

American Interiors Novi Office

Hudson Drive, Novi, Michigan 48377



400 Galleria Offcentre
Suite 555
Southfield, Michigan 48034
phone 248.352.8310
fax 248.352.1821
ns@neumannsmith.com



AMERICAN INTERIORS
NOVI OFFICE
NOVI, MI

Revisions

10.24.2016 - Preliminary Site
Plan Approval

09.30.2016 - Pre-Application
Meeting

Date Preliminary
09-20-2016 Construction
Drawn Record

CG

Checked Do not scale

SC Use figured

Approved dimensions only

JS

BJapan Number

Job Number

2016104

Title

Title Sheet

Scale: N/A

Sheet

A001

OWNER American Interiors
30553 S. Wixom Road, Suite 200
Wixom, Michigan 48393
P: (248) 624-2255

OWNER'S REP. Program Solutions Group
1718 Indian Wood Circle, Suite D
Maumee, Ohio 43537
P: (419) 461-1831
F: (419) 873-6231

ARCHITECT Neumann/Smith Architecture
400 Galleria Offcentre, Suite 555
Southfield, Michigan 48034
P: (248) 352-8310
F: (248) 352-1821

GENERAL CONTRACTOR

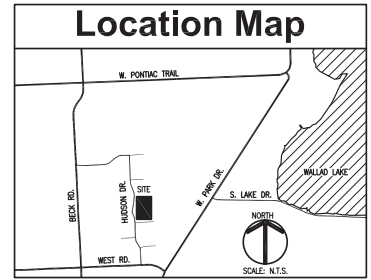
LANDSCAPE ARCHITECT ALLEN DESIGN
557 Carpenter Street
Northville, Michigan 48167
P: (248) 467-4668

CIVIL ENGINEER Seiber Keast Engineering, LLC
100 Main Centre, Suite 10
Northville, Michigan 48167
P: (248) 639-9442

STRUCTURAL ENGINEER Desai/Nasr
Consulting Engineers
6765 Daly Road
West Bloomfield, Michigan 48322
P: (248) 932-2010
F: (248) 932-3088

MECHANICAL / ELECTRICAL ENGINEER Peter Basso Associates
5145 Livernois Road, Suite 100
Troy, Michigan 48098
P: (248) 879-5666
F: (248) 879-0007

INDEX OF DRAWINGS			
NO.	SHEET TITLE	09.30.2016 PRE-APPLICATION MEETING	09.20.2016 SITE PLAN APPROVAL
GENERAL DRAWINGS			
A001	TITLE SHEET	●	●
CIVIL DRAWINGS			
C1	COVER SHEET	●	●
C2	SITE PLAN	●	●
C3	PARKING COMPARISON	●	●
C4	STORM WATER MANAGEMENT PLAN	●	●
LANDSCAPE DRAWINGS			
L1	LANDSCAPE PLAN	●	●
L2	LANDSCAPE DETAILS	●	●
ARCHITECTURAL DRAWINGS			
A031	CODE COMPLIANCE PLANS	●	●
A032	CODE COMPLIANCE PLANS	●	●
A201	OVERALL FLOOR PLANS	●	●
A202	OVERALL ROOF PLAN	●	●
A401	EXTERIOR ELEVATIONS	●	●
A402	EXTERIOR RENDERED ELEVATIONS	●	●
A411	BUILDING SECTIONS	●	●
ELECTRICAL DRAWINGS			
L003	ELECTRICAL SITE PLAN	●	●
L004	ELECTRICAL ELEVATIONS	●	●

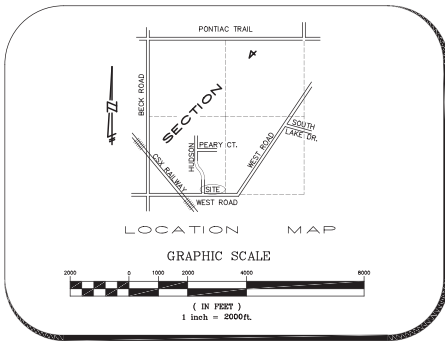


● DRAWINGS ISSUED
○ DRAWINGS ISSUED FOR REFERENCE ONLY

PRELIMINARY SITE PLAN

AMERICAN INTERIORS NOVI OFFICE

SECTION 4, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI,
OAKLAND COUNTY, MICHIGAN
PREPARED FOR:



LEGAL DESCRIPTION

DEED: JLM-NOVI, LLC to AMERICAN INTERIORS-DETROIT, LLC
LIBER 47747 PAGE 368

LAND SITUATED IN THE CITY OF NOVI, COUNTY OF OAKLAND, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:

UNIT 2 AND 3, OF BECK NORTH CORPORATE PARK-NOVA, A (SITE) CONDOMINIUM PROJECT, ACCORDING TO THE CONSOLIDATING MASTER DEED RECORDED IN LIBER 29298 PAGE 637 THROUGH 669, INCLUSIVE, AS AMENDED BY THE FOLLOWING AMENDMENTS:

- FIRST AMENDMENT RECORDED IN LIBER 31408, PAGES 491 THROUGH 504, INCLUSIVE,
- SECOND AMENDMENT RECORDED IN LIBER 31868, PAGES 400 THROUGH 402, INCLUSIVE,
- THIRD AMENDMENT RECORDED IN LIBER 39407, PAGES 518 THROUGH 530, INCLUSIVE,
- FOURTH AMENDMENT RECORDED IN LIBER 40084, PAGES 777 THROUGH 783, INCLUSIVE,
- FIFTH AMENDMENT RECORDED IN LIBER 47255, PAGES 841 THROUGH 851, INCLUSIVE, AND DESIGNATED AS OAKLAND COUNTY CONDOMINIUM SUBDIVISION PLAN No. 1264, TOGETHER WITH RIGHTS IN GENERAL COMMON ELEMENTS AND LIMITED COMMON ELEMENTS AS SET FORTH IN THE ABOVE MASTER DEED AND AS DESCRIBED IN ACT 59 OF THE PUBLIC ACTS OF 1978, AS AMENDED.

PARCEL No.
50-22-04-378-002 (UNIT 2)
50-22-04-378-003 (UNIT 3)

COMMONLY KNOWN AS: WEST ROAD / VACANT, NOVI, MI

BENCHMARKS

BM#1 - (CITY OF NOVI BM 431)
"X" ON EAST NORTHEAST FLANGE BOLT OF FIRE HYDRANT LOCATED 20 FT EAST OF CENTERLINE OF HUDSON DRIVE AND ACROSS FROM PROPERTIES #29545 - #29575 HUDSON DRIVE, ELEVATION 949.86 (CITY OF NOVI DATUM)

BM#2 - (CITY OF NOVI BM 432)
"X" ON EAST NORTHEAST FLANGE BOLT OF FIRE HYDRANT LOCATED ACROSS FROM INTERSECTION OF RYAN COURT AND HUDSON DRIVE (8 FT EAST OF BACK OF CURB), ELEVATION 949.92 (CITY OF NOVI DATUM)



SHEET INDEX

ENGINEERING PLANS:

1. COVER SHEET
2. SITE PLAN
3. PARKING REQUIREMENTS
4. STORM WATER MANAGEMENT PLAN

LANDSCAPE PLANS:

L-1 LANDSCAPE PLAN
L-1.1 LANDSCAPE PLAN
L-2 LANDSCAPE DETAILS

- ### NOTES
1. ALL WORK SHALL CONFORM TO THE CITY OF NOVI'S CURRENT STANDARDS AND SPECIFICATIONS.
 2. THE CONTRACTOR MUST OBTAIN A PERMIT FROM THE CITY OF NOVI FOR ANY WORK WITHIN THE RIGHT-OF-WAY OF HUDSON DRIVE.
 3. ALL PAVEMENT MARKINGS, TRAFFIC CONTROL SIGNS, AND PARKING SIGNS SHALL COMPLY WITH THE DESIGN AND PLACEMENT REQUIREMENTS OF THE 2011 MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 4. THE SUBJECT PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA, PER THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP, MAP NUMBER 26125C0499F, EFFECTIVE DATE SEPTEMBER 29, 2006

- ### FIRE DEPARTMENT NOTES
1. ALL FIRE HYDRANTS AND WATER MAINS SHALL BE INSTALLED AND IN SERVICE PRIOR TO ABOVE FOUNDATION BUILDING CONSTRUCTION AS EACH PHASE IS BUILT.
 2. ALL ROADS SHALL BE PAVED AND CAPABLE OF SUPPORTING 35 TONS PRIOR TO CONSTRUCTION ABOVE FOUNDATION.
 3. BUILDING ADDRESSES SHALL BE POSTED FACING THE STREET DURING ALL PHASES OF CONSTRUCTION. ADDRESSES SHALL BE A MINIMUM OF THREE INCHES IN HEIGHT ON A CONTRASTING BACKGROUND.
 4. PROVIDE 4-6" DIAMETER CONCRETE FILLED STEEL POSTS 48" ABOVE FINISH GRADE AT EACH HYDRANT AS REQUIRED.
 5. FIRE LANES SHALL BE POSTED WITH "FIRE LANE - NO PARKING" SIGNS IN ACCORDANCE WITH ORDINANCE #85.99.02.

400 Galleria Offcentre
Suite 555
Southfield, Michigan 48034
phone 248.352.8310
fax 248.352.1821
ns@neumannsmith.com

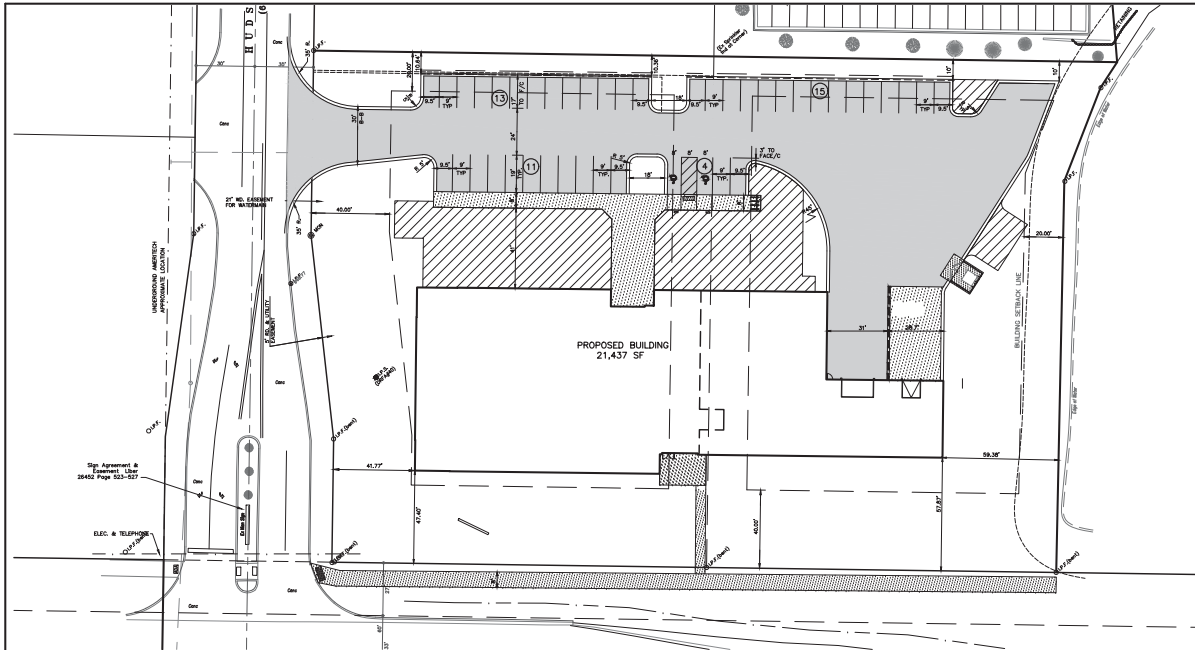
SEIBER, KEAST ENGINEERING, L.L.C.
CONSULTING ENGINEERS
100 MAINCENTRE • SUITE 10 • NORTHVILLE, MICHIGAN • 48167
PHONE: 248.308.3331 EMAIL: INFO@SEIBERKEAST.COM

LANDSCAPE PLANS PREPARED BY:
ALLEN DESIGN
LAND PLANNING / LANDSCAPE ARCHITECTURE
557 CARPENTER
NORTHVILLE, MICHIGAN 48167
PHONE: 248.467.4668

SURVEY PROVIDED BY:
FREDERICK AND ASSOCIATES, INC.
4645 NORTH SUMMIT STREET
TOLEDO, OHIO 43611
PHONE: 419.340.2650

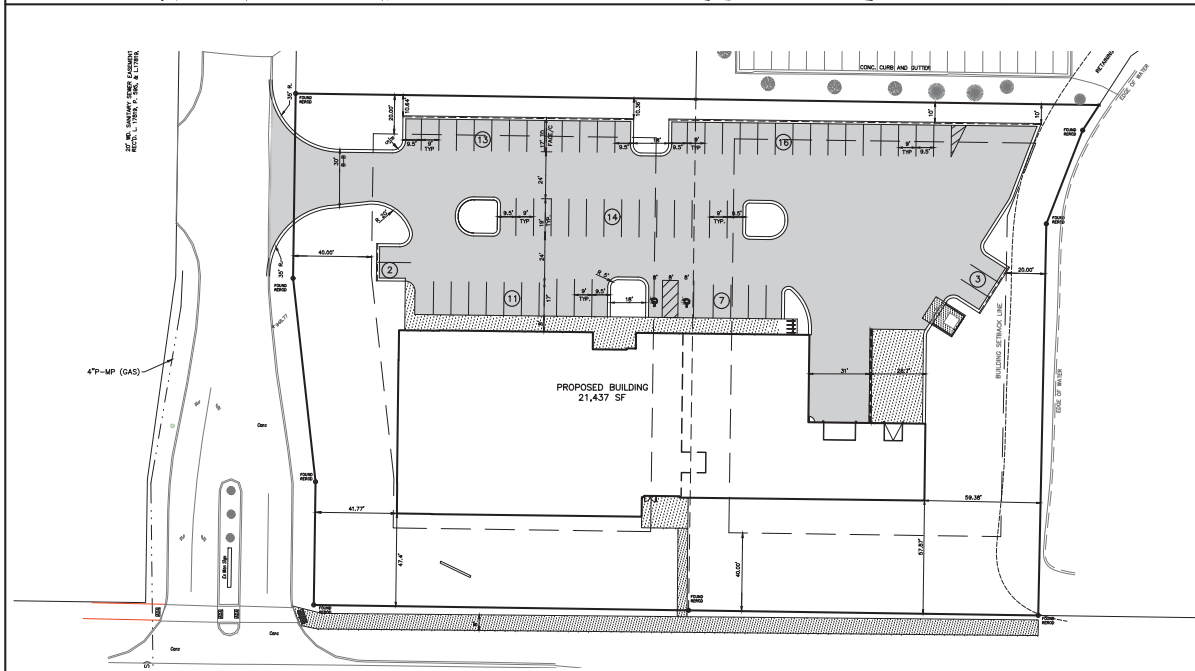
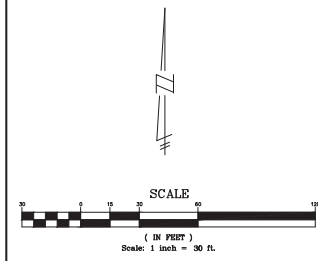
REVISIONS			ENGINEER'S SEAL
NO.	DATE	DESCRIPTION	
1.	09-30-2016	PRE-APPLICATION MEETING	
2.	10-24-2016	PRELIMINARY SITE PLAN	

DATE: 09-30-16 DESIGNED BY: A.A. JOB NUMBER: 16-024
CHECKED BY: R.R. LUBIANO FILE: 16-0242-03



PROPOSED PARKING LAYOUT
 (43 PARKING SPACES)
 (23 LAND BANK SPACES)

INDICATES LAND BANK AREA



EXPANDED PARKING LAYOUT
 (66 PARKING SPACES)

PROPOSED PARKING

Total Floor Area = 21,437 SF.*	
Warehouse = 700 SF. Total Usable Area	
Office = 14,448 SF. Gross Leasable Area	
* FROM ARCHITECTURAL PLANS	
Warehouse - 700 SF. @ 1 Space/700 SF. = 1.00	1 space
Office - 14,448 SF. @ 1 Space/222 SF. = 65.08	65 spaces
Parking Spaces Required =	66 spaces
Total Spaces Required =	
Parking Spaces Provided =	43 spaces
Parking Spaces Land Banked =	23 spaces
Total Spaces Provided =	66 spaces

LEGEND

EXISTING	PROPOSED	PAVEMENT (ASPHALT)
SIDE WALK (CONCRETE)	CONCRETE CURB AND GUTTER	STORM SEWER
SANITARY SEWER	WATER MAIN	MANHOLE
CATCH BASIN W/STREAM GUARD	CURB INLET W/SILT SAC	END SECTION
STAND PIPE	GATE VALVE	HYDRANT
FLOOD PLAN	CONTOURS	SPOT ELEVATION
SURFACE DRAINAGE	OVERFLOW ROUTE	TREE FENCE
SILT FENCE	PROPOSED DRIVEWAY	LIMIT OF DISTURBANCE
WETLANDS	WETLAND BUFFER	

NO.	DATE	DESCRIPTION
1	09-10-16	PRELIMINARY SITE PLAN
2	10-24-2016	REVISIONS

UTILITY WARNING
 UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THE PLAN WERE OBTAINED FROM UTILITY OWNER AND NOT FIELD LOCATED.

811 Know what's below. Call before you dig.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF AND/OR RELOCATION OF ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION.

DATE: 09-30-16 DESIGNED BY: A.A. CHECKED BY: R.E. JOB NUMBER: 16-024

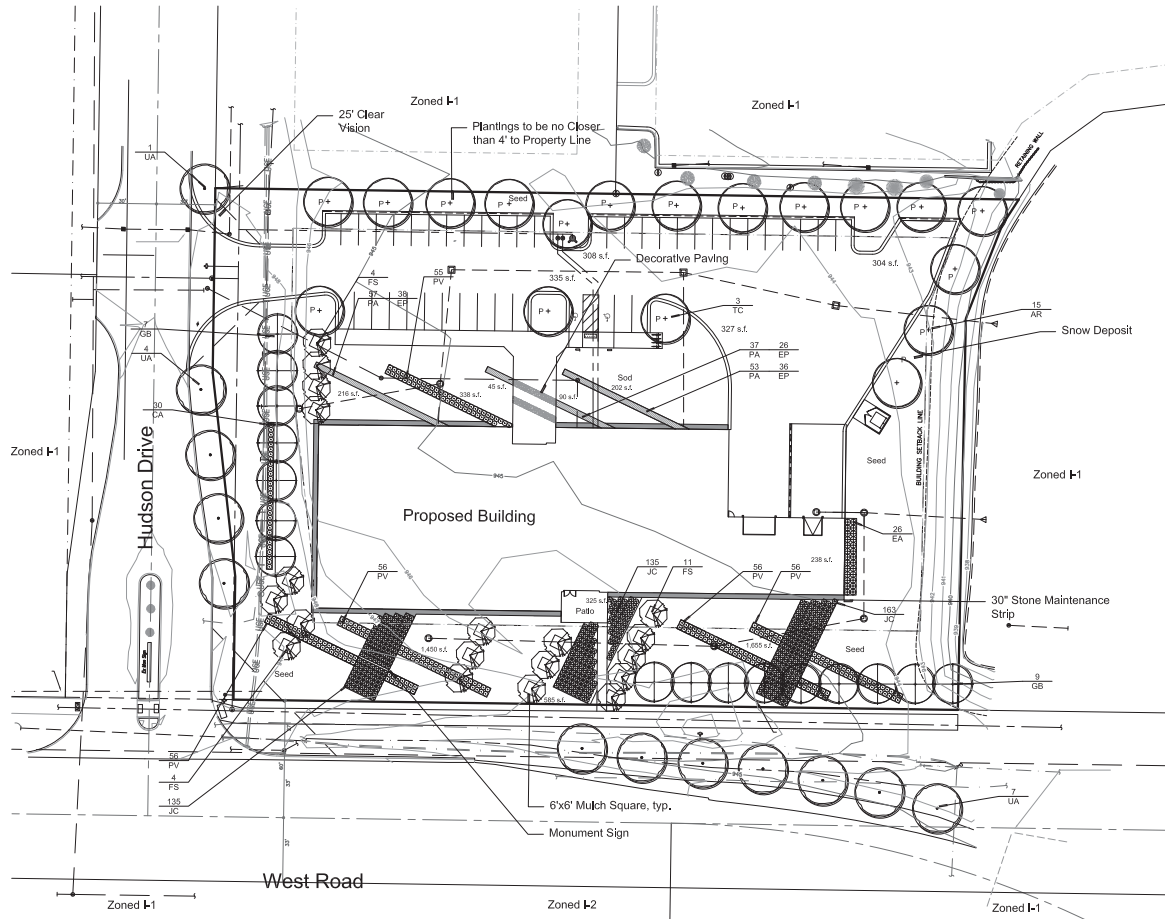
AMERICAN INTERIORS
 SECTION 4 TOWN 1 NORTH, RANGE 8 EAST
 CITY OF NOVL, OAKLAND COUNTY, MICHIGAN

PARKING REQUIREMENTS

SEIBER, KEAST ENGINEERING, L.L.C.

CONSULTING ENGINEERS
 100 MANCINI DRIVE SUITE 104 NORTVILLE, MI 48867
 PHONE: 248.308.3331 EMAIL: info@seiberkeast.com

SHEET **3**



Landscape Summary

Existing Zoning	I-1
Parking Lot Landscaping	
Parking Space Area	6,923 s.f.
Vehicular Use Area	14,516 s.f.
Landscape Area Required	775 s.f.
6,923 s.f. x 7% = 485 s.f.	
14,516 s.f. x 2% = 290 s.f.	
Landscape Area Shown	1,274 s.f.
Canopy Trees Required	11 Trees (775 / 75)
Canopy Trees Shown	11 Trees
Parking Lot Perimeter	
Perimeter	228 l.f.
Trees Required	7 Trees (228 l.f. / 35)
Trees Shown	7 Trees
Building Foundation Landscaping	
Perimeter of Building	745 l.f.
Landscape Area Required	5,960 s.f. (745 l.f. x 8)
Landscape Area Shown	5,144 s.f. (Waiver Requested)
Greenbelt Plantings	
Hudson Drive	
Street Frontage	262 l.f.
Trees Required	7 Trees (262 l.f. / 40)
Trees Shown	7 Trees
Sub-Canopy Trees Required	8 Trees (262 l.f. / 35)
Sub-Canopy Trees Shown	8 Trees
Plant Massing Required	66 l.f. (262 l.f. / 25%)
Plant Massing Provided	73 l.f.
West Road	
Street Frontage	370 l.f.
Trees Required	9 Trees (370 l.f. / 40)
Trees Shown	9 Trees
Sub-Canopy Trees Required	11 Trees (370 l.f. / 35)
Sub-Canopy Trees Shown	11 Trees
Street Lawn	
Hudson Drive	
Street Frontage	262 l.f.
Trees Required	5 Trees (262 l.f. / 55)
Trees Shown	5 Trees
West Road	
Street Frontage	370 l.f.
Trees Required	7 Trees (370 l.f. / 55)
Trees Shown	7 Trees

Plant List

code	botanical name	common name	caliper	spacing	soil	height	price	total
PA	15' Acer rubrum 'October Glory'	October Glory Red Maple	3.0"	as shown	BAB	\$ 400.00	\$ 6,000.00	
TC	3' Tilia cordata 'Greenspire'	Greenspire Linden	3.0"	as shown	BAB	\$ 400.00	\$ 1,200.00	
UA	3' Thuja occidentalis 'Smaragdula'	Smaragdula Arborvitae	3.0"	as shown	BAB	\$ 400.00	\$ 1,200.00	
CA	30' Calluna vulgaris 'Karl Foerster'	Karl Foerster Fountain Grass	as shown	#2 core		\$ 15.00	\$ 450.00	
FS	18' Fagus sylvatica 'Sapporo Autumn Color'	Sapporo Autumn Color Beech	2.5"	as shown	BAB	\$ 260.00	\$ 4,700.00	
GB	16' Ginkgo biloba	Ginkgo	3.0"	as shown	BAB	\$ 400.00	\$ 6,400.00	
UA	12' Ulmus 'Accolade'	Accolade Elm	3.0"	as shown	BAB	\$ 400.00	\$ 4,800.00	
EP	100' Echinacea p. 'Tomato Soup'	Tomato Soup Coneflower	18" o.c.	#1 core		\$ 15.00	\$ 1,500.00	
UC	609' Juniperus 'Grey Owl'	Grey Owl Juniper	as shown	#40 core		\$ 50.00	\$ 30,450.00	
PA	147' Picea canadensis 'Little Spire'	Little Spire Russian Spruce	18" o.c.	#1 core		\$ 15.00	\$ 2,205.00	
PV	279' Phlox paniculata 'Shirleyhoopoe'	Shirleyhoopoe Switchgrass	as shown	#2 core		\$ 15.00	\$ 4,185.00	
	Injection						\$ 8,500.00	
	3,800 Kentucky Blue Grass Seed (S.V.)					\$2 7/8 y.	\$ 7,380.00	
	1,400 Kentucky Blue Grass Seed (S.V.)					18 1/4 y.	\$ 4,500.00	
	45' 4" Deep Shredded Hardwood Bark Mulch					\$350 y.	\$ 1,575.00	
						total	\$ 82,215.00	

Seal:



Title:

Landscape Plan

Project:

American Interiors
Novi, Michigan

Prepared for:

Selber Keast Associates, Inc.
100 Main Centre, Suite 10
Northville, Michigan 48167
248.308.3331

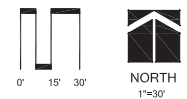
Revision: Issued:
Pre-Application Meeting September 20, 2016
Revised October 24, 2016

Job Number:

16164

Drawn By: Checked By:

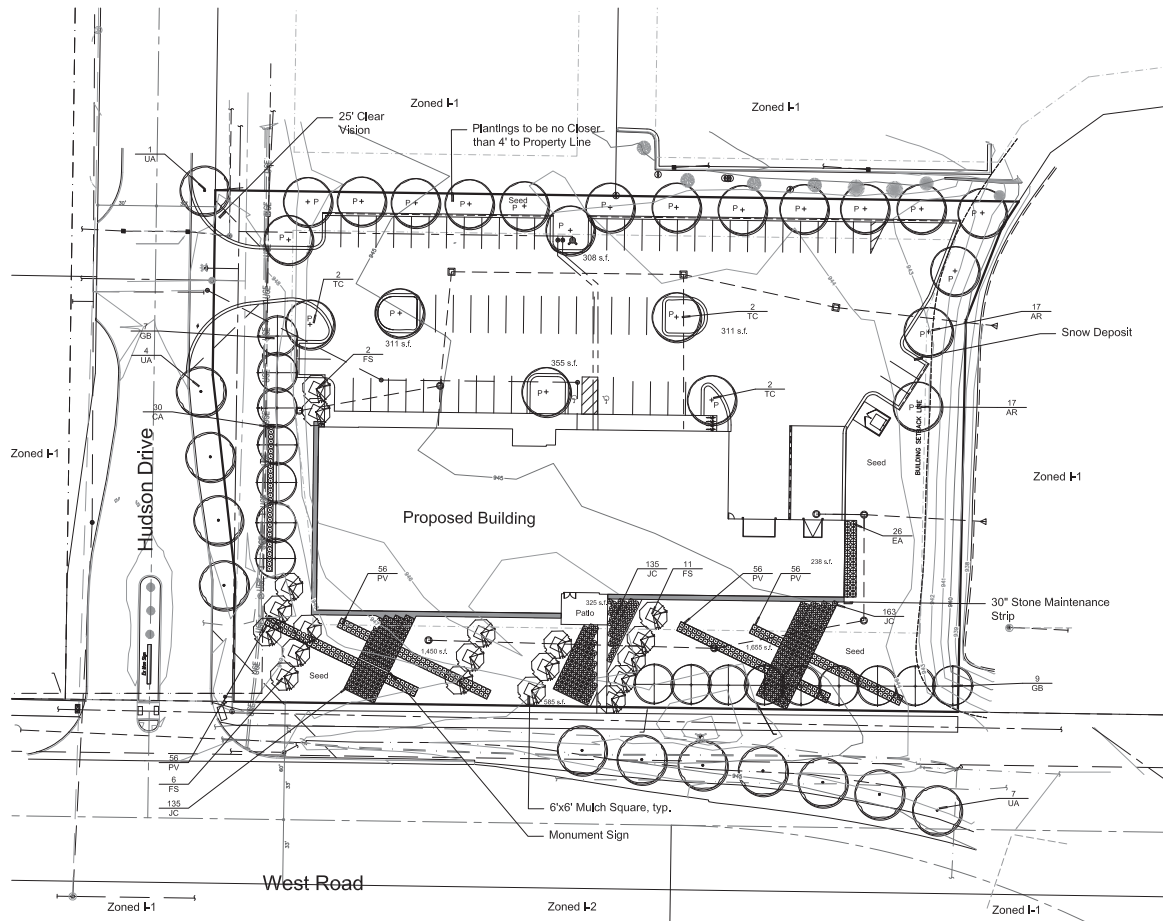
jca jca



Sheet No.



L-1



Note:
 No Regulated Woodlands Exist
 on this Property.

Landscape Summary

Existing Zoning	I-1
Parking Lot Landscaping	
Parking Space Area	10,021 s.f.
Vehicular Use Area	20,810 s.f.
Landscape Area Required	1,117 s.f.
10,021 s.f. x 7% = 701 s.f.	
20,810 s.f. x 2% = 416 s.f.	
Landscape Area Shown	1,278 s.f.
Canopy Trees Required	15 Trees (1,117 / 75)
Canopy Trees Shown	15 Trees
Parking Lot Perimeter	
Perimeter	228 l.f.
Trees Required	7 Trees (228 l.f. / 35)
Trees Shown	7 Trees
Building Foundation Landscaping	
Perimeter of Building	745 l.f.
Landscape Area Required	5,960 s.f. (745 l.f. x 8)
Landscape Area Shown	3,928 s.f. (Waiver Requested)
Greenbelt Plantings	
Hudson Drive	
Street Frontage	262 l.f.
Trees Required	7 Trees (262 l.f. / 40)
Trees Shown	7 Trees
Sub-Canopy Trees Required	8 Trees (262 l.f. / 35)
Sub-Canopy Trees Shown	8 Trees
Plant Massing Required	66 l.f. (262 l.f. / 25%)
Plant Massing Provided	73 l.f.
West Road	
Street Frontage	370 l.f.
Trees Required	9 Trees (370 l.f. / 40)
Trees Shown	9 Trees
Sub-Canopy Trees Required	11 Trees (370 l.f. / 35)
Sub-Canopy Trees Shown	11 Trees
Street Lawn	
Hudson Drive	
Street Frontage	262 l.f.
Trees Required	5 Trees (262 l.f. / 55)
Trees Shown	5 Trees
West Road	
Street Frontage	370 l.f.
Trees Required	7 Trees (370 l.f. / 55)
Trees Shown	7 Trees

Plant List

code	botanical name	common name	caliper	spacing	tree	height	price	total
Parking Lot and Perimeter Trees								
45	17' Acer rubrum 'October Glory'	October Glory Red Maple	3.0"	as shown	B&B		\$ 400.00	\$ 6,800.00
TC	5 Tilia cordata 'Greenspire'	Greenspire Linden	3.0"	as shown	B&B		\$ 400.00	\$ 2,000.00
Greenbelt and Street Lawn Plantings								
CA	30 Calluna ssp. 'acutifolia'	Karl Foerster Fountain Grass		as shown	#2 core		\$ 15.00	\$ 450.00
FS	18 Fagus s. 'Seymour's Purple'	Seymour's Purple Beech	2.0"	as shown	B&B		\$ 250.00	\$ 4,500.00
GB	16 Quercus bicolor	White Oak	3.0"	as shown	B&B		\$ 400.00	\$ 6,400.00
UA	12 Ulmus 'Accolade'	Accolade Elm	3.0"	as shown	B&B		\$ 400.00	\$ 4,800.00
Building Foundation								
EB	56 Echinocystis alba 'Compacta'	Compact Burning Bush		as shown	#8"		\$ 50.00	\$ 1,300.00
JC	409 Juncus s. 'Grey Owl'	Grey Owl Juniper		as shown	#5 core		\$ 50.00	\$ 21,450.00
PV	225 Paspalum s. 'Shenandoah'	Shenandoah Switchgrass		as shown	#2 core		\$ 15.00	\$ 3,375.00
Irregular								
	3,690 Kentucky Blue Grass Seed (S.V.)				ED 1/4"			\$ 6,500.00
	1,400 Kentucky Blue Grass Seed (S.V.)				1/4" x 1/4"			\$ 7,380.00
	45 4" Deep Shredded Hardwood Bark Mulch				3/8" x 1/2"			\$ 1,575.00
								\$ 17,885.00

Seal:



Title:

Landscape Plan
 Landbank Parking Plan

Project:

American Interiors
 Novi, Michigan

Prepared for:

Seiber Keast Associates, Inc.
 100 Main Centre, Suite 10
 Northville, Michigan 48167
 248.308.3331

Revision: Issued:

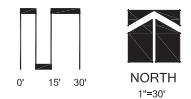
Pre-Application Meeting September 20, 2016
 Revised October 24, 2016

Job Number:

164064

Drawn By: Checked By:

jca jca



Sheet No.



L-1.1

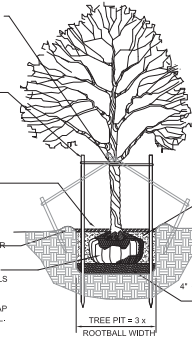
NOTE:
GUY DECIDUOUS TREES ABOVE 3' CAL. STAKE DECIDUOUS TREES BELOW 3' CAL.

STAKE TREES AT FIRST BRANCH USING 2"-3" WIDE BELT-LIKE NYLON OR PLASTIC STRAPS. ALLOW FOR SOME MINIMAL FLEXING OF THE TREE. REMOVE AFTER ONE YEAR.

2" X 2" HARDWOOD STAKES. MIN. 36" ABOVE GROUND FOR UPRIGHT, 18" IF ANGLED. DRIVE STAKES A MIN. 18" INTO UNDISTURBED GROUND OUTSIDE ROOTBALL. REMOVE AFTER ONE YEAR.

MULCH 4" DEPTH WITH SHREDED HARDWOOD BARK. NATURAL IN COLOR. LEAVE 3" CIRCLE OF BARE SOIL AT BASE OF TREE TRUNK.

MOUND EARTH TO FORM SAUCER.
REMOVE ALL NON-BIODEGRADABLE MATERIALS COMPLETELY FROM THE ROOTBALL. CUT DOWN WIRE BASKET AND FOLD DOWN BURLAP FROM TOP 1/2 OF THE ROOTBALL.



NOTE:
TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 4" ABOVE GRADE. IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.

DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.

REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE GIRDLING.

PLANTING MIXTURE: AMEND SOILS PER SITE CONDITIONS AND REQUIREMENTS OF THE PLANT MATERIAL.

SCARIFY SUBGRADE AND PLANTING PIT SIDES. RECOMPACT BASE OF TO 4" DEPTH.

NOTE:
GUY EVERGREEN TREES ABOVE 12' HEIGHT. STAKE EVERGREEN TREES BELOW 12' HEIGHT.

STAKE TREES AT FIRST BRANCH USING 2"-3" WIDE BELT-LIKE NYLON OR PLASTIC STRAPS. ALLOW FOR SOME MINIMAL FLEXING OF THE TREE. REMOVE AFTER ONE YEAR.

2" X 2" HARDWOOD STAKES. MIN. 36" ABOVE GROUND FOR UPRIGHT, 18" IF ANGLED. DRIVE STAKES A MIN. 18" INTO UNDISTURBED GROUND OUTSIDE ROOTBALL. REMOVE AFTER ONE YEAR.

MULCH 4" DEPTH WITH SHREDED HARDWOOD BARK. NATURAL IN COLOR. LEAVE 3" CIRCLE OF BARE SOIL AT BASE OF TREE TRUNK. MOUND EARTH TO FORM SAUCER.

REMOVE ALL NON-BIODEGRADABLE MATERIALS COMPLETELY FROM THE ROOTBALL. CUT DOWN WIRE BASKET AND FOLD DOWN BURLAP FROM TOP 1/2 OF THE ROOTBALL.



NOTE:
TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 4" ABOVE GRADE. IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.

DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.

REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE GIRDLING.

PLANTING MIXTURE: AMEND SOILS PER SITE CONDITIONS AND REQUIREMENTS OF THE PLANT MATERIAL.

SCARIFY SUBGRADE AND PLANTING PIT SIDES. RECOMPACT BASE OF TO 4" DEPTH.

NOTE:
TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 4" ABOVE GRADE. IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.

PRUNE ONLY DEAD OR BROKEN BRANCHES.

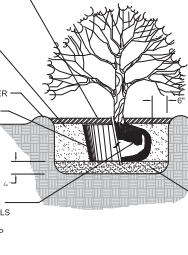
REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE GIRDLING.

MULCH 3" DEPTH WITH SHREDED HARDWOOD BARK. NATURAL IN COLOR.

PLANTING MIXTURE: AMEND SOILS PER SITE CONDITIONS AND REQUIREMENTS OF THE PLANT MATERIAL. MOUND EARTH TO FORM SAUCER.

REMOVE COLLAR OF ALL FIBER POTS. POTS SHALL BE CUT TO PROVIDE FOR ROOT GROWTH. REMOVE ALL NONORGANIC CONTAINERS COMPLETELY.

REMOVE ALL NON-BIODEGRADABLE MATERIALS COMPLETELY FROM THE ROOTBALL. FOLD DOWN BURLAP FROM TOP 1/2 OF THE ROOTBALL.



DECIDUOUS TREE PLANTING DETAIL

EVERGREEN TREE PLANTING DETAIL

SHRUB PLANTING DETAIL

NOT TO SCALE

Seal:



Title:
Landscape Details

Project:

American Interiors
Novi, Michigan

Prepared for:

Seiber Keast Associates, Inc.
100 Main Centre, Suite 10
Northville, Michigan 48167
248.308.3331

Revision:

Pre-Application Meeting
Revised

Issued:

September 20, 2016
October 24, 2016

Job Number:

16-064

Drawn By:

jca

Checked By:

jca



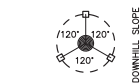
NORTH

Sheet No.

L-2

PERENNIAL PLANTING DETAIL

Not to scale

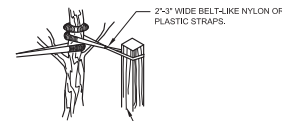


STAKING/GUYING LOCATION



GUYING DETAIL

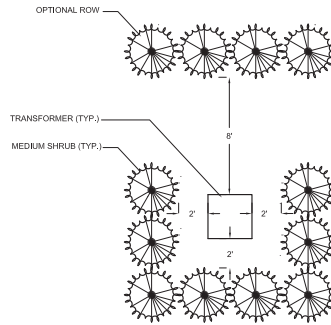
NOTE:
ORIENT STAKING/GUYING TO PREVAILING WINDS, EXCEPT ON SLOPES GREATER THAN 3:1. ORIENT TO SLOPE. USE SAME STAKING/GUYING ORIENTATION FOR ALL PLANTS WITHIN EACH GROUPING OR AREA.



STAKING DETAIL

TREE STAKING DETAIL

Not to scale



TRANSFORMER SCREENING DETAIL

Not to scale

LANDSCAPE NOTES

- All plants shall be north Midwest American region grown, No. 1 grade plant materials, and shall be true to name, free from physical damage and wind burn.
- Plants shall be full, well-branched, and in healthy vigorous growing condition.
- Plants shall be watered before and after planting is complete.
- All trees must be staked, fertilized and mulched and shall be guaranteed to exhibit a normal growth cycle for at least two (2) full years following City approval.
- All material shall conform to the guidelines established in the most recent edition of the American Standard for Nursery Stock.
- Provide clean backfill soil, using material stockpiled on site. Soil shall be screened and free of any debris, foreign material, and stone.
- "Agriform" tabs or similar slow-release fertilizer shall be added to the planting pits before being backfilled.
- Amended planting mix shall consist of 1/3 screened topsoil, 1/3 sand and 1/3 peat, mixed well and spread to the depth as indicated in planting details.
- All plantings shall be mulched per planting details located on this sheet.
- The Landscape Contractor shall be responsible for all work shown on the landscape drawings and specifications.
- No substitutions or changes of location, or plant types shall be made without the approval of the Landscape Architect.
- The City of Novi Landscape Architect shall be notified in writing of any discrepancies between the plans and field conditions prior to installation.
- The Landscape Contractor shall be responsible for maintaining all plant material in a vertical condition throughout the guaranteed period.
- The Landscape Architect shall have the right, at any stage of the installation, to reject any work or material that does not meet the requirements of the plans and specifications. If requested by owner.
- Contractor shall be responsible for checking plant quantities to ensure quantities on drawings and plant list are the same. In the event of a discrepancy, the quantities on the plans shall prevail.
- The Landscape Contractor shall seed and mulch or sod (as indicated on plans) all areas disturbed during construction, throughout the contract term.
- A pre-emergent weed control agent, "Preem" or equal, shall be applied uniformly on top of all mulching in all planting beds.
- All landscape areas shall be provided with an underground automatic sprinker system.
- Sod shall be two year old "Baron/Cherished" Kentucky Blue Grass grown in a sod nursery on loam soil.

CITY OF NOVI NOTES

- All landscape islands shall be backfilled with a sand mixture to facilitate drainage.
- All proposed landscape islands shall be curbed.
- All landscape areas shall be irrigated.
- Overhead utility lines and poles to be relocated as directed by utility company of record.
- Evergreen and canopy trees shall be planted a minimum of 10' from the hydrant, and manhole, 15' from overhead wires.
- All plant material shall be guaranteed for two (2) years after City Approval and shall be installed and maintained according to City of Novi standards. Replace Falling Material During the Next Appropriate Planting Period. One cullivation shall occur in July-August.
- All proposed street trees shall be planted a minimum of 4' from both the back of curb and proposed walks.
- All tree and shrub planting beds shall be mulched with shredded hardwood bark, spread to minimum depth of 4". All lawn area trees shall have a 4" diameter circle of shredded hardwood mulch 3' away from trunk. All perennial, annual and ground cover beds shall receive 2" of clean colored bark mulch as indicated on the plant list. Mulch is to be free from debris and foreign material, and shall contain no pieces of inconsistent size.
- All Substitutions or Deviations from the Landscape Plan Must be Approved in Writing by the City of Novi Prior to their Installation.

NOTES:
THE APPROXIMATE DATE OF INSTALLATION FOR THE PROPOSED LANDSCAPE WILL BE BETWEEN MARCH/NOVEMBER 2017.

THE SITE WILL BE MAINTAINED BY THE DEVELOPER IN ACCORDANCE WITH THE STANDARDS SET FORTH IN THE CITY OF NOVI ZONING ORDINANCE. THIS INCLUDES WEEDING AND WATERING AS REQUIRED BY NORMAL MAINTENANCE PRACTICES.

DEVELOPER SHALL BE RESPONSIBLE FOR REPLACING ANY TREES WITHIN UTILITY EASEMENTS THAT ARE DAMAGED THROUGH NORMAL MAINTENANCE OR REPAIRS.

PLANT MATERIALS SHALL BE GUARANTEED FOR 2 YEARS AND SHALL BE MAINTAINED IN ACCORDANCE WITH CITY ORDINANCES. WARRANTY PERIOD BEGINS AT THE TIME OF CITY APPROVAL. WATERING AS NECESSARY SHALL OCCUR DURING THE WARRANTY PERIOD.



400 Galleria Officecenter
Suite 555
Southfield, Michigan 48034
phone 248.352.8310
fax 248.352.1821
ns@neumannsmith.com



AMERICAN INTERIORS
NOVI OFFICE
NOVI, MI

Revisions

10.24.2016 - Preliminary Site
Plan Approval
09.30.2016 - Pre-Application
Meeting

Date: Preliminary
09-20-2016
Drawn: Construction
 Record
CG: Checked
SC: Approved
Do not scale
Use figured
dimensions only

SC
Blipak Number
Job Number
2016104
Title
**Code
Compliance Plan**

Scale: 1/8" = 1'-0"
Sheet
A031

C O D E D A T A	
CODES OF JURISDICTION	
1. 2012 MICHIGAN BUILDING CODE	
2. MICHIGAN PLUMBING CODE INCORPORATION THE 2012 EDITION OF THE INTERNATIONAL BUILDING CODE	
3. MICHIGAN MECHANICAL CODE INCORPORATING THE 2012 EDITION OF THE MECHANICAL CODE	
4. MICHIGAN UNIFORM ENERGY CODE INCORPORATION THE 2009 EDITION OF THE INTERNATIONAL ENERGY CODE	
5. 2014 NATIONAL ELECTRICAL CODE (NEC) (WITH MICHIGAN ELECTRICAL CODE)	
6. AMERICANS WITH DISABILITY ACT - ACCESSIBILITY GUIDELINES (ADAAG)	
BUILDING DATA	
1 STORY	
BUSINESS USE:	12,400 sf
S-1 USE:	7,387 sf
TOTAL CODE GROSS SQUARE FOOTAGE: 19,787 sf	
CODE GROSS MEZZANINE SQUARE FOOTAGE: 1,650 sf	
USE GROUP: B, S-1	
CONSTRUCTION TYPE: = IIB	
FIRE SUPPRESSION TYPE: FULLY SPRINKLERED	
MIXED OCCUPANCIES: NON-SEPARATED	

OCCUPANCY ANALYSIS					
ROOM # / FUNCTION	GROSS AREA	NET AREA	ACTUAL # OCCUPANTS	SF / PERSON	OCCUPANTS
BUSINESS USES	12,400	-	-	100 GROSS	124
S-1 STORAGE USE (WAREHOUSE)	7,387	-	-	500 GROSS	15
MEZZANINE- BUSINESS USES	1,650	-	-	100 GROSS	17
FLOOR TOTAL					156
BUILDING TOTAL					156

COMMERCIAL CODE COMPLIANCE	
JURISDICTION	NOVI, MICHIGAN
BUILDING CODE	MICHIGAN BUILDING CODE 2012
BARRIER FREE CODE	ICC/ANSI A117.1, 2003 & MICHIGAN BARRIER FREE DESIGN GUIDELINES (ADAAG)
ENERGY CODE	MICHIGAN UNIFORM ENERGY CODE RULES PART 10 WITH ANSI/ASHRAE/IESNA STANDARD 90.0-2009
PLUMBING CODE	2012 MICHIGAN PLUMBING CODE
MECHANICAL CODE	2012 MICHIGAN MECHANICAL CODE
ELECTRICAL CODE	2014 MICHIGAN ELECTRICAL CODE

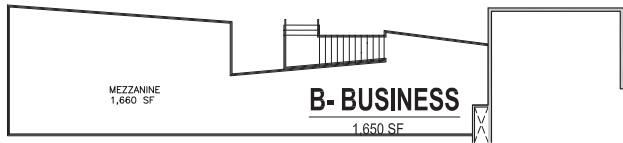
CODE COMPLIANCE DATA	
USE GROUP CLASSIFICATION	MBC 2012
MIXED USE GROUP CLASSIFICATION	NON-SEPARATED
HAZARD CLASSIFICATION	LIGHT
MINIMUM CONSTRUCTION REQUIREMENTS	TYPE IIB
ALLOWABLE SINGLE FLOOR CODE AREA	
BUSINESS USE	23,000 SF
ALLOWABLE AREA INCREASES	
% OPEN PERIMETER =	75%
% INCREASE FOR AUTOMATIC SPRINKLERS	200%
MAXIMUM ALLOWABLE AREA W/ INCREASES PER FLOOR	86,250 sf
ACTUAL PROPOSED CODE GROSS FLOOR AREAS:	
FIRST FLOOR	19,787 sf
TOTAL CODE GROSS AREA	19,787 sf
ACTUAL HEIGHT / NUMBER OF STORES	
NUMBER OF STORES	1 STORES
ALLOWABLE HEIGHT / ASSUME TYPE IIB CONSTRUCTION:	
TABULAR HEIGHT (B USE)	3 STORES
INCIDENTAL USE AREAS:	
ROOM OR SPACE	NON-SEPARATED / MIXED USE
STORAGE ROOMS > 100 SQ. FT.	AUTOMATIC FIRE-EXTINGUISHING SYSTEM
SPECIAL USE & OCCUPANCY REQUIREMENTS:	
AUTOMATIC FIRE SUPPRESSION SYSTEM	PROVIDE THROUGHOUT BUILDING PER NFPA 13
FIRE ALARM SYSTEM	MANUAL FIRE ALARM SYSTEM PROVIDED THROUGHOUT BUILDING PER NFPA 13 AND NFPA / 72
SHOP DRAWINGS FOR ALL FIRE PROTECTION SYSTEMS COMPLYING WITH NFPA 13 - SHALL BE SUBMITTED BY FIRE PROTECTION CONTRACTORS	

CODE PLAN LEGEND	
0 HOUR RATED- USE GROUP SEPARATION	-----
S I G N A G E	
ALL CODE REQUIRED SIGNAGE IS TO BE PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR. ALL OTHER SIGNAGE IS TO BE PROVIDED AND INSTALLED BY THE OWNER.	

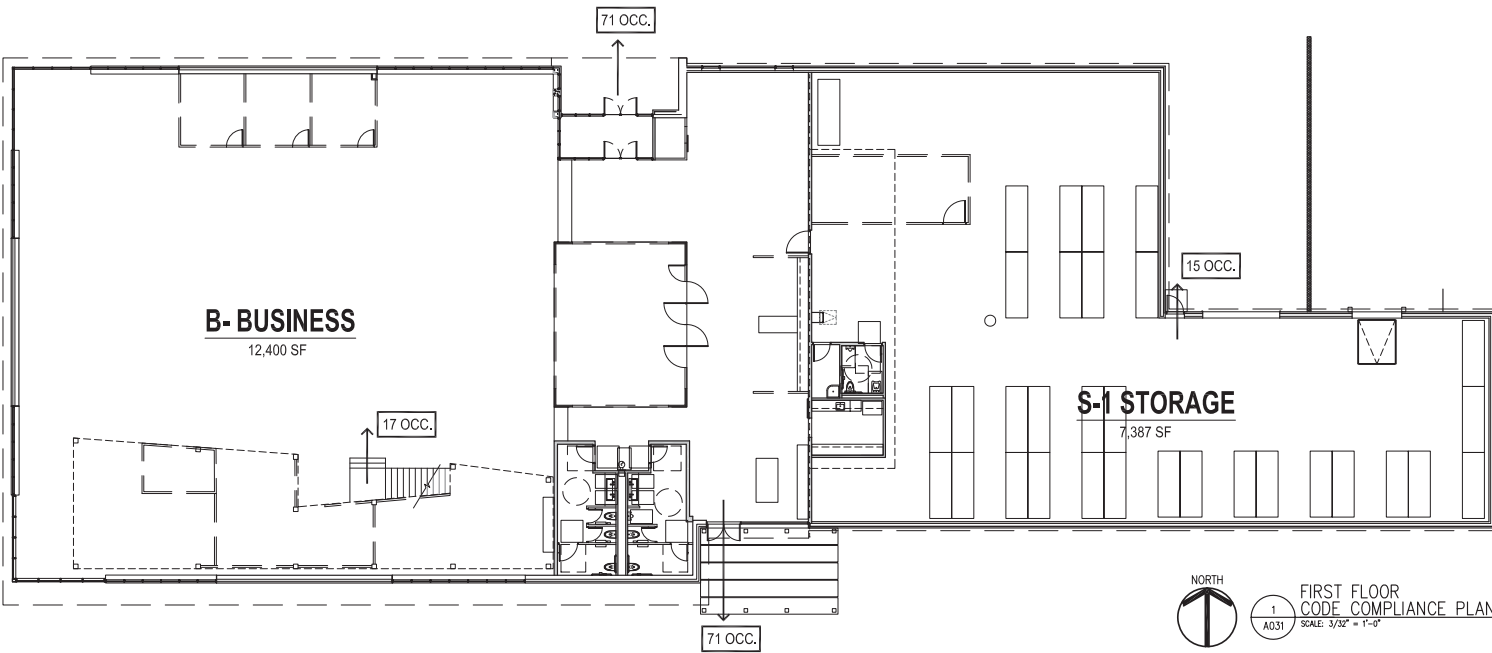
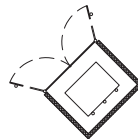
COMMERCIAL CODE COMPLIANCE - CONT.	
FIRE RESISTANCE RATING / TYPE IIA CONSTRUCTION	ALL USES
EXTERIOR WALLS	REQUIRED
A LOAD BEARING	0 HOUR
B NON-LOADBEARING	0 HOURS
FIRE SEPARATION ASSEMBLIES	
A EXIT ENCLOSURES	
B EXTERIOR WALLS	0 HOUR
C SHAFTS	NA
C MIXED USE SEPARATION	NON SEPARATED
D FIRE AREA SEPARATION	NA
E OTHER SEPARATION ASSEMBLIES	0 HOUR
FIRE PARTITIONS	
EXIT ACCESS CORRIDORS	NA
FIRE WALLS	
BUILDING SEPARATION	NA
SMOKE PARTITIONS	NA
OTHER NON-LOADBEARING PARTITIONS	0 HOUR
INTERIOR LOAD BEARING WALLS, PARTITIONS, COLUMNS, BEAMS, TRUSSES AND FRAMING	0 HOUR
STRUCTURAL MEMBERS SUPPORTING RATED WALLS	0 HOUR
FLOOR CONSTRUCTION	0 HOUR
ROOF CONSTRUCTION	
ALL ROOF CONSTRUCTION LESS THAN 20' AFF	0 HOUR
PRIMARY ROOF CONSTRUCTION GREATER THAN 20' AFF	0 HOUR
SECONDARY ROOF CONSTRUCTION AND DECK GREATER THAN 20' AFF	0 HOUR
INTERIOR FINISHES:	
WALLS & CEILINGS	CLASS C WITH AUTOMATIC FIRE SUPPRESSION SYSTEM
VERTICAL EXITS AND EXIT PASSAGEWAYS	CLASS WITH AUTOMATIC FIRE SUPPRESSION SYSTEM
EXIT ACCESS CORR. & OTHER EXITWAYS	CLASS WITH AUTOMATIC FIRE SUPPRESSION SYSTEM
ROOMS AND ENCLOSED SPACES	CLASS C WITH AUTOMATIC FIRE SUPPRESSION SYSTEM
INTERIOR FINISHES TESTING CRITERIA:	
WALLS & CEILINGS	ASTM E84
FLOOR FINISHES	NFPA 253
DECORATIONS AND TRIM	NFPA 101
MEANS OF EGRESS REQUIREMENTS:	
MINIMUM HEAD ROOM:	7'-0" MIN. HT. / 4" MAX. PROJECTION
	BETWEEN 20" - 60"
MAXIMUM TRAVEL DISTANCE:	80' / S-1- 250' W/ SPRINKLERS
COMMON PATH TRAVEL DISTANCE:	80' / S-1- 100' W/ SPRINKLERS
DEAD END LIMIT:	80' / S-1- 50'
EGRESS CAPACITIES:	MINIMUM WIDTH 44" SERVING AN OCCUPANT LOAD GREATER THAN 50
CAPACITIES PER UNIT WIDTH:	
UNIT WIDTH:	BASED ON WIDTHS IN INCHES PER PERSON
STAIRS:	2 INCHES PER PERSON (W/ SPRINKLERS)
DOORS:	2 INCHES PER PERSON
RAMP:	2 INCHES PER PERSON
CORRIDORS:	2 INCHES PER PERSON
DOORS:	
DOOR WIDTH:	32" MINIMUM / 48" MAXIMUM
DOOR PROJECTION:	7" MAX. INTO REQUIRED CORRIDOR WIDTH
AUTOMATIC SELF CLOSING DEVICES:	ACTIVATED BY SMOKE DETECTION AND FIRE SUPPRESSION SYSTEM
FIRE DOOR TESTING:	IN ACCORDANCE W/ NFPA 80 AND 252
STAIRS:	
MINIMUM WIDTH:	44"
MAXIMUM RISE:	7"
MINIMUM TREAD DEPTH:	11"
MINIMUM HEAD ROOM:	6'-8"
MAX. HEIGHT BETWEEN LANDINGS:	34" - 36"
HANDRAIL HEIGHT:	42"

PLUMBING FIXTURE CRITERIA - PER 2012 MICHIGAN PLUMBING CODE						
OCCUPANCY	MALE			FEMALE		DRINKING FOUNTAINS / SERVICE SINKS
	WATER CLOSETS	URINALS	LAVATORIES	WATER CLOSETS	LAVATORIES	
BUSINESS USE	1 PER 25 + 1 PER 50 EXCEEDING 50	6/8% SUBSTITUTION	1 PER 40 + 1 PER 80 EXCEEDING 80	SAME REQUIREMENT AS MEN	SAME REQUIREMENT AS MEN	1 PER 100 1 SINK
S-1 STORAGE	1 PER 100		1 PER 100	SAME REQUIREMENT AS MEN	SAME REQUIREMENT AS MEN	1 PER 1,000 1 SINK

PLUMBING FIXTURE COUNTS - PER 2012 MICHIGAN PLUMBING CODE										
SPACE	OCCUPANCY			MEN'S ROOM		WOMEN'S ROOM		OTHER FIXTURES		PROVIDED
	MALE	FEMALE	OCCUPANTS	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	
BUSINESS USE W/ MEZZANINE	71	171	141	24 WATER CLOSET 1.6 LAVATORY	3 WATER CLOSET 2 LAVATORY	24 WATER CLOSET 1.6 LAVATORY	3 WATER CLOSET 2 LAVATORY	1 BLDG SERVICE SINK 1 DRINK. FOUNT.	1 BLDG SERVICE SINK 1 DRINK. FOUNT.	
S-1 USE	15	8	15	1 WATER CLOSET 1 LAVATORY	2 WATER CLOSET 1 LAVATORY	1 WATER CLOSET 1 LAVATORY	0 WATER CLOSET 0 LAVATORY	1 BLDG SERVICE SINK 1 DRINK. FOUNT.	1 BLDG SERVICE SINK 1 DRINK. FOUNT.	
BUILDING TOTAL	78	178	156	25 WATER CLOSET 1.7 LAVATORY	5 WATER CLOSET 3 LAVATORY	25 WATER CLOSET 1.7 LAVATORY	3 WATER CLOSET 2 LAVATORY	2 BLDG SERVICE SINK 1 DRINK. FOUNT.	2 BLDG SERVICE SINK 1 DRINK. FOUNT.	



NORTH
 2
 A031
 SECOND FLOOR
 CODE COMPLIANCE PLAN
 SCALE: 3/32" = 1'-0"



NORTH
 1
 A031
 FIRST FLOOR
 CODE COMPLIANCE PLAN
 SCALE: 3/32" = 1'-0"

Revisions

10.24.2016 - Preliminary Site Plan Approval

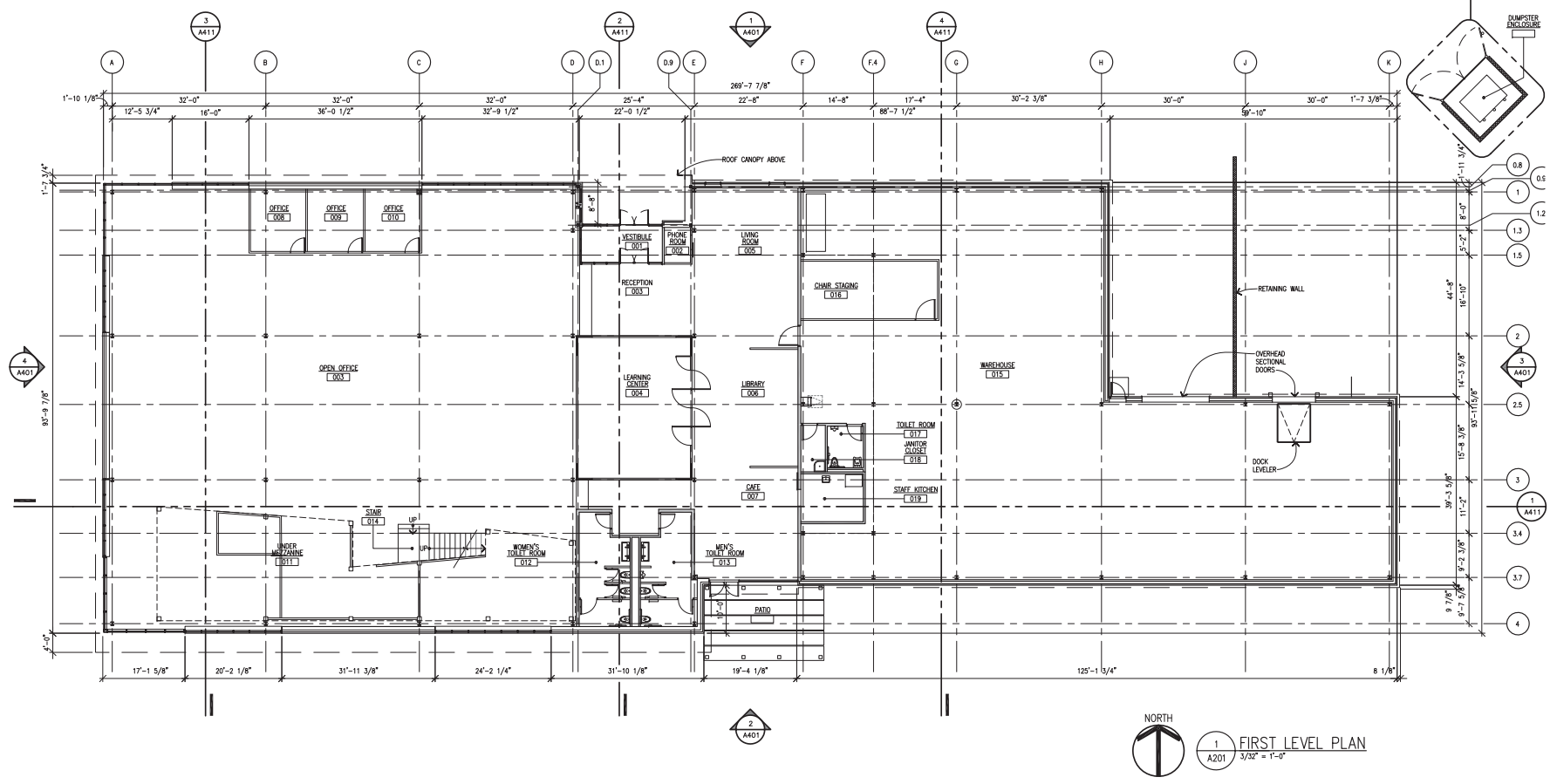
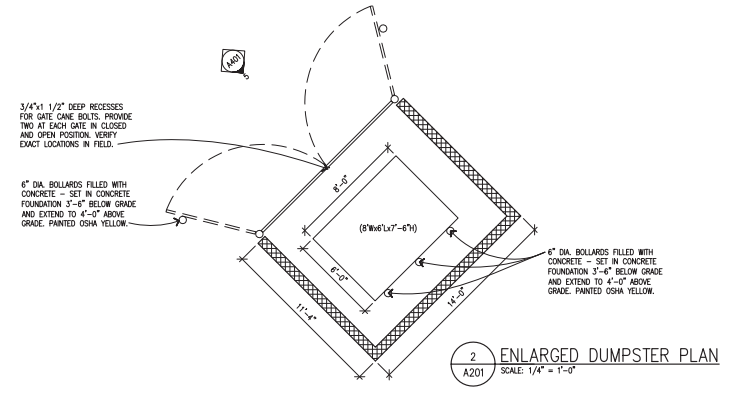
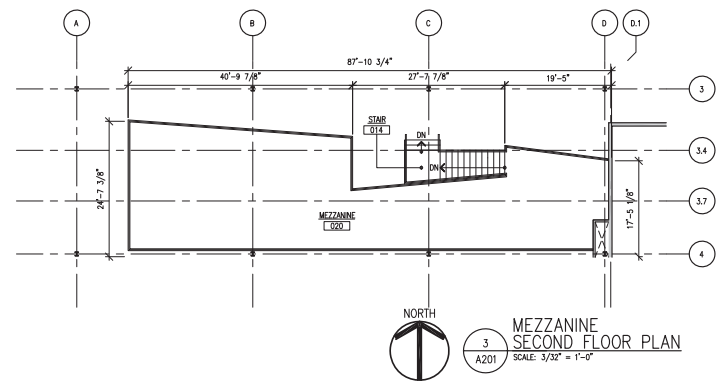
09.30.2016 - Pre-Application Meeting

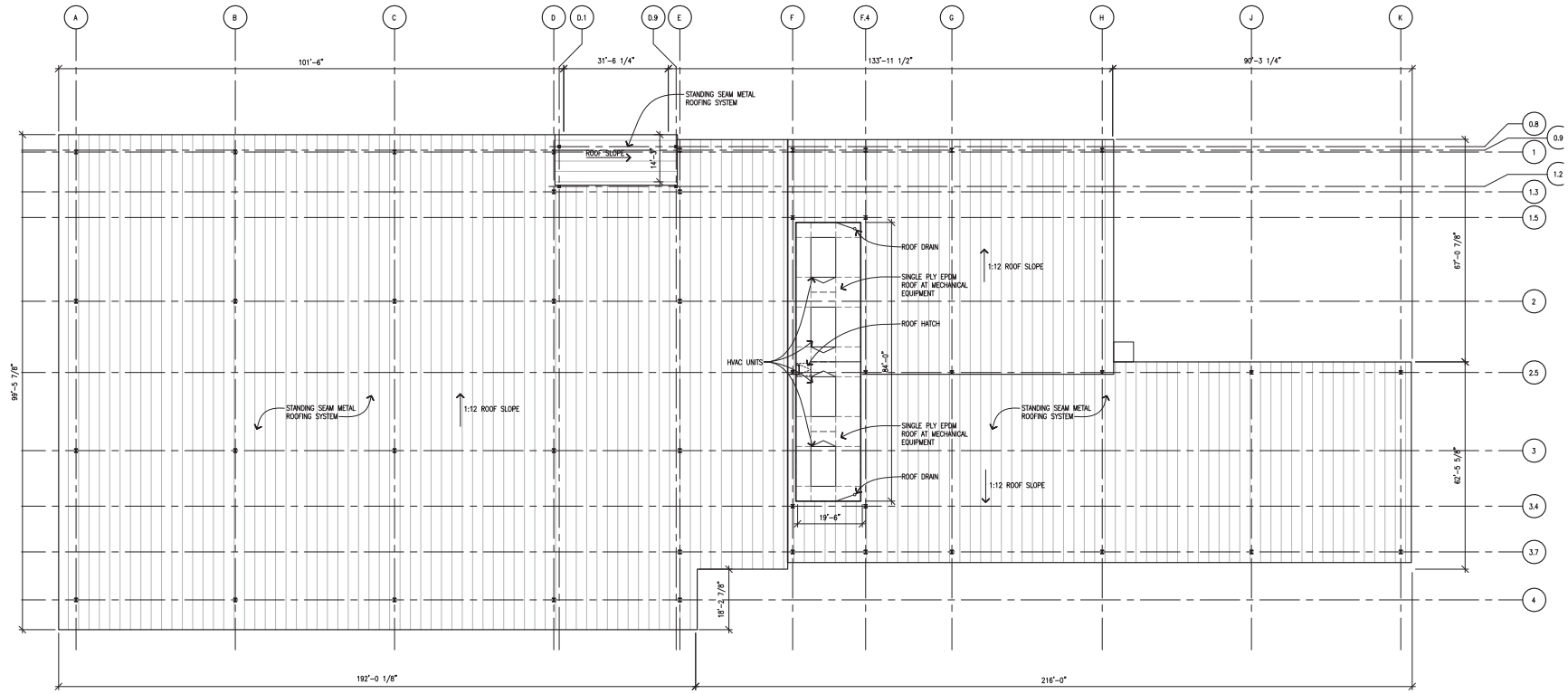
Date	<input checked="" type="checkbox"/> Preliminary
09-20-2016	<input type="checkbox"/> Construction
Drawn	<input type="checkbox"/> Record
CG	Checked
SC	Approved
SC	Block Number

Job Number
2016104

Title
Code Compliance Plan

Scale: 3/32" = 1'-0"
 Sheet
A032





Revisions

0.8	
1	
1.3	
1.5	
2	
2.5	
3	
3.4	
3.7	
4	

10.24.2016 - Preliminary Site Plan Approval
 09.30.2016 - Pre-Application Meeting

Date	<input checked="" type="checkbox"/> Preliminary
09-20-2016	<input type="checkbox"/> Construction
Drawn	<input type="checkbox"/> Record
CG	
Checked	Do not scale
SC	Use figured dimensions only
Approved	

JS
 Bijpak Number

Job Number
2016104

Title
Roof Plan

Scale: 3/32" = 1'-0"
 Sheet
A202

NORTH

1
 A202 ROOF PLAN
 3/32" = 1'-0"

Revisions

10.24.2016 - Preliminary Site Plan Approval

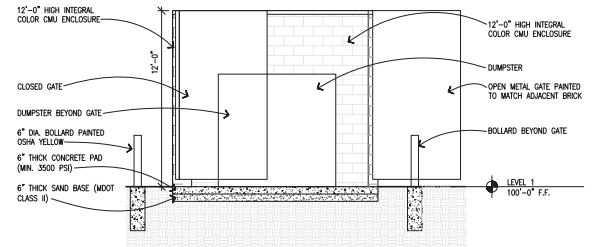
09.30.2016 - Pre-Application Meeting

Date	09.19.2016	Preliminary
Drawn	CG	Construction
Checked	SC	Record
Approved	JS	Do not scale Use figured dimensions only

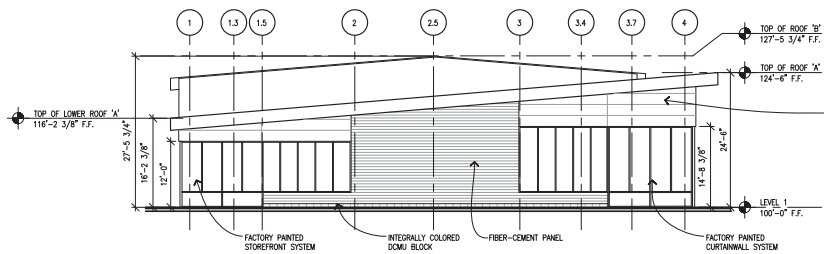
Job Number
2016104

Title
Exterior Elevations

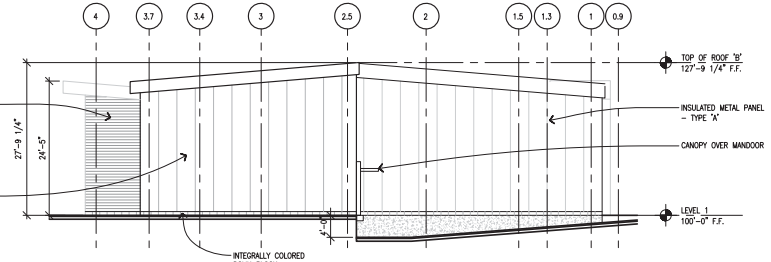
Scale: 3/32" = 1'-0"
Sheet
A401



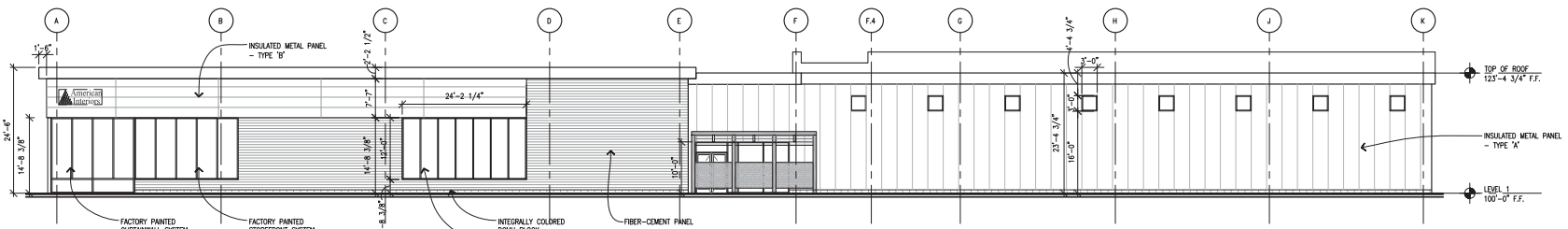
5 DUMPSTER SCREENING ELEVATION
A201 1/4" = 1'-0"



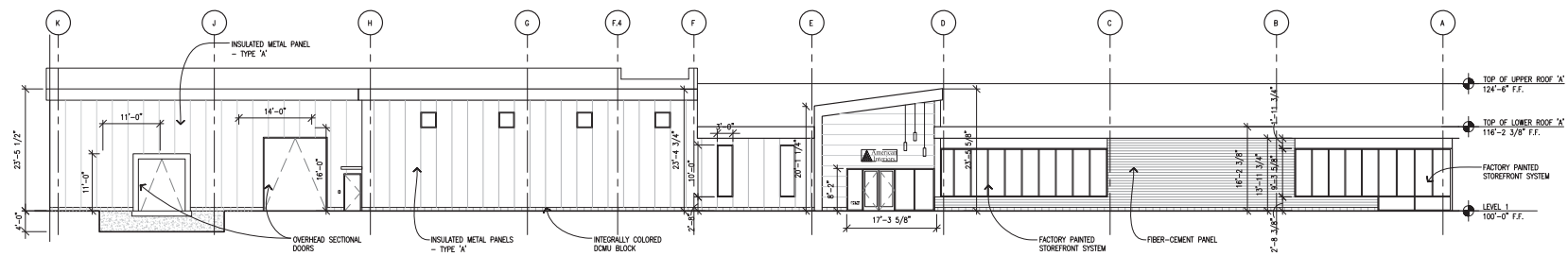
4 WEST ELEVATION
A201 3/32" = 1'-0"



3 EAST ELEVATION
A201 3/32" = 1'-0"

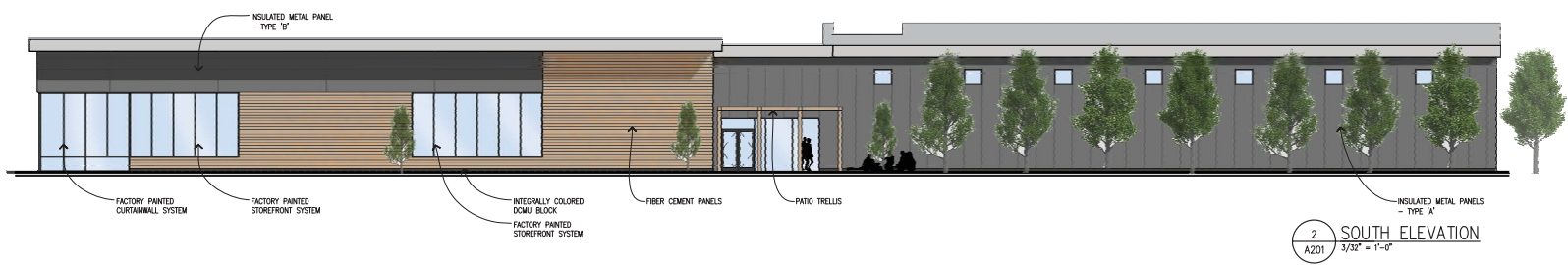
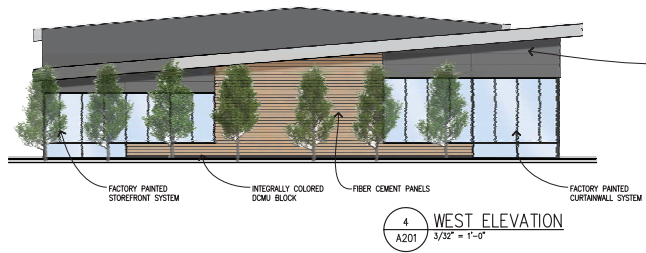


2 SOUTH ELEVATION
A201 3/32" = 1'-0"



1 NORTH ELEVATION
A201 3/32" = 1'-0"

BUILDING MATERIAL CALCULATIONS:		
MATERIAL	SQUARE FEET	PERCENTAGE (ALLOWABLE)
INSULATED METAL PANELS, FLAT	10,748 SF	76% (50%)
FIBER CEMENT PANELS	2590 SF	19% (2%)
DECORATIVE CMU	401 SF	3% (10%)
POURED CONCRETE @ TRUCKWELL	230 SF	2%
TOTAL:	13,981 SF	100%



Revisions

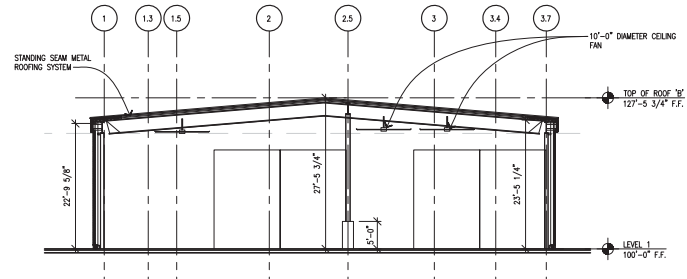
10.24.2016 - Preliminary Site Plan Approval

09.30.2016 - Pre-Application Meeting

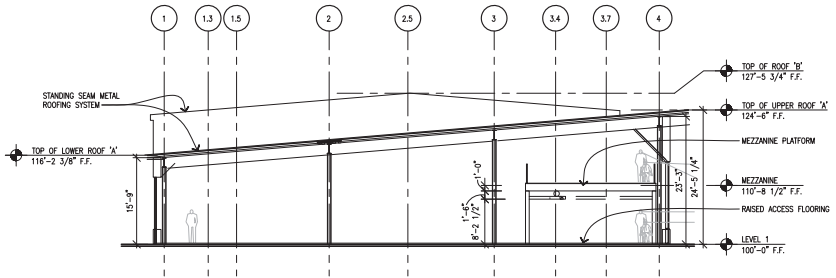
Date	<input checked="" type="checkbox"/> Preliminary
09.19.2016	<input type="checkbox"/> Construction
Drawn	<input type="checkbox"/> Record
CG	
Checked	Do not scale
SC	Use figured dimensions only
Approved	
JS	
Blotak Number	

Job Number
2016104
Title
Exterior Rendered Elevations

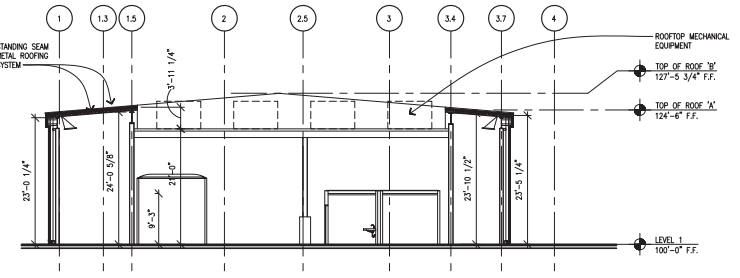
Scale: 3/32" = 1'-0"
Sheet
A202



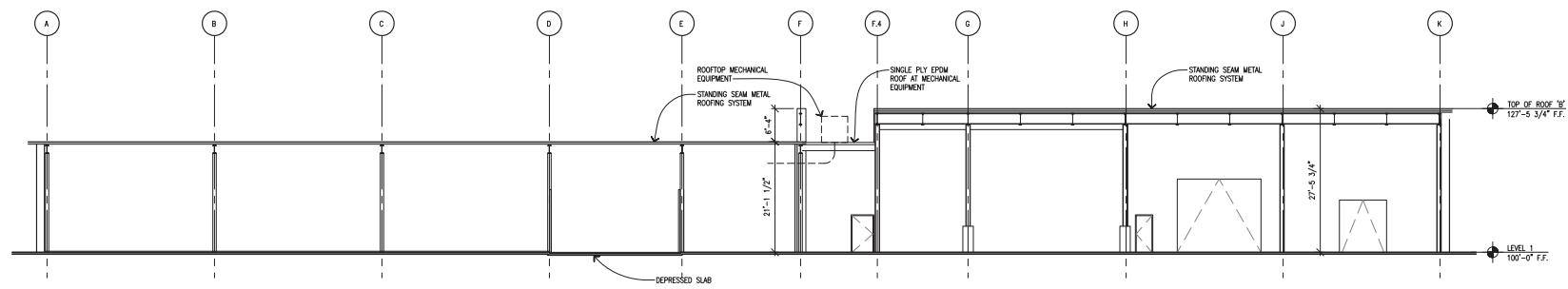
4 BUILDING SECTION
 A201 SCALE: 3/32" = 1'-0"



3 BUILDING SECTION
 A201 SCALE: 3/32" = 1'-0"



2 BUILDING SECTION
 A201 SCALE: 3/32" = 1'-0"



1 BUILDING SECTION
 A201 SCALE: 3/32" = 1'-0"

Revisions

10.24.2016 - Preliminary Site Plan Approval

09.30.2016 - Pre-Application Meeting

Date	<input checked="" type="checkbox"/> Preliminary
09-20-2016	<input type="checkbox"/> Construction
Drawn	<input type="checkbox"/> Record
CC	Checked
SC	Approved
Do not scale Use figured dimensions only	

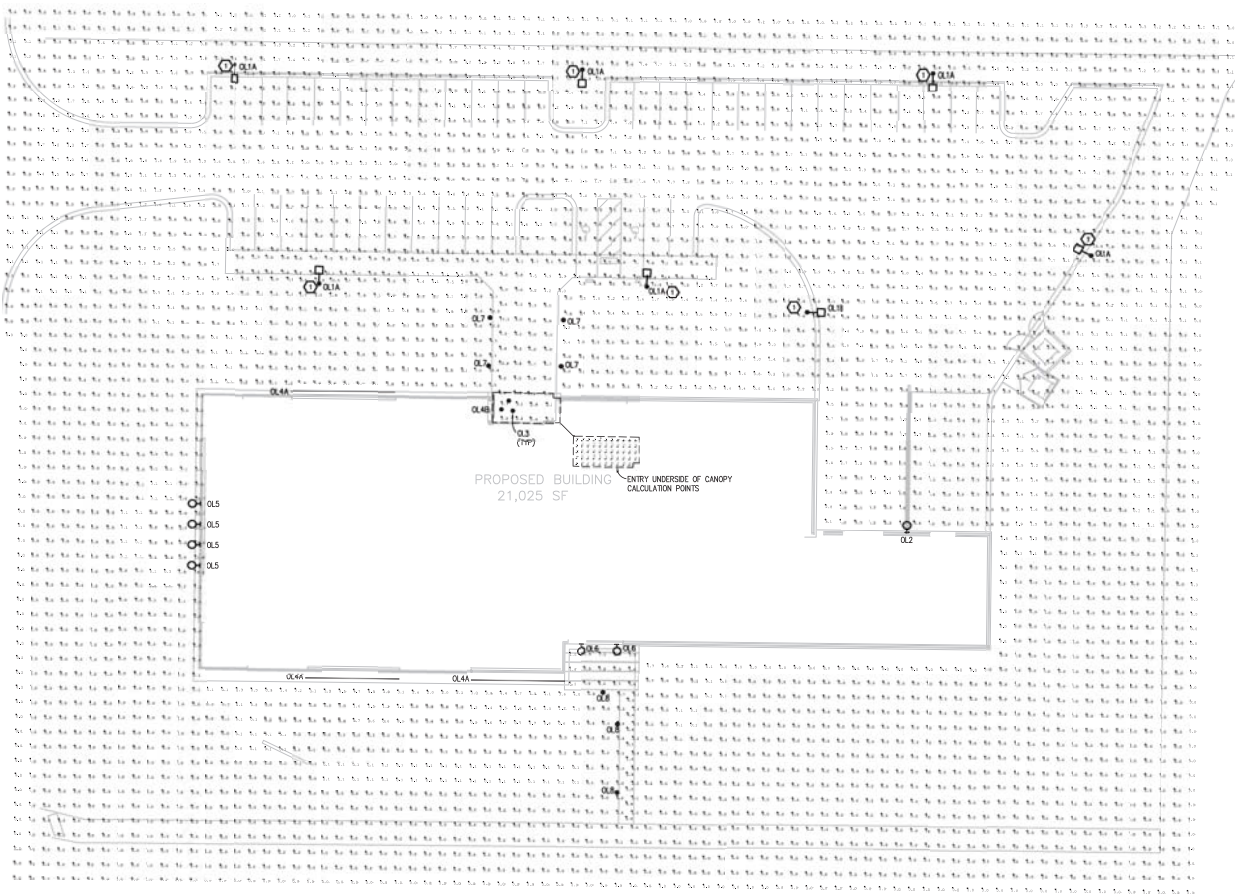
JS
 Blipak Number

Job Number
2016104

Title
Building Sections

Scale: 3/32" = 1'-0"
 Sheet
A411

THE FOLLOWING DIMENSION EQUALS ONE INCH WHEN PRINTED TO SCALE.



ELECTRICAL SERVICES TO ALL SITE LIGHT FIXTURES WILL BE UNDERGROUND. ALL EXTERIOR LIGHTING WILL BE ON ONLY DURING THE SITE'S HOURS OF OPERATION.



ELECTRICAL SITE PLAN
SCALE: 1" = 20'

GENERAL NOTES:

1. THESE NOTES ARE GENERIC GUIDELINES ONLY. ELECTRICAL CONTRACTOR'S PERSONNEL ON SITE SHALL BE THOROUGHLY FAMILIAR WITH THE PUBLISHED SPECIFICATIONS FOR EXACT DESCRIPTIONS OF SCOPE, METHODS, AND MATERIAL.
2. THESE DRAWINGS REPRESENT THE GENERAL EXTENT AND ARRANGEMENT OF SYSTEMS, BUT ARE NOT TO BE CONSIDERED FABRICATION DRAWINGS. COORDINATE WITH OTHER TRADES, AND PROVIDE EACH SYSTEM COMPLETE, INCLUDING ALL NECESSARY COMPONENTS, FITTINGS, AND DEVICES.
3. CONDUCT A SURVEY TO IDENTIFY ALL UNDERGROUND UTILITIES. CALL 811 PRIOR TO EXCAVATION.
4. UTILITIES SHOWN ON THESE DRAWINGS ARE FOR REFERENCE ONLY. COORDINATE EXACT LOCATION OF ALL EXISTING UTILITIES, AND ROUTING OF ALL NEW UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
5. Dewater trenches prior to installation of conduits. Provide water tight fittings on all underground conduits.
6. COORDINATE DEMOLITION WORK, AND ELECTRICAL AND TELEPHONE SERVICES TO THE SITE, WITH THE RESPECTIVE LOCAL UTILITY COMPANY REPRESENTATIVES PRIOR TO COMMENCEMENT OF WORK. INCLUDE ALL ASSOCIATED FEES/FEES BY THE UTILITY COMPANIES IN THE BID PRICE.
7. INSTALL UNDERGROUND CONDUITS 42" BELOW FINISHED GRADE, MINIMUM, UNLESS NOTED OTHERWISE.
8. COORDINATE SERVICE SHUT-DOWNS WITH ALL TRADES INVOLVED ON SITE AND OBTAIN WRITTEN AUTHORIZATION FROM OWNER 72 HOURS PRIOR TO ANY ELECTRICAL AND/OR TELEPHONE SHUT-DOWN.
9. REMOVE ALL DE-ENERGIZED CONDUCTORS FROM SITE AT COMPLETION OF THE PROJECT.
10. OUTDOOR LIGHTING BRANCH CIRCUIT WIRING SHALL BE MINIMUM #8 AWG CONDUCTORS CORING, IN MINIMUM 1" DIA. CONDUIT, UNLESS NOTED OTHERWISE.
11. SPARE CONDUITS SHALL INCLUDE PULL STRING AND SHALL BE TERMINATED WITH A CAP.
12. EXCAVATE THE ENTIRE LENGTH OF TRENCH TO PROPERLY SET DUCT ELEVATIONS.

CONSTRUCTION KEY NOTES:

1. LIGHT FIXTURE IS ON A 20' 0" POLE.

CALCULATION SUMMARY

VIEW	LABE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PLAN	BUILDING ENTRANCE	Fc	2.48	3.10	1.70	1.46	1.82
PLAN	ENTRY CANOPY	Fc	6.16	11.90	0.00	N.A.	N.A.
PLAN	PATIO	Fc	3.54	8.40	1.30	2.72	5.46
PLAN	PROPERTY LINE	Fc	0.27	1.00	0.00	N.A.	N.A.
PLAN	WALKWAY	Fc	5.54	11.10	2.00	2.77	5.55
PLAN	WALKWAY SOUTH	Fc	4.23	6.20	1.50	2.82	4.15
PLAN	LOADING DOCK	Fc	4.38	9.40	1.70	2.98	5.53
PLAN	PARKING LOT	Fc	4.69	9.40	1.40	3.35	6.71
WEST ELEV	ENTRY WEST FACADE	Fc	9.18	13.10	5.80	1.58	2.26
WEST ELEV	FACADE WEST	Fc	4.89	7.80	0.00	N.A.	N.A.
SOUTH ELEV	FACADE SOUTH EAST	Fc	1.94	2.90	0.80	2.43	3.63
SOUTH ELEV	FACADE SOUTH WEST	Fc	1.86	2.80	0.90	2.07	3.11
SOUTH ELEV	NIGHT SKY WEST	Fc	1.58	60.90	0.00	N.A.	N.A.
NORTH ELEV	FACADE NORTH	Fc	3.80	5.50	1.30	2.92	4.23



400 Galleria Officecentre Suite 555
Southfield, Michigan 48034
phone 248.352.8310
fax 248.352.1821
ns@neumannsmith.com



AMERICAN INTERIORS
NOVI SHOWROOM
NOVI, MI



Peter Basso Associates Inc.
CONSULTING ENGINEERS
5146 Livonia, Suite 100
Troy, Michigan 48063-2078
Tel: 248-879-5666
Fax: 248-879-0007
www.PeterBassoAssociates.com
PBA Project No. 2016-0338

Revisions

09.30.2016 PRE-APPLICATION MEETING

- Date Preliminary
- Drawn Construction
- CRH Record
- Checked Do not scale
- LSS Use figured dimensions only
- Approved
- SAG
- Discak Number

Job Number
2016104
Title
ELECTRICAL SITE PLAN

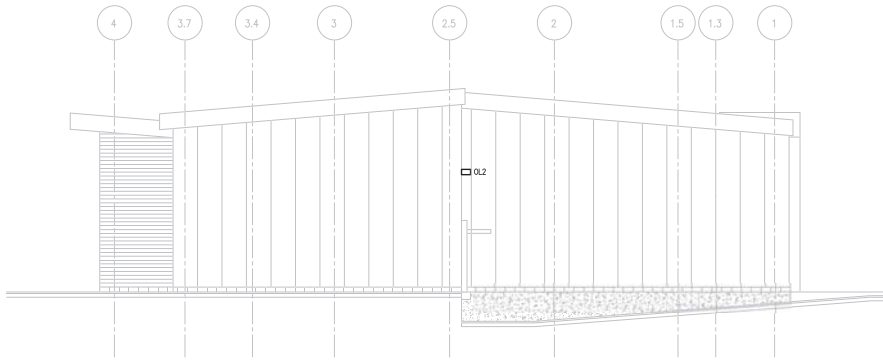
Scale: 1" = 20'-0"
Sheet
E003



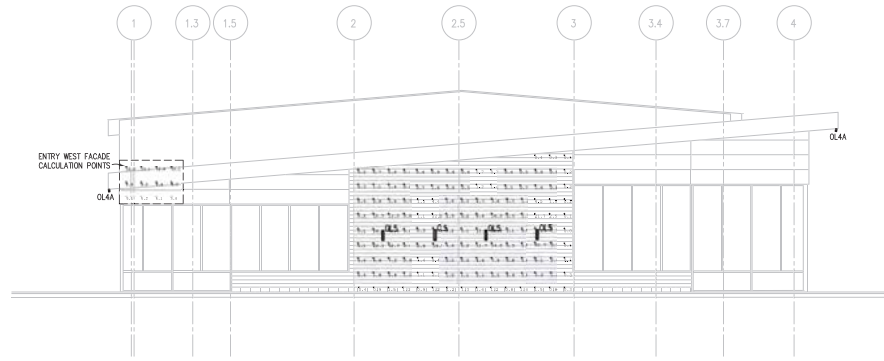
Know what's below.
Call before you dig.

\\pba-local\projects\2016\2016-0338-00\Site Package\2016-0338-ED-SP.dwg, E003, 10/25/2016 10:25:56 AM, Corissa R. Hansen, Electronic - PDF.pcd, 0.307, Peter Basso Associates Inc.

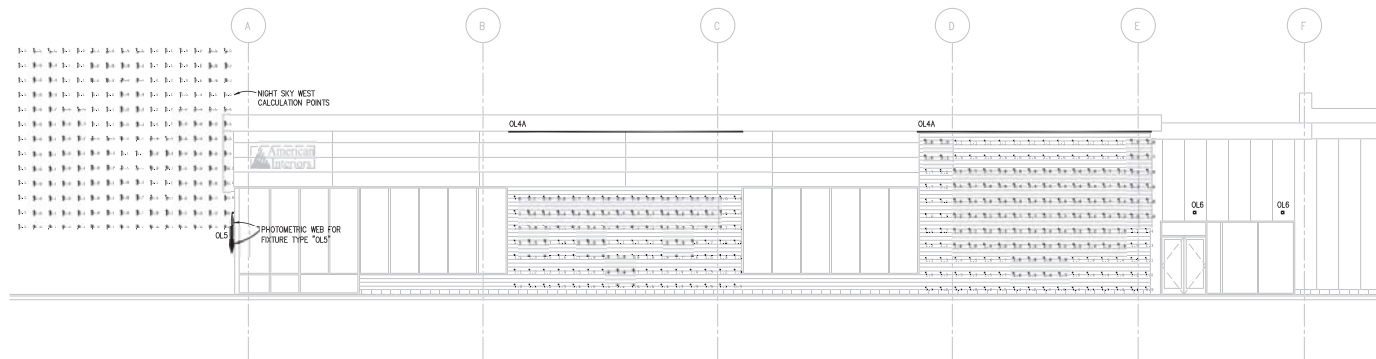
THE FOLLOWING DIMENSION EQUALS ONE INCH WHEN PRINTED TO SCALE.



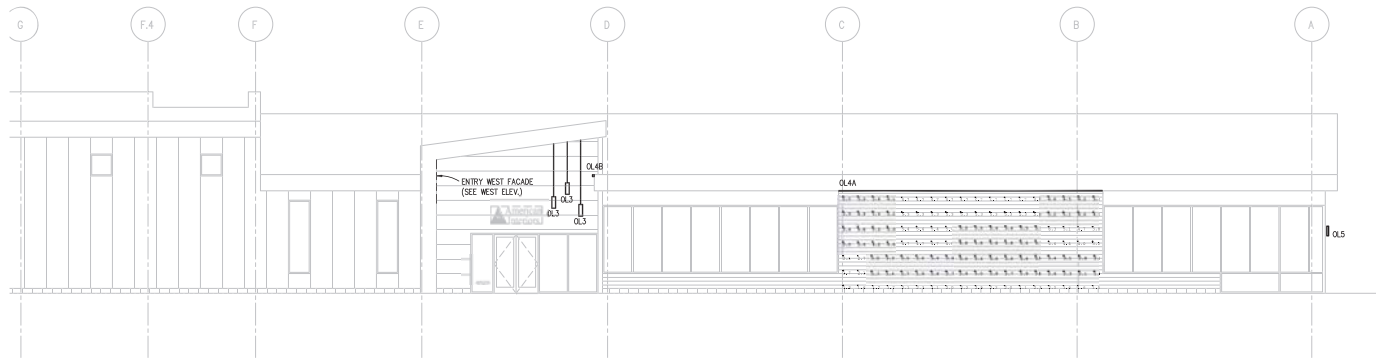
EAST ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



400 Galleria Offcentre Suite 555
Southfield, Michigan 48034
phone 248.352.8310 fax 248.352.1821
ns@neumannsmith.com



American Interiors

**AMERICAN INTERIORS
NOVI SHOWROOM
NOVI, MI**



Peter Basso Associates Inc.
CONSULTING ENGINEERS
514E Riverdale, Suite 400
Troy, Michigan 48068-3278
Tel: 248-879-5666 Fax: 248-879-0067
www.PeterBassoAssociates.com
PBA Project No. 2016-0338

Revisions

Date	<input checked="" type="checkbox"/> Preliminary
Drawn	<input type="checkbox"/> Construction
CRH	<input type="checkbox"/> Record
Checked	<input type="checkbox"/> Do not scale
LSS	<input type="checkbox"/> Use figured dimensions only
Approved	
SAG	
Sheet Number	

Job Number
2016104
Title
**ELECTRICAL
ELEVATIONS**

Scale: 1/8"=1'-0"
Sheet
E004