



# COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road  
Novi, MI 48375  
(248) 347-0415 Phone  
(248) 735-5600 Facsimile  
[www.cityofnovi.org](http://www.cityofnovi.org)

## ZONING BOARD OF APPEALS STAFF REPORT

**FOR:** City of Novi Zoning Board of Appeals

**ZONING BOARD APPEALS DATE:** April 11, 2023

**REGARDING:** 111 Austin Drive, Parcel # 50-22-10-278-013 (PZ23-0007)

**BY:** Charles Boulard, Director Community Development

### I. GENERAL INFORMATION:

**Applicant**

Richard Bohl Architects LLC

**Variance Type**

Dimensional Variance

**Property Characteristics**

Zoning District: This property is zoned One-Family Residential (R-4)

Location: west of Old Novi Road, south of 13 Mile

Parcel #: 50-22-10-278-013

**Request**

The applicant is requesting a variance from the City of Novi Zoning Ordinance from Section 4.19(E)i for total garage square footage of 1200 square feet (850 square feet allowed, variance of 350 square feet). This property is zoned One-Family Residential (R-4)

### II. STAFF COMMENTS:

### III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we **grant** the variance in Case No. **PZ23-0007**, sought by \_\_\_\_\_, for \_\_\_\_\_ because Petitioner has shown practical difficulty requiring \_\_\_\_\_.

  - (a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because \_\_\_\_\_
  - (b) The property is unique because \_\_\_\_\_
  - (c) Petitioner did not create the condition because \_\_\_\_\_

\_\_\_\_\_.

(d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because\_\_\_\_\_.

\_\_\_\_\_.

(e) The relief if consistent with the spirit and intent of the ordinance because

\_\_\_\_\_.

\_\_\_\_\_.

(f) The variance granted is subject to:

1. \_\_\_\_\_.

2. \_\_\_\_\_.

3. \_\_\_\_\_.

4. \_\_\_\_\_.

2. I move that we **deny** the variance in Case No. **PZ23-0007**, sought by \_\_\_\_\_,  
for\_\_\_\_\_ because Petitioner has not shown  
practical difficulty requiring \_\_\_\_\_.

(a) The circumstances and features of the property including\_\_\_\_\_ are not unique because they exist generally throughout the City.

(b) The circumstances and features of the property relating to the variance request are self-created because\_\_\_\_\_.

\_\_\_\_\_.

(c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that \_\_\_\_\_.

\_\_\_\_\_.

(d) The variance would result in interference with the adjacent and surrounding properties by\_\_\_\_\_.

\_\_\_\_\_.

(e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to\_\_\_\_\_.

\_\_\_\_\_.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0423.  
Charles Boulard - Director Community Development - City of Novi

## TRANSMITTAL

Date: 02 09 2023

To: City of Novi  
45175 Ten Mile Road  
Novi, Michigan 48375 USA  
Attention: Sophia Wagner

Via: USPS &  
Email - awagner@cityofnovi.org

Attached: Submittal Documents for ZBA – 111 Austin

Drawings (1 set paper & 1 set electronic via email)

A1- Floor Plan  
A2- Foundation Plan  
A3 – Elevations  
A4 – Sections  
S1- Site Plan  
SK-1 Garage Area Calculation

Check # 1419 for hearing fee in the amount of \$ 200

Zoning Board of Appeals Application dated 2/8/2023 – 2 pages

Zoning Board of Appeals Variance Application Checklist – 1 page

Response to City of Novi - Zoning Board of Appeals, - Review, Standards, and  
Dimensional Variance – 2 pages



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**ZONING BOARD OF APPEALS  
 APPLICATION**

APPLICATION MUST BE FILLED OUT COMPLETELY

<b>I. PROPERTY INFORMATION (Address of subject ZBA Case)</b>				Application Fee: _____
PROJECT NAME / SUBDIVISION: <i>Residential Addition</i>		ADDRESS: <i>111 Austin Drive</i>		Meeting Date: _____
SIDWELL #: <i>50-22-10-279-013</i>		LOT/SUITE/SPACE #		ZBA Case #: <i>PZ</i>
CROSS ROADS OF PROPERTY				
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		REQUEST IS FOR: <input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE		
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input type="checkbox"/> NO				
<b>II. APPLICANT INFORMATION</b>				
<b>A. APPLICANT</b>		EMAIL ADDRESS: <i>bohlr@bahlarich.com</i>	CELL PHONE NO. <i>734.250.1162</i>	
NAME: <i>Richard Bohrl</i>		TELEPHONE NO.		
ORGANIZATION/COMPANY: <i>Richard Bohrl, Architects LLC</i>		FAX NO.		
ADDRESS: <i>29725 Park View</i>		CITY: <i>Grosse Ile</i>	STATE: <i>MI</i>	ZIP CODE: <i>48136</i>
<b>B. PROPERTY OWNER</b> <input type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER				
Identify the person or organization that owns the subject property:		EMAIL ADDRESS: <i>euniceplow@gmail.com</i>	CELL PHONE NO. <i>313-695-8406</i>	
NAME: <i>EUNICE LOW</i>		TELEPHONE NO. <i>313-695-8406</i>		
ORGANIZATION/COMPANY: <i>N/A</i>		FAX NO.		
ADDRESS: <i>111 AUSTIN DR</i>		CITY: <i>NOVI</i>	STATE: <i>MI</i>	ZIP CODE: <i>48377</i>
<b>III. ZONING INFORMATION</b>				
<b>A. ZONING DISTRICT</b>				
<input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input checked="" type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH				
<input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____				
<b>B. VARIANCE REQUESTED</b>				
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:				
1. Section <i>3.15, 4.19e1</i> Variance requested <i>Increase garage area to 1200 sq. ft.</i>				
2. Section _____ Variance requested _____				
3. Section _____ Variance requested _____				
4. Section _____ Variance requested _____				
<b>IV. FEES AND DRAWINGS</b>				
<b>A. FEES</b>				
<input checked="" type="checkbox"/> Single Family Residential (Existing) \$200 <input checked="" type="checkbox"/> (With Violation) \$250 <input type="checkbox"/> Single Family Residential (New) \$250				
<input type="checkbox"/> Multiple/Commercial/Industrial \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> Signs \$300 <input type="checkbox"/> (With Violation) \$400				
<input type="checkbox"/> House Moves \$300 <input type="checkbox"/> Special Meetings (At discretion of Board) \$600				
<b>B. DRAWINGS 1-COPY &amp; 1 DIGITAL COPY SUBMITTED AS A PDF</b>				
• Dimensioned Drawings and Plans		• Existing & proposed distance to adjacent property lines		
• Site/Plot Plan		• Location of existing & proposed signs, if applicable		
• Existing or proposed buildings or addition on the property		• Floor plans & elevations		
• Number & location of all on-site parking, if applicable		• Any other information relevant to the Variance application		





# ZONING BOARD OF APPEALS APPLICATION

## V. VARIANCE

### A. VARIANCE (S) REQUESTED

DIMENSIONAL    USE    SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

### B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the scheduled ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next scheduled ZBA meeting, or cancelled. A mock-up sign is **NOT** to be an actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

### C. ORDINANCE

#### City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is established within such a period; provided, however, where such use permitted is dependent upon the erection or alteration of a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

### D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING    ADDITION TO EXISTING HOME/BUILDING    SIGNAGE

ACCESSORY BUILDING    USE    OTHER \_\_\_\_\_

## VI. APPLICANT & PROPERTY SIGNATURES

### A. APPLICANT

Applicant Signature

*R. Abhi*

Date

*2/1/23*

### B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

Property Owner Signature

*[Signature]*

Date

*2/8/23*

## VII. FOR OFFICIAL USE ONLY

### DECISION ON APPEAL:

GRANTED

DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following conditions:

Chairperson, Zoning Board of Appeals

Date



**Community Development Department**  
45175 Ten Mile Road  
Novi, MI 48375  
(248) 347-0415 Phone  
(248) 735-5600 Facsimile  
www.cityofnovi.org

## ZONING BOARD OF APPEALS VARIANCE APPLICATION CHECKLIST

The following items are required for a complete Variance application. Incomplete applications will be returned.

**Signed Application Form**

Complete the Zoning Board of Appeals application form. Application must be signed by the applicant and the property owner (if different).

**Response to Variance Review Standards – Dimensional, Use, or Sign**

Select the applicable Review Standards for the requested Variance and complete in full. Use additional paper if needed. If you don't know which Review Standards to complete, call the Community Development Department at 248.347.0415 for guidance.

**Dimensioned Site Plan (1 copy & 1 digital copy submitted as a PDF)**

- Existing or proposed buildings or additions on the property.
- Number and location of all on-site parking spaces.
- Existing and proposed distances to adjacent property lines.
- Location of existing and proposed signs, if applicable.
- Any other information relevant to the Variance application.

**Dimensioned Drawings and Plans (1 copy & 1 digital copy submitted as a PDF)**

- Floor plans and elevations with all proposed buildings and additions.
- All existing and proposed signs on the property (photographs may be used).
- For use variances, include floor plan showing the existing and proposed layout and functions of each area.
- For multi-family residential structures or projects, a summary showing the existing and proposed number of dwelling units by type (efficiency, one-bedroom, two-bedroom, etc.)

**Other Helpful Information – Optional (1 copy & 1 digital copy submitted as a PDF)**

- Photographs of the lot or structure that shows the special conditions or circumstances described in the application.
- Photographs or maps that show how other properties in the area enjoy the same type of property rights related to the Variance.
- Letters of support from the neighbors who would be most affected by your request.

**Fee** (make check payable to the City of Novi)

- Single Family Residential (Existing) \$200 (With Violation) \$250
- Single Family Residential (New) \$250
- Multiple/Commercial/Industrial \$300 (With Violation) \$400
- Signs \$300 (With Violation) \$400
- House Moves \$300
- Special Meetings (At discretion of Board) \$600

### Additional information

In the course of reviewing the application, the Planning Department staff may request additional information from the applicant.



2.01.2023

Subject: 111 Austin Drive  
Response to City of Novi - Zoning Board of Appeals, - Review, Standards, and  
Dimensional Variance

Standard #1. Circumstances or physical conditions.

- a. Shape of the lot. Exceptional narrowness, shallowness, or shape of a specific property in existence on the effective date of the zoning ordinance or amendment.

*The shape of the lot does not impact the requested zoning variance.*

- b. Environmental conditions. Exceptional topographic, or environmental conditions, or other extraordinary situations on the land, building or structure.

*There are no environmental conditions that impact the requested zoning variance.*

- c. Abutting property. The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the zoning ordinance or would involve significant practical difficulties.

*The development of the abutting property will not impact the requested zoning variance.*

Standard #2. Not Self-Created

*There is no practical difficulty caused by others.*

Standard #3. Strict Compliance

*The owner believes the ordinance restriction of an 850 Sq. Ft. garage is unnecessarily burdensome and is seeking a variance to increase the garage square to 1200 sq. ft. The limit placed by the zoning ordinance prohibits the owner from being able to garage a third car.*

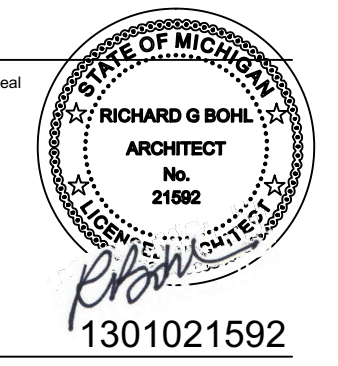
Standard #4. Minimum Variance Necessary.

*The requested variance is the minimum variance necessary to allow the owner to use their property.*

Standard #5. Adverse Impact on Surrounding Area.

*The requested variance should have little impact on the adjacent neighbors, as the proposed addition is within the ordinance setbacks and height restrictions of the zoning district.*





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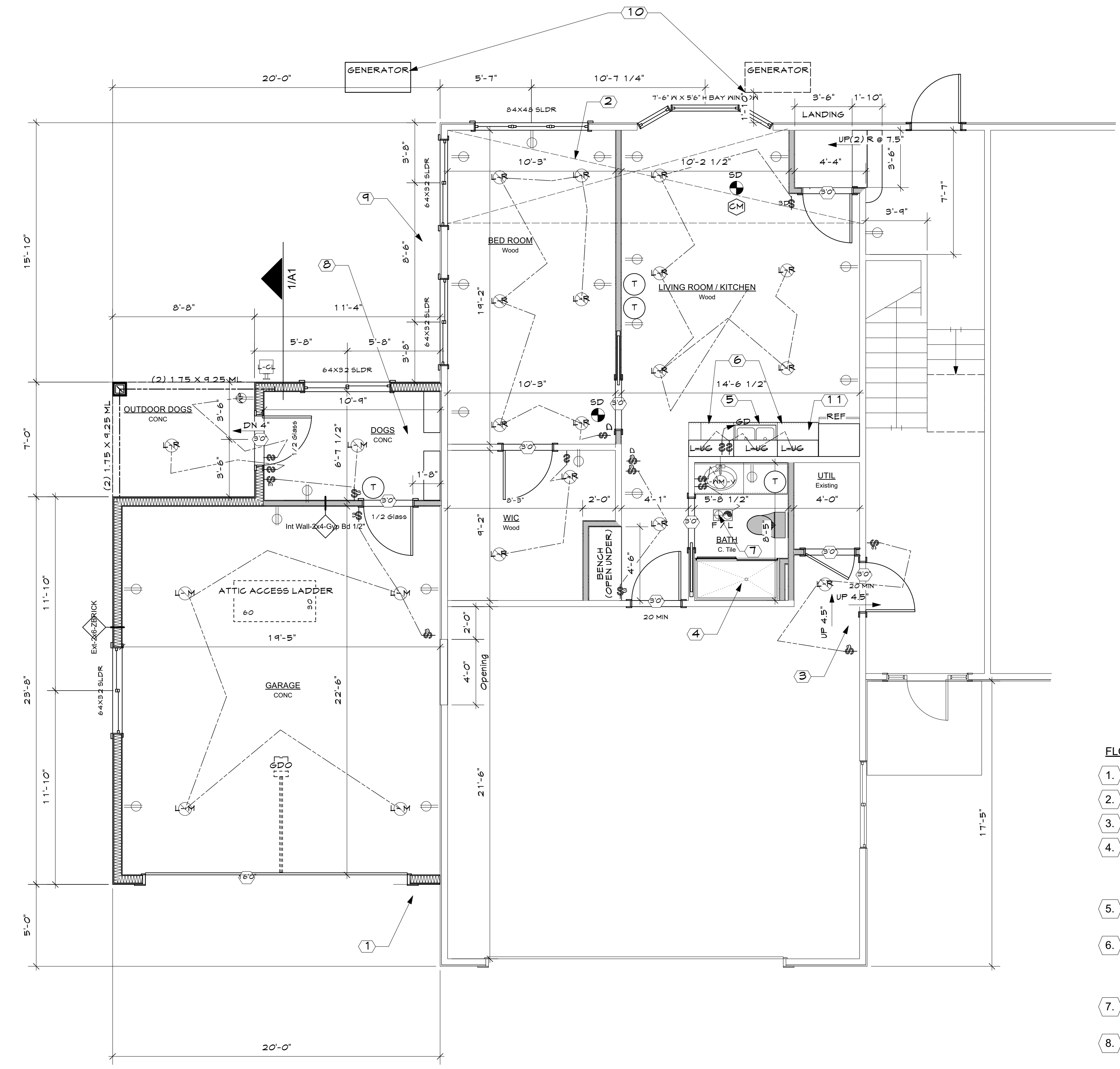
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Checked By: [Blank]  
No. Date

C. 2/13/23 ZBA Permits  
B. 1/19/23  
A. 12/19/22  
No. Date

Drawn By: RGB  
Checked By: RGB  
Project ID: 202219  
Owner Review: [Blank]

Electrical Legend - Devices						
Symbol	Mark	Item	MFG	Model	Voltage	Notes
	CM	Carbon Monoxide Detector				
	F/L	Exhaust Fan Light	NuTone	744NT	120v	10 CFM 15 WATT 4" duct, IC Rated
	GDO	Garage Door Opener				
	XP	Outlet Duplex	Leviton	SmartLocIPro 20 amp Tamper proof		provide weatherproof cover
	4b	Outlet Duplex	Leviton	SmartLocIPro 20 amp		
	F	Outlet Duplex	Leviton	SmartLocIPro 20 amp		
	1b	Outlet Duplex	Leviton	SmartLocIPro 20 amp		
		Outlet Duplex	Leviton			
	40' SFC	Outlet Duplex	Leviton	SmartLocIPro 20 amp SFC		
	60'	Outlet Duplex	Leviton	SmartLocIPro 20 amp		
	SD	Smoke Detector	Kidde		120v	Hardwired with battery backup
	3D	Switch 3 way	Leviton	Decora 15 amp		White
	D	Switch Dimmer	Leviton	Decora 15 amp		White
	S	Switch Single Pole	Leviton	Decora 15 amp		White
	3	Switch 3 way	Leviton	Decora 15 amp		White
	T	Thermostat				

Electrical Legend - Lighting								
Symbol	Mark	Item	MFG	Model	Lamp	Voltage	Wattage	Notes
	L-CL	Carriage Light			CLF	120v		Wall Mount / motion sensor
	L-M	Light Gelling Mount			LED	120v	120 max	
	L-R	Recessed Fixture LED		Commercial Electric or Eq. CER 105	LED	120v	125	LED Trim Ring IC Rated
	L-UC	Under Cabinet Light LED 1.2'		Philips -eXtreme Powercore	LED 3500K	120v		
	L-WM-V	Wall mount vanity light			CFL	120v		



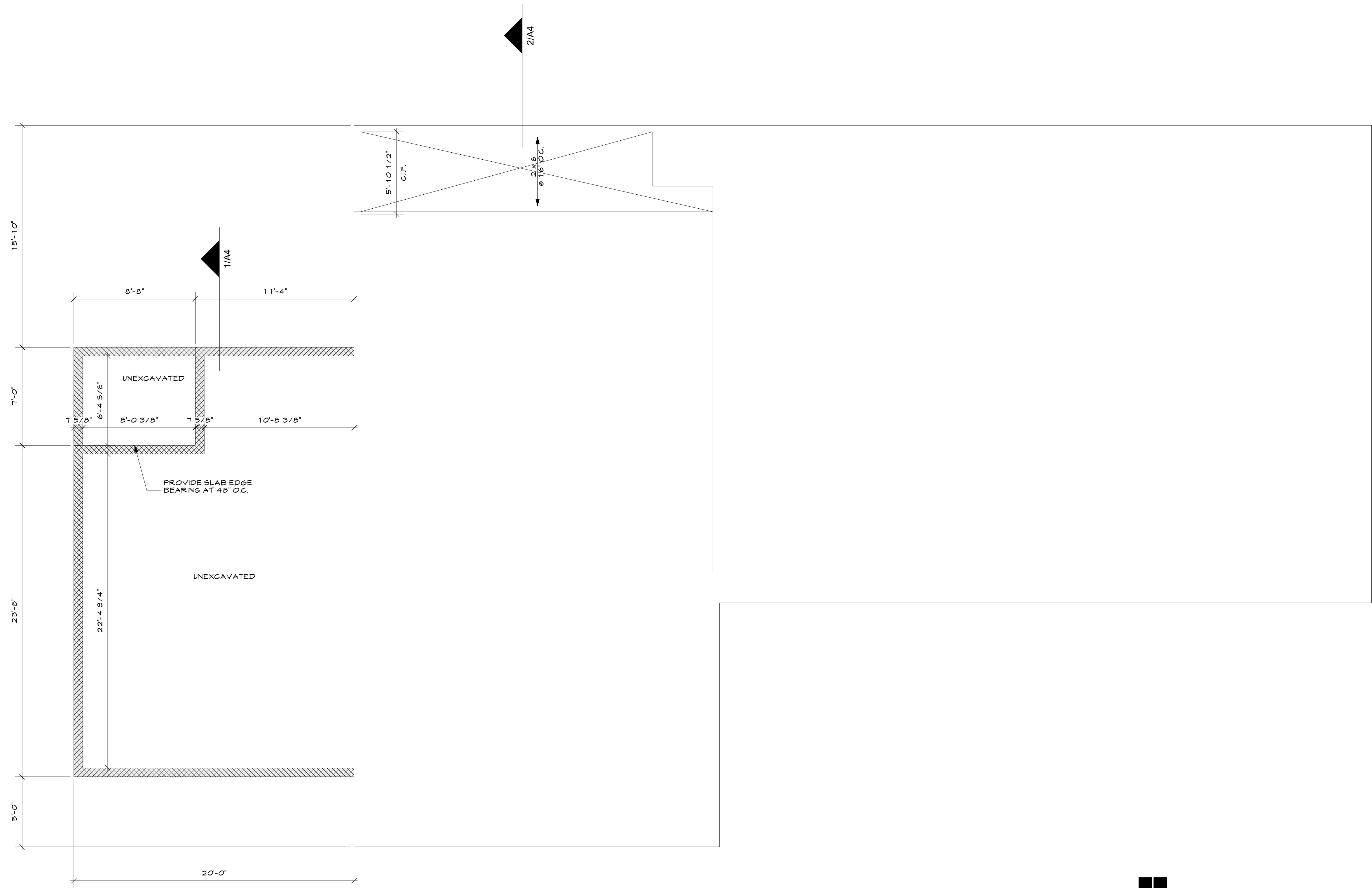
- FLOOR PLAN NOTES**
1. REMOVE DOOR
  2. NEW FLOOR
  3. NEW LANDING
  4. NEW ROLL IN SHOWER WITH GRAB BARS & SLIDING GLASS DOOR PROVIDE MEMBRANE UNDER ENTIRE BATH FLOOR
  5. PROVIDE NEW CABINETS REUSE EXISTING SINK
  6. REMOVE EXISTING STOVE & DISHWASHER UTILITIES TO REMAIN IN PLACE PROVIDE NEW CABINETS
  7. NEW FAN LIGHT VENT THROUGH ROOF
  8. RADIANT HEAT & INSULATION UNDER SLAB
  9. CONDENSOR DUCTED GAS MINI-SPLIT UNIT SERVING ALL NEW SPACE EXCEPT GARAGE
  10. RELOCATE GENERATOR
  11. PREP FOR NEW RANGE HOOD VENT THROUGH ROOF

**Floor Plan**  
Scale: 1/4" = 1'-0"  
**SITE DATA**  
SITE AREA 17,720 SQ. FT.  
HOUSE AREA FIRST FLOOR 4980 SQ. FT.  
LOT COVERAGE (4980/17720) 23% < 25%

Addition and Renovation  
**LOW**  
111 Austin Drive  
Novi, MI  
Sheet Name  
Floor Plan



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**Foundation Plan**  
Scale: 1/4" = 1'-0"



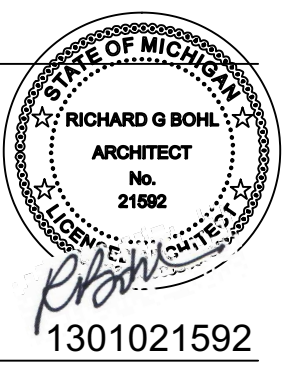
No.	Date	Revised
C	2/13/23	ZBA Permits
B	1/19/23	Owner Review
A	12/19/22	Issue

Drawn By: RCB  
Checked By: RGB  
Project ID: 202219

Addition and Renovation  
**LOW**  
111 Austin Drive  
Novi, MI

Sheet Name  
**Foundation Plan**

**A2**



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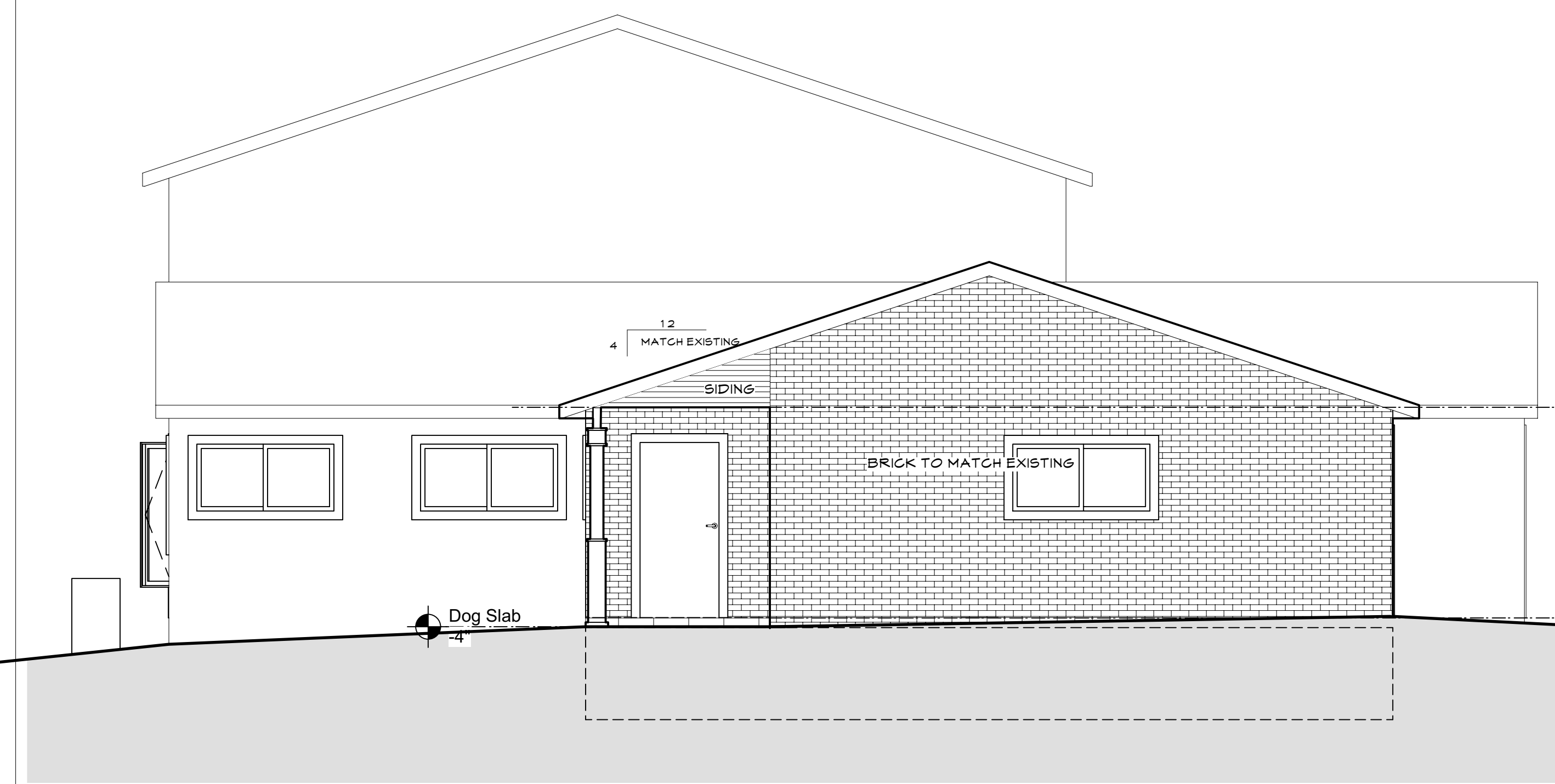
Revised  
No. Date

C. 2/13/23 ZBA Permits Owner Review  
B. 1/19/23  
A. 12/19/22 No. Date

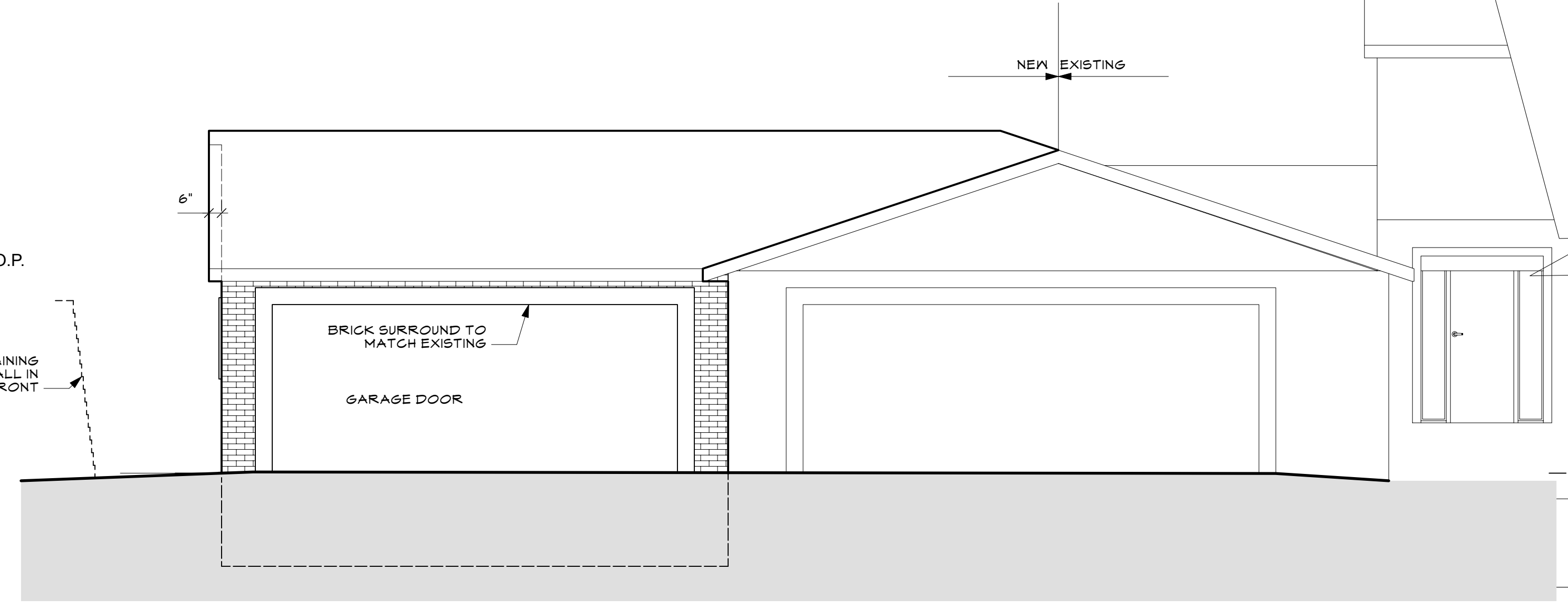
Drawn By  
Checked By  
Project ID  
202219

Addition and Renovation  
**LOW**  
111 Austin Drive  
Novi, MI  
Sheet Name  
Elevations

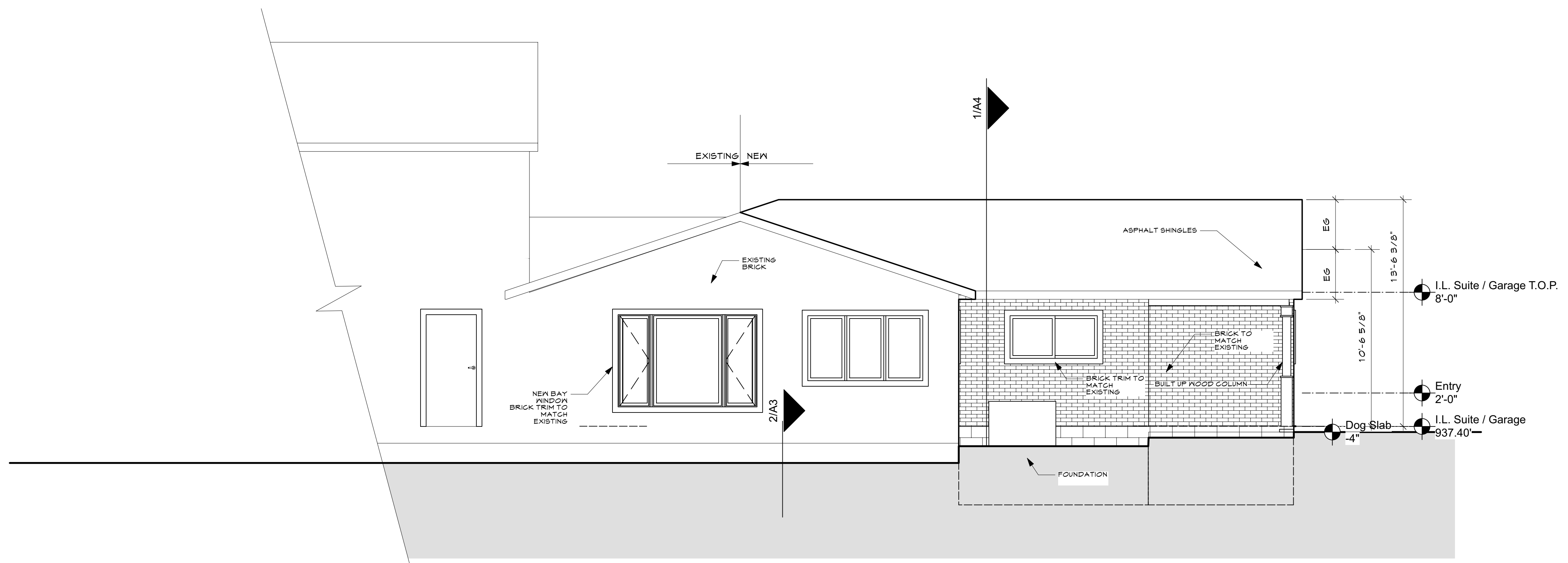
**A3**



**East**  
Scale: 1/4" = 1'-0"



**North**  
Scale: 1/4" = 1'-0"



**South**  
Scale: 1/4" = 1'-0"



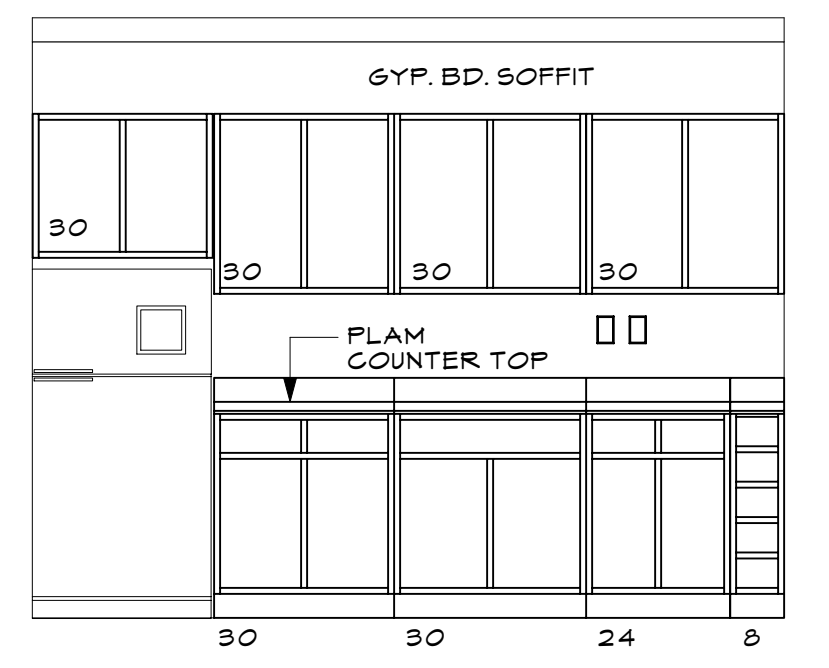


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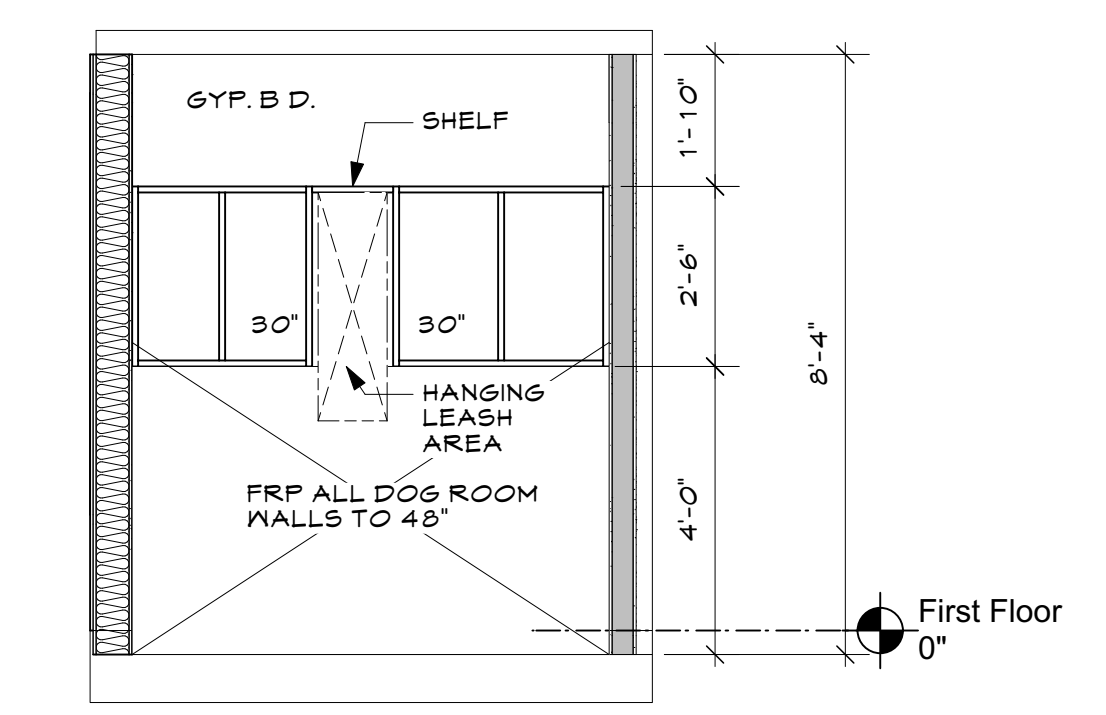
- General Notes**
- All federal, state, and local codes, regulations and ordinances shall be considered as part of the specification for this work including the Michigan Residential Code (2015) and shall take preference over anything shown, described or implied where same are at variance.
  - Drawings of the existing facilities are, in general, diagrammatic. Exact locations shall be determined by the Contractor from field measurements taken by the contractor. Actual arrangement of the work shall follow locations shown on the drawings within the constraints of existing equipment and construction. Dimensions shall govern these drawings and they are not to be scaled. Drawings and notes to drawings are correlative and have equal authority and priority. Should there be discrepancies in themselves or between them, Contractor shall base bid pricing on the most expensive combination of quality and/or quantity of the work indicated. In the event of discrepancies, the appropriate method of performing the work and/or item to be incorporated into the scope of work shall be determined by the Contractor.
  - All foundations are designed based on an assumed soil bearing capacity of 1500 pounds per square foot.
  - Allowances are the amounts included in the Bid Contract Sum for the item noted. The allowance represents the builders cost for the "Material" or "Labor and Material" as noted.
- The Final Contract Sum will be adjusted by agreement of all parties based on the final selection of materials or systems.
- For allowances noted material only, all labor cost is included in the Contract Sum.
- For an item cost that is less than the allowance the Bid Contract Sum will be adjusted downward by the difference between the allowance amount and the actual builders cost.
- For item cost that is greater than the allowance amount the Bid Contract Sum will be adjusted upward by the difference between the allowance amount and the actual builders cost plus a percentage of the difference for the contractors overhead and profit.
- The contractor shall include the following allowances in his Bid Contract Sum:

- Wood construction shall be per A.I.T.C. and National Forest Products Association (N.F.P.A.) standards and specifications.
- Dimensional framing lumber shall be #2 Douglas fir-Larch surfaced dry, #1 Hem-fir (north) surfaced dry or #2 Southern Pine Kiln dried. Minimum extreme fiber bending stress 1,200 P.S.I. Contractor shall provide documentation of species, and fiber bending stress to the AHJ prior to construction.
- Microlam beams to be 1 3/4" x 1.9E Microlam LVL by TruJoist or Equal. Materials shall comply with ICC ES ESR-1387. Adhesives shall be of the waterproof type conforming to the requirements of ASTM D-2554. Microlam LVL shall be manufactured by Neugerhauser or Equal in a plant listed in the reports referred to above and under the supervision of an approved third-party inspection agency. It shall be manufactured in a continuous process with all grain parallel with the length of the members. All members are to be free of finger or scarf joints or mechanical connections in full-length members. Bolt multiple member beams together in accordance with manufacturers standard details based on the number of members. Bolts to be a ASTM standard A 307 (machine bolts). Bolt holes are to be the same diameter as the bolt and located 2 inches from the top and bottom of the member. Washers should be used under head and bolt.
- Wood trusses shall be designed in accordance with American Forest & Paper Association's (AF&PA) National Design Specification by a professional engineer licensed to practice in the jurisdiction where the building is to be constructed. Provide an engineering framing layout prepared by a professional engineer. Contractor to have Manufacturers drawings on site for inspection. Floor trusses shall have a maximum deflection of 1/480.
- Interior wood trim to be pine suitable for paint. Profile to match existing.
- Polyethylene heavy duty pipe, single wall high density perforated, corrugated polyethylene ASTM F667, with 24 mil polyester filter sock ASTM D6707, Advanced Drainage Systems or equal.
- Fiberglass wall and ceiling insulation to be the thickness shown on the drawings complete with a craft faced vapor barrier. If thickness is not shown it shall be the minimum required thickness to meet the energy requirements of the building code.
- Sheathing to be ZIP system wall sheathing panels, 1/2" phenolic resin impregnated panels. Seal seams with ZIP system tape. Install in accordance with manufacturers instruction.
- Sheathing to be ZIP system wall sheathing panels, 1/2" phenolic resin impregnated panels. Seal seams with ZIP system tape. Install in accordance with manufacturers instruction.
- Provide self adhering rubberized asphalt membrane shingle underlayment at all peaks, valleys and eaves meeting ASTM D 1970. Extend from roof edge 36" upslope beyond interior face of exterior wall at all eaves. Ridges extend 36" on each side, valleys and roof slope transitions 18" on each side. Lap all joints to shed water, lap sides 36" or greater, lap ends 36" or greater, stagger joints.
- Gutters to be aluminum, 5" Ogee profile .021 inches thick. Downspouts to be aluminum, .014 thickness color white.
- Ridge vent shall be vinyl material with an asphalt shingle cap, 6.5 sq. in. net free area per linear foot.
- Asphalt shingles to be architectural grade, color and profile to be selected by owner. Install per manufacturers instructions. Match Existing.
- Interior doors to be Insulated Legacy Textured Flush Hardboard Hollow Core Mainst Veneer Composite Interior Door Slab.
- Garage door to be 2" insulated steel, sectional rollup, style as shown on drawings. Color by owner. Provide electric garage door opener.
- Windows to be Andersen A Series fiberglass composite. Type as shown on the plans. Exterior finish color to be as selected by owner, interior to be White. Provide permanent exterior and interior grilles with spacer in the configuration shown on the plans. Glass to be standard insulated low E. Provide extension jambs to match wall thickness. Provide insect screens finished to match exterior finish color.
- Wall surface to be 1/2" gypsum wall board unless noted. Screw and glue to wood or steel studs. Finish to be level 4 per ASTM C 840 and SA 214-90.
- Laminate wood flooring to be Pergo or equal, 8 MM, loose laid snap lock over vapor barrier.

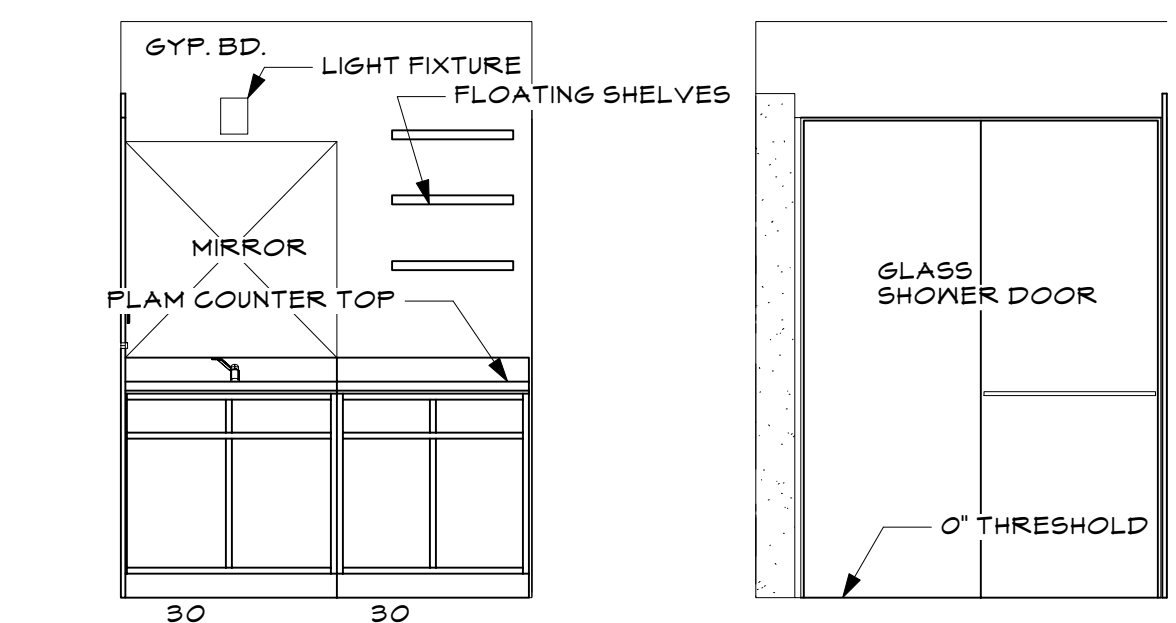
- Painting shall consist of one coat of primer and two coats of premium grade latex paint, color to be selected by owner. Tint each coat to allow for inspection. Sherwin Williams Emerald or equal. Walls and ceiling - satin finish. Doors, and trim semi-gloss finish.
  - The plumbing installation shall meet the standards prescribed by the Michigan Residential Code (2015). Construction shall in general be in accordance with standards and requirements of utilities and authorities having jurisdiction.
  - Shower enclosure ADA to be Multi Piece Barrier Free 60" x 34" Shower | Beveled Threshold, 3/4" Curb Height | SLR56034ET5B by Best bath or equal.
  - Programmable thermostat.
- Provide a programmable thermostat capable of temporarily setting the temperature set point to 55 deg. And up to 85 deg. The thermostat shall be initially programmed with a heating temperature set point no higher than 70 degrees F and a cooling temperature set point no lower than 78 degrees F.
- New Mini split to be ducted HVAC unit manufactured by EM or equal. Contractor shall submit heat loss / gain calculations and unit sizing for approval by the owner.
  - Underfloor radiant heat system to be electric.
  - Contractor shall provide a fixture allowance of \$500 in his proposal for surface mount fixtures. All recessed fixtures shall be included in the base bid. Labor to install shall be included in the base bid.
  - All fixtures shall provided with the maximum number of lamps of the appropriate type and wattage as recommended by the fixture manufacturer. 75% of Lamps to be high efficacy.
  - All electrical equipment and material shall be new, specification grade and shall have UL label for intended use.
  - All plugs, switches and plates to be white.
  - Carbon Monoxide Alarms to be AC with battery back-up type, UL 2034.
  - Recessed lighting fixtures installed in the heated building envelope shall be IC rated and so marked for inspection @ 2.0 cfm leakage at 75 Pa.
  - Provide smoke alarms in new and existing construction per Michigan Residential Code.
  - Kitchen bath and other built-in cabinets shall be the style, finish and color as selected by the owner. Contractor shall include an allowance of \$ 2500 in his proposal for cabinets.
  - Countertops shall be plastic laminate adhesive adhered to particle board substrate. Horizontal applications 0.048" thick, vertical applications 0.028" minimum thickness. Finish all exposed edges with laminate. Unless otherwise specified provide a 4" backsplash covered with plastic laminate to match counter. Color and pattern as selected by owner.
  - Countertops shall be plastic laminate adhesive adhered to particle board substrate. Horizontal applications 0.048" thick, vertical applications 0.028" minimum thickness. Finish all exposed edges with laminate. Unless otherwise specified provide a 4" backsplash covered with plastic laminate to match counter. Color and pattern as selected by owner.
  - Wall panels noted FRP shall be Standard FRP, A. Fiberglass reinforced thermosetting polyester resin panel sheets complying with ASTM D 5314, Color: P140 Ivory, Pebled surface. Provide all accessories including panel moldings and adhesive. Install over untaped greenboard.



**3 Kitchen Elevation**  
Scale: 3/8" = 1'-0"

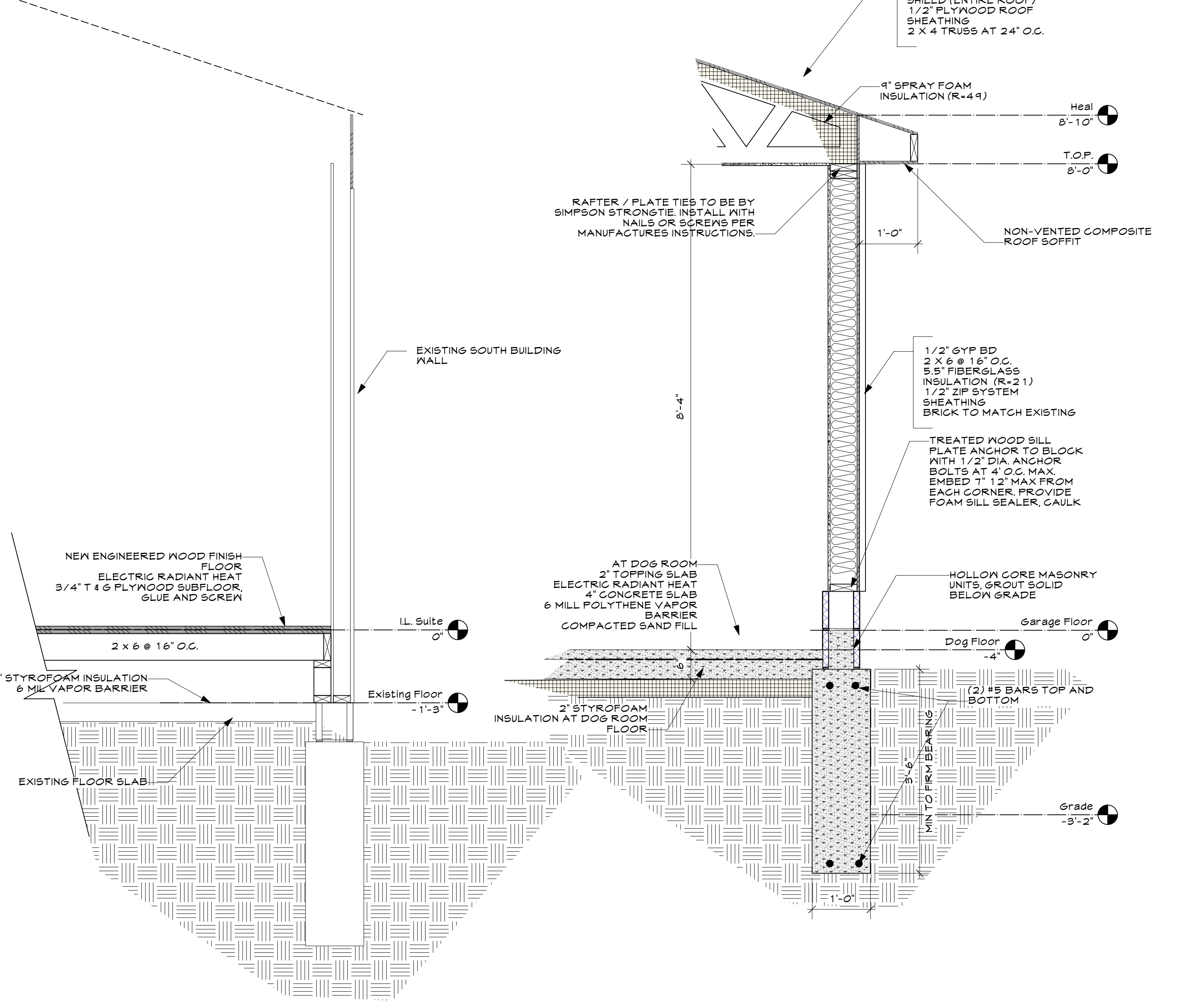


**4 Elevation Dog Room**  
Scale: 3/8" = 1'-0"



**5 South Bath Elevation**  
Scale: 3/8" = 1'-0"

**6 North Bath Elevation**  
Scale: 3/8" = 1'-0"



**2 Section**  
Scale: 3/4" = 1'-0"

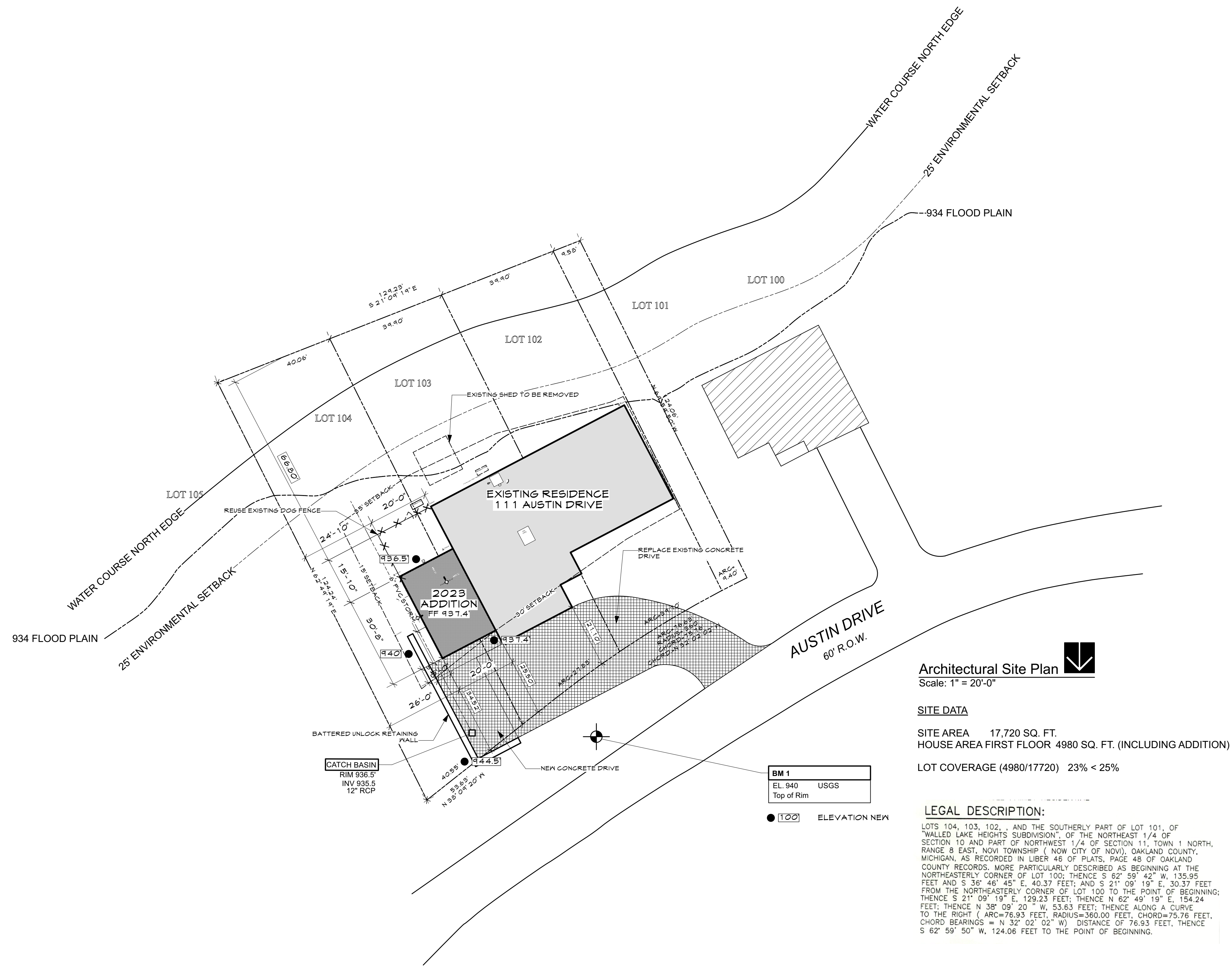
**1 Section**  
Scale: 3/4" = 1'-0"

Owner/Architect  
No. Date  
Permitted  
ZBA  
C. 2/13/23  
B. 1/19/23  
A. 12/19/22  
No. Date

Addition and Renovation  
**LOW**  
111 Austin Drive  
Novi, MI  
Sheet Name  
Sections

**A4**





**Architectural Site Plan**  
Scale: 1" = 20'-0"

**SITE DATA**  
SITE AREA 17,720 SQ. FT.  
HOUSE AREA FIRST FLOOR 4980 SQ. FT. (INCLUDING ADDITION)  
LOT COVERAGE (4980/17720) 23% < 25%

**LEGAL DESCRIPTION:**  
LOTS 104, 103, 102, AND THE SOUTHERLY PART OF LOT 101, OF "WALLED LAKE HEIGHTS SUBDIVISION", OF THE NORTHEAST 1/4 OF SECTION 10 AND PART OF NORTHWEST 1/4 OF SECTION 11, TOWN 1 NORTH, RANGE 6 EAST, NOVI TOWNSHIP (NOW CITY OF NOVI), OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 46 OF PLATS, PAGE 48 OF OAKLAND COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS BEGINNING AT THE NORTHEASTERLY CORNER OF LOT 100; THENCE S 62° 59' 42" W, 135.95 FEET AND S 36° 46' 45" E, 40.37 FEET; AND S 21° 09' 19" E, 30.37 FEET FROM THE NORTHEASTERLY CORNER OF LOT 100 TO THE POINT OF BEGINNING; THENCE S 21° 09' 19" E, 129.23 FEET; THENCE N 62° 49' 19" E, 154.24 FEET; THENCE N 38° 09' 20" W, 53.63 FEET; THENCE ALONG A CURVE TO THE RIGHT (ARC=76.93 FEET, RADIUS=360.00 FEET, CHORD=75.76 FEET, CHORD BEARINGS = N 32° 02' 02" W) DISTANCE OF 76.93 FEET, THENCE S 62° 59' 50" W, 124.06 FEET TO THE POINT OF BEGINNING.

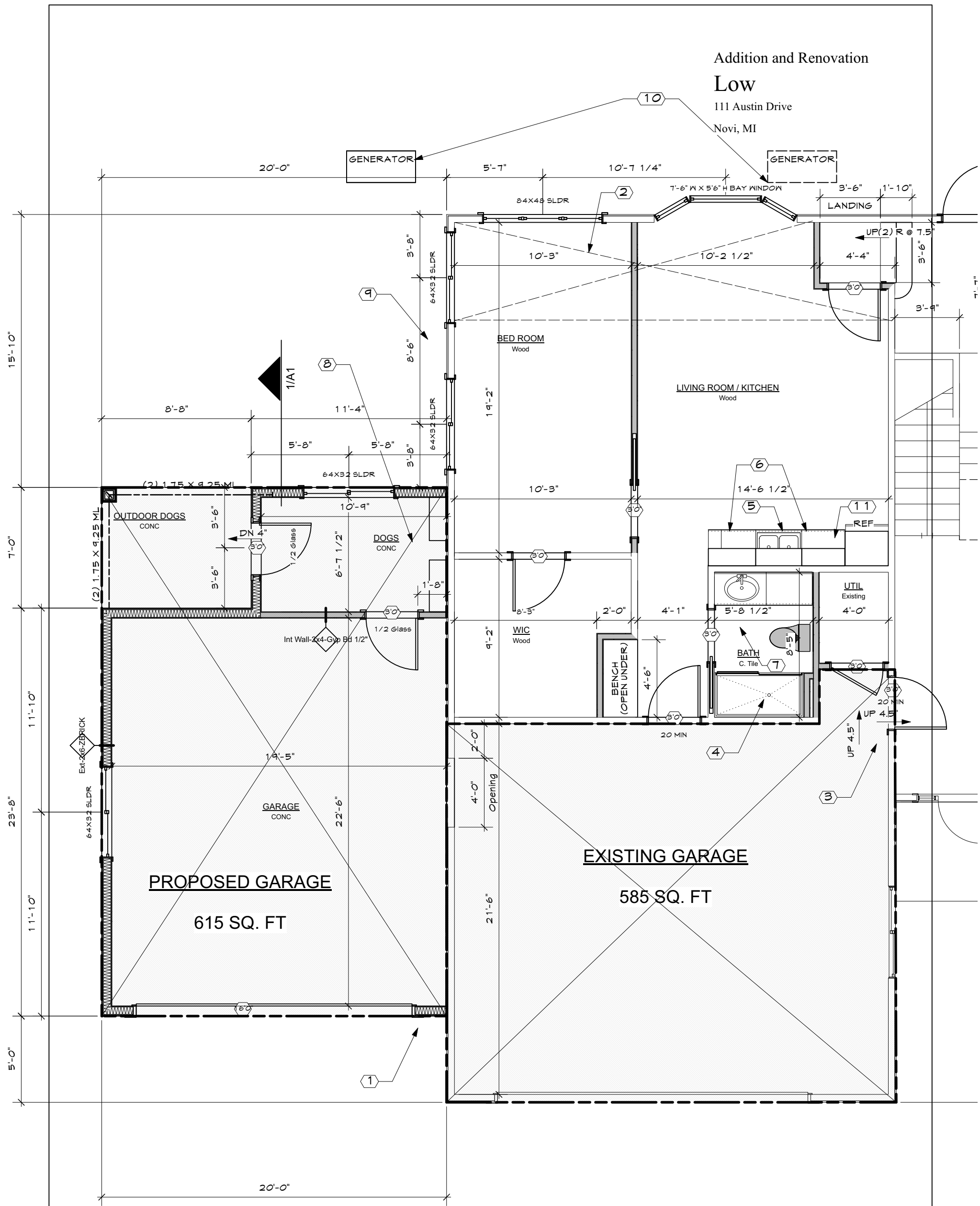
<b>BM 1</b>	
EL 940	USGS
Top of Rim	

● [Symbol] ELEVATION NEW

Addition and Renovation

Low

111 Austin Drive  
Novi, MI



**GARAGE AREA CALCULATIONS**

EXISTING	585 SQ. FT
PROPOSED	615 SQ. FT.
<b>TOTAL</b>	<b>1200 SQ. FT.</b>

Garage Area Calculation  
2/13/23

Drawn: RGB  
Date: 2023 01 31

**Richard Bohl**  
**Architects**

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