

CROWN UTILITY EXTENSION JSP24-24

CROWN UTILITY EXTENSION - JSP24-24

Public Hearing at the request of Crown Enterprises to consider Preliminary Site Plan and Woodland Permit approval to extend water and sanitary sewer lines approximately 125 feet from Magellan Drive to the subject site. The subject parcel is zoned I-2, General Industrial and is located on the north side of Twelve Mile Road, west of West Park Drive

Required Action

Approve/Deny the Preliminary Site Plan and Woodland Permit.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval Recommended	02.27.25	Contingent on Planning Commission approval of Woodland Permit
Engineering	Approval Recommended	11.25.24	Contingent on applicant using trenchless technologies (directional drilling) for the utility installation to avoid impacting the pavement
Landscape	Approval Recommended	11.13.24	There are no landscape elements to this plan
Woodland/ Wetland	Approval Recommended	2.25.25	A Woodland Permit is required for the removal of 11 regulated trees, requiring 23 replacement tree credits
Fire	Approval Recommended	11.13.24	The Fire Department has no objections

MOTION SHEET:

Approval - Preliminary Site Plan

In the matter of Crown Utility Extension JSP24-24, motion to approve the Preliminary Site Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan;
- b. (additional conditions here, if any)

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

- AND -

Approval – Woodland Permit

In the matter of Crown Utility Extension JSP24-24, motion to approve the Woodland Permit based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. (additional conditions here if any)

(This motion is made because the plan is otherwise in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

- OR -

Denial - Preliminary Site Plan

In the matter of Crown Utility Extension JSP24-24, motion to deny the Preliminary Site Plan... (because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

- AND -

Denial – Woodland Permit

In the matter of Crown Utility Extension JSP24-24, motion to deny the Woodland Permit... (because the plan is not in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

MAPS Location Zoning **Future Land Use Natural Features**

JSP24-24 Crown Utility Extension **LOCATION**





Legend



💶 Subject Area



City of Novi

Dept. of Community Development City Hall / Civic Center 45175 W Ten Mile Rd Novi, MI 48375 cityofnovi.org

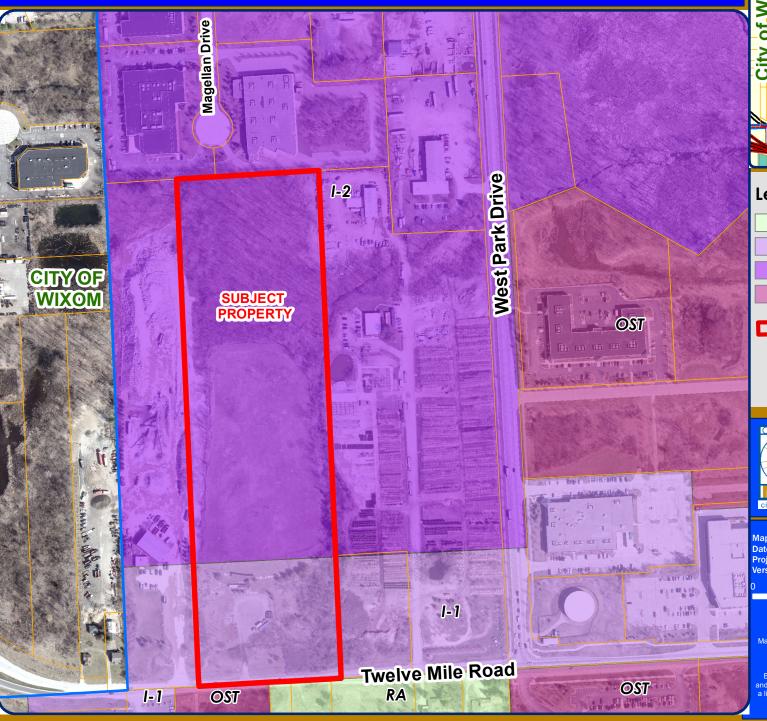
Map Author: Dan Commer Project: JSP24-24 Crown Utility Extension



MAP INTERPRETATION NOTICE

confirm source and accuracy information related to this map

JSP24-24 Crown Utility Extension ZONING





Legend

R-A: Residential Acreage

I-1: Light Industrial District

I-2: General Industrial District

OST: Office Service Technology

Subject Area



City of Novi

Dept. of Community Development City Hall / Civic Center 45175 W Ten Mile Rd Novi, MI 48375 cityofnovi.org

Map Author: Dan Commer
Date: 4/1/25
Project: JSP24-24 Crown Utility Extension
Version #: 1

70 140 280 420

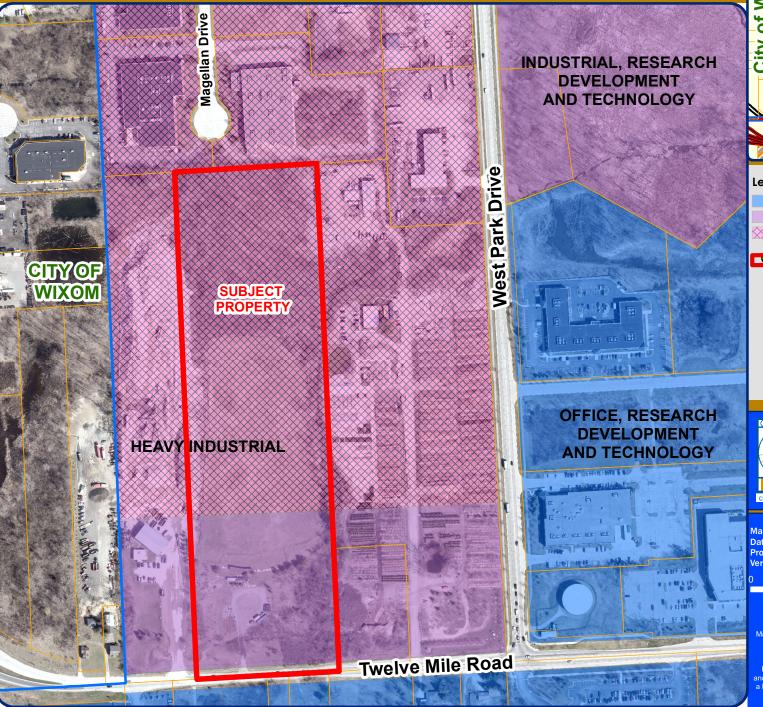


1 inch = 333 fe

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

JSP24-24 Crown Utility Extension FUTURE LAND USE





Legend

Office, Research, Development and Technology

Industrial, Research, Development and Technology

Heavy Industrial

Subject Area



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Map Author: Dan Commer
Date: 4/1/25
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70 140 280 42



1 inch = 333 fee

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JSP24-24 Crown Utility Extension **NATURAL FEATURES**





Legend



Wetlands



Woodlands



Subject Area



City of Novi

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Map Author: Dan Commer Date: 4/1/25 Project: JSP24-24 Crown Utility Extension Version #: 1



1 inch = 333 feet

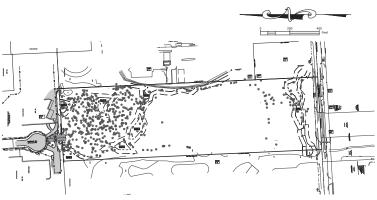
MAP INTERPRETATION NOTICE

of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

WATER & SANITARY EXTENSION



<u>LEGEND</u>	
⊕ = PROP. GV & W; OR T S V & W	= PROPOSED RIP-RAP
	= PROPOSED CONCRETE
= EX. FIRE HYDRANT	= PROPOSED GRASS
S = PROP. SANITARY MH	= PROPOSED SWALE
S = EX. SANITARY MH	TP-xxx.xx = PROPOSED TOP OF PAVEMENT
= CLEANOUT	FG-xxx.xx = PROPOSED FINISH GRADE
= PROP. MANHOLE D = EX. MANHOLE	TC-XXX.XX = PROPOSED TOP & GUTTER
= PROP. REAR YARD CB	TW-xxx.xx = PROPOSED TOP OF WALK
PROP. CATCH BASIN	= PROPOSED HIGH POINT LINE
E = EX. CATCH BASIN	= PROPOSED CONTOUR LINE
= END SECTION	970 EXISTING CONTOUR LINE
= STROM SEWER STRUCTURE NUMBER	
X = SANITARYSEWER STRUCTURE NUMBER	
= EXISTING SHRUB	
	ROFOSED WATER THE
(T) = TELEPHONE MANHOLE	



S	Sheet List Table
Sheet Number	Sheet Title
CS1-100	COVER SHEET
CU-100	OVERALL UTILITY PLAN
CU-101	WATER MAIN PLAN
CU-102	SANITARY SEWER PLAN
CU-200	WATER MAIN PROFILES
CU-300	SANITARY SEWER PROFILES
LP-100	OVERALL TREE IMPACT PLAN
LP-101	PART TREE IMPACT PLAN

REFERENCE SHEETS:

1-ALTA/NSPS LAND TITLE SURVEY (BY NOWAK & FRAUS ENGINEERS) 2-TOPOGRAPHIC SURVEY (BY LIVINGSTON ENGINEERING)

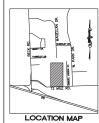
3-TPP-2: TREE INVENTORY LIST 4-CITY STANDARD DETAILS



ISSUES			
No.	DESCRIPTION	DATE	
- 1	WATER & SANITARY	10-16-2024	
2	REVISED WATER & SANITARY	12-24-2024	
3	REVISED WATER & SANITARY	02-07-2025	







FOOD AND A STATE OF MANAGEMENT OF MANAGEMENT OF MANAGEMENT OF THE MANAGEMENT OF THE

Angle Design & Engineering
22417 Cranbrooke Drive. Novi, Michigan. 48375
Phone: (313) 258-2036
Email: Fadi@AngledesignLLC.com

PROJECT

WATER & SANITARY EXTENSION
UNIT 36 & UNIT 40 OF
"BECK WEST CORPORATE PARK-NOVI CONDOMINIUM"
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

CITY OF NOVI, GARLAND COUNTY, MICHIGAN

PROJECT NO:
2023-100

DRAWN BY: CHECKED BY:

2023-100	NIS
DRAWN BY:	CHECKED BY:
M. K.	F. K.
PROJECT MGR:	APPROVED BY:
F. K.	F.K.
SHEET TITLE	

COVER SHEET

SHEET NUMBER

CS1-100

SITE SOILS INFORMATION:

ACCORDING TO THE USDA NATURAL RESOURCES CONSERVATION SERVICE WEB SITE SOIL SURVEY FOR OAKLAND COUNTY, THE SITE CONSISTS OF THE FOLLOWING SOIL TYPES.

11B CAPAC SANDY LOAM, 1 10 6 PERCENT SLOT 11B CAPAC SANDY LOAM, 0 TO 4 PERCENT SLOPES NAME OF NEAREST WATERCOURSE: DAVIS DRAIN

DISTANCE TO NEAREST WATERCOURSE IN FEET: 75'±

CITY OF NOVI FIRE DEPARTMENT NOTES:

. ALL WEATHER ACCESS ROADS CAPABLE OF SUPPORTING 3 TONS ARE TO BE PROVIDED FOR FIRE APPARATUS PRIOR TO

 ALL WATER MAINS AND FIRE HYDRANTS ARE TO BE INSTALLI AND BE IN SERVICE PRIOR TO CONSTRUCTION ABOVE THE FOUNDATION.

THE BUILDING ADDRESS IS TO BE POSTED FACING THE STR THROUGHOUT THE CONSTRUCTION. THE ADDRESS IS TO BE AT

BENCHMARKS

(GPS DERIVED - NAVD88)
BM #1
RR SPIKE S. FACE ELEVATION
ELEV. - 964.26

NOW BENCHMARK 931 (DERIVED – NAVD83) (DERIVED – NAVD83) BENCH THE SET IN SOUTH FACE OF POWER POLE LOCATED 70 FEET WEST OF DRIVE #4084 12 MILE RODA MAD 30 FEET NORTH OF CENTERLINE OF 12 MILE ROAD.

FLOODPLAIN NOTE

BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X', AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C0607F, DATED SEPTEMBER 29, 2006.

NOTES:

- PROHIBITED.
- LONG TERM DELIVERY TRUE PARKING IS PROHIBITED.
- COMPLY WITH SECTION 5.14
 PERTAINING TO LIGHTING,
 NOISE VIBRATION AND ODOS
- 4) IF DEWATERING IS ANTICIPATE OR ENCOUNTERED DURING CONSTRUCTION, A DEWATERIN PLAN MUST BE SUBMITTED TO THE ENGINEERING DIVISION FOR PEVIEW

DEVELOPER:

CROWN ENTERPRISE, LLC.
AFALZARANO@CROWNENTERPRISESINC.COM
12225 STEPHENS RD.
WARREN, MI 48089

ENGINEER:

ANGLE DESIGN & ENGINEERING LLC. FADI®ANGLEDESIGNLLC.COM 22417 CRANBROOKE DR. NOVI, MI 48375 IN CITY OF NO

CITY OF NOVI REVIEW No.: JSP 24-24





ISSUES					
No.	DESCRIPTION	DATE			
1	WATER & SANITARY	10-16-2024			
	REVISED WATER & SANITARY	12-24-2024			
3	REVISED WATER & SANITARY	02-07-2025			
4					









Angle Design & Engineering 22417 Cranbooke Drive. Novi, Michigan. 48375 Phone: (313) 258-2036 . Email: Fadi@AngledesignLLC.com

WATER & SANITARY EXTENSION
UNIT 36 & UNIT 40 OF
"BECK WEST CORPORATE PARK-NOVI CONDOMINIUM"
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

PROJECT NO: 2023-100	SCALE: 1"=80"
DRAWN BY:	CHECKED BY:
M. K.	F. K.
PROJECT MGR:	APPROVED BY:
F. K.	F.K.

OVERALL UTILITY PLAN

SHEET NUMBER

CU-100

SAND BACKFILL NOTE:

ALL UTILITIES UNDER PAVEMENT OR WITHIN 3' OF THE EDGE OF PAVEMENT (OR WITHIN THE 45' LINE OF INFLUENCE OF PAVEMENT) SHALL HAVE M.D.O.T. CLASS II GRANULAR BACKFILL COMPACTED TO 95% MAX. DRY DENSITY (ASTM D-1557)

NOTE:

PER THE TEN STATES STANDARDS ARTICLE 8.8.3. ONE FULL 20-FOOT PIPE LENGTH OF WATER MAIN SHALL BE USED WHENEVER STORM SEVER OR SANITARY SEVER IS CROSSED, AND THE PIPE SHALL BE CENTERED ON THE CROSSING, IN ORDER TO ENSURE 10-FOOT SEPARATION BETWEEN WATER MAIN AND SEVERS.

NOTE:
THE PROPOSED WATER STUBS ARE PROVIDED FOR THE
WATER MAIN THAT WILL BE LOOPED THROUGHOUT THE
PROPERTY TO PROVIDE WATER SERVICE TO THE
PROPOSED PROJECT.
THIS PROPOSED PROJECT WILL BE SUBBUTTED UNDER A
SEPRAGATE FERMIT APPLICATION WHEN READY.

NOTE:

CONTRACTOR TO VERIFY ALL QUANTITIES.

UTILITY CROSSING TABLE				
	STORM	SANITARY	CLEARANCE	
	воттом	TOP	(FEET)	
KING-2	942.69	940.40	2.29	

WATER MAIN QUANTITIES			
ITEM	QUANTITY	UNITS	
8" WATER PIPE	204	LF	
8"X8" TAP SLEEVE AND VALVE	1	EACH	
12"X8" TAP SLEEVE AND VALVE	1	EACH	
8" WATER VALVE	2	EACH	
FIRE HYDRANT	2	EACH	

20 40 Fee

UTILITY CROSSING TABLE WATER SANITARY CLEARANCE TOP (FEET) 942.90 940.08 2.82 XING-3 942.26 940.42 1.84 XING-4 942 12 940 44 1.68









Angle Design & Engineering

WATER & SANITARY EXTENSION UNIT 36 & UNIT 40 OF BECK WEST CORPORATE PARK-NOVI CONDOMINI CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

PROJECT NO: 2023-100	SCALE: 1"=20'
DRAWN BY: M. K.	CHECKED BY: F. K.
PROJECT MGR: F. K.	APPROVED BY: F.K.
PHEET TITLE	

WATER MAIN **PLAN**

ET NUMBER	ISSUE
CU-101	

LEGEND



=WATER EASEMENT

PUBLIC UTILITY EASEMENTS:

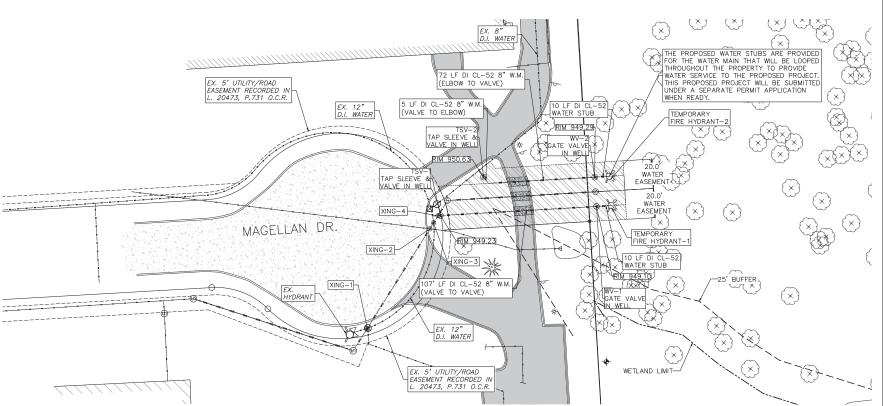
NOTE:

NOTE:

ALL WATER MAIN IS TO BE PUBLIC AND SHALL BE LOCATED IN A 20' WIDE EASEMENT.

ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.

PROPOSED WATER MAIN EXTENSION ALONG 12 MILE ROAD FRONTAGE SHOWN PER CITY OF NOVI MASTER PLAN REQUIREMENTS. FINAL DESIGN AND CONNECTION TO BE REVIEWED WITH THE CITY DURING SITE DEVELOPMENT.



NOTE:

THE PROPOSED SANITARY STUB IS TO PROVIDE SANITARY SERVICES TO THE PROPOSED PROJECT. THIS PROPOSED PROJECT WILL BE SUBMITED UNDER A SEPARATE PERMIT APPLICATION WHEN READY.

SAND BACKFILL NOTE:

ALL UTILITIES UNDER PAVEMENT OR WITHIN 3' OF THE EDGE OF PAVEMENT (OR WITHIN THE 45° LINE OF INFLUENCE OF PAVEMENT) SHALL HAVE M.D.O.T. CLASS II GRANULAR BACKFILL COMPACTED TO 95% MAX. DRY DENSITY (ASTM D-1557)

NOTE:

ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.

NOTE:

TRAFFIC SIGNS IN THE ROAD COMMISSION FOR OAKLAND COUNTY (RCOC) RIGHT-OF-WAY WILL BE INSTALLED BY RCOC.

THE SANITARY LEADS WILL BE BURIED AT LEAST 5 FEET DEEP WHERE UNDER THE INFLUENCE OF PAVEMENT.

NOTE:

CONTRACTOR TO VERIFY ALL QUANTITIES.

NOTES:

1- ALL SANITARY MANHOLE SHOULD HAVE NO SUMP ONLY THE TEMPORARY SUMP SHALL BE PROVIDED AT MH-1

CROSSINGS.

I KOVIDED A			
2- MINIMU	M 18"	CLEARANCE	BETWE

SANITARY QUANTITIES			
ITEM	QUANTITY	UNITS	
8" PVC	232	LF	
48" SAN MANHOLE	2	EACH	

UTILITY CROSSING TABLE				
	WATER SANITARY CLEARANCE BOTTOM TOP (FEET)			
XING-1	942.90	940.08	2.82	
XING-3	942.26	940.42	1.84	
XING-4	942.12	940.44	1.68	

UTILITY CROSSING TABLE				
STORM	SANITARY	CLEARANCE		
воттом	TOP	(FEET)		
942.69	940.40	2.29		
	STORM BOTTOM	STORM SANITARY BOTTOM TOP		

<u>LEGEND</u>

	CDOWN
Ш	<u>CKUWN</u>
Ш	ENTERPRISES LLC

SSUES				
No.	DESCRIPTION	DATE		
1	WATER & SANITARY	10-16-2024		
	REVISED WATER & SANITARY			
3	REVISED WATER & SANITARY	02-07-2025		









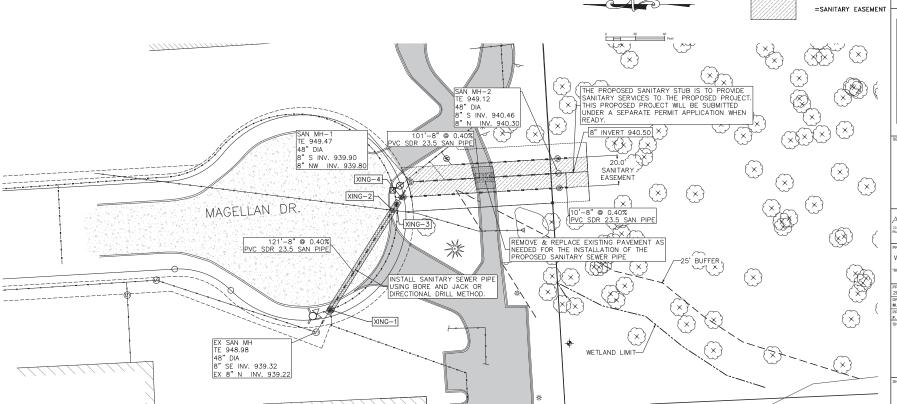
Angle Design & Engineering

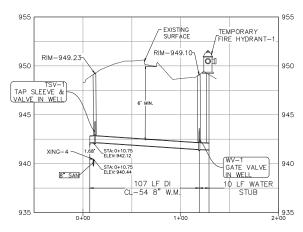
WATER & SANITARY EXTENSION UNIT 36 & UNIT 40 OF BECK WEST CORPORATE PARK-NOVI CONDOMIN CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

PROJECT NO: 2023-100	SCALE: 1"=20'
DRAWN BY:	CHECKED BY:
M. K.	F. K.
PROJECT MGR:	APPROVED BY:
F. K.	F.K.
SHEET TITLE	•

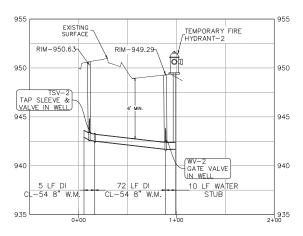
SANITARY SEWER PLAN

SHEET NUMBER	
CU-102	





WATER MAIN-1 PROFILE H: 1"=30" V: 1"=3"



WATER MAIN-2 PROFILE H: 1"=30' V: 1"=3'



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Angle Design & Engineering
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Phone: (13) 228-2036 Email: Fadi@AngledesignLLC.com

WATER & SANITARY EXTENSION

UNIT 36 & UNIT 40 OF "BECK WEST CORPORATE PARK-NOVI CONDOMINIU CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

PROJECT NO: 2023-100	SCALE: 1"=30'
DRAWN BY:	CHECKED BY:
M. K.	F. K.
PROJECT MGR:	APPROVED BY:
F. K.	F.K.

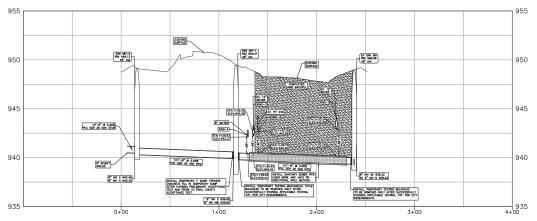
SHEET TITLE

WATER MAIN **PROFILES**

SHEET NUMBER

CU-200

1- PER THE TEN STATES STANDARDS ARTICLE 8.8.3,
ONE FULL 20-FOOT PIPE LENGTH OF WATER MAIN
SHALL BE USED WHENEVER STORM SEWER OR SANITARY
SEWER IS CROSSED, AND THE PIPE SHALL BE CENTERED
ON THE CROSSING, IN ORDER TO ENSURE 10-FOOT
SEPARATION BETWEEN WATER MAIN AND SEWERS.
2- COMPACTED SAND BACKFILL (WDOT SAND CLASS II)
SHALL BE PROVIDED FOR ALL UTILITIES WITHIN THE
INFLUENCE OF PAYED AREAS



SANITARY	SEWER	PROFILE
	: 1"=30 : 1"=3	

UTILITY CROSSING TABLE				
	WATER	SANITARY	CLEARANG	
	воттом	TOP	(FEET)	
XING-1	942.90	940.08	2.82	
XING-3	942.26	940.42	1.84	
XING-4	942.12	940.44	1.68	

, l	JTILITY CRO	SSING TA	BLE		
	STORM	SANITARY	CLEARANCE		
	воттом	TOP	(FEET)		
XING-2	942.69	940.40	2.29		



ISSUE	S	
No.	DESCRIPTION	DATE
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WATER & SANITARY EXTENSION

UNIT 36 & UNIT 40 OF
"BECK WEST CORPORATE PARK-NOVI CONDOMINIU
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

PROJECT NO:	SCALE: 1"-30'
2023-100	1 -30
DRAWN BY:	CHECKED BY:
M. K.	F. K.
PROJECT MGR:	APPROVED BY:
F. K.	F.K.

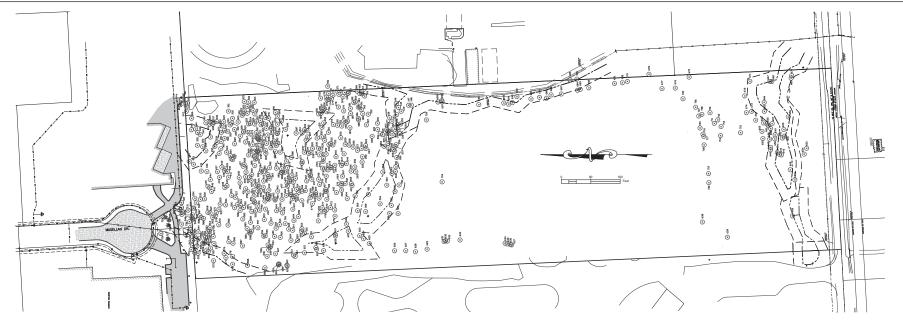
SHEET TITLE

SANITARY SEWER **PROFILES**

SHEET NUMBER CU-300

NOTE:

1- ALL SANITARY MANHOLE SHOULD HAVE NO SUMP ONLY
THE TEMPORARY SUMP SHALL BE PROVIDED AT MH-1
2- THE SANITARY LEADS WILL BE BURIED AT LEAST 5
FEET DEEP WHERE UNDER THE INFLUENCE OF PAVEMENT.
3- COMPACTED SAND BACKFILL (MDDT SAND CLASS II)
SHALL BE PROVIDED FOR ALL UTILITIES WITHIN THE
INFLUENCE OF PAVED AREAS
4- MINIMIAN 18" CLEARANCE BETWEEN CROSSINGS 4- MINIMUM 18" CLEARANCE BETWEEN CROSSINGS.



43546 Cottisford (PBR22-0362) Woodland Review #3 – Single Family Residential Plot Plan September 29, 2022 Page 6 of 6

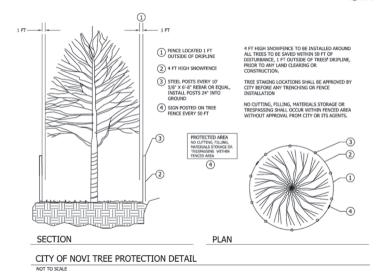


Figure 2. Tree Protection Detail City of Novi



SSUE	S	
No.	DESCRIPTION	DATE
1	WATER & SANITARY	10-16-202
	REVISED WATER & SANITARY	
3	REVISED WATER & SANITARY	02-07-202









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WATER & SANITARY EXTENSION

UNIT 36 & UNIT 40 OF "BECK WEST CORPORATE PARK-NOVI CONDOMINIU CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

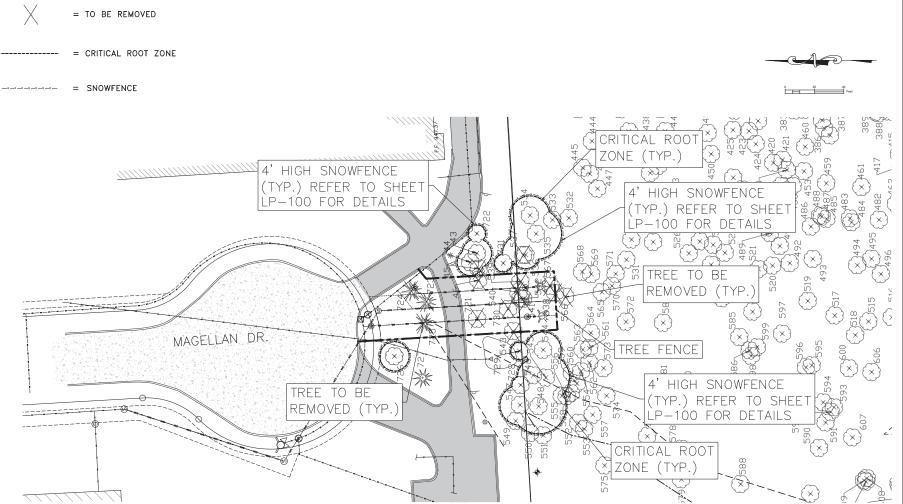
2023-100	1"=80'
DRAWN BY: M. K.	CHECKED BY: F. K.
PROJECT MGR: F. K.	APPROVED BY: F.K.

SHEET TITLE

OVERALL TREE IMPACT PLAN

SHEET NUMBER

LP-100



	TREES TO	BE REMOVED
TAG#	TREE SIZE (DBH, INCHES)	SPECIES
45	12"	RED OAK
46	16"	AMERICAN BASSWOOD
537	14.5"	BASSWOOD
538	26.2"	RED OAK
539	9.7"	AMERICAN BASSWOOD
540	23.7"	SHAGBARK HICKORY
541	9.3"	SUGAR MAPLE
542	23.4"	BLACK WALNUT
543	20"	RED OAK
566	16.3"	REF OAK
567	16.9"	AMERICAN BASSWOOD

(DBH, INCHES) TREES		RATIO REPLACEMENT/REMOVE D TREE	TOTAL REPLACEMENTS REQUIRED		
8-11	2	1	2		
12-20	6	2	12		
21-29	3	3	9		
TOTAL	11	=	23		

PAYMENT TO THE CITY OF NOVI TREE FUND AT A RATE OF \$400 PER WOODLAND REPLACEMENT CREDIT. A TOTAL OF 23 TREES TO BE REPLACED, EQUATING TO A PAYMENT OF \$9,200.



SUE	s	
o.	DESCRIPTION	DATE
1	WATER & SANITARY	10-16-20
	REVISED WATER & SANITARY	
3	REVISED WATER & SANITARY	02-07-20
4		









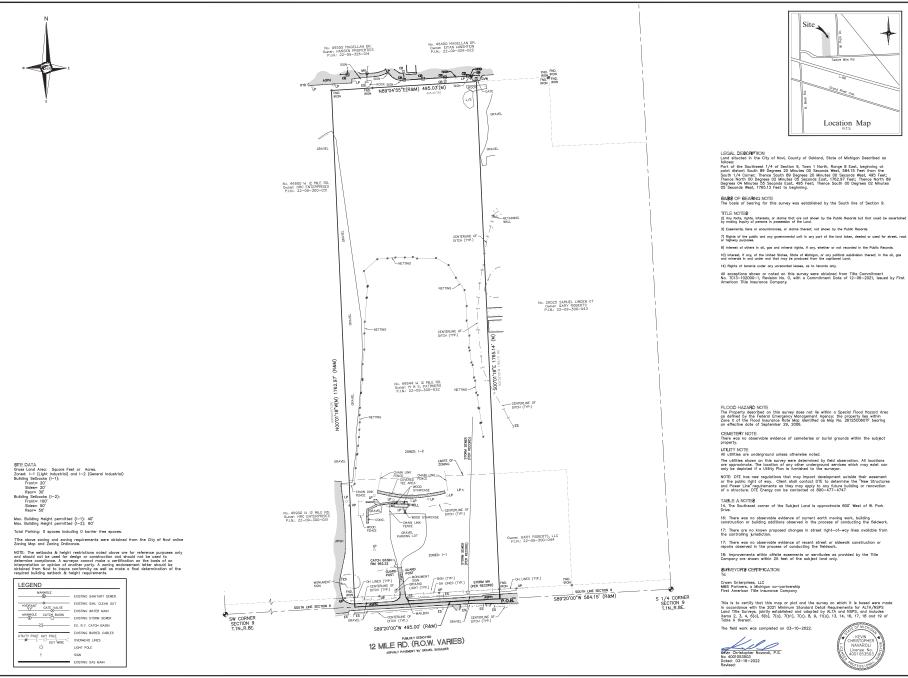
Angle Design & Engineerin

WATER & SANITARY EXTENSION

PROJECT NO: 2023-100	SCALE: 1"=20'
DRAWN BY:	CHECKED BY:
M. K.	F. K.
PROJECT MGR:	APPROVED BY:
F. K.	F.K.
PHEET TITLE	

PART TREE IMPACT PLAN

SHEET NUMBER LP-101





ENGINEERS

CIVIL ENGINEERS LAND SURVEYORS LAND PLANNERS

NOWAK & FRAUS ENGINEERS 10WAK & FRAUS ENGINEER 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257

46844 W. 12 Mile Road Part of the Southwest 1/4 of Section 9 T. 1 North, R. 8 East City of Novi, Oakland County, Michigan

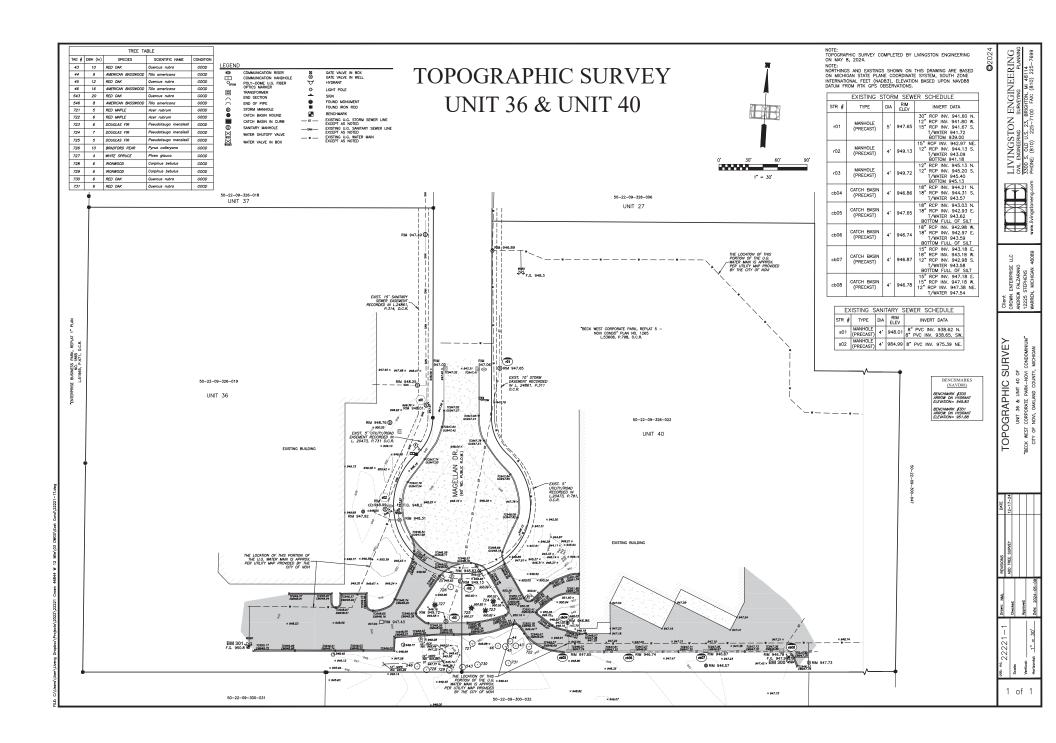
ALTA/NSPS Land Title Survey

DATE	ISSUED/REVISED
	DRIGINAL SURVEY
03-16-2022 U	JPDATE
DRAWN	BY:
A. Eize	ember
DESIGN	ED RV-
APPROV	ED RV-

K. Navaroli March 16, 2022

SCALE: 1" = 100'

1 of 1



Tag#	DBH (inches) 13.5	Common Name	Scientific Name	Condition	1	Tree Tag # 260	DBH (inches) 8.2	Common Name American Elm		Conditio	1
145	13.5	Cottonwood	Populus deltoides Populus deltoides	Good	Save Save	260 261	8.2 11.1	American Elm American Elm	Ulmus americana Ulmus americana	Good	R
17	20.4	Black Walnut	Populus deltoides Juglans nigra	Good	Save	261	11.1	Black Walnut	Juglans nigra	Good	R
48	8.3	Cottonwood	Populus deltoides	Good	Save	263	9.9	American Elm	Ulmus americana	Good	R
49	8.4	Cottonwood	Populus deltoides	Good	R1	264	13.8	Sugar Maple	Acer saccharum	Good	S
50 51	8.1 14.6	Cottonwood	Populus deltoides Populus deltoides	Good	R1	265 266	17.2 16.8. 11.2. 10.6. 10.2	Red Oak	Quercus rubra Tilia americana	Good	S
52	13.6	Cottonwood	Populus deltoides	Good	R2 R2	267	10.7, 7.6	Basswood	Tilia americana	Good	S
53	11.9	Cottonwood	Populus deltoides	Good	R2	268	15.4	Black Walnut	Juglans nigra	Good	S
54 55	11.7	Cottonwood	Populus deltoides	Good	R2	269 270	23.8	Black Walnut	Juglans nigra	Good	S
55 56	10.5 9.8	Cottonwood American Elm	Populus deltoides Ulmus americana	Good	R1	270	15.8	Red Oak Basswood	Quercus rubra Tilia americana	Good	S
57	8.2	Cottonwood	Donulus deltoides	Good	R1 R1	271	8.0	Basswood	Tilia americana	Good	S
58	9.6	Ougking Aspen	Populus tremuloides	Good	Save	273	9.4	Basswood	Tilia americana	Good	S
59	8.9	American Elm	Ulmus americana	Good	Save	274	14.5	Basswood	Tilia americana	Good	S
60	9.9	Pignut Hickory Black Cherry	Carya glabra Prunus serotina	Good	Save	276	9.7	Basswood		Good	S
81	9.1	Black Cherry Red Oak	Prunus serotina	Good	Save	276 277	9.3	Basswood	Tilia americana	Good	S
62	11.1	Red Oak	Quercus rubra Ulmus rubra	Good	Save Save	277	23.2	Sugar Maple	Acer saccharum Carya glabra	Good	S
64	8.2	Slippery Elm Hop-Hornbeam	Ostrva virniniana	Good	Save	279	12.1	Pignut Hickory Black Cherry	Prunus serotina	Good	S
65	18.8	Black Walnut	Juglans nigra Juglans nigra	Good	Save	280	13.5	American Elm	Ulmus americana	Good	S
66	19.5	Black Walnut	Juglans nigra	Good	Save	281	14.6	Black Cherry	Prunus serotina	Good	S
57 58	14.2	Basswood Basswood	Tilla americana	Good	Save Save	282 283	17.7 17.8	Sugar Maple	Acer saccharum	Good	S
39	12.2 19.2	Basswood	Tilia americana Tilia americana	Fair	Save	284	14.9	Basswood Black Walnut	Tilia americana Juglans nigra	Good	S
70	9.6	Basswood	Tilia americana	Good	Save	285	10.4	Sugar Maple	Acer saccharum	Good	S
71	10.3	Basswood	Tika americana	Good	Save	286	8.3	American Elm	Ulmus americana	Good	S
72	10.1	Hop-Hornbeam	Ostrya virginiana	Good	Save Save	287	19.8	American Elm	Ulmus americana	Good	S
73	15.7	Sugar Maple Sugar Maple	Acer saccharum Acer saccharum	Good	Save	288 289	8.9 8.2	American Elm Red Oak	Ulmus americana Quercus rubra	Good	S
75	8.3	Sugar Maple Sugar Maple	Acer saccharum Acer saccharum	Good	Save	289	8.0	Sugar Maple	Acer saccharum	Good	S
76	11.9	Sugar Maple	Acer saccharum	Good	Save	291	11.5	Sugar Manle	Acer saccharum	Good	S
77	18.8	Sugar Maple	Acer saccharum	Good	Save	292	9.9	Sugar Maple Sugar Maple	Acer saccharum	Good	S
78	9.4	Black Cherry Red Oak	Prunus serotina	Good	Save	293 294	8.2	Sugar Maple	Acer saccharum	Good	S
90	18.7 8.9	Red Oak Hop-Hornbeam	Quercus rubra Ostrya virginiana	Good	Save Save	294 295	22.5 14.5	Black Walnut Red Oak	Juglans nigra Quercus rubra	Good	S
31	17.8	Basswood	Tilia americana	Good	Save	296	12.1	Black Cherry		Good	S
32	20.0	Basswood	Tilia americana	Good	Save	297 298	23.3	Cottorwood Black Cherry	Populus deltoides	Good	S
83	14.0	Basswood	Tilla americana	Good	Save	298	9.6	Black Cherry	Prunus serotina	Good	S
B4	8.7 8.8	Black Walnut	Juglans nigra	Good	Save	299	9.8	Black Cherry	Prunus serotina	Good	S
B5 B6	8.8 10.7	Sugar Maple Basswood	Acer saccharum Tilia americana	Good	Save	300	20.9	Red Oak Red Oak	Quercus rubra Quercus rubra	Good	S
87	8.0	Slippery Elm	Tilia americana Ulmus rubra	Good	Save	302	9.4	Pignut Hickory	Carva alabra	Good	S
88	21.0	Black Walnut	Juglans nigra	Good	Save	303	10.2	American Beech	Fagus grandifolia Acer x freemanii	Good	S
39	9.8	Black Walnut	Juglans nigra	Good	Save	304	9.2	Freeman Maple	Acer x freemanii	Good	S
90	12.8	Basswood Red Oak	Tilia americana Quercus rubra	Fair Good	Save Save	305	8.3	Red Oak Red Oak	Quercus rubra Quercus rubra	Good	S
92	13.0	Black Cherry	Prunus serotina	Good	Save	307	17.9	Red Oak	Quercus rubra	Good	S
93	8.5, 8.3 8.6	Freeman Maple	Acer x freemanii	Good	Save	308	17.8	Red Oak	Quercus rubra	Good	S
94	8.6	Sugar Maple	Acer saccharum	Good	Save	309	17.8	Black Walnut	Juglans nigra	Good	S
95	24.8	Basswood	Tilia americana Celtis occidentalis	Good	Save	310	9.1	Sugar Maple	Acer saccharum	Good	S
96 97	8.7 9.1	Hackberry Box-Elder	Anno pogrando	Good	Save	311	11.5	Sugar Maple American Elm	Acer saccharum Ulmus americana	Good	S
98	8.7	Black Cherry	Acer negundo Prunus serotina	Good	Save	313	11.3	Sugar Maple	Acer saccharum	Good	S
99	11.2	Hop-Hornbeam	Ostrva virginiana	Good	Save	314	21.8	Red Oak	Quercus rubra	Fair	S
00	14.0	Black Cherry	Prunus serotina Acer saccharinum	Good	Save	315	11.1	Sugar Maple	Acer saccharum	Fair	S
01	10.8	Silver Maple American Beech	Acer saccharinum	Good	Save Save	316 317	11.3	Sugar Maple	Acer saccharum Acer saccharum	Good	S
02	10.6	American Beech Sugar Maple	Fagus grandifolia Acer saccharum	Good	Save	317	9.9 15.1	Sugar Maple Black Walnut	Juglans nigra	Good	S
34	11.2	Red Maple	Acer rubrum	Good	Save	319	9.9	Sugar Maple	Acer saccharum	Good	S
05	21.4 17.9	American Elm	Ulmus americana	Fair	Save	320	13.8	Sugar Maple	Acer saccharum	Good	S
06	17.9	American Beech	Fagus grandifolia	Fair	Save	321	19.6	White Mulberry	Morus alba	Fair	S
07 08	13.6 10.9	Sugar Maple	Acer saccharum	Good	Save	322 323	20.2	Cottonwood	Populus deltoides	Good	S
09	9.1	Sugar Maple Black Cherry	Acer saccharum Prunus serotina	Good	Save	323	12.9	American Elm	Populus deltoides	Good	S
10	11.9, 11.6	Black Cherry	Prunus serotina	Good	Save	325	21.3	Black Walnut	Ulmus americana Juglans nigra	Good	s
11	12.3	Black Cherry	Prunus serotina	Good	Save	326	13.0	Sugar Maple	Acer saccharum	Good	S
12	8.3	Black Cherry	Prunus serotina	Good	Save	327	14.1	Black Walnut	Juglans nigra	Good	S
13	11.7	Cottonwood	Populus deltoides	Good	R2 R2	328 329	9.0	Sugar Maple	Acer saccharum	Good	S
15	12.5	Cottonwood	Populus deltoides Populus deltoides	Good	R2	329	25.3	Sugar Maple Red Oak	Acer saccharum Quercus rubra	Good	S
16	14.4	Cottonwood	Populus deltoides	Good	R2	331	9.3	Pignut Hickory	Carva glabra	Good	-IS
17	9.6	Cottonwood	Populus deltoides	Good	R1	332	19.8	Cottonwood	Populus deltoides	Fair	S
18	11.3	Cottonwood	Populus deltoides	Good	Save	333	11.3	American Beech	Fagus grandifolia	Good	S
19	12.9 12.8	Cottonwood Black Cherry	Populus deltoides Prunus serotina	Good	R2 Save	334 335	11.3 15.5	Pignut Hickory Cottorwood	Carya glabra Populus deltoides	Good Fair	S
21	9.8	American Elm	Prunus serotina Ulmus americana	Good	Save	336	20.6	Cottonwood	Populus deltoides Populus deltoides	Good	S
22	8.0	American Elm	Ulmus americana	Good	Save	337	9.6	Sugar Maple	Acer saccharum	Good	S
23	17.8	Black Walnut	Juglans nigra	Good	Save	338	9.8	Sugar Maple Cottorwood	Acer saccharum	Good	S
24	10.4	American Elm	Ulmus americana	Good	Save	339	13.3	Cottonwood	Populus deltoides	Good	S
25	11.1	American Elm Red Oak	Ulmus americana Quercus rubra	Good	Save Save	340	15.6	Green Ash Cottonwood	Fraxinus pennsylvanic Populus deltoides	Good	S
26	12.1 17.8	Black Walnut	Juglans nigra	Good	Save	341	11.3	American Flm	Ulmus americana	Good	S
28	20.6	Sugar Maple	Acer saccharum	Good	Save	343	13.6	Cottorwood Bitternut Hickory	Populus deltoides	Good	S
29	14.2	Basswood	Tilia americana	Good	Save	344	14.2	Bitternut Hickory	Carva cordiformis	Good	S
30	15.9 16.9	Sugar Maple	Acer saccharum	Good	Save	345	25.6	Cottonwood	Populus deltoides	Good	S
31	12.2	American Beech American Beech	Fagus grandifolia Fagus grandifolia	Good	Save Save	346 347	8.3 8.0	Pignut Hickory Pignut Hickory	Carya glabra Carya glabra	Good	S
33	21.0	American Beech	Fagus grandifolia	Good	Save	348	8.3	Red Oak	Carya glabra Quercus rubra	Good	S
34	21.0 8.7	Hop-Hornbeam	Ostrya virginiana	Good	Save	349	12.9	Basswood	Tilia americana	Good	S
35	25.4 10.7	Red Oak	Quercus rubra	Good	Save Save	350	10.1	Sugar Maple	Acer saccharum	Good	S
36 37	10.7	Sugar Maple	Acer saccharum Acer saccharum	Good	Save Save	351 352	15.8	Sugar Maple Bitternut Hickory	Acer saccharum	Good	S
37 38	9.9	Sugar Maple Sugar Maple	Acer saccharum Acer saccharum	Good	Save	352 353	13.4	Bitternut Hickory Bitternut Hickory	Carya cordiformis Carya cordiformis	Good	S
39	10.5	Sugar Maple Black Cherry	Prunus serotina	Fair	Save	354	15.8	Bitternut Hickory	Carya cordiformis Carya cordiformis	Good	S
40	17.0	Basswood	Tilla americana	Good	Save	355	9.5	Sugar Maple	Acer saccharum	Good	S
41	8.0	Sugar Maple	Acer saccharum	Good	Save	356	12.5	Ritternut Hinkory	Carya cordiformis	Good	S
12	14.8	Basswood	Tilia americana	Good	Save	357	13.6	Bitternut Hickory	Carya cordiformis	Good	S
13	9.8	Basswood Red Oak	Tilia americana Quercus rubra	Good	Save Save	358 359	12.8	Sugar Maple Sugar Maple	Acer saccharum Acer saccharum	Good	S
15	19.2	White Oak	Quercus rubra Quercus alba	Good	Save	360	10.3	Sugar Maple Sugar Maple	Acer saccharum Acer saccharum	Good	S
16	11.9	Red Oak	Quercus rubra	Good	Save	361	10.6	Sugar Maple	Acer saccharum	Good	S
7	10.0	White Oak	Quercus alba	Good	Save	362	15.3	Rasswood	Tilia americana	Good	S
48	17.8	Black Walnut	Juglans nigra	Good	Save	363	12.6	Sugar Maple	Acer saccharum	Good	S
49	19.2	Black Walnut	Juglans nigra	Good	Save	364	14.4	Sugar Maple	Acer saccharum	Good	S
50	22.1	Black Walnut	Juglans nigra	Good	Save	365	18.2	Sugar Maple	Acer saccharum	Good	S
51 52	9.9 8.9	Shagbark Hickory Black Walnut	Carya ovata	Good	Save Save	366 367	12.4 19.5	Sugar Maple Black Walnut	Acer saccharum Juglans nigra	Poor Good	S
52	15.8	Cottonwood	Juglans nigra Populus deltoides	Fair	Save R2	367	19.5	American Beech	Fagus grandifolia	Good	S
54	14.3	Cottonwood	Populus deltoides	Good	R2	369	12.7	Sugar Maple	Fagus grandifolia Acer saccharum	Good	S
55	11.4	Cottonwood	Populus deltoides	Good	R2	370	11.7	Sugar Maple	Acer saccharum	Good	S
56	12.2	American Elm	Ulmus americana Juglans nigra	Good	R2	371	9.7	Sugar Maple	Acer saccharum	Good	S
57	8.3	Black Walnut	Juglans nigra	Good	R1	372	8.9	Sugar Maple	Acer saccharum	Good	S
58 59	8.3	Sweet Cherry American Elm	Prunus avium	Fair Good	R1	373	8.3 17.5	Sugar Maple Sugar Maple	Acer saccharum	Good	S
	9.3 fTrees: 115 3 Remove	American Elm	Ulmus americana	U000d	151		17.5 of Trees: 115 111 Remove1	ougar wapre	Acer saccharum	G000	3

Common Nam Sugar Mayle Red Oak Sispery Elim Sour-turn Write Coak Winte Coak Sispery Elim Sisper Walnut Sisper Waln

riteerinal helpin Red Oak Basewood Basewood Basewood Pignut Hickery Red Oak Red Oak Red Oak Sugar Maple Shagbark Helo Sugar Maple Red Oak Red Oak Red Oak Basewood Basewood Red Oak Basewood Red Oak Basewood Basewood Red Oak Basewood Base

Name	Scientific Name Acer saccharum	Condition Good	Save	Tree Tag # 605	DBH (inches) 8.4	Common Name Basswood	Scientific Name Tilla americana	Condition
	Quercus rubra	Good	Save	606 607	12.2	Black Cherry	Tilla americana Prunus serotina	Good
lm	Ulmus rubra Nyssa sylvatica	Good	Save Save	608	12.7	Black Cherry Tulip	Prunus serotina Liriodendron tulipifera	Good
<	Quercus alba Quercus rubra	Good	Save	609 610	8.8	Slinnery Elm	Ulmus rubra	Good
nut	Quercus rubra	Good	Save Save	610	8.3 8.7	Slippery Elm Slippery Elm	Ulmus rubra Ulmus rubra	Good
lm	Juglans nigra Ulmus rubra	Good	Save	612	18.3	Sugar Maple Sugar Maple	Acer saccharum Acer saccharum	Good
ole ole	Acer saccharum Acer saccharum Liriodendron tulipifera	Good	Save Save	613 614	11.5	Sugar Maple	Acer saccharum	Good
	Liriodendron tulipifera	Good	Save	615	14.2	Sugar Maple Red Maple	Acer saccharum Acer rubrum	Good
nut nut nut	Juglans nigra Juglans nigra	Good	R2	616 617	12.6	Sugar Maple American Elm	Acer saccharum Ulmus americana	Good
nut	Juglans nigra Juglans nigra	Good	R1 Save	618	19.3		Acer saccharum	Good
án air	Juglans nigra Acer saccharinum	Good	Save	619	8.8	American Elm	Ulmus americana	Good
n erry erry	Fraxinus pennsylvanic Prunus serotina	Good	R (N.R.)	620 621	13.3 13.3	Black Walnut Silver Maple	Juglans nigra	Good
rry	Prunus serotina Prunus serotina		Save R2	622	11.1	Pin Oak	Acer saccharinum Quercus palustris	Good
1	Acer rubrum	Good	Save	623	11.0	American Elm	Ulmus americana	Good
nut		Good	Save	624 625	8.6 8.8	Black Cherry Black Cherry	Ulmus americana Prunus serotina Prunus serotina	Good
nut	Juglans nigra Acer rubrum	Good	Save	626 627	8.4	Slippery Elm Box-Elder	Ulmus rubra	Good
ole ole	Acer saccharum	Good	Save	627 628	14.4	Box-Elder	Acer negundo	Good
de de	Acer saccharum	Good	Save Save	629	8.4	American Elm Cottonwood	Ulmus americana Populus deltoides	Good
le le m	Acer saccharum Acer saccharum	Good	Save	630	8.2	American Elm	Ulmus americana Populus deltoides	Good
m m	Ulmus rubra Ulmus rubra	Good	Save	631 632	10.3	Cottonwood	Populus deltoides Populus deltoides	Good
m m	Ulmus rubra Llimus rubra	Good	Save Save	633	8.7 17.1	Cottorwood	Populus deltoides	Good
Maple	Ulmus rubra Acer x freemanii	Good	Save	633 634	17.1	Cottonwood Cottonwood	Populus deltoides	Good
rry	Prunus serotina	Good	Save	635 636	18.4 15.2	Cottonwood	Populus deltoides	Good
	Quercus rubra Tilia americana	Good	Save Save	637	17.4	Cottonwood	Populus deltoides Populus deltoides	Good
	Tilia americana Tilia americana	Good	Save	638	15.3	Cottonwood Red-Cedar	Juniperus virginiana	Good Good
iory	Carva olahra	Good	Save	639 640	17.1 16.6	Cottonwood	Populus deltoides Acer saccharum	Good
	Quercus rubra Quercus rubra	Good	Save Save	641	10.5	Sugar Maple Norway Maple	Acer platanoides	Good
eam	Quercus rubra Ostrya virginiana Quercus rubra	Good	Save	642 643	10.1, 8.9, 8.7, 8.1 11.7	Norway Maple Black Willow	Acer platanoides Salix nigra	Good
lo.	Quercus rubra	Good	Save Save	643 644	11.7 15.8	Box-Elder American Elm	Acer negundo Ulmus americana	Good
e lickory	Acer saccharum Carya ovata	Good	Save	645	10.7	Box-Elder		Good
	Quercus rubra	Good	Save Save	646	10.5	Boy-Elder	Acer negundo Acer negundo Acer negundo Ulmus americana	Good Good
e	Acer saccharum Quercus rubra	Good	Save	647 648	8.3 9.7	Box-Elder Box-Elder	Acer negundo	Good
е	Acer saccharum	Good	Save	649	9.5	American Elm	Ulmus americana	Good
e ory	Acer saccharum Carya glabra	Good	Save	650	11.9, 9.8 16.4, 14.2		Acer negundo	Good
ory	Carya glabra Tilia americana	Good	Save Save	651 652	16.4, 14.2 8.1	Black Willow Black Willow	Acer negundo Salix nigra Salix nigra	Good
	Quercus rubra	Good	Save	653 654	9.6	Red-Cedar	Juniperus virginiana	Good
	Tilia americana	Good	Save	654 655	9.5 8.6	Red-Cedar	Juniperus virginiana	Good
lickory	Carya ovata Acer saccharum Juglans nigra	Good	Save Save	656	12.2	American Elm American Elm	Ulmus americana Ulmus americana	Good
ut	Juglans nigra	Good	Save	657	14.0	Box-Elder	Acer negundo Acer negundo	Good
	Quercus rubra	Good	Save	658	9.2	Box-Elder	Acer negundo	Good
	Quercus rubra Quercus rubra	Good	Save Save	659 660	9.5	Box-Elder Box-Elder	Acer negundo Acer negundo	Fair
	Tilia americana	Good	Save	661	8.6	American Flm	Ulmus americana	Good
	Quercus rubra	Good	Save	662 663	21.8 11.6	Cottonwood Box-Elder	Populus deltoides	Good
	Quercus rubra Tilia americana	Good	Save Save	664	8.7	Red-Cedar	Acer negundo Juniperus virginiana	Good
	Tilia americana Quercus rubra	Good	Save	665	10.7	Box-Elder	Juniperus virginiana Acer negundo	Fair Poor
	Quercus rubra	Good	Save	666	10.8	American Elm	Ulmus americana	Poor
ory	Carya glabra Juglans nigra	Good	Save Save	667 668	16.9	American Elm American Elm	Ulmus americana Ulmus americana	Good
ory	Carya glabra	Good	Save	669	9.0	Red-Cedar Red-Cedar	Juniperus virginiana Juniperus virginiana	Good
	Quercus rubra Tilia americana	Good	Save Save	670 671	13.1 13.5	Red-Cedar American Elm	Juniperus virginiana Ulmus americana	Good
ory	Carya glabra	Good	Save	672	13.8	American Elm	Ulmus americana	Good
ory	Carya glabra Tilia americana Carya glabra	Good	Save	673	12.8		Acer negundo Ulmus americana	Good
ory	Carya glabra Quercus rubra	Good	Save	674 675	8.6 10.8	American Elm American Elm	Ulmus americana Ulmus americana	Good
	Tilia americana	Good	Save	676	13.1	Box-Elder	Acer negundo	Good
	Quercus ruhra	Good	Save	677 678	12.8	Box-Elder	Acer negundo	Good
	Quercus rubra Tilia americana	Good	Save Save	678 679	17.1 11.3	White Pine White Pine	Pinus strobus Pinus strobus	Good
	Quercus rubra	Good Good	Save	680	13.7	White Pine	Pinus strobus	Good
	Quercus rubra	Good	Save	681	12.9	White Pine	Pinus strobus Gleditsia triacanthos	Good
	Tilia americana Quercus rubra	Good	Save Save	682 683	13.3 11.9	Honey Locust Cottonwood Cottonwood	Populus deltoides	Good
	Quercus rubra	Good	Save	683 684	16.0	Cottonwood		Good
	Quercus rubra	Good	Save	685	22.7 13.0	Black Willow Silver Maple	Salix nigra Acer saccharinum	Good
ory ut	Carya glabra Juglans nigra	Good	Save Save	686 687	17.4	Cottonwood	Populus deltoides	Good
ory ut ut Im	Judlans pigra	Good	Save	688	14.2	Cottonwood	Populus deltoides Populus deltoides	Good
lm	Ulmus americana Quercus palustris	Good	Save	689 690	25.7 10.8	Cottonwood Pignut Hickory	Populius deltoides	Good
	Quercus palustris Liriodendron tulipifera	Good	Save Save	691	9.5		Carya glabra Prunus serotina	Good
0	Acer saccharum	Good	Save	692 693	28.3 11.0	Black Willow Box-Elder	Salix nigra Acer negundo	Fair
ry	Prunus serotina	Good	Save Save	693 694	11.0 25.5	Box-Elder Cottonwood	Acer negundo	Good
ry e ut	Acer saccharum Juglans nigra	Good	Save	695	16.9	Cottonwood	Populus deltoides Populus deltoides	Good
e	Acer saccharum Quercus alba	Good	Save Save	696	13.9		Malus coronaria Ulmus americana	Good
**	Quercus alba	Good	Save Save	697 698	10.4 11.7	American Elm Silver Maple	Ulmus americana Acer saccharinum	Good
	Ulmus rubra Acer rubrum	Good	Save	699	20.6	Cottonwood	Populus deltoides	Good
lm e	I Ilmus americana	Good	Save	700	16.4	Basswood	Tilia americana	Good
e	Acer saccharum Prunus serotina	Good	Save Save	701 702	11.4 15.6	Pignut Hickory Basswood	Carya glabra Tilia americana	Good
ry e e	Acer saccharum	Good	Save	703	24.4	Cottonwood	Populus deltoides	Good
е	Acer saccharum	Good	Save	703 704	21.6	Black Walnut	Juglans pigra	Good Poor
v	Liriodendron tulipifera Prunus serotina	Good	Save Save	705 706	12.5 17.6	Box-Elder Red-Cedar	Acer negundo Juniperus virginiana	Good Good
	Quercus alba	Good	Save	706 707	17.6 15.2	Red-Cedar Red-Cedar	Juniperus virginiana	Good
e e e	Acer saccharum	Good	Save	708	16.6	American crab	Malus coronaria	Good
0	Acer saccharum Acer saccharum	Good	Save Save	709	13.6	Red-Cedar American crah	Juniperus virginiana Malus coronaria	Good
n	Ulmus rubra	Good	Save	710 711	9.8	American crab Box-Elder	Acer negundo	Good
е	Acer saccharum	Good	Save	712	9.5	Box-Elder	Acer negundo Juglans nigra	Good
y	Prunus serotina	Good	Save Save	713 714	18.1 20.2	Black Walnut Siberian Elm	Juglans nigra	Good
e ry im e	Ulmus americana Acer saccharum	Good	Save	714 715 716	12.5, 11.8 12.0	Siberian Elm Box-Elder	Ulmus pumila Acer negundo	Good
	Quercus alba	Good	Save	716	12.0	Red-Cedar	Juniperus virginiana	Good
ry ry ry	Prunus serotina	Good	Save	717 718	8.9 12.4	Red-Cedar Red-Cedar	Juniperus virginiana Juniperus virginiana	Good
	Prunus serotina Prunus serotina	Good	Save Save	718	12.4	Red-Cedar	Juniperus virginiana Juniperus virginiana	Good
y				720		Red-Cedar	Juniperus virginiana	Good

Tree Tag # 605	DBH (inches) 8.4	Common Name Basswood	Scientific Name	Condition	
605	8.4	Basswood	Tilia americana	Good	Save
606	12.2 12.7	Black Cherry Black Cherry	Prunus serotina Prunus serotina	Good	Save
608	10.3	Tulip	Liriodendron tulipifera	Good	Save
609	8.8	Clinnon: Clos	Ulmus rubra	Good	Save Save
610	8.3	Slinnery Flm	Ulmus rubra	Good	Save
611	8.7	Slippery Elm Slippery Elm	Ulmus rubra	Good	Save
612	18.3	Slippery Elm Sugar Maple Sugar Maple Sugar Maple	Acer saccharum	Good	Save
613	11.5	Sugar Maple	Acer saccharum Acer saccharum	Good	Save
614	18.8	Sugar Maple	Acer saccharum	Good	Save
615	14.2		Acer rubrum	Good	Save
616	12.6 9.3	Sugar Maple American Elm	Acer saccharum	Good	Save
617	9.3	American Elm	Ulmus americana	Good	Save
618	19.3	Sugar Maple	Acer saccharum	Good	Save
619	8.8	American Elm	Ulmus americana	Good	Save
620	13.3	Black Walnut	Juglans nigra	Good	Save
621	13.3	Silver Maple	Acer saccharinum	Good	Save
622	11.1	Pin Oak	Quercus palustris	Good	Save
623	11.0	American Elm	Ulmus americana	Good	Save
624	8.6	Black Cherry	Prunus serotina Prunus serotina	Good	Save
625 626	8.8	Black Cherry	Prunus serotina	Good	Save
626		Slippery Elm Box-Elder	Ulmus rubra	Good	Save
628	14.4	American Elm	Acer negundo	Good	R2
629	8.3	American Elm	Ulmus americana Populus deltoides	Good	R1
630	8.4	Cottonwood American Elm	Populus deltoides	Good	R1 R1
630	10.3	Cottonwood	Ulmus americana	Good	
632	8.6	Cottonwood	Populus deltoides	Good	R1
633	0.0	Cottonwood	Populus deltoides Populus deltoides	Good	R1
634	8.7 17.1	Cottonwood Cottonwood	Populus deltoides	Good	R1
635	18.4	Cottonwood	Populus deltoides Populus deltoides	Good	R2
635	15.2	Cottonwood	Populus deltoides Populus deltoides	Good	R2 R2
637	15.2	Cottonwood	Populus deltoides Populus deltoides	Good	R2 R2
638	17.4	Red-Cedar	Juniperus virginiana	Good	R2 R2
639	17.1	Cottonwood	Populus deltoides	Good	R2 R2
640	16.6	Cottonwood Sugar Maple	Acer saccharum	Good	R2 R2
640	10.5	Norway Manie	Aner platannides	Good	R2 Save
642	10.1, 8.9, 8.7, 8.1	Norway Maple Black Willow	Salix ninna	Good	Save
643	11.7	Box-Elder	Salix nigra Acer negundo	Good	Save
644	15.8	American Flm		Good	Save
645	10.7	Box-Elder	Acer negundo	Good	Save
646	10.5	Box-Elder	Acer negundo Acer negundo Acer negundo Acer negundo Acer negundo	Good	Save
647	8.3	Box-Elder	Acer negundo	Good	Save
648	9.7	Day Elder	Acer negundo	Good	Save
649	9.5	American Elm Box-Elder	Ulmus americana	Good	Save
650	11.9, 9.8	Box-Elder	Acer negundo	Good	Save
651		Black Willow	Salix nigra	Good	Save
652	8.1	Black Willow	Salix nigra	Good	Save
653	9.6	Red-Cedar Red-Cedar	Juniperus virginiana	Good	R1
654	9.5	Red-Cedar	Juniperus virginiana	Good	R1
655	8.6	American Elm	Ulmus americana	Good	Save
656	12.2	American Elm	Ulmus americana	Good	Save
657	14.9	Box-Elder	Acer negundo	Good	R2
658	9.2 9.5	Box-Elder	Acer negundo	Good	Save
659	9.5	Box-Elder	Acer negundo	Fair	Save
660	8.8	Box-Elder	Acer negundo Acer negundo	Good	Save
661	8.6	American Elm	Ulmus americana	Good	R1
662	21.8 11.6	Cottonwood	Populus deltoides	Good	R3
663	11.6	Box-Elder	Acer negundo	Good	R2
664	8.7	Red-Cedar	Juniperus virginiana	Good	R1
665	10.7	Box-Elder	Acer negundo	Fair	R1
666	10.8	American Elm	Ulmus americana	Poor	R (N.R.
667	15.2	American Elm	Ulmus americana	Good	R2
668	16.9	American Elm	Ulmus americana	Good	R2
669	9.0	Red-Cedar	Juniperus virginiana Juniperus virginiana	Good	R1 R2
670 671	13.1	Red-Cedar	Juniperus virginiana	Good	R2
671	13.5	American Elm	Ulmus americana	Good	R2
672	13.8	American Elm	Ulmus americana	Good	R2
673 674	12.8	Box-Elder	Acer negundo	Good	R2
674	8.6	American Elm	Ulmus americana	Good	R1
675	10.8	American Elm	Ulmus americana	Good	R1
676	13.1	Box-Elder	Acer negundo	Good	R2
677 678	12.8	Box-Elder	Acer negundo Pinus strobus	Good	R2
	17.1	White Pine White Pine	Minus strobus	Good	Save
679 680	11.3 13.7	vvnite Pine	Pinus strobus	Good	R2
680	13.7	White Pine White Pine	Pinus strobus	Good	R2 R2
681 682	12.9	vvnite Pine	Pinus strobus Gleditsia triacanthos		R2 R2
682 683	13.3	Honey Locust	Greature deficiels	Good	R2 R2
683	11.9	Cottonwood	Populus deltoides	Good	R2 R2
685	16.0	Cottonwood Black Willow Silver Maple	Populus deltoides	Good	Save
686	13.0	Silver Mania	Salix nigra	Good	Save
687	17.4	Cottonwood	Acer saccharinum Populus deltoides	Good	R2
688	14.2	Cottonwood	Populus deltoides	Good	Save
689	26.7	Cottonwood	Populus deltoides	Good	R3
690	10.8	Cottonwood Pignut Hickory	Carya glabra	Good	Save
691	9.5	Black Cherry	Drunue earotina	Good	Save
692	28.3	Black Willow	Salix nigra	Fair	Save
693	11.0	Box-Elder	Salix nigra Acer negundo	Good	Save
694	25.5	Cottonwood		Good	Save
695	16.9	Cottonwood	Populus deltoides	Good	Save
696	13.9	American crab	Malus coronaria	Good	Save
697	10.4	American Flm	Ulmus americana	Good	Save
698	11.7	Silver Maple	Acer saccharinum	Good	Save
699	20.6	Cottorwood	Populus deltoides	Good	Save
700	16.4	Basswood	Tilia americana	Good	Save
701	11.4	Pignut Hickory	Carya glabra	Good	Save
702	15.6	Basswood	Tilia americana	Good	Save
703	24.4	Cottonwood Black Walnut	Populus deltoides	Good	R3
704	21.6	Black Walnut	Juglans nigra	Poor	
705	12.5	Box-Elder		Good	R (N.R. R2
706	17.6 15.2	Red-Cedar	Juniperus virginiana Juniperus virginiana	Good	R2
707	15.2	Red-Cedar Red-Cedar	Juniperus virginiana	Good	R2
708	16.6	American crab		Good	R2
700	13.6	Red-Cedar	Juniperus virginiana	Good	R2
710 711	8.7	American crab	Juniperus virginiana Malus coronaria	Good	R1
711	9.8	Box-Elder	Acer negundo	Good	R1
712	9.5	Box-Elder	Acer negundo	Good	R1
712 713	18.1	Black Walnut	Acer negundo Juglans nigra	Good	R2
714	20.2	Siberian Elm	Ulmus pumila	Good	Save
715	12.5. 11.8	Box-Elder	Acer negundo	Good	R3
716	12.0	Red-Cedar	Juniperus virginiana	Good	R2
717	8.9	Red-Cedar	Juniperus virginiana	Good	Save
710		Red Cedar	fundancia ulimia/		

TREE SUMMARY

COLUMN 1: Total: 115 COLUMN 2: Total: 115 COLUMN 3: Total: 115 COLUMN 4: Total: 115 COLUMN 5: Total: 116 TOTALS	Save: 111 Save: 115 Save: 111 Save: 61	R1: 3 R1: 0 R1: 1 R1: <u>17</u>	R2: 0 R2: 2	R3: 0 R3: 0 R3: 0 R3: <u>4</u>	R4: 0 R4: 0 R4: 0 R4: 0 R4: 0 R4: 0	R(N.R.): 0 R(N.R.): 0 R(N.R.): 0 R(N.R.): 1 R(N.R.): 2 R(N.R.): 3
GRAND TOTAL						
Save: Trees	to be saved				491	

Remove1 (R1): Tree >8" to <11" to be removed: Remove2 (R1): Tree >1" to <20" to be removed: Remove2 (R2): Tree >1" to <20" to be removed: Remove3 (R3): Tree >20" to <29" to be removed: Remove4 (R4): Tree >30" to be removed: R(N.R.): Non-Regulated tree (Ash, Callery Pear, & Condition rating at P, VP, D)

Replacement trees required: Remove1 (R1): One (1) per >8" to <11" to be removed: Remove2 (R2): Two (2) per >11" to <20" to be removed: Remove3 (R3): Three (3) per >20" to <29" to be removed: Remove4 (R4): Four (4) per >30" to be removed:

Replacement with 2-1/2" trees

- * See Sheet I.P., 1: LANDSCAPE PLANTING PLAN for overall landscape plan, plant list, and calculations for landscape requirements.
- * See Sheet LP 2: LANDSCAPE NOTES & DETAILS for landscape development notes, landscape planting details, detention pond notes, composition for seed mixes, landscape construction details, and snow fencing for tree protection detail.

 * See Sheet TPP - 1: TREE PRESERVATION PLAN for proposed
- action to be taken for existing trees and overall tree preservation

date: June 6, 2022 08-08-2022 Revise for site plan change

138



PROJECT LOCATION: Novi Concrete Plant 46844 West Twelve Mile Road Novi, Michigan

LANDSCAPE PLAN FOR: Angle Design & Engineering, L.L.C. 22417 Cranbrooke Drive Novi, Michigan 48375 (313) 258-2036

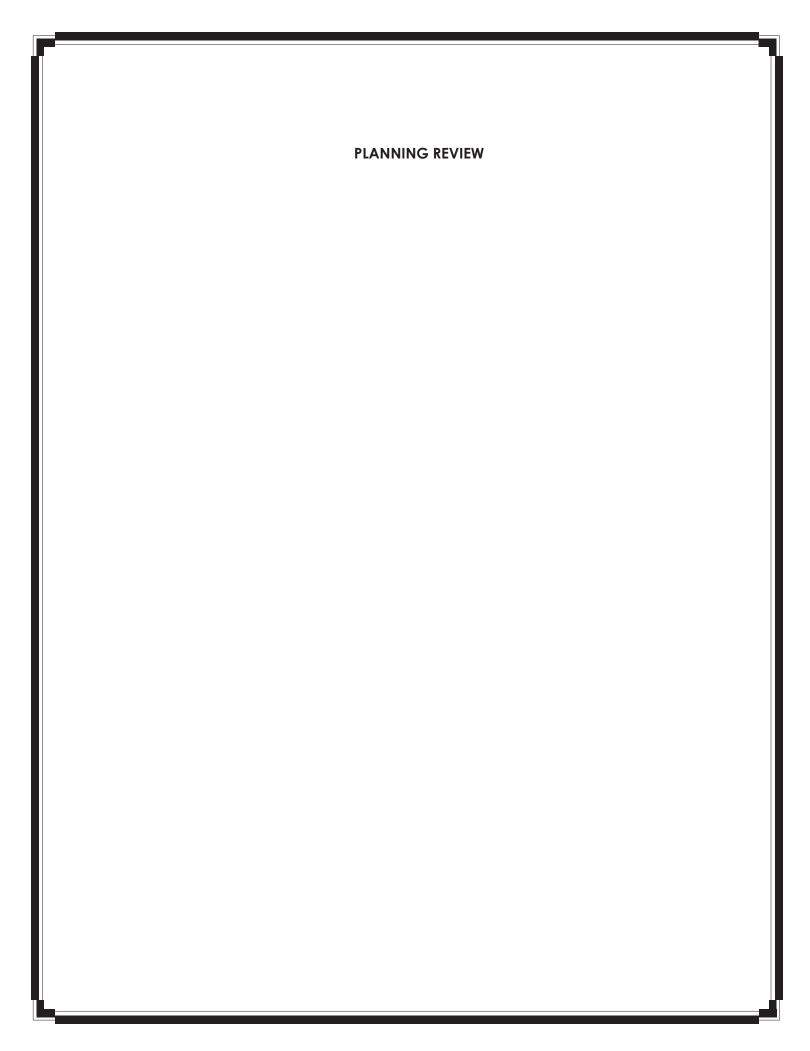
> LANDSCAPE PLAN BY: Nagy Devlin Land Design 31736 West Chicago Ave. Livonia, Michigan 48150 (734) 634-9208



TPP - 2: TREE INVENTORY LIST

* Tree inventory list provided by ASTI Environmental.

^{*} Removals and calculations by Nagy Devlin Land Design.





PLAN REVIEW CENTER REPORT

February 27, 2025

Planning Review

Crown Utility Extension
JSP 24-24

PETITIONER

Crown Enterprises

REVIEW TYPE

2nd Revised Preliminary Site Plan

PROPERTY CHARACTERISTICS

Section	tion Section 9					
Site Location	North of 12 Mile Road,	North of 12 Mile Road, west of West Park Drive				
Site School	Walled Lake Consolida	Walled Lake Consolidated Schools				
Site Zoning	I-2 General Industrial	I-2 General Industrial				
Adjoining Zoning	North	I-2 General Industrial				
	East	I-2 General Industrial				
	West	I-2 General Industrial				
	South	I-1 Light Industrial				
Current Site	Vacant Industrial					
Adjoining Uses	North	Industrial Business				
	East	Landscaping Business				
	West	Industrial Business				
	South	Vacant (privately owned)				
Site Size	20.04 acres					
Plan Date	2/7/25	2/7/25				

PROJECT SUMMARY

The subject property is the former driving range property located on the north side of Twelve Mile Road, west of West Park Drive, and has received approval from the Planning Commission for a Concrete Plant that is not yet under construction. The applicant is proposing to extend water and sanitary sewer lines from the Beck West industrial park property immediately to the north of the subject site. The applicant has indicated that extending the utility lines along Twelve Mile Road to serve the site has been problematic. The proposed utilities will extend approximately 125 feet into the north part of the subject property. No building plans are proposed at this time. Off-site easements will be required for the applicant to make this utility connection. The applicant is proposing to remove 11 protected Woodland trees, which require 23 replacement credits, and pay the City Tree Fund.

RECOMMENDATION

Planning recommends approval of the 2nd revised Preliminary Site Plan. All other reviewers are also recommending approval of the Preliminary Site Plan. Engineering recommended approval of the Preliminary Site Plan, with items to be addressed at the Final Site Plan submittal.

ORDINANCE REQUIREMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. [Items in **bold** below must be addressed and incorporated as part of a revised submittal.]

- 1. <u>Administrative Approval (Sec 6.1.C.ii)</u>: A site plan may be reviewed for approval administratively without formal review by the approving body when the plan only proposes the improvement, expansion, extension, or abandonment of any utility line or easement. It has been determined that a woodland permit will be required, thus the project **does not** qualify for administrative approval, but will be placed on a Planning Commission agenda for consideration at an upcoming meeting.
- 2. <u>Utility Easement:</u> The cul-de-sac was recently reconstructed in 2023 using a cross-section that includes a pavement interlayer, and therefore open-cut construction for utilities will not be permitted at this time. Trenchless technologies are now being proposed for utility installation to avoid impacting the pavement on sheet CU-102.
- 3. <u>Impacted Woodlands:</u> Include a tree survey for all trees within 50 feet of the limit of work and indicate the proposed limit(s) of disturbance and all trees that will be removed or impacted by the project. A tree survey for all trees within 50 feet of the limit of work is included on the Topographic Survey sheet and the TPP-2 Tree Inventory List sheet. Critical root zones have been identified on sheet LP-101.

OTHER REVIEWS:

- a. <u>Engineering Review:</u> Engineering recommended approval of the preliminary site plan, with items to be addressed at Final Site Plan submittal.
- b. <u>Woodland Review:</u> Woodland recommends approval of the 2nd revised Preliminary Site Plan. Please see review letter for additional information.
- c. <u>Wetland Review:</u> Wetland recommended conditional approval of the preliminary site plan. Please see review letter for additional information.
- d. <u>Fire Review:</u> Fire recommended approval of the preliminary site plan and final site plan.

NEXT STEP: PLANNING COMMISSION

Once all reviews recommend approval of the Preliminary Site Plan this project will be scheduled to appear at the Planning Commission. The Woodland Permit will need approval from the Planning Commission. Please provide the following via email one week prior to the meeting once this stage is reached:

- 1. Site Plan submittal in PDF format (maximum of 10MB) NO CHANGES MADE
- 2. A color rendering of the Site Plan (optional to be used for Planning Commission presentation).

FUTURE STEP: FINAL SITE PLAN SUBMITTAL

After receiving the Planning Commission's approval of the Woodland Use Permit, please submit the following for review:

- 1. **Five** copies of Final Site Plan addressing all comments from Preliminary and revised Preliminary Site Plan reviews.
- 2. Response letter addressing all comments and refer to sheet numbers where the change is reflected
- 3. Final Site Plan Submittal Form
- 4. Final Site Plan Checklist
- 5. Engineering Cost Estimate
- 6. Other Agency Checklist
- 7. Hazardous Materials Packet
- 8. Non-Domestic User Survey
- 9. Legal Documents as required
- 10. Drafts of any legal documents (note that off-site easements need to be executed, and any on-site easements need to be submitted in draft form before stamping sets will be stamped).

ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER

After receiving Final Site Plan approval, plans addressing the comments in all the staff and consultant review letters should be submitted electronically for informal review and approval prior to printing Stamping Sets. A letter from either the applicant or the applicant's representative addressing comments in this and other review letters and associated charts is to be submitted with the electronic stamping set. This letter should address all comments in ALL letters and ALL charts and refer to sheet numbers where the change is reflected.

STAMPING SET APPROVAL

Stamping sets are required for this project. After having received all the review comments from City staff the applicant should make the appropriate changes on the plans and submit 8 size 24" x 36" copies with original signature and original seals on the cover sheet (subsequent pages may use electronic seal with signature), to the Community Development Department for final Stamping Set approval.

If required, drafts for all legal documents with a legal transmittal are to be submitted along with stamping sets.

PRE-CONSTRUCTION MEETING

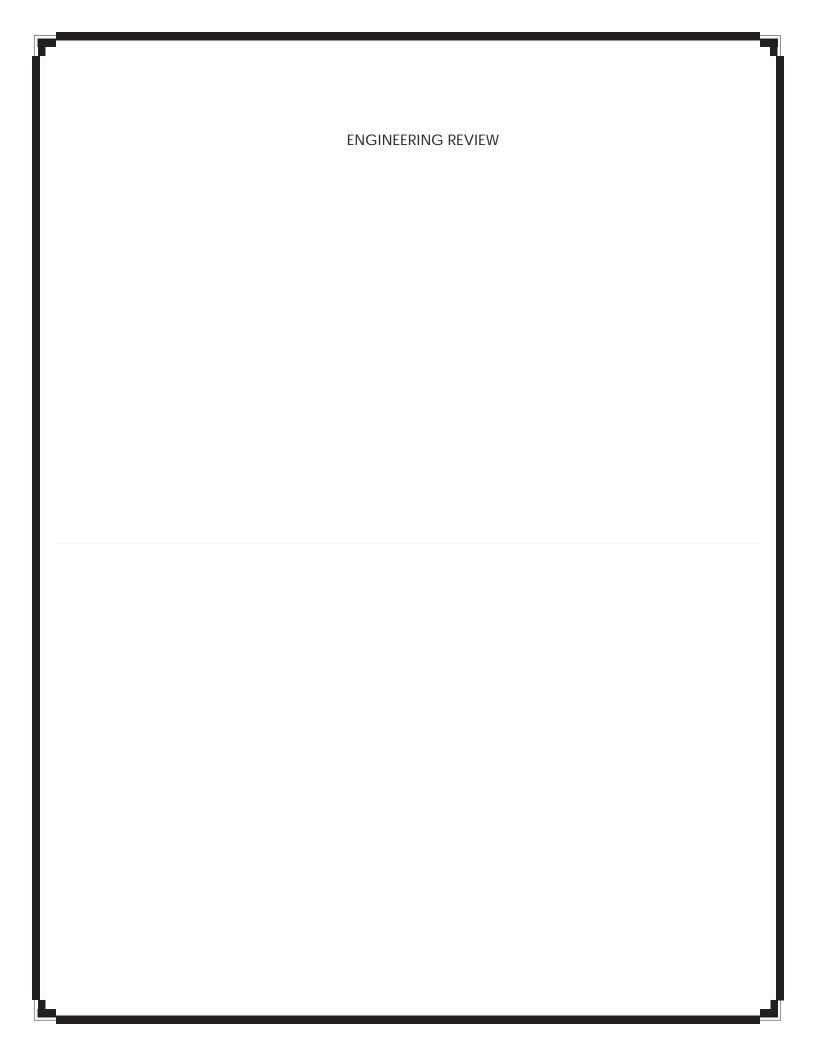
A Pre-Construction meeting is required for this project. Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees, and permits that must be issued before a Pre-Con can be scheduled, so it is suggested you contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] once the Final Site Plan has been approved to begin the Pre-Con checklist. If you have any questions regarding the checklist or the Pre-Con itself, please contact Sarah.

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248-735-5607 or <u>dcommer@cityofnovi.org</u>.

Dan Commer	
Dan Commer, AICP Planner	





PLAN REVIEW CENTER REPORT

11-25-2024

Engineering Review

Crown Utility Extension JSP24-0024

APPLICANT

Crown Enterprises

REVIEW TYPE

Preliminary Site Plan

PROPERTY CHARACTERISTICS

Site Location: Located on the north side of 12 Mile, between Beck Road and

West Park Drive

Site Size: 20.04 acresPlan Date: 10-16-2024

Design Engineer: Angle Design & Engineering

PROJECT SUMMARY

- Only water and sewer utility extensions are proposed (no building construction proposed at this time).
- Water service would be provided by two 8-inch extensions from the existing 12-inch water main along the Magellan Drive cul-de-sac.
- Sanitary sewer service would be provided by an 8-inch extension from the existing 8inch sanitary sewer along the west side of the Magellan Drive cul-de-sac.

RECOMMENDATION

Approval of the Preliminary Site Plan is recommended, with items to be addressed at Final Site Plan submittal.

Comments:

The Preliminary Site Plan meets the general requirements of the design and construction standards as set forth in <u>Chapter 11 of the City of Novi Code of Ordinances</u>, and the <u>Engineering Design Manual</u> with the following items to be addressed at the time of Final Site Plan submittal:

General

1. Provide a minimum of two ties to established section or quarter section corners.

- 2. A <u>Right-of-Way Permit</u> will be required from the City of Novi.
- 3. Provide a note that compacted sand backfill (MDOT sand Class II) shall be provided for all utilities within the influence of paved areas; illustrate and label on the profiles.
- 4. The SESC sheets shall show the tree fence at least as far from the trunk as the critical root zone, defined as a circular area around a tree with a radius measured to the tree's longest dripline radius plus one (1) foot. No grading shall occur within the dripline. If the critical root zone is not fully protected, then replacements for that tree may be required.
- 5. Show the existing storm sewer crossing the proposed utilities on the plans, ensuring it is on both the utility sheets and the profiles.
- 6. Add a note stating the material of the existing watermain.
- 7. Ensure that all utility easements and Right-of-Way are clearly labeled on the plans.
- 8. Additionally, show the existing pavement along Magellan Drive.

Water Main

- 9. All public water main shall be within a dedicated water main easement unless proposed in the right-of-way. Show two separate 20-foot wide water main easements, which must be labeled separately from the sanitary sewer easement. These easements can overlap; however, they must be recorded separately.
- 10. Water mains are required to be extended along all road frontages abutting the proposed development at the direction of the city in accordance with the current edition of the City of Novi Master Plan. Be aware that the City of Novi will still require another water main extension along this parcel's 12 Mile Road frontage even if the connection to the east is not provided. This will be reviewed at the time this site is developed.
- 11. The water main stubs at the end of the proposed extensions shall terminate with a hydrant followed by a valve in well. If the hydrant is not a requirement of the development at this location, the hydrant can be labeled as "temporary", allowing it to be relocated in the future.
- 12. A sealed set of utility plans along with the Michigan Department of Environment, Great Lakes & Energy (EGLE) permit application for water main construction, the Streamlined Water Main Permit Checklist, Contaminated Site Evaluation Checklist, Basis of Design, and an electronic version of the utility plan should be submitted to the Engineering Division for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets, and the standard detail sheets.

Sanitary Sewer

- 13. Relocate the sanitary sewer to go around the cul-de-sac outside the limits of the road to avoid any impact to the pavement.
- 14. All public sanitary sewer shall be within a dedicated sanitary sewer easement unless proposed in the right-of-way. Show proposed 20-foot wide sanitary sewer easement, which must be labeled separately from the water main easement. These easements can overlap; however, they must be recorded separately.
- 15. Provide a testing bulkhead immediately upstream of the sanitary connection point. Additionally, provide a temporary 1-foot-deep sump in the first sanitary structure proposed upstream of the connection point, and provide a secondary watertight bulkhead in the downstream side of this structure.
- 16. Three (3) sealed sets of revised utility plans along with the <u>Michigan Department of Environment</u>, <u>Great Lakes & Energy (EGLE) permit application</u>, electronic utility plan for sanitary sewer construction, and the Streamlined Sanitary Sewer Permit Certification Checklist should be submitted to the Engineering Division for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets, and the standard detail sheets. It should be indicated with the application if an expedited EGLE review is requested. EGLE will charge a fee that can be paid directly to the State.

Off-Site Easements

- 17. Any off-site utility easements anticipated must be executed **prior to Stamping Set Approval**. If you have not already done so, drafts of the easements and a recent title search shall be submitted to the Community Development Department as soon as possible for review and shall be approved by the Engineering Division and the City Attorney prior to executing the easements.
- 18. Approval from the neighboring property owners for the work associated with the off-site utility installation and pavement repairs shall be forwarded to the Engineering Division **prior to Stamping Set approval**.

The following must be submitted with the Final Site Plan:

- 19. A letter from either the applicant or the applicant's engineer must be submitted with the Stamping Set highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
 Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.
- 20. An itemized construction cost estimate must be submitted to the Community Development Department for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition

work. <u>The estimate must be itemized</u> for each utility (water, sanitary, storm sewer), on-site paving (square yardage, should include number do detectable warning plates), right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

The following must be submitted with the Stamping Set:

(Please note that all documents must be submitted together as a package with the Stamping Set submittal with the legal review transmittal form that is attached to this review letter. Partial submittals will <u>not</u> be accepted. Links to the PDF copy of the easements are below, word document versions of each legal document can be found on the City's Website under Forms and Permits)

- 21. A draft copy of the 20-foot-wide <u>Watermain System Easement</u> onsite must be submitted to the Community Development Department.
- 22. A draft copy of the 20-foot-wide <u>Sanitary Sewer Easement</u> onsite must be submitted to the Community Development Department.
- 23. Executed copies of approved off-site utility easements must be submitted.

The following must be addressed prior to construction:

- 24. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430). **Be advised that scheduling the pre-construction meeting can take 2-4 weeks.**
- 25. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application required). No fee is required for this permit.
- 26. Material certifications must be submitted to Spalding DeDecker for review prior to the construction of any onsite utilities. Contact Ted Meadows at 248-844-5400 for more information.
- 27. Construction inspection fees in the amount of **TBD** must be paid to the Community Development Department.
- 28. Off-Site Legal exhibit review fees in the amount of **TBD** must be paid to the Community Development Department.
- 29. Legal escrow fees in the amount of **TBD** must be deposited with the Community Development Department. **All unused escrow will be returned to the payee at the end of the project** (except for escrows that are \$50 or less). This amount includes engineering legal fees only. There may be additional legal fees for planning legal documents. **fees are subject to change.
- 30. Legal fees for off-site easements should be paid as soon as possible so that documents can be approved.

- 31. Water and Sanitary Sewer Fees must be paid prior to the pre-construction meeting. Contact the Treasury Department at 248-347-0498 to determine the amount of these fees.
- 32. A <u>Soil Erosion Control Permit</u> must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department, Building Division (248-347-0430) for forms and information. The financial guarantee and inspection fees will be determined during the SESC review.
- 33. A permit for all proposed work activities within the road right-of-way must be obtained from the City of Novi. This application is available from the City Engineering Division or on the city website (Right-of-Way Permit Application) and can be filed once the Final Site Plan has been submitted. Please contact the Engineering Division at 248-347-0454 for further information. Please submit the cover sheet, standard details, and plan sheets applicable to the permit only.
- 34. An Act 399 Permit for Community Water Supply Systems for water main construction must be obtained from EGLE. This permit application must be submitted through the Engineering Division after the water main plans have been approved. Please submit the cover sheet, overall utility sheet, standard details, and plan/profile sheets applicable to the permit.
- 35. A <u>Part 41 Permit For Wastewater Systems</u> for sanitary sewer construction must be obtained from EGLE. This permit application must be submitted through the Engineering Division after the sanitary sewer plans have been approved. Please submit the cover sheet, overall utility sheet, standard details and plan/profile sheets applicable to the permit. Be aware that approval by both (1) Oakland County Water Resources Commissioner (OCWRC) and (2) Wayne County Department of Public Services (WCDPS) are required prior to submittal to EGLE.
- 36. An inspection permit for the sanitary sewer tap must be obtained from the Oakland County Water Resources Commissioner (OCWRC).

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

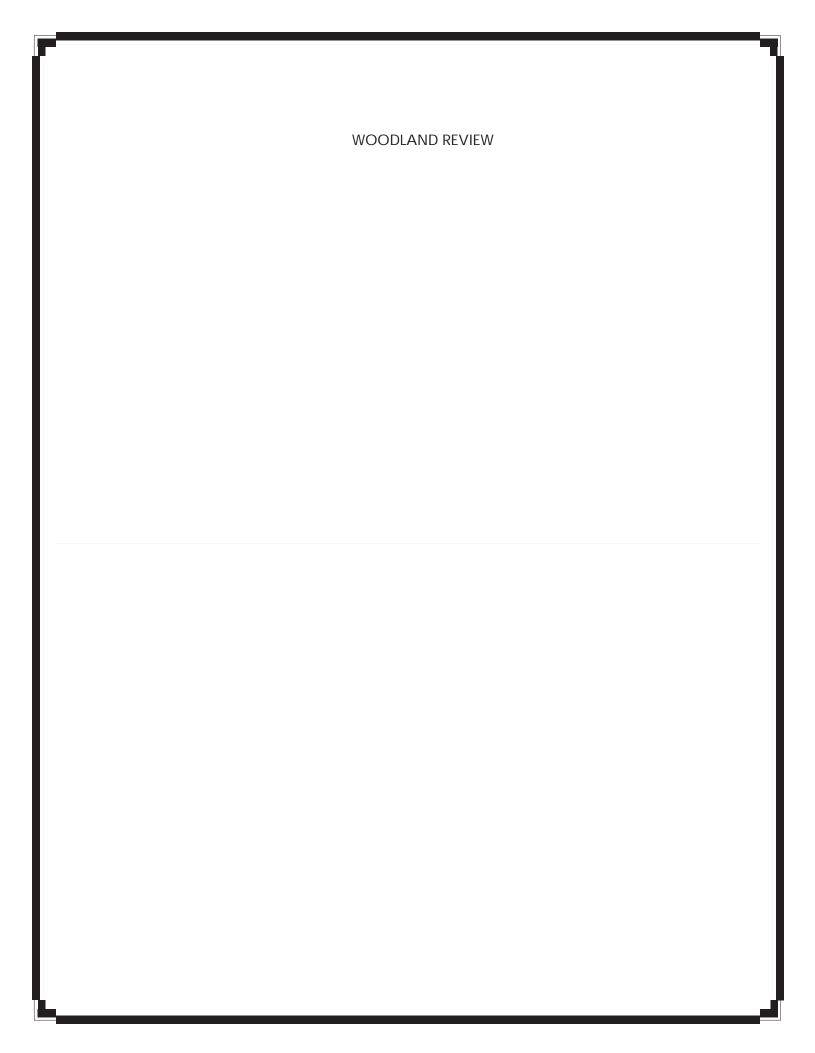
Please contact Milad Alesmail at (248) 735-5695 or email <u>malesmail@cityofnovi.org</u> with any questions.

Milad Alesmail, Project Engineer

cc: Dan Commer, Community Development Humna Anjum, Engineering

Ben Nelson, Engineering Ben Croy, City Engineer

Milad Alesmail





February 25, 2025

Dan Commer Planner – Community Development City of Novi 45175 Ten Mile Road Novi, MI 48375

Submitted electronically to dcommer@cityofnovi.org

Re: Crown Utility Extension Wetland and Woodland Re-revised Preliminary Site Plan Review (JSP24-24)

Dear Dan,

Merjent, Inc. (Merjent) has conducted a review of the re-revised preliminary site plan (rrPSP) for the proposed Crown Utility Extension Project (project) located at the north edge of 46844 Twelve Mile Road (site; parcel 50-22-09-300-032) prepared by Angle Design & Engineering (dated 2/7/2025). The site contains City of Novi (City)-regulated woodlands (**Figure 1**).

Merjent conducted an initial preliminary site plan (PSP) review on November 26, 2024 of potential impacts to City-regulated woodlands and wetlands. Hereafter, the November 26, 2024 review will be referred to as the PSP Review. Merjent recommended approval of the wetlands portion of the site plan in the PSP Review, but deficiencies were found in the woodlands portion of the PSP Review that approval was not recommended. Additionally, a revised PSP (rPSP) review of the site plan was conducted on January 28, 2025 and deficiencies were found in the woodlands portion of the rPSP Review. Some comments below may have been present in the rPSP Review and PSP Review and responses are provided if changes have been made.

Woodlands

Woodland Recommendation: Merjent **recommends approval** of the Crown Utility Extension Project. Woodland Review comments have been provided below to meet the requirements of the Woodland Protection Ordinance (Chapter 37). The following Woodland Regulations apply to this site:

Woodland Regulation	Required
Woodland Permit (Chapter 37, Section 37-26)	Required
Tree Replacement (Chapter 37, Section 37-8)	Required
Tree Protection (Fence; Chapter 37, Section 37-9)	Required
Woodland Conservation Easement (Chapter 37-30[e])	Not Required

Woodland Review Comments

- 1. City-regulated woodlands, as identified on the City of Novi Woodlands interactive map website, are present onsite. Note that both the woodlands and property limits depicted on the City map are considered approximations (**Figure 1**).
- 2. Pursuant to Chapter 37, Section 37-28, an accurate woodland survey should be provided and be accompanied by a separate key identifying the location of all trees eight inches at diameter at breast height (DBH) and greater, by size, common, genus and species names (i.e. Red Maple/Acer rubrum), and condition. Such information shall be provided by a registered landscape architect, certified arborist, or registered forester, through an onsite inspection, who must verify the contents by seal and/or registration number with signature, whichever applies. The dripline of affected trees shall be clearly indicated on the plan.
 - The applicant has addressed this comment from the rPSP Review. A tree inventory/tree survey is provided on Sheet TPP 2.
- 3. When a proposed site plan is located within a regulated woodland, any tree proposed for removal with a diameter at breast height (DBH) greater than or equal to eight inches will require tree replacement and a Woodland Use Permit per Section 37-8. This also applies to any tree that will be preserved, but where impacts to critical root zones are proposed.
- 4. Regardless of the presence of regulated woodlands onsite, a Woodland Use Permit is required to perform construction on any site containing the removal of trees larger than 36 inches DBH.
- **5. Woodland Replacement**. Based on a review of the plan, 11 regulated trees are proposed for removal/impact. The number of replacements required are summarized below based on the information provided on Sheet LP-101.

Tree Size (DBH, inches)	Number of Trees	Ratio Replacement/Removed Tree	Total Replacements Required
8-11	2	1	2
12-20	6	2	8
21-29	3	3	9
30+	0	4	0
Multi-stem	0	Sum of Stem DBH/8 (rounded up)	0
Total	11	-	23

- 6. A replacement plan and cost estimate for the tree replacement will be necessary prior to final site plan approval by the City. Woodland replacement credits can be provided by (rates pursuant to Section 26.5-37):
 - a. Planting the woodland tree replacement credits on-site.
 - i. For tree replacement credits that will be planted on-site, a financial guarantee of \$400/tree replacement credit is required to ensure the planting of the on-site woodland replacement credits. The financial guarantee would be released after trees have been



- planted and approved by the City of Novi. The financial guarantee will be released after trees have been planted and approved by the City of Novi, and applicants must request a tree planting inspection.
- ii. Woodland replacements shall be guaranteed for two growing seasons after the applicant's installation and the City's acceptance. A two-year maintenance bond in the amount of 25% of the value of the trees, but in no case less than \$1,000, shall be required to ensure the continued health of the trees following acceptance.
- b. Payment to the City of Novi Tree Fund at a rate of \$400/woodland replacement credit.
- c. Combination of on-site tree planting and payment into the City of Novi Tree Fund (\$400/woodland replacement credit).
- The applicant has stated that they intend to pay \$9,200 (\$400 x 23) into the City of Novi Tree Fund to account for the number of trees that are proposed for removal. Therefore, no further on-site replacements are required and a replacement plan is not needed for this project.
- 7. **Critical root zone**. Accurate critical root zones must be depicted on the site plan for all regulated trees within 50 feet of the proposed grading or construction activities. Section 37-2 defines a critical root zone as a circular area around a tree with a radius measured to the tree's longest dripline radius plus one foot.
 - The applicant has addressed this comment from the rPSP Review and critical root zones are provided on Sheet LP-101.
- 8. A **woodland fence guarantee of \$6,000** (\$5,000 x 120%) is required per Chapter 26.5-37. The financial guarantee shall be paid prior to issuance of the City of Novi Woodland Use Permit.
 - The applicant has provided tree protection fence locations on Sheet LP-101 and details on Sheet LP-100.

Should you have any questions or concerns with this review, please contact me via email at jason.demoss@merjent.com or via phone at (619) 944-3835.

Sincerely,

Merjent, Inc.

Jason DeMoss, PWS Environmental Consultant

won Demoll

Enclosures:

Figure 1 – City of Novi Woodlands Map

CC:

Stacey Choi, City of Novi, schoi@cityofnovi.org
Rick Meader, City of Novi, rmeader@cityofnovi.org
Barbara McBeth, City of Novi, bmcbeth@cityofnovi.org
Taylor Gleaves, Merjent, taylor.gleaves@merjent.com



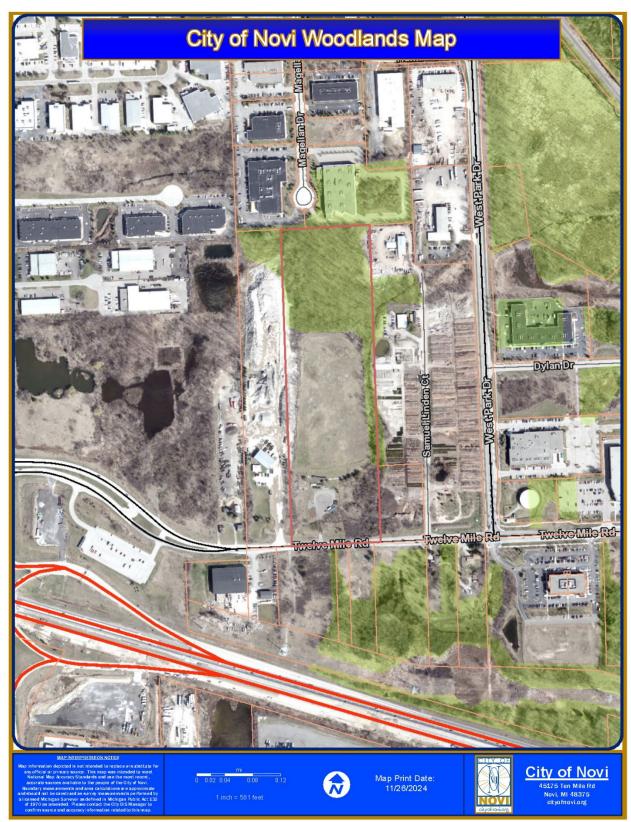
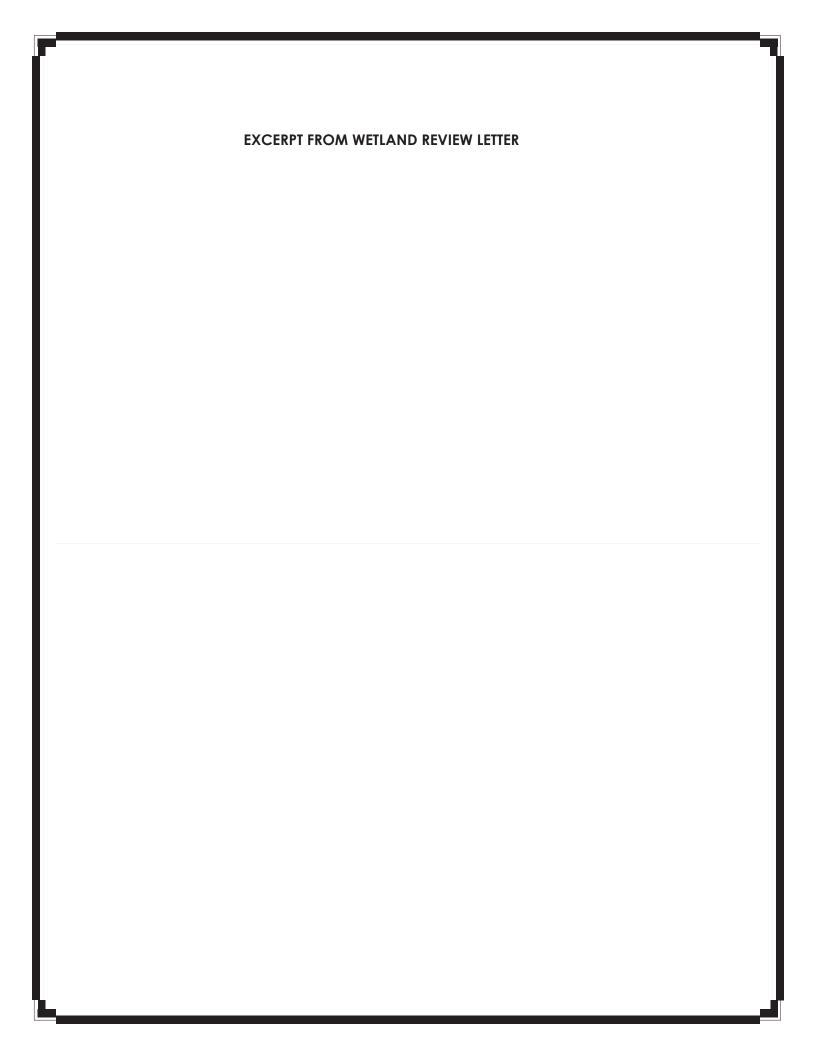


Figure 1. City of Novi Regulated Woodlands Map
Approximate Site boundary is shown in Red.
(Approximate) Regulated Woodland areas are shown in Green.





Based upon a successful inspection for the 2-year warranty the Landscape/Woodland/Street trees financial guarantee will be returned to the Applicant.

If the woodland replacements, street trees, or landscaping guarantee period is scheduled to end during the period when inspections are not conducted (November 15th – April 15th) the Applicant is responsible for contacting the Bond Coordinator and Woodland/Landscape Inspector in the late summer/early fall prior to the 2-year expiration to schedule an inspection.

12. If tree replacements are planted on-site, the Applicant may be required to provide preservation/conservation easements as directed by the City of Novi Community Development Department for any areas of woodland replacement trees. The applicant shall demonstrate that all proposed woodland replacement trees and existing regulated woodland trees to remain will be guaranteed to be preserved as planted with a conservation easement or landscape easement to be granted to the city. This language shall be submitted to the City Attorney for review. The executed easement must be returned to the City Attorney within 60 days of the issuance of the City of Novi Woodland permit. Any associated easement boundaries shall be indicated on the Plan.

Wetlands

Wetland Recommendation: Merjent **recommends approval** of proposed project based on the comments provided below.

Upon review of published resources, the Site appears to contain or immediately borders:

- ☑ City-regulated wetlands, as identified on the City of Novi interactive map website. Note that both wetland and property limits depicted on the City's map are considered approximations (**Figure 2**).
- Wetlands that are regulated by the Michigan Department of Environment, Great Lakes, and Energy (EGLE).
- Wetlands as identified on National Wetland Inventory (NWI) and Michigan Resource Inventory System (MIRIS) maps, as identified on the EGLE Wetlands Viewer interactive map website (**Attachment B**). NWI and MIRIS wetlands are identified by the associated governmental bodies' interpretation of topographic data and aerial photographs.
- ☐ Hydric (wetland) soil as mapped by the U.S. Department of Agriculture, Natural Resource Conservation Service, as identified on the EGLE Wetlands Viewer interactive map website.

Merjent conducted a site visit on November 25, 2024 and observed conditions on-site consistent with the provided PSP. The PSP has multiple wetlands on-site, with one being in proximity to the proposed project.

Permits and Regulatory Status

The City of Novi Code of Ordinances, Chapter 12, Article V defines an essential wetland as meeting one or more of the criteria listed in subsections 12-174(b)(1) through (10). It is Merjent's opinion that the delineated wetlands on-site provide the functional characteristics of stormwater storage capacity and/or wildlife habitat.

Due to the comments below, the following wetland-related considerations may be required for this project (**Table 1**):



Table 1. Permitting Considerations

Item	Required/Not Required
Wetland Permit (specify Non-minor or Minor)	Not Required
Wetland Mitigation	Not Required
Environmental Enhancement Plan	Not Required
Wetland Buffer Authorization	Required
EGLE Wetland Permit	Likely Not Required
Wetland Conservation Easement	Not Required

Wetland Review Comments

- As stated above, Merjent conducted a site visit on November 25, 2024. Select photos are included in Attachment A. Merjent concurs with the location and extent of the wetland located south of the proposed utility extension.
- 2. Based on a review of the PSP, no direct impacts are likely to occur within the wetland located south of the proposed utility extension.
- 3. In addition to wetlands, the City of Novi regulates wetland and watercourse buffers/setbacks. Article 3.0 (Section 3.6 [M]) of the Zoning Ordinance states: "There shall be maintained in all districts a wetland and watercourse setback, as provided herein, unless and to the extent, it is determined to be in the public interest not to maintain such a setback. The intent of this provision is to require a minimum setback from wetlands and watercourses". The established wetland and watercourse buffer/setback limit is 25 horizontal feet, regardless of grade change. The location and area of affected wetland buffers/setbacks must be identified on site development plans.
 - a. The 25-foot setback buffer is identified on the PSP.
 - b. Prior to final site plan approval, the applicant will need to state and describe the nature of the setback impacts, such as: area and volume of cut/fill, permanent or temporary impacts, method(s) of restoration, and displaying the impacts using unique symbology to the buffer impact.
- 4. The City of Novi requires the boundary lines of any watercourses or wetlands on the Site to be clearly flagged or staked and such flagging/staking shall remain in place throughout the conduct of permit activity (Section 12-172). The wetland located south of the proposed utility extension appears to have been flagged likely more than two years ago. Flags were seen on-site but were torn, brittle, and discolored. The site does not need to be re-flagged during the site plan review process, but prior to construction, the wetlands should be marked or identified for avoidance in the field if the original flagging is removed or has deteriorated.
- 5. EGLE regulates wetlands within 500 feet of or directly contiguous to a lake, stream, or pond. The wetland located south of the proposed utility extension may be regulated by EGLE. However, EGLE holds the final jurisdictional determination on wetlands within the State of Michigan, and jurisdictional determination of state regulation cannot be made by Merjent nor the City of Novi.
 - a. Because no impacts are proposed to the wetland south of the proposed utility extension, it is likely that no EGLE permit will be required for this proposed utility extension. However, EGLE holds the final jurisdictional determination on wetlands within the State of Michigan, and the



need for a EGLE permit cannot be determined by Merjent, nor the City of Novi. The applicant can conduct a Pre-application Meeting with EGLE to verify whether the proposed Project will or will not require a permit.

Should you have any questions or concerns with this review, please contact me via email at jason.demoss@merjent.com or via phone at (619) 944-3835.

Sincerely,

Merjent, Inc.

Jason DeMoss, PWS Environmental Consultant

Kulon Demoll

Enclosures:

Figure 1 – City of Novi Woodlands Map Figure 2 – City of Novi Wetlands Map Attachment A – Site Photographs Attachment B – Wetland Resource Document

CC:

Diana Shanahan, City of Novi, <u>dshanahan@cityofnovi.org</u>
Rick Meader, City of Novi, <u>rmeader@cityofnovi.org</u>
Barbara McBeth, City of Novi, <u>bmcbeth@cityofnovi.org</u>
Taylor Gleaves, Merjent, <u>taylor.gleaves@merjent.com</u>





Figure 2. City of Novi Regulated Wetlands Map
Approximate Site boundary is shown in red.
(Approximate) Regulated Wetland areas are shown in blue.





Overview of the forested portion of the site



Overview of the offsite wetland, south of the proposed project. A discolored, torn, flag can be seen in the foreground.



Wetlands Map Viewer





Part 303 Final Wetlands Inventory

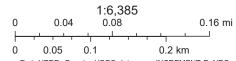
Wetlands as identified on NWI and MIRIS maps

Soil areas which include wetland soils

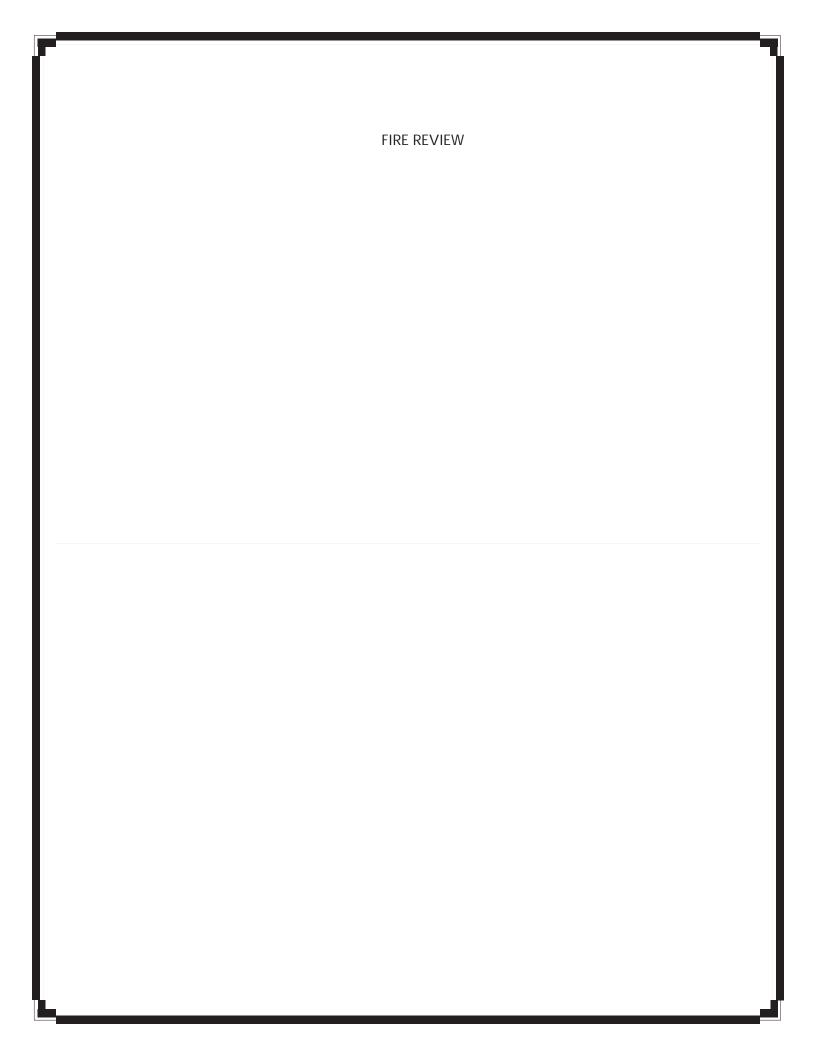
Wetlands as identified on NWI and MIRIS maps and soil areas which include wetland soils

National Wetlands Inventory 2005

Freshwater Emergent Wetland
Freshwater Forested/Shrub Wetland
Freshwater Pond



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community





November 13, 2024

CITY COUNCIL

Mayor Justin Fischer

.. _ _

Mayor Pro Tem Laura Marie Casey

Dave Staudt

Brian Smith

Ericka Thomas

Matt Heintz

Priya Gurumurthy

City Manager Victor Cardenas

Director of Public Safety Chief of Police

Erick W. Zinser

Fire Chief John B. Martin

Assistant Chief of Police

Scott R. Baetens

Assistant Fire Chief

Todd Seog

TO: Barbara McBeth - City Planner Lindsay Bell - Plan Review Center Dan Commer – Plan Review Center Diana Shanahan – Plan Review Center

RE: Crown Utility Extension

PSP#24-051 JSP24-24

Project Description:

New Water utility extension

Comments:

NONE

Recommendation:

The Fire Department has NO objections at this time.

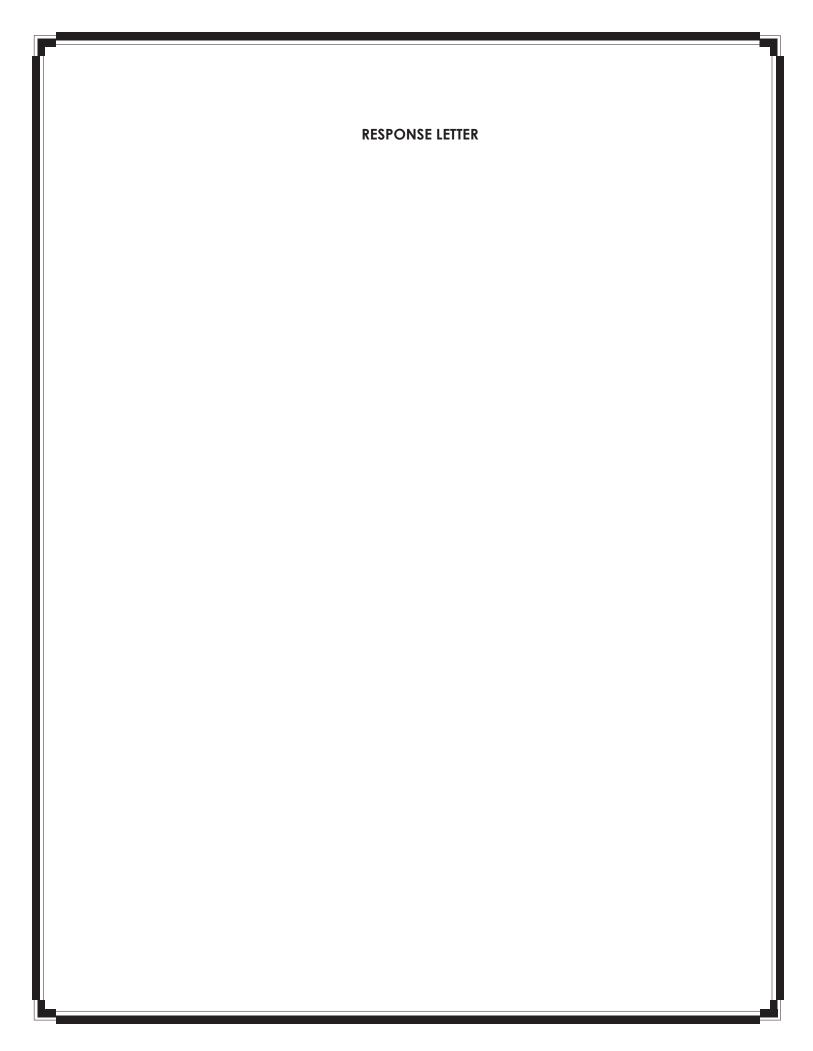
Sincerely,

Andrew Copeland – Acting Fire Marshal City of Novi Fire Department

cc: file

Novi Public Safety Administration 45125 Ten Mile Road Novi, Michigan 48375 248.348.7100 248.347.0590 fax

cityofnovi.org





February 11, 2025

City of Novi Community Development Department Planning Division 45175 West 10 Mile Road Novi, MI 48375

Attn: Dan Commer, Planner

RE: Novi Concrete Plant

Preliminary Site Plan Review 46844 Twelve Mile Road

JSP 24-24

Dan:

Please accept this response to the Revised Preliminary Site Plan comments provided by the City staff and consultants, as communicated in your Plan Review Center Report dated January 30, 2025.

RECOMMENDATION

The revised Preliminary Site Plan is not recommended for approval by staff. There remain several items that will need to be addressed in a 2nd revised preliminary site plan submittal. This project will require a Woodland Use Permit that will need to be approved by the Planning Commission, therefore corrections to the preliminary site plan are required before this project can be scheduled on a future Planning Commission agenda.

ORDINANCE REQUIREMENTS

- 1. Administrative Approval (Sec 6.1.C.ii): A site plan may be reviewed for approval administratively without formal review by the approving body when the plan only proposes the improvement, expansion, extension, or abandonment of any utility line or easement. It has been determined that a woodland permit will be required, thus the project does not qualify for administrative approval, but will be placed on a Planning Commission agenda for consideration at an upcoming meeting.
- 2. Utility Easement: The cul-de-sac was recently reconstructed in 2023 using a cross-section that includes a pavement interlayer, and therefore open-cut construction for utilities will not be permitted at this time. We suggest acquiring the easements as needed that would accommodate construction outside the limits of the pavement, or alternatively, using trenchless technologies (directional drilling, jack and bore) for the utility installation to avoid impacting the pavement.

Response: Trenchless technologies are being proposed for the utility installation to avoid impacting the pavement. Please refer to updated sheet CU-102.

3. Impacted Woodlands: Including a tree survey for all trees within 50 feet of the limit of work and indicate the proposed limit(s) of disturbance and all trees that will be removed or impacted by the project.

<u>Response:</u> A tree survey for all trees within 50 feet of the limit of work is included on sheet Topographic Survey & sheet TPP-2 Tree Inventory List.

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4. Woodland Protection Ordinance (Chapter 37): Please see Woodland Review for additional information.

Woodland Review #2, JSP-24-24

Woodland Review Comments

Requested Edit: The applicant has only provided a list of trees that are to be removed. As stated above and in the PSP Review; pursuant to Section 37-28, an accurate woodland survey should be provided and be accompanied by a separate key identifying the location of all trees eight inches at diameter at breast height (DBH) and greater, by size, common, genus and species names (i.e. Red Maple/Acer rubrum), and condition. The dripline of affected trees shall be clearly indicated on the plan. See Comment 8 (below) for critical root zone information.

Response: A tree survey for all trees is included on sheet Topographic Survey & sheet TPP-2 Tree Inventory List.

Requested Edit: The number of trees to be cut that have a DBH of eight inches or more should be summarized by replacement category (Section 37-8) on the site plan, in a style similar or equivalent to the table provided below.

Response: A Tree Replacement Table has been provided on sheet LP-101.

TREE SIZE (DEH, INCHES)	NUMBER OF TREES	RATIO REPLACEMENT/REMOVE D TREE	TOTAL REPLACEMENTS REQUIRED
8-11	2	1	2
12-20	6	2	12
21-29	3	3	9
TOTAL	11	(4)	23

Requested Edit: The applicant has not proposed planting trees on-site for the impacts nor has proposed payment into the City of Novi Tree Fund. The applicant should state the intended method of accounting for the 19 required replacements based on the rPSP.

Response: The applicant is proposing payment into the City of Novi Tree Fund.

Requested Edit: The applicant has not accurately depicted critical root zones on the site plan. As stated above, any trees within 50 feet of proposed grading or construction activities should have critical root zones depicted. For example, Trees 566 and 731 are within close proximity to proposed impacts. The applicant should verify that critical root zones will not be impacted for these trees.

Response: The critical root zones have been identified on sheets LP-101.

Requested Edit: for Final Site Plan: Appropriate Tree Protection Details are required to be added to the site plan prior to final site plan approval. An example tree protection detail is provided in Attachment B.

Response: Tree protection details are reflected on sheet LP-100.

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We look forward to completion of the Preliminary Site Plan reviews and approvals.

Sincerely,

Andrew Falzarano

Crown Enterprises, LLC