

Agenda Item M April 1, 2019

SUBJECT: Approval of the request of TBON, LLC, JSP16-12 for a City Council waiver of Section 5.3.12 of the Zoning Ordinance to allow painted end islands in lieu of the required raised end islands at the end of parking bays that abut traffic circulation aisles, for three locations near the northwest corner of the new addition to the Suburban Collection Showplace to allow for improved loading operations, and other modifications as shown on the revised Final Site Plan.

SUBMITTING DEPARTMENT: Community Development Department - Planning

Baus

CITY MANAGER APPROVAL: *PA*

BACKGROUND INFORMATION:

In January of 2017, the applicant received Preliminary Site Plan approval from the City Council for a plan to expand the existing showplace exposition facility within the existing EXO Overlay district by adding a 172,315 square foot building addition, with associated parking lot and other site improvements. The new building addition will house an 89,156 square foot Exhibit Hall and several smaller Exhibit spaces, a Pre-Function space with access to meeting rooms, and a Warehouse addition on the north side with loading docks and a receiving area. A 31,181 square foot mezzanine is proposed to be added as a second story overlooking the new large Exhibit Hall. The building addition and other improvements have now been completed and are receiving final building inspections.

Upon inspection of the parking and loading areas, it was found that a few modifications were made during construction that do not match the approved Final Site Plan. In the letter dated January 24, 2019, the applicant explained the proposed revisions (staff comments are in *italic* type):

1. Two small existing raised islands were removed and replaced with striped islands in the northwest parking/logistic area. The applicant explained that this was an error in communication during the completion of the site plan, as the northwest area is critical to loading activities with the large overhead door, which is the primary entrance door for large and oversized items. An example of such oversized items was the large manufactured home displays that are part of an event at the center. The applicant explained that the delivery of such items into the showplace would not be possible with the raised end islands.

Raised, landscaped end islands are required at the end of parking bays that abut traffic circulation aisles in order to assist in traffic maneuvers and to protect the vehicles that are parked. In this case, the applicant has indicated that area near the northwest corner of the building also acts as a loading area in certain circumstances. The applicant is requesting a City Council waiver to allow painted end islands in lieu of the required end islands per Section 5.3.12 of the Zoning

Ordinance in the three locations near the northwest corner of the building, as identified in the Planning Review letter.

The applicant has relocated the plantings from the required end islands to the perimeter of the site, along with additional trees on the west perimeter of the site. The Landscape Review provides additional comments that the applicant should include on the revised Final Site Plan. The additional plantings are highlighted in sheet L-1 as an attachment to the applicant's response letter near the end of this packet.

2. An additional 70 feet of property was paved along the west edge of the site. The applicant explained that the paving of the gravel surface was done as part of the consideration for the land contract holder to provide a permanent joint access/reciprocal easement for access and maintenance of the storm water basin. This newly paved area has been accounted for in the stormwater basin.

The previously existing gravel parking on the adjacent parcel was considered an existing non-conforming condition of the property as it had been used in the past. Paving the gravel area is considered an improvement to the existing non-conforming surface, and the Engineering Review has found that the additional paved area has been accounted for in the calculations for the existing storm water management.

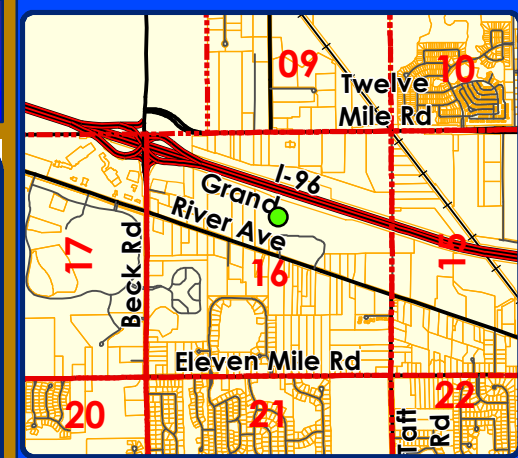
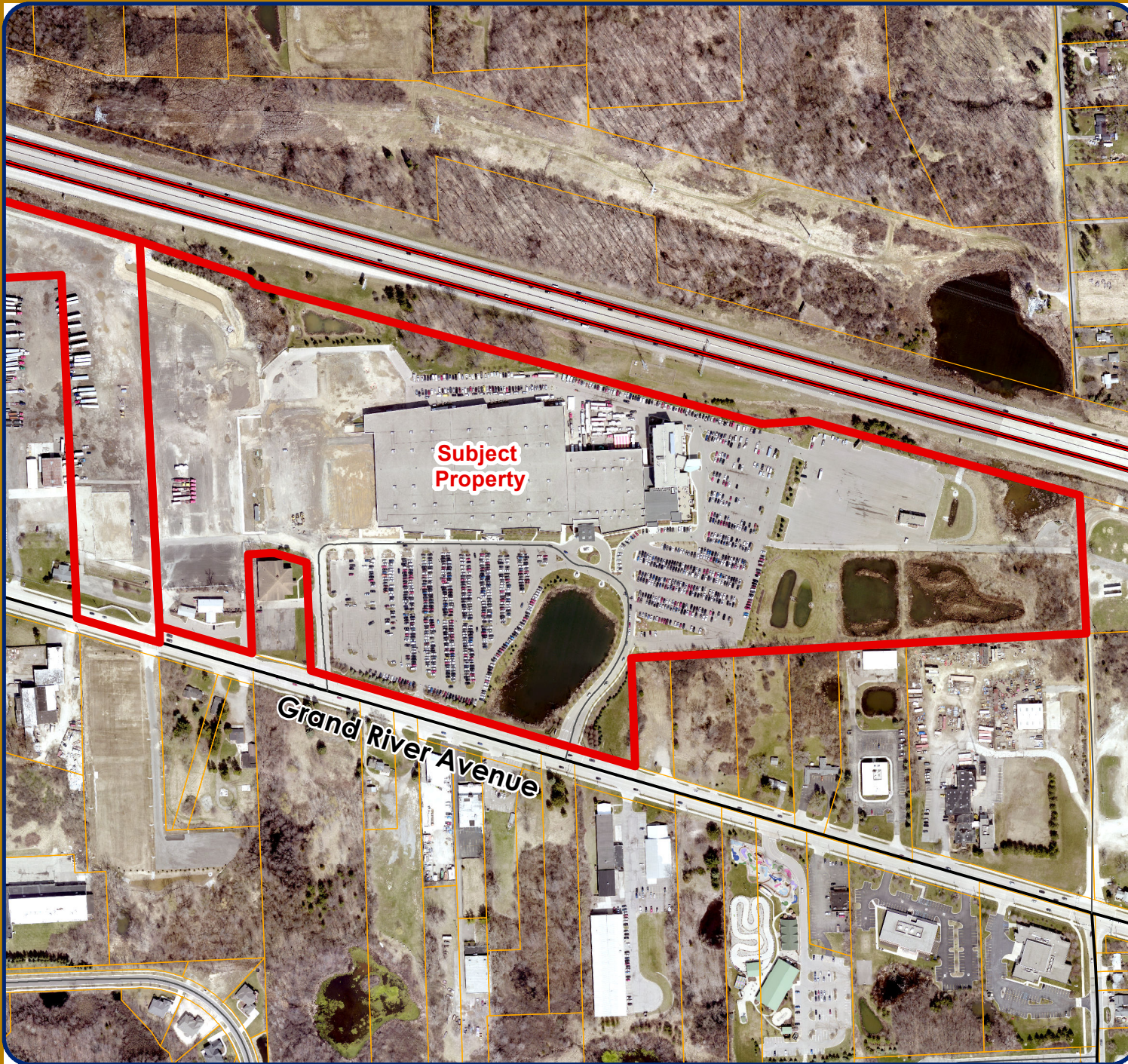
The City Council is being asked to consider the waiver of the three required raised end islands near the northwest corner of the building as shown in the Planning Review letter in order to accommodate the applicant's request. This request is similar to the previous waiver granted by the City Council in several other locations on the property to allow painted end islands in lieu of required raised end islands required by the ordinance.

RECOMMENDED ACTION: Approval of the request of TBON, LLC, JSP16-12 for a City Council waiver of Section 5.3.12 of the Zoning Ordinance to allow painted end islands in lieu of the required raised end islands at the end of parking bays that abut traffic circulation aisles, for three locations near the northwest corner of the new addition to the Suburban Collection Showplace to allow for improved loading operations, and other modifications as shown on the revised Final Site Plan, subject to the comments in the staff's review letters being addressed on the Revised Final Site Plan, for the reason that the plan is otherwise in compliance with Article 3, Article 4 and Article 5 of the Zoning Ordinance, and Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.

MAPS
Location
Zoning
Future Land Use
Natural Features

JSP 16-12 SUBURBAN COLLECTION SHOWPLACE

Location

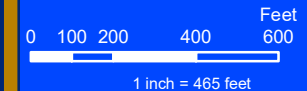


LEGEND
[Red dashed box icon] Sections



City of Novi
Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Sri Komaragiri
Date: 03/26/19
JSP 16-12 SUBURBAN COLLECTION SHOWPLACE
Version #: 1

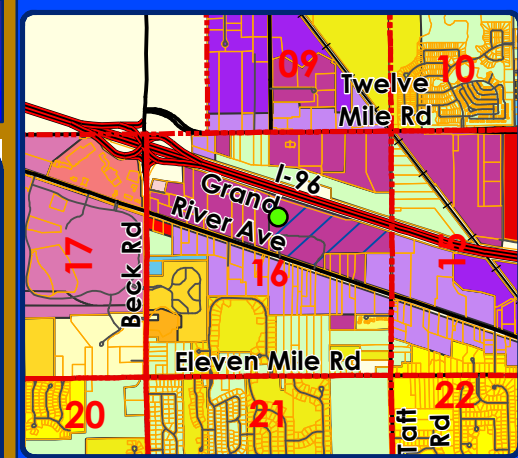
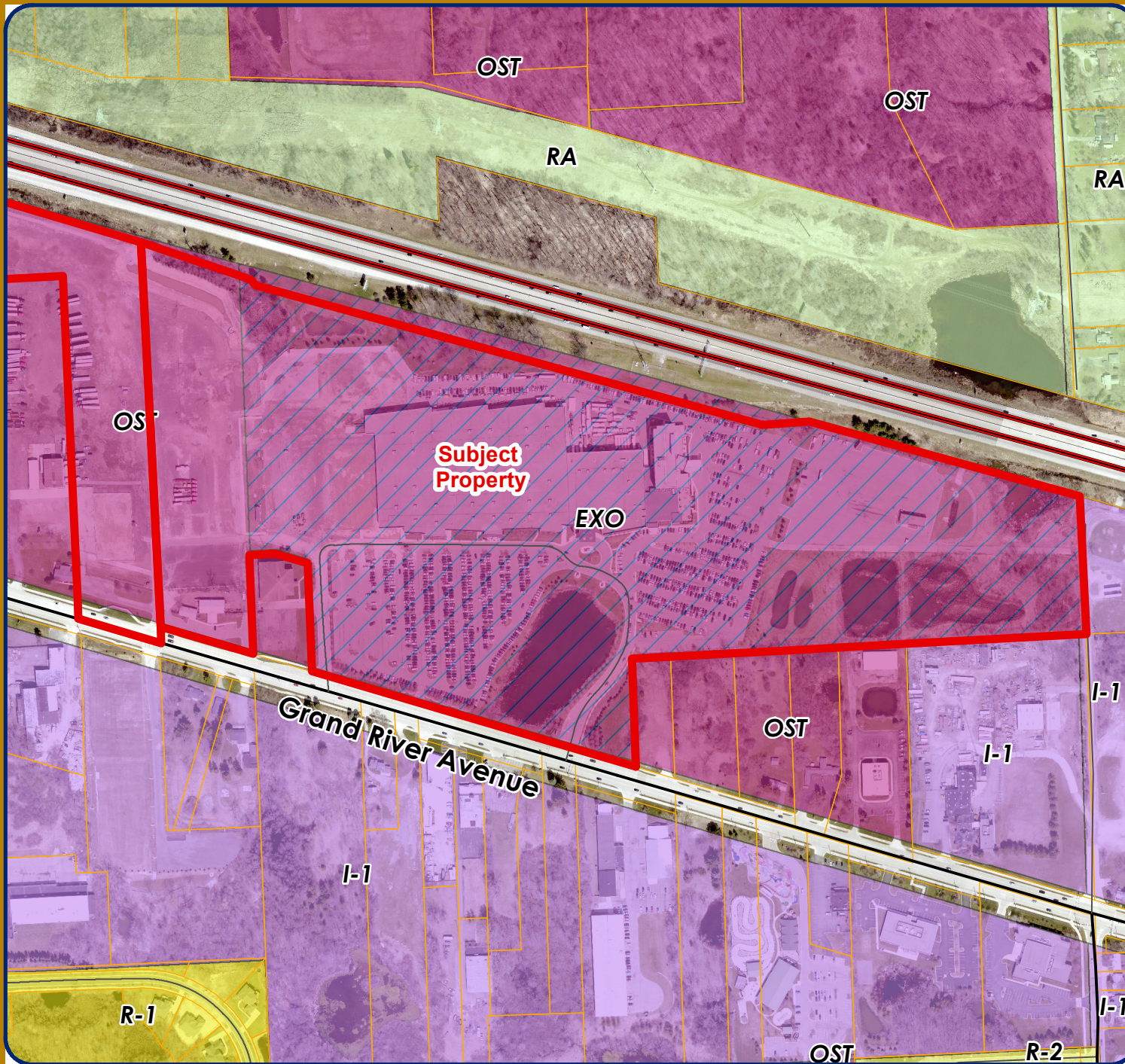


MAP INTERPRETATION NOTICE

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JSP 16-12 SUBURBAN COLLECTION SHOWPLACE

Zoning



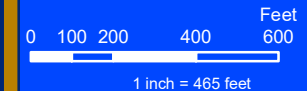
LEGEND

- Sections
- R-A: Residential Acreage
- R-1: One-Family Residential District
- R-2: One-Family Residential
- R-3: One-Family Residential District
- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- RM-2: High-Density Multiple Family
- B-2: Community Business District
- B-3: General Business District
- EXO: OST District with EXO Overlay
- FS: Freeway Service District
- I-1: Light Industrial District
- I-2: General Industrial District
- OS-1: Office Service District
- OSC: Office Service Commercial
- OST: Office Service Technology
- RC: Regional Center District



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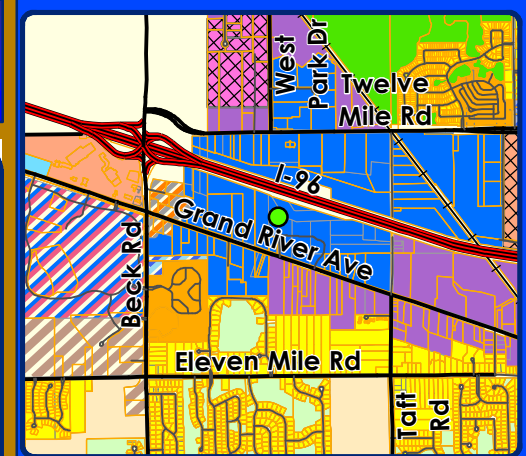
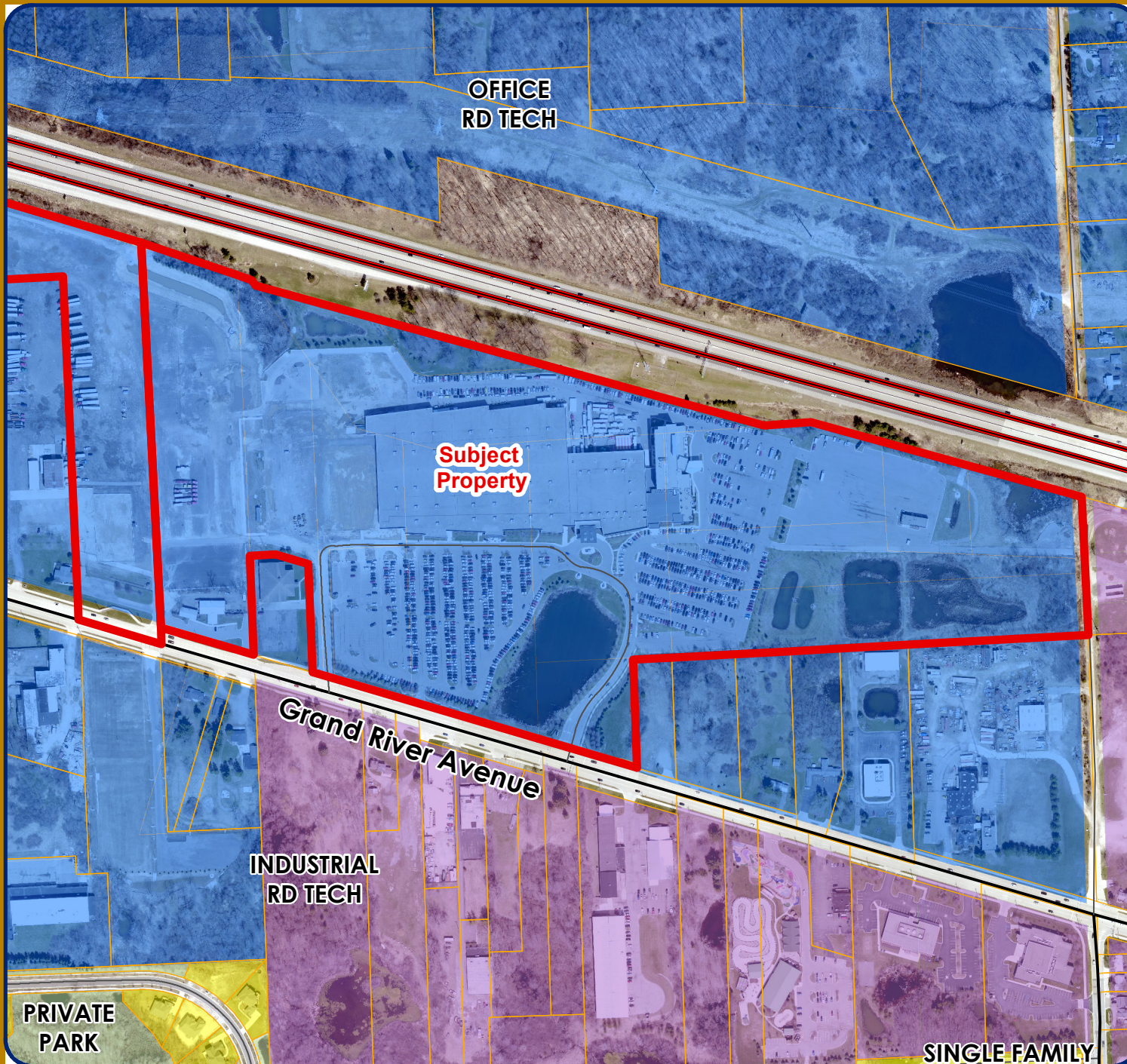


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JSP 16-12 SUBURBAN COLLECTION SHOWPLACE

Future Landuse



LEGEND

- FUTURE LAND USE
- Single Family
 - Multiple Family
 - Suburban Low-Rise
 - Community Office
 - Office RD Tech
 - Office Commercial
 - Office Research W/Retail Overlay
 - Industrial RD Tech
 - Heavy Industrial
 - Local Commercial
 - Regional Commercial
 - Educational Facility
 - Public
 - Public Park
 - Private Park
 - Utility



City of Novi

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1 inch = 465 feet

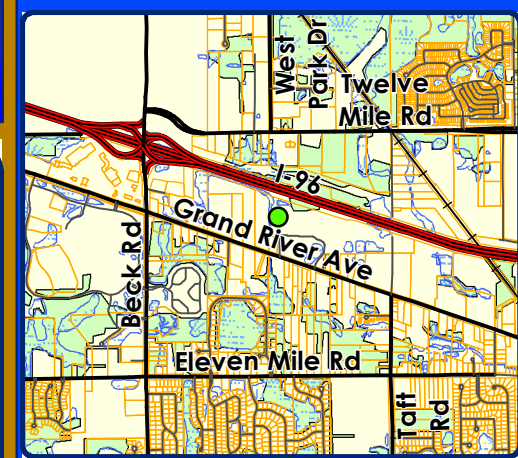
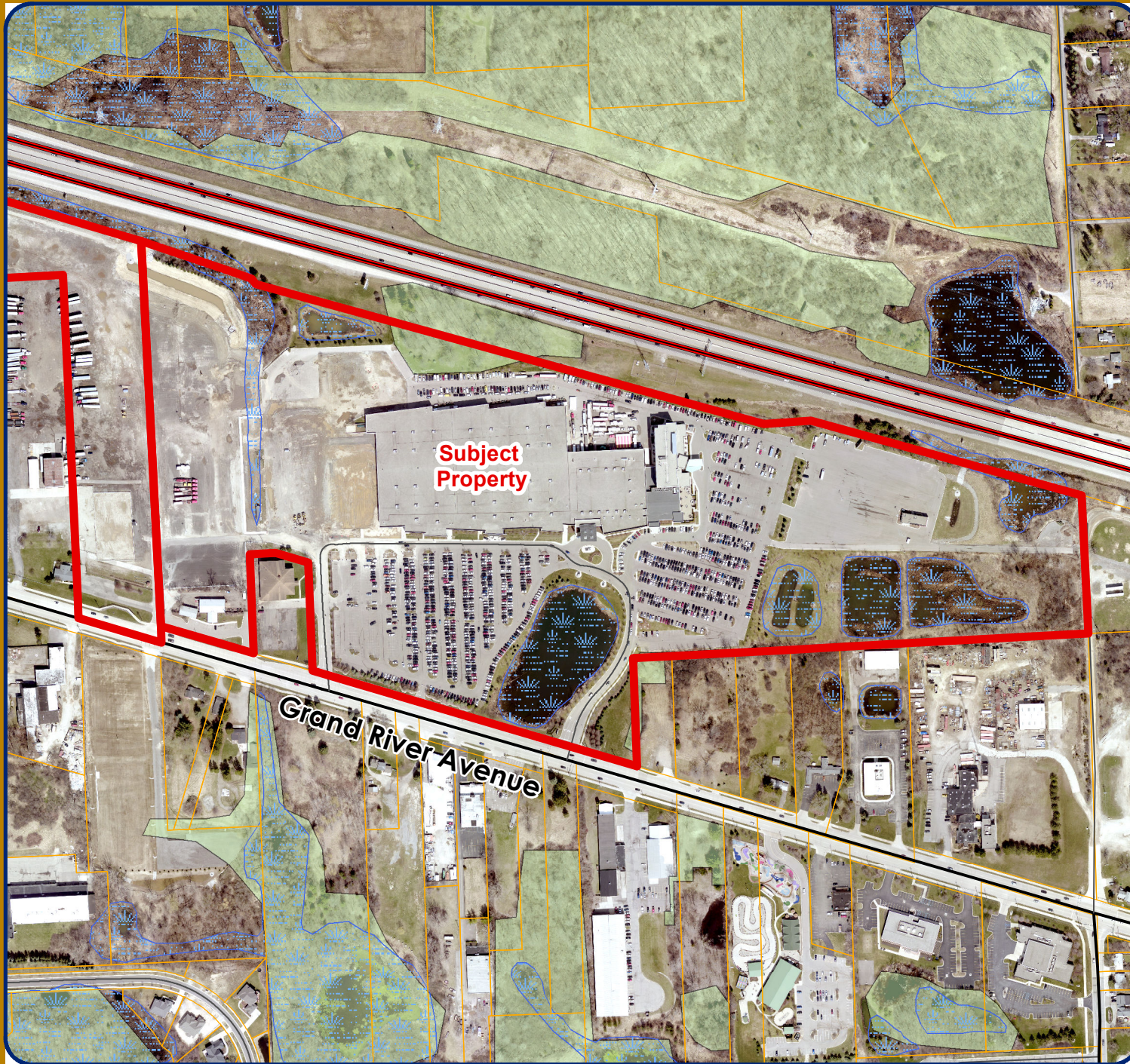


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JSP 16-12 SUBURBAN COLLECTION SHOWPLACE

Future Landuse




LEGEND

- WETLANDS
- WOODLANDS

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0 100 200 400 600 Feet
1 inch = 465 feet

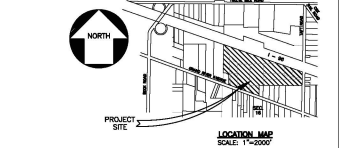
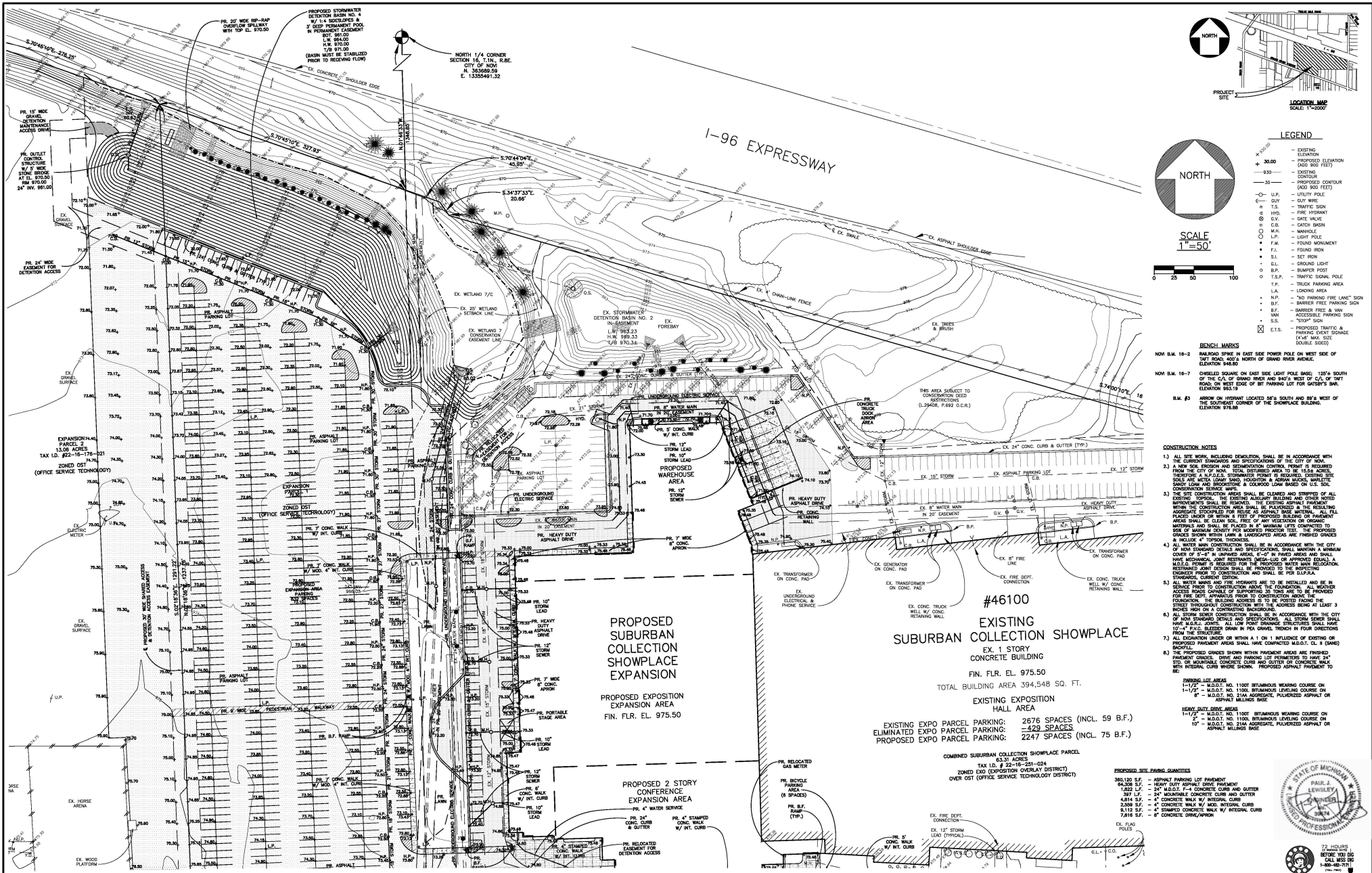


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SITE PLAN

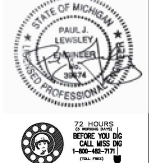
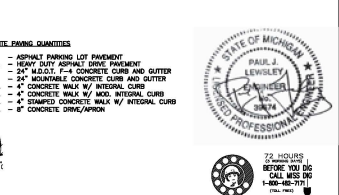
(Full plan set available for viewing at the Community Development Department.)



- LEGEND**
- EXISTING ELEVATION (ADD 900 FEET)
 - + 33.00 — PROPOSED ELEVATION (ADD 900 FEET)
 - 33.00 — EXISTING CONTOUR
 - 30 — PROPOSED CONTOUR (ADD 900 FEET)
 - 30 — UTILITY POLE
 - GUY — GUY WIRE
 - T.S. — TRAFFIC SIGN
 - F.H. — FIRE HYDRANT
 - G.V. — GATE VALVE
 - C.B. — CATCH BASIN
 - M.H. — MANHOLE
 - L.P. — LIGHT POLE
 - F.M. — FOUND MONUMENT
 - F.L. — FOUND IRON
 - S.I. — SET IRON
 - G.L. — GROUND LIGHT
 - B.P. — BURNER POST
 - T.S.P. — TRAFFIC SIGNAL POLE
 - T.P. — TRUCK PARKING AREA
 - L.A. — LOADING AREA
 - N.P. — "NO PARKING FIRE LANE" SIGN
 - B.P.F. — BANDED FREE PARKING SIGN
 - B.F. — BARRIER FREE & MAN ACCESSIBLE PARKING SIGN
 - W.A. — WALKWAY
 - S.S. — "STOP" SIGN
 - T.S. — PROPOSED TRAFFIC & PARKING SIGN (ONE" MAX. SIZE DOUBLE SIDED)

- BENCH MARKS**
- NOV B.M. 16-2 — IRON ROD SPIKE IN EAST SIDE POWER POLE ON WEST SIDE OF EAST ROAD, 400' NORTH OF GRAND RIVER AVENUE. ELEVATION 978.80
 - NOV B.M. 16-7 — CHISELED SQUARE ON EAST SIDE LIGHT POLE BASE, 125' SOUTH OF THE SW CORNER OF GRAND RIVER AND WEST SIDE OF EAST ROAD, ON WEST EDGE OF BIT PAVING LOT FOR GASTY'S BAR. ELEVATION 978.80
 - B.M. 63 — IRON ON POST LOCATED 240' SOUTH AND 876' WEST OF THE SOUTHWEST CORNER OF THE SHOWPLACE BUILDING.

- CONSTRUCTION NOTES**
- 1) ALL SITE WORK INCLUDING DEMOLITION, SHALL BE IN ACCORDANCE WITH THE CURRENT ZONING AND SPECIFICATIONS OF THE CITY OF NOVI FROM THE CITY OF NOVI. TOTAL DISTURBED AREA TO BE 16.56 ACRES. THE AREA SUBJECT TO CONSTRUCTION DEED RESTRICTIONS (L-2940R, P-992 O.C.A.)
 - 2) ALL NEW OR EXISTING AND MODIFICATION OF EXISTING UTILITIES SHALL BE METICULOUSLY LOCATED AND MARKED. ALL UTILITIES SHALL BE LOCATED AND MARKED IN ACCORDANCE WITH THE CITY OF NOVI. ALL UTILITIES SHALL BE LOCATED AND MARKED IN ACCORDANCE WITH THE CITY OF NOVI. ALL UTILITIES SHALL BE LOCATED AND MARKED IN ACCORDANCE WITH THE CITY OF NOVI.
 - 3) CONSTRUCTION SERVICE WAYS SHALL BE CLEANED AND STRIPPED OF ALL EXISTING ASPHALT PAVEMENT. THE EXISTING ASPHALT PAVEMENT SHALL BE REMOVED. THE EXISTING ASPHALT PAVEMENT SHALL BE REMOVED. THE EXISTING ASPHALT PAVEMENT SHALL BE REMOVED.
 - 4) ALL WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NOVI STANDARD DETAILS AND SPECIFICATIONS. SHALL BE IN ACCORDANCE WITH THE CITY OF NOVI STANDARD DETAILS AND SPECIFICATIONS. SHALL BE IN ACCORDANCE WITH THE CITY OF NOVI STANDARD DETAILS AND SPECIFICATIONS.
 - 5) ALL WATER MAINS AND FIRE HYDRANTS ARE TO BE INSTALLED AND BE IN SERVICE PRIOR TO CONSTRUCTION ABOVE THE FOUNDATION. ALL WATER MAINS AND FIRE HYDRANTS ARE TO BE INSTALLED AND BE IN SERVICE PRIOR TO CONSTRUCTION ABOVE THE FOUNDATION.
 - 6) ALL STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NOVI STANDARD DETAILS AND SPECIFICATIONS. ALL STORM SEWER SHALL BE IN ACCORDANCE WITH THE CITY OF NOVI STANDARD DETAILS AND SPECIFICATIONS.
 - 7) ALL PROPOSED GRADES SHOWN WITHIN PAVEMENT AREAS ARE FINISHED. PAVEMENT GRADES, CURBS AND GUTTERS FOR PERMITTERS TO BE 24" STD. OR UNDIMENSIONED CONCRETE CURBS AND GUTTERS OR CONCRETE WALK WITH INTERNAL CURBS BUILT AND FINISHED. PROPOSED ASPHALT PAVEMENT TO BE:
 - 1-1/2" - M.D.O.T. NO. 1100T BITUMINOUS WEARING COURSE ON 4-1/2" - M.D.O.T. NO. 1100A BITUMINOUS LEVING COURSE ON 6" - M.D.O.T. NO. 21A AGGREGATE, PULVERIZED ASPHALT OR ASPHALT MILLINGS BASE
 - 8) THE PROPOSED GRADES SHOWN WITHIN PAVEMENT AREAS ARE FINISHED. PAVEMENT GRADES, CURBS AND GUTTERS FOR PERMITTERS TO BE 24" STD. OR UNDIMENSIONED CONCRETE CURBS AND GUTTERS OR CONCRETE WALK WITH INTERNAL CURBS BUILT AND FINISHED. PROPOSED ASPHALT PAVEMENT TO BE:
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CLIENT: TBN, LLC 46100 GRAND RIVER AVE. NOVI, MICHIGAN 48274 PHONE: 248/248-3800	REVISIONS REVISED 07/22/18 - FOR M.D.O.T. POINT APPLICATION REVISED 08/17/18 - FOR FINAL SITE PLAN APPROVAL SUBMITTAL REVISED 09/15/18 - FOR STAMPING SET SUBMITTAL REVISED 11/16/18 - PER CLIENT	REVISED 01/04/17 - PER CITY OF NOVI REVIEW REVISED 02/01/17 - PER CITY OF NOVI REVIEW REVISED 03/15/17 - PER CLIENT REVISED 10/24/18 - PER CLIENT	PROPOSED EXPANSION AT SUBURBAN COLLECTION SHOWPLACE IN SECTION 16 CITY OF NOVI OAKLAND COUNTY MICHIGAN	NORTHERLY SITE GRADING & PAVING PLAN Environmental engineers, Inc. 18820 WEST TEN MILE ROAD SOUTHFIELD, MICHIGAN 48075 PHONE: 248/424-9510 FAX: 248/424-2954	STUDY PROJECT NO.: 1809 SHEET NO.: C-8 DATE ISSUED: 06/22/18
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PLANNING REVIEW



PLAN REVIEW CENTER REPORT

March 13, 2019

Planning Review

Suburban Collection Showplace Expansion
JSP 16-12

PETITIONER

TBON, LLC

REVIEW TYPE

Revised Final Site Plan

PROPERTY CHARACTERISTICS

Section	16	
Site Location	North of Grand River Avenue; East of Taft Road; 46100 Grand River Ave & 46410 Grand River Ave	
Site School District	Novi Community School District	
Site Zoning	OST: Office Service Technology & EXO Overlay District with OST	
Adjoining Zoning	North	Interstate I-96
	East	OST: Office Service Technology & I-1 Light Industrial District
	West	OST: Office Service Technology
	South	I-1 Light Industrial District
Current Site Use	Suburban Collection Showplace	
Adjoining Uses	North	Interstate I-96
	East	Industrial Office
	West	Vacant/Fairgrounds
	South	Industrial/Office/Vacant
Site Size	63.32 Acres	
Plan Date	October 24, 2018	

RECOMMENDATION

Approval of the ***Revised Final Site Plan is recommended.*** The plan mostly conforms to the requirements of the Zoning Ordinance, with a few deviations listed in this letter. Deviations from landscape ordinance require approval by the City Council. Additional details will be required at the time of electronic stamping set submittal.

This matter is being reviewed for three primary changes from the approved plan:

- To provide an access easement for an additional paved area.
- To account for removal of required raised end islands that abut traffic circulation aisles.
- To review stormwater calculations for the additional 70 feet of pavement that had not been indicated on the approved site plan.

The site plan proposes expansion across two properties with different zoning, OST, Office Service Technology, and EXO Overlay over the OST District. For the purpose of this review, we are considering the entire site plan as one development plan. However, the two zoning districts will be reviewed for conformance for respective zoning regulations.

	Referred to as EXO Site	Referred to as OST Site
Current Use	Suburban Collection Showplace	Vacant/Fair grounds as a temporary use
Property	46100 Grand River Ave	46410 Grand River Ave
Zoning	EXO Overlay District with OST	Office Service Technology
Proposed	Building and Parking expansion	Primary Use: Parking Seasonal secondary use: Fair grounds, ride and drive automotive research lot

Project History

At its July 27, 2016 **meeting, the Planning Commission** held a public hearing, and reviewed the proposed site plan within both the OST and EXO Overlay district. The Planning Commission has provided a favorable recommendation to the City Council for approval of Special Land Use, Preliminary Site Plan, Wetland Permit and Stormwater Management Plan subject to a number of conditions.

At its August 08, 2016 meeting, the **City Council** approved the Special Land Use, Preliminary Site Plan, Wetland Permit and Stormwater Management Plan subject to Zoning Board of Appeals approval of Ordinance deviations.

At its August 09, 2016 meeting, the **Zoning Board of Appeals** approved the deviations from the Zoning Ordinance. All deviations and action summary are attached at the end of the letter.

The applicant received final stamping set approval on **October 20, 2016**.

At its January 11, 2017 meeting, the **Planning Commission** held a public hearing, and reviewed the revisions to the approved site plan within both the OST and EXO Overlay district. The Planning Commission has provided a favorable recommendation to the City Council for approval of Special Land Use, Preliminary Site Plan, Wetland Permit and Stormwater Management Plan subject to a number of conditions.

At its January 23, 2017 meeting, the **City Council** approved the Special Land Use, Preliminary Site Plan, Wetland Permit and Stormwater Management Plan subject to Zoning Board of Appeals approval of Ordinance deviations. Action summary is attached to the end of the review letter.

PROJECT SUMMARY

In 2017, the applicant received approval to expand the existing showplace exposition facility within the existing EXO Overlay district by adding a 172, 315 square foot building addition, with associated parking lot and other site improvements. The new building addition will house an 89, 156 square foot Exhibit Hall and several smaller Exhibit spaces, a Pre-Function space with access to meeting rooms, and a Warehouse addition on the north side with loading docks and a receiving area. A 31,181 square foot mezzanine is proposed to be added as a second story overlooking the new large Exhibit Hall. An existing building located at the west end of the facility will be removed to accommodate the addition. The building expansion is currently under construction.

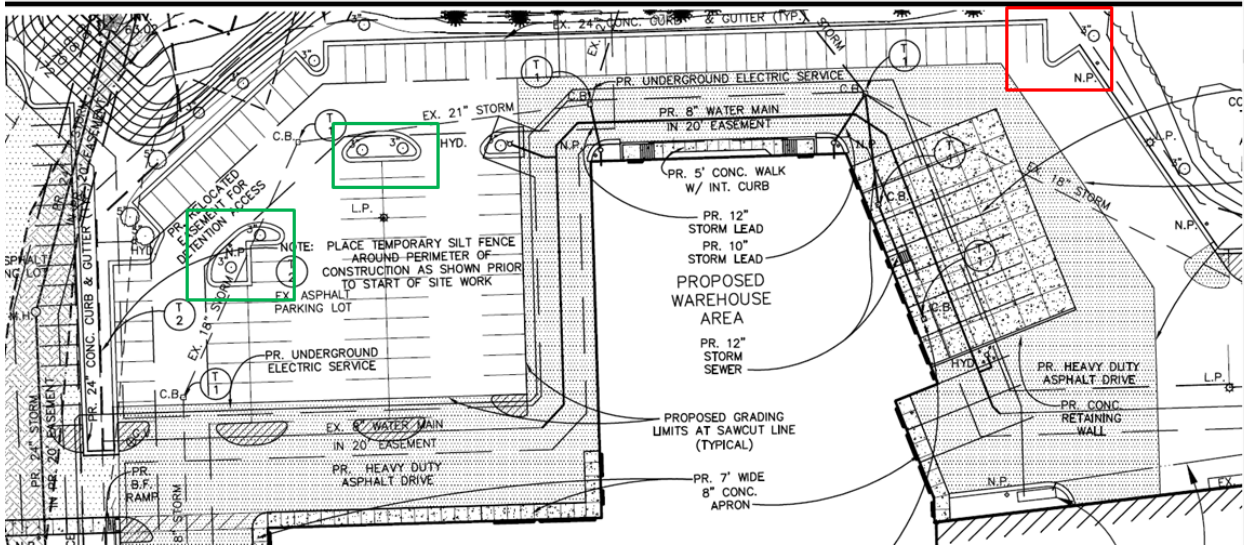
Per previous approval, the site plan still proposes to utilize the OST, Office Service Technology parcel immediately to the west of the Suburban Collection Showplace primarily for parking for existing exposition facility and as a secondary and temporary use as fair grounds, outside exhibits and as a Ride and Drive Automotive Research Lot to test vehicle capabilities in a variety of situations.

To accommodate the proposed secondary uses, the applicant is proposing a flat paved area with no interior parking lot islands to allow for the greatest flexibility in "test course design", similar to existing ride and drive lot previously approved on the eastern side of the site. A striping plan has been submitted but the applicant has indicated the automotive research users have requested the area either remains un-striped or that it be striped in a muted color. The Overall Master Site Plan shows two additional "Expansion Parcels" to the west, but they were not part of the site plan approval. **The current site plan reflects the changes made on site during construction which were not part of original approval.**

ORDINANCE REQUIREMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. **Please see the attached charts for information pertaining to ordinance requirements.** Items in **bold** below must be addressed and incorporated as part of the electronic stamping set submittal.

1. Use: The applicant is proposing an expansion to existing exposition facility, which is a permitted use in EXO district. The applicant is also proposing to utilize the vacant parcel west of Suburban Collection Showplace as primarily off-site parking and secondarily for a Ride and Drive Automotive Research Lot to test vehicle capabilities in a variety of situations. The applicant also mentioned other uses such as the Michigan State Fair and outdoor events.
2. Additional Pavement off-site: The Overall Master Site Plan, Sheet C-1 shows two additional "Expansion Parcels" to the west, but they were not part of the site plan approval. The previous site plan showed a part of the access road on parcel 2 (Tax Map ID: 22-16-176-021). However, the applicant has paved approximately 70 feet of additional surface area along the west edge on Parcel 2. The applicants cover letter dated January 24, 2019 indicates that this additional pavement is added as part consideration for the for the then land contract holder to provide the permanent joint access/reciprocal easement required by the City for access to storm water basin. **The previously existing gravel paving on Parcel 22-16-176-021 was considered a non-conforming condition of the property as it has been used in the past. The gravel paving area had also been used for outside storage and use for suburban showplace outdoor events as approved under special permits. Paving the area is considered an improvement to the existing non-conforming surface, and the pavement has been accounted for in the calculations for storm water management.**
3. Removal of existing end islands: The applicant has removed the islands indicated in the image below during site construction. The applicant has indicated that the islands were removed due to an error in communication between the Engineer and the construction manager. However, they identified that lack of islands is a necessity for safe maneuvering for their loading and unloading trucks and are requesting a waiver to allow painted islands in lieu of raised islands. **The applicant should provide a truck circulation diagram justifying the rationale for the lack of end islands (in particular to the ones identified by green box in the image below) prior to this matter returning to the City Council for a waiver.**



4. Administrative Approval: Per Section 6.1.C.i. A site plan may be reviewed for approval administratively without formal review by the approving body when the plan only proposes improvements to or expansion of an existing off-street parking area; This plan qualifies for administrative approval contingent on getting approvals for City Council waiver as noted below.
 - o **A City Council Waiver to allow painted end islands in lieu of required end islands as required in Section 5.3.12, at three locations north of proposed building expansion.**
5. Signage: Exterior Signage is not regulated by the Planning Division or Planning Commission. Please contact Jeannie Niland (248.347.0438) for information regarding sign permits.
6. Other Reviews:
 - a. Engineering Review: Additional comments to be addressed with electronic stamping sets. Engineering recommends approval.
 - b. Landscape Review: Landscape has identified additional deviations, which require City Council approval. Additional comments to be addressed with electronic stamping sets.
 - c. Fire Review: Fire recommends approval.

NEXT STEP: CITY COUNCIL MEETING

The request for the variance is tentatively scheduled for consideration at the City Council meeting on April 1, 2019. Please provide the following no later than March 20, 2019.

1. The applicant should provide a truck circulation diagram justifying the rationale for the lack of end islands.
2. A response letter addressing the comments provided in the review letters.
3. A copy of the site plan in PDF format.

ELECTRONIC STAMPING SET SUBMITAL AND RESPONSE LETTER

After receiving Final Site Plan approval, plans addressing the comments in all of the staff and consultant review letters should be submitted electronically for informal review and approval prior to printing Stamping Sets. A letter from either the applicant or the applicant's representative addressing comments in this and other review letters and associated charts is requested to be submitted with the electronic stamping set.

STAMPING SET APPROVAL

After receiving the approval for electronic stamping set submittal from all reviewing agencies, please submit **10 size 24" x 36" copies with original signature and original seals**, to the Community Development Department for final approval.

PRE-CONSTRUCTION MEETING

A Pre-construction meeting is not required for the proposed addition. If you have questions regarding the Pre-Con, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or skomaragiri@cityofnovi.org.



Sri Ravali Komaragiri – Planner

Attachments:

Previous City Council, Planning Commission and Zoning Board of Appeals Action

PREVIOUS CITY COUNCIL, PLANNING COMMISSION AND ZONING BOARD OF APPEALS ACTION

At its **July 27, 2016 meeting, the Planning Commission** held a public hearing, and reviewed the proposed site plan within both the OST and EXO Overlay district. The Planning Commission has provided a favorable recommendation to the City Council for approval of Special Land Use, Preliminary Site Plan, Wetland Permit and Stormwater Management Plan subject to a number of conditions.

At its **August 08, 2016 meeting, the City Council** approved the Special Land Use, Preliminary Site Plan, Wetland Permit and Stormwater Management Plan subject to Zoning Board of Appeals approval of Ordinance deviations based on the following motion.

To approve the request of TBON, LLC, for approval of a Special Land Use, for the proposed Suburban Collection Showplace expansion, based on the following findings:

Relative to other feasible uses of the site:

- a. The proposed use will not cause any detrimental impact on existing thoroughfares (as indicated in the submitted Major Event Traffic Plan and based on the findings from Traffic review);*
- b. The proposed use will not cause any detrimental impact on the capabilities of public services and facilities (as indicated in the submitted Community Impact Statement and in the staff and consultant review letters);*
- c. The proposed use is compatible with the natural features and characteristics of the land (because the plan is not proposing major impacts to existing natural features);*
- d. The proposed use is compatible with adjacent uses of land (given the type of use and the surrounding development);*
- e. The proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use (given there is no change in permitted use for EXO Overlay districts and Office Service and Technology district);*
- f. The proposed use will promote the use of land in a socially and economically desirable manner;*
- g. The proposed use is*
 - (1) Listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and*
 - (2) Is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.*
- h. Subject to approval of the Preliminary Site Plan, Wetland Permit and Storm Water Management Plan, and also the Council waivers and ZBA variances listed in this motion sheet.*

To approve the request of at the request of TBON, LLC, for approval of a Preliminary Site Plan, Wetland Permit, and Storm Water Management Plan for the proposed Suburban Collection Showplace expansion, based on and subject the following:

- a. A section 9 façade waiver for the overage of:*
 - 1. Horizontal Rib Metal Panels (Allowed: 0 percent; Proposed: a maximum 15 percent on south, 5 percent on north, 3 percent on east and 8 percent on west),*
 - 2. Vertical Metal Panels (Allowed: 50 percent; Proposed: 60 percent on north and east side); and*
 - 3. Split Faced CMU (Allowed: 10 percent; Proposed: 15 percent on south, 35 percent on North, 24 percent on east and 43 percent on west);*
- b. Applicant shall plant additional trees to address staff's comments with regards to Landscape screening requirements adjacent to I-96 Right of Way as determined by the City's Landscape Architect during a site visit after the installation of transplanted trees;*

- c. *A Landscape waiver to permit the absence of required landscaped area within the parking lot (approximately 15,664 square feet is required, 0 provided), as listed in Section 5.5.3.C.iii;*
- d. *A Landscape waiver to permit the absence of parking lot interior trees (approximately 209 canopy deciduous trees required, 0 provided), as listed in Section 5.5.3.C.iii;*
- e. *A Landscape waiver for exceeding the maximum number of contiguous spaces within a parking bay (15 maximum allowed, a maximum of 93 provided) as listed in Section 5.5.3.C.ii.i to allow for alternate use of parking lot as a Ride and Drive Automotive Research Lot and other activities, subject to landscape end islands be placed as determined by the City Engineer for traffic and pedestrian pathway safety adjacent to the pedestrian crosswalk in the new paved lot, and near the southwest and northwest corners of the new building, with final approval at the time of Final Site Plan submittal;*
- f. *A Landscape waiver to permit the absence of parking perimeter trees along the western edge (approximately 50 trees required, 35 provided), as listed in Section 5.5.3.C, chart footnote;*
- g. *A Landscape waiver to permit reduction of required foundation plantings as listed in Section 5.5.3.D (14,592 square foot required, 2,258 square foot provided) due to the proposed use of outside concert venue;*
- h. *A City Council Waiver to allow painted end islands in lieu of required end islands with modification of the plan at the time of Final Site Plan approval to provide additional raised, landscape end islands provided at key locations near heavy traffic areas to improve the circulation in and around key areas as determined by the City Engineer, and as required in Section 5.3.12;*
- i. *City Council variance from Sec. 11-216 (c) (8) of Novi City Code for absence of a right turn taper and/or lane along Grand River Avenue (also subject to approval by the Road Commission for Oakland County); and the need for installation of the warranted right turn taper and/or lane shall be revisited within two (2) years from the date of the Certificate of Occupancy of the new building addition or sooner if City Engineer determines the need based on available crash data, or based on a diminished level of service identified by the City during major events as identified in the METP (Major Event Traffic Plan). At that time, the applicant shall provide an operational analysis of the subject driveways during major events until that date or additional information requested which will be reviewed by the City's Traffic Engineer for further recommendations regarding the need for installation of the warranted right turn taper and/or lane;*
- j. *Applicant to work with the Road Commission for Oakland County (RCOC) to make a final determination and address the requirements for road improvements within Grand River Avenue Right of Way;*
- k. *A City Council Waiver to allow Major Event Traffic Plan in lieu of required Traffic Impact Study due to the unique and non-routine operations associated with Suburban Collection Showplace and the development of a Major Event Traffic Plan should serve as a suitable replacement;*
- l. *A Zoning Boards of Appeals variance from Section 3.1.15.D to reduce the front yard setback from 100 feet to varied range from 85 feet to 98 feet due to the existing property lines, and the proposed building design ;*
- m. *A Zoning Boards of Appeals variance from Section 3.1.15.D to reduce the parking side setback from 20 feet to a varied range from 0 feet to 15 feet to allow for construction of parking lot across multiple properties;*
- n. *A Zoning Boards of Appeals variance from Section 5.3.12 to allow absence of parking lot end islands within off-street parking area to allow for alternate use of parking lot as a Ride and Drive Automotive Research Lot;*

- o. A Zoning Boards of Appeals variance from Section 5.7 to allow for increase of maximum allowed illumination levels along property lines adjacent to non-residential districts as the development is expanded among multiple properties owned by the applicant;*
- p. A Zoning Boards of Appeals variance from Section 5.2.12.C. to allow reduction of minimum required parking spaces to be provided on site (2,979 spaces required, 2,951 spaces provided);*
- q. A Zoning Boards of Appeals variance from Section 5.2.3. to allow increase of minimum distance required from the nearest point of a building to the nearest point of the off-street parking lot on a different parcel (300 feet required, approximately 450 feet provided);*
- r. Applicant to obtain MDOT approval of the storm water detention basin discharge to the I-96 Right-of-Way; and*
- s. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan.*

This motion is made because of the reasons provided in this motion sheet, and in the staff and consultant review letter, and because the plan is otherwise in compliance with Article 3, Article 4 and Article 5 of the Zoning Ordinance, Chapter 11 and Chapter 12, Article V of the Code of Ordinances and all other applicable provisions of the Ordinance.

At its August 09, 2016 meeting, the Zoning Board of Appeals approved the deviations requested as listed below:

TBON, LLC (PZ16-0031) 46100 GRAND RIVER AVE, north of Grand River Avenue and east of Taft Road, Parcel(s) # 50-22-16-176-022 & 50-22-16-25-023.

The applicant is requesting multiple variances from the CITY OF NOVI Code of Ordinance;

- Section 3.1.15.D to reduce the front yard setback from 100 feet to varied range from 85 feet to 98 feet due to recessed building design;*
- Section 3.1.15.D to reduce the parking side setback from 20 feet to a varied range from 0 feet to 15 feet to allow for construction of parking lot across multiple properties;*
- Section 5.3.12 to allow absence of parking lot end islands within off-street parking area to allow for alternate use of parking lot as a Ride and Drive Automotive Research Lot;*
- Section 5.7 to allow for increase of maximum allowed illumination levels along property lines adjacent to non-residential districts as the development is expanded among multiple properties owned by the applicant;*
- Section 5.2.12.C. to allow reduction of minimum required parking spaces to be provided on site(2,979 spaces required, 2,951 spaces provided);*
- Section 5.2.3. to allow increase of minimum distance required from the nearest point of a building to the nearest point of the off-street parking lot on a different parcel (300 feet required, approximately 450 feet provided).*

The motion to grant the variances requested in case PZ16-0030 sought by TBON, LLC were approved for a reduction of parking spaces, elimination of parking islands, parking lot lighting, reduction parking and building setbacks. All variances were approved because they will all increase safety at the property when larger events are being held. The relief granted will not unreasonably interfere with adjacent or surrounding properties because multiple parcels in the area are owned by TBON, LLC and not directly near any residential properties. The petitioner has also created a major event board of commissioners to gather when a large event is being held and parking is compromised.

At its **January 11, 2017 meeting, the Planning Commission** held a public hearing, and reviewed

the revisions to the approved site plan within both the OST and EXO Overlay district. The Planning Commission has provided a favorable recommendation to the City Council for approval of Special Land Use, Preliminary Site Plan, Wetland Permit and Stormwater Management Plan subject to a number of conditions.

At its **January 23, 2017 meeting, the City Council** approved the Special Land Use, Preliminary Site Plan, Wetland Permit and Stormwater Management Plan subject to Zoning Board of Appeals approval of Ordinance deviations based on the following motion.

To approve the request of TBON, LLC for approval of Preliminary Site Plan, Wetlands Permit and Stormwater Management Plan for the proposed Suburban Collection Showplace expansion, based on and subject to the following:

- a.** *Reaffirming no change needed for the following waivers approved by City Council on August 8, 2016:*
- i. Applicant shall plant additional trees to address staff's comments with regards to Landscape screening requirements adjacent to I-96 right of way as determined by the City's Landscape Architect during a site visit after the installation of transplanted trees;*
 - ii. A Landscape waiver to permit the absence of required landscaped area within the parking lot addition (approximately 15,664 sf is required, 0 provided), as listed in Section 5.5.3.C.iii;*
 - iii. A Landscape waiver to permit the absence of parking lot interior trees (approximately 209 canopy deciduous trees required, 0 provided), as listed in Section 5.5.3.C.iii;*
 - iv. A Landscape waiver for exceeding the maximum number of contiguous spaces within a parking bay (15 maximum allowed, a maximum of 93 provided) as listed in Section 5.5.3.C.ii.i to allow for alternate use of parking lot as a Ride and Drive Automotive Research Lot and other activities;*
 - v. A Landscape waiver to permit the absence of parking perimeter trees along the western edge (approximately 50 trees required, 35 provided), as listed in Section 5.5.3.C, chart footnote;*
 - vi. A City Council Waiver to allow painted end islands in lieu of required end islands as listed in Section 5.3.12;*
 - vii. City Council variance from Sec. 11-216 (c) (8) of Novi City Code for absence of a right turn taper and/or lane along Grand River Avenue (RCOC also approved August 29, 2016);*
 - viii. Applicant to work with the Road Commission for Oakland County (RCOC) to meet the requirements for road improvements within Grand River Avenue Right of way;*
 - ix. A City Council Waiver to allow Major Event Traffic Plan in lieu of required Traffic Impact Study due to the unique and non-routine operations associated with Suburban Collection Showplace and the development of a Major Event Traffic Plan should serve as a suitable replacement;*
- b.** *The following waivers and conditions would require updated approvals:*
- i. A section 9 façade waiver for the overage of combined types of Flat Metal Panels on the south façade (70% allowed, 73% provided) and underage of Brick on all facades (30% minimum required, 0% provided);*
 - ii. A Landscape waiver to permit reduction of required foundation plantings as listed in Section 5.5.3.D (3,200 square feet required, 1,271 square feet provided) due to large glassed entry area and limited space between the drive and the building along much of the frontage;*
 - iii. A landscape waiver to permit reduction of the percentage of building frontage with foundation landscaping, also listed in Section 5.5.3.D (60% of frontage landscaped is required, 45.5% is provided).*

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

February 22, 2019

Engineering Review

Suburban Collection Showplace Expansion
JSP16-0012

Applicant

TBON, LLC

Review Type

Revised Final Site Plan

Property Characteristics

- Site Location: West of Taft Road, North of Grand River Avenue
- Site Size: 63.314 acres
- Plan Date: 10/24/2018
- Design Engineer: Environmental Engineers, Inc.

Project Summary

- Two end islands were removed and replaced with striped islands in the northwest parking lot.
- 70 feet of additional surface area was paved on the west side of the development.
- Water, sanitary sewer, and storm sewer services were not impacted by the expansion.

Recommendation

Approval of the Revised Final Site Plan is recommended.

Comments:

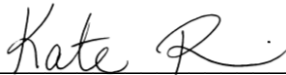
The Revised Final Site Plan meets the general requirements of Chapter 11 of the Code of Ordinances, the Storm Water Management Ordinance and the Engineering Design Manual with the following exceptions, which can be addressed as stated:

General

1. According to 5.3.12 of the City of Novi Zoning Ordinance, raised end islands must be placed "at the end of all parking bays that abut traffic circulation aisles". To deviate from this norm and allow painted end islands, approval from City Council would be required.
2. The existing storm water detention basin is sized to sufficiently accept runoff from the additional 70 feet of pavement.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Kate Richardson at (248) 347-0586 with any questions.



Kate Richardson, EIT
Plan Review Engineer

cc: Sri Komaragiri, Community Development
George Melistas, Engineering
Darcy Rehtien, PE, Engineering

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

February 26, 2019

Revised Final Site Plan - Landscaping

Suburban Collection Expansion

Review Type

Revised Final Site Plan Landscape Review

Project Number

JSP16-0012

Property Characteristics

- Site Location: 46100 Grand River
- Site Zoning: EXO
- Adjacent Zoning: West: OST, South: OST, I-1 South, East: I-1
- Plan Date: November 30, 2016

Recommendation:

This project is **recommended for approval at this time contingent on the applicant addressing the following** comments below in electronic stamping sets.

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Final Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance.

Landscaping Waivers/Variations on the plan dated August 17, 2016 and approved by City Council/ZBA:

- Absence of required landscaping within the parking lot.
- Absence of required interior parking lot trees.
- Absence of islands breaking up expanses of parking spaces into blocks of 15 spaces or less.
- Absence of perimeter parking lot trees along the western edge of the new lot.
- Reduction of foundation landscape area provided from required 14,952 square feet to 2,258 square feet.
- Allowance of painted end cap islands instated of curbed landscape islands.

Plan Set

1. **Please copy the above list of waivers, with the meeting date, to the first sheet of the landscape plans in this set.**
2. **Only Landscape sheets L-2, L-3 and L-10 need to be included in the set. The plant list on L-2 should be replaced with only the plantings covered in the comments below. No plant lists are necessary on Sheet L-10.**
3. The comments regarding building foundation landscaping, parking lot interior landscaping and loading area screening are based on an agreement made in late fall, 2018. **Please show the proposed plantings and transplantings below on the sheets.**
4. **Please renumber the landscaping sheets and show a current date on them.**

Building Foundation Landscape (Zoning Sec 5.5.3.D.)

1. Replace the flowering pears with Bowhall maples or another non-prohibited species in Spring, 2019.
2. Please add a note on Sheet L-3 stating this replacement.

Parking Lot Interior Landscaping

1. Add 4 deciduous canopy trees to replace those lost in the two endcap islands that were removed to provide better maneuvering for traffic using the western door on the north side of the addition. Two should be within 15 feet of the curb along the north edge of the parking lot/access drive, and 2 in the long island between the two parking lots.
2. Please show all existing trees to remain, proposed trees and relocated trees on Sheet L-2 to provide a complete record of plantings for future reference. This will be an as-built if the trees have already been planted or transplanted.

Parking Lot Perimeter Landscaping

1. A landscape waiver was granted to not provide perimeter landscape trees along the west side of the parking lot. The condition that prompted this waiver (the continued use of the area west of the paved edge for parking) still remains so it is assumed that the waiver will still be in effect for this plan.
2. It should be noted that perimeter parking lot trees will be required along the west side of the parking should the entire existing gravel parking area be paved and there is no opportunity for continued westward expansion of the lot.

Loading Area Screening

1. Move the evergreen beneath the maple east of the loading zone to a location west of its current location, so it will get better sun and still screen the loading docks from westbound I-96 traffic.
2. Add one evergreen slightly northwest of that tree to increase the screening from westbound I-96 traffic.
3. Add 3 evergreens in the gap on the north edge of the loading area to increase screening of the loading area from eastbound I-96 traffic.

If the applicant has any questions concerning the above review or the process in general, please do not hesitate to contact me at 248.735.5621 or rmeader@cityofnovi.org.



Rick Meader – Landscape Architect

FIRE REVIEW



February 4, 2019

TO: Barbara McBeth- City Planner
Sri Ravali Komaragiri- Plan Review Center
Lindsay Bell-Plan Review Center
Hannah Smith-Planning Assistant

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
Dave Staudt

Andrew Mutch

Laura Marie Casey

Kelly Breen

Ramesh Verma

Doreen Poupard

City Manager
Peter E. Auger

**Director of Public Safety
Chief of Police**
David E. Molloy

Director of EMS/Fire Operations
Jeffery R. Johnson

Assistant Chief of Police
Erick W. Zinser

Assistant Chief of Police
Scott R. Baetens

RE: Suburban Collections Showplace Expansion

PSP# 19-0021

Project Description:

Build an addition to the existing building.

Comments:

Meets Fire Department Standards

Recommendation:

APPROVED

Sincerely,

A handwritten signature in black ink, appearing to read "KSP", with a long horizontal stroke extending to the right.

Kevin S. Pierce-Fire Marshal
City of Novi – Fire Dept.

cc: file

Novi Public Safety Administration
45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

APPLICANT COVER LETTER

TBON, L.L.C.

A Michigan Limited Liability Company

43700 Expo Center Drive

Novi, Michigan 48375

Ph: (248) 348-5600 Fax: (248) 347-7720

January 24, 2019

Barb McBeth
City of Novi
45175 10 Mile Rd.
Novi, MI 48375

Re: Narrative relating to minor revisions – as-built Site Plan Suburban Collection Showplace and State Fairgrounds Expansion – Site Plan # JSP16-0012

Dear Ms. McBeth,

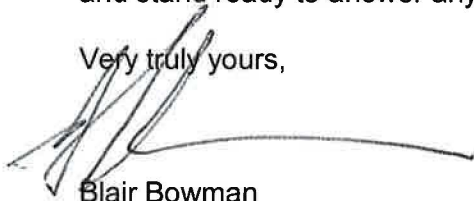
In accordance with your request that we provide a brief narrative relating to the revisions to the Site Plan as previously approved as compared to what was actually constructed (as-built) in the field, please consider the following:

There are two revisions identified below along with the explanation and reasoning related to them.

- 1) Two small existing raised islands removed and replaced with striped islands in the northwest parking/logistic area. This was an error in communication between myself and the engineers in the completion of the final site plan. This northwest area is critical to load in and load out activities, particularly relating to the most direct access to the large overhead door, which is the primary entrance door for large/oversized items. It was not planned, but very coincidental during one of Charles Boulard's site visits that we were loading in the large manufactured housing displays which would have been made impossible if these raised islands were to have remained. We did meet with the City's landscape consultant and we relocated the plantings from these islands to the perimeter of this lot, **AND PLANTED ADDITIONAL TREES ON THE WEST PERIMETER OF THE LOT AS WELL.**
- 2) Approximate 70 ft. of additional surface area was paved along the west edge of the site. This was done as part consideration for the then land contract holder to provide the permanent joint access/reciprocal easement required by the city for access and maintenance to the storm water basin. It is important to point out that this surface area was already graded as planned and is fully accommodated for in the storm water plan and system. This is simply a small addition consistent with the same method as approved by the Planning Commission and City Council for the large west surfaced area.

These are the only site revisions and we respectfully request approval of the revised Site Plan and stand ready to answer any questions or provide any additional information that is requested.

Very truly yours,



Blair Bowman

RECEIVED

JAN 29 2019

CITY OF NOVI
COMMUNITY DEVELOPMENT

APPLICANT RESPONSE LETTER

TBON, L.L.C.

A Michigan Limited Liability Company

46100 Grand River Ave.

Novi, Michigan 48374

Ph: (248) 348-5600 Fax: (248) 347-7720

March 19, 2019

Sri Komaragiri

City of Novi

45175 Ten Mile Rd.

Novi, MI 48375

RE: Revised Final Site Plan – Project Number JSP16-0012/Suburban Collection Showplace Expansion

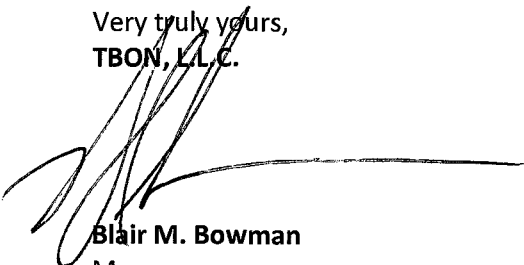
Dear Sri,

As requested, please accept this correspondence relating to the above reference revised final site plan. We very much appreciate the communities understanding and flexibility as it relates to these minor adjustments to the final plan! In specific response, you have received from our engineers the turning radius template showing the island interference, **even with the traditional tractor trailer sizes shown/used**. We have included the attached correspondence from the Michigan Manufactured Housing Association, William G. Sheffer, Executive Director indicating in the form of real world experience the virtual impossibility of moving their much larger (literally double wide), manufactured housing units into the Facility if these raised islands were not eliminated.

We have also included updated landscape plans with the requested notations made. These landscape plans are submitted in accordance with the Consultants comments, and it is agreed that a site walk will occur in the Spring 2019 after all plantings/replantings have been complete. A final marked up as-built will be completed at that time for the file.

If there are any further questions or you require any further information, please do not hesitate to contact me.

Very truly yours,
TBON, L.L.C.



Blair M. Bowman
Manager

Enc.



2222 Association Drive • Okemos, Michigan 48864 • (517) 349-3300 • 1-800-422-6478 • FAX (517) 349-3543 •
www.michhome.org

March 18, 2019

City of Novi
45175 W. Ten Mile Rd.
Novi, MI 48375

Re: Turning Radius and Requirement for Level Service Maneuvering Area

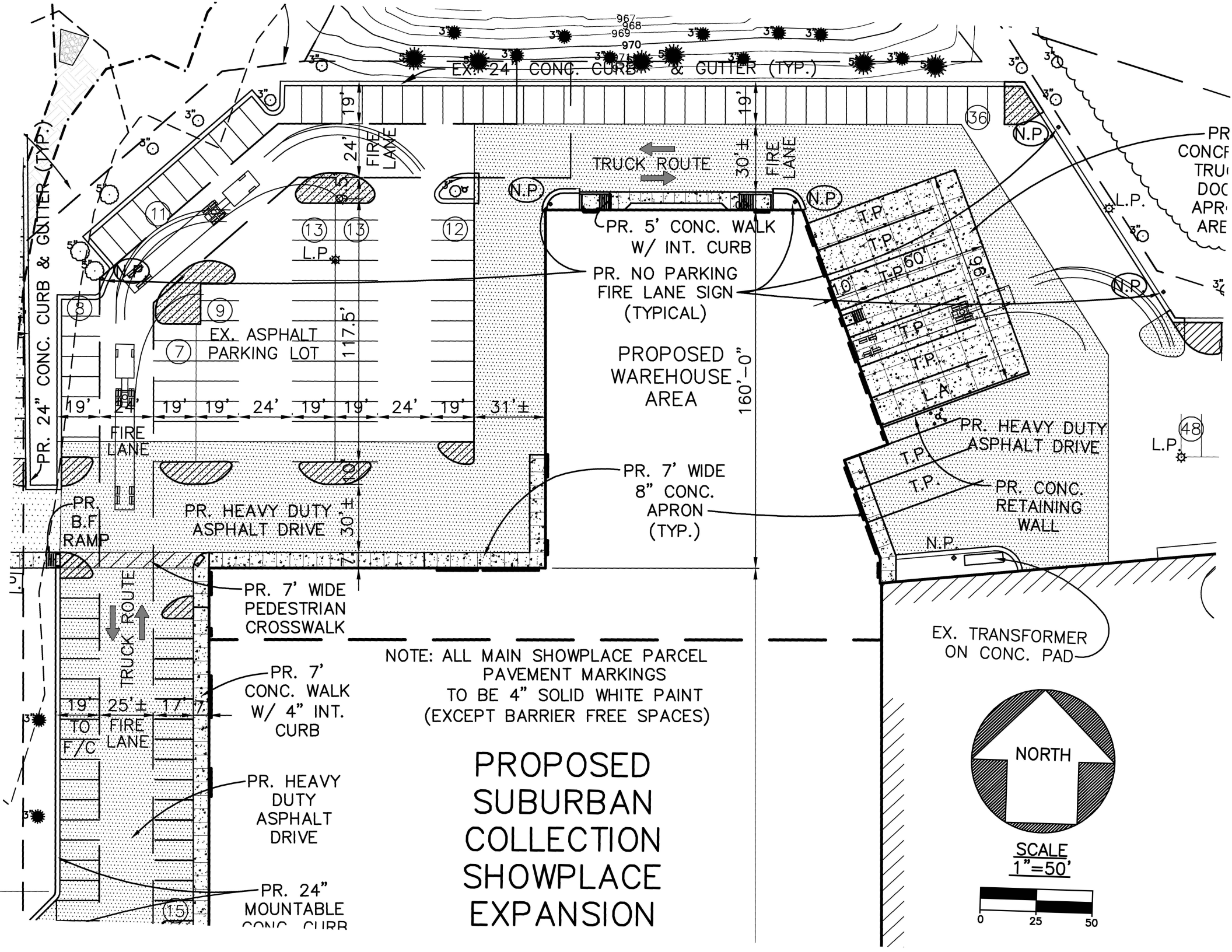
To Whom it May Concern:

Please be advised that we are the producers of the manufactured housing event that occurs annually at the newly expanded Suburban Collection Showplace. One of the critical elements is the ability to move in our special load, extremely wide and extremely long park model units. The way that the facility expanded, the only door practical to receive these units is on the north side of the Event Center (Door #3). The move in for this year's manufactured housing event would have been virtually impossible with raised islands in place. Even without the islands, the turning radiuses are tight and we had to relocate several parked vehicles in order to create a direct lane for move in of these units. This manufactured housing display is a critical part of the expanded manufactured/home show effort and we appreciate your consideration and flexibility in this regard.

Sincerely,

William G. Sheffer

William G. Sheffer
Executive Director
Michigan Manufactured Housing Association



PR. 24" CONC. CURB & GUTTER (TYP.)

EX. 24" CONC. CURB & GUTTER (TYP.)

TRUCK ROUTE

PR. 5' CONC. WALK
W/ INT. CURB
PR. NO PARKING
FIRE LANE SIGN
(TYPICAL)

PROPOSED
WAREHOUSE
AREA
160'-0"

PR. 7' WIDE
8" CONC.
APRON
(TYP.)

EX. ASPHALT
PARKING LOT

PR. HEAVY DUTY
ASPHALT DRIVE

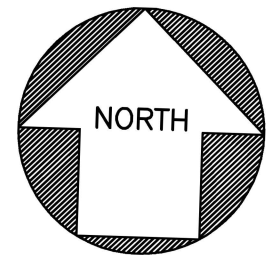
PR. HEAVY DUTY
ASPHALT DRIVE

PR. CONC.
RETAINING
WALL

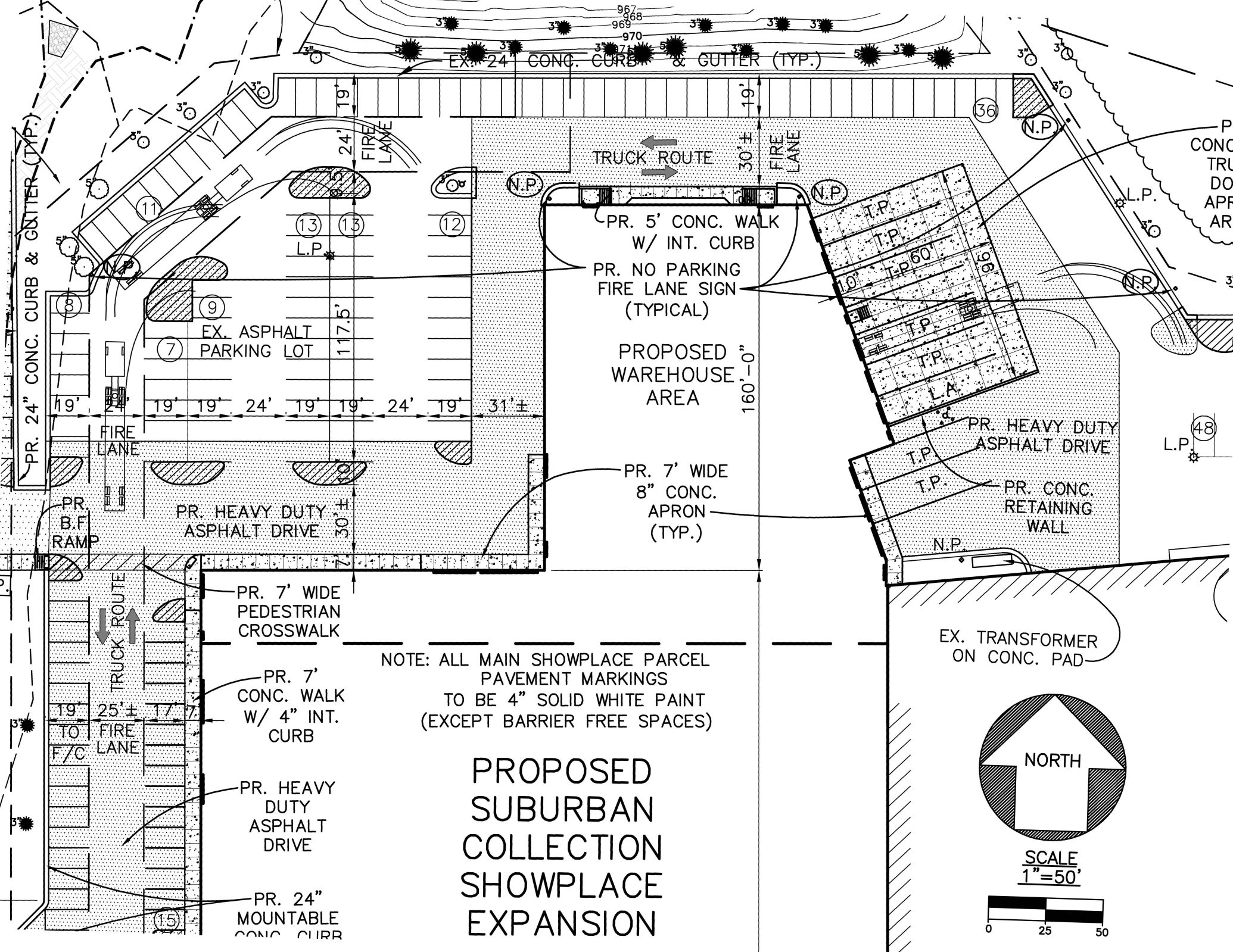
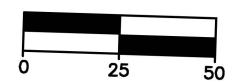
EX. TRANSFORMER
ON CONC. PAD

NOTE: ALL MAIN SHOWPLACE PARCEL
PAVEMENT MARKINGS
TO BE 4" SOLID WHITE PAINT
(EXCEPT BARRIER FREE SPACES)

PROPOSED SUBURBAN COLLECTION SHOWPLACE EXPANSION



SCALE
1"=50'



TRANSPLANTED MATERIALS GUIDELINES

1. ALL COLLECTED TREES SHALL BE FROM ON-SITE AND INSPECTED BY THE CITY. TREES MAY BE REJECTED FOR REASONS OF INSECT INFESTATION, DISEASE OR STANDARDS SET FORTH IN THIS ORDINANCE. SUCH PLANT MATERIAL MAY BE REJECTED EITHER IN FULL OR IN PART.
2. ALL TRANSPLANTED TREES SHALL CONFORM TO STANDARDS SET FORTH IN SECTION 3C.
3. THE ROOT BALL OF ANY TRANSPLANTED TREE SHALL MEASURE 1 FOOT FOR EACH INCH OF TRUNK DIAMETER MEASURED 2" ABOVE THE GROUND.
4. IF TREES ARE TO BE STORED, THEY SHALL BE BURLAPPED AND HEELED IN WITH MULCH IN A PRE-DETERMINED AREA APPROVED BY THE CITY.
5. THE TREES SHALL BE PROVIDED WITH A WORKING IRRIGATION SYSTEM APPROVED BY THE CITY TO INSURE THEIR VIABILITY DURING STORAGE.

TRANSPLANTED (T) PLANT LIST

QTY.	KEY	BOTANICAL NAME	COMMON NAME	ROOT
21	EO	QUERCUS ROBAR	ENGLISH OAK	SPADE
3	ABM	ACER R. X F. 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	SPADE
10	GL	TILIA C. 'GREENSPIRE'	GREENSPIRE LINDEN	SPADE
2	CM	ACER F. 'COLUMNARE'	COLUMNARE NORWAY MAPLE	SPADE
1	CS	PICEA P. 'PENSILVANA'	COLORADO SPRUCE	SPADE
2	ES	ZELKOVA SERRATA	ZELKOVA	SPADE
TOTAL: 52				

EXISTING (E) SURROUNDING PLANT LIST TO REMAIN

QTY.	KEY	BOTANICAL NAME	COMMON NAME	ROOT
5	EO	QUERCUS ROBAR	ENGLISH OAK	EXISTING
21	ABM	ACER R. X F. 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	EXISTING
6	GL	TILIA C. 'GREENSPIRE'	GREENSPIRE LINDEN	EXISTING
11	LF	FRAXINUS O. 'CLEVELAND SELECT'	CLEVELAND SELECT PEAR	EXISTING
5	PL	PLATANUS ACERIFOLIA	LONDON PLANE TREE	EXISTING
1	RJ	MALUS RED JEWEL	RED JEWEL CRAB	EXISTING
1	SM	ACER SACCHARUM	SUGAR MAPLE	EXISTING
1	ST	ACER F. 'COLUMNARE'	COLUMNARE NORWAY MAPLE	EXISTING
2	SL	GLEDITSIA T. 'SKYLINE'	SKYLINE LOCUST	EXISTING
22	EM	EVERGREEN MIX	EVERGREEN MIX	EXISTING

KEY

- EXISTING (E) DECIDUOUS TREES TO BE SAVED
- EXISTING (E) EVERGREEN TREES TO BE SAVED
- EXISTING (T) DECIDUOUS TREES TO BE TRANSPLANTED
- EXISTING (T) EVERGREEN TREES TO BE TRANSPLANTED
- TREE PROTECTION FENCE

NOTE

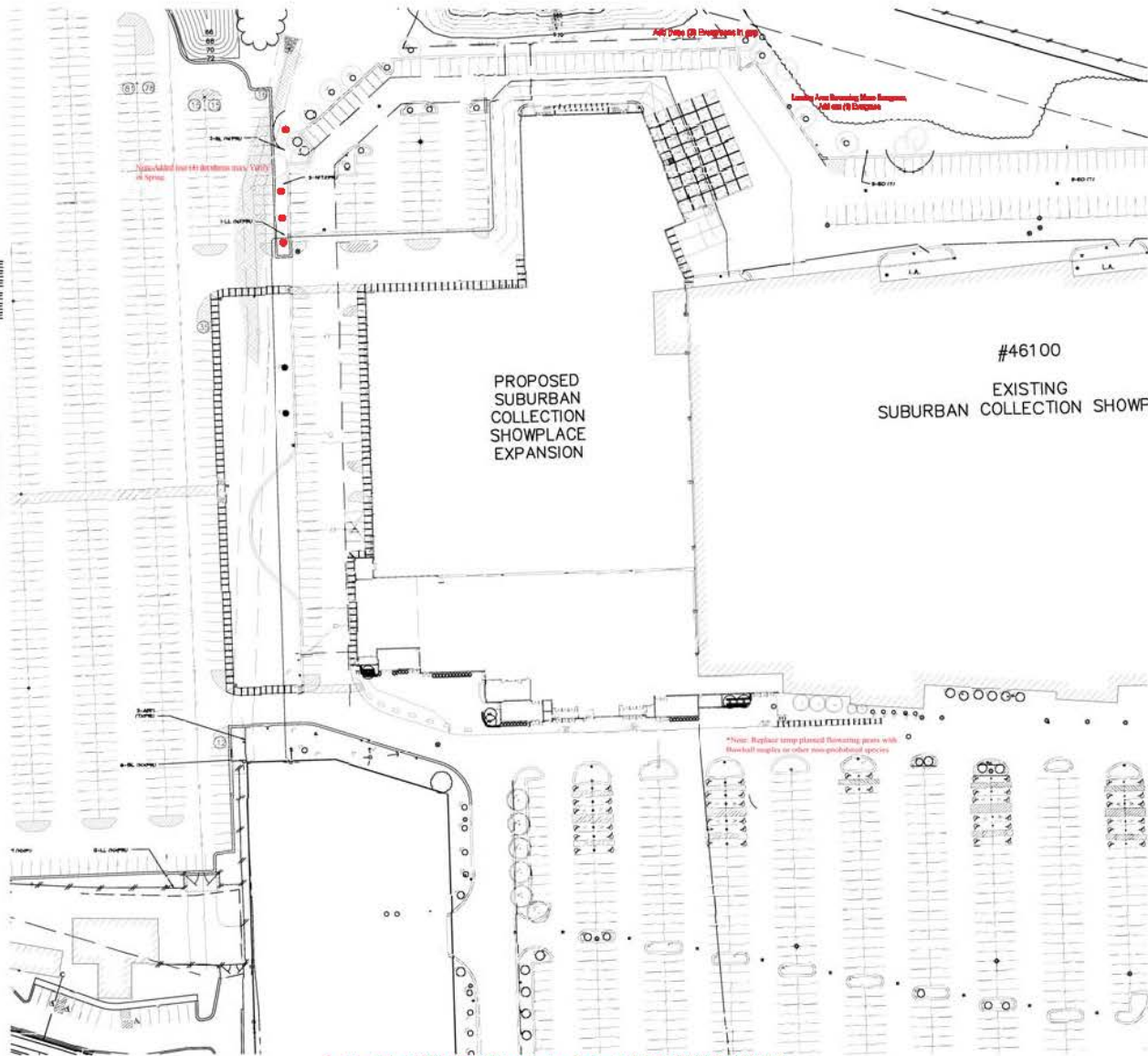
1. ON SITE TREE TRANSPLANT LOCATIONS TO BE DETERMINED IN FIELD BY LANDSCAPE ARCHITECT.
2. ANY NEW UTILITY BOXES WILL BE SCREENED PER THE CITY OF NOVI STANDARDS SCREENING DETAIL, AS SHOWN ON SHEET L-6

TREE PROTECTION FENCE



TREE PROTECTION FENCE DETAIL

- Landscape Waivers/Variations on the plan dated August 17, 2018 and approved by City Council/ZBA:
- Absence of required landscaping within the parking lot
 - Absence of required interior parking lot trees
 - Absence of islands breaking up expanses of parking spaces into blocks of 15 spaces or less
 - Absence of perimeter parking lot trees along the western edge of the new lot
 - Reduction of foundation landscape area provided from required 14,992 square feet to 2,256 square feet
 - Allowance of painted and cap islands instead of curbed landscape islands



EXISTING LANDSCAPE TRANSPLANT PLAN



CONCEPTUAL PLAN NOT FOR CONSTRUCTION

P.O. Box 542
 Novi, Michigan 48161-0542
 P: 248.814.8800
 F: 248.690.7164

PATRICK S. Conroy ASSOCIATES AND ASSOCIATES
 Landscape Architecture • Construction Management
 Site Planning • Civil/Storm/Waterworks

EXISTING LANDSCAPE TRANSPLANT PLAN

REVISION	DATE	DESCRIPTION
1	8-22-18	ALL REVISIONS, NOTES AND NOTES
2	8-22-18	REVISIONS TO THE PLAN
3	8-22-18	REVISIONS TO THE PLAN
4	8-22-18	REVISIONS TO THE PLAN
5	8-22-18	REVISIONS TO THE PLAN
6	8-22-18	REVISIONS TO THE PLAN
7	8-22-18	REVISIONS TO THE PLAN
8	8-22-18	REVISIONS TO THE PLAN
9	8-22-18	REVISIONS TO THE PLAN
10	8-22-18	REVISIONS TO THE PLAN
11	8-22-18	REVISIONS TO THE PLAN
12	8-22-18	REVISIONS TO THE PLAN
13	8-22-18	REVISIONS TO THE PLAN
14	8-22-18	REVISIONS TO THE PLAN
15	8-22-18	REVISIONS TO THE PLAN
16	8-22-18	REVISIONS TO THE PLAN
17	8-22-18	REVISIONS TO THE PLAN
18	8-22-18	REVISIONS TO THE PLAN
19	8-22-18	REVISIONS TO THE PLAN
20	8-22-18	REVISIONS TO THE PLAN
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46	8-22-18	REVISIONS TO THE PLAN
47	8-22-18	REVISIONS TO THE PLAN
48	8-22-18	REVISIONS TO THE PLAN
49	8-22-18	REVISIONS TO THE PLAN
50	8-22-18	REVISIONS TO THE PLAN

SUBURBAN COLLECTION SHOWPLACE

NOVI, MI

TRON, LLC
 4600 GRAND RIVER AVE
 NOVI, MI 48375

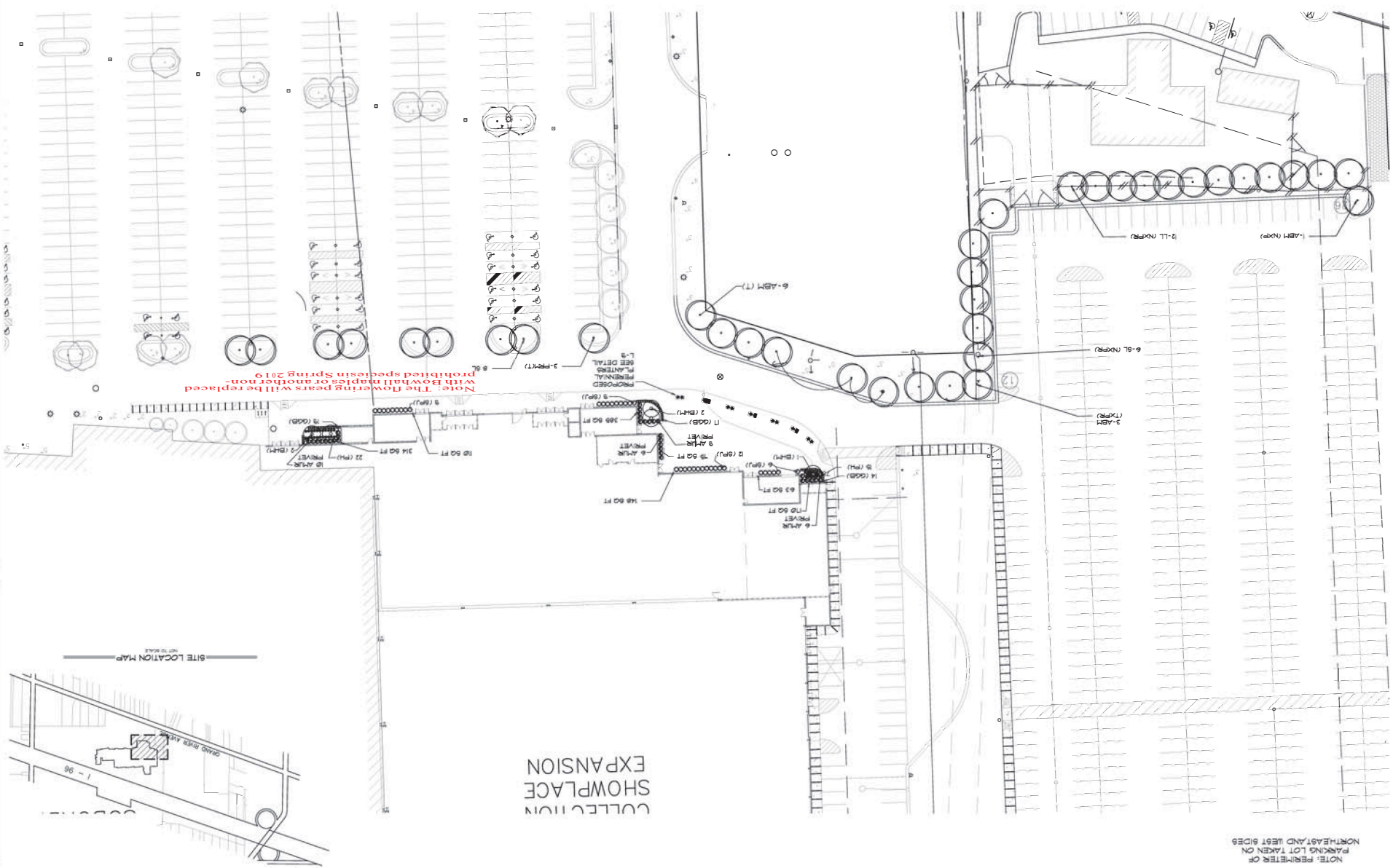
DATE: 3/19/19

PROJECT NO: 16.112

SHEET NO: **L-1**

© 2016

NOTE: PERIMETER OF
PARKING LOT TAKEN ON
NORTHEAST AND WEST SIDES



PROPOSED SITE LANDSCAPE PLAN
SCALE: 1" = 30'-0"

NOTE
LANDSCAPE CONTRACTOR
REMOVE ALL EXISTING
TOPSOIL, FERTILIZER AND
MULCH FROM ALL
DISTURBED AREAS.



CONCEPTUAL PLAN
NOT FOR CONSTRUCTION

PROJECT NO. 16.112

DATE: 03/17/19

BY: VM

PROJECT: SUBURBAN COLLECTION SHOWPLACE

CLIENT: TIBON, LLC
16100 GRAND RIVER AVE.
NOVI, MI 48375

DATE	DESCRIPTION	BY
3-22-18	LANDSCAPE PLAN	VM
11-21-18	LANDSCAPE PLAN	VM
1-5-17	LANDSCAPE PLAN	VM
2-1-17	LANDSCAPE PLAN	VM
3-15-18	LANDSCAPE PLAN	VM
3-15-18	LANDSCAPE PLAN	VM

LANDSCAPE PLANS

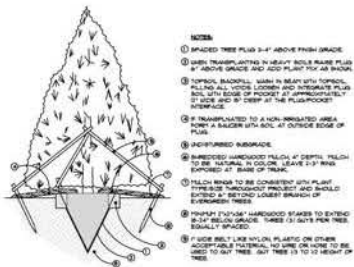
ALL ORIGINAL DETAILS ARE NOTED
ON THIS PLAN. ANY CHANGES
SHOWN ON THIS PLAN ARE
THE RESULT OF A REVISION
AND SHOULD BE NOTED ON
THE REVISION SHEET. ALL
REVISIONS SHOULD BE
NOTED ON THIS PLAN.
SEE PLANS FOR REVISIONS.

CONROY
AND ASSOCIATES

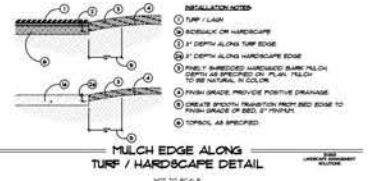
PATRICK S.
AND
CALLIE MISS DUGAN

P.O. Box 542
16100 Grand River Ave.
Novi, MI 48375
P: 248.890.8100
F: 248.890.7164

Landscape Architecture • Construction • Construction Management
Site Planning • Civil/Coverage Administration



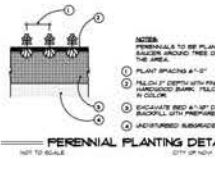
EVERGREEN TREE TRANSPLANTING DETAIL



MULCH EDGE ALONG TURF / HARDSCAPE DETAIL



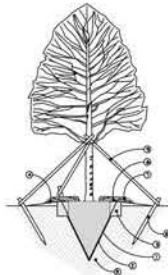
DECIDUOUS TREE PLANTING DETAIL



PERENNIAL PLANTING DETAIL

INSTALLATION NOTES

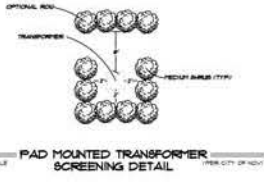
- DO NOT PLANT POCKET 1/2" DEEPER THAN EDGE OF ROOTBALL.
- THOROUGHLY COMPACT BOTTOM OF PLANT POCKET.
- REMOVE ALL SOIL FROM TOP OF ROOTBALL. EXPOSE TRUNK COLLAR & REMOVE EXCESS SOIL FROM TOP OF ROOTBALL DOWN TO THE UPPER LEVEL OF THE ROOT SYSTEM. SET ROOTBALL TIGHT TO THE 1/2" OF BALL ABOVE TREE GRADE.
- SPREAD MULCH UNDER & AROUND BASE OF BALL TO STABILIZE TREE. THOROUGHLY CONTACT TRUNKS AND VICES.
- BACKFILL PLANT POCKET WITH PLANTING MIX COMPOSING OF 50% TOPSOIL, 15% NATIVE SOIL, & 35% COMPOST. ASSURE TREE IS STILL STRAIGHT.
- REMOVE CONTAINER WITH BACKFILL REMOVAL TO WIRE COILS OR BINS TO PREVENT THEM FROM SOILING MULCH. REMOVE EXCESS MULCH.
- BACKFILL PLANT POCKET SECOND TO LAST WITH PLANTING MIX & CONTACT THOROUGHLY. ASSURE TREE IS STILL STRAIGHT.
- BACKFILL PLANT POCKET LAST WITH PLANTING MIX & CONTACT THOROUGHLY. ASSURE TREE IS STILL STRAIGHT. SOILS GRADE ASY FROM TREE.
- IF PLANTED IN CONTAINER, REMOVE SOIL A SAUCE IN WITH SOIL AT OUTSIDE EDGE OF ROOTBALL.
- BACKFILL HARDSCAPE FILL TO 2" DEPTH. FILL TO BE NATURAL IN COLOR. LEAVE 1/2" WING EXPOSED AT BASE OF TREE.
- TRUNK WING TO BE CONSISTENT WITH PLANT TYPE. THROUGHOUT PROJECT SHOULD NOT EXTEND BEYOND PLANT POCKET.
- TRUNK PROTECTANT HARDSCAPE STABILIZER TO BE COMPLETED UNDER PLANT POCKET. EQUAL LOCATION PER TREE TO BE CONSISTENT THROUGHOUT PROJECT.
- IF SIDE BELL IS IN POLY, PLASTIC OR OTHER ACCEPTABLE MATERIAL, NO USE OR HOSE TO BE USED TO SET TREE. TO 1/2" DEPTH PER TREE.



CONTAINER SHRUB PLANTING DETAIL

INSTALLATION NOTES

- SHRUB TREE MUST BE 1/2" ABOVE FROM BRACKLE. OTHER TRANSPLANTING IN DEPTH TO 1/2" ABOVE PLUS 1/2" ABOVE GRADE AND ADD PLANT FOR 1/2" IN BASK.
- SPREAD BACKFILL UNDER & AROUND BASE OF BALL TO STABILIZE TREE. THOROUGHLY CONTACT TRUNKS AND VICES.
- REMOVE AND INTEGRATE PLUS SOIL WITH EDGE OF ROOTBALL AT APPROXIMATELY 1/2" DEEP AND TO 1/2" ABOVE PLUS 1/2" ABOVE GRADE AND ADD PLANT FOR 1/2" IN BASK.
- TRANSFERRED TO A NON-IRRADIATED AREA. PLANT UNDER WITH SOIL AT OUTSIDE EDGE OF BALL.
- BACKFILL HARDSCAPE.
- BACKFILL PLANT POCKET TO 1/2" DEPTH. FILL TO BE NATURAL IN COLOR. LEAVE 1/2" WING EXPOSED AT BASE OF TREE.
- PLANT WING TO BE CONSISTENT WITH PLANT TYPE. THROUGHOUT PROJECT SHOULD NOT EXTEND BEYOND PLANT POCKET.
- TRUNK PROTECTANT HARDSCAPE STABILIZER TO BE COMPLETED UNDER PLANT POCKET. EQUAL LOCATION PER TREE TO BE CONSISTENT THROUGHOUT PROJECT.
- IF SIDE BELL IS IN POLY, PLASTIC OR OTHER ACCEPTABLE MATERIAL, NO USE OR HOSE TO BE USED TO SET TREE. TO 1/2" ABOVE FIRST BRANCH.



PAD MOUNTED TRANSFORMER SCREENING DETAIL

TYPICAL PLANTER SPECIFICATION

MODEL: EPUR-40, URBAN RECTANGLE
 COLOR: TO BE DETERMINED
 QUANTITY: 13
 PLANTER AS DISTRIBUTED BY:
 EARTHPLANTER
 13 PULLASKI ST
 ALBURN NY 13021
 Toll Free 1-877-819-8216
 Web: www.earthplanter.com

GENERAL NOTES

- ALL LANDSCAPE INSTALLATION SHALL CONFORM TO THE LANDSCAPE REQUIREMENTS AS OUTLINED IN THE SPECIFICATIONS FOR CITY OF NOVI.
- ALL PLANT MATERIAL TO BE INSTALLED PER PLANTING DETAILS & SPECIFICATIONS.
- ALL LAWN AREA (AS INDICATED) ARE TO BE SOCCED UNLESS NOTED OTHERWISE, WITH A THRESH 1/2" OF CONCRETE.
- ALL LAWN AND LANDSCAPE AREAS AS INDICATED SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM.
- ALL IRRIGATION AS INDICATED TO BE AS SPECIFIED ON DRAWINGS & DETAILS METAL PER MANUFACTURER'S RECOMMENDATIONS.
- THE QUALITY OF LANDSCAPE MATERIALS SHALL BE IN ACCORDANCE WITH THE INSTALLATION SET FORTH BY THE APPLICABLE ASSOCIATION OF MANUFACTURERS.
- LANDSCAPE CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT TO WRITING OF ANY PROPOSED CHANGE IN PLANT MATERIAL AND LOCATION. LANDSCAPE ARCHITECT TO APPROVAL ALL SUBSTITUTION AND OR CHANGE IN WRITING FROM THE ORIGINAL PLAN.
- THE LANDSCAPE ARCHITECT AGREES TO THE RIGHT TO SELECT ANY PLANT MATERIAL. DOES NOT MEET THE OWNER LANDSCAPE ARCHITECT OR PLANTING STANDARDS.
- LANDSCAPE ARCHITECT TO APPROVE ALL PLANT MATERIAL TO BE INSTALLED AT INSTALLATION. ALL CONSTRUCTION AND PLANT MATERIAL LOCATIONS MUST BE AS SHOWN ON THE ORIGINAL PLAN.
- PLANT TREES AND SHRUBS GENERALLY NOT CLOSER THAN THE FOLLOWING DISTANCES FROM SAFETY PLATING, SIDEWALKS, CURBS, PARKING STRIPS & FIRE DEPARTMENT CONNECTIONS (INTERMEDIATE).
- DECIDUOUS OR CONIFER TREES ARE TO BE REPLANTED ANY PROPOSED OR EXISTING UNDERGROUND UTILITY LINES AS SHOWN ON THE ORIGINAL SITE LANDSCAPE PLAN. REFER TO CIVIL ENGINEERING PLAN FOR EXACT LOCATIONS AND DETAILS.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF 120 (120) DAYS FROM THE DATE OF INSTALLATION AS DETERMINED BY THE CITY LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER ALL DEAD PLANTS AND ALL PLANTS NOT IN VIGOROUS HEALTHY CONDITION AS DETERMINED BY GROUND & SURFACE AS PER CITY OF NOVI SPECIFICATIONS AND AT THE END OF THE GUARANTEE PERIOD. REPLACEMENT MATERIAL SHALL CONFORM TO THE ORIGINAL SPECIFICATION.
- A THRESH ONE CULTIVATION IN ARE, SALT AND ADJUST FOR THE 3-YEAR SURVIVAL PERIOD.
- INSTALLATION DATE OF EXTENDED LANDSCAPING TO BE FOLLOWED & RECOMMENDED.

PLANTING TREES & SHRUBS

- DO NOT PLANT POCKET 1/2" DEEPER THAN BALL.
- DO NOT PLANT FOR BASKER A 1/2" DEEPER THAN BALL OR CONTAINER.
- THOROUGHLY COMPACT BOTTOM OF PLANT POCKET.
- REMOVE PLANT FROM CONTAINER AND EXPOSE ROOTBALL. IF ROOTBALL IS COVERED, REMOVE PLANT ROOTS & ROOTING MEDIA. CLEANSE THE ROOTBALL BY CONTACTING WITH WATER. REMOVE EXCESS MEDIA. IF A PROTECTIVE COATING IS APPLIED TO THE BOTTOM OF THE ROOTBALL, REMOVE THE MEDIA AND ADD A LAYER OF NATURAL SOIL. SPREAD THE SOIL UNDER THE ROOTBALL AND REINSTATE PLANT ROOTS & ROOTING MEDIA. PLANTING MIX. PLACE PLANT IN POCKET 1/2" ABOVE BRACKLE.
- BACKFILL PLANT POCKET WITH PLANTING MIX COMPOSING OF 50% TOPSOIL, 15% NATIVE SOIL, AND 35% COMPOST. ASSURE TREE IS STILL STRAIGHT.
- REMOVE AND INTEGRATE PLUS SOIL WITH EDGE OF ROOTBALL AT APPROXIMATELY 1/2" DEEP AND TO 1/2" ABOVE PLUS 1/2" ABOVE GRADE AND ADD PLANT FOR 1/2" IN BASK.
- TRANSFERRED TO A NON-IRRADIATED AREA. PLANT UNDER WITH SOIL AT OUTSIDE EDGE OF BALL.
- BACKFILL HARDSCAPE.
- BACKFILL PLANT POCKET TO 1/2" DEPTH. FILL TO BE NATURAL IN COLOR. LEAVE 1/2" WING EXPOSED AT BASE OF PLANT.
- IF PLANTED WITH A LANDSCAPE BED FILL, FILL WING TO BE CONSISTENT WITH PLANT TYPE. THROUGHOUT PROJECT SHOULD NOT EXTEND BEYOND PLANT POCKET.
- TRUNK PROTECTANT HARDSCAPE STABILIZER TO BE COMPLETED UNDER PLANT POCKET. EQUAL LOCATION PER TREE TO BE CONSISTENT THROUGHOUT PROJECT.
- IF SIDE BELL IS IN POLY, PLASTIC OR OTHER ACCEPTABLE MATERIAL, NO USE OR HOSE TO BE USED TO SET TREE. TO 1/2" ABOVE FIRST BRANCH.
- TRUNK WING TO BE CONSISTENT WITH PLANT TYPE. THROUGHOUT PROJECT SHOULD NOT EXTEND BEYOND PLANT POCKET.
- TRUNK PROTECTANT HARDSCAPE STABILIZER TO BE COMPLETED UNDER PLANT POCKET. EQUAL LOCATION PER TREE TO BE CONSISTENT THROUGHOUT PROJECT.
- IF SIDE BELL IS IN POLY, PLASTIC OR OTHER ACCEPTABLE MATERIAL, NO USE OR HOSE TO BE USED TO SET TREE. TO 1/2" ABOVE FIRST BRANCH.

PLANTING NOTES

- PLANT AT A DEPTH WHERE ROOTS ARE PROTECTED FROM THE TRUNK.
- PREPARE A PLANTING SITE NOT LESS THAN 1/2" IN DIAMETER.
- LOOSEN SOIL FAR BEYOND THE DIAPHRAGM OF THE TREE.
- ALL TREES ARE REQUIRED TO BE PRUNED AND TIED.
- STAKE WITH BRUSH AND PLASTIC MATERIAL THAT DOES NOT RUB THE BARK.
- TIE ASY FROM THE TRUNK WITH A COMPOSTED MATERIAL.
- KEEP SOIL FROM WATER LOGGING TO THE DEPTH OF THE ROOTS.
- REMOVE DEAD AND DRY BRANCHES.
- SALT UNTIL THE SECOND GRADING BEGINS TO BEGIN TRAINING CUTS FOR BRUSHING AND TO BEGIN PERMITTING.
- ALL PLANTS TO BE COVERED WITH A THRESH OF 1/2" BACK OF CARE TO BACK OF CARE.
- BE RELIABLE ARE TO BE BACK FILLED & DEEP WITH A READY TOPSOIL MIXTURE.
- NO PLANTING ARE TO BE SET UP OF ANY LATERAL THAT MUST BE BACK FILLED.
- ALL LAWN TREES TO HAVE A 2" DIA. CIRCLE OF BACKFILLED HARDSCAPE FILL 3" ASY FROM TRUNK.
- ALL TREE STAKES AND MATERIAL A TREE WRAPPING TO BE REMOVED AFTER ONE WINTER SEASON. ALL REPLACEMENT TREES TO BE GUARANTEED FOR 3 YEARS.
- NATURAL COLOR FULLY BACKFILLED HARDSCAPE FILL REQUIRED FOR ALL PLANTING. 2" DIA. CIRCLE AT 2" DEPTH FROM ALL TREES FILLED BY ASY FROM TRUNK. 3" DEPTH FILL FOR SHRUBS AND 2" DEPTH FILL FOR PERENNIALS.
- ADDITIONAL NUMBER AND DETENTION BASIN TO BE LOCATED AT UPPER END ELEVATION.
- ALL PERENNIALS TO BE PLANTED PROPER OF 1/2" ON CENTER.
- ALL PLANT MATERIAL TO BE NON-IRRADIATED UNLESS NUMBER ONE (1) GRADE.
- ALL SUBSTITUTIONS OR DEVIATIONS FROM THE LANDSCAPE PLAN MUST BE APPROVED IN WRITING BY THE CITY OF NOVI PRIOR TO INSTALLATION.

REQUIRED	PROVIDED
PARKING LOT REQUIREMENTS	
840 ADJACENT OFFSITE PARKING SPACES	
143,640 SF. OF PARKING SPACE AREA	
129,938 SF. OF PAVED VEHICULAR USE AREA	
262,163 SF. OF TOTAL ADJACENT OFFSITE PARKING AREA	
PARKING LOT ISLANDS	
(MAXIMUM IS CONTINUOUS SPACES)	
A + TOTAL SF. OF PARKING SPACES (NOT INCLUDING ACCESSIBLE x 10%)	37
A + 143,640 SF. x 10% = 14,364 SF.	5
B + PAVED VEHICULAR ACCESS AREA INCLUDES LOADING AREA	
B + 50,000x 5% = 2,500 SF.	
C + TOTAL SF. OF ADDITIONAL PAVED VEHICULAR USE AREA (NOT INCLUDING A+B OVER 50,000 SF. x 1%)	
C + 79,938x1% = 800 SF.	
D + TOTAL SF. OF LANDSCAPED ISLANDS	
D + 143,640x50% = 71,820 SF.	
E + NUMBER OF CANOPY TREES REQUIRED	236
E + 17,664/75 = 236 TREES	7
PERIMETER GREEN SPACE	
(1) CANOPY TREE PER 35 LF.)	
2,625 LF. / 35 LF. = 75 TREES	35
FOUNDATION LANDSCAPE REQUIREMENTS	
PROPOSED BUILDING - 1824 LF.	
8 TIMES PERIMETER (1824 LF. x 8 = 14,592 SF.) (WITH A MINIMUM WIDTH OF 3 FT.)	2,062 SF.
DETENTION/RETENTION BASIN REQUIREMENTS	
BASIN RIM PERIMETER - 125 LF.	
SHRUBS AND/OR TREES (15% OF THE BASIN AREA)	844 LF. = 845 LF.
ROW LANDSCAPE SCREENING REQUIREMENTS	
CANOPY DECIDUOUS OR LARGE EVERGREEN TREES	
NO PARKING (1 TREE PER 40 LF.)	5 TREES = 5 PLUS*
200 LF. / 40 = 5 TREES	EXISTING TREES NORTH OF
SUB-CANOPY DECIDUOUS TREES	
NO PARKING (1 TREE PER 25 LF.)	8 TREES = 8 TREES*
200 LF. / 25 = 8 TREES	DETENTION BASIN
+ 40+ EVERGREEN/ DECIDUOUS MIX EXISTING TREES	

Removed Plant and Plant Transplant Lists

P.O. Box 542
 L. 248.814.8882
 P. 248.814.8882
 F. 248.680.7164

PATRICKS
Conroy
 AND ASSOCIATES

Landscape Architecture & Construction • Construction Management
 Site Planning • Civil Engineer/Architect

NOTES & DETAILS

NO.	DESCRIPTION	DATE
1	GENERAL NOTES AND NOTES TO CONTRACTOR	8-22-16
2	CONTRACTOR TO VERIFY ALL NOTES AND CONDITIONS OF CONTRACT AND ALL NOTES TO CONTRACTOR	11-16-21
3	CONTRACTOR TO VERIFY ALL NOTES AND CONDITIONS OF CONTRACT AND ALL NOTES TO CONTRACTOR	11-16-21
4	CONTRACTOR TO VERIFY ALL NOTES AND CONDITIONS OF CONTRACT AND ALL NOTES TO CONTRACTOR	11-16-21
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8	CONTRACTOR TO VERIFY ALL NOTES AND CONDITIONS OF CONTRACT AND ALL NOTES TO CONTRACTOR	11-16-21
9	CONTRACTOR TO VERIFY ALL NOTES AND CONDITIONS OF CONTRACT AND ALL NOTES TO CONTRACTOR	11-16-21
10	CONTRACTOR TO VERIFY ALL NOTES AND CONDITIONS OF CONTRACT AND ALL NOTES TO CONTRACTOR	11-16-21

SUBURBAN COLLECTION SHOWPLACE

NOVI, MI

TRON, LLC
 46000 GRAND RIVER AVE.
 NOVI, MI 48075

DESIGNED BY: YIM

DATE: 08/24/2023

PROJECT NO: 16.112

DATE: 08/24/2023

PROJECT NO: 16.112