLY ENGINEERED AND CERTIFIED PRIOR TO CONSTRUCTION.

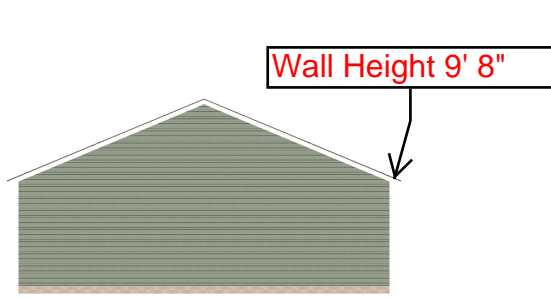




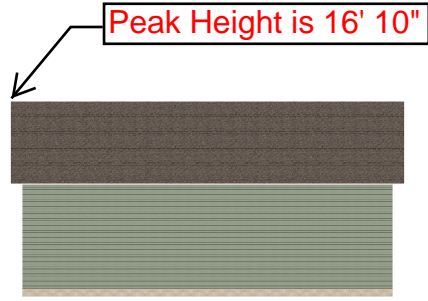
WIXOM, 10400 ASSEMBLY PARK DR, WIXOM, MI, 248-344-1140

Wall Configurations

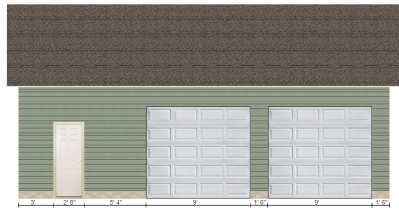
*Illustration may not depict all options selected.



ENDWALL B



SIDEWALL D



SIDEWALL C

- (1) - Mastercraft® Primed Steel 6-Panel Prehung Exterior Door
- (2) - Ideal Door® 5-Star 9' x 8' White Premium Insulated Garage Door



ENDWALL A

- (2) - JELD-WEN® 48"W x 24"H Best Series Vinyl Sliding Window with Nailing Flang...



Design Name: Garage Design

Design ID: 332056125623

Estimate ID: 8197



WIXOM, 10400 ASSEMBLY PARK DR, WIXOM, MI, 248-344-1140

Design Summary

Here is a summary of all your customized selections.

Building Info:

- Truss Type: Common
- Pitch: 5/12 Pitch
- Framing Size: 2" x 6"
- Width: 32'
- Length: 32'
- Height: 9'
- Gable Overhang: 1'
- Eave Overhang: 1'
- Block Option: 1 Row
- Block Type: 8" Standard Concrete Construction Block
- Block Color: Gray

Wall Info:

- Siding Material Types: Vinyl
- Siding: Waterford® Double 5" Vinyl Siding
- Siding Color: Pine
- Gable Vents: None
- Gable Vent Color: NoColor
- Walls Sheathing: RoyOMartin 1/2 x 4 x 8 Eclipse Energy Guard Foil Faced OSB

Roof Info:

- Garage Roof Sheathing: 1/2" x 4' x 8' OSB
- Roofing Material Type: Architectural Shingle
- Roof Vents: None
- Roof Vent Color: NoColor
- Ridge Vent: Owens Corning® VentSure® 11-1/4" x 20' Shingle Over Ridge Vent
- Garage Roofing: Owens Corning® TruDefinition® Duration® Architectural Shingles (32.8 sq. ft.)
- Roofing Color: Teak
- Roof Underlayment: #15 Felt Roofing Underlayment ASTM D226 3' x 144' (432 sq. ft.)
- Ice and Water Barrier: Owens Corning® WeatherLock® G Granulated Self-Sealing Ice and Water Barrier 3' x 66.7" (200 sq. ft.)
- Garage Fascia: 6" x 12' Aluminum Rustic Fascia
- Fascia Color: Khaki
- Garage Soffit: 12" x 12' Aluminum Vented Soffit
- Soffit Color: Khaki

Openings:

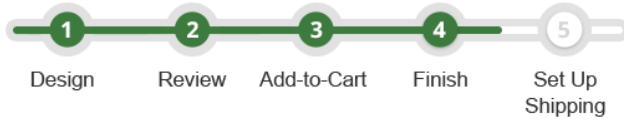
- JELD-WEN® 48"W x 24"H Best Series Vinyl Sliding Window with Nailing Flange & Grilles: 2
- Mastercraft® Primed Steel 6-Panel Prehung Exterior Door: 1
- Ideal Door® 5-Star 9' x 8' White Premium Insulated Garage Door: 2

Additional Options:

- Wall Finish: None
- Truss Fastener: FastenMaster® TimberLOK® 5/16" x 6" Hex Drive Black Hex Head Wood Screw - 50 Count
- Ceiling Finish: None
- Wall Insulation: None
- Ceiling Insulation: None

What's Next

Finalized your Garage design? Great! Now it's time to set-up shipping!



If you have already set up your shipping/delivery options, please disregard this section

Set Up Shipping

1. If you completed the order online, check your email for a confirmation receipt and follow the directions included in it.
2. Take this printout to the Menards store location you selected (shown above).
3. Find a team member from the Building Materials department and show them your receipt and this print-out
4. Set up a time and location for delivery.



Design Name: Garage Design

Design ID: 332056125623

Estimate ID: 8197



WIXOM, 10400 ASSEMBLY PARK DR, WIXOM, MI, 248-344-1140

Design Material List

Please take this to your Building Materials Department at your local Menards store and ask about how you can get your materials.

SKU	Description	Quantity	Usage
1004547	32-0-0 Common 5.0/12	15	Truss
1004547	32-0-0 End Truss 5.0/12	2	End Truss
1021143	2 x 4 x 16' Construction/Framing Lumber	3	Gable Overhang Framing
1021143	2 x 4 x 16' Construction/Framing Lumber	9	Lateral Brace
1021334	2 x 6 x 104-5/8" Pre-Cut Stud Construction/Framing Lumber	136	Wall Stud
1021334	2 x 6 x 104-5/8" Pre-Cut Stud Construction/Framing Lumber	2	Top Plate
1021758	2" x 6" x 8' Lumber	2	Windows Gable Header
1021758	2" x 6" x 8' Lumber	1	Entry Door Eave Header
1021774	2 x 6 x 12' Construction/Framing Lumber	20	Top Plate
1061022	1 3/4" x 7 1/4" x 10' LVL 1.9E	6	Overhead Door Eave Header
1111040	2 x 6 x 12' Ground Contact AC2® Green Pressure Treated Lumber	1	Bottom Plate
1111066	2 x 6 x 16' Ground Contact AC2® Green Pressure Treated Lumber	6	Bottom Plate
1242809	1/2 x 4 x 8 OSB	40	Roof Sheathing
1242819	RoyOMartin 1/2 x 4 x 8 Eclipse Energy Guard Foil Faced OSB	42	Wall Sheathing
1461004	ABTCO® 1/2" Vinyl Starter Strip	11	Vinyl Starter
1463471	Waterford® Double 5" x 12' Pine Vinyl Siding	132	Siding
1463646	ABTCO® 10' Pine Outside Corner Trim	4	Outside Corner
1463662	ABTCO® 5/8" Pine Vinyl J-Channel	18	J-Trim
1463675	ABTCO® 10' Pine Undersill Trim	7	Undersill
1474949	Owens Corning® VentSure® 11-1/4" x 20' Shingle Over Ridge Vent	2	Ridge Vent
1511792	#15 Felt Roofing Underlayment ASTM D226 3' x 144' (432 sq. ft.)	4	Roof Felt
1511827	Owens Corning® WeatherLock® G Granulated Self-Sealing Ice and Water Barrier 3' x 66.7" (200 sq. ft.)	3	Ice & Water Barrier
1511910	Owens Corning Starter Strip Plus Shingles (105 lin. ft. per bundle)	1	Shingle Starter
1512370	Owens Corning® ProEdge® Hip and Ridge Shingles (33.7 lin. ft.)	2	Hip and Ridge Shingles
1513183	Owens Corning® TruDefinition® Duration® Limited Lifetime Warranty Architectural Shingles (32.8 sq. ft.)	41	Shingles
1572604	12' Aluminum Style D Roof Edging	12	Roof Edge
1572608	Sell Even Khaki 12' Aluminum F-Channel	12	Soffit J-Trim
1572616	Sell Even Khaki 6" x 12' Aluminum Rustic Fascia	12	Fascia
1572621	Sell Even Khaki 12" X 12' Aluminum Vented Soffit	12	Soffit
1572627	Grip Fast® 1-1/4" Khaki Aluminum Trim Nail - 1/4 lb. Box	1	Fascia Fasteners
1794360	8 x 8 x 16 Standard Concrete Block	83	Concrete Block



Design Name: Garage Design

Design ID: 332056125623

Estimate ID: 8197



WIXOM, 10400 ASSEMBLY PARK DR, WIXOM, MI, 248-344-1140

SKU	Description	Quantity	Usage
2082165	Grip Fast® 1-1/4" Electro-Galvanized Coil Roofing Nails -7,200 Count	1	Roofing Nails
2218723	Kwikset® Tylo Satin Chrome Entry Knob and Single Cylinder Deadbolt Combination	1	Service Door Lock
2271303	USP Structural Connectors 1/2" Steel Plywood Clips - 25 ct.	7	Roof Sheathing Clips
2271617	USP Structural Connectors 24" O.C. Multi-Unit Truss Spacer	13	Truss Spacer
2293672	Grip Fast® 1-1/2" Vinyl Siding Nail - 2 lb. Box	2	Siding Fasteners
2295347	Grip Fast® 2-1/2" 8D Vinyl-Coated Smooth Shank Sinker Nail - 5 lb. Box	5	Sheathing Fasteners
2300042	FastenMaster® TimberLOK® 5/16" x 6" Hex Drive Black Hex Head Wood Screw - 50 Count	1	Truss Fastener
4045808	JELD-WEN® Best Series 48" W x 24" H Vinyl Left Sliding Window - White/White	2	Window
4140343	Mastercraft® Embossed 32" W x 80" H Primed Steel 6-Panel Prehung Exterior Door with 6-9/16" Frame - Left Inswing	1	Service Door
4171635	Royal® Building Products 7/16" x 2" x 9' White PVC Garage Door Stop	4	Door Stop Vertical
4171635	Royal® Building Products 7/16" x 2" x 9' White PVC Garage Door Stop	2	Door Stop Horizontal
4179381	Royal® Building Products 11/16" x 5-13/16" x 10' White PVC Jamb Trim	4	Jamb Trim Vertical
4179381	Royal® Building Products 11/16" x 5-13/16" x 10' White PVC Jamb Trim	2	Jamb Trim Horizontal
4179734	Royal® Building Products 1-1/4" x 2" x 10' White PVC Brickmould	4	Brick Moulding Vertical
4179734	Royal® Building Products 1-1/4" x 2" x 10' White PVC Brickmould	2	Brick Moulding Horizontal
4251075	Ideal Door® Keyed Lockset Kit for Residential Overhead Garage Door	2	Overhead Door Lock
4254687	Ideal Door® Traditional White 9' x 8' Steel Panel Better Construction (R-Value 6.5) Garage Door	2	Overhead Door
4334206	Nelson 6" Pine Shims - 9-pack	2	Opening Shim
5634342	White Lightning™ Window & Door Silicone Rubber Clear Sealant - 9 oz	1	Opening Caulk



Design Name: Garage Design

Design ID: 332056125623

Estimate ID: 8197

JOB	Truss	Truss type	Qty	Ply	Job Reference (optional)
QTREC0486019	T1E	GABLE	2	1	
midwest manufacturing, eau claire wi			7 640 s Nov 10 2015 MiTek Industries, Inc. Fri Dec 30 11:53:56 2016 Page 1		
			ID: 4kXy8oG_Vp4zWT5NquVX1Sy3ob0-9ejPn2Gvst7vhDpTEcdyMJsJDG9ce2hv2DErisy3nZf		

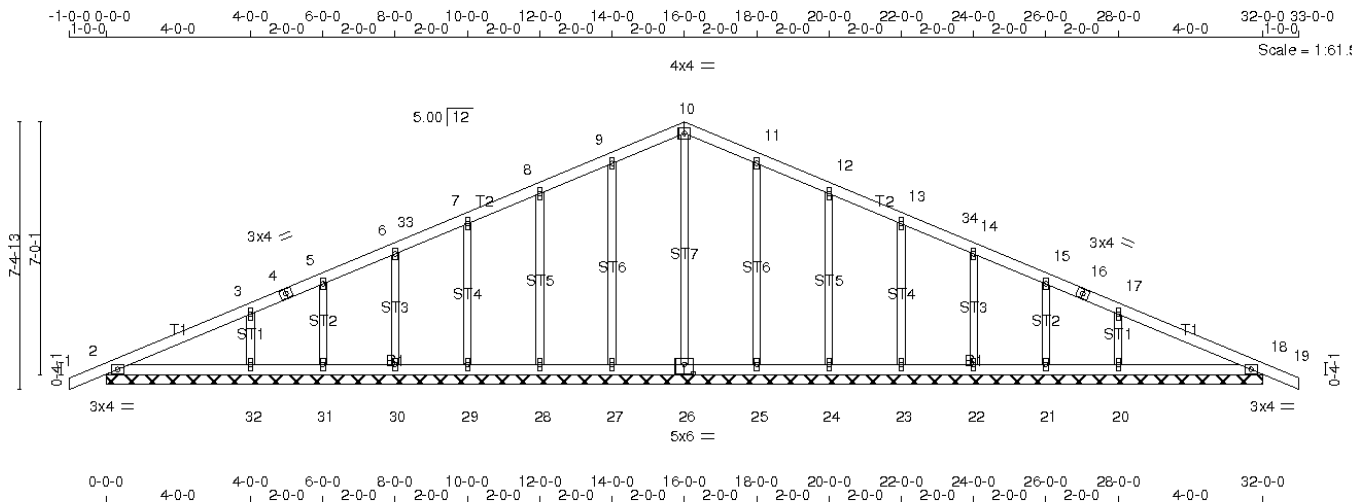


Plate Offsets (X,Y)-- [26.0-3.0,0-3.0]

LOADING (psf)	SPACING-	CSI.	DEFL.	in (loc)	l/defl	L/d	PLATES	GRIP
TCLL (roof) 54.0	2-0-0	TC 0.29	Vert(LL)	0.02	19	n/r	120	197/144
Snow (Ps/Pg) 48.5/70.0	Plate Grip DOL 1.15	BC 0.18	Vert(CT)	0.02	19	n/r	90	
TCDL 10.0	Lumber DOL 1.15	WB 0.37	Horz(CT)	0.00	18	n/a	n/a	
BCLL 25.0 *	Rep Stress Incr YES	(Matrix)						
BCDL 10.0	Code IRC2015/TPI2014							Weight: 118 lb FT = ?

LUMBER-	BRACING-
TOP CHORD 2x4 SPF No.2	TOP CHORD Sheathed or 6-0-0 oc purlins.
BOT CHORD 2x4 SPF No.2	BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.
WEBS 2x3 SPF Stud "Except"	
W3,W4: 2x4 SPF Stud	
OTHERS 2x3 SPF Stud	

MiTek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide.

REACTIONS. All bearings 32-0-0.
 (lb) - Max Horz 2=-93(LC 15)
 Max Uplift All uplift 100 lb or less at joint(s) 2, 18, 27, 28, 29, 30, 31, 32, 25, 24, 23, 22, 21, 20
 Max Grav All reactions 250 lb or less at joint(s) 31, 21 except 2=402(LC 2), 18=402(LC 2), 26=312(LC 31), 27=403(LC 21), 28=381(LC 5), 29=378(LC 21), 30=351(LC 5), 32=620(LC 34), 25=403(LC 22), 24=381(LC 6), 23=378(LC 22), 22=351(LC 6), 20=620(LC 35)

FORCES. (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
 WEBS 9-27=-364/57, 8-28=-340/64, 7-29=-340/60, 6-30=-279/65, 3-32=-465/104, 11-25=-364/57, 12-24=-340/64, 13-23=-340/60, 14-22=-279/65, 17-20=-465/104

JOINT STRESS INDEX
 2 = 0.49, 3 = 0.51, 4 = 0.26, 5 = 0.51, 6 = 0.51, 7 = 0.51, 8 = 0.51, 9 = 0.51, 10 = 0.35, 11 = 0.51, 12 = 0.51, 13 = 0.51, 14 = 0.51, 15 = 0.51, 16 = 0.26, 17 = 0.51, 18 = 0.49, 20 = 0.51, 21 = 0.51, 22 = 0.51, 23 = 0.51, 24 = 0.51, 25 = 0.51, 26 = 0.31, 27 = 0.51, 28 = 0.51, 29 = 0.51, 30 = 0.51, 31 = 0.51 and 32 = 0.51

NOTES- (16)
 1) Unbalanced roof live loads have been considered for this design.
 Continued on page 2

Job	Truss	Truss Type	Qty	Ply	Job Reference (optional)
QTREC0486019	T1E	GABLE	2	1	

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7 640 s Nov 10 2015 MiTek Industries, Inc. Fri Dec 30 11:53:56 2016 Page 2

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NOTES- (16)

- 2) Wind: ASCE 7-10; Vult=115mph (3-second gust) Vasd=91mph; TCDL=4.2psf; BCDL=6.0psf; h=25ft; Cat. II; Exp B; enclosed; MWFRS (envelope) gable end zone and C-C Exterior(2) zone; cantilever left and right exposed; end vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
- 3) Truss designed for wind loads in the plane of the truss only. For studs exposed to wind (normal to the face), see Standard Industry Gable End Details as applicable, or consult qualified building designer as per ANSI/TPI 1.
- 4) TLL: ASCE 7-10; Pr=54.0 psf (roof live load: Lumber DOL=1.15 Plate DOL=1.15); Pg=70.0 psf (ground snow); Ps=48.5 psf (roof snow: Lumber DOL=1.15 Plate DOL=1.15); Category II; Exp B; Fully Exp.; Ct=1.1
- 5) Roof design snow load has been reduced to account for slope.
- 6) Unbalanced snow loads have been considered for this design.
- 7) This truss has been designed for greater of min roof live load of 12.0 psf or 1.00 times flat roof load of 48.5 psf on overhangs non-concurrent with other live loads.
- 8) All plates are 1.5x4 MT20 unless otherwise indicated.
- 9) Gable requires continuous bottom chord bearing.
- 10) Gable studs spaced at 2-0-0 oc.
- 11) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- 12) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members, with BCDL = 10.0psf.
- 13) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) 2, 18, 27, 28, 29, 30, 31, 32, 25, 24, 23, 22, 21, 20.
- 14) This truss is designed in accordance with the 2015 International Residential Code sections R502.11.1 and R802.10.2 and referenced standard ANSI/TPI 1.
- 15) "Semi-rigid pitchbreaks including heels" Member end fixity model was used in the analysis and design of this truss.

LOAD CASE(S) Standard

JOB	Truss	Truss type	Qty	Ply	Job Reference (optional)
QTREC0485677	T1	COMMON	13	1	
Midwest Manufacturing, HOLIDAY CITY, OH			7 640 s Nov 10 2015 MiTek Industries, Inc. Wed Dec 28 10:57:07 2016 Page 1		
			ID:COuQfxbler?nqk_uay9zNey4V0u-?w_7N4nBKfivDgXVC4plEOJjgL6H3AiUr4E8ahy4SaC		
-1-0-0 1-0-0	8-8-12	8-8-12	7-3-4	16-0-0	7-3-4
				23-3-4	8-8-12
					32-0-0 1-0-0

Scale = 1:60.1

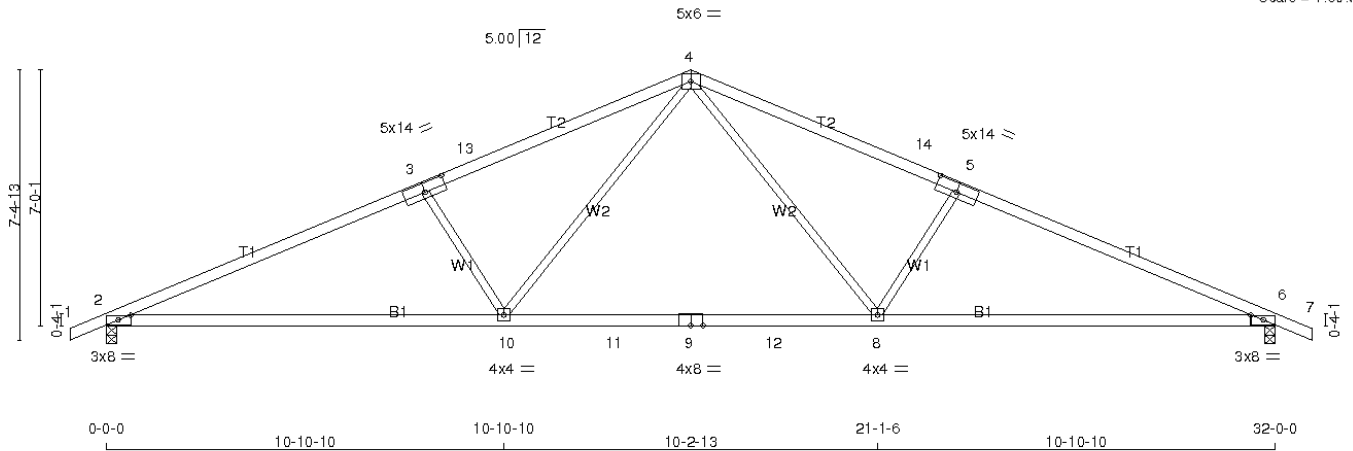


Plate Offsets (X,Y)-- [2:0-4-2,0-1-8], [3:0-7-0,0-3-0], [5:0-7-0,0-3-0], [6:0-4-2,0-1-8]

LOADING (psf)	SPACING-	CSI.	DEFL.	PLATES	GRIP
TCLL (roof) 30.0	2-0-0	TC 0.89	in (loc) l/defl L/d	MT20	197/144
Snow (Ps/Pg) 27.7/40.0	Plate Grip DOL 1.15	BC 0.86	Vert(LL) -0.43 8-10 >881 240		
TCDL 7.0	Lumber DOL 1.15	WB 0.60	Vert(CT) -0.67 2-10 >572 180		
BCLL 0.0 *	Rep Stress Incr YES	(Matrix)	Horz(CT) 0.11 6 n/a n/a		
BCDL 10.0	Code IRC2015/TPI2014			Weight: 99 lb	FT = ?

LUMBER-
 TOP CHORD 2x4 SPF 1650F 1.5E "Except"
 T1: 2x4 SPF 2100F 1.8E
 BOT CHORD 2x4 SPF 1650F 1.5E
 WEBS 2x3 SPF Stud

BRACING-
 TOP CHORD Sheathed or 2-2-0 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

MiTek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide.

REACTIONS. (lb/size) 2=1498/0-3-8 (min. 0-2-8), 6=1498/0-3-8 (min. 0-2-8)
 Max Horz 2=-93(LC 19)
 Max Uplift 2=-115(LC 14), 6=-115(LC 15)
 Max Grav 2=1575(LC 2), 6=1575(LC 2)

FORCES. (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
 TOP CHORD 2-3=-2993/437, 3-13=-2660/406, 4-13=-2546/427, 4-14=-2546/427,
 5-14=-2660/406, 5-6=-2993/437
 BOT CHORD 2-10=-307/2652, 10-11=-133/1790, 9-11=-133/1790, 9-12=-133/1790,
 8-12=-133/1790, 6-8=-307/2652
 WEBS 3-10=-653/229, 4-10=-92/996, 4-8=-92/996, 5-8=-653/229

JOINT STRESS INDEX
 2 = 0.74, 3 = 1.00, 4 = 0.68, 5 = 1.00, 6 = 0.74, 8 = 0.70, 9 = 0.87 and 10 = 0.71

NOTES- (11)
 1) Unbalanced roof live loads have been considered for this design.
 2) Wind: ASCE 7-10; Vult=115mph (3-second gust) Vasd=91mph; TCCL=4.2psf; BCDL=6.0psf; h=25ft; Cat. II; Exp B; enclosed; MWFRS (envelope) gable end zone and C-C Exterior(2) zone; cantilever left and right exposed; end vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60

Continued on page 2

Job	Truss	Truss Type	Qty	Ply	Job Reference (optional)
QTREC0485677	T1	COMMON	13	1	

Midwest Manufacturing, HOLIDAY CITY, OH

7.640 s Nov 10 2015 MiTek Industries, Inc. Wed Dec 28 10:57:07 2016 Page 2
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NOTES- (11)

- 3) TLL: ASCE 7-10; Pr=30.0 psf (roof live load: Lumber DOL=1.15 Plate DOL=1.15); Pg=40.0 psf (ground snow); Ps=27.7 psf (roof snow: Lumber DOL=1.15 Plate DOL=1.15); Category II; Exp B; Fully Exp.; Ct=1.1
- 4) Roof design snow load has been reduced to account for slope.
- 5) Unbalanced snow loads have been considered for this design.
- 6) This truss has been designed for greater of min roof live load of 12.0 psf or 1.00 times flat roof load of 27.7 psf on overhangs non-concurrent with other live loads.
- 7) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- 8) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members, with BCDL = 10.0psf.
- 9) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) except (jt=lb) 2=115, 6=115.
- 10) This truss is designed in accordance with the 2015 International Residential Code sections R502.11.1 and R802.10.2 and referenced standard ANSI/TP11.

LOAD CASE(S) Standard