

**Case No. 07-059 filed by Scott Smith of Clark Hill for the Adell  
Brothers Trust**

**Tabled**

Applicant is requesting the consideration of a delayed administrative appeal of a determination by the Deputy Director of Community Development stating the use of the former Novi Expo Center as a trade center/market does not fall within the uses allowed in an EXPO district. Applicant is further requesting a use variance from the strict application of the provisions of Article 10 EXO Exposition Overlay District of the Novi Zoning Ordinance. Property is zoned EXPO and located west of Novi Road and south of I-96.

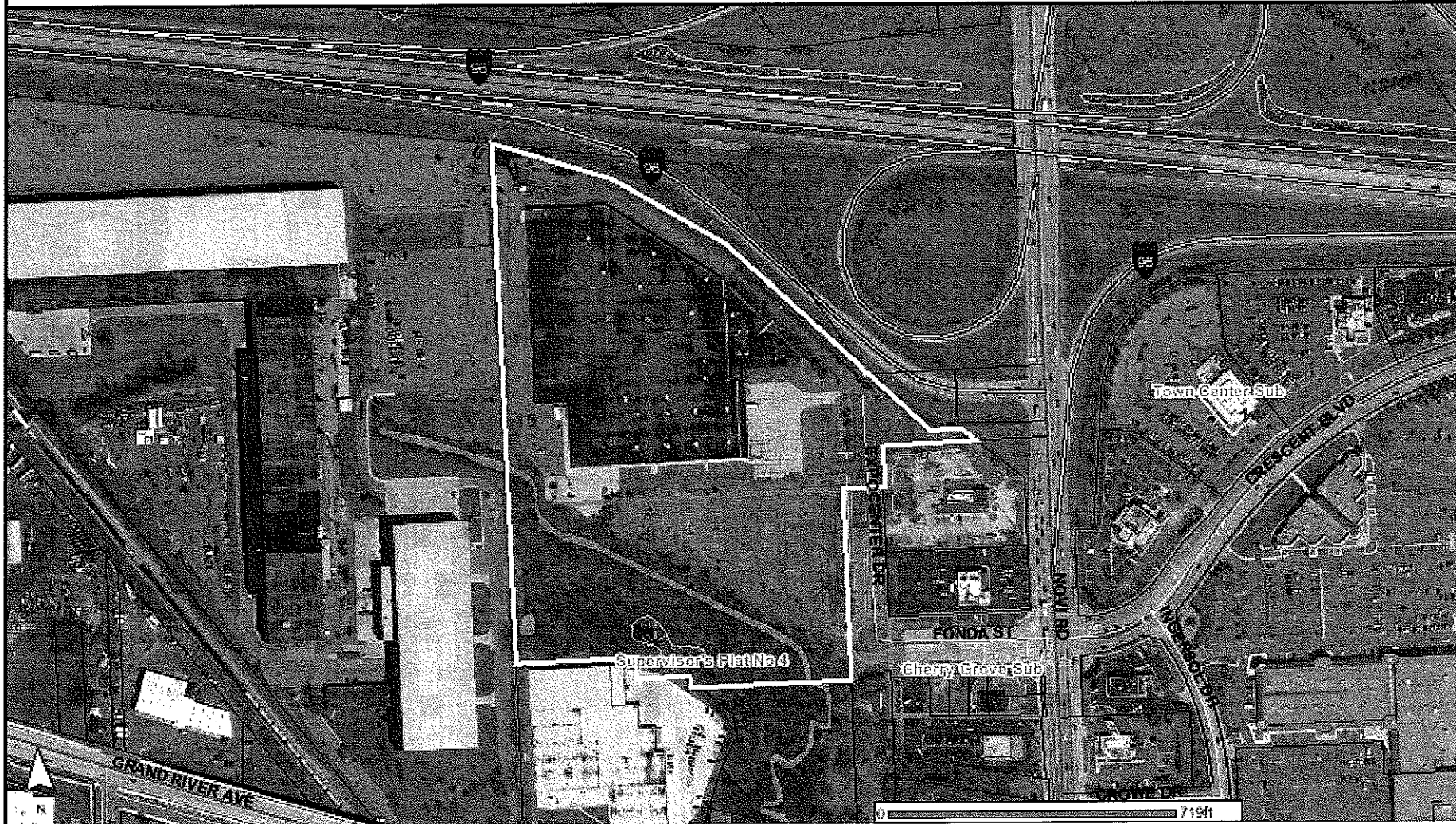
CITY OF NOVI ZONING BOARD OF APPEALS Rules of Procedure, Article IX Amendments and Appeals to the Board, Section 9.1, Appeals to the Board, states: "Any applicant shall have the right to an appeal to the board no later than thirty (30) days from the administrative action, which is the subject of the appeal. If the right to appeal expires, an Applicant may seek leave to bring a delayed appeal based upon clear and convincing demonstration of good cause for the delayed appeal. The Board shall vote upon whether or not to consider the delayed appeal prior to consideration of the merits of the petition.

CITY OF NOVI CODE OF ORDINANCES Section 3104 1. a., Administrative Review, states: "The Zoning Board of Appeals shall...hear and decide appeals where it is alleged by the appellant that there is an error in any order, requirement, permit, decision or refusal made by the Building official or any other administrative official in carrying out or enforcing provisions of this Ordinance."

CITY OF NOVI CODE OF ORDINANCES Section 3104 1. b. , Jurisdiction, states: "The Zoning Board of Appeals shall have the power to authorize, upon appeal a variance from the strict application of the provisions of this Ordinance where by ...the strict application of the regulations enacted would result in peculiar or exceptional difficulties to or exceptional undue hardship upon the owner of such property provided such relief may be granted without substantially impairing the intent and purpose of the Ordinance."

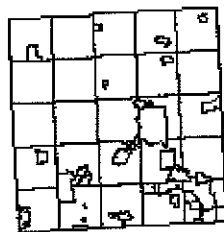
- **Applicant is requesting consideration of a delayed appeal, an administrative appeal, or, alternatively, a use variance.**

# Label Service



Disclaimer: The information provided in this system has been compiled from recorded deeds, plats, tax maps, surveys and other public records and data. It is not a legally recorded map or survey and is not intended to be used as one. Users of this data are hereby notified that the information sources mentioned above should be consulted for verification of the information.

Map Printed on: 10/5/2007

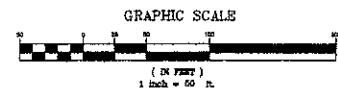
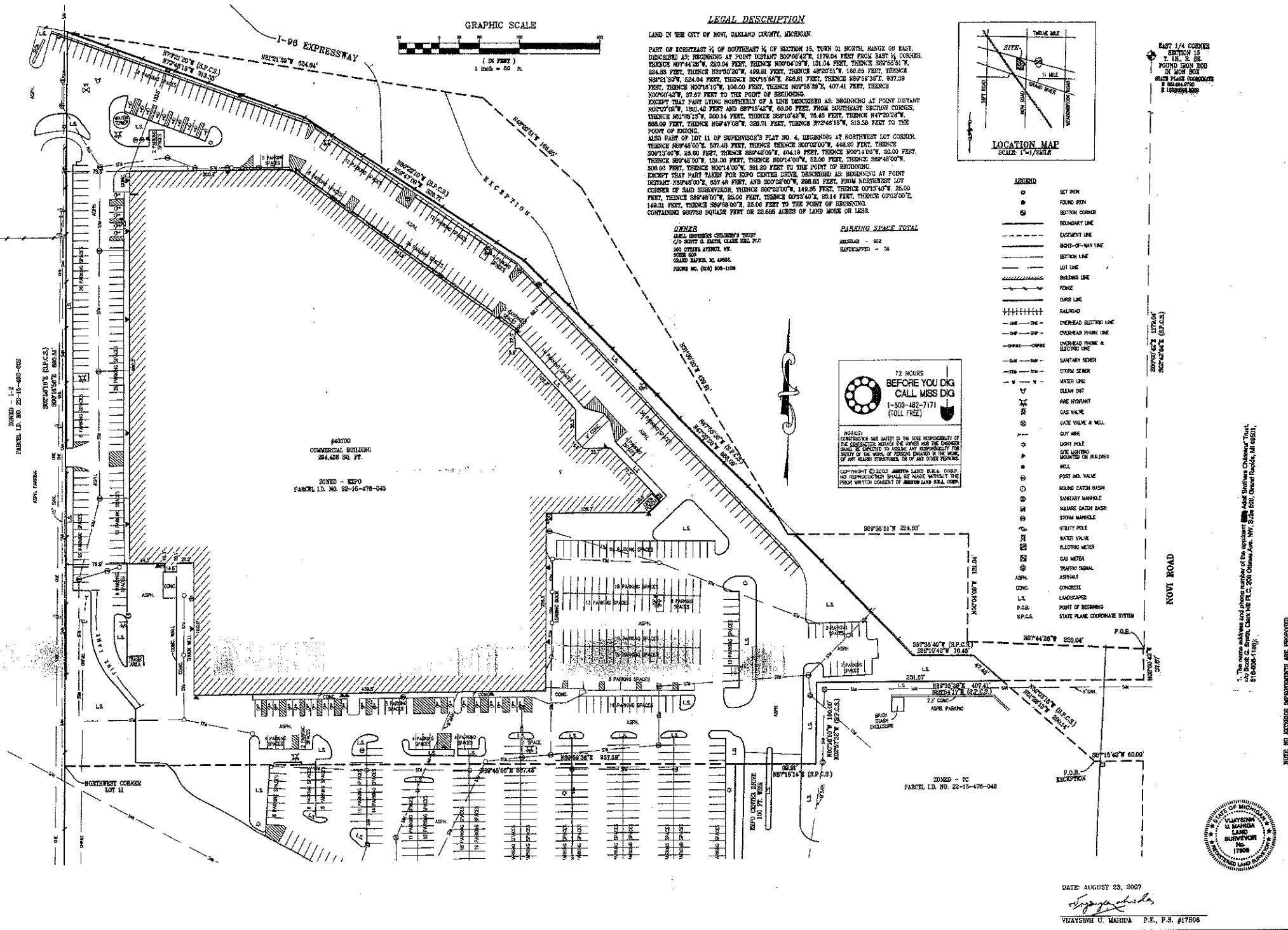


- Selected Features
- Tax Parcel
- Highway and Freeway
- Interstates

- US Highways
- State Highways
- Major and Minor Road
- Major Roads

### Legend

- Minor Roads
- Subdivision
- Municipal Boundary
- Waterbody
- Swamp or Marsh
- Lake or Pond
- Stream or River
- 2006 Aerial Imagery



**LEGAL DESCRIPTION**

LAND IN THE CITY OF NOVI, OAKLAND COUNTY, MICHIGAN.

PART OF EIGHTH 1/4 OF SOUTHEAST 1/4 OF SECTION 15, TOWN 01 NORTH, RANGE 08 EAST, DESCRIBED AS: BEGINNING AT POINT DISTANT 800'00"42", 1170'04" FEET FROM EAST 1/4 CORNER, THENCE N67°44'28"W, 220.04 FEET, THENCE N00°04'09"W, 131.04 FEET, THENCE S89°50'51"W, 224.58 FEET, THENCE N29°00'00"W, 400.00 FEET, THENCE S07°15'10"W, 148.55 FEET, THENCE N84°21'30"W, 624.04 FEET, THENCE S07°15'10"W, 655.81 FEET, THENCE N89°59'38"E, 837.39 FEET, THENCE N00°15'10"W, 100.00 FEET, THENCE N89°59'39"E, 407.41 FEET, THENCE N00°04'42", 37.87 FEET TO THE POINT OF BEGINNING.

EXCEPT THAT PART LYING NORTHERLY OF A LINE DESCRIBED AS: BEGINNING AT POINT DISTANT N02°07'02"W, 1381.45 FEET AND S87°15'42"W, 60.00 FEET, FROM SOUTHEAST SECTION CORNER, THENCE N01°28'13"W, 200.14 FEET, THENCE S89°10'48"W, 75.45 FEET, THENCE N47°30'28"W, 580.00 FEET, THENCE N89°47'08"W, 328.71 FEET, THENCE S72°45'18"W, 513.55 FEET TO THE POINT OF BEGINNING.

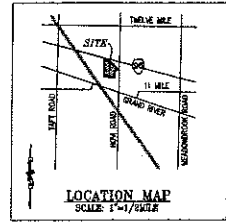
ALSO PART OF LOT 11 OF SUPERVISOR'S PLAT NO. 4, BEGINNING AT NORTHWEST LOT CORNER, THENCE N89°48'00"E, 897.48 FEET, THENCE THENCE S07°02'00"W, 448.30 FEET, THENCE S04°15'40"W, 20.50 FEET, THENCE S89°45'00"W, 404.19 FEET, THENCE N00°11'00"E, 50.00 FEET, THENCE S87°45'17"W, 131.00 FEET, THENCE N00°14'00"W, 52.00 FEET, THENCE S89°45'00"W, 200.00 FEET, THENCE N00°14'00"W, 51.20 FEET TO THE POINT OF BEGINNING.

EXCEPT THAT PART TAKEN FOR EXPO CENTER DRIVE, DESCRIBED AS BEGINNING AT POINT DISTANT S89°45'00"E, 897.48 FEET, AND S07°02'00"W, 448.30 FEET, FROM NORTHWEST LOT CORNER OF SAID SUPERVISOR, THENCE S07°02'00"W, 148.35 FEET, THENCE 07°13'40"W, 25.00 FEET, THENCE S89°45'00"E, 25.00 FEET, THENCE 07°13'40"E, 25.14 FEET, THENCE 07°02'00"E, 148.31 FEET, THENCE S89°08'00"E, 25.06 FEET TO THE POINT OF BEGINNING.

CONTAINING 895768 SQUARE FEET OR 22.638 ACRES OF LAND MORE OR LESS.

**OWNER**  
DANA BROWN'S CHARITABLE TRUST  
470 SOUTH ZEEB, CLARK HILL, P.O.  
500 OLYMPIA AVENUE, N.W.  
SUITE 500  
GRAND CAYMAN, KY 40605  
PHONE NO. (606) 808-1100

**PARKING SPACE TOTAL**  
RESERVED - 622  
UNDEVELOPED - 35



- LEGEND**
- SET BACK
  - FOUND FOOT
  - SECTION CORNER
  - BOUNDARY LINE
  - DOCUMENT LINE
  - ROAD-OF-WAY LINE
  - SETBACK LINE
  - LOT LINE
  - BUILDING LINE
  - FENCE
  - DRS LINE
  - RAILROAD
  - OVERHEAD ELECTRIC LINE
  - OVERHEAD PHONE LINE
  - OVERHEAD PHONE & ELECTRIC LINE
  - SAN - SAN - SANITARY SEWER
  - STORM - STORM WATER MAIN
  - CLEAN OUT
  - FIRE HYDRANT
  - GAS VALVE
  - GATE VALVE & WELL
  - CLY WIRE
  - LIGHT POLE
  - SITE LIGHTING MOUNTED ON BUILDING
  - WELL
  - FIRE ALARMS
  - ROUND CATCH BASIN
  - SANITARY MANHOLE
  - SQUARE CATCH BASIN
  - STORM MANHOLE
  - UTILITY POLE
  - WATER VALVE
  - ELECTRIC METER
  - GAS METER
  - TRAFFIC SIGNAL
  - ASPH.
  - CONC.
  - L.S.
  - P.O.B.
  - S.P.C.S.



NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NOTICE THE OWNER AND THE CONTRACTOR SHALL BE CONSIDERED TO ASSUME ANY RESPONSIBILITY FOR THE CITY OF NOVI, OF PERSONS INJURED OR THE DEATH OF ANY PERSONS OR STRUCTURES, OR OF ANY OTHER PERSONS.

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EAST 1/4 CORNER SECTION 15 T. 01 N. R. 08 POINT FROM 200 IN LONG EXISTING STATE CORNER TO INTERSECTION OF I-96 EXPRESSWAY

SHOW ALL UTILITIES 300'± (SEE S.P.C.S.)

NOVI ROAD

1. The name, address and phone number of the applicant is: Metco Land S.E.A. Corporation, 401 S. Main St., Clawson, Michigan 48007, Telephone: (248) 588-2600, Fax: (248) 588-3117, E-MAIL: metcoand@aol.com

**METCO LAND S.E.A. CORPORATION**  
SURVEYING & ENGINEERING  
401 S. MAIN ST. CLAWSON, MICHIGAN 48007  
TELEPHONE: (248) 588-2600 FAX: (248) 588-3117  
E-MAIL: metcoand@aol.com

BY	DATE	REVISIONS
BY	DATE	REVISIONS

DATE	REVISIONS

DATE: AUG. 23, 2007

PRELIMINARY SITE PLAN  
43700 EXPO CENTER DRIVE  
CITY OF NOVI  
MICHIGAN - 48375  
SECTION 15 - T.01N., R.08E.

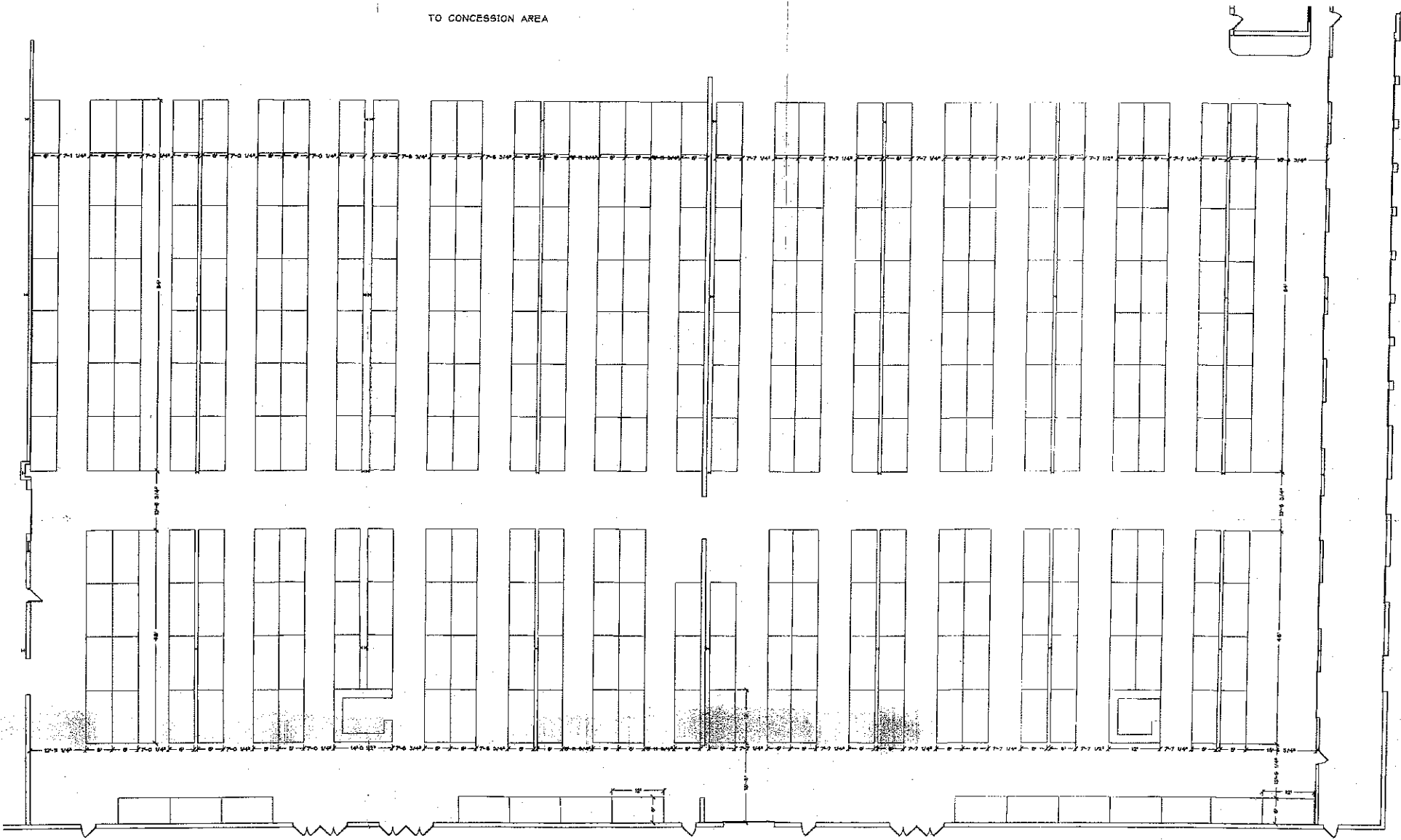
JOB NO. 13-07008  
SHT. 1  
OF 2



DATE: AUGUST 23, 2007  
*Vlasyr U. Mahida*  
VLASYR U. MAHIDA P.E., P.S. #17908



TO CONCESSION AREA



MAIN ENTRANCE

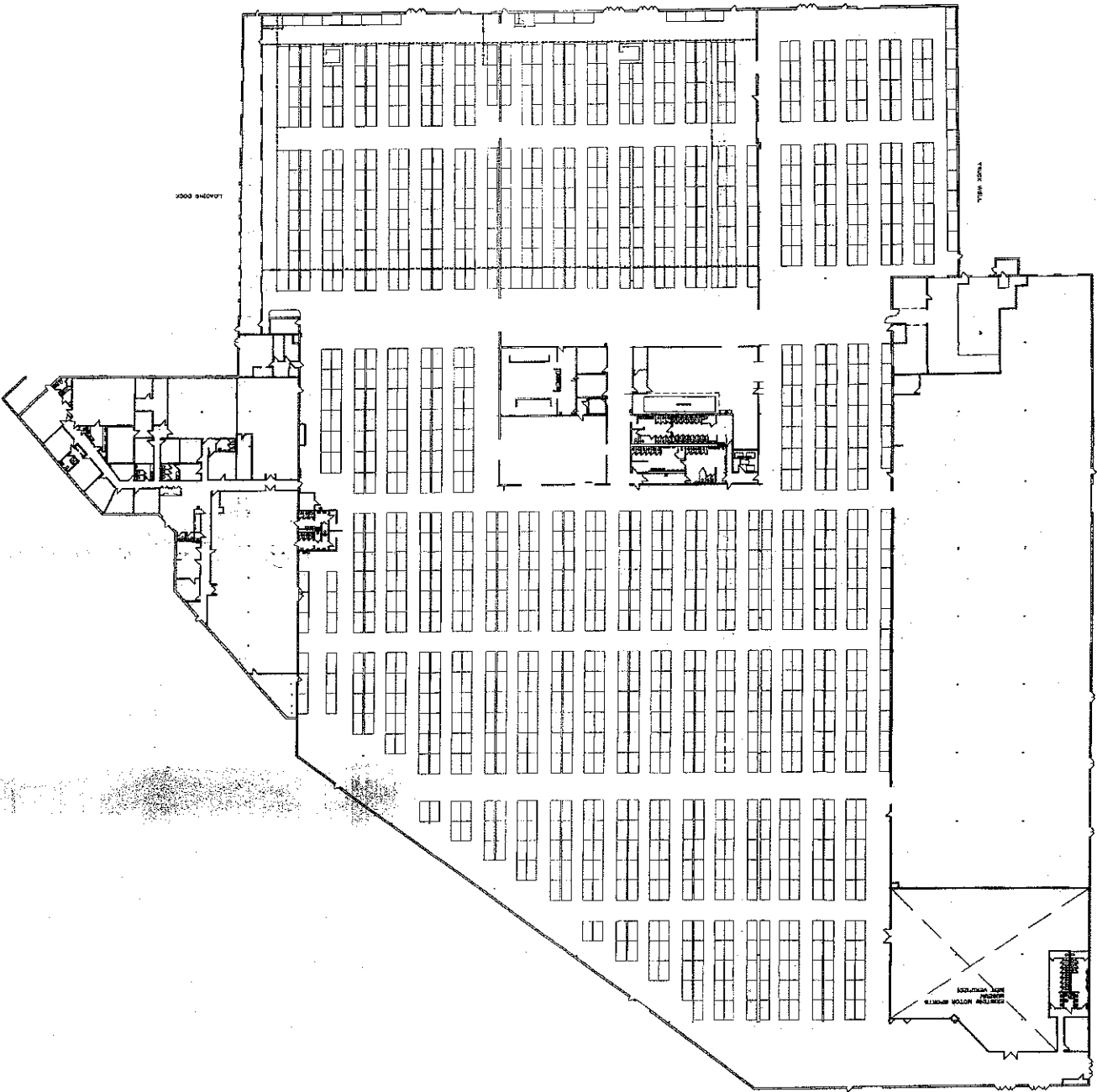
LOADING DOCK



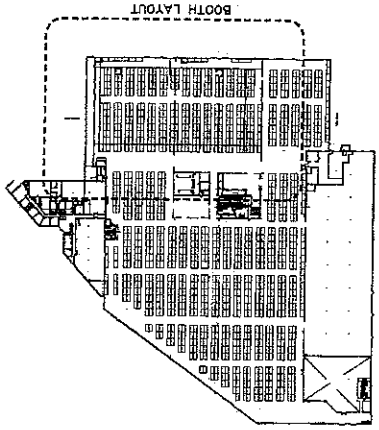
# BOOTH LAYOUT ENLARGED PLAN

SCALE: 3/32" = 1'-0"

<b>DAVIS &amp; DAVIS</b> ARCHITECTS 10000 WOODMONT AVENUE, SUITE 100 ANN ARBOR, MICHIGAN 48106 PHONE (313) 963-7144 WWW.DAVISDAVIS.COM	
PROJECT TITLE <b>NOVI TRADE CENTER          NOVI, MI</b>	
SHEET TITLE <b>BOOTH LAYOUT          ENLARGED PLANS</b>	
DATE	4/30/07
REVISION	5/15/07
	5-24-07 PR
DRAMA BY:	CD
CHECKED BY:	LD
JOB NO.	
SHEET NO.	07126
	P1



COMPOSITE PLAN  
SCALE: 1/32" = 1'-0"  
NORTH



KEY PLAN  
NOT TO SCALE  
NORTH

C1	* SHEET NO.	07126	PROJECT TITLE <b>NOVI TRADE CENTER</b> NOVI, MI	<b>DMIS &amp; DMIS</b> ARCHITECTS & ENGINEERS, P.C. 3000 WASHINGTON FIELD BLVD, SUITE 4000 TROY, MI 48063-1714 PHONE: 313.486.7144 WWW.DMISANDDMIS.COM
	* DATE	4/30/07		
	* CHECKED BY	CS		
	* DRAWN BY	CS		
	* JOB NO.	07		
	* DATE	8/8/07		
	* PROJECT	4/30/07		
	* SHEET TITLE	BOOTH LAYOUT COMPOSITE FLOOR PLAN		