



SUBURBAN TOYOTA SERVICE CENTER JSP18-15

SUBURBAN TOYOTA SERVICE CENTER JSP 18-15

Public hearing at the request of Nowak and Fraus Engineers for Special Land Use, Preliminary Site Plan, Wetland Permit, and Stormwater Management Plan approval. The subject parcels are located in Section 24 west of Haggerty Road and north of Grand River Avenue on Regency Drive. It is approximately 6.7 acres and zoned I-1 (Light Industrial). The applicant is proposing to build a 21,485 square foot vehicle service station building and inventory vehicle parking with associated site improvements.

Required Action

Approve/Deny the Special Land Use Permit, Preliminary Site Plan, Wetland Permit, and Stormwater Management Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	9/24/18	<ul style="list-style-type: none"> • Special Land Use approval required for both vehicle service center and accessory outdoor storage of materials • Waiver for open vehicle storage in the exterior side yard on Haggerty Road • Items to be addressed on Final Site Plan submittal
Engineering	Approval recommended	9/17/18	<ul style="list-style-type: none"> • Items to be addressed on Final Site Plan submittal
Landscaping	Approval recommended	9/14/18	<ul style="list-style-type: none"> • Waiver for not providing a berm along Haggerty Road (Staff supported due to site topography and presence of floodplain mitigation) • Waiver for not providing street trees on Haggerty Road (Staff supported due to existing utilities and drain topography) • Items to be addressed on Final Site Plan submittal
Wetlands	Approval recommended	9/13/18	<ul style="list-style-type: none"> • Non-minor Wetland permit required • Watercourse buffer authorization required • Items to be addressed on Final Site Plan submittal
Traffic	Approval recommended	9/25/18	<ul style="list-style-type: none"> • Waiver for driveway spacing • Items to be addressed on Final Site Plan submittal
Façade	Approval recommended	9/17/18	<ul style="list-style-type: none"> • Proposed buildings are in full compliance with the Façade Ordinance
Fire	Approval recommended	8/30/18	<ul style="list-style-type: none"> • Items to be addressed on Final Site Plan submittal

MOTION SHEET

Approval – Special Land Use Permit

In the matter of Toyota Service Center JSP18-15, motion to **approve** the Special Land Use Permit based on and subject to the following:

- a. The proposed use will not cause any detrimental impact on existing thoroughfares (*based on the review and findings in the Traffic Consultant review letter*);
- b. The proposed use will not cause any detrimental impact on the capabilities of public services and facilities (*as this area was already planned for development*);
- c. The proposed use is compatible with the natural features and characteristics of the land (*because the plan minimizes and mitigates impacts on Ingersoll Creek and structures are located outside the floodplain*);
- d. The proposed use is compatible with adjacent uses of land (*because the proposed use conforms to the standards of the district and requirements for light industrial, and is surrounded by light industrial uses and car dealerships are present on the east side of Haggerty Road*);
- e. The proposed use is consistent with the goals, objectives, and recommendations of the City's Master Plan for Land Use (*which includes ensuring that Novi continues to be a desirable place for business investment*);
- f. The proposed use will promote the use of land in a socially and economically desirable manner (*as the proposed use will be in an area currently planned for light industrial use, makes use of a vacant parcel, and will create approximately 20 jobs when complete*);
- g. The proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located as it meets all minimum requirements for same, except as noted below:
 - h. Planning Commission approval to modify the requirement for open storage of the inventory vehicles in the front/exterior side yard *because the presence of floodplain on the eastern portion of the site requires the building to be located further west, leaving a portion of the property that would otherwise be unused*;
 - i. Planning Commission waiver from Section 5.5.3.A.5 and 3.21.2.A.iii for deficiency in the required 3 foot landscaped berm along the western property line adjacent to Haggerty Road which is hereby granted, for the following reasons:
 - i. *The northern frontage is below the elevated Haggerty Road so the berm would not provide a screening benefit,*
 - ii. *The southern frontage is within the proposed floodplain mitigation area;*
 - j. Planning Commission waiver from Section 5.5.3.B.ii.f for not providing street trees on Haggerty Road *due to the existing utilities and drain topography in this area, which is hereby granted; and*
 - k. Planning Commission waiver for loading area screening requirements, *because the area will be located behind the building and will be surrounded by pavement on the other sides, preventing planting in the immediate area. Screening will be provided on the perimeter of the site;*
 - l. *(additional comments here if any)*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, Article 5, and Article 6 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

- AND -

Approval – Preliminary Site Plan

In the matter of Toyota Service Center JSP18-15, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards as listed in Section 3.14.1.B.iv, listed in detail in Planning Review Chart to allow non-residential Open Storage when conducted in conjunction with and accessory to an otherwise permitted use in I-1 district;
- b. Applicant to demonstrate on the Final Site Plan that the storage areas shall be *completely screened from view from all adjacent properties by appropriate structures, fencing or walls 6-8 ft in height, and/or supplemented with additional landscape screening, to the extent possible, given the change in elevation along the Haggerty Road frontage.*
- c. Waiver of the same-side driveway spacing requirements of Section 11-216.d.1.d, which is hereby granted, to allow two access drives on Regency Drive;
- d. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
- e. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

- AND -

Approval – Wetland Permit

In the matter of Toyota Service Center JSP18-15, motion to **approve** the Wetland Permit based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

- AND -

Approval – Stormwater Management Plan

In the matter of Toyota Service Center JSP18-15, motion to **approve** the Stormwater Management Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

- OR -

Denial – Special Land Use Permit

In the matter of Toyota Service Center JSP18-15, motion to **deny** the Special Land Use Permit... (because the plan is not in compliance with Article 4, Article 5, and Article 6 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

- AND -

Denial – Preliminary Site Plan

In the matter of Toyota Service Center JSP18-15, motion to **deny** the Preliminary Site Plan... (because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

- AND -

Denial – Woodland Permit

In the matter of Toyota Service Center JSP18-15, motion to **deny** the Woodland Permit... (because the plan is not in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

- AND -

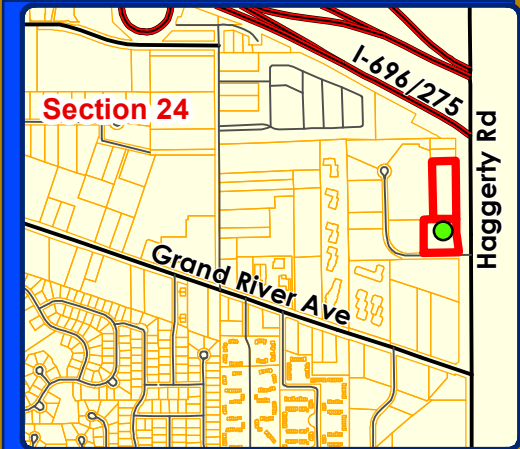
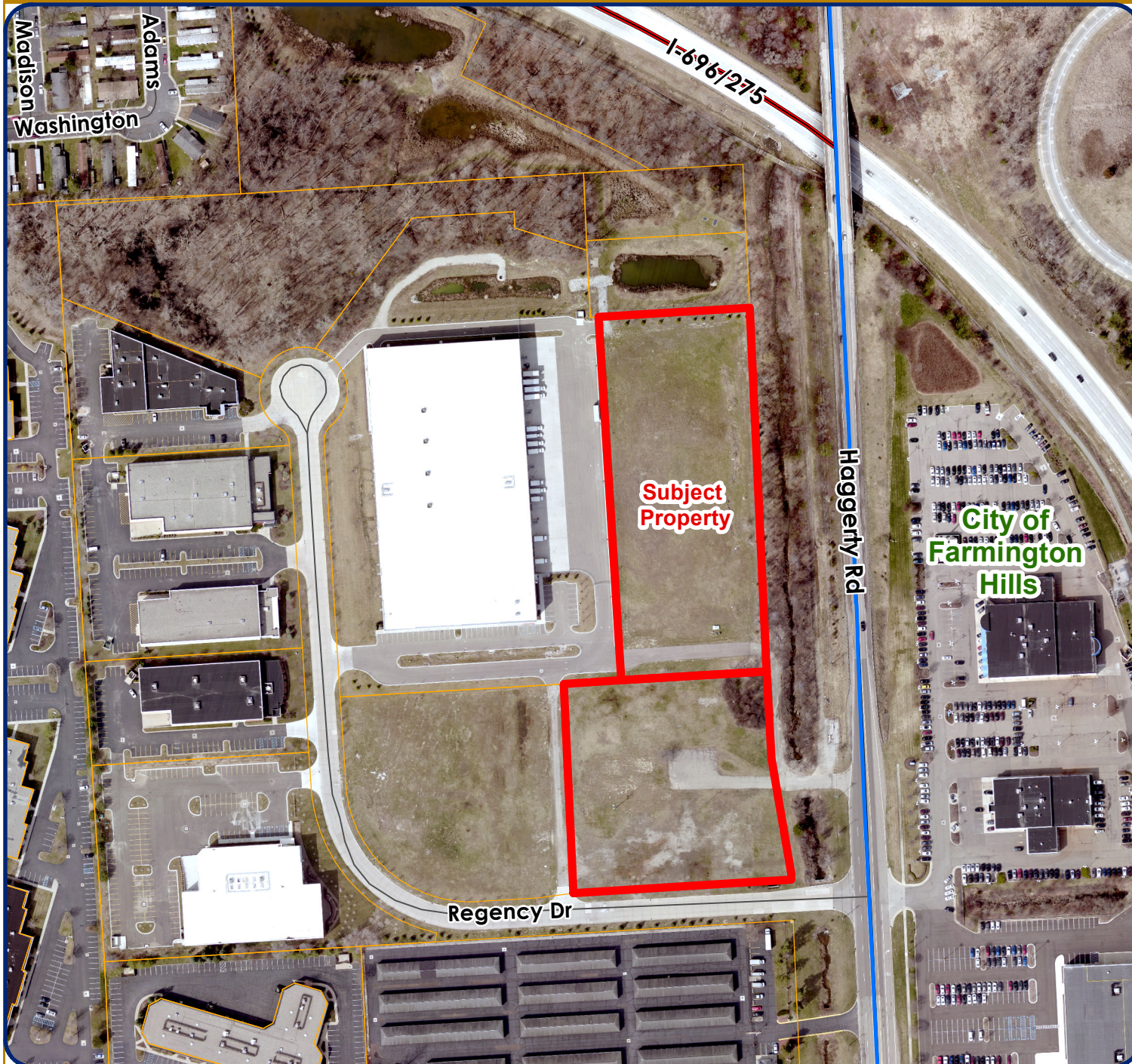
Denial – Stormwater Management Plan

In the matter of Toyota Service Center JSP18-15, motion to **deny** the Stormwater Management Plan... (because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

MAPS
Location
Zoning
Future Land Use
Natural Features

TOYOTA SERVICE CENTER: JSP18-15

LOCATION



LEGEND

 Subject Property



City of Novi

Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Lindsay Bell
Date: 10/17/2018
Project: TOYOTA SERVICE CENTER JSP18-15
Version #: 1

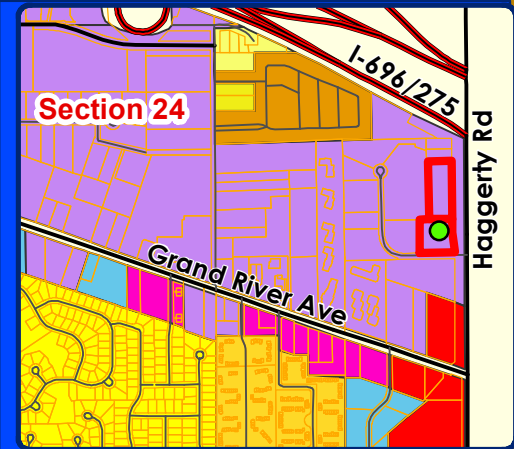


MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

TOYOTA SERVICE CENTER: JSP18-15

ZONING



LEGEND

- R-1: One-Family Residential District
- R-2: One-Family Residential
- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- MH: Mobile Home District
- B-3: General Business District
- I-1: Light Industrial District
- NCC: Non-Center Commercial District
- OS-1: Office Service District
- Subject Property



City of Novi
 Dept. of Community Development
 City Hall / Civic Center
 45175 W Ten Mile Rd
 Novi, MI 48375
cityofnovi.org

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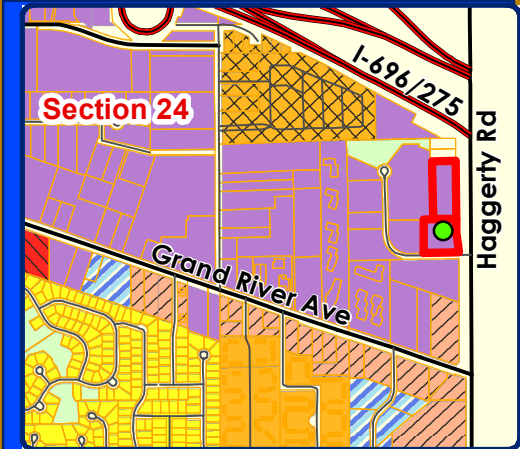


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TOYOTA SERVICE CENTER: JSP18-15

FUTURE LAND USE



LEGEND

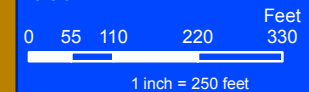
- Single Family
- Multiple Family
- Mobile Home Park
- Community Office
- Industrial Research Development Technology
- Community Commercial
- TC Gateway
- Private Park
- Subject Property



City of Novi

Dept. of Community Development
 City Hall / Civic Center
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 Novi, MI 48375
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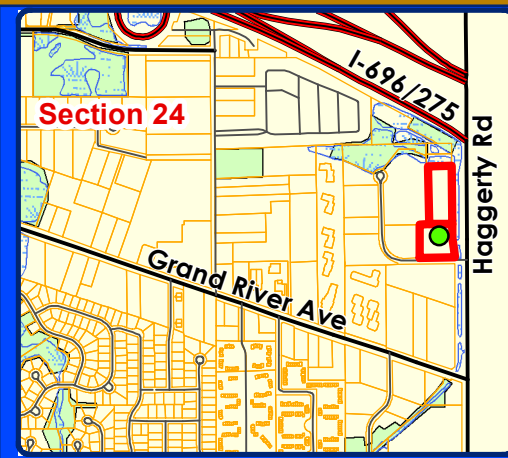


MAP INTERPRETATION NOTICE




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TOYOTA SERVICE CENTER ON REGENCY DRIVE: JSP18-15

NATURAL FEATURES



LEGEND

-  WETLANDS
-  WOODLANDS
-  Subject Property

CITY OF NOVI
 Dept. of Community Development
 City Hall / Civic Center
 45175 W Ten Mile Rd
 Novi, MI 48375
cityofnovi.org

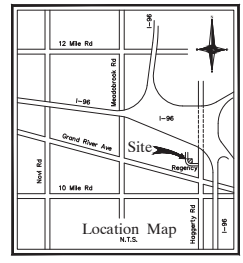
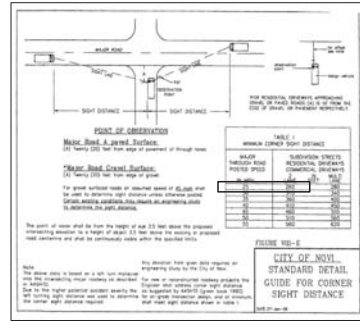
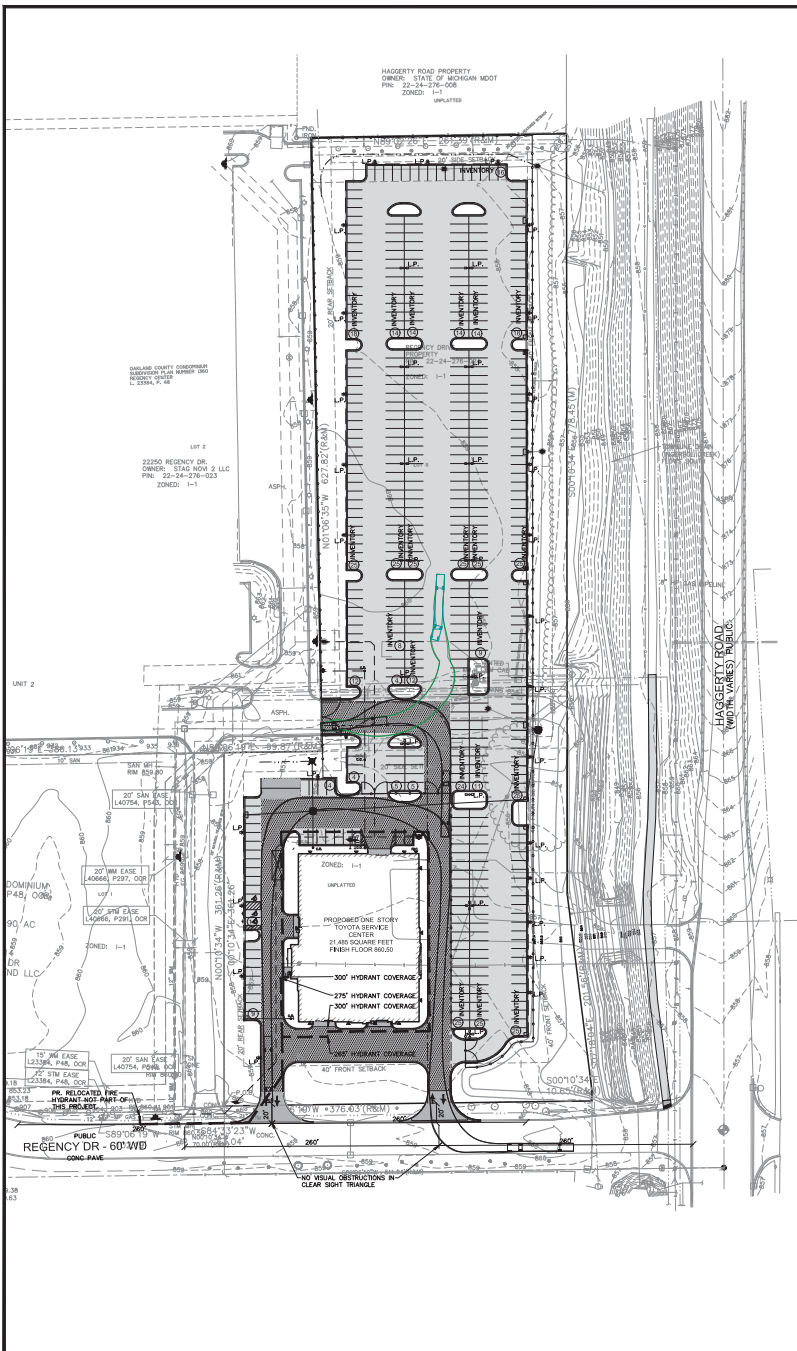
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 Version #: 1

0 55 110 220 330 Feet
 1 inch = 250 feet

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SITE PLAN



NF ENGINEERS
 CIVIL ENGINEERS
 LAND SURVEYORS
 LAND PLANNERS

NOWAK & FRAUS ENGINEERS
 4677 WOODWARD AVE.
 PONTIAC, MI 48342-5032
 TEL. (248) 332-7931
 FAX. (248) 332-8257



PROJECT
 Suburban Collection -
 Regency Drive

CLIENT
 Suburban Collection
 1795 Maplelawn Drive
 Troy, MI 48064

Contact:
 Timothy J. LeRoy
 Tel: 248-519-9888
 email: tleroy@suburbancollection.com

PROJECT LOCATION
 Part of the Northeast 1/4 of
 Section 24, Town 1 North,
 Range 8 East, City of Novi,
 Oakland County, Michigan

SHEET
 Preliminary Overall Site
 Plan

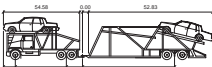
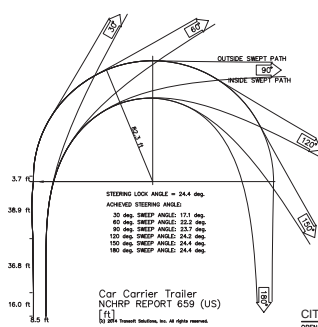


DATE ISSUED/REVISED
 2018-01-23 ISSUED FOR SITE PLAN REVIEW
 2018-07-27 REVISED PER SITE PLAN REVIEW

DRAWN BY:
 T. Wood
 DESIGNED BY:
 T. Wood
 APPROVED BY:
 J. Longhurst

DATE:
 March 23, 2018

SCALE: 1" = 60'
 NFE JOB NO. SHEET NO.
J875-02 C3



Car Carrier Trailer	feet
Tractor Width	8.00
Tractor Height	8.00
Tractor Track	8.00
Tractor Wheel	8.00

ADJACENT LAND ZONING AND USE

ADJACENT LAND	ZONING	USE
FROM NORTH	I-1	WAREHOUSE
FROM EAST	W-UM	WAREHOUSE

SITE INFORMATION

EXISTING ZONING: I-1 (LIGHT INDUSTRIAL)
 SITE AREA: 290,506 SF, OR 6.669 ACRES (TOTAL)

MIN. VAND SETBACKS:	REQUIRED:	PROPOSED:
FRONT	400 FT.	101.0 FT.
REAR	200 FT.	81.4 FT.
RIGHT	200 FT.	68.0 FT.

MIN. PARKING SETBACKS:	REQUIRED:	PROPOSED:
FRONT	200 FT.	45.0 FT.
REAR	200 FT.	20.0 FT.
MAX. BLDG. HEIGHT	40.0 FT.	

VEHICLE PARKING:
 REQUIRED: AUTOMOBILE SERVICE ESTABLISHMENTS:
 2 SPACES PER SERVICE BAY PLUS
 1 SPACE PER EMPLOYEE

EMPLOYEES	= 20
SERVICE BAYS	= 21
20 EMP. + 1 SP/EMP.	= 20 SP
21 BAYS + 2 SP/BAY	= 62 SP

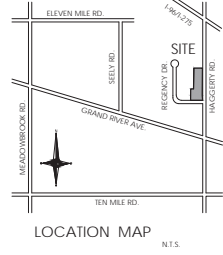
PROVIDED: 62 SPACES
 62 SPACES INCLUDING 3 HANDICAP SPACES AND
 488 BICYCLE SPACES
 488 SPACES TOTAL

PAVING LEGEND

[Symbol]	PR. 8" CONCRETE PAVEMENT
[Symbol]	PR. 4" ASPHALT PAVEMENT
[Symbol]	PR. 4" ASPHALT PAVEMENT

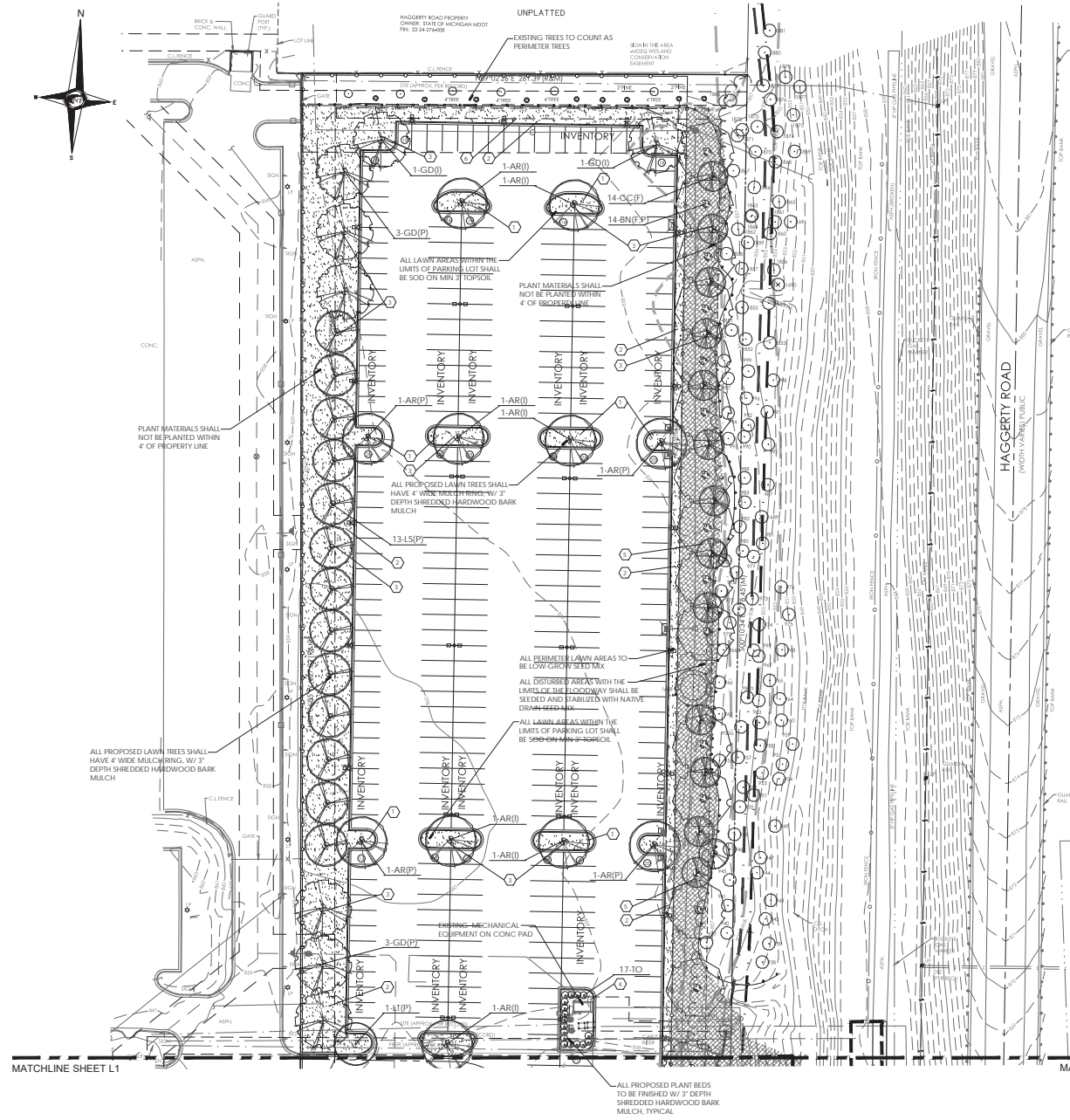
LEGEND

[Symbol]	MANHOLE	EXISTING SANITARY SEWER
[Symbol]	HYDRANT	SAN. CLEAN OUT
[Symbol]	MANHOLE	EXISTING WATERMAIN
[Symbol]	MANHOLE	EXISTING STORM SEWER
[Symbol]	UTILITY POLE	EX. R. Y. CATCH BASIN
[Symbol]	UTILITY POLE	EXISTING BURIED CABLES
[Symbol]	UTILITY POLE	OVERHEAD LINES
[Symbol]	UTILITY POLE	LIGHT POLE
[Symbol]	UTILITY POLE	EXISTING GAS MAIN
[Symbol]	UTILITY POLE	PR. SANITARY SEWER
[Symbol]	UTILITY POLE	PR. WATER MAIN
[Symbol]	UTILITY POLE	PR. STORM SEWER
[Symbol]	UTILITY POLE	PR. R. Y. CATCH BASIN
[Symbol]	UTILITY POLE	PROPOSED LIGHT POLE



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- GROUND COVER KEY**
- ① TYPICAL SOO LAWN AREAS, SOWN ON 3" TOPSOIL
 - ② RESTORE EXISTING LAWN AREAS W/ HYDRASEED AND MULCH
 - ③ 4" DIA SPADE CUT EDGE W/ 3" SHREDDED BARK MULCH
 - ④ 3" DEPTH DOUBLE SHREDDED HARDWOOD BARK MULCH
 - ⑤ UPLAND DRAIN RESTORATION SEED MIX
 - ⑥ POSSIBLE SNOW DEPOSITION AREA TO BE COORDINATED WITH REMOVAL SERVICE

PLANT SCHEDULE

SYMBOL	CITY	BOTANICAL/COMMON NAME	SIZE	SPACING	ROOT	COMMENT	UNIT/TOTAL COST
AL	8	Adiantum (Fern)	6" H	SEE PLAN	BA8	CLUMP FORM, MIN 3 CANES	\$250/12,000
AR	17	Aster (Flower)	3" CAL	SEE PLAN	BA8	FULLY BRANCHED HEADS	\$400/16,800
BN	14	Berberis	12-14 H	SEE PLAN	BA8	CLUMP FORM, MIN 3 CANES	\$400/16,800
CC	26	Calluna (Heather)	3" CAL	SEE PLAN	BA8	FULLY BRANCHED HEADS	\$250/12,000
GD	19	Germium (Sage)	3" CAL	SEE PLAN	BA8	FULLY BRANCHED HEADS	\$400/16,800
IS	21	Impatiens (Pulsatilla)	3" CAL	SEE PLAN	BA8	FULLY BRANCHED HEADS	\$400/16,800
LI	3	Lilium (Tulip)	3" CAL	SEE PLAN	BA8	FULLY BRANCHED HEADS	\$400/16,800
PC	7	Prunella (Lavender)	3" CAL	SEE PLAN	BA8	FULLY BRANCHED HEADS	\$375/15,275
SA	8	Salix (Willow)	3" CAL	SEE PLAN	BA8	FULLY BRANCHED HEADS	\$400/16,800
SHRUBS							
HA	30	Hedera (Holly)	30" H	42" OC	BA8	WELL-BRUSHED	\$50/1,500
JS	2	Juncus (Flower)	3" H	SEE PLAN	BA8	WELL-BRUSHED	\$50/1,500
MA	34	Mandarin (Hedge)	30" H	36" OC	BA8	MANDARIN AS HEDGE	\$50/1,500
SB	37	Salix (Hedge)	24" H	36" OC	BA8	WELL-BRUSHED	\$50/1,500
SI	32	Salix (Hedge)	24" H	36" OC	BA8	MANDARIN AS HEDGE	\$50/1,500
TG	44	Taxus (Hedge)	30" H	36" OC	BA8	MANDARIN AS HEDGE	\$50/1,500
TR	17	Thuja (Hedge)	3" H	48" OC	BA8	MANDARIN AS HEDGE	\$50/1,500
TREE							
GA	41	Gaultheria (Flower)	3" GAL	30" OC	CON	WELL-BRUSHED	\$10/410
HS	114	Hesperis (Flower)	2" GAL	24" OC	CON	WELL-BRUSHED	\$10/410
HR	108	Hieracium (Flower)	2" GAL	30" OC	CON	WELL-BRUSHED	\$10/410
LS	1099	Lupinus (Flower)	1" GAL	18" OC	CON	WELL-BRUSHED	\$10/410
PA	51	Panicum (Flower)	3" GAL	30" OC	CON	WELL-BRUSHED	\$10/410



PROJECT
 Suburban Collection - Novi

CLIENT
 Suburban Collection
 1795 Maplelawn Drive
 Troy, MI 48064

Contact:
 Timothy J. LeRoy
 Tel: 248-519-9888
 email: teroy@suburbancollection.com

PROJECT LOCATION
 Part of the Northeast 1/4 of Section 24 T11 N., R. 8 E. City of Novi, Oakland County, Michigan

SHEET
 Landscape Plan - North



REVIEWS
 07/13/18 REVISED PER CITY

DRAWN BY:
 G. Ostrowski
 DESIGNED BY:
 G. Ostrowski
 APPROVED BY:
 G. Ostrowski
 DATE:
 03-23-2018

SCALE: 1" = 30'
 30 15 0 15 30 45
 NFE JOB NO. SHEET NO.
J875 L2

MATCHLINE SHEET L2

MATCHLINE SHEET L2

NOTE:
THE SITE CONTAINS NO REGULATED WOODLANDS

NOTE:
SEE SHEET L2 FOR PLANT LIST
SEE SHEET L3 FOR BASIS OF CALCULATION DIAGRAM



NOWAK & FRUAS ENGINEERS
4677 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257

SCALE



PROJECT
Suburban Collection - Novi

CLIENT
Suburban Collection
1795 Mapleland Drive
Troy, MI 48064

Contact:
Timothy J. LeRoy
Tel: 248-519-9888
email: teroy@suburbancollection.com

PROJECT LOCATION
Part of the Northeast 1/4
of Section 24,
T11 N., R 8 E.,
City of Novi,
Oakland County, Michigan

SHEET

Landscape Plan - South



REVISIONS

02/13/18 REVISED PER CITY

DRAWN BY:

G. Ostrowski

DESIGNED BY:

G. Ostrowski

APPROVED BY:

G. Ostrowski

DATE:

03-23-2018

SCALE: 1" = 30'

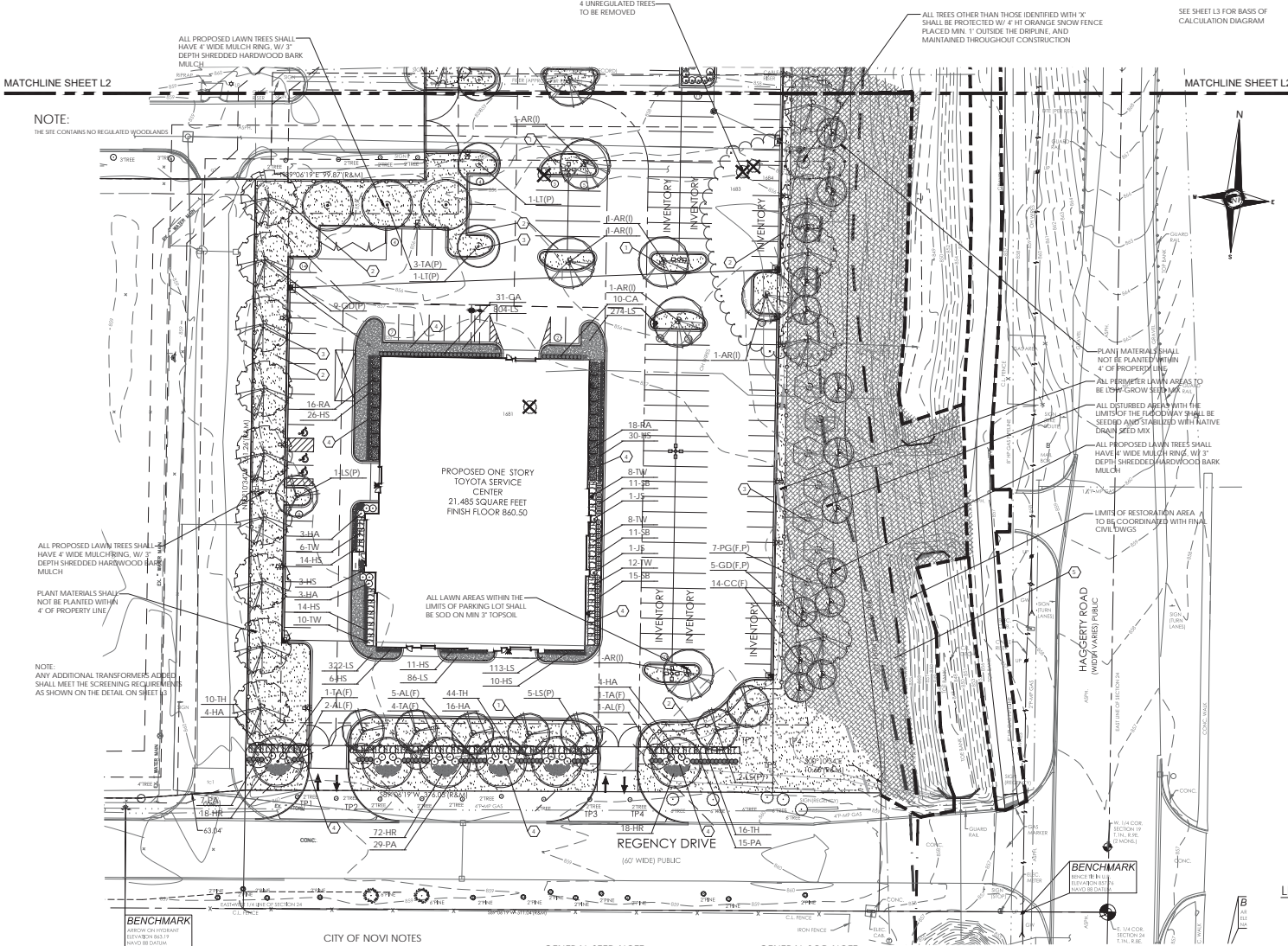
10 15 20 25 30 35

NEE JOB NO.

J875

SHEET NO.

L1



ALL PROPOSED LAWN TREES SHALL HAVE 4" WIDE MULCH RINGS, W/ 3" DEPTH SHREDDED HARDWOOD BARK MULCH

4 UNREGULATED TREES TO BE REMOVED

ALL TREES OTHER THAN THOSE IDENTIFIED WITH 'X' SHALL BE PROTECTED W/ 4" H ORANGE SNOW FENCE PLACED MIN 1' OUTSIDE THE CIRCULE AND MAINTAINED THROUGHOUT CONSTRUCTION

NOTE:
THE SITE CONTAINS NO REGULATED WOODLANDS

LANDSCAPE REQUIREMENTS

EXISTING SEE DRAWING: 15' LIGHT INDUSTRIAL DISTRICT EXISTING SITE AREA - 279,036 S.F. OR 6.47 ACRES

LANDSCAPE ABUTTING A R.O.W.
STREET TREES: DO 1 DECIDUOUS TREE PER 40 L.F. OF FRONTAGE
REQUIRED: 378 L.F. 40 L.F. (ACCESS)/ 45 L.F. + 7 TREES REQUIRED
REQUIRED: 7 TREES
PROVIDED: 10 EXISTING TREES

HAGGERY ROAD
REQUIRED: 396 L.F. / 40 L.F. + 22 TREES REQUIRED
REQUIRED: 27 TREES
PROVIDED: A WAIVER IS REQUIRED FOR THE TREES AND BERM REQUIRED BASED ON EXPANSION OF COURTY DRIVE

ROW LANDSCAPE SCREENING - (F)
REGENCY DRIVE
1 TREE PER 40 L.F.
1 SUB-CANOPY TREE PER 40 L.F.
2 SHRUBS PER 40 L.F.
2 CANOPY TREES PER 40 L.F.
2 SUB-CANOPY TREES PER 40 L.F.
2 CANOPY TREES PER 40 L.F.
2 SUB-CANOPY TREES PER 40 L.F.
2 CANOPY TREES PER 40 L.F.
2 SUB-CANOPY TREES PER 40 L.F.

ALL PROPOSED LAWN TREES SHALL HAVE 4" WIDE MULCH RINGS, W/ 3" DEPTH SHREDDED HARDWOOD BARK MULCH

PLANT MATERIALS SHALL NOT BE PLANTED WITHIN 4' OF PROPERTY LINE

NOTE:
ANY ADDITIONAL TRANSFORMERS ADDED SHALL MEET THE SCREENING REQUIREMENTS AS SHOWN ON THE DETAIL ON SHEET L3

BENCHMARK
ELEVATION 294.10
NOV 04 2017
NOV 04 2017

NOTE:
INSTALLATION TENTATIVELY SCHEDULED TO BE COMPLETED FALL OF 2018. ALL PLANTINGS SHALL BE DONE BETWEEN MARCH 15 AND NOVEMBER 15.
ALL PLANT SUBSTITUTIONS AND/OR DEVIATIONS FROM THE APPROVED PLANS SHALL BE APPROVED IN WRITING BY THE CITY OF NOVI PRIOR TO INSTALLATION.
ALL TREE WRAP AND STAKES ARE TO BE REMOVED AFTER THE FIRST WINTER SEASON.

CITY OF NOVI NOTES
1. ALL LANDSCAPE BEHAVIOR SHALL BE BACKFILLED WITH A SAND MIXTURE TO EXISTING GRADES.
2. ALL PROPOSED LANDSCAPE BEHAVIOR SHALL BE COMPLETED BY THE PERMITS EXPIRATION DATE.
3. ALL LANDSCAPE BEHAVIOR SHALL BE COMPLETED BY THE PERMITS EXPIRATION DATE.
4. OVERHEAD UTILITY LINES AND POSTS TO BE RELOCATED AS DIRECTED BY THE UTILITY COMPANY OR RECORDS.
5. OVERSEEDING AND CANOPY TREES SHALL BE PLANTED A MINIMUM OF 3' FROM EXISTING DRIVEWAYS AND WALKWAYS AND 5' FROM DRIVEWAYS AND WALKWAYS.
6. ALL PLANT MATERIALS SHALL BE SCREENED TO REMOVED ALL DISEASED MATERIALS. ALL PLANT MATERIALS SHALL BE SCREENED TO REMOVED ALL DISEASED MATERIALS. ALL PLANT MATERIALS SHALL BE SCREENED TO REMOVED ALL DISEASED MATERIALS.
7. ALL PROPOSED TREES SHALL BE PLANTED A MINIMUM OF 3' FROM THE BACK OF CURB AND PROTECTED WALES.
8. ALL PLANTING SHALL BE COMPLETED BY THE PERMITS EXPIRATION DATE.
9. THE CITY OF NOVI LANDSCAPE ARCHITECTS SHALL APPROVE ANY SUBSTITUTIONS IN WRITING PRIOR TO INSTALLATION.

GENERAL SEED NOTE:
ALL LAWN AREAS DESIGNATED TO BE SEEDDED SHALL BE HYBRID SEEDS WITH SPICED BLEND, AND STABILIZED WITH WOOD CELLULOSE FIBER MULCH (2,000 LBS PER ACRE). IN AREAS SUBJECT TO EROSION, SEEDING SHALL BE FURTHER ENHANCED WHERE NECESSARY WITH ROCKWOOL MAT. PROTECTOR BLANKET AND STAKED UNITS ESTABLISHED. ALL SEED SHALL BE APPLIED OVER A MINIMUM 7" PREPARED TOPSOIL, AND SHALL BE KEPT MOIST AND WATERED DAILY UNITS ESTABLISHED.
SEEDING REGULATIONS SHALL OCCUR ONLY SPRING APRIL TO JUNE
FALL AUGUST 15 TO OCTOBER 15

GENERAL SOD NOTE:
ALL LAWN AREAS DESIGNATED TO BE SEEDDED SHALL BE SOODED WITH A BLENDED BLEND OF BLUEGRASS SOD, TYPICALLY GROWN IN THE REGION. ALL SOD SHALL BE PLACED ON A MINIMUM 7" PREPARED TOPSOIL, AND WATERED DAILY UNITS ESTABLISHED. IN AREAS SUBJECT TO EROSION, SODDED LAWN SHALL BE STABILIZED WHERE NECESSARY, AND LAY PERPENDICULAR TO SLOPES.
SEEDING REGULATIONS SHALL OCCUR ONLY SPRING APRIL TO JUNE
FALL AUGUST 15 TO OCTOBER 15

IRRIGATION NOTE:
AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WILL BE PROVIDED FOR ALL LANDSCAPED AREAS IN FULL COMPLIANCE WITH THE ZONING ORDINANCE.

NOTE:
THE APPROXIMATE DATE OF INSTALLATION FOR THE PROPOSED LANDSCAPE SHALL BE FALL 2018.
THE SITE WILL BE MAINTAINED BY THE DEVELOPER IN ACCORDANCE WITH THE STANDARDS SET FORTH IN THE CITY OF NOVI ZONING ORDINANCE.

PLANT MATERIALS SHALL NOT BE PLANTED WITHIN 4' OF PROPERTY LINE

ALL DISTURBED AREAS WITHIN THE LIMITS OF THE PAVED DRIVEWAY SHALL BE SEEDDED AND STABILIZED WITH NATIVE DRAIN (200 LBS)

ALL PROPOSED LAWN TREES SHALL HAVE 4" WIDE MULCH RINGS, W/ 3" DEPTH SHREDDED HARDWOOD BARK MULCH

LIMITS OF RESTORATION AREA TO BE COORDINATED WITH FINAL CIVIL DRAWING

HAGGERY ROAD (WIDEN VARIETY PUBLIC)

BENCHMARK
ELEVATION 294.10
NOV 04 2017
NOV 04 2017

GROUND COVER KEY
1 TYPICAL SOD LAWN AREAS, SOWN ON 2" TOPSOIL
2 RESTORE EXISTING LAWN AREAS W/ HYDRATED AND MULCH
3 4" DIA SPADE CUT EDGE W/ 3" SHREDDED BARK MULCH
3' DEPTH DOUBLE SHREDDED HARDWOOD BARK MULCH
4 UPLAND DRAIN RESTORATION SEED MIX
5 POSSIBLE SLOPE RESTORATION AREA, TO BE COORDINATED WITH REMOVAL SERVICE

LEGEND:
X TREES TO BE REMOVED
160 TREES TO REMAIN
TREES TO REMAIN
TREE PROTECTION FENCING

GENERAL NOTES:
ALL PROPOSED PLANT MATERIALS SHALL BE SCREENED TO REMOVED ALL DISEASED MATERIALS. ALL PLANT MATERIALS SHALL BE SCREENED TO REMOVED ALL DISEASED MATERIALS. ALL PLANT MATERIALS SHALL BE SCREENED TO REMOVED ALL DISEASED MATERIALS.
SOD SHALL BE 12" DEEP AND 17" WIDE AND SHALL BE PLANTED IN A MINIMUM OF 48 HOURS PRIOR TO INSTALLATION OF ALL MATERIALS.



SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



SOUTHWEST ELEVATION



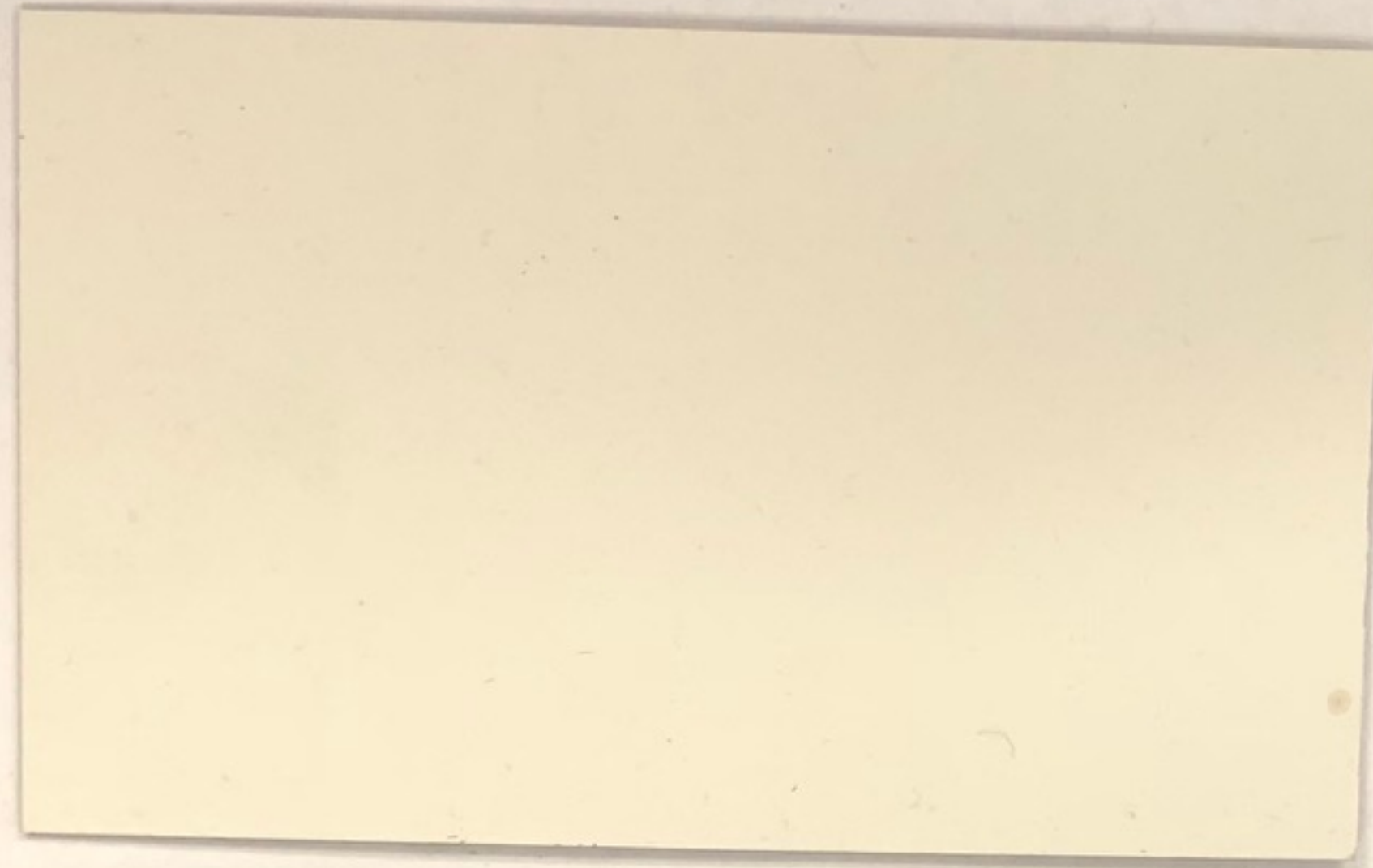
NORTHEAST ELEVATION

FAÇADE BOARD

Suburban Toyota Service Center
EXTERIOR FINISHES



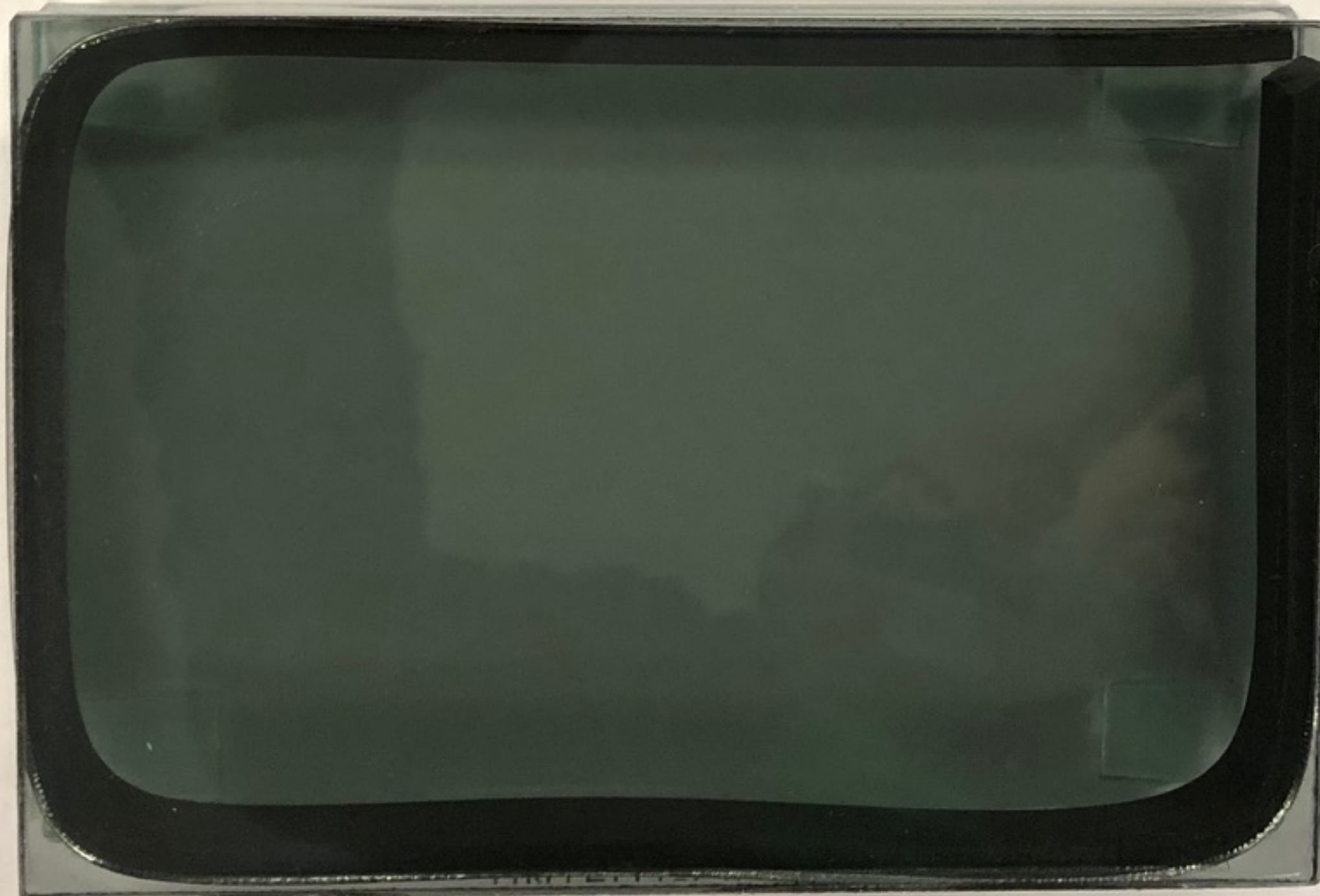
CLAY BRICK
BELDON SEAL BROWN UTILITY SIZE



SMOOTH METAL PANEL
CENTRIA COLONIAL WHITE

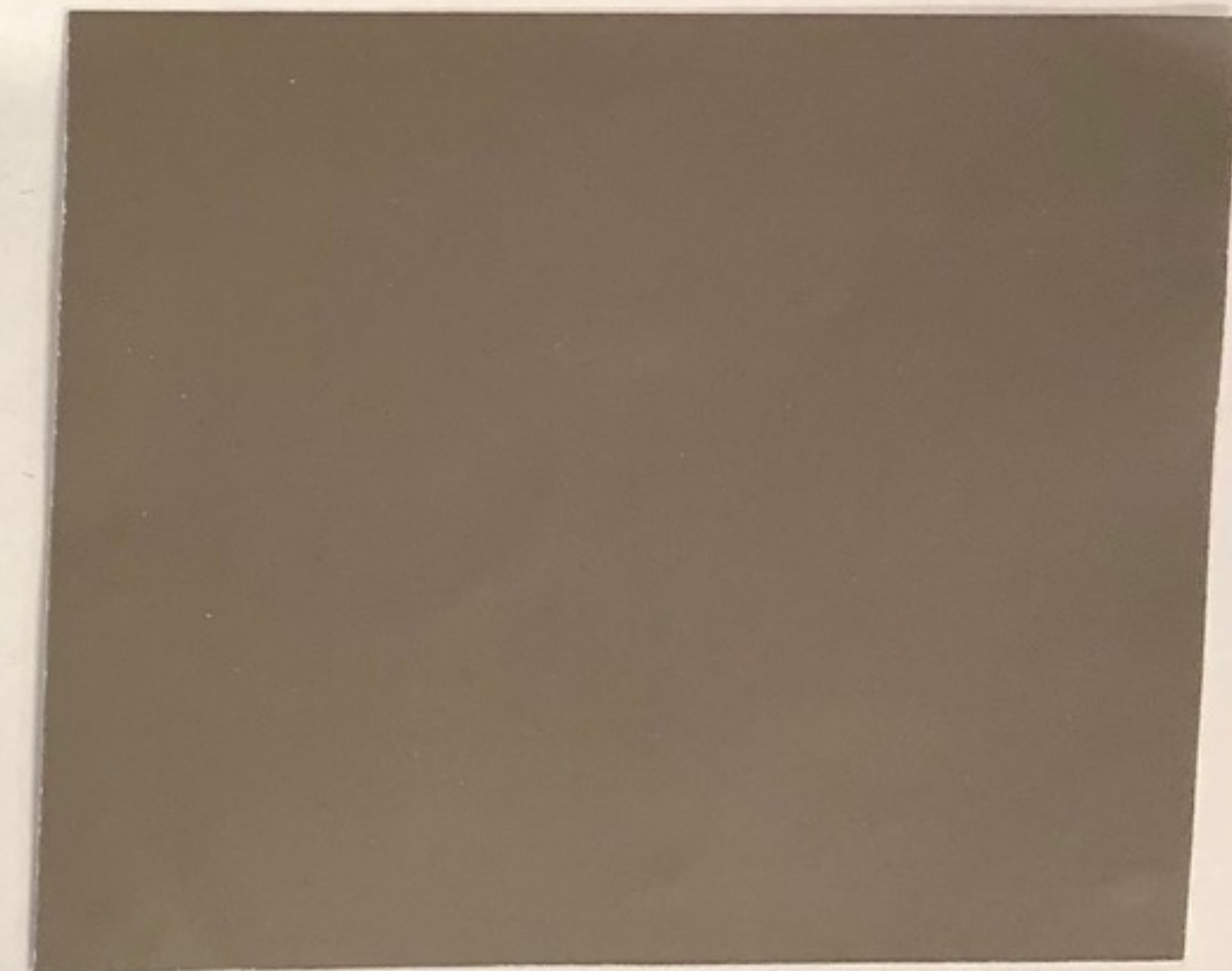


SMOOTH METAL PANEL
SMOOTH STRIATED METAL PANEL
CENTRIA DEEP SEA BLUE



ANODIZED ALUMINUM
DARK BRONZE
TYPICAL AT ALL ALUMINUM FRAMES

TYPICAL AT ALL STOREFRONT DOORS & WINDOWS



PAINT FOR DOORS & FRAMES
SHERWIN WILLIAMS SW7026 GRIFFIN

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

September 24, 2018

Planning Review

Toyota Service Center at Regency Drive

JSP 18-15

PETITIONER

Nowak and Fraus Engineers

REVIEW TYPE

Special Land Use and Preliminary Site Plan

PROPERTY CHARACTERISTICS

Section	24	
Site Location	North of Regency Drive, West of Haggerty Road; 22-24-276-024 and 22-24-276-011	
Site School District	Novi Community School District	
Site Zoning	I-1: Light Industrial District	
Adjoining Zoning	North	I-1: Light Industrial District
	East	City of Farmington Hills, Light Industrial District
	West	I-1: Light Industrial District
	South	I-1: Light Industrial District
Current Site Use	Vacant	
Adjoining Uses	North	MDOT Storm Water Pond
	East	Automobile Dealership
	West	Proposed R&D office
	South	Self-Storage Facility
Site Size	6.67 acres	
Plan Date	July 17, 2018	

PROJECT SUMMARY

The applicant is proposing a new 21,485 square foot vehicle service station building and inventory vehicle parking on a 6.67 acre vacant site. The parcels are on the north of Regency Drive, west of Haggerty Road. The service establishment would process new vehicles being delivered for sale at the Toyota dealership on the east side of Haggerty Road and store them temporarily on the site before being moved to the dealership. The I-1 District allows Automobile Service Establishments that perform minor services and minor automotive repair. The I-1 District allows outside storage of uses associated with uses contained within a building on the same site subject to a number of conditions, as detailed in this letter and planning chart. The applicant has explained that the proposed new vehicle storage is for backup inventory for the dealership on the east side of Haggerty Road. Customers would not visit the site, but dealership personnel or car carriers would bring vehicles to the dealership to prepare them for sale. The proposed vehicle service center and accessory open storage of new vehicles both require Special Land Use approval. The site is planned and zoned for Light Industrial use.

RECOMMENDATION

Approval of the ***Preliminary Site Plan is recommended.*** The plan mostly conforms to the requirements of the Zoning Ordinance, with a few deviations to be addressed in subsequent Site Plan submittals. All reviews recommend approval. **Planning Commission's approval for Special Land Use, Preliminary Site Plan, Wetland Permit, and Storm Water Management Plan is required.**

SPECIAL LAND USE CONSIDERATION

In the I-1 District, Automobile Service Establishments fall under the Special Land Use requirements. Non-Residential Open Storage may also be permitted as a Special Land Use as an accessory to an otherwise permitted use in the I-1 District. Specific factors the Planning Commission shall consider in the review of the Special Land Use Permit request are:

- Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service.
- Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area.
- Whether, relative to other feasible uses of the site, the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats.
- Whether, relative to other feasible uses of the site, the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood.
- Whether, relative to other feasible uses of the site, the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.
- Whether, relative to other feasible uses of the site, the proposed use will promote the use of land in a socially and economically desirable manner.
- Whether, relative to other feasible uses of the site, the proposed use is:
 - (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and
 - (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

ORDINANCE REQUIREMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. **Please see the attached charts for information pertaining to ordinance requirements.** Items in **bold** below must be addressed and incorporated as part of the Final Site Plan submittal:

1. Automobile Service Establishment (Section 4.50): The applicant proposes a building with 21 service bays to provide support to the Toyota operations across Haggerty Road in Farmington Hills. The plan meets the ordinance requirements for this type of use (combined with the proposed vehicle storage) as noted in the Planning Review Chart. Section 4.50 of the Zoning Ordinance states that the I-1 District allows certain uses as a Special Land Use: *In the I-1 district, automobile service establishments that include minor services for minor vehicle repair and servicing such as engine tune-ups, brake service, electrical repair and servicing, wheel alignments, exhaust system repair, heating and air conditioning repair and service, shock and strut system work, glass and upholstery repair and replacement, and minor engine and transmission service, but not including major automobile repair such as vehicle undercoating, body repair and collision work, painting, tire recapping, major engine or transmission work or auto dismantling operations.* **The applicant is asked to add a note to the plan indicating this ordinance standard.**
2. Noise Impact Study (Sec. 4.50.4): The applicant has provided a Noise Impact Study as required for automobile service establishments. The study performed by Kolano and Saha Engineers, Inc.

predicted sound levels for rooftop mechanical equipment, service garage activities, delivery trucks, and car carrier loading/unloading associated with the proposed activities on the site. The study predicts noise levels to be within the City's noise code limits.

3. Non-Residential Open Storage (Section 3.14.1.B.iv): The applicant proposes open storage of new vehicles as an accessory use to the vehicle service establishment. The applicant has explained that when vehicles are brought to the site, minor service will be provided to the vehicles in the proposed building, and then the vehicles will be stored on site. The ordinance requirements for open storage are largely met, as reviewed in the accompanying Planning Review Chart. However, the ordinance states that "storage shall be located in the rear yard or an interior side yard." Inventory vehicle storage is indicated in both the rear yard and exterior side yard fronting on Haggerty Road. **The Planning Commission may modify the requirement if it finds the proposed use will be compatible with and not have material negative impact on existing and proposed uses located on surrounding properties. The applicant shall provide justification in their response letter for the proposed use, location, and impact on surrounding properties.**

The ordinance further states, *Storage to be completely screened from all adjacent properties by appropriate structures, fencing or walls 6-8 ft in height. Alternatively, landscaping conforming to Sec 5.5 may be used to completely screen the storage from adjacent properties if approved by the Planning Commission. A cyclone fence is proposed but it is not yet clear whether the screening will meet ordinance requirements. The applicant is asked to provide details of the proposed fence and further evidence that the required screening will be met.*

4. Non-Motorized Facilities (Section 11-256): The Non-Motorized Plan indicates a future major sidewalk or pathway along the west side of Haggerty Road that would connect with the existing trail that runs parallel to I-275. The applicant proposes an 8 foot wide asphalt path along a portion of the Haggerty Road frontage within the Right-of-Way on the east side of Ingersoll Creek. The proposed plan indicates there is an existing asphalt trail they will connect with, however it appears that this asphalt may be broken and in disrepair, presenting a dangerous condition for non-motorized users. **The applicant is asked to provide an 6-foot continuous safe path surface for the entire length of their Haggerty Road frontage, as shown in the Master Plan.**
5. Plan Review Chart: There are additional minor clarifications requested in the Plan review chart. Please refer to the chart for additional details.
6. Other Reviews:
 - a. Engineering Review: Additional comments to be addressed with Final Site Plan. Engineering recommends approval.
 - b. Landscape Review: Landscape recommends approval with comments to be addressed in Final Site Plan submittal. Refer to review letter and chart for more comments.
 - c. Wetlands Review: Impacts to Ingersoll Creek and within the 25-foot watercourse buffer area are proposed. *Non-minor Wetland Use Permit and Authorization to Encroach into the 25-foot Natural Features Setback* will be required. ECT recommends approval, with additional comments to be addressed in Final Site Plan submittal.
 - d. Woodlands Review: No impacts to regulated Woodlands are proposed. Woodland Review is not necessary.
 - e. Traffic Review: Additional comments to be addressed with Final Site Plan. Traffic recommends approval.
 - f. Facade Review: Façade consultant recommends approval. The proposed design is in full compliance with façade ordinance. See letter for additional details.
 - g. Fire Review: Fire recommends conditional approval. Additional comments to be addressed with Final Site Plan.

NEXT STEP: PLANNING COMMISSION MEETING

This Site Plan and Special Land Use request is scheduled to go before Planning Commission for public hearing on **October 24, 2018 at 7:00 p.m.** Please provide the following **no later than 12:00pm, October 18, 2018** if you wish to keep this schedule.

1. Site Plan submittal in PDF format (maximum of 10MB). **NO CHANGES MADE.**
2. A response letter addressing ALL the comments from ALL the review letters and a request for waivers as you see fit.
3. A color rendering of the Site Plan (Optional- to be used for Planning Commission presentation).
4. A sample board of building materials as requested by our Façade Consultant.

FINAL SITE PLAN SUBMITTAL

After receiving Planning Commission's approval of the Preliminary Site Plan, and the Zoning Board of Appeals' action on any variance requests (if needed), please follow the [Final Site Plan Checklist](#) and submit for approval:

1. Six copies of Final Site Plan sets addressing all comments from Preliminary review,
2. Response letter addressing ALL the comments from ALL the review letters and **refer to sheet numbers where the change is reflected.**
3. [Final Site Plan Application](#)

ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER

After receiving Final Site Plan approval, plans addressing the comments in all of the staff and consultant review letters should be submitted electronically for informal review and approval prior to printing Stamping Sets. A letter from either the applicant or the applicant's representative addressing comments in this and other review letters and associated charts is to be submitted with the electronic stamping set. This letter should address all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

STAMPING SET APPROVAL

Stamping sets are still required for this project. After having received all of the review letters from City staff the applicant should make the appropriate changes on the plans and submit **10 size 24" x 36" copies with original signature and original seals on the cover sheet (subsequent pages may use electronic seal with signature),** to the Community Development Department for final Stamping Set approval.

If required, drafts for all legal documents with a legal transmittal are to be submitted along with stamping sets.

SIGNAGE

Exterior Signage is not regulated by the Planning Division or Planning Commission. Sign permit applications that relate to construction of a new building or an addition to an existing building may be submitted, reviewed, and approved as part of a site plan application. Proposed signs shall be shown on the preliminary site plan. Alternatively, an applicant may choose to submit a sign application to the Building Official for administrative review. Following preliminary site plan approval, any application to amend a sign permit or for a new or additional sign shall be submitted to the Building Official. Please contact the Ordinance Division 248.735.5678 for information regarding sign permits.

PRE-CONSTRUCTION MEETING

A Pre-Construction meeting is required for this project. Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued

before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0484 or lbell@cityofnovi.org.



Lindsay Bell – Planner



PLANNING REVIEW CHART

Review Date: September 19, 2018
Review Type: Pre-Application Site Plan
Project Name: Suburban Collection – Regency Dr, JSP18-15
Location: NW corner of Regency Dr and Haggerty Road
Plan Date: 7-17-2018
Prepared by: Lindsay Bell, Planner
E-mail: lbell@cityofnovi.org **Phone:** 248.347.0484

Bold To be addressed with the next submittal
Underline To be addressed with final site plan submittal
Bold and Underline Requires Planning Commission and/or City Council Approval
Italics To be noted

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan <i>(adopted August 25, 2010)</i>	Industrial Research Development and Technology	Minor Automobile service	Yes	
Area Study	N/A			
Zoning <i>(Effective December 25, 2013)</i>	I-1: Light Industrial District	No Change	Yes	
Uses Permitted (Sec 3.1.18.C)	Special Land Uses	Automobile Service Establishment with Accessory Outside Storage	Yes	Special Land Use approval by the Planning Commission required
Automobile Service Establishment <i>(Sec. 4.50.1)</i>	Minor services for minor vehicle repair and servicing. Adjacent to a major thoroughfare: A. Min. 2 acres B. Min site frontage 200 feet C. No vehicle parking in front of actual building setback line D. No vehicle parking in required side yard setbacks E. No service bay doors facing thoroughfare F. No more than 1 curb cut to thoroughfare	Toyota service center building A. 6.669 acres B. 980 feet C. Vehicle parking proposed in front of building D. No parking proposed in side yard setbacks E. No service bay door on east façade	Yes Yes No* Yes Yes	<i>Inventory storage area in exterior side yard will be evaluated under standards for Outdoor Storage in Section 3.14.1.B.</i>

Item	Required Code	Proposed	Meets Code	Comments
		F. No curb cut proposed to Haggerty	Yes	
Automobile Service Establishment (Sec. 4.50.2)	Vehicle parking on site shall be limited to customers and employees, and not for vehicle storage longer than 24 hours nor for used car sales	Inventory parking proposed for dealership on east side of Haggerty	Yes	<i>Section 3.14.1.B.iv permits open storage of new materials in I-1</i>
Automobile Service Establishment (Sec. 4.50.3)	No wrecked or partially dismantled vehicles or vehicles without current license plates may be stored outside.	Vehicles without current license plates would be stored outside	Yes	<i>Section 3.14.1.B.iv permits accessory open storage of new materials in I-1</i>
Automobile Service Establishment (Sec. 4.50.4)	A noise impact statement is required subject to the standards of Section 5.14.10.B	Provided	Yes	
Non-Residential Open Storage (Sec3.14.1.B.iv)	Permitted as Special Land Use when conducted in conjunction with and accessory to otherwise permitted use in I-1	Accessory open storage of new vehicles proposed	Yes	Special Land Use approval from the Planning Commission required
New Materials (Sec3.14.1.B.iv.a)	Open storage is of new materials used for operations taking place inside a building on the same lot, or of new finished product prior to shipment	New vehicles would be processed in the service center and stored on-site before moved to the dealership	Yes	
Short-term (Sec3.14.1.B.iv.b)	Open Storage shall be short-term; no individual product/material shall be stored for more than one year	Note indicates no vehicle to be stored longer than 1 year	Yes	
Non-Residential Open Storage (Sec3.14.1.B.iv.c)	No open storage of waste, used secondhand materials, or obsolete machinery or materials	Stated on plans	Yes	
Expiration (Sec3.14.1.B.iv.d)	Special Land Use approval expires when a change in use occurs	Note acknowledges	Yes	
Site Plan (Sec3.14.1.B.iv.e)	Open storage areas shall be shown on a site plan, which shall clearly depict all of the required conditions of this section, including boundaries of the proposed storage areas; Amendments to the plan may require additional review and approval	Inventory parking areas indicated on site plan	Yes	
Location of Open Storage	Storage shall be located in the rear yard or an interior	Open storage currently shown in	No	Planning Commission may modify requirement

Item	Required Code	Proposed	Meets Code	Comments
<i>(Sec3.14.1.B.iv.f)</i>	side yard and subject to the setback, lot coverage, and landscaping requirements of Sections 3.6.2.B, 3.6.2.D, 3.6.2.F, 3.6.2.M, and 3.6.2.P	exterior side yard and rear yard		if it finds proposed use will be compatible with and not have material negative impact on existing and proposed uses located on surrounding properties
Screening <i>(Sec3.14.1.B.iv.g)</i>	Storage to be completely screened from all adjacent properties by appropriate structures, fencing or walls 6-8 ft in height. Alternatively, landscaping conforming to Sec 5.5 may be used to completely screen the storage from adj properties if approved by the Planning Commission.	Fence shown on plan, but no details provided	No	Provide details on fence type, height, materials, design, etc.
Maintenance of Screening <i>(Sec3.14.1.B.iv.h)</i>	If required screening includes landscaping, a plan for ongoing replacement of dead and diseased vegetation shall be submitted to regularly, professionally, and permanently maintain the vegetation.	Provided	Yes	
Height of Stored Materials <i>(Sec3.14.1.B.iv.i)</i>	Stored materials shall not extend above the height of the screening, and shall be protected from damage due to weather as necessary			Provide expected max height of vehicles to be stored. – don't see this on the plan
Minimum Site Development Standards <i>(Sec3.14.1.B.iv.j)</i>	Storage areas shall not conflict with the minimum site development standards required for the I-1 district or by any previously approved site plan, including parking, loading and landscaping	Storage/Inventory areas do not conflict with other development standards required in I-1 district	Yes	
Adequate Fire Protection <i>(Sec3.14.1.B.iv.k)</i>	Adequate fire protection and access for Fire Vehicles shall be provided at all times			<i>See Fire review comments</i>
Paving and Drainage <i>(Sec3.14.1.B.iv.l)</i>	Storage areas shall be paved and properly drained			<i>See Engineering Comments</i>
Modification of minimum standards <i>(Sec3.14.1.B.iv.m)</i>	Planning Commission may modify the minimum standards of this subsection if it finds proposed use will be compatible with and not have material negative impact on existing and		Yes	

Item	Required Code	Proposed	Meets Code	Comments
	proposed uses located on surrounding properties			
Items not Included (Sec 3.14.1.B.iv.n)	Open storage of Building materials (Sec 4.54) or that would constitute a Junkyard (defined in Sec. 2.2) are prohibited in the I-1 District	Note provided – no building materials proposed for storage	Yes	
Height, bulk, density and area limitations (Sec 3.1.18)				
Frontage on a Public Street. (Sec. 5.12)	Frontage on a Public Street is required	Frontage on Haggerty and Regency Drive	Yes	
Access to Major Thoroughfare (Sec. 5.13)	Vehicular access shall be provided only to an existing or planned major thoroughfare or freeway service drive <i>OR</i> access driveway on other street type is not across street from existing or planned single-family uses	Access from Regency Drive – not across from residential	Yes	
Minimum Zoning Lot Size for each Unit in Ac (Sec 3.6.2.D)	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space	6.669 acres	Yes	
Minimum Zoning Lot Size for each Unit: Width in Feet			NA	
Open Space Area	----	----	----	----
Maximum % of Lot Area Covered (By All Buildings)	(Sec 3.6.2.D)	7.1%	Yes	
Building Height (Sec. 3.1.18.D)	40 ft.	27' 4"	Yes	
Building Setbacks (Sec 3.1.18.D)				
Front (south)	40 ft.	83.4 ft.	Yes	
Rear (north)	20 ft.	104.5 ft.	Yes	
Side (west)	20 ft.	76 ft.	Yes	
Exterior Side (east)	40 ft. (dual frontage)	151.7 ft.	Yes	
Parking Setback (Sec 3.1.18.D) & Refer to applicable notes in Sec 3.6.2				
Front (south)	40 ft. (See 3.6.2.E)	67 ft.	Yes	*See open storage requirements for inventory parking on page 2-3
Rear (north)	20 ft.	28.3 ft.	Yes	
Side (west)	20 ft.	20 ft.	Yes	
Exterior Side (east)	40 ft. (dual frontage)	40 ft	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Note To District Standards (Sec 3.6.2)				
Exterior Side Yard Abutting a Street (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to front yard.	Proposed	Yes	
Off-Street Parking in Front Yard (Sec 3.6.2.E) <i>*See section 4.50 for use-specific requirements</i>	Off-street parking is allowed in front yard if: - the site is a minimum 2 acre site, - does not extend into the minimum required front yard setback of the district, - cannot occupy more than 50% of the area between min. front yard setback & bldg. setback, - must be screened by brick wall or landscaped berm 2.5 ft tall - lighting compatible with surrounding neighborhood	Vehicle storage proposed in front yard - Meets (6.66 acres) - Provided - Provided - No berm or wall shown - See lighting comments	Yes	<i>This section superseded by Section 4.50 requirements for Automobile Service and Section 3.14 for Outdoor Storage</i>
Off-Street Parking in Side and Rear Yards (Sec 3.6.2.F)	Off-street parking is allowed in side and rear yards if the site does not abut residential. If it does, additional conditions apply: i. shall not occupy more than 50% of side yard area abutting residential ii. parking setback no less than 100 ft from res district	Not adjacent to residential	NA	
Setback from Residential District - Building (Sec 3.6.2.H)	I-1 and I-2 districts, five (5) feet of horizontal setback for each foot of building height, or one-hundred (100) feet, whichever is greater.		NA	
Wetland/ Watercourse Setback (Sec 3.6.2.M)	A setback of 25 ft. from wetlands and from high watermark course shall be maintained	Proposed		See ECT letter for more detailed comments
Additional Height (Sec 3.6.2.O)	Additional heights for selected building is allowed based on conditions listed in Sec 3.6.2.O	Applicant not requesting	NA	

Item	Required Code	Proposed	Meets Code	Comments
Parking setback screening (Sec 3.6.2.P)	Required parking setback area shall be landscaped per Sec 5.5.3.	Parking lot screening shown	Yes	See Landscaping comments
Modification of parking setback requirements (Sec 3.6.2.Q)	The Planning Commission may modify parking setback requirements based on conditions listed in Sec 3.6.2.Q	Not requested	NA	
Parking and Loading Requirements				
Number of Parking Spaces Automobile Service Establishments (Sec.5.2.12.E)	Two spaces for each service bay, plus 1 space for every employee. No vehicles without current license plates shall be stored outside 21 bays * 2 = 42 20 emp. * 1 = 20 Required Parking: 62 Spaces	62 spaces + 426 inventory spaces Total Parking Proposed = 488 spaces	Yes	<i>Inventory parking considered under outdoor storage standards in Section 3.14</i>
Parking Space Dimensions and Maneuvering Lanes (Sec. 5.3.2)	- 90° Parking: 9 ft. x 19 ft. - 24 ft. two way drives - 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping	24 ft. drives min proposed 9 ft. x 19 ft. spaces and 9 x 17 spaces proposed	Yes	
Parking stall located adjacent to a parking lot entrance (public or private) (Sec. 5.3.13)	Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	Minimum distance is maintained	Yes	
End Islands (Sec. 5.3.12)	- End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance	Yes	Yes	Show measurements on the plan
Barrier Free Spaces <i>Barrier Free Code</i>	For 62 spaces, 3 barrier free required	3 barrier free shown	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Barrier Free Space Dimensions <i>Barrier Free Code</i>	<ul style="list-style-type: none"> - 8' wide with an 8' wide access aisle for van accessible spaces - 8' wide with a 5' wide access aisle for regular accessible spaces 	2 van accessible shown 1 regular BF shown	Yes	
Barrier Free Signs <i>Barrier Free Code</i>	One sign for each accessible parking space.	Shown	Yes	
Minimum number of Bicycle Parking <i>(Sec. 5.16.1)</i>	Two spaces required for motor vehicle service centers	Two spaces provided	Yes	
Bicycle Parking General requirements <i>(Sec. 5.16)</i>	<ul style="list-style-type: none"> - No farther than 120 ft. from the entrance being served - When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations - Spaces to be paved and the bike rack shall be inverted "U" design - Shall be accessible via 6 ft. paved sidewalk 	One rack proposed near west entrance	Yes	Show dimension of sidewalk/pad where rack is located
Bicycle Parking Lot layout <i>(Sec 5.16.6)</i>	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double		No	Provide dimensions of bike rack and parking area
Loading Spaces <i>(Sec. 5.4.3)</i>	Loading area in the rear yard, unless abutting residential or interior side yard if adjacent to I, EXPO or EXO district	Loading area shown on west side of building	No	Loading area would interfere with traffic flow in current location - relocate out of required 24 ft access aisle.
Accessory Structures				
Dumpster <i>(Sec 4.19.2.F)</i>	<ul style="list-style-type: none"> - Located in rear yard - Attached to the building or no closer than 10 ft. from building if not attached - Not located in parking setback - If no setback, then it cannot be any closer than 10 ft, from property line. - Away from Barrier free Spaces 	Dumpster in rear yard, 45 ft from building, not in parking setback and not near barrier free parking	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Dumpster Enclosure (Sec. 21-145. (c))	<ul style="list-style-type: none"> - Screened from public view - A wall or fence 1 ft. higher than height of refuse bin - And no less than 5 ft. on three sides - Posts or bumpers to protect the screening - Hard surface pad - Screening Materials: Masonry, wood or evergreen shrubbery 	Details included in plans	Yes	
Roof top equipment and wall mounted utility equipment (Sec. 4.19.2.E.ii)	All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	Parapet will screen RTUs	Yes	
Roof top appurtenances screening	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road or adjacent property.	Parapet will screen RTUs	Yes	
Transformer/ Generator	Provide location of any proposed transformers/ generators etc.	Existing utilities to remain – shown in the rear yard within a parking island – screening proposed	Yes	
I-1 District Required Conditions (Sec 3.14)				
Outdoor Storage of above ground storage tanks (Sec. 3.14.1.B.ii)	Outdoor placement of above-ground storage tanks of not more than 600 capacity per tank and accessory to an otherwise permitted use. Additional conditions apply.	Not Proposed	NA	
Outdoor Storage of recreational equipment (Sec. 3.14.1.B.iii)		Not Proposed	NA	
Other (Sec 3.14.2)	Unless otherwise provided, dealing directly with consumer at retail, is prohibited.	Note provided on C3	Yes	
Adjacent to Freeway ROW (Sec 3.14.4)	Where a permitted use abuts a freeway right-of way, special conditions listed in section 3.14.4 apply	Not adjacent to freeway ROW	NA	

Item	Required Code	Proposed	Meets Code	Comments
Planning Commission findings for permitted uses (Sec 3.14.3)				
Protecting current and future residential uses from adverse impact <i>Sec 3.14.3.A</i>	The scale, size, building design, façade materials, landscaping and activity of the use is such that current and future residential uses will be protected from adverse impacts.	Not adjacent to residential	NA	
Long term truck parking <i>Sec 3.14.3.B</i>	No long term delivery truck parking on site	Note provided on C3	Yes	
Performance standards <i>Sec 3.14.3.C</i>	The lighting, noise, vibration, odor and other possible impacts are in compliance with standards and intent of the article and performance standards of Section 5.14	Note provided on C3	Yes	<i>Noise impact study provided – noise levels predicted to be within the City’s noise code limits</i>
Storage and/use of material <i>Sec 3.14.3.D</i>	The storage and/or use of any volatile, flammable or other materials shall be fully identified in application and shall comply with any city ordinances regarding toxic or hazardous materials.	Note Provided	Yes	
Hazardous material checklist <i>Sec 3.14.3.E</i>	Compliance of City’s hazardous materials checklist	Checklist provided	Yes	
Sidewalks and Pathways				
ARTICLE XI. OFF-ROAD NON-MOTORIZED FACILITIES <i>Sec. 11-256. Requirement. (c) & Sub. Ord. Sec. 4.05,</i>	<ul style="list-style-type: none"> - In the case of new streets and roadways to be constructed as part of the project, a sidewalk shall be provided on both sides of the proposed street or roadway. - Sidewalks along arterials and collectors shall be 6 feet or 8 feet wide as designated by the “Bicycle and Pedestrian Plan,” but not along industrial service streets per Subdivision Ordinance. - Whereas sidewalks along local streets and private roadways shall be five (5) feet wide. 	<p>NA</p> <p>8’ path shown along Haggerty Road for portion of frontage</p> <p><i>Regency Drive is industrial service street – no sidewalk required.</i></p>	No	Concrete or asphalt path should extend to the north along full length of Haggerty frontage as shown in the Non-Motorized Plan. Can be reduced to 6’. Existing asphalt should be removed if in disrepair.

Item	Required Code	Proposed	Meets Code	Comments
Pedestrian Connectivity	<ul style="list-style-type: none"> - Whether the traffic circulation features within the site and parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets - Building exits must be connected to sidewalk system or parking lot. 	No internal sidewalks shown on the site	No	Provide sidewalks for safe pedestrian access to parking lots
Lighting and Photometric Plan (Sec. 5.7)				
Intent (Sec. 5.7.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky	Not provided	No	<u>Provide lighting/photometric plan with all details required as shown in the section below with Final Site Plan</u>
Lighting Plan (Sec. 5.7.A.i)	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures			
Building Lighting (Sec. 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.			
Lighting Plan (Sec. 5.7.2.A.ii)	Specifications for all proposed & existing lighting fixtures			
	Photometric data			
	Fixture height			
	Mounting & design			
	Glare control devices (Also see Sec. 5.7.3.D)			
	Type & color rendition of lamps			
	Hours of operation			
	Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties			
Maximum Height (Sec. 5.7.3.A)	Height not to exceed maximum height of zoning district (40 ft.) (or 25 ft. where			

Item	Required Code	Proposed	Meets Code	Comments
	adjacent to residential districts or uses)			
Standard Notes (Sec. 5.7.3.B)	<ul style="list-style-type: none"> - Electrical service to light fixtures shall be placed underground - Flashing light shall not be permitted - Only necessary lighting for security purposes & limited operations shall be permitted after a site's hours of operation 			
Security Lighting (Sec. 5.7.3.H) Lighting for security purposes shall be directed only onto the area to be secured.	<ul style="list-style-type: none"> - All fixtures shall be located, shielded, and aimed at the areas to be secured. - Fixtures mounted on the building and designed to illuminate the facade are preferred. 			
Average Light Levels (Sec.5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1			
Type of Lamps (Sec. 5.7.3.F)	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps			
Min. Illumination (Sec. 5.7.3.k)	Parking areas: 0.2 min			
	Loading/unloading areas: 0.4 min			
	Walkways: 0.2 min			
	Building entrances, frequent use: 1.0 min			
	Building entrances, infrequent use: 0.2 min			
Max. Illumination adjacent to Non-Residential (Sec. 5.7.3.K)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle			
Cut off Angles (Sec. 5.7.3.L)	When adjacent to residential districts <ul style="list-style-type: none"> - All cut off angles of fixtures must be 90° - maximum illumination at the property line shall not exceed 0.5 foot candle 		NA	

Item	Required Code	Proposed	Meets Code	Comments
Other Requirements				
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	<i>Parcels will need to be combined to comply with zoning ordinance requirements – application has been submitted</i>
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).	Provided	Yes	
Economic Impact Information	- Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied, if known).		No	Provide requested information for Planning Commission's consideration
Development and Street Names	Development and street names must be approved by the Street Naming Committee before Preliminary Site Plan approval	Name approval for business not required	NA	
Development/ Business Sign	Signage if proposed requires a permit. Can be considered during site plan review process or independently.	None shown	NA	<u>For sign permit information contact Maureen Underhill 248-735-5602.</u>

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4, and 5 of the zoning ordinance for further details.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

09/17/2018

Engineering Review

Toyota Service Center – Regency Drive
JSP 18-0015

Applicant

Suburban Collection

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: West of Haggerty Road, North of Regency Drive
- Site Size: 6.67 acres
- Plan Date: 7/17/18
- Design Engineer: Nowak & Fraus

Project Summary

- Construction of an auto service and inventory storage building and parking lot.
- Water service would be provided by connection to existing water main stub on the site with a domestic service lead and fire service lead to the building.
- Sanitary sewer service would be provided by connection to existing sanitary sewer stub on the site.
- Storm water would be collected by a single storm sewer collection system and routed to existing Haggerty Regional Detention basin northwest of the site.

Recommendation

Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of the design and construction standards as set forth in Chapter 11 of the City of Novi Codified Ordinance, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

Additional Comments (to be addressed upon Final Site Plan submittal):

General

1. Provide a minimum of two ties to established section or quarter section corners.
2. Revise the plan set to reference at least one city established benchmark. An interactive map of the City's established survey benchmarks can be found under the 'Map Gallery' tab on www.cityofnovi.org.
3. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal. They can be found on the City website (www.cityofnovi.org/DesignManual).
4. A same-side/opposite-side driveway spacing **Waiver**, granted by the Planning Commission, may be required for the proposed driveway locations.
5. Provide a traffic control sign table listing the quantities of each sign type proposed for the development.
6. Provide a traffic control plan for the proposed road work activity.
7. Correct the sheet title on sheet C9 to read 'Preliminary Utility Plan – South'.
8. Provide a note that compacted sand backfill shall be provided for all utilities within the influence of paved areas, and illustrate on the profiles.
9. Provide a note stating if dewatering is anticipated or encountered during construction a dewatering plan must be submitted to the Engineering Department for review.
10. Generally, all proposed trees shall remain outside utility easements. Where proposed trees are required within a utility easement, the trees shall maintain a minimum 5-foot horizontal separation distance from any existing or proposed utility. All utilities shall be shown on the landscape plan, or other appropriate sheet, to confirm the separation distance.
11. Show the locations of all light poles on the utility plan and indicate the typical foundation depth for the pole to verify that no conflicts with utilities will occur. Light poles in a utility easement will require a License Agreement.
12. Provide a backflow prevention device on all irrigation systems. The backflow prevention device shall be an RPZ, or another approved device based on site conditions such as irrigation head heights (pop-ups), grade changes, berms etc. Please contact Kevin Roby in the Water and Sewer Division at 248-735-5640 with any questions.

Water Main

13. Provide a profile for all proposed water main 8-inch and larger.
14. Provide three (3) signed and sealed sets of revised utility plans along with the MDEQ permit application (06/12 rev.) for water main construction. The Streamlined Water Main Permit Checklist should be submitted to the Engineering Division for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets.

Sanitary Sewer

15. Provide a sanitary sewer monitoring manhole, unique to this site, within a dedicated access easement or within the road right-of-way. If not in the right-of-way, provide a 20-foot wide access easement to the monitoring manhole from the right-of-way (rather than a public sanitary sewer easement).
16. Provide a note on the construction materials table that 6-inch sanitary leads shall be a minimum SDR 23.5, and mains shall be SDR 26.
17. Provide a note on the Utility Plan and sanitary profile stating that sanitary leads shall be buried at least 5 feet deep where under the influence of pavement.

Storm Sewer

18. A minimum cover depth of 3 feet shall be maintained over all storm sewers.
19. Label all inlet storm structures on the profiles. Inlets are only permitted in paved areas and when followed by a catch basin within 50 feet.
20. Match the 0.80 diameter depth above invert for pipe size increases.
21. 8-inch roof drain lead must be minimum SDR26.

Storm Water Management Plan

22. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual.
23. Provide documentation that the development is consistent with the overall exiting storm water management plan for the existing Regency Centre regional detention basin.
24. Provide supporting calculations for the runoff coefficient determination.

Paving & Grading

25. Provide 6-foot sidewalk along the entire property frontage on Haggerty Road. Existing asphalt pathway to removed.
26. Incorporate City standard paving details into the plan set and remove any redundant details from sheet C13.
27. Curbing and walks adjacent to the end of 17-foot stalls shall be reduced to 4-inches high, rather than the standard 6-inch height to be provided adjacent to 19-foot stalls. Provide additional details as appropriate.

Flood Plain

28. Show the limits of the 100-year flood plain and floodway, if applicable, per the current FIRM maps (2006).
29. A City flood plain permit and associated financial guarantee are required for this project.

Soil Erosion and Sediment Control

30. A SESC permit is required. A full review has not been done at this time. The review checklist detailing all SESC requirements is attached to this letter. An informal review will be complete with the Final Site Plan if SESC plans are included in the submittal.

The following must be submitted at the time of Final Site Plan submittal:

31. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).
32. Draft copies of any off-site easements, a recent title search, and legal escrow funds must be submitted to the Community Development Department for review and approved by the Engineering Division and the City Attorney prior to getting executed.

The following must be submitted at the time of Stamping Set submittal:

33. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
34. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.
35. Draft copy of the sanitary sewer monitoring manhole access easement but must be submitted to the Community Development Department.

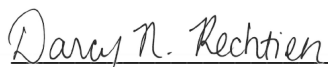
The following must be addressed prior to construction:

36. A pre-construction meeting shall be required prior to the commencement of any site work. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).

37. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application fee).
38. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
39. An NPDES permit must be obtained from the MDEQ since if the disturbed area is over 5 acres in size. The MDEQ requires an approved plan to be submitted with the Notice of Coverage.
40. A permit for work within the right-of-way of Haggerty Rd and Regency Dr must be obtained from the City of Novi. The application is available from the City Engineering Division and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Division at 248-347-0454 for further information.
41. A permit for work within the right-of-way of Haggerty Road must be obtained from the Road Commission for Oakland County. Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the City. Provide a note on the plans indicating all work within the right-of-way will be constructed in accordance with the Road Commission for Oakland County standards.
42. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the Water and Sewer Senior Manager after the water main plans have been approved.
43. Construction Inspection Fees, to be determined once the construction cost estimate is submitted, must be paid prior to the pre-construction meeting.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Darcy Rechten at (248) 735-5695 with any questions.



Darcy N. Rechten, P.E.

cc: George Melistas, Engineering
Lindsay Bell, Community Development

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

September 14, 2018

Preliminary Site Plan - Landscaping

Suburban Toyota – Regency Dr.

Review Type

Preliminary Review

Job

JSP18-0015

Property Characteristics

- Site Location: 25155 Haggerty Road
- Site Acreage: 6.7 acres
- Site Zoning: I-1 with Special Land Use
- Adjacent Zoning: North, South, West: I-1, East: Farmington Hills Commercial
- Plan Date: 7/7/2018

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Preliminary/Final Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Chart are summaries and are not intended to substitute for any Ordinance.

Recommendation

The project is **recommended for approval**. The applicant is seeking 2 landscape waivers, based on site geography, both of which are supported by staff. The remaining fixes can be taken care of in Final Site Plans.

LANDSCAPE WAIVERS REQUIRED: Please add a list of waiver requests, with their impact (trees not planted, If of berm not provided, etc) and justification for the request, on the landscape plan.

- Berm not provided between site and Haggerty Road – *supported by staff*
- Street trees not provided along Haggerty Road – *supported by staff*

Ordinance Considerations

Existing Soils (Preliminary Site Plan checklist #10, #17)

Provided.

Existing and proposed overhead and underground utilities, including hydrants.(LDM 2.e.(4))

1. Provided.
2. There are overhead utility lines along Haggerty Road.
3. **Please clearly show and label all overhead and underground utilities to help avoid planting conflicts.**

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. Many trees are shown, mostly outside of the site.
2. **Please include the entire tree survey tree chart for all tree symbols shown on the plan.**
3. **Please show tree fencing at the Critical Root Zone (1' beyond dripline) for all existing trees to remain near the project area on the Demolition Plan.**
4. **Please revise the tree protection fencing detail with fence located at Critical Root Zone**

(1' beyond dripline).

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

Property is not adjacent to Residential.

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. The required greenbelt width is provided along both Haggerty and Regency.
2. The 3 foot tall berm required along Haggerty Road is not provided due to site geography. The northern frontage is below the elevated Haggerty Road so it would not provide any screening benefit. The southern frontage is within the floodplain mitigation area. This requires a landscape waiver.
3. *As both areas will provide dense visual screening between Haggerty Road and the inventory storage areas, this waiver is supported by staff.*
4. Existing trees to remain in the Haggerty Road greenbelt may be able to be used to meet the greenbelt requirements. When the complete tree chart is provided, this can be verified.

Street Tree Requirements – Haggerty Road (Zoning Sec. 5.5.3.E.i.c and LDM 1.d.)

1. The street trees along Haggerty Road are not provided due to the existing utilities and drain topography. This requires a landscape waiver.
2. *Because there are no acceptable locations for the street trees within the right-of-way, this waiver is supported by staff.*

Industrial Subdivision Frontage requirements. (Zoning Sec. 5.5.3.E.i.c and LDM 1.d.)

1. Based on the 376lf of frontage, less the widths of the access aisles, 9 canopy trees, 8 subcanopy trees, 16 shrubs and 10% additional landscaping massing is required.
2. 6 new canopy trees and 6 existing street trees to remain are provided, 8 subcanopy trees and 24 shrubs are provided. Six areas of landscape massing consisting of shrubs, grasses and perennials are provided.

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. Based on the vehicular use areas, 3,080 sf of islands and 15 trees are required. 6,796 sf of islands and 17 trees are provided.
2. **Please add trees on both ends of the southwestern bay and the endcap island at the northwest corner of the building.**

Parking Lot Perimeter Canopy Trees (Zoning Sec. 5.5.3.C.(3) Chart footnote)

1. Based on the 2,363lf of perimeter, at 1 tree per 35lf, 68 trees are required. 72 trees, including 2 existing trees to remain within 15 feet of the parking lot, are provided.
2. **Please move all greenbelt trees that are to be double-counted as periphery trees, to be planted within 15 feet of the back of curb of the lot.**

Loading Zone screening (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)

1. No allowable loading zone is indicated on the site.
2. **Please show the loading zone allowed by code on the landscape plan and be sure it is screened from both roads.**

Building Foundation Landscape (Zoning Sec 5.5.3.D.)

All required building foundation landscaping is provided.

Plant List (LDM 2.h. and t.)

1. Provided.

2. Please revise the plant list to use species native to Michigan for at least 50% of the species used.

Planting Notations and Details (LDM)

1. Provided
2. **Planting revised the details provided per the instructions on the landscape chart.**

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 1.d.(3))

If no changes to the regional detention basin are required for this project, no landscaping is required.

Irrigation (LDM 1.a.(1)(e) and 2.s)

1. The proposed landscaping must be provided with sufficient water to become established and survive over the long term.
2. Please note how this will be accomplished if an irrigation plan is not provided.

Proposed topography, 2' contour minimum (LDM 2.e.(1))

Provided.

Snow Deposit (LDM.2.q.)

Provided.

Proposed trees to be saved (Sec 37 Woodland Protection 37-9, LDM 2.e.(1))

No woodlands trees are proposed to be removed.

Corner Clearance (Zoning Sec 5.9)

1. Provided.
2. **Please remove all trees from within the clear vision zones.**

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader@cityofnovi.org.



Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART – PRELIMINARY SITE PLAN

Review Date: September 14, 2018
Project Name: JSP18 – 0015: SUBURBAN TOYOTA
Plan Date: July 17, 2018
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan. Underlined items need to be addressed for Final Site Plan.

LANDSCAPE WAIVERS REQUIRED: Please add a list of waiver requests, with their impact (trees not planted, if of berm not provided, etc) and justification for the request, on the landscape plan.

- Berm not provided between site and Haggerty Road – *supported by staff*
- Street trees not provided along Haggerty Road – *supported by staff*

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements (LDM (2))				
Landscape Plan (Zoning Sec 5.5.2, LDM 2.e.)	<ul style="list-style-type: none"> ▪ New commercial or residential developments ▪ Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. ▪ 1"=20' minimum with proper North. Variations from this scale can be approved by LA ▪ Consistent with plans throughout set 	Scale 1"=30'	Yes	
Project Information (LDM 2.d.)	Name and Address	No	No	Please put the address of the project on the landscape plans.
Owner/Developer Contact Information (LDM 2.a.)	Name, address and telephone number of the owner and developer or association	Yes	Yes	
Landscape Architect contact information (LDM 2.b.)	Name, Address and telephone number of RLA	Yes	Yes	
Sealed by LA. (LDM 2.g.)	Requires original signature	Yes	Yes	<u>Need for Final Site Plans</u>
Miss Dig Note (800) 482-7171 (LDM.3.a.(8))	Show on all plan sheets	Yes	Yes	
Zoning (LDM 2.f.)	Include parcel and all adjacent parcels'	<u>Special Land Use</u> Sheet C1	No	Please show zoning of parcel and adjacent

Item	Required	Proposed	Meets Code	Comments
	zoning	<ul style="list-style-type: none"> Parcel: I-1 North, South, West: I-1 East: Farmington Hills Commercial 		parcels on landscape plan.
Survey information (LDM 2.c.)	<ul style="list-style-type: none"> Legal description or boundary line survey Existing topography 	Sheets C1, C2	Yes	
Existing plant material Existing woodlands or wetlands (LDM 2.e.(2))	<ul style="list-style-type: none"> Show location type and size. Label to be saved or removed. Plan shall state if none exists. 	Sheets C1, C2	No	<ol style="list-style-type: none"> Please include the tree chart for all trees included in the survey and shown on the plans. All trees, including existing replacement trees, should be on the chart. It is possible that some of the existing non-replacement trees along Haggerty may be able to used to meet some or all of the greenbelt landscaping requirement. Please revise the tree fence detail on Sheet L3 to have the fence at 12" outside of the dripline. See ECT review for detailed discussion of woodlands.
Soil types (LDM.2.r.)	<ul style="list-style-type: none"> As determined by Soils survey of Oakland county Show types, boundaries 	Sheet C10	Yes	
Existing and proposed improvements (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Yes	Yes	
Existing and proposed utilities (LDM 2.e.(4))	Overhead and underground utilities, including hydrants	Yes	Yes	Please show and label utility lines within the parking lot more clearly. As they are, it is difficult to distinguish between easement lines and utility lines.

Item	Required	Proposed	Meets Code	Comments
Proposed grading. 2' contour minimum (LDM 2.e.(1))	Provide proposed contours at 2' interval	<ul style="list-style-type: none"> • Sheets C4, C5 • Contours are lighter, but visible, on landscape plan 	Yes	
Snow deposit (LDM.2.q.)	Show snow deposit areas on plan	Yes	Yes	
LANDSCAPING REQUIREMENTS				
Parking Area Landscape Requirements LDM 1.c. & Calculations (LDM 2.o.)				
General requirements (LDM 1.c)	<ul style="list-style-type: none"> ▪ Clear sight distance within parking islands ▪ No evergreen trees 	Yes	Yes	
Name, type and number of ground cover (LDM 1.c.(5))	As proposed on planting islands	Sod	Yes	
General (Zoning Sec 5.5.3.C.ii)				
Parking lot Islands (a, b. i)	<ul style="list-style-type: none"> ▪ A minimum of 200 SF to qualify ▪ A minimum of 200sf unpaved area per tree planted in an island ▪ 6" curbs ▪ Islands minimum width 10' BOC to BOC 	Yes	Yes	
Curbs and Parking stall reduction (c)	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	All spaces along green space are 17' long	Yes	
Contiguous space limit (i)	For <u>automobile inventory areas</u> , bays can be a maximum of <u>25</u> contiguous spaces	Maximum 25 spaces in inventory areas and 15 in non-inventory areas.	Yes	
Plantings around Fire Hydrant (d)	No plantings with matured height greater than 12' within 10 ft. of fire hydrants	It appears that trees are located at least 10 feet from all hydrants and utility structures.	Yes	
Landscaped area (g)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	A note indicates that all islands will be sodded.	Yes	
Clear Zones (LDM 2.3.(5))	25 ft corner clearance required. Refer to Zoning Section 5.5.9	Yes	Yes	Please remove all trees from those clear vision zones and do not show on landscape plan.
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-				

Item	Required	Proposed	Meets Code	Comments
residential use in any R district (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use areas up to 50,000sf x 7.5%	<ul style="list-style-type: none"> A = x sf * 7.5 % = A sf Xxx * 7.5% = xx sf 	NA		
B = Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 1 %	<ul style="list-style-type: none"> B = x sf * 1% = B sf (xxx – 50000) * 1% = xx sf 	NA		
Category 2: For I-1, I-2 (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use areas up to 50,000sf x 5%	<ul style="list-style-type: none"> A = x sf * 5 % = A sf 50000 * 5% = 2500 sf 			
B = Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 0.5 %	<ul style="list-style-type: none"> B = x sf * 1% = B sf (166071 – 50000) * 0.5% = 580 sf 			
All Categories				
C = A+B Total square footage of landscaped islands	2500 + 580 = 3080 SF	6796 sf	Yes	
D = C/200 Number of canopy trees required	3080/200 = 15 Trees	17 trees	Yes	<ol style="list-style-type: none"> The three endcap islands/corners of the southwest bay and at the northwest corner of the building need to have a deciduous canopy tree planted in it. One of the perimeter trees can be used in each of the two outer corners if desired.
Parking land banked	NA	No		
Parking Lot Perimeter (Zoning Sec 5.5.3.C.iv)	<ul style="list-style-type: none"> Parking lot perimeter trees must be planted within 15' of the curb. 1 tree per 35 lf 2363/35 = 68 trees 	<ul style="list-style-type: none"> 72 trees, including 2 existing trees and 7 evergreens (10%) 26 trees are double-counted as perimeter and greenbelt trees 	Yes/No	<ol style="list-style-type: none"> Greenbelt canopy trees or large deciduous trees must be planted within 15 feet of the back of curb to be double-counted as perimeter trees. Please move

Item	Required	Proposed	Meets Code	Comments
		but many are planted more than 15 feet from the curb.		Haggerty Road greenbelt trees closer to parking lot if they are to be double-counted. 3. Please add a callout for the double-counted trees stating that they must be planted within 15 feet of the curb.
Berms, Walls and ROW Planting Requirements				
Berms				
<ul style="list-style-type: none"> ▪ All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours ▪ Berm should be located on lot line except in conflict with utilities. ▪ Berms should be constructed with of loam with 6" layer of top soil. 				
Residential Adjacent to Non-residential (Sec 5.5.3.A) & (LDM 1.a)				
Planting requirements (LDM 1.a.)	LDM Novi Street Tree List	NA		Site is not adjacent to residential property
Adjacent to Public Rights-of-Way (Sec 5.5.B) and (LDM 1.b)				
ROW Landscape Screening Requirements (Sec 5.5.3.B. ii)				
Greenbelt width (2)(3)(5)	Haggerty Road and Regency Drive: 40 feet	<ul style="list-style-type: none"> • Haggerty Road: 40 ft min • Regency Drive: 72 ft min 	Yes	
Berm requirements (Zoning Sec 5.5.3.A.(5) and 3.21.2.A.iii)	Undulating berm 3 feet tall with a 3 foot wide crest within greenbelt is required along Haggerty Road.	<ul style="list-style-type: none"> • None • A landscape waiver is requested to not provide the required berm along Haggerty Road due to the expansion of the drain along Haggerty. 	No	<p>1. Staff supports the waiver request for the berm along Haggerty Road as the road is either higher than the storage lot, rendering the berm relatively ineffective, or the area where the berm would be located is within the floodplain mitigation area. Both of these areas are heavily landscaped.</p> <p>2. This support comes with a stipulation that tree species that can survive in a floodplain situation, and which provide full screening of the inventory portions of</p>

Item	Required	Proposed	Meets Code	Comments
				<p>the lot, are used in the floodplain mitigation area. Please verify that the trees selected would survive flooded conditions.</p> <p>3. Please extend the screening to the south a bit to block the opening to the inventory area from view at the intersection of Haggerty and Regency.</p>
Min. berm crest width	3 feet	No		See the discussion above.
Minimum berm height (9)	3 feet	No		See above
3' wall	(4)(7)	None		
Canopy deciduous or large evergreen trees Notes (1) (10)	<u>HAGGERTY ROAD ONLY</u> <ul style="list-style-type: none"> ▪ Adjacent to Parking: 1 per 40 lf ▪ $925/40 = 23$ trees ▪ Not Adjacent to Parking: 1 per 60 lf ▪ $66/60 = 1$ tree 	19 deciduous canopy trees and 7 large evergreens	Yes	
Sub-canopy deciduous trees Notes (2)(10)	<u>HAGGERTY ROAD ONLY</u> <ul style="list-style-type: none"> ▪ Adjacent to Parking: 1 per 35 lf ▪ $925/35 = 26$ trees ▪ Not Adjacent to Parking: 1 per 40 lf ▪ $66/40 = 2$ trees 	28 trees	Yes	
Canopy deciduous trees in area between sidewalk and curb (Novi Street Tree List)	<u>HAGGERTY ROAD ONLY</u> <ul style="list-style-type: none"> ▪ 1 tree per 45 lf ▪ $965/45 = 21$ trees 	<ul style="list-style-type: none"> ▪ 0 trees ▪ Waiver requested for all required trees 	No	Waiver request is supported as road is elevated and drainage ditch and easement area along southern section.
Frontage within Industrial Subdivision (LDM 2.b) – Regency Drive				
Deciduous or Large Evergreen Tree	<ul style="list-style-type: none"> ▪ 1 tree per 35 linear feet ▪ At least 1 tree per 50 lf shall be planted as a street tree ▪ $(376-48)/35 = 9$ trees 	<ul style="list-style-type: none"> ▪ 6 existing trees to remain along Regency, outside of clear vision zones. ▪ 6 new canopy trees 	Yes	The applicant may reduce the number of trees not along Regency if desired.
Subcanopy trees and	<ul style="list-style-type: none"> ▪ 1 subcanopy tree per 	<ul style="list-style-type: none"> ▪ 8 subcanopies 	Yes,	Please extend the

Item	Required	Proposed	Meets Code	Comments
Shrubs	40 lf ▪ (376-48)/40 = 8 trees ▪ 2 shrubs per 40 lf ▪ 2* (376-48)/40 = 16 shrubs ▪ Evergreen hedge or an undulating 3 foot tall berm must be provided to screen parking areas from road. (Additional to required shrubs shown above).	<ul style="list-style-type: none"> ▪ 24 shrubs ▪ Evergreen hedge along front. 	except for hedge	hedge 20 feet to the east.
Massing	<ul style="list-style-type: none"> ▪ 10% of frontage massed with perennials, grasses, annuals and/or bulbs ▪ At entry points or to highlight design 	Masses of daylilies and ornamental grasses along the Regency frontage	Yes	
Cross-Section of Berms (LDM 2.j)				
Slope, height and width	<ul style="list-style-type: none"> ▪ Label contour lines ▪ Maximum 33% ▪ Min. 4 feet flat horizontal area ▪ Minimum 3 feet high ▪ Constructed of loam with 6' top layer of topsoil. 	NA – no berms are proposed		
Type of Ground Cover		NA		
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole		TBD	
Walls (LDM 2.k & Zoning Sec 5.5.3.vi)				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	No walls are proposed.		
Walls greater than 3 ½ ft. should be designed and sealed by an Engineer		NA		
Foundation plantings (Zoning Sec 5.5.3.D)	<ul style="list-style-type: none"> ▪ Foundation plantings, not including lawn, are to be provided in a total area = Building perimeter * 8 	<ul style="list-style-type: none"> ▪ 4996 sf ▪ 60% of building facing Regency ▪ 100% of building facing Haggerty 	Yes	

Item	Required	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> ▪ Landscaping should be located around entire building except where paved entry points don't allow it, in beds at least 4 feet deep. ▪ At least 60% of the building's frontage facing roads should have landscaping. ▪ $(642-91)*8 = 4408$ sf 			
<p>Screening of outdoor storage, loading/unloading <i>(Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)</i></p>	<ul style="list-style-type: none"> • Loading zones are fully screened from view of public roads • All storage shall be completely screened from all adjacent properties by appropriate structures, fencing conforming to requirements in Section 5.11.2, or walls. • Screening shall be at least 6 feet and no greater than 8 feet in height. • If landscaping is used, it must provide opacity of 80% in winter and 90% in summer. 	<p>Please indicate on landscape plan where the approved loading zone will be.</p>	<p>TBD</p>	<ol style="list-style-type: none"> 1. Please indicate on landscape plan where the approved loading zone will be. 2. Please provide sufficient screening from Haggerty, Regency and all adjacent properties for all loading areas. It seems that Haggerty Road may be sufficiently screened, but Regency Drive does not appear to be, nor the adjacent properties. 3. Please provide details of proposed screening. 4. A landscape waiver is required for sections where screening won't be provided with opaque fencing, walls or new landscaping. 5. If a waiver is sought, please provide justification for that deviation from the ordinance (eg photos of views from elevated portions of Haggerty Road that show screening from existing vegetation.)

Item	Required	Proposed	Meets Code	Comments
Transformers/Utility boxes (LDM 1.e from 1 through 5)	<ul style="list-style-type: none"> ▪ A minimum of 2ft. separation between box and the plants ▪ Ground cover below 4" is allowed up to pad. ▪ No plant materials within 8 ft. from the doors 	Existing transformers to remain are fully screened with arborvitae	Yes	<ol style="list-style-type: none"> 1. If any other transformers are added please screen it/them similarly. 2. Please add a note to this effect to the plans.
Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv)				
Planting requirements (Sec. 5.5.3.E.iv)	<ul style="list-style-type: none"> ▪ Clusters shall cover 70-75% of the basin rim area ▪ 10" to 14" tall grass along sides of basin ▪ Refer to wetland for basin mix 	No above-ground detention is proposed so no detention basin landscaping is proposed.	TBD	<ol style="list-style-type: none"> 1. If above-ground detention is required, or any existing basins need to be enlarged, the enlarged portion must be landscaped per the ordinance. 2. If no changes are required, then no detention landscaping is required.
LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS				
Landscape Notes – Utilize City of Novi Standard Notes				
Installation date (LDM 2.i. & Zoning Sec 5.5.5.B)	Provide intended date	Fall 2019	Yes	
Maintenance & Statement of intent (LDM 2.m & Zoning Sec 5.5.6)	<ul style="list-style-type: none"> ▪ Include statement of intent to install and guarantee all materials for 2 years. ▪ Include a minimum one cultivation in June, July and August for the 2-year warranty period. 	Yes	Yes	
Plant source (LDM 2.n & LDM 3.a.(2))	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
Irrigation plan (LDM 2.s.)	A fully automatic irrigation system or a method of providing sufficient water for plant establishment and survival is required on Final Site Plans.	Notes indicated that an irrigation system will be provided.	Yes	<u>The plan should be provided with Final Site Plans.</u>
Other information (LDM 2.u)	Required by Planning Commission	NA		Please revise all of the General Landscape Notes on Sheet L3 so they don't conflict with

Item	Required	Proposed	Meets Code	Comments
				those on L1.
Establishment period (Zoning Sec 5.5.6.B)	2 yr. Guarantee	Yes	Yes	
Approval of substitutions. (Zoning Sec 5.5.5.E)	City must approve any substitutions in writing prior to installation.	Yes	Yes	
Plant List (LDM 2.h.) - Include all cost estimates				
Botanical and common names	Refer to LDM suggested plant list	8 of 20 species used (40%) are native to Michigan.	No	1. Please be sure that trees proposed for the floodplain mitigation area can survive occasional inundation. 2. Please use species native to Michigan for at least 50% of the species used on the site, including foundation plantings.
Quantities and sizes		Yes	Yes	
Root type		Yes	Yes	
Type and amount of lawn		Yes	Yes	Please add areas of seed and sod to cost table.
Cost estimate (LDM 2.t)		For all new plantings, mulch and sod as listed on the plan	Yes	Yes
Planting Details/Info (LDM 2.i) - Utilize City of Novi Standard Details				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		Yes	Yes	
Multi-stem Tree		Yes	Yes	
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	Yes	Yes	
Other Plant Material Requirements (LDM 3)				
General Conditions (LDM 3.a)	Plant materials shall not be planted within 4 ft. of property line	Yes	Yes	
Plant Materials & Existing Plant Material	Clearly show trees to be removed and trees to	Yes	Yes	Please show tree fencing on Demolition

Item	Required	Proposed	Meets Code	Comments
(LDM 3.b)	be saved.			Plan as well.
Landscape tree credit (LDM3.b.(d))	Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM	No		
Plant Sizes for ROW, Woodland replacement and others (LDM 3.c)	2.5" canopy trees 6' evergreen trees	Yes	Yes	
Prohibited Plants (LDM 3.d)	No plants on City Invasive Species List	None are proposed	Yes	
Recommended trees for planting under overhead utilities (LDM 3.e)	Label the distance from the overhead utilities	Yes	Yes	
Collected or Transplanted trees (LDM 3.f)		No		
Nonliving Durable Material: Mulch (LDM 4)	<ul style="list-style-type: none"> ▪ Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth ▪ Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate. 	Yes	Yes	Please revise the Standard Plant Mix to use compost instead of peat.

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

WETLANDS REVIEW



ECT Project No. 180559-0100

September 13, 2018

Ms. Barbara McBeth, AICP
City Planner
Community Development Department
City of Novi
45175 W. Ten Mile Road
Novi, Michigan 48375

Re: Toyota Service Center – Regency Drive (JSP18-0015)
Wetland Review of the Preliminary Site Plan (PSP18-0135)

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the Preliminary Site Plan for the proposed Toyota Service Center – Regency Drive project prepared by Nowak & Fraus Engineers dated July 17, 2018 and stamped “Received” by the City of Novi Community Development Department on August 24, 2018 (Plan). The Plan was reviewed for conformance with the City of Novi Wetland and Watercourse Protection Ordinance and the natural features setback provisions in the Zoning Ordinance.

ECT currently recommends approval of the Preliminary Site Plan for wetlands but recommends that the applicant address the items noted in the *Wetland Comments* Section of this letter prior to approval of the Final Site Plan and issuance of associated wetlands permits/authorizations.

Item	Required/Not Required/Not Applicable
Wetland/Watercourse Permit (specify Non-Minor or Minor)	Required (Non-Minor)
Wetland Mitigation	Not Required
Wetland/Watercourse Buffer Authorization	Required
MDEQ Permit	To Be Determined. It is the applicant’s responsibility to contact the MDEQ in order to determine the need for a wetland use permit.
Wetland Conservation Easement	Not Required

The Plan includes the construction of a proposed one-story Toyota service center (21,485 square feet) and associated inventory parking. The Plan notes that the stormwater detention for the site has been previously provided via a regional detention forebay and pond located immediately north of this property. The proposed storm sewer will connect to existing manholes and existing 54-inch diameter storm sewer which drains to the sediment forebay with the final outlet being Ingersoll Creek (Townline Drain), located east of the site. The Plan also notes that the Regency Centre regional detention basin system is separate from the City of Novi Regional Detention System located north of Regency Centre and South of I-96.

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Wetland/Watercourse Evaluation

ECT conducted an on-site inspection and wetland/watercourse evaluation for the proposed project on August 29, 2018. ECT's in-office review of available materials included the City of Novi Regulated Wetland and Watercourse map (see Figure 1), USGS topographic quadrangle map, NRCS soils map, USFWS National Wetland Inventory map, and historical aerial photographs (from Oakland County). Based on our review of this information the overall proposed project parcel contains areas mapped as City-Regulated Wetlands/Watercourses. Specifically, Ingersoll Creek (Townline Drain) is located immediately adjacent to the east of the project. Wetland/watercourse boundary flagging was not apparent at the time of our inspection, however, based on the existing topography it is ECT's assessment that the on-site watercourse has been accurately indicated on the Plan.

While Ingersoll Creek (Creek) does not appear to be located directly on the subject property, the Plan does propose work within the Creek. As such, any work within Ingersoll Creek would require associated permits from both the City of Novi and the Michigan Department of Environmental Quality (MDEQ).

Wetland/Watercourse Impact Review

As noted above, although not located on the subject site, the Plan does appear to propose construction activity in/on Ingersoll Creek. Currently, the Plan indicates, but does not appear to quantify, direct impacts to the Creek and to the 25-foot natural features setback of the Creek. The *Preliminary Demolition Plan South* (Sheet C5) indicates that two (2) existing 36-inch diameter culverts and concrete headwalls that are located at an existing access drive from Haggerty Road will be removed. The Plan notes that the channel of Ingersoll Creek will be restored in this area and that the contractor is to obtain all necessary permits to do so. The *Preliminary Paving & Grading Plan* (Sheet C7) indicates that the areas of restored streambank will receive three (3) inches of topsoil and will be seeded with Native Drain Seed Mix (as detailed on Sheet L3, *Landscape Notes and Details*). This proposed culvert removal and stream restoration work will require a permit from MDEQ (Part 301 – Inland Lakes and Streams) as well as a City of Novi Wetland & Watercourse Permit.

In addition to the proposed wetland impacts, the Plan proposes disturbance to on-site 25-foot watercourse buffer areas. These impacts are associated with the culvert removal/stream restoration work described above.

The existing area of the 25-foot watercourse buffers and the proposed impacts to 25-foot buffers have yet to be quantified on the Plan. The applicant shall provide information on subsequent plans that clearly indicates the areas of all existing watercourse buffer as well as the area (square feet or acreage) of the proposed impacts to the 25-foot buffers (both permanent and temporary, if applicable). This information is required before any necessary City of Novi Wetland and Watercourse Permits or Authorization to Encroach Upon the 25-Foot Natural Features Setback letters can be issued.

The applicant is urged to minimize impacts to all wetlands and 25-foot wetland setback areas to the greatest extent practicable. The City regulates wetland and watercourse buffers/setbacks. Article 24, Schedule of Regulations, of the Zoning Ordinance states that:

“There shall be maintained in all districts a wetland and watercourse setback, as provided herein, unless and to the extent, it is determined to be in the public interest not to maintain such a setback. The intent of this provision is to require a minimum setback from wetlands and watercourses”.

Finally, per MDOT *Special Provision for Crushed Concrete Near Water*, the use of crushed concrete is prohibited on the project within 100 feet of any watercourse (stream, river, county drain, etc.) and lake, regardless of the application or location of the watercourse or lake relative to the project limits. The applicant shall be prepared to use 21AA crushed limestone base for any pavement within 100 feet of a watercourse.

Regulatory Status - MDEQ

ECT has evaluated the on-site wetland/watercourse and believes that they are considered to be essential/regulated by the City of Novi as they meet one or more of the essentiality criteria (i.e., functions and values) outlined in the City of Novi Wetland and Watercourse Protection Ordinance and regulated by the MDEQ. As noted, the Creek appears to accurately indicated on the Plan.

The Michigan Department of Environmental Quality (MDEQ) generally regulates wetlands that are within 500 feet of an inland lake, pond, or stream, or within 1,000 feet of a Great Lake, Lake St. Clair, the St. Clair River, or the Detroit River. Isolated wetlands five (5) acres in size or greater are also regulated. The MDEQ may also exert regulatory control over isolated wetlands less than five acres in size “...if the department determines that protection of the area is essential to the preservation of the natural resources of the state from pollution, impairment, or destruction and the department has notified the owner”. The MDEQ also regulates streams that are characterized as having a defined bed, banks, and flow. It is the applicant’s responsibility to contact MDEQ in order to confirm the regulatory authority with respect to proposed work associated with Ingersoll Creek.

Regulatory Status – City of Novi

The City of Novi Wetland and Watercourse Protection Ordinance (City of Novi Code of Ordinances, Part II, Chapter 12, Article V.; Division 2, Section 12-171) describes the regulatory criteria for wetlands and review standards for wetland/watercourse permit applications. This Ordinance states that:

It shall be unlawful for any person to conduct any activities within a watercourse or wetland location without first having obtained a use permit upon proper application. Activities requiring a use permit include but are not limited to the following:

- Enlarging, diminishing or altering any lake, stream or other naturally occurring watercourse;
- Creating, enlarging or diminishing any natural or artificially constructed canal, channel, ditch, lagoon, pond, lake or other waterway for navigation or any other purpose, whether or not connected to an existing lake, stream or watercourse.

As noted above, any proposed impact to Ingersoll Creek will require a City of Novi *Wetland Use Permit* as well as an *Authorization to Encroach the 25-Foot Natural Features Setback* for any proposed impacts to the 25-foot watercourse buffer. The applicant is urged to minimize impacts to on-site wetlands and wetland setbacks to the greatest extent practicable. The City regulates wetland buffers/setbacks. Article 24, Schedule of Regulations, of the Zoning Ordinance states that:

“There shall be maintained in all districts a wetland and watercourse setback, as provided herein, unless and to the extent, it is determined to be in the public interest not to maintain such a setback. The intent of this provision is to require a minimum setback from wetlands and watercourses?”

Wetland and Watercourse Comments

ECT recommends that the Applicant address the items noted below in subsequent site plan submittals:

1. The applicant shall indicate, quantify and clearly label all proposed impacts to Ingersoll Creek including the area of impacts (square feet or acres) and the proposed volume of cut/fill (cubic feet or cubic yards).
2. The applicant shall clearly indicate, quantify and label all areas of existing 25-foot watercourse setback (square feet or acres). This boundary can be indicated from the toe of the bank of the existing Creek as indicated on the Plan.
3. The applicant shall indicate, quantify and label all proposed impacts to the 25-foot watercourse setbacks (square feet or acres). Any proposed impacts to the 25-foot wetland buffers (both permanent and temporary) shall be indicated and quantified on the Plan.
4. It appears as though a MDEQ Wetland Permit and a City of Novi Non-Minor *Wetland Use Permit* would be required for any proposed impacts to Ingersoll Creek. A City of Novi *Authorization to Encroach the 25-Foot Natural Features Setback* would be required for any proposed impacts (both permanent and temporary) to on-site 25-foot watercourse buffers.
5. It should be noted that it is the Applicant's responsibility to confirm the need for a Permit from the MDEQ for any proposed wetland or floodplain impacts. Final determination as to the regulatory status of any on-site natural features shall be made by MDEQ. The Applicant should provide a copy of the MDEQ Wetland Use Permit application to the City (and our office) for review and a copy of the approved permit upon issuance. A City of Novi Wetland and Watercourse Permit cannot be issued prior to receiving this information.
6. The applicant should ensure that any proposed snow storage areas are located such that any runoff will not directly affect Ingersoll Creek (if applicable).
7. ECT suggests that any proposed stormwater management plan be reviewed by the City of Novi Engineering Department to ensure that it meets the City of Novi design requirements.
8. Per MDOT Special Provision for Crushed Concrete; the use of crushed concrete is prohibited on the project within 100 feet of any water course (stream, river, county drain, etc.) and lake, regardless of the application of location of the water course or lake relative to the project limits. The applicant shall be prepared to use 21AA crushed limestone base for any pavement within 100 feet or a water course.

Wetland/Watercourse Conclusion

Although not located on the subject site, the Plan does appear to propose construction activity in/on Ingersoll Creek. Currently, the Plan indicates, but does not appear to quantify, direct impacts to the Creek and to the 25-foot natural features setback of the Creek. The proposed culvert removal and stream restoration work will require a permit from MDEQ (Part 301 – Inland Lakes and Streams) as well as a City of Novi Non-Minor Wetland & Watercourse Permit. The project will also require an *Authorization to Encroach the 25-Foot Natural Features Setback* for any proposed impacts to the 25-foot watercourse buffer (permanent and/or temporary).

Toyota Service Center – Regency Drive (JSP18-0015)
Wetland Review of the Preliminary Site Plan (PSP18-0135)
September 13, 2018
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Recommendation

ECT currently recommends approval of the Preliminary Site Plan for wetlands but recommends that the applicant address the items noted in the *Wetland Comments* Section of this letter prior to approval of the Final Site Plan and issuance of associated wetlands permits/authorizations.

Respectfully submitted,

ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.



Pete Hill, P.E.
Senior Associate Engineer

cc: Lindsay Bell, City of Novi Planner
Sri Komaragiri, City of Novi Planner
Rick Meader, City of Novi Landscape Architect
Hannah Smith, City of Novi Planning Assistant

Attachments: Figure 1 – City of Novi Regulated Wetland and Woodland Map
Site Photos

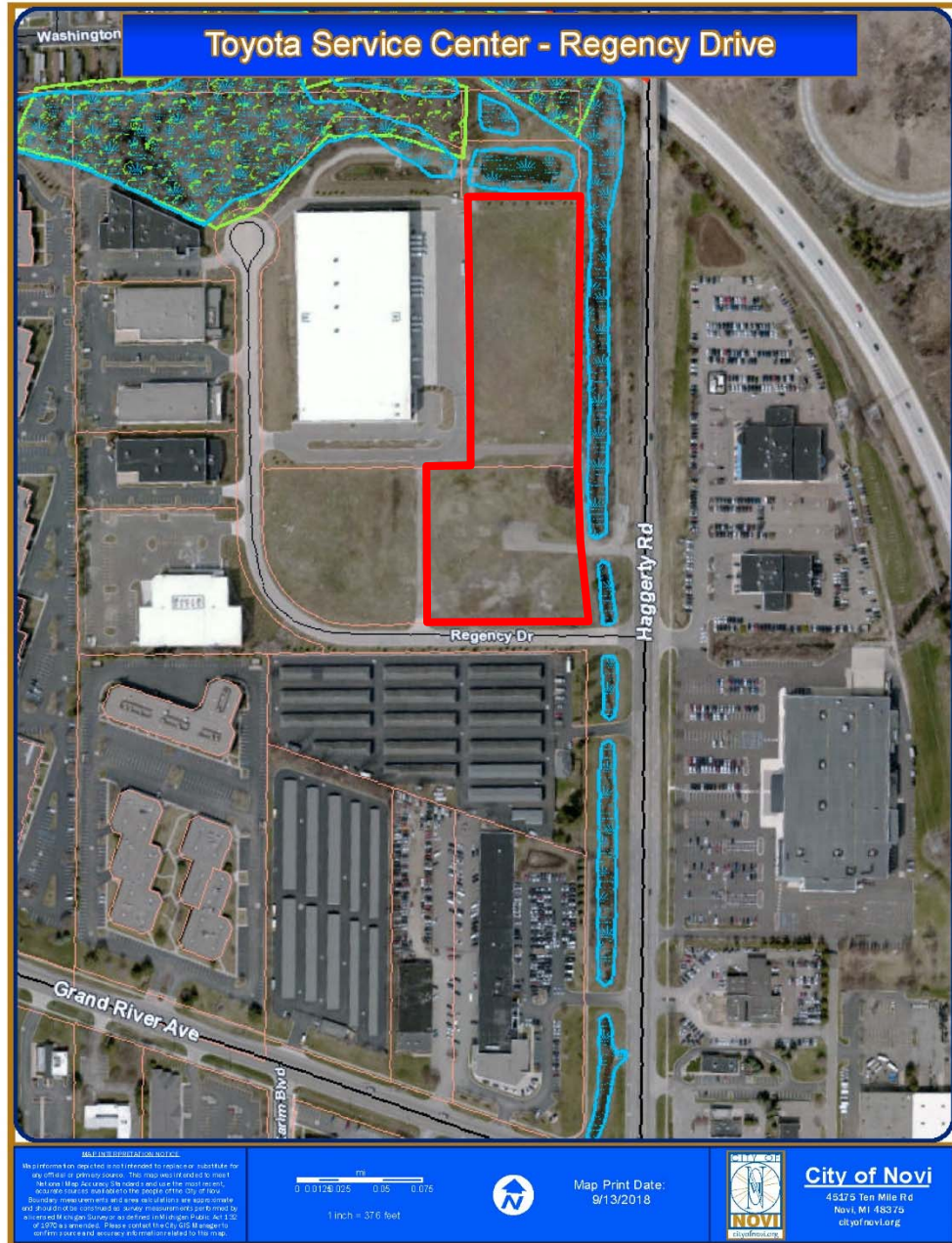


Figure 1. City of Novi Regulated Wetland & Woodland Map (approximate parcel boundary shown in red). Regulated Woodland areas are shown in green and Regulated Wetland areas are shown in blue.

Site Photos



Photo 1. Looking south along the eastern edge of the proposed project from the northeast corner of the property. Ingersoll Creek (Townline Drain) is to the left (ECT, August 29, 2018).



Photo 2. Looking north along the eastern edge of the proposed project east of the existing American Tire Distributors building. Ingersoll Creek (Townline Drain) is to the right (ECT, August 29, 2018).



Photo 3. Looking northwest at the existing American Tire Distributors building from the existing asphalt pathway that is proposed to be removed. Ingersoll Creek (Townline Drain) is to the right (ECT, August 29, 2018).



Photo 4. Looking south along Ingersoll Creek (Townline Drain) (ECT, August 29, 2018).

TRAFFIC REVIEW



AECOM
27777 Franklin Road
Southfield
MI, 48034
USA
aecom.com

Project name:
JSP18-0015 Toyota Service Center – Regency
Drive Preliminary Traffic Review

From:
AECOM

Date:
September 25, 2018

To:
Barbara McBeth, AICP
City of Novi
45175 10 Mile Road
Novi, Michigan 48375

CC:
Sri Komaragiri, Lindsay Bell, George Melistas, Darcy
Rechtien, Hannah Smith

Memo

Subject: Toyota Service Center – Regency Drive Preliminary Traffic Review

The preliminary site plan was reviewed to the level of detail provided and AECOM **recommends approval** for the applicant to move forward with the condition that the comments provided below are adequately addressed to the satisfaction of the City.

GENERAL COMMENTS

1. Nowak & Fraus Engineers is proposing a one-story Toyota Service Center. The service center is proposed to be 21,485 square feet (SF) and is located in the northwest corner of Regency Drive and Haggerty Road.
2. Regency Drive is under the City of Novi's jurisdiction
3. The applicant has not proposed to re-zone the site at this time. The site is currently zoned I-1 (Industrial).
4. Summary of traffic-related waivers/variances:
 - a. If driveway spacing is not increased, City Council waiver(s) may be required.
 - b. If driveway widths are not increased, City Council waiver(s) may be required.
 - c. If the applicant maintains the painted islands on the north side of the building, waivers/variances may be required.

TRAFFIC IMPACTS

1. AECOM performed an initial trip generation estimate based on the ITE Trip Generation Manual, 10th Edition, as follows:

ITE Code: 942 – Automobile Care Center
Development-specific Quantity: 21,485 SF Gross Floor Area (GFA)
Zoning Change: N/A

Trip Generation Summary				
	Estimated Trips	Estimated Peak-Direction Trips	City of Novi Threshold	Above Threshold?
AM Peak-Hour Trips	48	32	100	No
PM Peak-Hour Trips	64	33	100	No
Daily (One-Directional) Trips	N/A	N/A	750	N/A

- The number of trips does not exceed the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour. AECOM recommends performing the following traffic impact study in accordance with the City's requirements.

Trip Impact Study Recommendation	
Type of Study:	Justification
None	N/A

EXTERNAL SITE ACCESS AND OPERATIONS

The following comments relate to the external interface between the proposed development and the surrounding roadway(s).

- The applicant has proposed two access points onto Regency Drive.
 - The applicant is proposing 30' entering and exiting radii at both driveways. Because Regency Drive is an industrial street, the driveway radii should be increase to 35'.
 - The applicant is proposing a 24' driveway width at both driveways. Because Regency Drive is an industrial street, the widths should be increased to 36'.
 - The applicant has indicated that the two driveways will each function as two-way operation.
- The applicant has indicated a property frontage of 376.03 feet; therefore, the second access point is permitted; however, the applicant should confirm with the City that it approves the second driveway as indicated in the City Ordinance Section 11-216(d)(1)d.
- The applicant has provided driveway spacing dimensions for each driveway; however, with increased driveway widths and radii as indicated item 1 above, the dimensions may not be applicable. Driveway spacing standards may be referenced in Section 11-216.d.1.d and Figure IX.12 in the City's Code of Ordinances.
 - The vacant parcel to the west has site plans under review, which indicate a slight shift westward of the southern driveway. The proposed western driveway exiting radius of the Toyota site plan is closely spaced to the adjacent site's driveway. The applicant should review the location of the adjacent parcel's proposed driveway and provide a driveway spacing dimension based on that. It is likely that driveway spacing variance(s) will be required for the subject property.
- The applicant has proposed a 37' wide connection with the site located to the west which is proposed to act as an emergency access easement, and has indicated that it will be gated.
- It is not anticipated that the applicant will need to provide any right turn lanes into the development; however, traffic volumes are not available for Regency Drive in order to make that determination properly.
- The applicant has provided sight distance at each driveway and is in compliance with Figure XIII-E in the City's Code of Ordinances.

INTERNAL SITE OPERATIONS

The following comments relate to the on-site design and traffic flow operations.

1. General Traffic Flow
 - a. The applicant has provided a minimum of a 15 foot radii at any aisle that intersects another parking aisle.
 - b. The applicant has indicated truck turning patterns throughout the site and ensured accessibility to the largest truck that is expected to access the development.
 - c. The applicant has indicated that the existing driveway approach on Haggerty Road must remain in order to allow access to the Buckeye pipeline enclosure.
 - d. The proposed trash receptacle area may cut-off or diminish access to parking spaces or service times during times of trash collection. The applicant should consider relocating the proposed trash collection area. The applicant has indicated that the parking adjacent to the trash enclosure is for employees only and any conflicts will be short in duration.
 - e. The applicant is required to provide a loading area for I-1 zoning. The applicant has proposed the location of the proposed loading area on the west side of the building.
 - i. The current location of the proposed loading zone infringes on the 24' required aisle and it must be relocated.
2. Parking Facilities
 - a. Automobile service establishments require two parking spaces for each service bay, plus one space for every employee.
 - b. The applicant has indicated a total of 21 service bays and 20 employees. The applicant is proposing 42 parking spaces for service bays and 20 employee parking spaces.
 - c. In addition to the proposed 62 parking spaces, the applicant is also proposing 370 inventory parking spaces.
 - d. The applicant has proposed both 19 foot parking spaces with six inch curbs and 17 foot parking spaces with four inch curbs throughout the site.
 - i. The applicant should revise the six inch curb to four inch for the easterly row of 17 foot parking spaces on sheet C6.
 - ii. The applicant should confirm that all objects located in front of 17' parking spaces are at least two feet behind the face of the curb to allow for vehicle overhang.
 - e. The applicant is required to provide three accessible parking spaces based on the total proposed employee and service bay parking. The applicant has proposed three accessible spaces. One of the three accessible parking spaces shall be van accessible. The applicant has proposed two spaces that are van accessible.
 - f. The accessible parking dimensions are in compliance with ADA standards.
 - g. End islands are generally in compliance with City standards.
 - h. The applicant is required to provide two bicycle parking spaces. The applicant should provide more detail for the location for proposed bicycle parking so that it is in compliance with Section 5.16.6 of the City's Zoning Ordinance including ramps and aisle width to ensure accessibility. The applicant should also provide a shop drawing of the proposed bicycle parking rack that meets City standards.
3. Sidewalk Requirements
 - a. The applicant has not proposed any sidewalk or sidewalk ramps throughout the development.

SIGNING AND STRIPING

1. All on-site signing and pavement markings shall be in compliance with the Michigan Manual on Uniform Traffic Control Devices (MMUTCD). The following is a discussion of the proposed signing and striping.
 - a. The applicant should provide a signing quantities table and additional details (MMUTCD designation and proposed size) in future submittals.

- b. The applicant should provide the following notes and details on future site plans.
 - i. All roadside signs should be installed two feet from the face of the curb to the near edge of the sign.
 - ii. Single signs with nominal dimensions of 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post. Multiple signs and/or signs with nominal dimension greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post as dictated by the weight of the proposed signs.
 - iii. Traffic control signs shall use the FHWA Standard Alphabet series.
 - iv. Traffic control signs shall have High Intensity Prismatic (HIP) sheeting to meet FHWA retroreflectivity requirements.
- c. The applicant should provide additional notes and details related to proposed pavement markings.
 - i. Where a standard parking space is located next to an accessible parking space a white line shall abut a blue line.
 - ii. The international symbol for accessibility shall be white or white with a blue background. The applicant should provide a detail.
 - iii. Provide details for the proposed pavement marking arrows. Any traffic flow arrows should be hollow and pavement marking arrows should be solid.
 - iv. Provide details for the painted end islands on the north side of the building. The City may require an administrative variance for painted end islands as opposed to raised end islands.

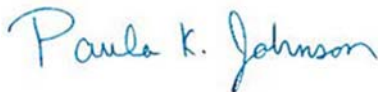
Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Maureen N. Peters, PE
Senior Traffic/ITS Engineer



Paula K. Johnson, PE
Senior Traffic Engineer

FACADE REVIEW



September 17, 2018

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Façade Review Status Summary:
Approved, full compliance.

Attn: Ms. Barb McBeth – Director of Community Development

Re: **FACADE ORDINANCE – Preliminary Site Plan Review**
Toyota Service Center, PSP18-15
 Façade Region: 1, Zoning District: I-1

Dear Ms. McBeth:

The following is the Façade Review for Preliminary Site Plan for the above referenced project based on the drawings prepared by Ghafari Architects, dated 7/13/18. This project is subject to the Façade Ordinance Section 5.15. The building is located approximately 160’ of a major thoroughfare (Haggerty Rd.) and is therefore considered Façade Region 1. The percentages of materials proposed for each façade are as shown in the tables below. Materials in non-compliance, if any, are highlighted in bold.

Façade Region 3	West (Front)	East	North	South	Ordinance Maximum (Minimum)
Brick	50%	52%	56%	54%	100% (30% Min.)
Flat Metal Panels	50%	48%	44%	46%	50%

As shown above all facades are in full compliance with the Façade Ordinance. The proposed building is in context with other buildings in the surrounding area with respect to percentages of materials used and overall aesthetic quality. The dumpster detail on sheet AE1-00-01 indicates “brick veneer to match building”. The applicant should provide a sample board as required by Section 5.15.4.D of the Façade Ordinance to verify the color and type of the façade material to be used. It should be noted that the Façade Ordinance prohibits the use of striking or intense colors.

No roof equipment screening is indicated on the elevations. The applicant should note that all roof top equipment must be screened from view from all vantage points both on and off-site using materials compliant with Section 5.15. In this case this would include the highway overpass located north of the site on Haggerty Road.

Recommendation – This application is in full compliance with the Façade Ordinance. Section 9 Waiver is not required. The applicant should provide a sample board as required by Section 5.15.4.D of the Façade Ordinance to verify the color and type of all proposed façade materials.

Notes to the Applicant:

1. Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board will be compared to materials delivered to the site. It is the applicant's responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department's Online Inspection Portal with the following link. Please click on "Click here to Request an Inspection" under "Contractors", then click "Façade".

<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

If you have any questions regarding this project please do not hesitate to call.

Sincerely,
DRN & Architects PC



Douglas R. Necci, AIA

FIRE REVIEW



August 30,2018

TO: Barbara McBeth- City Planner
Sri Ravali Komaragiri- Plan Review Center
Lindsay Bell-Plan Review Center
Hannah Smith-Planning Assistant

RE: Toyota Service Center-Regency Dr

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
Dave Staudt

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Wayne Wrobel

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Kelly Breen

City Manager
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**Director of Public Safety
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David E. Molloy

Director of EMS/Fire Operations
Jeffery R. Johnson

Assistant Chief of Police
Erick W. Zinser

Assistant Chief of Police
Scott R. Baetens

PSP# 18-0135

Project Description:

Build a single story 21,485 S.Q.F.T. building off of Regency Dr.

Comments:

- **All** fire hydrants **MUST** in installed and operational prior to any building construction begins.
- Fire hydrant spacing is 300' from hydrant to hydrant (**NOT** as the crow flies). **Novi City Ordinance 11-68(F)(1)c.**
- **MUST** move **FDC** to the south side of the structure facing Regency Dr.
- **FDC MUST** be with-in 100' from a fire hydrant. **IFC 912.2.3.**
- Water flow calculations must be turn in to the Fire Marshal's office for review. There is a dead end fire hydrant, an 8" fire service lead for the fire suppression system and a 2" domestic lead on the 8" water main.
- **All** access roads **MUST** meet City of Novi weight requirements of 35 ton. (**Novi City Ordinance 15-17 503.2.3**).

Recommendation:

APPROVED WITH CONDITIONS

Sincerely,

Kevin S. Pierce-Fire Marshal
City of Novi – Fire Dept.

Novi Public Safety Administration
45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cc: file

APPLICANT RESPONSE LETTER



CIVIL ENGINEERS

LAND SURVEYORS

LAND PLANNERS

October 18, 2018

City of Novi
Community Development Department
45175 West Ten Mile Road
Novi, Michigan 48375

Attn: Lindsay Bell
Planner

Re: JSP 18-15 Toyota Service Center – Regency Drive
Response to Site Plan Review

Dear Ms. Bell,

We have revised the Site Plan Package for the referenced property to reflect the review comments and recommendations noted in your September 24, 2018 Site Plan Review. We offer the following comments in response to the items listed in that review:

Planning Review Report

1. Automobile Service Establishment-As requested, a note will be added to the plans stating the proposed building is to be used for minor vehicle services only, and not major automobile repair.
3. Non-Residential Open Storage – A Planning Commission waiver is being sought to allow for the proposed inventory storage, within the provided front yard setback. Due to site constraints, specifically the Townline Drain and associate 100-year floodplain, it is necessary to locate the proposed building along the western portion of the site. Inventory vehicle parking in the provided front setback will be harmonious with the surrounding properties, and dealerships along the east side of Haggerty Road. Additional details will be provided of the cyclone fence, on the revised plans.
4. A 6-foot wide continuous safety path will be provided for the entire Haggerty Road frontage, as requested.

Planning Review Chart

- Uses Permitted - Special Land Use approval of an automobile service establishment with accessory outside storage for the I-1 district, is being sought from the Planning Commission.
- Automobile Service Establishment – A Planning Commission waiver is being sought to allow proposed inventory vehicle parking in the provided front setback.
- Non-Residential Open Storage – Special Land Use approval is being requested to allow accessory open storage of vehicles.
- Location of Open Storage – A Planning Commission waiver is being sought to allow proposed inventory vehicle parking in the provided front setback.
- Screening – As requested, additional details for the proposed fence and screening will be provided on the revised plans.
- Height of Stored Materials – The proposed max height of vehicles to be stored on-site is 8-feet. This will be noted on the revised plans, as requested.
- End Islands – End Island Measurements will be provided on the revised plans, as requested.
- Bicycle Parking General Requirements – As requested, dimensions will be provided for bicycle parking.
- Bicycle Parking Lot Layout – Bicycle parking layout dimensions will be provided on the revised plans, as requested.

NOWAK & FRAUS ENGINEERS

- Loading Spaces – As requested, the loading area and parking stalls will be revised so the loading area is located outside of the drive aisle.
- Article XI Off-Road Non-Motorized Facilities – A 6-foot wide continuous safety path will be provided for the entire Haggerty Road frontage, as requested.
- Pedestrian Connectivity – The proposed facility has been designed so that all proposed man-doors discharge pedestrians to protected (curbed) location that will be paved with concrete. From there pedestrians will have direct access to the parking lot. Additional sidewalks are not necessary.
- Lighting and Photometric Plan – As requested a photometric plan will be included with the revised plan set.
- Design and Construction Standards Manual – A parcel combination application has been submitted to the City of Novi, for approval.
- Economic Impact Information – The proposed development is anticipated to cost approximately \$1,000,000, and will create approximately 20 jobs, when complete.

Engineering Review

General

1. As requested, two ties to established section corners will be provided.
2. City established benchmarks will be referenced on the revised plan set, as requested.
3. As requested, the City of Novi Standard Details will be provided with the stamping set submittal
4. A same side driveway spacing waiver is being requested from the Planning Commission to allow the proposed drive approach locations and configurations.
5. A traffic control sign table will be provided on the revised plans, as requested.
6. A traffic control plan will be provided with the revised plan set submittal, as requested.
7. As requested, the title of plan sheet C9 will be corrected.
8. Compacted sand backfill will be provided for all utilities within the influence of the pavement. This will be noted on the utility sheets and depicted on the profile sheets, as requested.
9. A note will be added to the plans stating if dewatering is encountered during construction a dewatering plan must be submitted to the Engineering Department for review, as requested.
10. As requested, utilities will be shown on the landscape plans. Proposed trees will be placed outside of utility easements where feasible.
11. The proposed light pole locations will be shown on the revised utility plans, as requested.
12. A RPZ backflow prevention device will be proposed on all irrigation systems, as requested.

Water Main

13. As requested, a profile of all proposed 8-inch diameter (and larger) water main will be provided.
14. The MDEQ water permit application will be completed and submitted with 3 additional sets of plans, as requested.

Sanitary Sewer

15. As requested, a sanitary sewer monitoring manhole will be provided with a 20-foot wide access easement.
16. A note will be added to the utility plan stating that 6-inch sanitary leads shall be a minimum SDR 23.5 and mains shall be SDR 26, as requested.
17. As requested, a note will be provided for sanitary leads to be buried at least 5-feet deep, within the influence of pavement.

Storm Sewer

18. Storm sewer will be provided with a minimum of 3-feet of cover, as requested and, as feasible.
19. As requested, all inlet storm structures will be labeled on the profile sheet. Inlet locations will be revised to meet City requirements.
20. The 0.80 diameter depth will be matched at pipe diameter increases, as requested, and as feasible.
21. As requested, 8-inch diameter roof leads will be revised to PVC SDR 26.

Storm Water Management Plan

22. The storm water management plan will be designed in accordance with the Storm Water Ordinance and Chapter 5 of the Engineering Design Manual, as requested.
23. As requested, documentation will be provided that this development is consistent with the existing regional detention basin design.
24. Supporting calculations will be provided for the runoff coefficient, as requested.

Paving & Grading

25. As requested, a 6-foot wide safety path will be provided across the entire Haggerty Road Frontage.
26. The City Standard Details will be included in the revised plan set, as requested.
27. As requested, curbs and monolithic sidewalk at the end of 17-foot stalls will be reduced a 4-inch height.

Flood Plain

28. The existing and proposed 100-year flood plain and floodway limits will be shown on the revised plans, as requested.
29. A City Flood Plain Permit will be secured for the proposed development, as requested.

Soil Erosion and Sediment Control

30. Soil Erosion Control Plans will be provided with the revised plan set, as requested. A Soil Erosion Control Permit will be obtained prior to construction.

Final Site Plan Submittal

31. As requested, an engineer's estimate of construction cost will be submitted at the time of Final Site Plan submittal.
32. No off-site easements are proposed or required for the proposed development.

Landscaping Review

Existing and Proposed Overhead and Underground Utilities, Including Hydrants

- As requested, all overhead and underground utilities will be shown on the revised landscape plans.

Existing Trees

- All regulated trees have been shown in the tree survey chart. The additional trees have been shown, at the city request but did not meet city requirements to be specifically inventoried/classified.
- As requested, tree fencing will be provided at the critical root zone (where feasible) for all existing trees to remain.
- The tree protection fencing detail will be revised to show the fence at the critical root zone, as requested.

Parking Lot Landscaping

- As requested, trees will be added on both ends of the southwestern bay and the island at the northwest corner of the building.

Parking Lot Perimeter Canopy Trees

- All double counted greenbelt/periphery trees will be planted within 15 feet of the back of curb, as requested.

Loading Zone Screening

- As requested, the loading zone will be shown on the revised plans (center of lot, north building). Perimeter screening will buffer this area, no additional screening is proposed.

Plant List

- The plant list will be revised to use at least 50% species native to Michigan, as requested.

Planting Notes and Details

- Planting details will be revised, per the details on the landscape chart.

Irrigation

- As requested, details regarding irrigation will be provided on the revised plan set.

Corner Clearance

- Proposed trees will be removed from the clear vision zones, as requested.

Landscape Review Chart

- Project Information – This property has been submitted for combination. Once an address is determined, it will be added to the plans.
- Zoning – As requested zoning of parcel and adjacent properties will be provided on the revised plans.
- Existing Plant Material Existing Woodlands or Wetlands – All regulated trees have been shown in the tree survey chart. The additional trees have been shown, at the city request but did not meet city requirements to be specifically inventoried/classified.
- Existing and Proposed Utilities – As requested, utility lines within the parking lot will be clarified on the revised plans.
- Clear Zones – Proposed trees will be removed from the clear vision zones, as requested.
- D=C/200 Number of Canopy Trees Required – Deciduous trees will be provided, as requested on the revised plans.
- Parking Lot Perimeter – As requested, Haggerty Road Greenbelt trees will be moved closer to the parking lot. The requested callout will be added to the revised plans for all double counted trees.
- Berm Requirements – A Planning Commission waiver is being requested to omit the required berm along Haggerty Road. Proposed trees will be tolerant to flooding and will provide the required screening. Screening will be extended to the south on the revised plans, as requested.
- Deciduous or Large Evergreen Tree – It is noted that the number of trees along Regency Drive may be reduced.
- Subcanopy Tree and Shrubs – As requested, the hedge will be extended 20-feet to the east on the revised plans.
- Screening of Outdoor Storage, Loading/Unloading – The proposed loading zone will be indicated on the revised landscape plan. Screening details for the proposed loading zone will be provided on the revised plans, as requested. A Planning Commission waiver is being requested to omit the additional loading zone screening. Perimeter screening will be provided on the property. Existing topography from the Haggerty right-of-way will render any additional screening ineffective.
- Transformer/Utility Boxes – As requested, a note will be added to the landscape plan that existing transformers to remain are fully screened with arborvitae.
- Planting Requirements – Detention has been provided by an offsite regional detention system. No additional detention or landscaping is required.
- Irrigation Plan – As requested, an irrigation plan will be provided with the revised plan submittal.
- Other Information – The general landscape notes will be coordinated on the revised plans, as requested.
- Botanical and Common Names – Tree plantings within the flood plain will be tolerant of flooding. At least 50% of the species will be native to Michigan.
- Type and Amount of Lawn – As requested, the areas of seed and sod will be added to the cost table.
- Plant Materials & Existing Plant Material – Tree fencing will be shown on the demolition plan, as requested.
- Nonliving Durable Material: Mulch – As requested, the standard plant mix will be revised to use compost instead of peat.

ECT Review

Wetland/Watercourse Evaluation

- An application to the MDEQ and the City of Novi has been made for the proposed improvements to Ingersroll Creek.

Wetland/Watercourse Impact Review

- As requested, the existing 25-foot watercourse buffer and proposed impacts will be delineated on the plans.
- Impacts to the drain and associated 25-foot buffer have been minimized, to the extent feasible.
- As requested, notation will be added to the plans prohibiting the use of crushed concrete within 100-feet of any watercourse.

Wetland and Watercourse Comments

1. All proposed impacts to Ingersroll Creek will be detailed on the plans including area of disturbance, and proposed volume of cut/fill, as requested.
2. As requested, the 25-foot watercourse setback will be indicated on the plans.
3. All proposed impacts to the 25-foot watercourse buffer will be detailed on the plans including area of disturbance, as requested.
4. All required permits will be secured from MDEQ, and City of Novi, prior to the start of construction.
5. As requested, a copy of the MDEQ permit will be provided to your office upon receipt.
6. Proposed snow storage areas will be located such that runoff does not directly impact Ingersroll Creek, as requested.
7. As requested, the stormwater management plan will meet City of Novi requirements.
8. A note will be added to the plans prohibiting the use of crushed concrete within 100-feet of any watercourse.

AECOM Traffic Review

External Site Access and Operations

1. Access Points
 - a. As requested, the driveway radii will be increased to 35-feet.
 - b. The driveway throat width will be increased to 36-feet.
3. Driveway Spacing
 - a. A same side driveway spacing waiver is being requested from the Planning Commission to construct the proposed drive approaches, with the geometry recommended above.

Internal Site Operations

1. General Traffic Flow
 - e. The location of the proposed loading zone will be revised to not impact the drive aisle, as requested.
2. Parking Facilities
 - d. Curbs
 - i. As requested, 4-inch curbs will be provided in front of any 17-foot parking stalls.
 - ii. A 2-foot overhang clearance will be provided, as requested.
 - h. As requested, additional details will be provided for the bicycle parking stalls.

Signing and Striping

1. MMUTCD
 - a. A signing quantities table with MMUTCD designations and sizes will be provided, as requested.
 - b. The requested sign notes and details will be included on the plans.
 - c. The requested pavement marking notes and details will be included on the plans.

DRN – Façade Review

- As requested, a materials sample board has been provided with the preliminary site plan submittal.

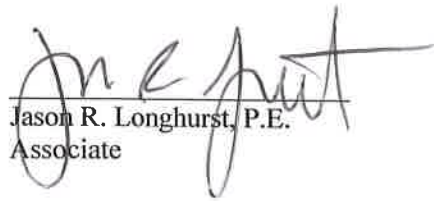
Fire Marshall Review

- A note will be added to the plans indicating that all fire hydrants must be installed and operational prior to building construction begins, as requested.
- As requested, an additional fire hydrant will be provided to meet the 300-foot required spacing.
- The location of the FDC will be revised to the south side of the building, as requested.
- As requested, the revised FDC location will be within 100-feet of a hydrant.
- Water flow calculations will be provided for review, as requested.
- As requested, all access roads will meet the weight requirement of 35 tons.

Please feel free to contact us at (248) 332-7931 should you have any additional questions or comments.

Sincerely,

NOWAK & FRAUS ENGINEERS



Jason R. Longhurst, P.E.
Associate