

cityofnovi.org

Novi Crescent SP 12-24

NOVI CRESCENT SP12-24

Consideration of the request of Novi Crescent LLC for Preliminary Site Plan and Stormwater Management Plan approval. The subject property is located in Section 15, north of Crescent Boulevard and west of Novi Road, in the TC, Town Center District. The subject property is approximately 1.29 acres and the applicant is proposing to demolish the existing Big Boy restaurant and construct a 10,000 sq. ft. building consisting of restaurant and retail space.

Required Action

Approval/denial of the Preliminary Site Plan and Stormwater Management Plan

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	05/16/12	<ul style="list-style-type: none"> • Planning Commission setback reduction for the northern, southern and eastern building setbacks. • Zoning Board of Appeals variances for the loading zone and dumpster location. • Zoning Board of Appeals variance for the deficient number of parking spaces. • Zoning Board of Appeals variances for the southern and western parking setbacks. • Minor items to be addressed at the time of the next plan submittal.
Engineering	Approval recommended	05/15/12	Items to be addressed at the time of the next plan submittal.
Traffic	Approval recommended	05/16/12	Items to be addressed at the time of the next plan submittal.
Landscaping	Approval recommended	05/16/12	<ul style="list-style-type: none"> • Applicant providing additional landscaping elsewhere on site to compensate for the lack of building foundation landscaping or Planning Commission waiver for building foundation landscape area. • Planning Commission waiver to allow an ornamental fence with brick piers in lieu of the required wall. • Minor items to be addressed at the time of the next plan submittal.
Façade	Approval recommended	05/15/12	Applicant must submit the required sample board.
Fire	Approval recommended	05/04/12	Minor items to be addressed at the time of the next plan submittal.

Motions

Approval – Preliminary Site Plan

In the matter of Novi Crescent, SP 12-24, motion to **approve** the Preliminary Site Plan, subject to the following:

- a. Planning Commission reduction of 30 feet in the required southern building setback (50 ft. required, 20 ft. provided);
- b. Planning Commission reduction of 30 feet in the required eastern building setback (50 ft. required, 20 ft. provided);
- c. Planning Commission reduction of 36 feet in the required northern building setback (50 ft. required, 14 ft. provided);
- d. Zoning Board of Appeals variances for the loading zone and dumpster locations in the exterior side yard;
- e. Applicant reducing the building size to comply with parking requirements **OR** a Zoning Board of Appeals variance for the deficient number of parking spaces (94 required, 80 provided);
- f. Applicant reducing the building size to allow for additional area to meet the required parking setbacks in the southern and western yards **OR** Zoning Board of Appeals variances for each of these deficiencies (20 ft. required, 10 ft. provided);
- g. Applicant providing additional landscaping on site to compensate for the lack of building foundation landscaping in lieu of the requested foundation landscaping area waiver;
- h. Planning Commission waiver to allow a decorative wall in lieu of the required berm along public rights-of-way;
- i. The conditions and items listed in the staff and consultant review letters being addressed on the Stamping Set submittal; and
- j. *(additional conditions here if any)*

for the following reasons...

- a. *a reduction in the required building setbacks will not impair the health, safety or general welfare of the City as related to the use of the premise or adjacent premise;*
- b. *A waiver of the building setbacks along a common parcel line between two premises would result in a more desirable relationship between a proposed building and an existing building;*
- c. *Adherence to a minimum required building setback would result in the establishment of nonusable land area that could create maintenance problems;*
- d. *The location of the proposed building is consistent with the recommendations of the recent update to the Master Plan for Land Use; and*
- e. *The plan is otherwise in compliance with Article 16, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.*

Approval – Stormwater Management Plan

In the matter of Novi Crescent, SP 12-24, motion to **approve** the Stormwater Management Plan, subject to:

- a. The conditions and items listed in the staff and consultant review letters being addressed on the next plan submittal; and
- b. *(additional conditions here if any)*

for the following reasons...(because it is otherwise in compliance with Chapter 11 of the

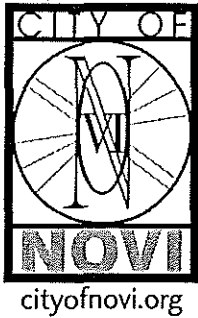
Denial - Preliminary Site Plan

In the matter of Novi Crescent, SP 12-24, motion to **deny** the Preliminary Site Plan, for the following reasons...*(because it is not in compliance with the Ordinance.)*

Denial - Stormwater Management Plan

In the matter of Novi Crescent, SP 12-24, motion to **deny** the Stormwater Management Plan, for the following reasons...*(because it is not in compliance with Chapter 11 of the Ordinance.)*

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

May 16, 2012

Planning Review

Novi Crescent

SP #12-24

Petitioner

Novi Crescent LLC

Review Type

Preliminary/Final Site Plan

Property Characteristics

- Site Location: 26401 Novi Road., Northwest corner of Novi Road and Crescent Boulevard (Section 15)
- Site School District: Novi Community School District
- Site Zoning: TC, Town Center
- Adjoining Zoning: North, East, West and South: TC, Town Center; Further West: EXPO, Exposition
- Site Use(s): Existing Big Boy Restaurant
- Adjoining Uses: North: Melting Pot Restaurant; East: Novi Road; South: Crescent Boulevard; West: Expo Drive, Vacant Expo Center
- Site Size: 1.29 acres
- Proposed Building Size: 10,000 square feet
- Plan Date: 03-14-12

Project Summary

The applicant is proposing to demolish the existing Big Boy restaurant and construct a 10,000 sq. ft. building consisting of two restaurant spaces and additional retail space. The proposed restaurant spaces are 2,400 sq. ft. and 2,200 sq. ft. with the remaining 5,534 sq. ft. shown as retail. Associated parking and other site amenities will also be constructed.

Recommendation

Approval of the **Preliminary and Final Site Plan is recommended**. Planning Commission approval of the Preliminary Site Plan is required. The applicant will also need to receive approval of a number of variances from the Zoning Board of Appeals. A revised Final Site Plan review is required for engineering approval. See the engineering review letter for additional information.

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 16 (TC and TC-1, Town Center Districts), Article 24 (Schedule of Regulations), Article 25 (General Provisions), and any other applicable provisions of the Zoning Ordinance. Please see the attached charts for information pertaining to ordinance requirements. Items in **bold** below must be addressed by the applicant or Planning Commission before Site Plan Approval may be granted. Items underlined should be addressed by the applicant on the revised Final Site Plan submittal or Stamping Set submittal.

1. Master Plan for Land Use: This area was part of the study areas analyzed and updated as part of the 2008 Master Plan for Land Use update. Recommendations for the project area included installing canopy deciduous trees along Novi Road, setting buildings close to the road with increased height at the intersection of Novi Road and Crescent Boulevard and providing public plazas at road intersections. The proposed retail building does accomplish some of these objectives, including setting the building close to the road, installing a public plaza and providing canopy trees. See the adjacent figure from the Master Plan for Land Use showing a conceptual layout of the intersection and surrounding area.



Figure 70. Ring Road Area Development Plan - Birchler Arroyo Associates, Inc. 2007

2. Building Setbacks: The proposed building should be setback fifty feet from all property lines. The building setback on the northern side of the property is approximately 14 feet. The building setback on the eastern side of the property is approximately 20 feet. The building setback on the southern side of the property is approximately 20 feet. **The applicant should revise the site to meet the building setback requirements or seek a reduction in the setbacks from the Planning Commission.** Refer to the planning review chart for additional information on items the Planning Commission will consider when determining whether or not to grant a reduction in the required building setbacks.
3. Parking Setbacks: The proposed parking should be setback 20 feet from all front and exterior side yard property lines. The parking in the southern and western yards is setback 10 feet. **The applicant should consider reducing the size of the building in order to meet the parking setback requirements. Alternately, the applicant could seek variances from the Zoning Board of Appeals.**
4. Parking Calculations: Sit-down restaurants require 1 parking space per 70 sq. ft. of gross leasable area or 1 parking space for every two employees plus 1 space for every 2 customers allowed under maximum seating capacity, whichever is greater. The floor plan does not show the interior layout of the proposed restaurant. **The applicant should provide a detailed restaurant layout so that parking calculations can be verified.**
5. Parking Requirements: A combined 4,600 sq. ft. of restaurant space and 5,534 sq. ft. of retail space requires a total of 94 parking spaces. A total of 80/81 parking spaces have been provided. **The applicant should consider reducing the size of the building in order to meet the parking requirements. Alternately, the applicant could seek a variance from the Zoning Board of Appeals.**
6. Maneuvering Lanes: Maneuvering lanes adjacent to parking spaces must be 24 ft. wide. The striping and paving plan shows the south and west maneuvering lanes as slightly less than 24 ft. wide. The applicant should adjust the plan to allow for the required 24 ft. maneuvering lanes in the south and west portions of the site.

7. Loading Zone: Loading zones in the TC District must be located in the rear yard. The proposed loading zone is located in the exterior side yard. **The applicant should seek a variance from the Zoning Board of Appeals for the loading zone location.** The Zoning Ordinance requires 10 sq. ft. of loading space for each front foot of building in the TC District meaning 800 sq. ft. feet of loading space is required for the subject property. Approximately 650 sq. ft. has been provided. **The applicant should provide an additional 150 sq. ft. of loading space or seek a variance from the Zoning Board of Appeals.** See the landscape review letter for additional information on screening the loading zone. Additional information on the delivery schedule should be provided.
8. Barrier Free Spaces: The Barrier Free Code requires 4 barrier free spaces for parking lots between 76 and 100 spaces. **The applicant should add one additional barrier free space to the site.**
9. Dumpster Location: Dumpsters must be located in the rear yard. The proposed dumpsters are located in the exterior side yard. **The applicant should seek a variance from the Zoning Board of Appeals for the dumpster locations.**
10. Lighting Requirements: Please refer to the lighting review chart for the corrections that should be included on the photometric plan. The applicant should revise the photometric plan accordingly.

Response Letter

A letter from either the applicant or the applicant's representative addressing comments in this, and in the other review letters, is requested **prior to the matter being reviewed by the Planning Commission.** Additionally, a letter from the applicant is requested to be submitted with the all additional plan submittals highlighting the changes made to the plans addressing each of the comments listed above and in other review letters.

Pre-Construction Meeting

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0586 or kkapelanski@cityofnovi.org.



Kristen Kapelanski, AICP, Planner
Attachments: Planning Review Chart
Lighting Review Chart

Planning Review Chart
 Novi Crescent SP12-24
 Preliminary/Final Site Plan Review

Item	Required	Proposed	Meets Requirements?	Comments
Master Plan	Town Center Commercial	No change		Tenants should check with Community Development Department prior to leasing space to ensure use is permitted.
Zoning	TC, Town Center	No change		
Proposed Use	Uses permitted listed in Section 1601	10,000 square foot retail building	Yes	
Building Height (Sec. 1602.2)	5 stories –or– 65 feet	Approximately 22'	Yes	
Building Setbacks (Sec. 1602.4)				
Front (south)	50 feet	Approx. 20 feet	No	Setbacks may be reduced by Planning Commission provided: (a) That a reduction in setback, or waiver of a setback, will not impair the health, safety or general welfare of the City or the use of the premises or adjacent premise; (b) That waiver of the setback along a common parcel line would result in a more desirable relationship between a proposed building and an existing building; and (c) The adherence to a minimum required setback would result in the establishment of nonusable land area that could create maintenance problems.
Exterior Side (east)	50 feet	Approx. 20 feet	No	
Rear (north)	50 feet	Approx. 14 feet	No	

Item	Required	Proposed	Meets Requirements?	Comments
Exterior Side (west)	50 feet	200 feet +	Yes	
Parking Setbacks (Sec. 2400)				
Front (south)	<p>Allowed in front yard</p> <p>Must be setback 20 feet from any planned or existing ROW</p> <p>Must include a 2 ½ foot high landscaped berm or wall</p>	10 feet with decorative wall shown	No	The applicant should adjust the plan to meet the required parking setback or seek a variance from the Zoning Board of Appeals.
Exterior Side (east)	<p>Allowed in front yard</p> <p>Must be setback 20 feet from any planned or existing ROW</p> <p>Must include a 2 ½ foot high landscaped berm or wall</p>	No parking proposed	Yes	
Rear (north)	10 feet	12 feet	Yes	
Exterior Side (west)	<p>Allowed in front yard</p> <p>Must be setback 20 feet from any planned or existing ROW</p> <p>Must include a 2 ½ foot high landscaped berm or wall</p>	10 feet with decorative wall shown	No	The applicant should adjust the plan to meet the required parking setback or seek a variance from the Zoning Board of Appeals.
Architectural Amenities (Sec. 1602.7)	<p>Developments in the TC district shall include architectural amenities, including brick sidewalks & benches</p> <p>Additionally, the architectural design of the building shall be complementary to the surrounding area.</p>	<p>Pedestrian plaza is provided on the corner of Novi Road and Fonda Drive, along with decorative benches.</p> <p>See façade review letter for additional information on architectural</p>	Yes	

Item	Required	Proposed	Meets Requirements?	Comments
		design.		
Required Open Space on site (Sec. 1602.8)	A minimum of 15% of the gross site area shall be permanently landscaped or a pedestrian plaza 56,160 sq. ft. X .15= 8,424 sq. ft. required	15.3% of the site is provided as open space	Yes	
Number of Parking Spaces (Sec. 2505)	Retail : 1 space per 200 sq. ft. of gross leasable area 5,534 sq. ft./200 = 28 spaces Sit Down Restaurant: 1 space per 70 sq. ft. of gross leasable or 1 space for every 2 employees plus 1 for every 2 customers allowed under maximum seating capacity, whichever is greater 4,600 sq. ft./70 = 66 spaces 28 + 66= 94 spaces required	80 or 81 spaces provided	No	The applicant should adjust the building size in order to meet parking requirements or seek a variance from the Zoning Board of Appeals. The striping and paving plan, sheet 6, shows 16 spaces along the north property line. The conceptual site plan shows 15 spaces along the north property line. The applicant should correct this discrepancy.
Parking Space Dimensions (Sec. 2506)	90 degree parking- 9 feet by 19 feet or 17 feet (when 4" curb shown)	Generally 17' long and 9' wide	Yes	
Maneuvering Lanes (Sec. 2506)	24 feet required when abutting parking, 22 feet allowed when no parking is abutting lane	The south and west maneuvering lanes are undersized. The north and east maneuvering lanes are appropriately sized.	No	The applicant should make slight adjustments to the striping and paving plan to provide 24' maneuvering lanes along the south and west portions of the site.
Barrier Free Spaces	4 barrier free spaces required, including 1	3 provided, 2 van accessible	No	Applicant should include one

Item	Required	Proposed	Meets Requirements?	Comments
(ADA standard)	van accessible space			additional barrier free space.
Barrier Free Space Dimensions (Barrier Free Code)	8 feet wide with a 5 foot wide access aisle for standard b.f. 8 feet wide with an 8 foot wide access aisle for van accessible	Spaces sized appropriately	Yes	
Barrier Free Signs (Barrier Free Design Graphics Manual)	One barrier free sign is required per space	Signs shown.	Yes	
Loading Spaces (Sec. 2507.2)	<ul style="list-style-type: none"> - Off street loading in the TC district shall be in the rear yard - Must provide 10 sq. ft. for each front foot of building- 800 sq. ft. required - Loading area must be setback in an amount equal to a parking area- 20 feet from any side property line and 10 feet from the rear line 	650 sq. ft. of loading space provided in the exterior side yard setback 21 feet from exterior side yard and 12 feet from rear yard	No	<p>The applicant will need to seek a variance from the Zoning Board of Appeals for the loading zone location.</p> <p>The applicant should adjust the site layout to provide 150 sq. ft. of additional loading space or seek a variance from the Zoning Board of Appeals.</p> <p>Refer to the traffic review letter for additional comments on the loading zone location. The applicant should provide information on when deliveries are expected.</p>
Sidewalks (Sec. 1607.11)	Sidewalks are required in the TC district	A concrete sidewalk is shown along Fonda Drive, Expo Center Drive and along Novi Road	Yes	

Item	Required	Proposed	Meets Requirements?	Comments
Development Amenities (Sec. 1607.14)	Development amenities are required in any TC district	Pedestrian plaza proposed	Yes	
Dumpster Requirements (Chap. 21, Sec. 21-145)	Screening of not less than 5 feet on 3 sides of dumpster required, interior bumpers or posts must also be shown. Screening should be 1 foot taller than dumpster.	Screening on four sides of at least 8 feet. Interior bumpers shown.	Yes	
Dumpster Setbacks (Sec. 2503.2.F)	Accessory structures shall be set back 6 feet from any rear or side lot line and 10 feet from the main building	Dumpster located in exterior side yard and set back appropriately	No	The applicant should seek a variance from the Zoning Board of Appeals for the location of the dumpster.
Lighting (Sec. 2511)	Exterior lighting plan needed at time of Final Site Plan review	Photometric plan provided	No	See lighting review chart.
Outdoor Seating (Sec. 2524)	See requirements listed in Section 2524	Conceptual outdoor seating plan provided		Individual tenant will need to obtain outdoor seating plan approval from Community Development Department.

Lighting Review Summary Chart
 Novi Crescent SP12-24
 Preliminary/Final Site Plan Review

Item	Required	Meets Requirements?	Comments
Intent (Section 2511.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties, reduce unnecessary transmission of light into the night sky	Yes	
Lighting plan (Section 2511.2.a.1)	Site plan showing location of all existing and proposed buildings, landscaping, streets, drives, parking areas and exterior lighting fixtures	Yes	
Lighting Plan (Section 2511.2.a.2)	Specifications for all proposed and existing lighting fixtures including: <ul style="list-style-type: none"> ▪ Photometric data ▪ Fixture height ▪ Mounting & design ▪ Glare control devices ▪ Type and color rendition of lamps ▪ Hours of operation ▪ Photometric plan 	No	Applicant should include a note indicating the hours of operation. Applicant should include a fixture detail for the decorative light poles along Novi Road and in the pedestrian plaza.
Required conditions (Section 2511.3.a)	Height not to exceed maximum height of zoning district or 25 feet where adjacent to residential districts or uses.	Yes	
Required Notes (Section 2511.3.b)	- Electrical service to light fixtures shall be placed underground - No flashing light shall be permitted - Only necessary lighting for security purposes and limited operations shall be permitted after a site's hours of operation.	No	Applicant should include the required notes on the photometric plan.

Item	Required	Meets Requirements?	Comments
Required conditions (Section 2511.3.e)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1.	Yes?	Applicant should include avg/min ratio for the site as a whole.
Required conditions (Section 2511.3.f)	Use of true color rendering lamps such as metal halide is preferred over high and low pressure sodium lamps.	Yes	
Minimum Illumination (Section 2511.3.k)	<ul style="list-style-type: none"> - Parking areas- 0.2 min - Loading and unloading areas- 0.4 min - Walkways- 0.2 min - Building entrances, frequent use- 1.0 min - Building entrances, infrequent use- 0.2 min 	No	Applicant should include photometric data for the decorative light poles along Novi Road and in the pedestrian plaza.
Maximum Illumination adjacent to Non-Residential (Section 2511.3.k)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	Yes	
Cut off Angles (Section 2511.3.1(2))	All cut off angles of fixtures must be 90 degrees when adjacent to residential districts	Yes	
Fixture Requirements (Town Center Design Manual)	Pedestrian and building fixtures should be similar to those in the Town Center area.	Yes	

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

May 15, 2012

Engineering Review

Novi Crescent

SP12-24

Petitioner

Versa Development

Review Type

Preliminary/Final Site Plan Review

Property Characteristics

- Site Location: W. of Novi Rd and N. of Crescent Blvd
- Site Size: 1.29 acres
- Plan Date: 3-14-2012

Project Summary

- Construction of an approximately 10,134 square-foot building and associated parking. Site access would be provided by existing curb cuts off of public roadways.
- Water service would be provided by the existing 8-inch water main adjacent to the NE corner of the parcel. A 2-inch domestic lead and a 6-inch fire lead would be provided to serve the building.
- Sanitary sewer service would be provided by a 6-inch lead from the existing 8-inch main on the east side of Expo Center Drive.
- Storm water would be collected by a single storm sewer collection system with bankfull volume held for a minimum of 24 hours and the remaining 100-year volume discarded into the regional detention system.

Recommendation

Approval of the Preliminary Site Plan is recommended.

Approval of the Final Site Plan is NOT recommended.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11 of the Code of Ordinances, the Storm Water Management Ordinance and/or the Engineering Design Manual.

The Final Site Plan does not meet the general requirements of Chapter 11 of the Code of Ordinances, the Storm Water Management Ordinance and/or the Engineering Design Manual. The following must be addressed prior to resubmittal:

General

1. Provide the City's standard detail sheets for paving (1 Sheet-12/15/00) at the time of the Stamping Set submittal.
2. Revise the plan set to note that Expo Center Drive is a public roadway versus the currently noted 'private'.
3. Provide an access easement for all sanitary monitoring manholes.
4. Consider obtaining water service via the public water main on the south side of Crescent Boulevard. If utilizing the water main to the north of the parcel boundary, extend the water main onto the parcel as a public utility.
5. Consider including a separate plan sheet for the proposed utility profiles

Storm Sewer

6. Include the restricted outlet structure in the storm sewer profile on the utilities plan.
7. Provide a detail for the restricted outlet structure including an overflow for volumes above the stored bankfull.
8. Revise the storm sewer profile to include a 2-foot sump at all catch basins.

Storm Water Management Plan

9. Due to maintenance concerns, each restricting orifice in the control structure shall be a minimum of 1 square-inch in size, even though this may result in a flow rate above the calculated discharge.
10. Revise the restricted pipe outlet calculations to increase the diameter of the restrictor pipe to 1 inch which would equal the approximate area of 0.0056 sq ft.
11. Revise the calculated actual average release rate using the restricted pipe outlet area rather than the diameter as provided.
12. Denote an overland route for storm water that would occur in the event that the underground system cannot accept flow. This route shall be directed to a recognized drainage course or drainage system. Verify that any structures accepting overland flow are capable of handling the 100-year flood capacity. Note that the brick screen wall may interfere with overland drainage.
13. Provide a soil boring in the vicinity of the proposed underground detention system to determine the bearing capacity and high water elevation of the groundwater table.
14. Provide critical elevations (bankfull and 100-year storm hydraulic grade lines) on the underground detention system cross-section and storm sewer profile demonstrating that the detention system is 3 feet above ground water and has the required 1 foot of freeboard between the high water elevation and the subgrade below the pavement.

Paving & Grading

15. No more than 1/4" vertical obstacle shall be allowed at each transition between the pathway and the drive approach.
16. Revise the pathway cross-section to indicate a maximum cross-slope of 2%.
17. Denote that a 4-inch curb is only allowed where vehicles may overhang due to parking. All other curb height shall be 6-inches.
18. Consider revising the 18-inch curb and gutter width to the 24-inch City standard.

The following must be submitted with the Revised Final Site Plan:

19. A letter from either the applicant or the applicant's engineer must be submitted with the Revised Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**
20. An itemized construction cost estimate must be submitted to the Community Development Department for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving (square footage), right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

The following must be submitted with the Stamping Set:

(Please note that all documents must be submitted together as a package with the Stamping Set submittal. Partial submittals will not be accepted).

21. A draft copy of the Storm Drainage Facility Maintenance Easement Agreement, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds. This document is available on our website.
22. An executed copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department. This document is available on our website.
23. A draft copy of the 20-foot wide access easement for the sanitary sewer monitoring manhole to be constructed on the site must be submitted to the Community Development Department. This document is available on our website.
24. Executed copies of any required off-site utility easements (if any are required) must be submitted to the Community Development Department.

The following must be addressed prior to construction:

25. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
26. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application required). A grading permit fee in the amount of \$143.75 must be paid to the City Treasurer's Office.
27. Material certifications must be submitted to Spalding DeDecker for review prior to the construction of any utilities on the site. Contact Ted Meadows at 248-844-5400 for more information.
28. Construction inspection fees in the amount of \$TBD must be paid to the City Treasurer's Office.
29. A storm water performance guarantee in the amount of \$TBD (equal to 150% of the cost required to complete the storm water management facilities) as specified in the Storm Water Management Ordinance must be posted at the Treasurer's Office.
30. Storm water Detention Fees in the amount of \$TBD must be paid at the City Treasurer's Office or provide a record of previous payment for the parcel.
31. Water and Sanitary Sewer Fees must be paid prior to the pre-construction meeting. Contact the Water & Sewer Department at 248-735-5642 to determine the amount of these fees.
32. A street sign financial guarantee in the amount of \$5600 (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office. Signs must be installed in accordance with MMUTCD standards.
33. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department, Building Division (248-347-0430) for forms and information. The financial guarantee and inspection fees will be determined during the SESC review.
34. A permit for work within the right-of-way of Novi Rd must be obtained from the Road Commission for Oakland County. Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the City. Provide a note on the plans indicating all work within the right-of-way will be constructed in accordance with the Road Commission for Oakland County standards.
35. A permit for work within the right-of-way must be obtained from the City of Novi. The application is available from the City Engineering Department or on the City website and may be filed once the Final Site Plan has been submitted. Please contact the Engineering Department at 248-347-0454 for further information. Only submit the cover sheet, standard details and plan sheets applicable to the permit.
36. An inspection permit for the sanitary sewer tap must be obtained from the Oakland County Water Resource Commissioner.

The following must be addressed prior to issuance of a Temporary Certificate of Occupancy approval for the development:

37. The amount of the incomplete site work performance guarantee for this development at this time is \$TBD (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.
38. All easements and agreements referenced above, other than offsite easements, must be executed, notarized and approved by the City Attorney and City Engineer.
39. Spalding DeDecker will prepare the record drawings for this development. The record drawings will be prepared in accordance with Article XII, Design and Construction Standards, Chapter 11 of the Novi Code of Ordinances.
40. A letter of credit or cash in an amount of \$TBD (10% of the cost of storm water facilities for projects of less than \$100,000, or 5% for the cost of projects over \$100,000) must be posted for the storm water facilities. This deposit will be held for one year after the date of completion of construction and final inspection of the storm water facilities.

Prior to preparing stamping sets, the Applicant is advised to provide any revised sheets directly to the Engineering Department for an Informal review and approval.

Please contact Adam Wayne at (248) 735-5648 with any questions.



cc: Ben Crox, Engineering
Brian Coburn, Engineering
Kristen Kapelanski, Community Development Department
Tina Glenn, Water & Sewer Dept.
Sheila Weber, Treasurer's
T. Meadows, C. Sapp; Spalding DeDecker

TRAFFIC REVIEW

May 16, 2012

Barbara McBeth, AICP
Deputy Director of Community Development
City of Novi
45175 W. Ten Mile Rd.
Novi, MI 48375



**SUBJECT: Novi Crescent, SP#12-24,
Traffic Review of Proposed Preliminary and Final Site Plan**

Dear Ms. McBeth:

At your request, we have reviewed the above and offer the following recommendation and supporting comments. For the record, the plan addressed below is the version informally revised and resubmitted by the applicant on 5-15-12 (and incorrectly dated 3-14-12).

Recommendation

We recommend approval of only the preliminary site plan, subject to the items shown below in **bold** being satisfactorily addressed by a revised final site plan.

Project Description

What is the applicant proposing?

1. The applicant, Novi Crescent, L.L.C. (Versa Development), proposes to demolish the existing Novi Big Boy Restaurant and construct in its place a 10,134-s.f. speculative retail building with a small outdoor dining area at its southwest corner. The site's existing three access drives, including the relatively new one at the west end of the site, would be demolished and replaced with one new driveway on each abutting roadway (Crescent Boulevard and Expo Center Drive).

Trip Generation

How much traffic would the proposed development generate?

2. A trip generation forecast at this stage would be premature, given the lack of defined tenant types. Although the proposed outdoor dining area will likely be associated with a higher trip generator than some types of retail buildings of this size might contain, we are confident that the proposed traffic access and circulation will be adequate *once the required design revisions cited below have been incorporated.*

Vehicular Access Locations

Do the proposed driveway locations meet City spacing standards?

3. The spacing between the site's proposed east driveway and Novi Road (about 128 ft, near-back-of-curb to near-back-of-curb, per standard definition) slightly exceeds the same-side minimum driveway spacing for Crescent's 30-mph speed limit (125 ft).
4. The spacing between the site's proposed west driveway and Crescent Boulevard, about 134 ft, is also adequate.

Vehicular Access Improvements

Will there be any improvements to the abutting road(s) at the proposed driveway(s)?

5. No, and no improvements are warranted or appropriate.

Driveway Design and Control

Are the driveways acceptably designed and signed?

6. Within the right-of-way, the two access drives are acceptably designed but inappropriately dimensioned. Consistent with note 13 on sheet 6, driveway widths and curb radii have been dimensioned to face of curb. However, per standard engineering practice and Design and Construction Standards Figure IX.1, **driveway dimensions must be dimensioned to the back of curb. Note 13 should be revised to read "driveway widths, end island widths, and all curb radii are measured to back of curb, and all parking space and aisle dimensions are measured to face of curb or center of paint stripe."**
7. **All dimensions on the site plan must meet City standards with respect to definition as well as size. This will require redesigning some features; for example, 15-ft end island radii are to be referenced to back of curb, not the face of curb (as has been done).**
8. The driveways have been excessively signed, with three signs totaling 6½ ft in height proposed to be mounted on a single post facing a single direction (drivers exiting the site). **On the right (exiting) side of each drive, the signage should be limited to a 24-inch x 24-inch STOP (R1-1) sign immediately below a 12-inch x 36-inch (not 30-inch) ONE WAY (R6-1R) sign. A supplemental No Left Turn symbol (R3-2) sign should be placed on the left side of each driveway for exiting traffic (as proposed). Additionally, to help ensure proper operation of the median opening on Expo Center Drive, an east-facing ONE WAY (R6-1L) sign should be placed on the west side of the southbound roadway, opposite the proposed site driveway.**

Pedestrian Access

Are pedestrians safely and reasonably accommodated?

9. **All pedestrian ramps should be equipped with ADA-compliant detectable warning surfaces, including one on each side of each access drive and one at the east end of each barrier-free access aisle (each of the latter with its west edge in line with the face of walk). A detail for proper DWS placement should be included.**

10. **The grading plan should delineate exactly where the parking surface will be “flush with sidewalk” (as the note indicates) – from the north edge of the north access aisle to the south edge of the south access aisle – and just how the sidewalk will warp down to that elevation.**
11. **The sidewalk abutting the west side of the building should be widened by at least 0.5 ft, or whatever amount is necessary to ensure 2 ft of clear width west of the sign bases (for vehicle overhang) and at least 5 ft of walking width east of the sign bases (for pedestrian safety).**

Parking and Circulation

Are parking spaces appropriately designed, marked, and signed? Can vehicles safely and conveniently maneuver through the site?

12. **The south parking aisle is dimensioned only 23.5 ft wide. To avoid having to seek and obtain a ZBA variance of the City's minimum two-way aisle width of 24 ft (specified in Section 2506.2 of the Zoning Ordinance), the south aisle must be widened by 0.5 ft.**
13. **Near the south end of the parking strip abutting the sidewalk, all of the first parking space and part of the second space would be within 25 ft of the Crescent Blvd. right-of-way, requiring a ZBA variance of Section 2506.14 of the Zoning Ordinance. Parking in such a location could interfere with safe ingress and egress.**
14. **City standards for end islands are not met in three important locations: on the west side of the south driveway (now only 5 ft to face of curb) and on both westerly corners of the central island (now 12 ft to face of curb). Per Section 2506.13 of the Zoning Ordinance, all three of these radii should be 15 ft to back of curb, and the nose of each island should be set back 3 ft from the aisle end of the nearest parking space (relative to back of curb at the nose).**
15. **As we indicated in our pre-application review comments, “the proposed loading zone is too far from the building to achieve a desirable degree of use. Also, single-unit trucks using the zone (as located and designed) would have to enter from Expo Center and, when leaving, back up and then circulate around the entire parking lot to exit via Expo Center. It is also unclear where any tractor-trailer trucks making deliveries would park out of the way of site and/or street traffic.” We recommend that the Planning Commission and the applicant discuss these issues, including the expected timing of deliveries (especially those likely to be made by tractor-trailer trucks unable to enter the site).**
16. **Consideration should be given to shifting the east end of the central island to the west and striping a loading zone directly across the north-south aisle from the barrier-free parking. The plan's presently proposed loading zone could then be re-striped into 3-4 regular parking spaces, offsetting the loss of spaces closer to the building.**
17. **Wherever the loading zone ends up being striped, the informal Novi standard for crosshatch of 4-inch yellow striping, 4-ft on-center should be used (not white 2 ft on-center as now proposed). Also, a NO PARKING – LOADING ZONE (R7-6)**

sign should be mounted at an appropriate location on a sign post or light pole, at least 2 ft behind the curb bordering the zone.

18. As noted in comment 11 above (as well as our pre-application comments), **the bases for the barrier-free signs must be at least 2 ft behind the face of the sidewalk (to provide the ordinance-required effective parking space length of 19 ft).**
19. The detail entitled "ADA Parking Sign" on sheet 10 needs to be revised as follows:
 - a. **The main sign should resemble and be labeled as an R7-8 "RESERVED PARKING [wheelchair symbol] ONLY" sign (i.e., with ONLY in place of the double-headed arrow now appearing on the plan).**
 - b. **The supplemental sign should resemble and be labeled as the 6-inch x 12-inch R7-8P "VAN ACCESSIBLE" sign specified in the 2011 MMUTCD (fka as the R7-8a, the only color choice now being green legend on a white background.)**
 - c. **The so-called "penalty sign" should be removed, as it is not used in Novi.**
 - d. **The 5'-0" height dimension should be removed, and the minimum height to the bottom of the VAN ACCESSIBLE sign should be dimensioned as 6'-3".**

Miscellaneous

What other issues need attention?

20. Although the grading plan includes elevations indicating that the sidewalk along the west side of the building will generally rise 0.33 ft above the adjacent parking surface, **we recommend that sheet 10 include a detail of a thickened-edge, 4-inch high walk.**
21. The two light pole bases proposed along the north side of the parking lot are too close to the curb and would technically reduce the effective parking space length (including overhang) to something less than the minimum 19 ft required by ordinance. Although other aspects of these pole locations would likely mitigate operational problems (one aligning with the stripe between parking spaces and one being adjacent to the proposed loading zone), **the pole bases should be set back at 2 ft behind the curb if feasible.**
22. The light pole base in the 5-ft-wide landscape island on the south side of the parking lot appears to be only about 1½ ft behind the face of curb and – given its location in the island – would interfere with the opening of car doors. **This pole should be relocated about 10 ft further south to avoid this problem.**
23. **The applicant's engineer is reminded that the Traffic Signing table and note 13 on sheet 6 will have to be updated to reflect related comments above.**

Sincerely,
BIRCHLER ARROYO ASSOCIATES, INC.

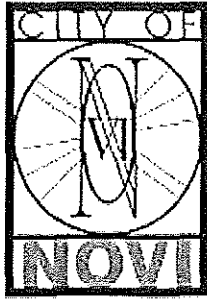


Rodney L. Arroyo, AICP
Vice President



William A. Stimpson, P.E.
Director of Traffic Engineering

LANDSCAPE REVIEW



cityofnovi.org

PLAN REVIEW CENTER REPORT

May 16, 2012

Preliminary & Final Landscape Review

Novi Crescent SP#11-24

Property Characteristics

Site Location: Novi Road / Fonda Street
Site Zoning: TC Town Center
Site Use(s): Office/ Restaurant / Retail
Plan Date: May 14, 2012

Recommendation

Approval of the Preliminary & Final Site Plan for Novi Crescent SP#11-24 is recommended.

Ordinance Considerations

Please note that this particular site is highly visible and that this general area is considered to be a key gateway entrance to the City of Novi. As such, the Applicant is encouraged to include amenities and quality landscape materials and quantities to help set off this very valuable location as a first class community facility. The Applicant may wish to consider a special landscape amenity, such as a fountain or artwork, at the intersection of Novi and Crescent.

Adjacent to Residential – Buffer (Sec. 2509.3.a.)

The property is not adjacent to residential property.

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Sec. 2509.3.b.)

1. A 3' high brick wall is required adjacent to parking along all road frontages in the TC District. The Applicant has provided decorative fencing with brick piers in lieu of the solid wall as required in the Town Center District. This is allowable with a Planning Commission waiver. Staff supports the waiver provided additional plantings can be added to assure an adequate screen.
2. Required 25' Clear Vision Zones are shown at the entry drive.
3. A 20' greenbelt is required along right-of-ways adjacent to parking. The Applicant has provided the greenbelt.
4. A total of 23 Canopy Buffer Trees and 34 Sub-Canopy Sub-canopy Trees are required within the site greenbelts. These have been provided.

Street Tree Requirements (Sec. 2509.3.b.)

1. Due to the nature of the zoning district, no Street Trees are required under the Ordinance. However, the Applicant has chosen to include street trees per staff recommendation. Please note that 4 mature canopy trees are also being preserved along Fonda Drive.

Parking Landscape (Sec. 2509.3.c.)

1. Twenty seven (27) Interior Parking Lot Canopy Trees are required. These have been provided.
2. A total of 1,985 SF of Interior Parking Lot Landscape Area is required. This has been provided. The Applicant is encouraged to include additional plantings and utilize innovative design within parking lot islands.
3. One Canopy Tree is required at a minimum 35 LF around the parking area. These have been provided.

Building Foundation Landscape (Sec. 2509.3.d.)

1. A total of 3,280 SF of Building Foundation Landscape is required and 893 SF has been provided. The Applicant should consider attempting to provide this area in other locations on the site. Alternately the Applicant may request a waiver on the Building Foundation Landscape Area. Staff cannot support the waiver.
2. A minimum 4' wide landscape bed is required at all building foundation areas with the exception of access points. The Applicant has met this requirement.

Plant List (LDM)

1. The Plant List meets the requirements of the Ordinance and the Landscape Design Manual.

Planting Details and Notes (LDM)

1. Planting Details and Notations meet the requirements of the Ordinance and the Landscape Design Manual.

Irrigation (Sec. 2509 3.f.(6)(b))

1. Please provide an Irrigation Plan and cost estimate be with subsequent submittals.

Loading Zone

1. The loading zone must be located to the rear of the building and properly screened from the roadway. The Applicant has placed the loading zone in the least obtrusive location, but should add plantings along the north property line to screen the zone from the north side. Staff would support the Applicant's inclusion of shrubbery all along the northerly property boundary to enclose the site and soften the space between the area parking lots. This is not an Ordinance requirement.

Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification.

Review by:
David R. Beschke, RLA



Financial Requirements Review

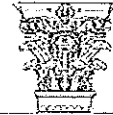
To be completed at time of Final Site Plan Review.

Item	Amount	Verified	Adjustment	Comments
Full Landscape Cost Estimate	\$ 43,660			Includes street trees. Does not include irrigation costs.
Final Landscape Review Fee	\$ 654.90			1.5% of full cost estimate Any adjustments to the fee must be paid in full prior to stamping set submittal.

Financial Requirements (Bonds & Inspections)

Item	Required	Amount	Verified	Comments
Landscape Cost Estimate	YES	\$ 58,660		Does not include street trees. Includes irrigation.
Landscape Financial Guaranty	YES	\$ 87,990		This financial guarantee is based upon 150% of the verified cost estimate. For Commercial, this letter of credit is due prior to the issuance of a Temporary Certificate of Occupancy. For Residential this is letter of credit is due prior to pre-construction meeting.
Landscape Inspection Fee (Development Review Fee Schedule 3/15/99)	YES	\$ 3,519.60		For projects up to \$250,000, this fee is \$500 or 6 % of the amount of the Landscape cost estimate, whichever is greater. This cash or check is due prior to the Pre-Construction meeting.
Landscape Administration Fee	YES	\$ 527.94		This fee is 15% of the Landscape Inspection Fee. This cash or check is due prior to the Pre-Construction meeting.
Transformer Financial Guarantee	YES	\$ 500		\$500 per transformer if not included above. For Commercial this letter of credit is due prior to the issuance of a Temporary Certificate of Occupancy. For Residential this is letter of credit is due prior to pre-construction meeting.
Street Tree Financial Guaranty	NO	\$ 0		\$400 per tree.
Street Tree Inspection Fee	NO	\$ 0		6% of the Street Tree Bond as listed above.
Street tree Maintenance Fee	NO	\$ 0		\$25 per tree.
Landscape Maintenance Bond	NO	\$ 5,866		10% of verified cost estimate due prior to release of Financial Guaranty.

FAÇADE REVIEW



City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

May 15, 2012

Re: **FACADE ORDINANCE - Facade Review – Preliminary & Final S.P.**
Novi Crescent, SP12-24
 Façade Region: 1, Zoning District: TC, Building Size: 10,134 S.F.

Dear Ms. McBeth;

The following is the Facade Review for Preliminary and Final Site Plan Approval of the above referenced project based on the drawings prepared by Norr Architects, dated 3/12/12. The percentages of materials proposed for each façade are as shown on the table below. The maximum percentages allowed by the Schedule Regulating Façade Materials (AKA Façade Chart) of Ordinance Section 2520 are shown in the right hand column. Materials in non-compliance with the Façade Chart, if any, are highlighted in bold.

	West (Front)	North	South	East	Ordinance Maximum (Minimum)
Brick	44%	71%	78%	70%	100% (30%)
Limestone	8%	10%	9%	4%	25%
Fabric Awning	9%	5%	5%	15%	10%
EIFS	7%	7%	8%	12%	25%
Spandrel Galss	32%	7%	0%	0%	50%

As shown above the proposed façade materials are in full compliance with the Façade Ordinance. A Section 9 Waiver is not required for this project.

Dumpster & Decorative Screen Wall - The dumpster enclosure details provided on sheet SP-01 indicate that Brick is to be used on exposed surfaces. The decorative screen wall detail provided on sheet SP-1 indicates that Brick with a cast stone coping and dark bronze anodized aluminum decorative fence are to be used on all exposed surfaces.

A sample board was not provided for this project. A façade material sample board must be provided prior to the Planning Commission meeting. It should be noted that the brick used on the dumpster enclosure and decorative screen wall must match the brick used on the building.

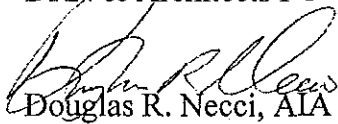
Notes to the Applicant:

1. Inspections –The City of Novi requires Façade Inspection(s) for all projects. Materials displayed on the approved sample board will be compared to materials delivered to the site. It is the applicant’s responsibility to request the inspection of each façade material at the appropriate time. This should occur immediately after the materials are delivered. Materials must be approved before installation on the building. Please contact the Novi Building Department’s Automated Inspection Hotline at (248) 347-0480 to request the Façade inspection.

2. Roof Appurtenances – The drawings indicate that all roof appurtenances are fully screened using the building parapets. It is the applicant’s responsibility to coordinate parapet and roof equipment heights to maintain full screening.

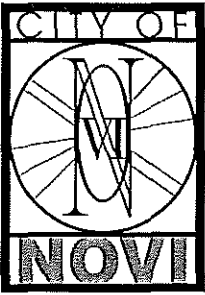
If you have any questions regarding this project please do not hesitate to call.

Sincerely,
DRN & Architects PC



Douglas R. Necci, AIA

FIRE REVIEW



May 4, 2012

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
Dave Staudt

Terry K. Margolis

Andrew Mutch

Justin Fischer

Wayne Wrobel

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City Manager
Clay J. Pearson

Director of Public Safety
Chief of Police
David E. Molloy

Director of EMS/Fire Operations
Jeffery R. Johnson

Deputy Chief of Police
Thomas C. Lindberg

Assistant Chief of Police
Victor C.M. Lauria

TO: Barbara McBeth, Deputy Director of Community Development

RE: Novi Crescent L.L.C. @ 26401 Crescent Blvd

SP#: 12-24

Project Description:

Proposed Commercial building of 10,134 SF with 73 parking spaces provided.

Comments:

1. Items on "Water Main Detail" pages to be followed. Items #3a, 4ab, & 6cd to be field verified.

Recommendation:

The above plan was reviewed and recommended for APPROVAL.

Sincerely,

Andrew Copeland – Inspector/CFPE
City of Novi – Fire Dept.

cc: file

Novi Public Safety Administration
45125 W. Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTER(S)



May 17th , 2012

Attention: Kristen Kapelanski, AICP, Planner

City of Novi
45175 West 10 Mile Road
Novi, MI 48375

RE: SP # 12-24 (Crescent Plaza)

Kristen,

We have reviewed the comments and recommendations in the Plan Review Center Report dated May 16, 2012. The following responses address those comments and provide Crescent Plaza's chosen course of action.

Planning Review

2. Building Setbacks

The Applicant should revise the site to meet the building setback requirements or seek a Reduction in the setbacks from the planning Commission.

Applicant: We intend to proceed with the site as it is currently configured and seek a reduction in the required setbacks. The 50' Front setback for buildings would adversely affect this site as it is required to provide this setback on three sides, Novi Road, Crescent Blvd., and Expo Center Drive, reducing the developable envelope substantially. The Planning Commission is permitted to grant this reduction according to the Zoning Ordinance 1602.4 (a).

3. Parking Setbacks

The Applicant should consider reducing the size of the building in order to meet the parking setback requirements. Alternately, the applicant could seek variances from the zoning board of appeals.

Applicant: We intend to proceed with the site as it is currently configured and seek a Variance from the Zoning Board of Appeals.

4. Parking Calculation

The Applicant should provide a detailed restaurant layout so that parking calculation can be provided.

Applicant: We will supply detailed floor plans with the stamping set submittal, so that an accurate calculation can be verified.

5. Parking Requirements

The Applicant should consider reducing the size of the building in order to meet parking requirements. Alternately, the applicant could seek a variance from the Zoning Board of Appeals.

Applicant: We will be seeking a Variance on the parking requirements for 14 spaces based on the current size of our proposed restaurant and retail spaces. This translates into a restaurant parking ratio of 1 space per 90 SF. of gross lease area versus the 1 space per 70 SF. required by the Zoning Ordinance.

6. Maneuvering Lanes:

The applicant should adjust the site plan to allow for the required 24' maneuvering lanes in the south and west portions of the site.

Applicant: We will revise the maneuvering lanes to 24' with the stamping set is submittal.

7. Loading Zone

The Applicant should seek a variance from the Zoning Board of Appeals for the loading zone location.

The Applicant should provide an additional 150 Sf. of loading space or seek a variance.

Applicant: We will be seeking a Variance for the location of the Loading Zone, because this site has frontages on three streets the location of the Loading zone falls in a Front yard setback (Expo Center Drive). The building that we are proposing is consistent with others in the Town Center district in that they are pushed forward toward the ROW and accessed from the rear to create a downtown feel. This makes locating the loading zone next to the building in a rear yard virtually impossible. With regard to the size of the loading zone, we will revise the layout to increase the loading space by 150 Sf.

8. Barrier Free Spaces

The Applicant should add one additional space barrier free space to the site.

Applicant: We will add one additional barrier free space to the site with the final stamping set .

9. Dumpster Location

The Applicant should seek a variance from the Zoning Board of Appeals for Dumpster location.

Applicant: We will be seeking a Variance for the location of the Dumpster, because this site has frontages on three streets the location of the dumpster falls in a Front yard setback (Expo Center Drive). The building that we are proposing is consistent with others in the Town Center district in that they are



pushed forward toward the ROW and accessed from the rear to create a downtown feel. This makes locating the dumpster next to the building in a rear yard virtually impossible.

6. Lighting Requirements:

The applicant should revise the photometric plan accordingly.

Applicant: We will revise the photometric plans accordingly when the final stamping sets are submitted.

Kristen, on behalf of Versa Development I would like to personally thank you, the City's staff and outside consultants for turning around this review so quickly. We look forward to seeing this project come to life and further add to the character of the Town Center district.

Sincerely,

A handwritten signature in black ink, appearing to read 'Ryan Schultz', written in a cursive style.

Ryan W. Schultz
Development Manager
ryan@versacos.com
248-421-7140



Consultant Responses

Lighting Plan (Section 2511.2.a.2)

- Hours of operations will be added to the Final Stamping sets as required.
- Details for the fixtures along Novi Road will be added to the site photometric plan pending selection approved by planning department.

Required Notes (Section 2511.3.b)

- Notes will be added as required to the Final Stamping sets as required.

Required Conditions (Section 2511.3.e)

- The average / minimum ratios will be included to the Final Stamping sets as required photometric schedule once selection of decorative fixtures along Novi road is finalized.

Minimum Illumination (Section 2511.3.k)

- The photometric data will be included to the Final Stamping sets as required photometric schedule once selection of decorative fixtures along Novi road is finalized.

FAÇADE REVIEW – PRELIMINARY AND FINAL SITE PLAN NOVI CRESCENT, SP12-24

- Brick selection on dumpster enclosure will match building as noted on Sheet SP-01 dumpster enclosure section.
- Material board and colored elevation will be provided at time of Planning Commission meeting.
- Final Approval of material will be approved prior to installation on building.

Planning Review Chart

Number of Parking Spaces – Sheet 6 has been revised to show 16 spaces

Engineering Review

1. The paving detail sheet will be included in the stamping set.
2. Expo Center Drive will be noted as a public roadway. (All sheets)
3. An access easement will be provided for the monitoring manhole. (Sheet 8)
4. An easement is shown on Sheet 8. An easement agreement will be provided for the water service on the adjoining property.
5. The profiles have been put on a separate sheet. (Sheet 8A)
6. The restricted outlet structure will be drawn on the profile. (Sheet 8A)
7. A detail will be provided for the restricted outlet structure. (Sheet 8A)
8. Sumps will be shown for the catch basins. (Sheet 8A)
9. A minimum 1" hole will be provided for the outlet in the restricted outlet structure. (Sheet 8A, 9)
10. Calculations will be revised with new diameter. (Sheet 9)
11. Calculations will be revised with new diameter. (Sheet 9)
12. An overland relief route will be added. (Sheet 8)
13. Soil boring will be provided. (Sheet 8A)
14. An underground detention cross section has been provided. (Sheet 8A)
15. Note will be added.
16. The pathway cross section will be revised to show a maximum 2% cross slope. (Sheet 10)
17. Plans have been revised to show a 4" curb just where vehicles may overhang. (Sheets 6, 7)
18. Curb widths have been revised.
20. Cost estimates will be provided.
- 21.
22. Water main easement agreement and sketch and description will be provided.
23. Sanitary sewer easement agreement and sketch and description will be provided.
24. Off-site utility easements will be provided.
- 25-32.
33. An erosion control plan set and permit application will be submitted.
34. A permit will be obtained from the RCOC and a note will be added to the plans.
35. A permit application and plan set will be submitted.
36. An inspection permit will be obtained.
- 37-40.

Traffic Review

6. Dimensions will be revised and note will be changed.
7. Island radii will be revised.
8. Signage will be revised.
9. Per the latest ADA guidelines, detectable warning surfaces are not required and are not proposed for this development.

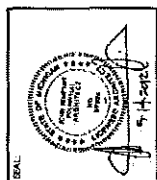
GWE Engineering Review Comments

10. Grading plan will be noted.
11. The walk is currently 7.5' wide. This is enough to accommodate a 2' vehicle overhang, 4" sign post and a 5' walk. Signage posts were not shown to scale so that they could be seen on the plans.
12. South aisle will be widened.
- 13.
- 14.
- 15.
- 16.
17. Striping notes will be revised.
18. See #11.
19. Sign detail will be revised.
20. Integral walk and curb detail has been added.
21. Light poles will be placed at least 2' behind the curb.
22. Light poles will be placed at least 2' behind the curb.
23. Plans will be updated.

SITE PLAN

121 Commercial Street
 Suite 1000
 Denver, CO 80202
NORR

CONSULTANT:
GWE
 Giffels-Webster
 Engineers, Inc.
 ARCHITECTURAL SERVICES
 1415 W. 10TH AVENUE
 DENVER, CO 80202
 PHONE: (303) 733-1100
 FAX: (303) 733-1101



THIS DRAWING SHALL BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ENGINEER IS STRICTLY PROHIBITED. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY HIMSELF OR HIS FIRM.

DATE	REVISION	BY
03/11/2011	Final Review	AW
03/11/2011	Final Review	AW
03/11/2011	Final Review	AW
03/11/2011	Final Review	AW

Project: Versa Development
 23000 West 11 Mile Road, Suite 290
 Golden, CO 80401
 Office: 2300 West 11 Mile Road, Suite 290
 Golden, CO 80401
 Phone: (303) 733-1100
 Fax: (303) 733-1101

Client: NCM Commercial Development
 (CMC) West Road and Fonda Street
 City of Denver, Washington

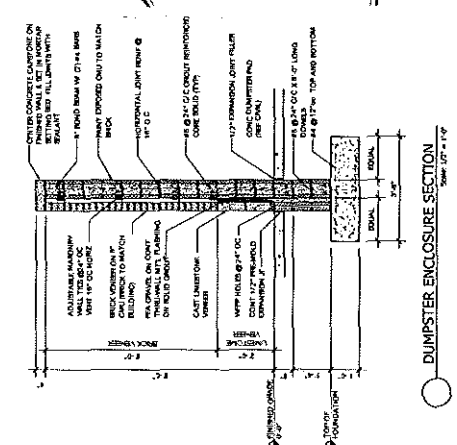
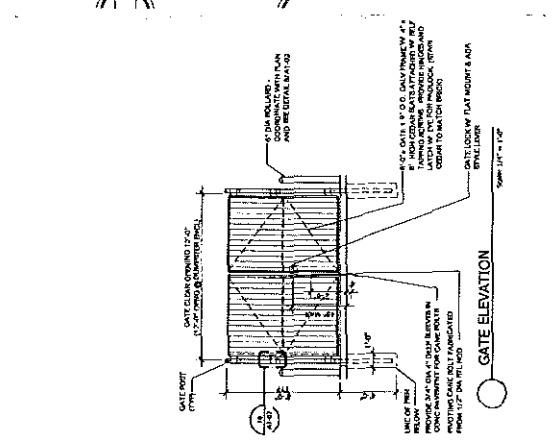
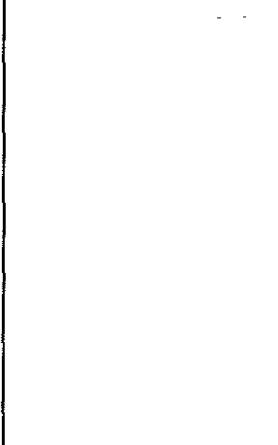
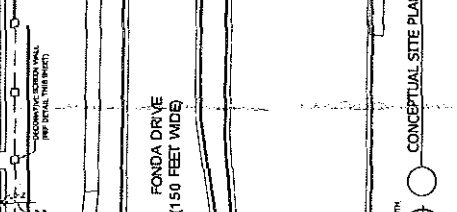
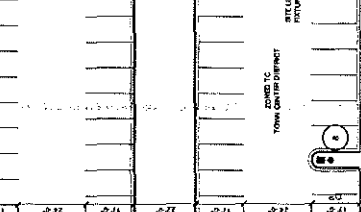
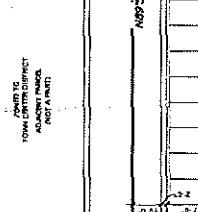
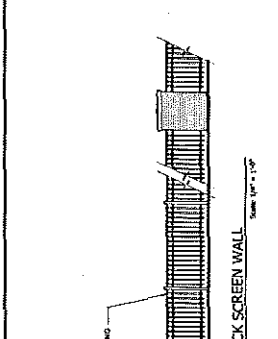
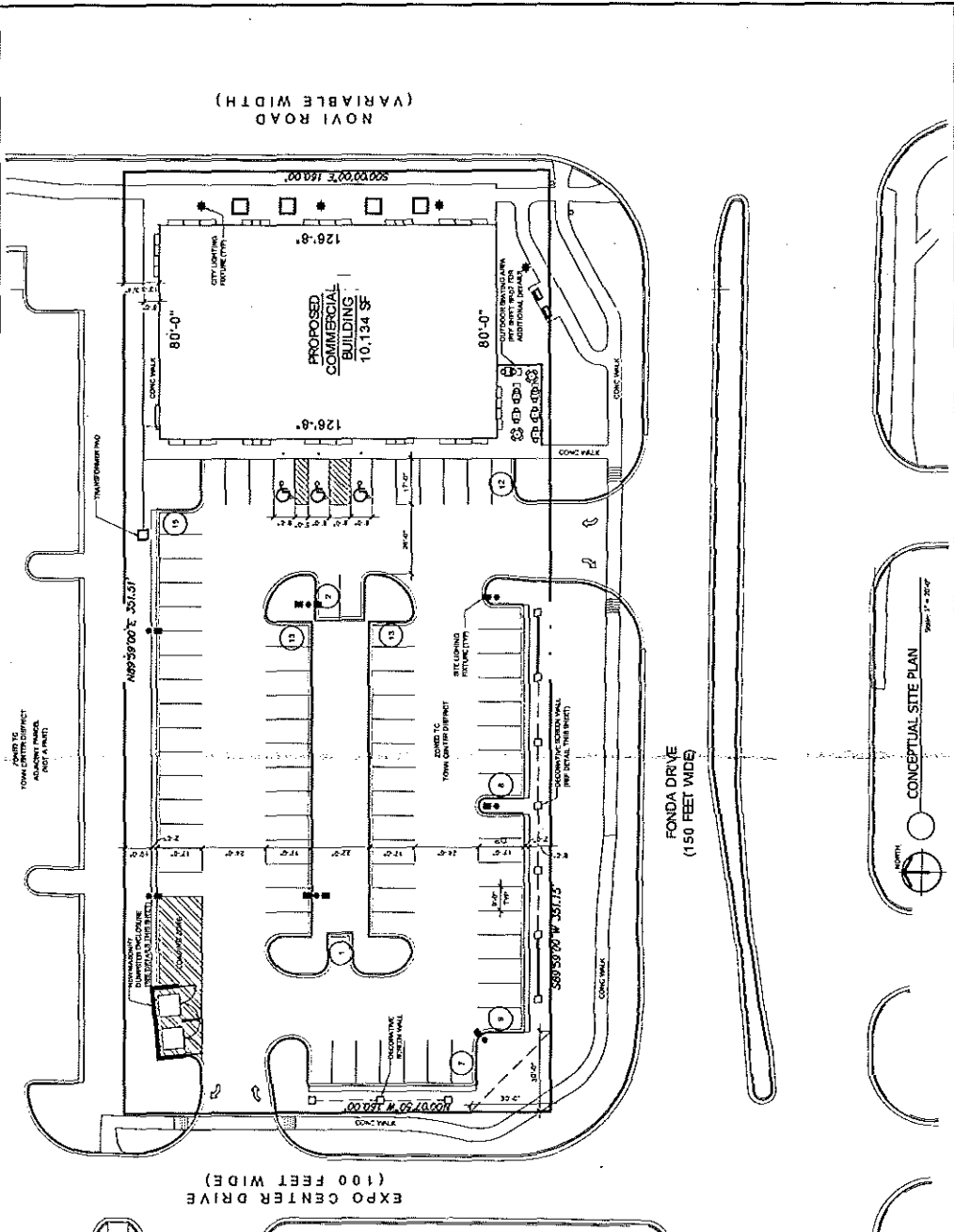
Project No.: JCDT12.0101
 Drawing No.: 01-01

LAND/BUILDING/PARKING DATA:

LAND AREA:
 GROSS LAND AREA: 1.29 ACRES
 GROSS BUILDING FOOTPRINT: 10,134 SF

BUILDING DATA:
 GROSS BUILDING AREA: 10,134 SF

PARKING DATA:
 REQUIRED SPACES:
 RETAIL AREA: + 8,524 SF
 RESTAURANT (BT-DOWN): + 28 SPACES
 LEASABLE TO: 35,000 SF
 RESTAURANT (BT-UP): + 4,800 SF
 LEASABLE TO: 35,000 SF
 TOTAL REQUIRED PARKING: + 84 SPACES
 PARKING PROVIDED: + 80 SPACES
 (1) SHARED FREE PARKING SPACES PROVIDED



CONCEPTUAL SITE PLAN
 Scale: 1/8" = 1'-0"

MAPS

Location/Air Photo

Zoning

Future Land Use

Natural Features

SP 12-24 Novi Crescent

Location

Expo Center Drive

Novi Road

Crescent Boulevard

Map Author: Kristen Kapelanski
Date: 05/17/12
Project: SP12-24 Novi Crescent
Version #: 1.0

Map Legend

Subject Property



City of Novi

Planning Division
Community Development
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.



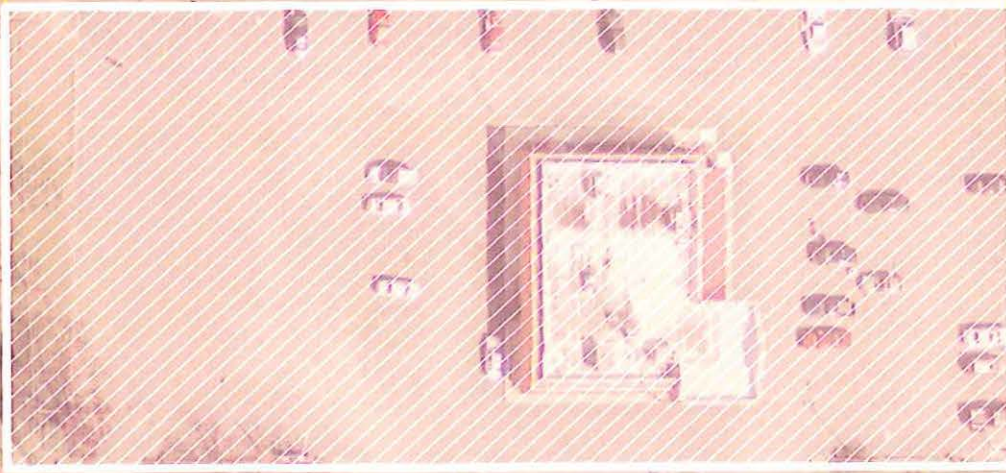
1 inch = 67 feet

SP 12-24 Novi Crescent Zoning

Expo Center Drive



Novi Road

Crescent Boulevard



Map Author: Kristen Kapelanski
Date: 05/17/12
Project: SP12-24 Novi Crescent
Version #: 1.0

Map Legend

-  Subject Property
-  TC: Town Center District



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1 inch = 67 feet

SP 12-24 Novi Crescent

Future Land Use

Expo Center Drive

Novi Road

Crescent Boulevard

Map Author: Kristen Kapelanski
Date: 05/17/12
Project: SP12-24 Novi Crescent
Version #: 1.0

Map Legend

- Subject Property
- TC Commercial



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1 inch = 67 feet

SP 12-24 Novi Crescent

Natural Features

Expo Center Drive

Novi Road

Crescent Boulevard



Map Author: Kristen Kapelanski
 Date: 05/17/12
 Project: SP12-24 Novi Crescent
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Map Legend

-  Subject Property
-  Wetlands
-  Woodlands



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1 inch = 67 feet