



Little Birds Montessori Group Day Care JSP18-24

LITTLE BIRDS MONTESSORI GROUP DAY CARE JSP18-24

Public hearing at the request of Little Birds Montessori, LLC for Special Land Use Permit approval for Little Birds Montessori Group Day Care, Site Plan Number 18-24. The subject property is located at 24620 Taft Road in section 22, on the east side of Taft Road north of Ten Mile Road. The applicant is proposing to operate a group day care in their existing residence for not more than 12 children. A group daycare up to 12 kids in a single family residence requires a Special Land Use approval.

Required Action

Approve/deny the Special Land Use permit

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	05/02/18	Applicant meets all standards for group day care home, subject to Planning Commission's determination if additional site improvements are required.

MOTION SHEET

Approval – Special Land Use Permit

In the matter of Little Birds Montessori Group Day Care, JSP 18-24, motion to **approve** the Special Land Use permit based on the following findings:

- a. Relative to other feasible uses of the site:
 1. The proposed use will not cause any detrimental impact on existing thoroughfares (*because the applicant has provided reasonable explanation in his narrative as how Traffic circulates in and out the site*);
 2. The proposed use will not cause any detrimental impact on the capabilities of public services and facilities (*because there is no additional impact on capabilities of public services. The applicant has agreed to maintain a seven foot access from Taft Road to main entrance of the building clear of snow at all times*);
 3. The proposed use is compatible with the natural features and characteristics of the land (*because there are no existing regulated woodlands or wetlands on subject property*);
 4. The proposed use is compatible with adjacent uses of land (*because the applicant has an existing family daycare with less than six kids at this location for over two years*);
 5. The proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use;
 6. The proposed use will promote the use of land in a socially and economically desirable manner;
 7. The proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.
 8. The information provided by the applicant sufficiently demonstrates how Traffic circulates in and out of the site without the need for any additional site improvements;
- **OR**
Additional pavement as indicated in the submittal packet should be installed prior to expansion of daycare;
- b. (*additional comments here if any*)

(This motion is made because the plan is otherwise in compliance with Article 3.1.5, Article 4, Article 5 and Article 6 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

-OR-

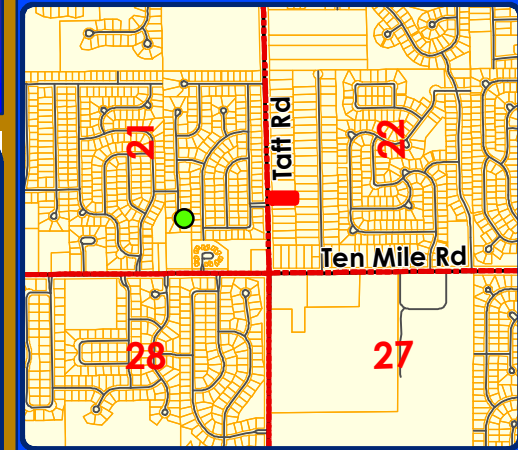
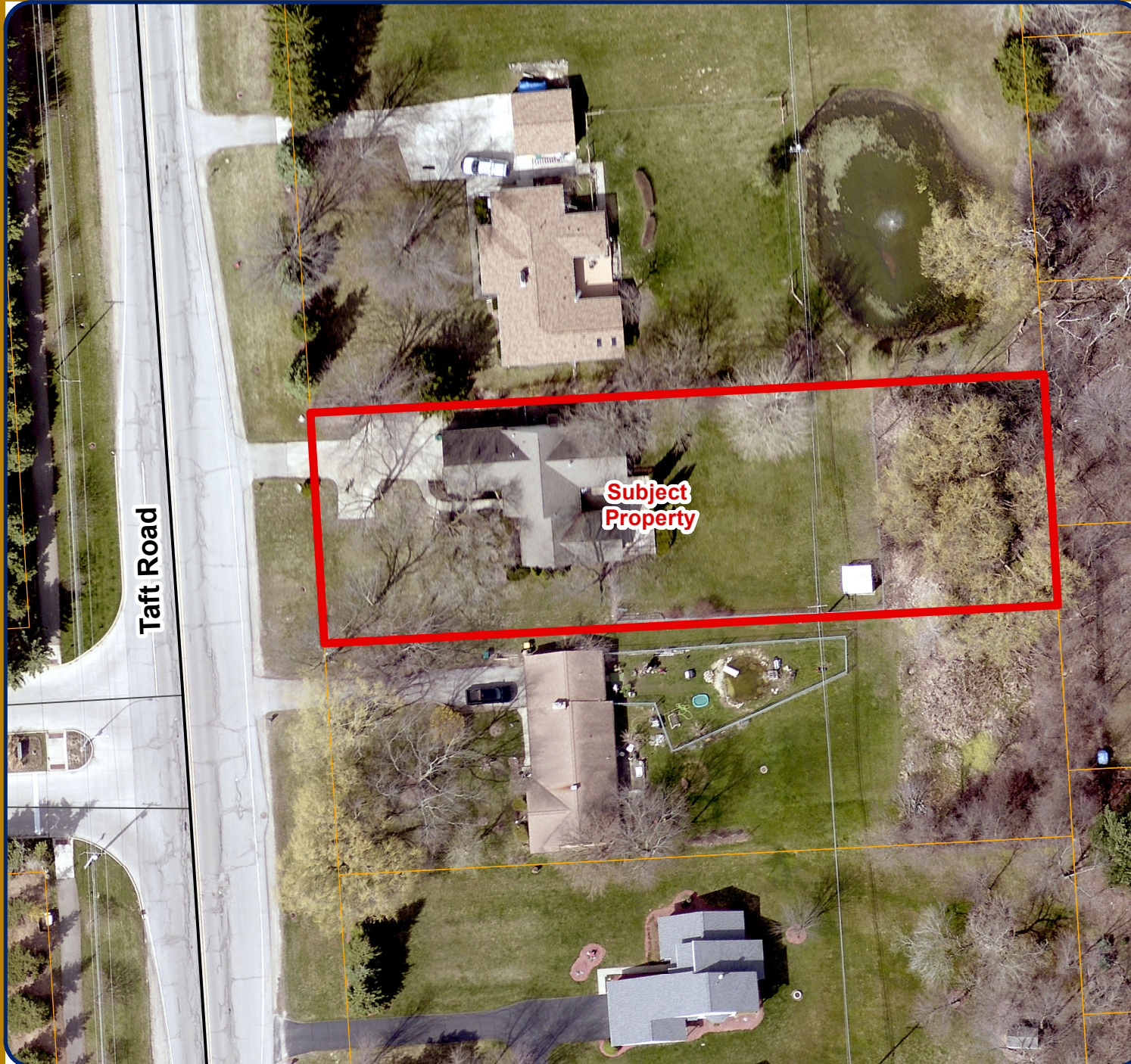
Denial – Special Land Use Permit

In the matter of Little Birds Montessori Group Day Care, JSP 18-24, motion to **deny** the Special Land Use permit for the following reasons... (*because it is not in compliance with the Ordinance.*)

Maps
Location
Zoning

JSP 18-24:LITTLE BIRDS MONTESSORI GROUP DAY CARE

Location



LEGEND

 Sections



City of Novi

Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Sri Komaragiri
Date: 05/18/18
Project: JSP 18-24: LITTLE BIRDS MONTESSORI GROUP DAY CARE IMPROVEMENTS
Version #: 1



1 inch = 59 feet

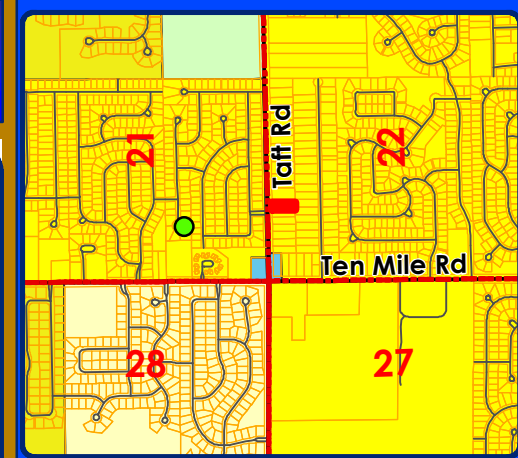
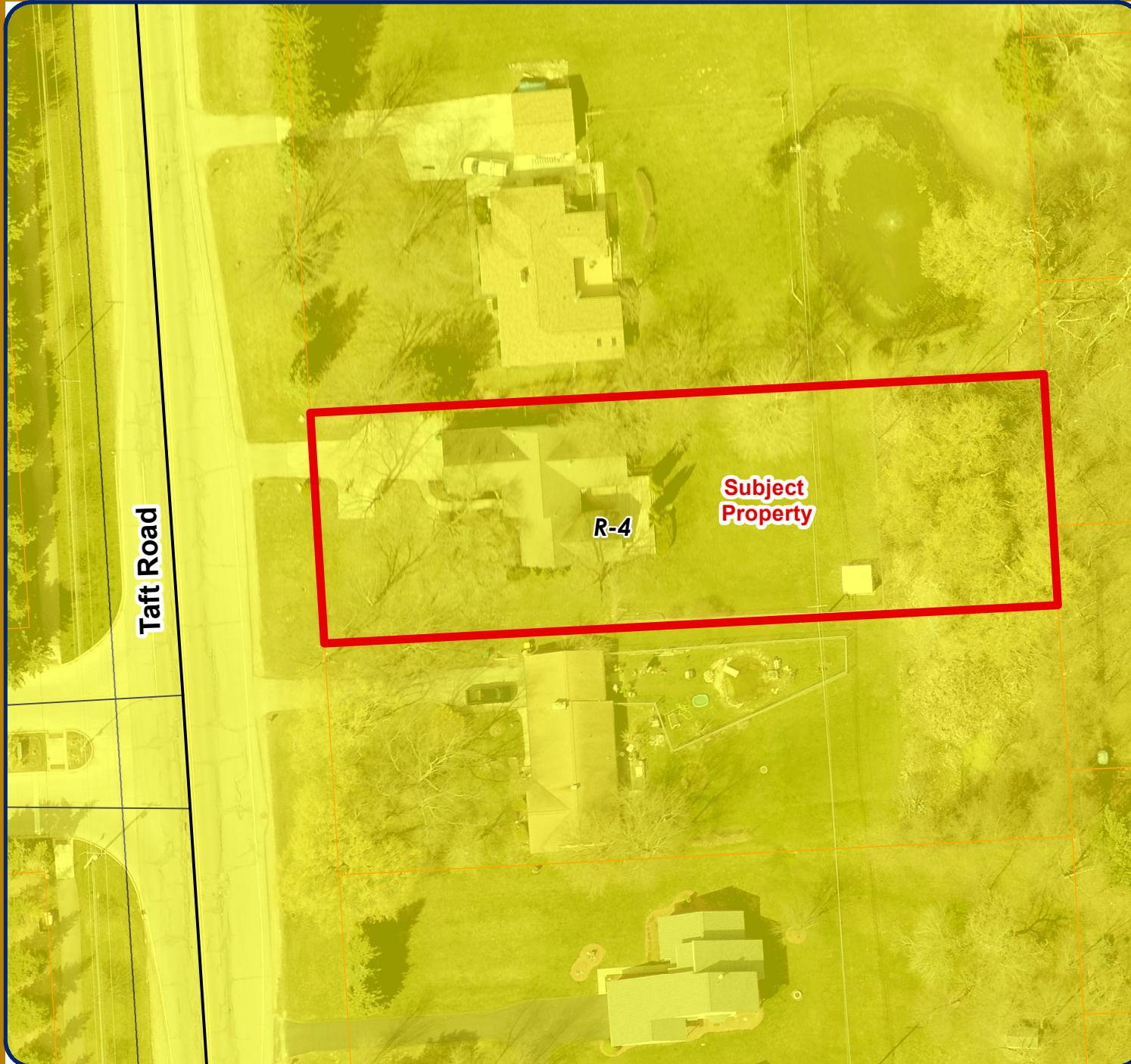


MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

JSP 18-24:LITTLE BIRDS MONTESSORI GROUP DAY CARE

Zoning



LEGEND


- Sections
- R-A: Residential Acreage
- R-1: One-Family Residential District
- R-3: One-Family Residential District
- R-4: One-Family Residential District
- OS-1: Office Service District

**City of Novi**
Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Sri Komaragiri
Date: 05/18/18
Project: JSP 18-24: LITTLE BIRDS MONTESSORI GROUP DAY CARE IMPROVEMENTS
Version #: 1

0 12.5 25 50 75 Feet

1 inch = 59 feet

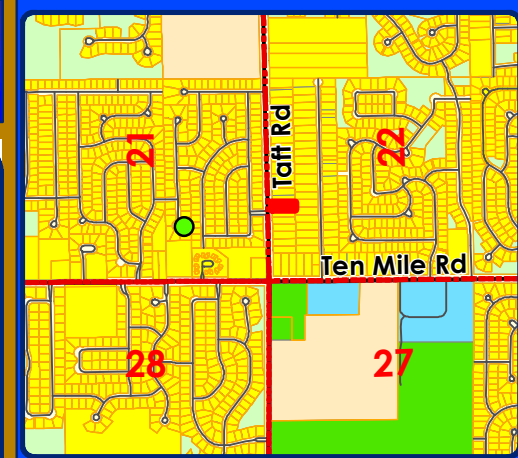
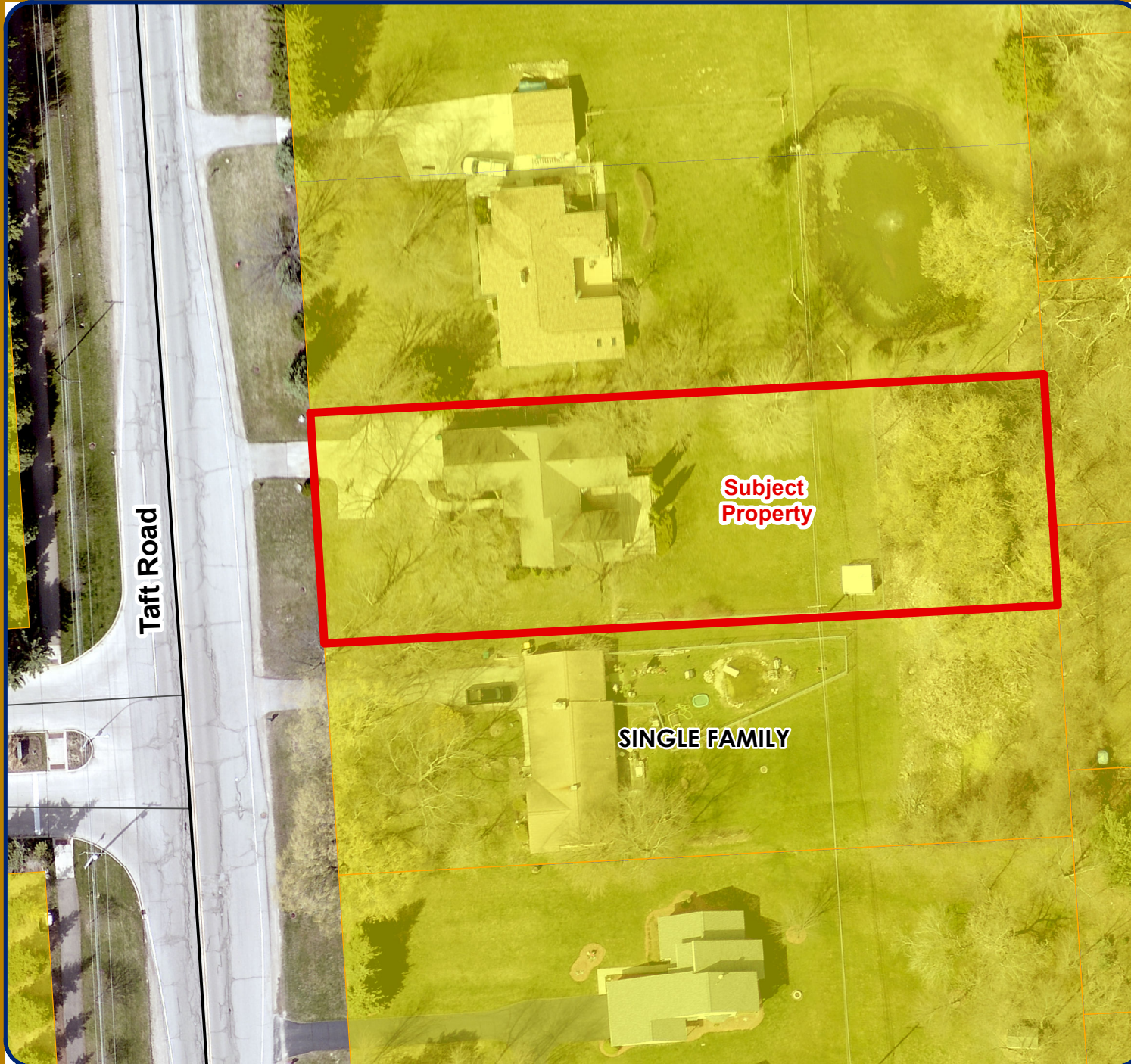


MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

JSP 18-24:LITTLE BIRDS MONTESSORI GROUP DAY CARE

Future Land Use



LEGEND

Sections

FUTURE LAND USE

- Single Family
- Educational Facility
- Public
- Public Park
- Private Park

City of Novi
Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Sri Komaragiri
Date: 05/18/18
Project: JSP 18-24: LITTLE BIRDS MONTESSORI GROUP DAY CARE IMPROVEMENTS
Version #: 1

0 12.5 25 50 75 Feet

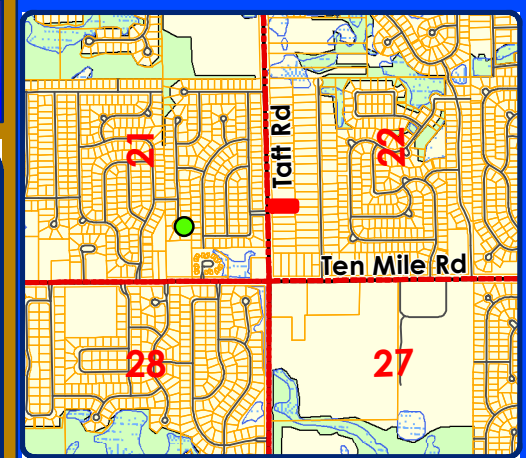
1 inch = 59 feet

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

JSP 18-24:LITTLE BIRDS MONTESSORI GROUP DAY CARE

Natural Features



LEGEND

- Sections
- WETLANDS
- WOODLANDS



City of Novi

Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Sri Komaragiri
Date: 05/18/18
Project: JSP 18-24: LITTLE BIRDS MONTESSORI GROUP DAY CARE IMPROVEMENTS
Version #: 1



1 inch = 59 feet



MAP INTERPRETATION NOTICE

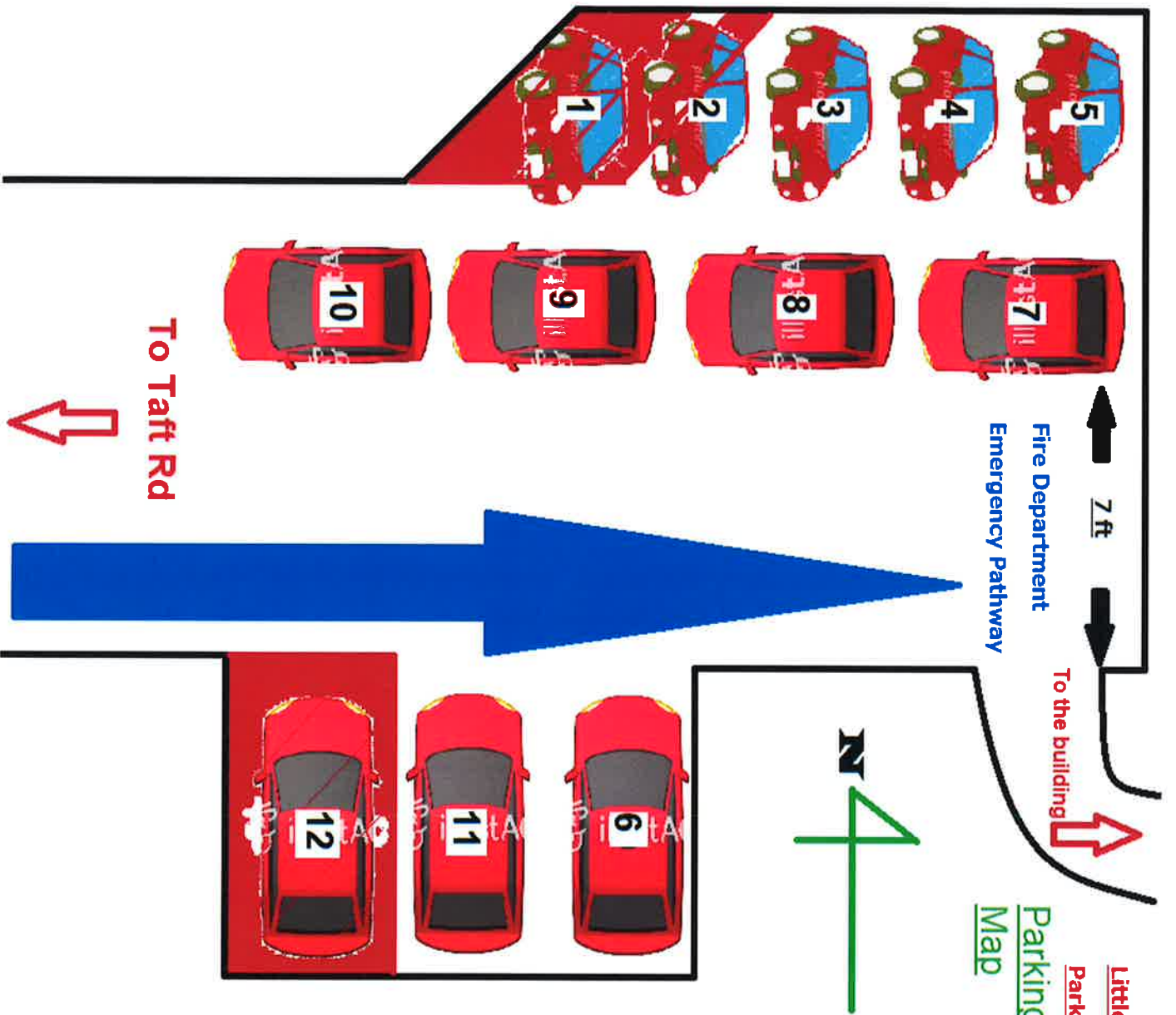
Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

Site Plan

Parking Plan

LITTLE BIRDS MONTESSORI





Little Birds Montessori

Parking Map

Parking Area
Map

Parking Space 1 & 2



Parking Space 2 & 3



Parking Space 3 & 4



Parking Space 4 & 5



Parking Space 5 & 7



Parking Space 7 & 8



Parking Space 8 & 9



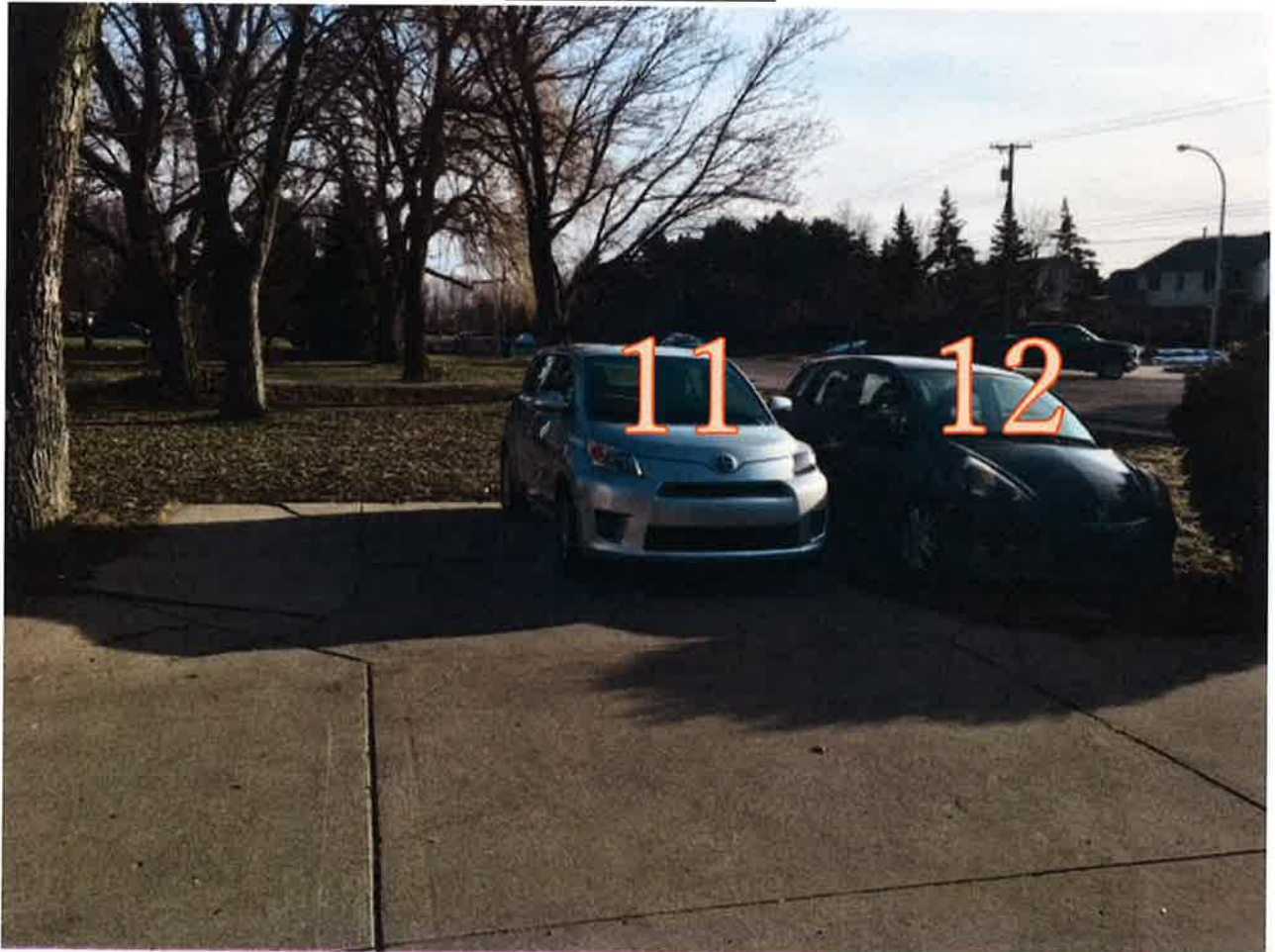
Parking Space 9 & 10



Parking Space 6 & 11



Parking Space 11 & 12



Outdoor Play Area









Planning Review



PLAN REVIEW CENTER REPORT

May 02, 2018

Planning Review

Little Birds Montessori Group Day Care

JSP18-24

PETITIONER:

Little Birds Montessori

REVIEW TYPE:

Special Land Use for Group Day Care for up to a maximum of 12 kids

PROPERTY CHARACTERISTICS

Section	22
Site Location	24620 Taft Road, east side of Taft Road, north of Ten Mile Road
Site School District	Novi Community School District
Site Zoning	R-4, One-Family Residential I
Adjoining Zoning	North R-4, One-Family Residential East R-4, One-Family Residential West R-4, One-Family Residential South R-4, One-Family Residential
Current Site Use	Single Family Residence with a group day care home less than 6 kids
Adjoining Uses	North Single Family Residence East Single Family Residence West Single Family Residence South Single Family Residence
Site Size	0.65 Acres
Plan Date	Application received on April 11, 2018

PROJECT SUMMARY

The applicants would like to operate a Montessori based group daycare home in their existing residence at 24620 Taft Road for up to twelve children. The ordinance defines operations supervising seven to twelve children as group day care homes, consistent with the State of Michigan regulations and definitions. Group day care homes are a Special Land Use in the R-4, One-Family Residential District. The applicants currently occupy the home as their primary residence and are not proposing any exterior changes to the site. Interior changes to the property may require a Building Permit. The applicants previously made a similar request in 2015, but due to several concerns expressed by the neighbors and the Planning Commission at that time, the request was denied. Since that time, the applicants have run a daycare with up to 6 children.

RECOMMENDATION

Approval of the *Special Land Use Permit is recommended.* Planning Commission approval of the Special Land Use Permit is required. In its recommendation, the Planning Commission will need to consider the standards for Special Land Use consideration, as described below.

ORDINANCE REQUIREMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3.1.5 (R-4, One-Family Residential), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance.

In the RA, R-1, R-2, R-3, and R-4 districts, group day care homes, day care centers, and adult day care centers are permitted as a special land use, as follows:

A. Group Day Care Homes, subject to the following:

- i. Outside recreation area required, as follows:
 - a. There shall be provided and maintained an outdoor recreation area of not less than two-thousand (2000) square feet. **It appears from approximate calculations based on plot plan and aerial image available, that there is a minimum of 5000 square feet in the back yard.**
 - b. Recreation area shall be securely fenced and screened from any adjoining lot in any residential district with appropriate fence and landscape materials as reviewed by the City's Landscape Architect to provide opaque screening for the outside activities. These screening requirements are in addition to the requirements of Section 5.5. **Backyard is fenced in with a chain-link fence. Pictures are provided.**
- ii. The minimum parcel size for a Group Day Care Home shall be one-half (0.5) acre. **The property is approximately 0.65 acres.**
- iii. The licensee shall occupy the dwelling as a residence. **The licensee is currently a resident and is running a Group day care home with less than 6 kids.**
- iv. The licensee shall register with the City Clerk and the licensed premises may be subject to a fire department inspection and shall provide a smoke detector in all daytime sleeping areas. **Please provide information whether a functioning smoke detector is provided in all daytime sleeping areas.**
- v. Any sign accessory to the home is prohibited. **There is no existing sign accessory to the home. Please provide a note indicating that signs will not be proposed at the home.**
- vi. The hours of operation shall be limited to the period between 6:00 a.m. and 7:00 p.m. **The applicant's narrative indicates hours of operation from 7:30 am to 5:30 pm.**
- vii. The parcel shall abut a major thoroughfare or section line collector road, but may have access from a local street. The driveways shall be designed so that vehicles can exit the site without having to back onto a major thoroughfare. **The parcel abuts Taft Road which is a section line road, but does not access to a local road. However, the applicant has provided reasonable explanation in his narrative as how Traffic circulates in and out the site. Below is the summary of the findings:**
 - The applicant has provided drop-off time frames in the morning for parents to choose while registration. This will eliminate multiple cars coming in at the same time.
 - The subject property has an existing turn around area within the property that will allow cars to back up within the property before merging onto Taft Road. See below picture.
 - The applicant also provided a conceptual parking layout plan with associated pictures to account for special event parking that may happen up to four times per year. The layout also allows for a 7 foot clear route to main entrance for Fire and Emergency access.

- The applicant offered to pave additional area as indicated in their exhibits if determined necessary by Planning Commission.



SPECIAL LAND USE CONSIDERATIONS

In the R-4 District, a group day care home falls under the Special Land Use requirements. Section 6.2.C of the Zoning Ordinance outlines specific factors the Planning Commission shall consider in the review of the Special Land Use Permit request:

- Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service. **The applicant has provided reasonable explanation in his narrative as how Traffic circulates in and out the site.**
- Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area. **There is no additional impact on capabilities of public services. The applicant has agreed to maintain a seven foot clear access from Taft Road to main entrance of the building clear of snow at all times.**
- Whether, relative to other feasible uses of the site, the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats. **There are no existing regulated woodlands or wetlands on subject property. The applicant is not proposing any changes to existing unless determined necessary by Planning Commission.**
- Whether, relative to other feasible uses of the site, the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood. **The applicant has an existing Group daycare with less than six kids at this location for over two years.**
- Whether, relative to other feasible uses of the site, the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use. **It complies with one of the goals that recommend supporting growth of existing businesses.**

- vi. Whether, relative to other feasible uses of the site, the proposed use will promote the use of land in a socially and economically desirable manner. **The applicant is not proposing any changes to existing unless determined necessary by Planning Commission.**
- vii. Whether, relative to other feasible uses of the site, the proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located. **A group day care for up to 12 kids is allowed as a Special land use under R-4 zoning district. The applicant is not seeking deviations from required conditions.**

OTHER PERMIT REQUIREMENTS

The applicant has proposed to add some additional pavement to allow for additional during special events that may occur up to a maximum of four times a year. **If the Planning Commission determines that the additional pavement is required, then it is applicant's responsibility to apply for all related permits and complete construction prior to registering additional kids at the current location.** The following permits may be required:

1. Right-of-way Permit: for construction within City's right-of-way. Please contact Rebecca Runkel at 248-735-5694 for more details.
2. Minor Land Improvement Permit: for construction within site. Please contact Building department at 248-347-0415 for more details.

NEXT STEP:

The Special Land Use request is scheduled for a public hearing on May 23, 2018 Planning Commission meeting. Please provide a response addressing the comments listed in **bold and underline** no later than May 16, 2018.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or skomaragiri@cityofnovi.org.



Sri Ravali Komaragiri – Planner

Applicant Response Letter

LAW OFFICE OF
DENNIS L. PERKINS, P.C.
ATTORNEY AND COUNSELOR AT LAW
528 WEST GRAND RIVER AVENUE
HOWELL, MICHIGAN 48843

(517)546-6623
FACSIMILE (517)546-6718

May 11, 2018

Sent via email only

Ms. Sri Ravali Komaragiri
City of Novi Planner
45175 Ten Mile Road
Novi, MI 48375

RE: Little Bird Montessori Group Day Care
Rikiya Nagakura and Akemi Nagakura, Owners
Novi City Site Plan No. 18-24

Dear Ms. Komaragiri,

On behalf of my clients, we want to thank you for meeting with us yesterday, May 10, 2018 at 2:30 p.m. The meeting was set to review the Plan Review Center Report, authored by you and dated May 2, 2018, a copy of which has been received by my clients and myself. The meeting was very informative and I believe that we resolved any issues that remained, based upon my clients application and your report.

During our meeting, we reviewed several issues. The first dealt with functioning smoke detectors to be provided in all daytime sleeping areas, which is set out in page 2 of your report, Paragraph A (iv). My clients provided pictures of various areas in their home where smoke detectors are found and attest to you that they are in compliance with this requirement. This will be independently verified during the State of Michigan's review of my clients application for an expansion of their facility from six children to 12 children. Any report generated by the State of Michigan will be sent to you for your records.

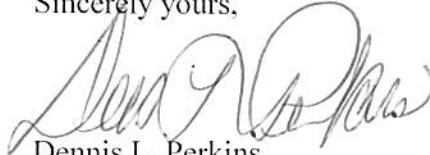
The second issue dealt with signage for a home occupation as set out in your report on page 2, Paragraph A (v). As you state, there is no existing sign at the premises and my clients understand that any sign accessory to the home is prohibited by ordinance.

The last issue was a correction to the report on Page 3. Paragraph iv under Special Land Use Considerations. My clients have been operating the existing daycare since September, 2017.

Otherwise, my clients have no further comments, additions or deletions to make to the report and find it to be otherwise factually accurate and correct.

If after review o this letter, problems or questions arise, please don`t hesitate to contact me.

Sincerely yours,



Dennis L. Perkins

DLP/

cc Clients