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Neher Sales SP10-43

PROJECT NEHER SALES SITE PLAN 10-43

Public hearing at the request of RHO Real Estate, Inc., for Preliminary Site Plan, Wetland Permit, Woodland Permit and Storm Water Management Plan approval. The subject property is located in Section 14 at 41700 Eleven Mile Road on the north side of Eleven Mile Road between Delwal Drive and Meadowbrook Road in the I-1, Light Industrial District. The subject property is 3.98 acres and the applicant is proposing a 9,296 sq. ft. two story general office building.

Required Action

Approve/deny the Preliminary Site Plan, Wetland Permit, Woodland Permit and Storm Water Management Plan

REVIEW	RESULT	DATE	COMMENTS
Planning	Conditional Approval Recommended	10/28/10	<ul style="list-style-type: none"> • Remove the parking space overhang from the setback area • Provide one additional parking space • Increase end island width to 8 feet • Minor items to be addressed at time of Final Site Plan submittal
Wetlands	Approval Recommended	11/3/10	<ul style="list-style-type: none"> • Minor items to be addressed at time of Final Site Plan submittal
Woodlands	Approval Recommended	11/2/10	<ul style="list-style-type: none"> • Minor items to be addressed at time of Final Site Plan submittal
Landscaping	Approval Recommended	11/2/10	<ul style="list-style-type: none"> • Minor items to be addressed at time of Final Site Plan submittal
Traffic	Conditional Approval Recommended	10/22/10	<ul style="list-style-type: none"> • Waiver of same side driveway spacing from 150 ft. to 67 ft. • Minor items to be addressed at time of Final Site Plan submittal
Engineering	Approval Recommended	11/3/10	<ul style="list-style-type: none"> • Minor items to be addressed at time of Final Site Plan submittal
Façade	Approval Recommended	11/2/10	<ul style="list-style-type: none"> • Section 9 waiver for the overage of asphalt on the south side of the building
Fire	Approval Recommended	10/28/10	<ul style="list-style-type: none"> • Minor items to be addressed at time of Final Site Plan submittal

Motions

Approval – Preliminary Site Plan

In the matter of Neher Sales, SP10-43, motion to **approve** the Preliminary Site Plan, subject to the following:

- a. Removing the parking space overhang from the required 40 foot front yard setback;
- b. Providing one additional parking space;
- c. Increasing the width of all end islands to 8 feet or more;
- d. Planning Commission waiver of same side driveway spacing requirement from 150 ft. to 67 ft. for the west driveway due to the shallowness of the site and the need for a one-way driveway system;
- e. Planning Commission granting a Section 9 waiver to permit 60% asphalt shingles on the south elevation because the design is consistent with the intend and purpose of the Zoning Ordinance;
- f. The conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan; and
- g. *(additional conditions here if any)*

for the following reasons...*(because it is otherwise in compliance with Article 19, Section 2400 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance).*

Approval – Wetland Permit

In the matter of Neher Sales, SP10-43, motion to **approve** the Wetland Permit, subject to:

- a. The conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan;
- b. *(additional conditions here if any)*

for the following reasons... *...(because it is in compliance with Chapter 12 of the Code of Ordinances and all other applicable provisions of the ordinance.)*

Approval – Woodland Permit

In the matter of Neher Sales, SP10-43, motion to **approve** the Woodland Permit, subject to:

- a. The conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan;
- b. *(additional conditions here if any)*

for the following reasons...*(because it is in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

Approval – Storm Water Management Plan

In the matter of Neher Sales, SP10-43, motion to **approve** the Storm Water Management Plan, subject to:

- a. The conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan;
- b. *(additional conditions here if any)*

for the following reasons...*(because it otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.) ...*

Denial Preliminary Site Plan

In the matter of Neher Sales, SP10-43, motion to **deny** the Preliminary Site Plan, for the following reasons...*(because it is not in compliance with Section _____ of the Zoning Ordinance.)*

Denial Wetland Permit

In the matter of Neher Sales, SP10-43, motion to **deny** the Wetland Permit, for the following reasons...*(because it is not in compliance with Chapter 12 of the Code of Ordinances.)*

Denial Woodland Permit

In the matter of Neher Sales, SP10-43, motion to **deny** the Woodland Permit, for the following reasons.....*(because it is not in compliance with Chapter 37 of the Code of Ordinances.)*

Denial Storm Water Management Plan

In the matter of Neher Sales, SP10-43, motion to **deny** the Storm Water Management Plan, for the following reasons...*(because it is not in compliance with Chapter 11 of the Code of Ordinances.)*

PLANNING REVIEW



cityofnovi.org

PLAN REVIEW CENTER REPORT

October 28, 2010

Planning Review

Neher Sales

SP 10-43

Petitioner

RHO Real Estate, Inc.

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: North side of Eleven Mile Road between Delwal Drive and Meadowbrook Road
- Site Size: 3.98 acres
- Zoning: I-1, Light Industrial
- Surrounding Zoning: all directions: I-1
- Surrounding Land Uses: North: office and college; East: vacant land and office; South and West: office
- School District: Novi Community Schools
- Proposed: 9,296 square foot, two story general office
- Plan Date: October 14, 2010

Project Summary

The applicant, RHO Real Estate, proposes to demolish an existing single family home and construct a 9,296 square foot two-story general office building and accessory parking facilities. The upper floor of the proposed building is depicted as a sales office for the property owner, Neher Holdings, LLC, a food brokerage business. The lower floor is proposed as unfinished speculative office space. The site contains an existing 2,758 square foot office/warehouse building that the applicant has indicated would become an accessory to the office use and be used for the storage of private vehicles and site maintenance equipment only.

Recommendation

The Preliminary Site Plan is **recommended** for approval subject to satisfactorily addressing the concerns listed in this letter and the other review letters before Final Site Plan submittal.

Comments:

The Preliminary Site Plan was reviewed under the general requirements of Article 19, Light Industrial District and Section 2400, the Schedule of Regulations of the Zoning Ordinance, and other sections of the Ordinance, as noted. Please see the attached charts for information pertaining to ordinance requirements. Applicable sections of the Zoning Ordinance and other regulatory documents are highlighted on the attached chart. Items in **bold** below must be addressed by the applicant or Planning Commission before Site Plan Approval may be granted. Items underlined need to be addressed at the time of Final Site Plan Review:

- 1. Schedule of Regulations** The plans demonstrate general compliance with the standards of Section 2400, the Schedule of Regulations, relating to building and parking setbacks and maximum building height except for meeting the 40 foot front yard setback for parking. The entire 19 feet depth required for parking spaces must meet the setback requirements. Parking space depth may be reduced to 17 feet when adjacent to a 7 foot wide sidewalk or a landscape area. The parking spaces depicted adjacent to the western drive and the front setback are 17 feet deep with 2 feet overhanging the landscaped area. A portion of the overhang extends into required 40 foot setback. The applicant is asked to **remove the parking space overhang from the setback area.**
- 2. Parking Spaces** (Sections 2505.14.d.(2) and e.(2) and 2506) The Zoning Ordinance requires one parking space for every 222 square feet of gross leasable general office floor area and one space for every 700 square feet of warehouse (storage area). By definition, the gross leasable office building floor area includes all areas between the exterior walls except for basement mechanical rooms "...when the city is in receipt of an affidavit, in recordable form acceptable to the city attorney, that is signed by the owner of the building stating that the addition will be used only for storage or mechanical equipment," and "major vertical penetrations of the floor (e.g. elevator shafts, stairwells, flues, stacks, pipe shafts, interior courtyards/atriums and vertical ducts with their enclosing walls)." "The gross leasable floor area is fixed for the life of a building and is not affected by changes in corridors." Based on the floor plan submitted, staff has calculated the gross leasable floor area at 8,236 square feet. One parking space is required for every 222 square feet of gross leasable floor area, thus 37.1 parking spaces are required to serve the office building. At one space per 700 square feet of usable floor area, the 2,758 square foot accessory storage area generates a parking space requirement of 3.9 parking spaces. A total of 41 parking spaces are required and 40 parking spaces are provided on the Site Plan. The applicant is asked to **provide one additional parking space**, correct the gross leasable floor area calculation and provide an affidavit as described above regarding the mechanical equipment room. The additional parking space could be located inside of the accessory storage building if so noted on the plan.

Two of the parking spaces are required to be barrier free accessible parking spaces. The plan proposes three barrier free parking spaces.

All parking space dimension and drive aisle dimensions meet the requirements of the Zoning Ordinance except the existing access drive to the existing accessory building. Two-way access drives are required to be 22 feet wide. The existing drive is 18 feet wide. Since this is an existing drive that will have very low traffic volume since it only accesses the accessory building that the applicant has indicated would be for used only for the storage of private vehicles and site maintenance equipment the Planning Staff has determined that no additional improvements are needed. The applicant is asked to place a note on the plan stating the proposed use of the accessory structure.

3. **End Islands** (Section 2506.13) End islands are required between parking spaces and access aisles. Generally these islands are required to be 8 foot wide, 3 feet shorter than the adjacent parking stall and have an outside radius of 15 feet. The end island located near the northeast corner of the building and end island near the south side of the dumpster enclosure are only 4 foot wide. It appears that the island at the northeast corner of the building may be enlarged by shifting the parking bays south by 4 feet. It appears that the island adjacent to the dumpster could be enlarged by realigning the dumpster enclosure as discussed below. The applicant is asked to **increase the width of all end islands to at least 8 feet.**
4. **Loading Space** (Section 2507) Office buildings in the I-1 District are required to provide a standing area for the unloading of trucks delivering materials to the businesses on the site. This unloading area is required to be outside of parking spaces and drive aisles and must be located in the rear yard. The Site Plan proposes a 380 square foot, 12 foot by 28 foot unloading area in the rear yard. The proposed unloading area meets the requirements of the Zoning Ordinance but the applicant may want to consider lengthening the unloading area to accommodate larger trucks and providing a ramped connection to the sidewalk near the rear of the unloading area that would make it easier for delivery drivers to hand truck their freight into the building.
5. **Pedestrian Circulation** (Section 11-276(b)) City Code requires sidewalks along all arterial and collector roads. The applicant is proposing an 8-foot wide pathway along Eleven Mile Road, a collector road. The Site Plan includes good internal pedestrian connections by providing sidewalk connections between the entrances of the building, the parking lot and the Eleven Mile Road pathway.
6. **Outdoor Lighting** (Section 2511) The proposed outdoor lighting appears to meet the requirements of the Zoning Ordinance except that the fixture and mounting details were not provided. The applicant is asked to provide the fixture and mounting details on the Final Site Plan.
7. **Dumpster Enclosure** (Section 2503.2 and 2520.1) The applicant proposes a dumpster enclosure that matches the building materials of the office building. It meets the City's design and setback requirements. The proposed angle of the structure in relationship to the access aisles may make it hard for a rubbish truck to pick up a dumpster. The applicant is asked to modify the angle of the enclosure in relation to the access aisle to provide straight on access from the east.

8. Other Issues

- **Minor Items** See the attached Planning Review Summary Chart for a detailed list of minor corrections to be completed on the Final Site Plan submittal.
- **Development names** Development names must be approved by the Street Naming Committee before Preliminary Site Plan approval. Contact Richelle Leskun at rleskun@cityofnovi.org or 248-347-0475 to schedule a meeting with the Committee.
- **Pre-Construction Meeting** Please be advised that prior to the start of any work on the site, a Pre-Construction (Pre-Con) meeting may need to be held with the applicant's contractor and the City's consulting engineer. The applicant should check the Engineering Review letter for confirmation if a Pre-Con is required or not. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. Contact Sarah Marchioni for a sample checklist or to schedule a Pre-Construction Meeting at 248-347-0430 or smarchioni@cityofnovi.org.
- **Permits** Please contact the Building Division at 248-347-0415 for required construction permits. Permits are required for grading, site clearing, building construction (including most façade changes and awning installations), electrical installations, work in the right-of-way, etc.

9. **Response Letters** A letter from either the applicant or the applicant's representative addressing comments in this, and in the other review letters, is requested prior to the matter being reviewed by the Planning Commission. Additionally, a letter from the applicant is requested to be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above, and with any conditions of Planning Commission approval.

Please contact Mark Spencer at (248) 735-5607 or [mspencer@cityofnovi.org](mailto:m Spencer@cityofnovi.org) with any questions or concerns.



Prepared by Mark Spencer, AICP, Planner

Attachment: Planning Review Chart

Lighting Chart

PLANNING REVIEW SUMMARY CHART

Review Date: 10/25/10
 Project Name: Neher Sales
 Preliminary Site Plan: SP10-43
 Plan Date: 10/14/10

Items in **Bold** need to be addressed by the applicant and/or the Planning Commission before approval of the Preliminary Site Plan. Underlined items need to be addressed on the Final Site Plan.

Item	Required	Proposed	Meets Requirements?	Comments
Master Plan	Industrial, Research, Development and Technology	No change	Yes	
Zoning	I-1, Light Industrial	No change	Yes	
Uses Permitted in I-1 District Sec. 1901.1 and 1902.17	Offices and detached accessory buildings	General Office & accessory storage of private vehicles and site maintenance equipment	Yes	
Building Height (Section 2400, Schedule of Regulations & 2503.2.E)	40 ft.	30 .75 ft.	Yes	
Building Setback				
Front (2400 & 2908) South	40 ft.	40 ft.	Yes	
Side east interior (2400)	20 ft.	108 ft.	Yes	
Side west interior (2400)	20 ft.	83 ft.	Yes	
Rear north (2400 & 2908)	20 ft.	Over 100 ft.	Yes	
Parking Setback				
Front south (2400 h)	40 ft.	40 ft.	Yes/No	The two-foot overhang of the 17 foot deep spaces adjacent to the west drive extend into the 40 foot setback – redesign to meet setback requirement

Item	Required	Proposed	Meets Requirements?	Comments
Side east interior (2400)	10 ft.	About 22 ft.	Yes	<u>Label distance from parking overhang to property line</u>
Side west interior (2400)	10 ft.	10 ft. +	Yes	<u>Label distance from parking overhang to property line</u>
Rear north (2400)	10 ft.	Over 100 ft.	Yes	
Number of Parking Spaces (2505.14.d.(2) and e.(2))	New general office building - one space per 222 sq. ft. GLA 8,236 sq. ft. (calculated 7,105 on the plan) GLA/222=37.1 spaces Existing non-conforming accessory storage buildings 2,758 sq. ft./ 700 = 3.9 Total spaces required=41	40 spaces adjacent to new building 0 spaces adjacent to existing buildings	No	Provide one additional parking space
Parking Space Dimensions and Maneuvering Lanes (2506)	9 ft. x 18 ft. parking space dimensions and 18 ft. wide one-way drives. 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping. Min. 22 ft. two-way drives permitted with no adjacent parking -- min.	9 ft. x 18 ft. spaces and 9 ft. x 17 ft. spaces with overhang of 7 ft. wide sidewalk and landscaping 18 ft. one way aisles 18 ft. two way drive to north buildings	Yes Yes Yes	
End Islands (Section 2506.13)	End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic	End islands near north east corner of building and south of the dumpster enclosure are only 4 foot wide	No	Provide 8 foot wide islands

Item	Required	Proposed	Meets Requirements?	Comments
	circulation aisles. The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance.			
Barrier Free Spaces (Barrier Free Code)	2 barrier free spaces required: 0 standard barrier free, 2 van accessible (one for each potential business)	0 standard & 3 van accessible barrier free spaces	Yes	
Barrier Free Space Dimensions (Barrier Free Code)	8' wide with an 8' wide access aisle for van accessible spaces	Access aisles provided	Yes	
Barrier Free Signs (Barrier Free Design Graphics Manual)	One sign for each accessible parking space.	Signs at each space proposed	Yes	
Loading Spaces (Section 2507)	Provide in rear or interior side	380 sq. ft. area 12 ft. by 28 ft. in rear of building provided	Yes	Applicant may want to consider lengthening the space to accommodate larger vehicles and consider a ramped sidewalk connection to facilitate easier deliveries
Dumpster (Chapter II, Section 21-145 and Section 2503.2.F)	Enclosure required for dumpster. Min. one foot taller than dumpster	6 ft. tall dumpster enclosure provided	Yes	
Dumpster Enclosure (Sections 2503.2.F and 2520.1)	Dumpster enclosure to be located in rear yard, and set back from property line a distance equivalent to the parking lot setback. It is to be located as far from	Located in rear yard – meets setback requirements – located away from barrier free spaces	Yes Yes Yes	<u>Applicant is asked to realign the enclosure to provide a more direct head-on approach to the dumpster from the access aisle</u>

Item	Required	Proposed	Meets Requirements?	Comments
	barrier free spaces as possible. Enclosure to match building materials.		Yes	
Exterior lighting (Section 2511)	Photometric plan and exterior lighting details needed at time of Final Site Plan submittal		No	<u>See lighting review chart</u>
Roof top equipment and wall mounted utility equipment (Section 2503.2.E.(1))	All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	No roof top equipment proposed	Yes	
Sidewalks (City Code Section 11-276(b)) Building Code	A 5'-8' wide sidewalk shall be constructed along all arterial and collector roads except in industrial districts Building exits must be connected to sidewalk system or parking lot.	8 ft. pathway proposed) Provided	Yes	
Pedestrian Connectivity	The Planning Commission shall consider the following factors in exercising its discretion over site plan approval ... Whether the traffic circulation features within the site and location of automobile parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets (Section 2516.2.b	Entrances connected to public walk with 5 ft. sidewalks	Yes	

Item	Required	Proposed	Meets Requirements?	Comments
	(3)).			
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	
	General layout and dimension of proposed physical improvements, showing the following: Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).	Provided	Yes/No	<u>Correct Gross Leasable Floor Area calculations – only vertical projections such as stairs or elevators, and mechanical rooms can be removed from the area between the outside walls</u>
Development/ Business Sign	Signage if proposed requires a permit.			<u>For sign permit information contact Jeannie Niland 248-347-0438.</u>

Prepared by Mark Spencer, AICP (248) 735-5607

Lighting Review Summary Chart

Project name Neher Sales
 Review Date: 10/19/10
 Preliminary Site Plan SP10-43
 Plan Date: 10/14/10

Underlined items must be addressed at the time of Final Site Plan submittal

Item	Required	Meets Requirements?	Comments
Intent (Section 2511.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties, reduce unnecessary transmission of light into the night sky	Yes	
Lighting plan (Section 2511.2.a.1) Entrance Fixtures Required (2003 State Building Code Sec.10-06)	Site plan showing location of all existing and proposed buildings, landscaping, streets, drives, parking areas and exterior lighting fixtures	Yes	
Lighting Plan (Section 2511.2.a.2)	Specifications for all proposed and existing lighting fixtures including: Photometric data <u>X</u> Fixture height <u>X</u> Mounting & design _ Glare control devices <u>X</u> Type and color rendition of lamps <u>X</u> Hours of operation <u>X</u> Photometric plan <u>X</u>	Yes/ No	<u>Provide fixture and mounting detail on the site plan</u>
Required Notes (Section 2511.3.b)	- Electrical service to light fixtures shall be placed underground - No flashing light shall be permitted - Only necessary	Yes	

Item	Required	Meets Requirements?	Comments
	lighting for security purposes and limited operations shall be permitted after a site's hours of operation.		
Required conditions (Section 2511.3.e)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1.	Yes	
Required conditions (Section 2511.3.f)	Use of true color rendering lamps such as metal halide is preferred over high and low pressure sodium lamps.	Yes	
Minimum Illumination (Section 2511.3.k)	<ul style="list-style-type: none"> - Parking areas- 0.2 min - Loading and unloading areas- 0.4 min - Walkways- 0.2 min - Building entrances, frequent use- 1.0 min - Building entrances, infrequent use- 0.2 min 	Yes	
Maximum illumination at property line (Section 2511.3.k)	Max. 1.0 at non-residential property line	Yes	
Cut off Angles (Section 2511.3.i & m)	All cut off angles of fixtures must be 90 degrees – City may waive cutoff requirement when historic or decorative fixtures used	Yes?	<u>Provide fixture detail demonstrating fixture meets full cut-off requirements</u>

WETLANDS REVIEW

MEMORANDUM

TO: Barbara McBeth, Deputy Director of Community Development

FROM: John Freeland, Ph.D., PWS *JF*

DATE: November 3, 2010

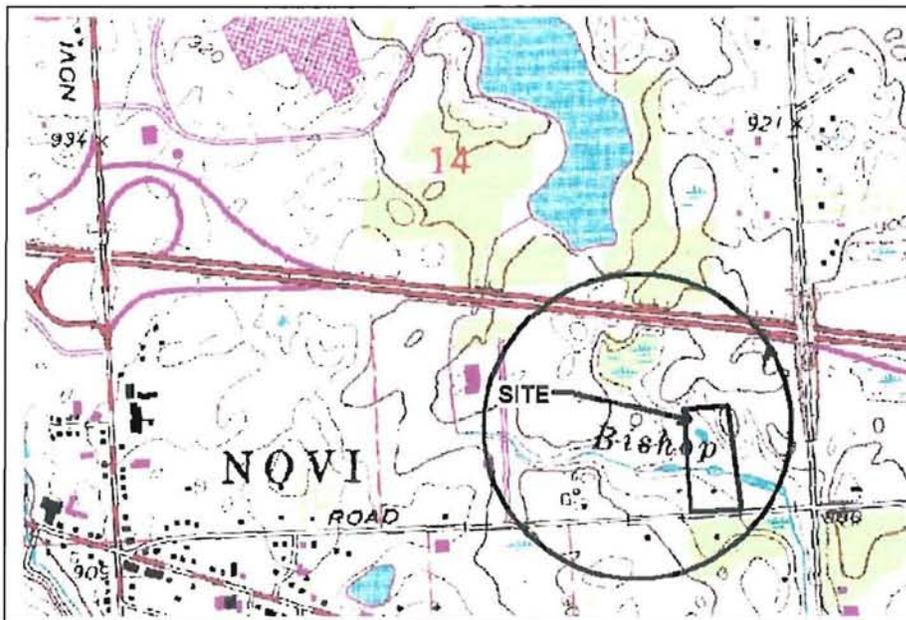
RE: Wetland Boundary Verification and Preliminary Site Plan Review for the Proposed Neher Project (SP10-43)

Environmental Consulting & Technology, Inc. (ECT) has visited the above-referenced site on October 18, 2010 for a wetland boundary verification. A preliminary site plan review has also been completed.

Site Comments:

The Neher site is located in a portion of the SE quarter of Section 14, on the north side of 11-Mile Road between Novi and Meadowbrook Roads. The site appears to be inactive at this time with a brick one-story house near 11-Mile Road, and a small barn near the north end. Bishop Creek and Bassett Drain flow through the property (Figure 1).

Figure 1. Approximate site location: north side of 11-Mile west of Meadowbrook Rd.



The parcel drops in elevation as one traverses from 11-Mile Road north, across a ponded area of Bishop Creek, up on to a driveway and down again into a large wetland associated with Bassett Creek. The site plans submitted by the Applicant (Arpee-Donan August 31, 2010) indicate a large area of floodplain running approximately east-west across the property.

Wetland Characterization

Two wetland areas are found on the site, one (Figure 2) is a ponded portion of Bishop creek that appears to fluctuate in water level throughout the year along with high precipitation and snow melt events. The wetland is primarily open water with sparse vegetation found on the bottom. Fish were observed in the ponded area of the creek. The 25-foot Setback surrounding the pond and making up a portion of the back yard behind the brick house is currently kept mowed.

Figure 2. Ponded area of Bishop Creek, facing northeast across property. The Creek passes through a culvert under the driveway, right side of photo. (ECT October 18, 2010).



The second wetland takes up nearly half of the property on the north side. It is a broad, shallow depression with Bassett Drain cutting through. It contains a variety of vegetation including some large willows (*Salix nigra*), elderberry shrubs (*Sambucus canadensis*), dogwood (*Cornus amomum*), cattail (*Typha angustifolia*), and common reed (*Phragmites australis*) (Figure 3).

Figure 3. Wetland associated with Bassett Drain, north side of property facing east (ECT October 18, 2010)



Proposed Impacts

According to plan sheet 2 of the Arpee-Donan engineering drawings, a total of 502 square feet of temporary impact to the 25-foot Natural Features Setback in two locations adjacent the southern "ponded" wetland associated with Bishop Creek is proposed. Given that these areas are currently mowed turf grass, the impacts are minimal in ECT's opinion.

An apparent wetland impact is not identified clearly on the plan. A stormwater outfall from the eastern "Bioretention Area" is proposed for the wetland adjacent to Bishop Creek. Some temporary disturbance is expected, perhaps 100-square feet to construct the discharge outfall with about 12 square feet of permanent impact for the rip rap or cobble outfall. ECT recommends the outfall pipe be made shorter and be placed outside of the wetland boundary. These impacts should be verified, adjusted as necessary and shown on the final site plan.

No wetland or Natural Features Setback impacts are proposed for the large wetland on the north side of the property.

Conclusion - Wetland Boundaries, Regulatory Status and Required Permits

ECT concurs with the accuracy of the flagged and mapped boundaries portrayed by Arpee-Donan. The wetlands on the site appear to be regulated by the City of Novi and the MDEQ by virtue of being tributaries to the River Rouge. Any proposed fill, construction, or drainage within the wetland areas would require City and State wetland permits. Although floodplain evaluation

of the site is not the primary focus of this memo, it appears that construction within the Bishop Creek and or Bassett Drain floodplain would require a permit from the State.

Minor, mostly temporary, wetland impacts appear to be proposed at this time. The construction of the stormwater outfall would require a Minor Use Permit from the City and a, most likely, a Wetland Use Permit from the Michigan DNRE. The reconstruction of the Bishop Creek culvert beneath the existing driveway, if needed, would require wetland use permits from the City and State. ECT asks that the applicant forward copies of any related correspondence with the DNRE, including a wetland permit application, Pre-application letters, or other documentation, if applicable.

The City of Novi also regulates the 25-foot Natural Features Setback adjacent to wetlands and watercourses. Impacts to the natural Features Setback require written authorization from the City.

Recommendation

ECT believes the site plan is, pending minor adjustments and conditions described in this letter, in compliance with the City Wetland Ordinance and the Natural Features Setback provisions of the Zoning Ordinance. ECT believes the Applicant has considered the wetland and related features of the site and appears to have prepared a plan that "fits" the situation. **ECT recommends approval of the Preliminary Site Plan subject to the following conditions:**

1. Remove the stormwater outfall from the wetland and place in the Natural Features Setback, instead.
2. Show and quantify the area of disturbance, temporary and permanent, to the Natural Features setback resulting from the installation of the stormwater outfall.
3. Forward any DNRE correspondence to the City.
4. Obtain a DNRE Wetland Use Permit or official verification that one is not required.
5. Provide a cost estimate for the restoration of the Natural Features Setback, including grading, soil, and planting materials.

Please contact us with any questions or concerns.

WOODLANDS REVIEW



PLAN REVIEW CENTER REPORT

November 2, 2010

Preliminary Woodland Review

Neher Holdings SP#10-43

Property Characteristics

- Site Location: Eleven Mile Road
- Site Size: 3.98 acres
- Zoning: I-1, Light Industrial
- Surrounding Zoning: all directions: I-1
- Surrounding Land Uses: North: office and college; East: vacant land and office; South and West: office
- Proposed: 9,296 square foot, two story general office
- Plan Date: October 14, 2010

Recommendation

Approval of the Preliminary Woodland Replacement Plan for Neher Holdings SP#10-43 is recommended. Please address the concerns noted below upon subsequent submittal.

Site Plan Compliance with Ordinance Chapter 37 Standards

City staff has reviewed the proposed Neher Holdings Preliminary Site Plan. The plan and supporting documentation were reviewed for conformance with the City of Novi Woodland Protection Ordinance Chapter 37.

City staff has reviewed the City of Novi Official Woodlands Map and completed an onsite Woodland Evaluation on Monday, November 1, 2010. The site does not contain regulated woodlands per the City of Novi Official Woodlands Map. However, there are two mature trees that fall under Landmark Tree status as denoted below.

Landmark Tree Replacement

Two landmark trees are proposed to be removed: one 40" Walnut and one 48" Walnut. These trees are located centrally within the area proposed for the new building, and cannot be practically preserved. Per the ordinance, replacement values for these trees are as follows:

Sec. 37-8. Relocation or replacement of trees.

Whenever an approved site plan or woodland use permit allows the removal of trees eight-inch d.b.h. or greater, such trees shall be relocated or replaced by the permit grantee. Such woodland replanting shall not qualify toward the landscaping requirements of the subdivision ordinance or the zoning landscaping, section 2509. All replacement trees shall be two and one-half (2 1/2) inches caliper or greater. Tree replacement shall be at the following ratio:

Replacement Tree Requirements

<i>Removed Tree D.B.H. (In Inches)</i>	<i>Ratio Replacement/ Removed Tree</i>
8 < 11	1
>11 < 20	2
> 20 < 29	3
> 30	4

Therefore, per the ordinance if these trees are removed a total of eight (8) replacement tree credits would be required for the two landmark trees. The Applicant has provided the necessary number of woodland replacement credit trees on the plan.

Woodland Tree Replacement Species

Please delineate those trees that are intended to qualify as woodland replacements directly on the plan. All woodland replacement trees must be Michigan native species. Diversity of species is a requirement of the Ordinance. Currently the plan calls for all replacement species to be Red Maple. Please provide a mix of three to four species in order to meet the diversity requirements.

Staff suggests that the applicant may wish to place some of the replacement trees on the northerly side of the existing pond. This would allow further protection for the trees and would improve aesthetics of the site. Please also note that, at a minimum, proposed trees must be located no closer than 4' from the property line, and a minimum of 10' from any overhead or underground utilities.

Please follow guidelines of the Zoning Ordinance and Regulated Woodland Ordinance. A City of Novi Woodland Permit will be required prior to any woodland related site work commences. The Applicant may submit for a Woodland Permit upon Preliminary Site Plan approval. This review is a summary and not intended to substitute for any Ordinance requirements. Please contact this office with any questions or concerns.

David R. Beschke, RLA ASLA
City of Novi Landscape Architect

LANDSCAPE REVIEW



cityofnovi.org

PLAN REVIEW CENTER REPORT

November 2, 2010

Preliminary Landscape Review

Neher Holdings SP#10-43

Property Characteristics

- Site Location: Eleven Mile Road
- Site Size: 3.98 acres
- Zoning: I-1, Light Industrial
- Surrounding Zoning: all directions: I-1
- Surrounding Land Uses: North: office and college; East: vacant land and office; South and West: office
- Proposed: 9,296 square foot, two story general office
- Plan Date: October 14, 2010

Recommendation

Approval of the Preliminary Site Plan for Neher Holdings SP#10-43 is recommended.

Please address the concerns noted below upon subsequent submittal.

Ordinance Considerations

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Sec. 2509.3.b.)

1. A 3' tall berm is required along the 11 Mile Road right-of-way adjacent to parking areas. The berm(s) has been provided.
2. Right-of-way greenbelt planting calculations have been provided and requirements have generally been met. **The Applicant will need to provide additional shrubs and perennials in order to meet opacity requirements.**
3. Twenty five foot clear vision areas has been provided as required.

Street Tree Requirements (Sec. 2509.3.b.)

1. One street tree is required per 45 LF adjacent to parking; one street tree is required per 55 LF where there is no parking. The Applicant has provided for the six (6) required street trees.

Parking Landscape (Sec. 2509.3.c.)

1. A total of 817 SF of interior parking landscape area is required and has been provided.
2. A total of 11 Parking Lot Canopy Trees are required and have been provided.
3. Snow storage areas have been shown as required.

Parking Lot Perimeter Canopy Trees (Sec. 2509.3.c.(3))

1. Perimeter Parking Lot Canopy Trees are required per 35 LF surrounding parking and access areas. The Applicant has adequately provided for the requirement.

Building Foundation Landscape (Sec. 2509.3.d.)

1. A minimum 4' wide landscape bed is required around the entire building foundation with the exception of access areas. This has been provided.

2. A total of 2,432 SF of building foundation landscape area is required and has been provided.

Plant List (LDM)

1. The Plant List as provided meets the requirements of the Ordinance and the Landscape Design Manual.

Planting Notations and Details (LDM)

1. The Planting Details and Notations as provided meets the requirements of the Ordinance and the Landscape Design Manual.

Irrigation (Sec. 2509 3.f.(6)(b))

1. An Irrigation Plan must be provided upon Stamping Set submittal.

Landmark Tree Replacement

1. Two landmark trees are proposed to be removed: one 40" Walnut and one 48" Walnut. Per the ordinance, replacement values for these trees are as follows:

Sec. 37-8. Relocation or replacement of trees.

(a) Whenever an approved site plan or woodland use permit allows the removal of trees eight-inch d.b.h. or greater, such trees shall be relocated or replaced by the permit grantee. Such woodland replanting shall not qualify toward the landscaping requirements of the subdivision ordinance or the zoning landscaping, section 2509. All replacement trees shall be two and one-half (2 1/2) inches caliper or greater. Tree replacement shall be at the following ratio:

Replacement Tree Requirements

<i>Removed Tree D.B.H. (In Inches)</i>	<i>Ratio Replacement/ Removed Tree</i>
<i>8 < 11</i>	<i>1</i>
<i>>11 < 20</i>	<i>2</i>
<i>> 20 < 29</i>	<i>3</i>
<i>> 30</i>	<i>4</i>

Therefore, per the ordinance if these trees are removed a total of six (8) replacement tree credits would be required. The Applicant has provided adequate woodland replacement trees on the plan.

Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification.



Reviewed by: David R. Beschke, RLA

Financial Requirements Review

To be completed at time of Final Site Plan Review.

Item	Amount	Verified	Adjustment	Comments
Full Landscape Cost Estimate	\$ 49,776			Includes street trees. Does not include irrigation costs.
Final Landscape Review Fee	\$ 746.64			1.5% of full cost estimate Any adjustments to the fee must be paid in full prior to stamping set submittal.

Financial Requirements (Bonds & Inspections)

Item	Required	Amount	Verified	Comments
Landscape Cost Estimate	YES	\$ 52,876		Does not include street trees. Includes irrigation.
Landscape Financial Guaranty	YES	\$ 79,314		This financial guarantee is based upon 150% of the verified cost estimate. For Commercial, this letter of credit is due prior to the issuance of a Temporary Certificate of Occupancy. For Residential this is letter of credit is due prior to pre-construction meeting.
Landscape Inspection Fee (Development Review Fee Schedule 3/15/99)	YES	\$ 3,172.56		For projects up to \$250,000, this fee is \$500 or 6 % of the amount of the Landscape cost estimate, whichever is greater. This cash or check is due prior to the Pre-Construction meeting.
Landscape Administration Fee (Development Review Fee Schedule 3/15/99)	YES	\$ 475.88		This fee is 15% of the Landscape Inspection Fee. This cash or check is due prior to the Pre-Construction meeting.
Transformer Financial Guarantee	YES	\$ 500		\$500 per transformer if not included above. For Commercial this letter of credit is due prior to the issuance of a Temporary Certificate of Occupancy. For Residential this is letter of credit is due prior to pre-construction meeting.
Street Tree Financial Guaranty	YES	\$ 2,400		\$400 per tree.
Street Tree Inspection Fee	YES	\$ 144		6% of the Street Tree Bond as listed above.
Street tree Maintenance Fee	YES	\$ 150		\$25 per tree.
Landscape Maintenance Bond	YES	\$ 5,287.60		10% of verified cost estimate due prior to release of Financial Guaranty.

TRAFFIC REVIEW

October 22, 2010

Barbara McBeth, AICP
Deputy Director of Community Development
City of Novi
45175 W. Ten Mile Rd.
Novi, MI 48375



SUBJECT: Neher Sales, SP#10-43,
Traffic Review of Preliminary Site Plan and Special Land Use

Dear Ms. McBeth:

At your request, we have reviewed the above and offer the following recommendation and supporting comments.

Recommendation

We recommend approval, subject to the issues shown below in **bold** being satisfactorily addressed on the final site plan.

Project Description

What is the applicant proposing?

1. The applicant, RHO Real Estate, Inc., proposes to construct an office building with 9,296 s.f. of gross floor area, half on the first floor and half on a walk-out lower level.

Trip Generation

How much new traffic would be generated?

2. Although labeled on the plan as a general office building, it appears that the development might be more accurately classified as a single-tenant office building. According to trip rates published by the Institute of Transportation Engineers, a 9,296-s.f. single-tenant office building can be expected to generate about 108 one-way vehicle trips per day, with 17 trips in the busiest hour.

Vehicular Access Locations

Do the proposed driveway locations meet City spacing standards?

3. Eleven Mile Road at this location is a non-residential collector with a posted speed limit of 35 mph. Per the City's Design and Construction Standards, the required minimum same-size driveway spacing is 150 ft (near-back-of-curb to near-back-of-curb). City standards for minimum opposite-side driveway spacing do not apply on a collector such as 11 Mile Road.
4. The spacing between the two proposed site access drives, 171 ft, exceeds the City minimum. As can be seen in the attached aerial photo, there are no existing driveways

within 150 ft to the east of the site's proposed east access drive. The proposed west access drive, however, would be only 67 ft from the nearest existing driveway to the west. Given the shallowness of the site from north to south and the resulting need for a one-way driveway system, we support the **required Planning Commission waiver of the City's minimum same-side driveway spacing between the proposed west access drive and the nearest existing driveway to the west.**

Vehicular Access Improvements

Will there be any improvements to the public road(s) at the proposed driveway(s)?

5. There is an existing two-way left-turn lane on 11 Mile Road abutting the site, and no further access improvements have been proposed by the applicant. With respect to the appropriate treatment of entering right turns, we note that the minimum treatment – a taper – would be warranted on 3,100-vehicle-per-day 11 Mile Road only if there are at least 80 entering right turns within any given peak hour – or more entering trips than the proposed use would generate all day. Hence, no road improvements are required.

Driveway Design and Control

Are the driveways acceptably designed and signed?

6. The site plan proposes two one-way drives, each 18 ft wide from curb face to curb face, and each with both curb returns having 20-ft radii. Per standard engineering practice and City ordinance, driveway width is measured from back of curb to back of curb, effectively 19 ft in this case. This width is greater than the 16-ft City standard, per DCS Figure IX.2, but within the 16-20 ft permissible range. That same figure shows that the standard radius varies by driveway type (in or out) and by side of driveway (so-called entering or exiting).
7. Given the lane configuration on 11 Mile Road and the importance of accommodating the City's largest fire truck, we recommend the driveway design revisions shown in the attached plan mark-up. In summary:
 - a. **The entering (east) driveway should be widened by 1 ft to the City maximum of 20 ft (back-of-curb to back-of-curb). The entering radius can remain the 20 ft proposed, but the so-called exiting radius (on west side of the drive) must be reduced to the ordinance-permitted maximum of 10 ft.**
 - b. **The exiting (west) driveway can remain the proposed width, but that width should be dimensioned as 19 ft (back-of-curb to back-of-curb). The exiting radius can remain the 20 ft proposed, but the so-called entering radius (on east side of the drive) must be reduced to the ordinance-permitted maximum of 10 ft.**

Pedestrian Access

Are pedestrians safely and reasonably accommodated?

8. Yes.

Parking and Circulation

Are parking spaces appropriately located and designed? Can vehicles safely and conveniently maneuver through the site?

9. The site design near the northeast corner of the proposed building is too constricted to permit necessary movements by large trucks. Specifically, the driver of a large fire truck or other large vehicle would find it very difficult to turn into the secondary driveway to the north without jumping the curb adjacent to the bio-retention area, and the driver of a large single-unit delivery truck would find it very difficult to enter and exit the designated loading area without jumping the curb of the proposed adjacent 4-ft wide end island. **Our proposed redesign, shown in the attached plan mark-up, would require shifting the angled parking spaces along the east side of the building 4 ft to the south, and providing larger (minimum 15-ft) radii on the two end islands generally east of the loading area.**
10. **The final site plan should show and label the loading zone as being marked with 4-inch-wide yellow crosshatching 4-ft on-center, and signed with a NO PARKING – LOADING ZONE (R7-6) sign.**
11. **In the northwest corner of the site, the proposed dumpster orientation would require trucks servicing the dumpster to encroach on nearby marked parking spaces. To avoid this problem, the dumpster should be rotated clockwise about 30 degrees, so that its east face is at a nominal right angle to the physical centerline of the approaching parking aisle (see attached mark-up).**
12. As requested in our pre-application comments, all handicapped parking signs should be relocated to points at least 2 ft behind the curb (to avoid unnecessary impact damage from overhanging vehicles). The two handicapped sign posts near the southwest corner of the building appear to be only about 1 ft behind the face of the thickened edge sidewalk or nearby back-of-curb. **The sign post now shown within the sidewalk should be relocated to the back of the sidewalk, or otherwise eliminated by mounting the sign on the building façade. The sign post now shown about 1 ft behind the back of curb should be shifted at least 1 ft further behind the curb.**
13. The handicapped signing details shown on plan sheet 4 should be revised as follows:
 - a. **The main sign should be more accurately portrayed, with the words RESERVED PARKING above a white wheelchair symbol within a square dark field, which is in turn above the word ONLY. This sign should be clearly labeled as an R7-8 (not R7-8a as currently).**
 - b. **The supplemental sign, reading VAN ACCESSIBLE, should be clearly labeled as an R7-8a.**
 - c. **The dimension for minimum mounting height should be changed from 5 ft to 7 ft, and a footnote should be added indicating that the minimum mounting height can be reduced to 5 ft when the sign is mounted on a wall.**

- d. **The note just above the title (Barrier Free Sign Detail) should be completed to read "Barrier-free signs shall be installed at least 2 feet behind the back of curb."**
14. **To comply with the mounting-height requirements of the MMUTCD, the detail for NO PARKING – FIRE LANE (also on sheet 4) should be revised to indicate a minimum mounting height of 7 ft (increased from the 5 ft proposed).**
15. **The Traffic Control Sign Table (on sheet 1) should be revised as follows:**
 - a. **The STOP (R1-1) sign should be labeled parenthetically as "(24-inch size)," as permitted by the MMUTCD for low-speed applications.**
 - b. **The entry for the four ONE WAY (R6-1) signs should be augmented to indicate that two of these signs will point left, and two will point right.**
16. **To comply with MMUTCD placement requirements (Section 2B.37), and improve safety and aesthetics, the two ONE WAY signs at the south end of each access drive should be mounted back-to-back on the same post, located on the east side of the drive.**
17. **Two notes appearing in the lower left corner of sheet 1 should be corrected as follows:**
 - a. **Under Waivers Required, the "150 feet" cited is, by ordinance, measured from near-back-of-curb to near-back-of-curb (not center to center as indicated).**
 - b. **"Site Distance" should, in all appearances, be changed to "Sight Distance."**
18. **Language for an unrestricted cross-access agreement, supporting the easement through the site shown on plan sheet 4, should be submitted for the review and approval of the City attorney. Both the easement and approved supporting agreement should be recorded prior to the issuance of an occupancy permit.**

Sincerely,
BIRCHLER ARROYO ASSOCIATES, INC.

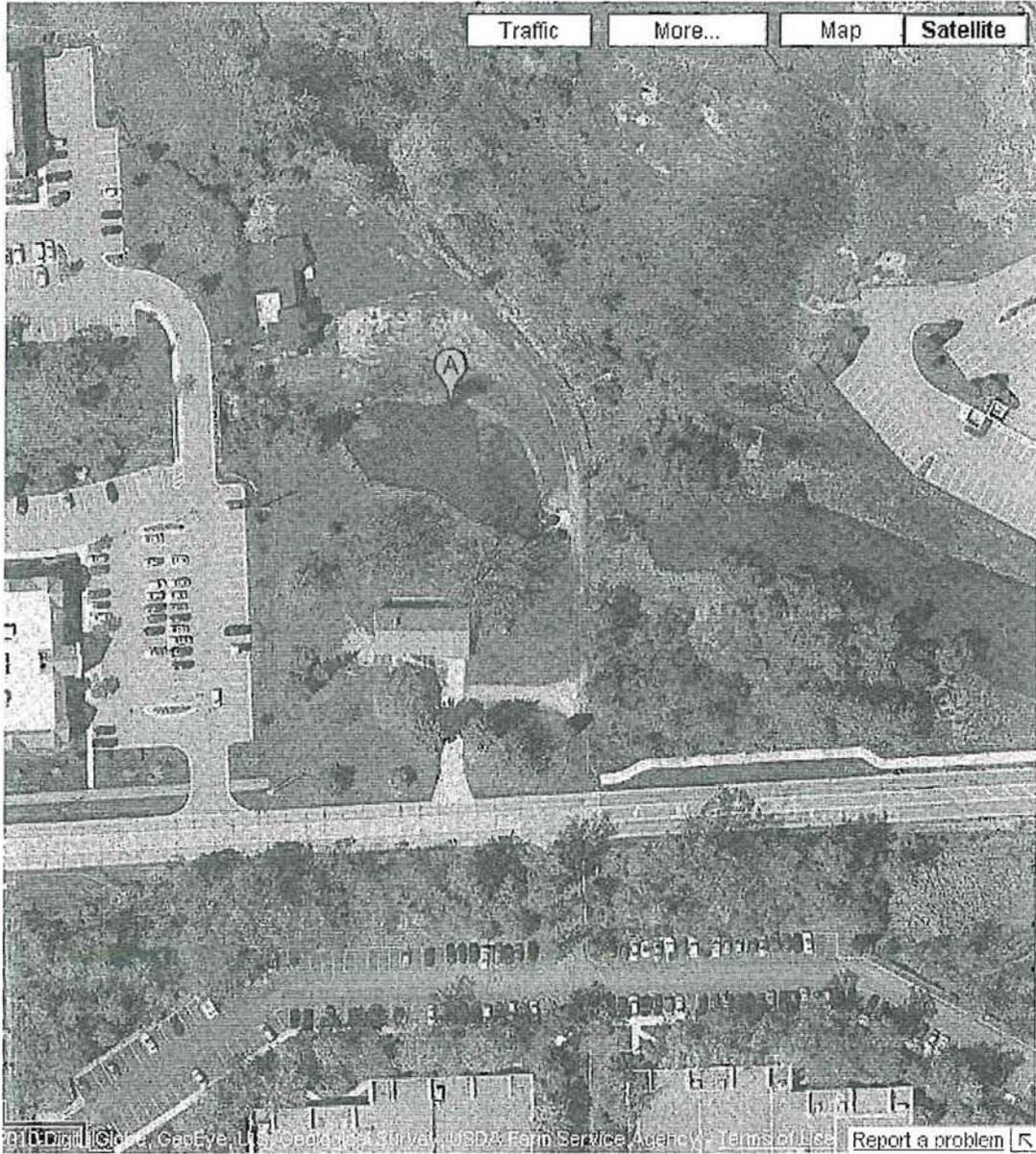


Rodney L. Arroyo, AICP
Vice President



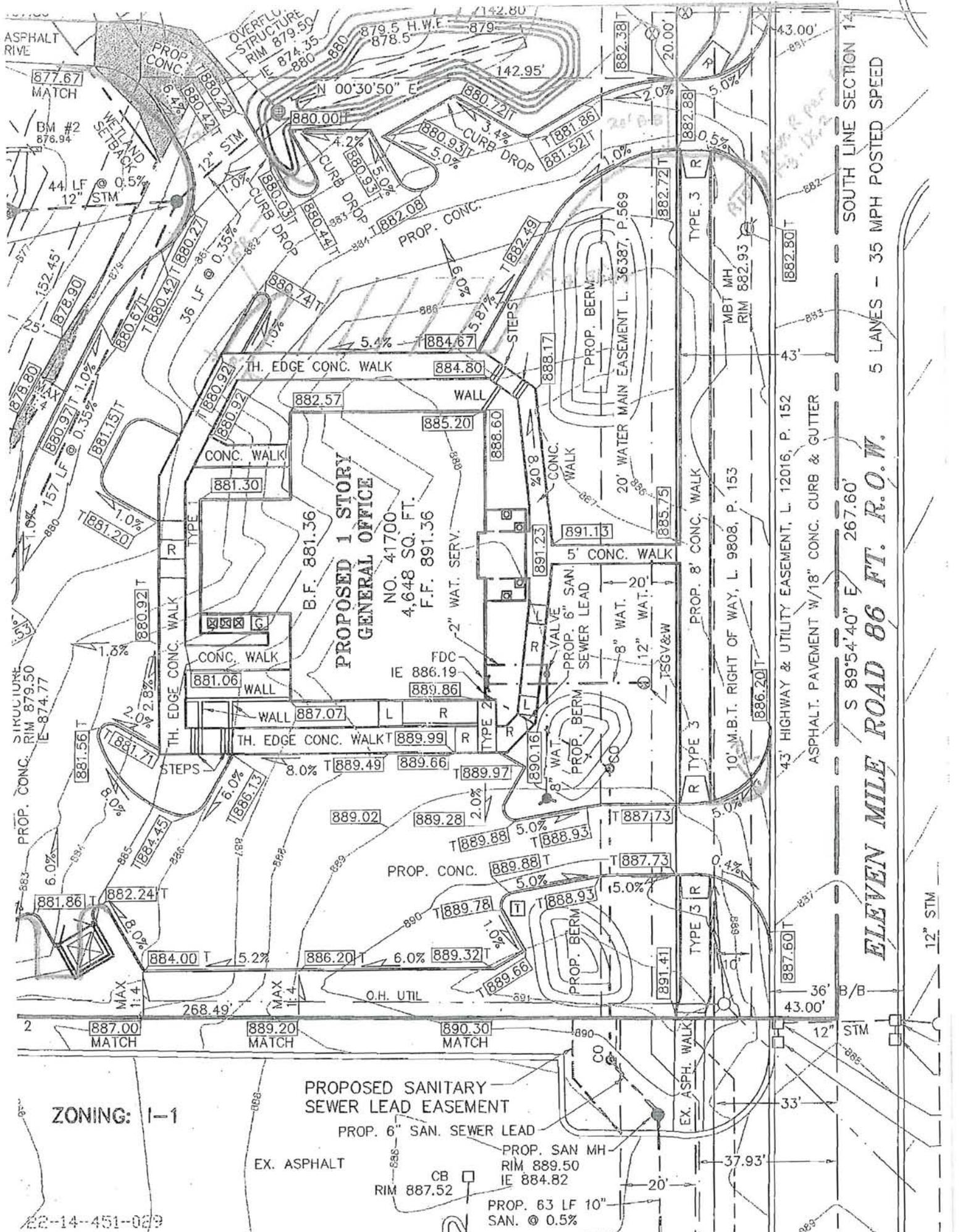
William A. Stimpson, P.E.
Director of Traffic Engineering

Attachments:
Aerial photo
Mark-up of plan sheet 1



Neher Holdings Site, 41700 W. 11 Mile Road





**PROPOSED 1 STORY
GENERAL OFFICE**
NO. 41700
4,648 SQ. FT.
F.F. 891.36

ELEVEN MILE ROAD 86 FT. R.O.W.

SOUTH LINE SECTION 14

5 LANES - 35 MPH POSTED SPEED

ZONING: I-1

**PROPOSED SANITARY
SEWER LEAD EASEMENT**

PROP. 6" SAN. SEWER LEAD

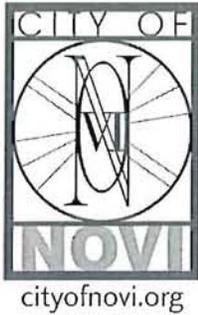
EX. ASPHALT

CB
RIM 887.52

PROP. SAN MH
RIM 889.50
IE 884.82

PROP. 63 LF 10"
SAN. @ 0.5%

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

November 3, 2010

Engineering Review

Neher Sales
SP10-43

Petitioner

RHO Real Estate Inc.

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: 41700 Eleven Mile Road
- Site Size: 3.98 acres
- Plan Date: 8-31-2010

Project Summary

- Construction of an approximately 4,648 square-foot office building and associated parking. Site access would be provided by a one-way in approach off of Eleven Mile Road.
- Water service would be provided by an 8-inch extension from the existing 12-inch water main along the north side of Eleven Mile Road. A 2-inch domestic lead and a 8-inch fire lead would be provided to serve the building, along with an additional hydrant.
- Sanitary sewer service would be provided by extending the existing 8-inch sanitary sewer just west of the site and connecting a 6-inch lead.
- Storm water would be collected by two bioretention basins which will each pretreatment the storm water. Both bioretention basins will provide bankfull flood volume storage under the proposed basins, connected by an equalized pipe, and later discharged into Bishop Creek and stored for the 100-year flood volume in the Bishop Regional Detention Basin.

Recommendation

Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

Additional Comments (to be addressed prior to the Final Site Plan submittal):

General

1. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal.
2. State whether the existing culvert along the easterly access drive can support a 35-ton live load (fire truck capacity). If not, state on the plan for future reference. If future improvements are made to the northern portion of the site, then the culvert will need to meet 35-ton live loading.
3. A same-side driveway spacing **Waiver**, granted by the Planning Commission, would be required for the proposed location of the northern entrance drive with respect to the adjacent drive to the west. The Engineering Division supports this waiver request.
4. Provide sight distance measurements for the existing approach in accordance with Figure VIII-E of the Design and Construction Standards. The landscape plan currently is proposing trees close to the approach.
5. Provide a traffic control sign table listing the quantities of each sign type proposed for the development. Provide a note along with the table stating all traffic signage will comply with the current MMUTCD standards.
6. Provide a traffic control plan for the proposed road work activity (Eleven Mile Road). Make sure all temporary signage meets MMUTCD standards.
7. Show the locations of all light poles on the utility plan and indicate the typical foundation depth for the pole to verify that no conflicts with utilities will occur. Light poles in a utility easement will require a License Agreement.
8. Clearly show the existing drainage easement on the plan.
9. The Non-domestic User Survey form shall be submitted to the City so it can be forwarded to Oakland County. This form was included in the original site plan package.
10. Provide a note that compacted sand backfill shall be provided for all utilities within the influence of paved areas, and illustrate on the profiles.
11. Provide a construction materials table on the Utility Plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
12. Provide a note stating if dewatering is anticipated or encountered during construction a dewatering plan must be submitted to the Engineering Department for review.

Water Main

13. The 2-inch domestic water lead needs to be a separate tap on the existing 12-inch. The valve in box needs to be within a water main easement, near the connection.
14. Provide a profile for all proposed water main 8-inch and larger.
15. Three (3) sealed sets of revised utility plans along with the MDNRE permit application (1/07 rev.) for water main construction and the Streamlined Water Main Permit Checklist should be submitted to the Engineering

Department for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets.

Sanitary Sewer

16. Provide a sanitary sewer basis of design for the development on the utility plan sheet.
17. Note on the construction materials table that 6-inch sanitary leads shall be a minimum SDR 23.5, and mains shall be SDR 26.
18. Provide a note on the Utility Plan and sanitary profile stating the sanitary lead will be buried at least 5 feet deep where under the influence of pavement.
19. Five (5) sealed sets of revised utility plans along with the MDNRE permit application (11/07 rev.) for sanitary sewer construction and the Streamlined Sanitary Sewer Permit Certification Checklist should be submitted to the Engineering Department for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets. Also, the MDNRE can be contacted for an expedited review by their office.

Storm Sewer

20. Storm water runoff shall be contained onsite with the exception of right-of-way drainage. If it is not feasible to keep all runoff onsite, please explain it the response letter.
21. The curb drops need to be located further from the outlet structure to allow for a larger path of pretreatment. Also, there should be numerous curb drops to spread the flow into the bioretention basin. The northern basin only provides one curb drop with concentrated flow. Please revise plans.
22. Provide a rip rap detail including proposed diameter sizing of the stone.
23. Roof drains shall be tied into the bioretention basins since separate storm sewer is not proposed onsite.

Storm Water Management Plan

24. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual.
25. Provide a brief narrative on the SWP plan stating the intention of the plan, including the sizing of the equalizer pipe. Further storm water management comments may be provided at Final Site Plan review.
26. The runoff coefficient for buildings and pavements is 0.95 as referenced in Chapter 5 of the Engineering Design Manual. Also, the minimum coefficient for lawns is 0.35. The current calculations show coefficients of 0.90 and 0.20 used. Please revise the calculations and provide the additional storage volume required.
27. Show drainage areas headed to each basin. Size each basin accordingly for first flush volume above ground. Update the calculations.

28. Provide soil borings in the vicinity of the bioretention facilities to determine soil conditions and to establish the high water elevation of the groundwater table. Verify the ground water elevation is at least 3 feet below the bioretention facility.
29. Provide an access easement from the proposed ingress/egress easement to the northern most basin outlet structure.
30. An adequate maintenance access route to the basin outlet structure and any other pretreatment structures shall be provided (15 feet wide, maximum slope of 1V:5H, and able to withstand the passage of heavy equipment). Verify the access route does not conflict with proposed landscaping.
31. Provide a 5-foot wide stone bridge allowing direct access to the standpipe from the bank of the basin during high-water conditions (i.e. stone 6-inches above high water elevation). Provide a detail and/or note as necessary.
32. An emergency overflow spillway shall be provided 6-inches above the overflow standpipe elevation and shall be routed to a storm water quality control structure or water course.
33. Outlet control structures shall meet City of Novi Design and Construction Standards for storm structures.
34. Provide an overflow structure detail on the plans.
35. Provide a 2-foot access manhole at each end of the chambers above the bankfull elevation. This is for future maintenance.
36. A 4-foot sump is required at the last structure prior to discharging storm water from the site.
37. Basin side slopes shall not exceed 1:4. The current plan proposes a 1:3 slope.
38. The planting soil media shall consist of a mixture such as 50% topsoil/50% sand or 20% topsoil/60% sand/20% compost, or similar.
39. List the bioretention planting types on the plan. Make sure all proposed planting meet the City of Novi Design Standards.

Paving & Grading

40. Label the angles and dimensions of all parking stalls on the plan. Dimensions are currently not provided for the two spaces at the southeast corner of the site. All dimensions shall meet the requirements of Appendix A of the City Zoning Ordinance.
41. While 4-inch curb may be used abutting stalls for an overhang, however all other curb along drive isles and islands shall be 6-inches. Clearly label all curb heights on the plan. Provide a 6-inch and 4-inch curb detail.
42. Provide top of curb/walk and pavement/gutter grades to indicate height of curb adjacent to parking stalls or drive areas.
43. Label both drive approaches as an MDOT Type "M" approach on the plan sheet.
44. The grade of the drive approach shall not exceed 2-percent within the first 25 feet of the intersection. Provide spot grades as necessary to establish this

grade. Both approaches currently exceed 5%. Consider the City standard approach width is 16-feet for one-way commercial drive (City of Novi Ordinance Chapter 11 Figure IX.2).

45. The one-way in existing radius and one-way out entering radius shall be a 5-foot (maximum 10-foot) radius as opposed to the proposed 20-foot radius in accordance to City of Novi Ordinance Chapter 11 Figure IX.2.
46. Provide spot grades along the proposed pathway. Pathway shall not exceed an 8.3% grade.
47. The right-of-way pathway shall continue through the drive approach. The pathway shall be increased to 8-inches thick along the crossing or match the proposed cross-section if the approach is concrete. Provide additional spot grades as necessary to verify the maximum 2-percent cross-slope is maintained along the walk.
48. Provide additional spot grades as necessary to demonstrate that a minimum 5-percent slope away from the building is provided for a minimum distance of ten feet around the perimeter of the building.
49. All drive approach pavement and curb in the public right-of-way shall match the adjacent roadway. Label this on the plan.
50. Provide a parking lot pavement cross section on the next submittal.

Flood Plain

51. A City of Novi floodplain use permit will be required for the proposed floodplain impact. This should be submitted as soon as possible. Contact the Building Department for submittal information. An MDNRE floodplain use permit may also be required prior to site plan approval.

Off-Site Easements

52. The proposed offsite sanitary sewer easement shall be recorded with the County prior to Stamping Set approval.

The following must be provided at the time of Preliminary Site Plan resubmittal:

53. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.

The following must be submitted at the time of Final Site Plan submittal:

54. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

The following must be submitted at the time of Stamping Set submittal:

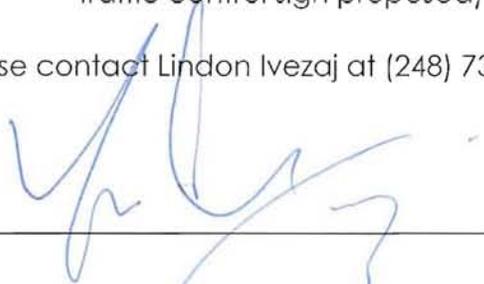
55. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
56. A draft copy of the private ingress/egress easement for shared use of the drive entry must be submitted to the Community Development Department.
57. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.
58. A draft copy of the 20-foot wide easement for the sanitary sewer to be constructed on the site must be submitted to the Community Development Department.
59. Executed copies of any required off-site utility easements must be submitted to the Community Development Department.

The following must be addressed prior to construction:

60. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
61. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.
62. An NPDES permit must be obtained from the MDNRE because the site is over 5 acres in size. The MDNRE requires an approved plan to be submitted with the Notice of Coverage.
63. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
64. A permit for work within the right-of-way of Eleven Mile Road must be obtained from the City of Novi. The application is available from the City Engineering Department and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Department at 248-347-0454 for further information.
65. A permit for water main construction must be obtained from the MDNRE. This permit application must be submitted through the City Engineer after the water main plans have been approved.

66. A permit for sanitary sewer construction must be obtained from the MDNRE. This permit application must be submitted through the City Engineer after the sanitary sewer plans have been approved.
67. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
68. Unrestricted discharge into a regional detention basin is planned for this site. Therefore, a storm water tap fee will be required prior to the pre-construction meeting. An exact figure will be determined at the time of Final Site Plan approval.
69. A storm water performance guarantee, equal to 1.5 times the amount required to complete storm water management and facilities as specified in the Storm Water Management Ordinance, must be posted at the Treasurer's Office.
70. An incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.
71. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.

Please contact Lindon Ivezaj at (248) 735-5694 with any questions.



cc: Ben Croy, Engineering
Brian Coburn, Engineering
Mark Spencer, Community Development Department
Tina Glenn, Water & Sewer Dept.

FAÇADE REVIEW



November 2, 2010

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Re: FACADE ORDINANCE REVIEW
Neher Sales and Marketing - Preliminary Site Plan Approval, SP10-43
 Façade Region: 3, Zoning District: I-1

Dear Ms. McBeth;

The following is the Façade Review for Preliminary Site Plan for the above referenced project based on the drawings and sample board prepared by Maniaci Associates Inc., dated August 27, 2010. The percentages of materials proposed for each façade are as shown on the table below. The maximum percentages allowed by the Schedule Regulating Façade Materials of Ordinance Section 2520 are shown in the right hand column.

	West	East	North	South	Ordinance Maximum
Brick	31.0%	34.0%	40.0%	12.0%	100%
Stone	35.0%	32.0%	19.0%	19.0%	100%
Trim	9.0%	9.0%	5.0%	9.0%	15%
Asphalt Shingles	25.0%	25.0%	36.0%	60.0%	50%

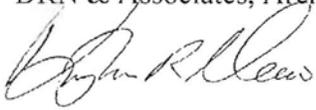
It is noted that 11 Mile Rd. is classified as a non-residential connector and is therefore not considered a major thoroughfare as defined by the Ordinance. The proposed building is located in Zoning District I-1, is not within 500 feet of a major thoroughfare and is therefore located in Façade Region 3.

Recommendation - As shown above the percentages of Asphalt Shingles exceeds the maximum percentage allowed by the Façade Chart on the south façade. The Asphalt Shingle roof is articulated by gables and hipped rooflines that are consistent with and enhance the overall design of the building. It is our recommendation that the design is consistent with the intent and purpose of the Ordinance. A Section 9 Waiver is therefore recommended for the overage of Asphalt Shingles.

The drawings indicate that the dumpster enclosure is constructed of brick to match the building as required by the Ordinance.

Inspections - The City of Novi requires Façade Inspection(s) for all projects. Materials displayed on the approved sample board will be compared to materials delivered to the site. It is the applicant's responsibility to request the inspection of each façade material at the appropriate time. This should occur immediately after the materials are delivered. Materials must be approved before installation on the building. Please contact the Novi Building Department's Automated Inspection Hotline at (248) 347-0482 to request the Façade inspection. If you have any questions please do not hesitate to call.

Sincerely,
DRN & Associates, Architects PC

A handwritten signature in black ink, appearing to read "Douglas R. Necci". The signature is fluid and cursive, with the first name being the most prominent.

Douglas R. Necci, AIA

FIRE REVIEW



CITY COUNCIL

Mayor
David B. Landry

Mayor Pro Tem
Bob Gatt

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Andrew Mutch

Kathy Crawford

Dave Staudt

Justin Fischer

City Manager

Clay J. Pearson

Director of Public Safety

David Molloy

Director of Fire and EMS

Jeffrey Johnson

October 28, 2010

TO: Barbara McBeth, Deputy Director of Community Development, City of Novi

RE: Neher Holdings, LLC
Project Location: North side of Eleven Mile, west of Meadowbrook

SP#: 10-43, Preliminary Site Plan

Project Description:

Demolition of an existing residential building and construction of a 4,648 S.F. single story office building with a full lower level walk-out.

Comments:

1. The control valves for the new hydrant, fire protection water main, and domestic water main shall be independent from each other. *DCS 11-68(a)(9)*

Recommendation:

This plan is **Recommended for Approval** with the above item being corrected on the next plan submittal.

Sincerely,

Michael W. Evans
Fire Marshal

cc: file

Novi Fire Department

42975 Grand River Ave.
Novi, Michigan 48375
248.349-2162
248.349-1724 fax

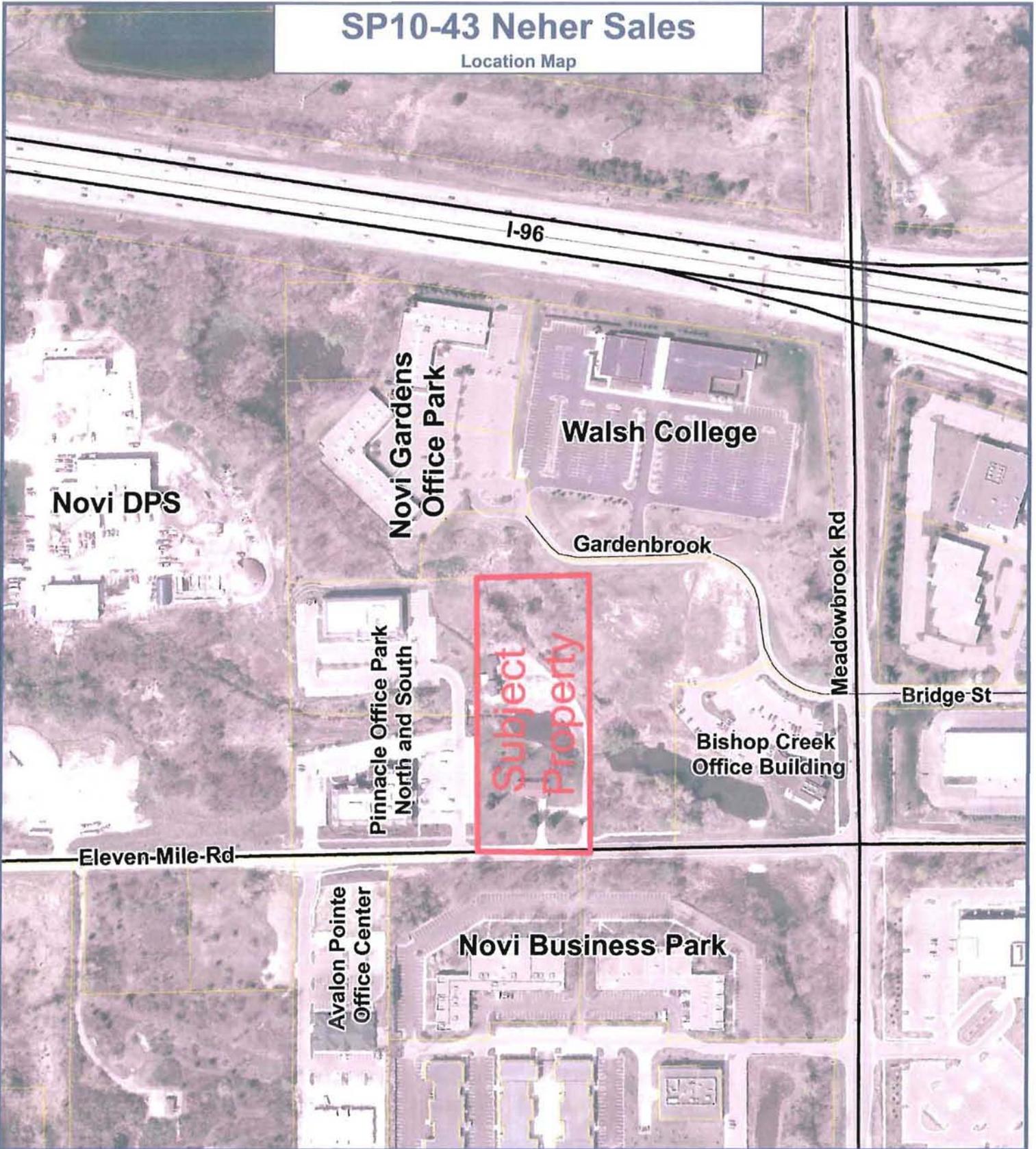
cityofnovi.org

MAPS

Location/Air Photo
Future Land Use
Zoning
Natural Features

SP10-43 Neher Sales

Location Map



Map Author: Mark Spencer
Date: 10/19/10
Project: SP10-43 Neher location
Version #: 1.0

Map Legend

 Tax Parcels

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.



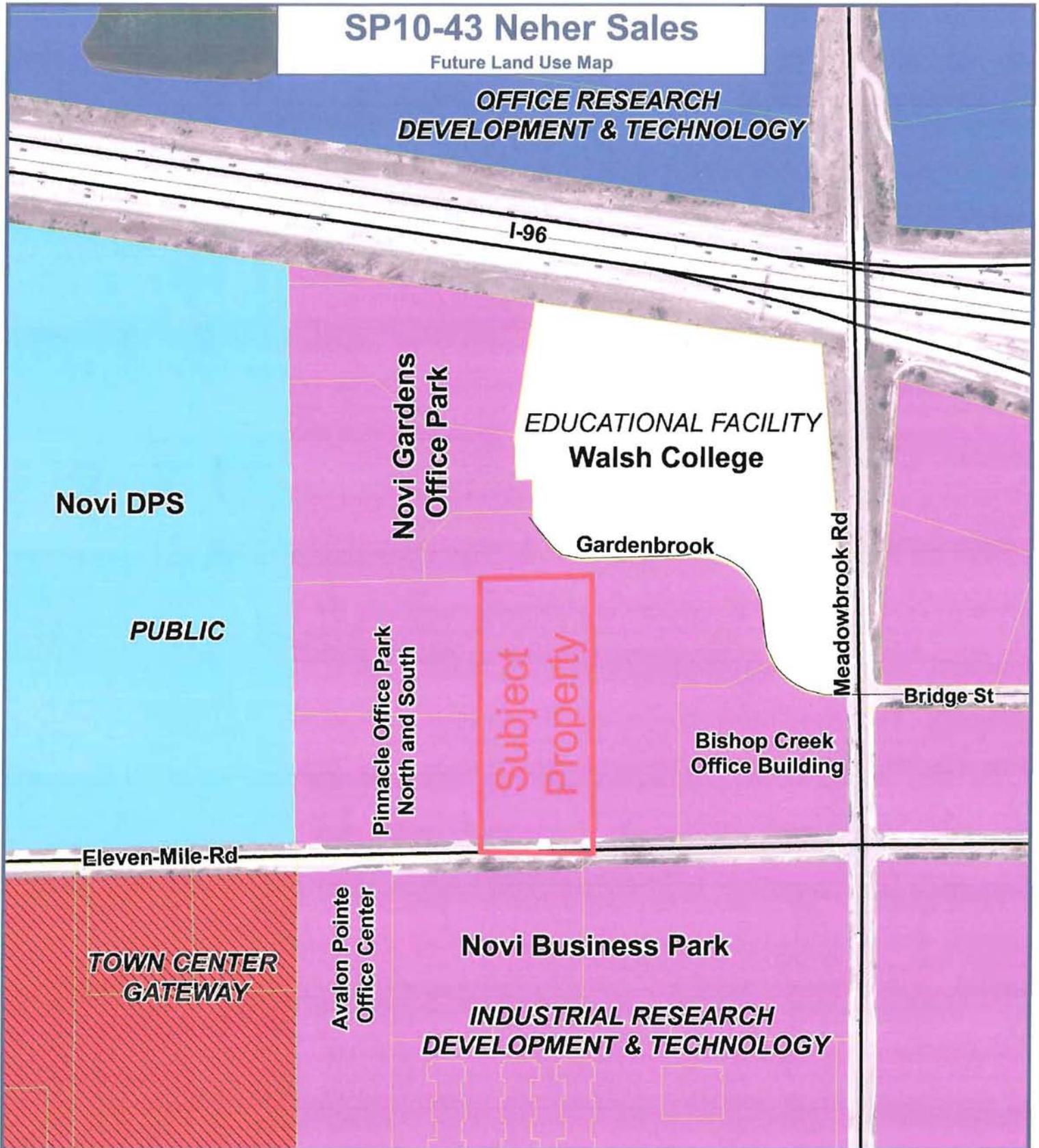
City of Novi
Planning Division
Community Development Dept.
451.75 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org



SP10-43 Neher Sales

Future Land Use Map

**OFFICE RESEARCH
DEVELOPMENT & TECHNOLOGY**



Map Author: Mark Spencer
Date: 10/19/10
Project: SP10-43 Neher FLU
Version #: 1.0

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- Map Legend**
-  Tax Parcels
 - Future Land Use**
 -  OFFICE RESEARCH DEVELOPMENT TECHNOLOGY
 -  INDUSTRIAL RESEARCH DEVELOPMENT TECHNOLOGY
 -  TC GATEWAY
 -  EDUCATIONAL FACILITY
 -  PUBLIC



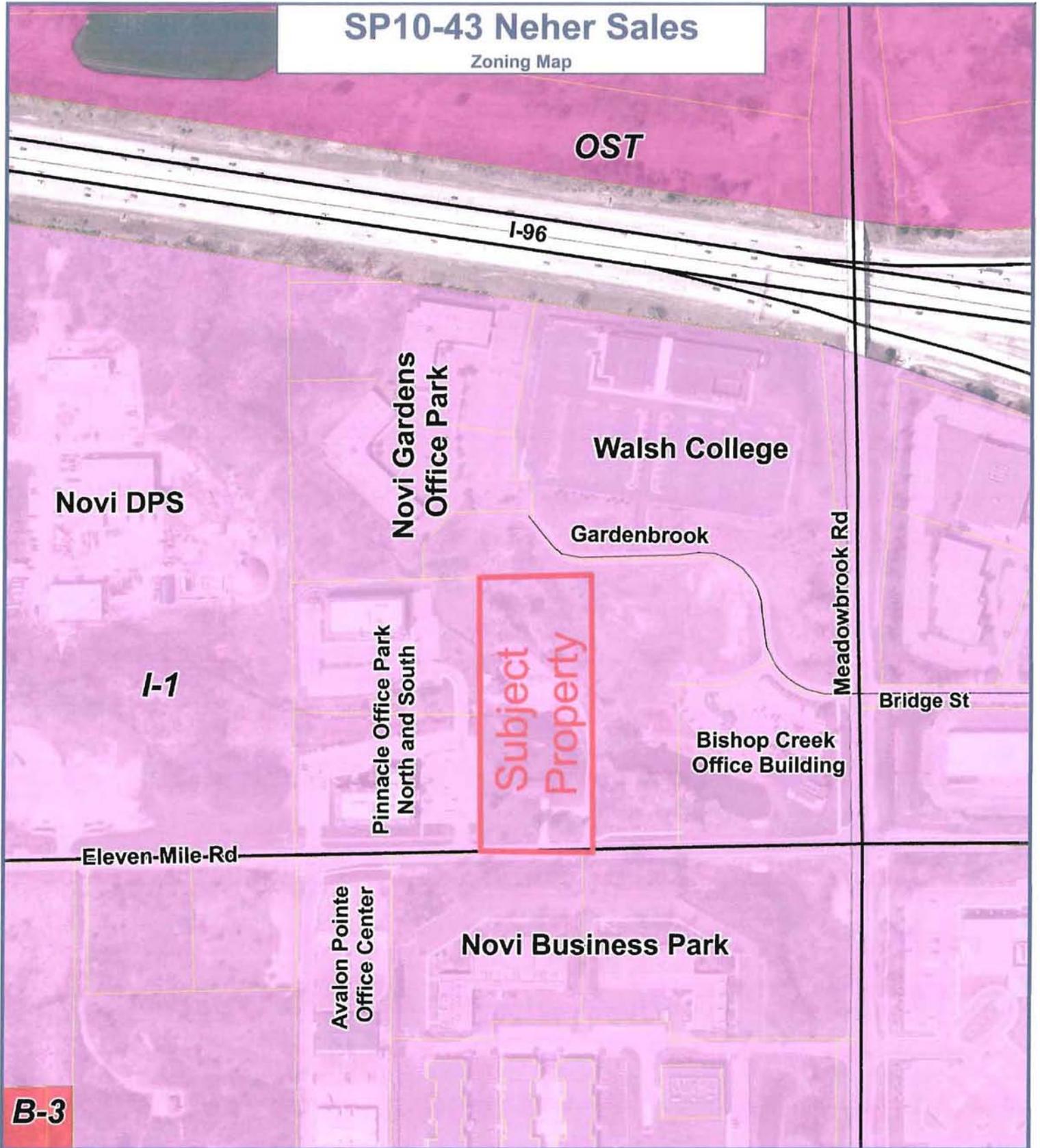
City of Novi
Planning Division
Community Development Dept.
45176 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org



1 inch = 306 feet

SP10-43 Neher Sales

Zoning Map



Map Author: Mark Spencer
Date: 10/19/10
Project: SP10-43 Neher Zoning
Version #: 1.0

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Map Legend

 Tax Parcels

Zoning

 B-3: General Business District

 I-1: Light Industrial District

 OST: Office Service Technology



City of Novi
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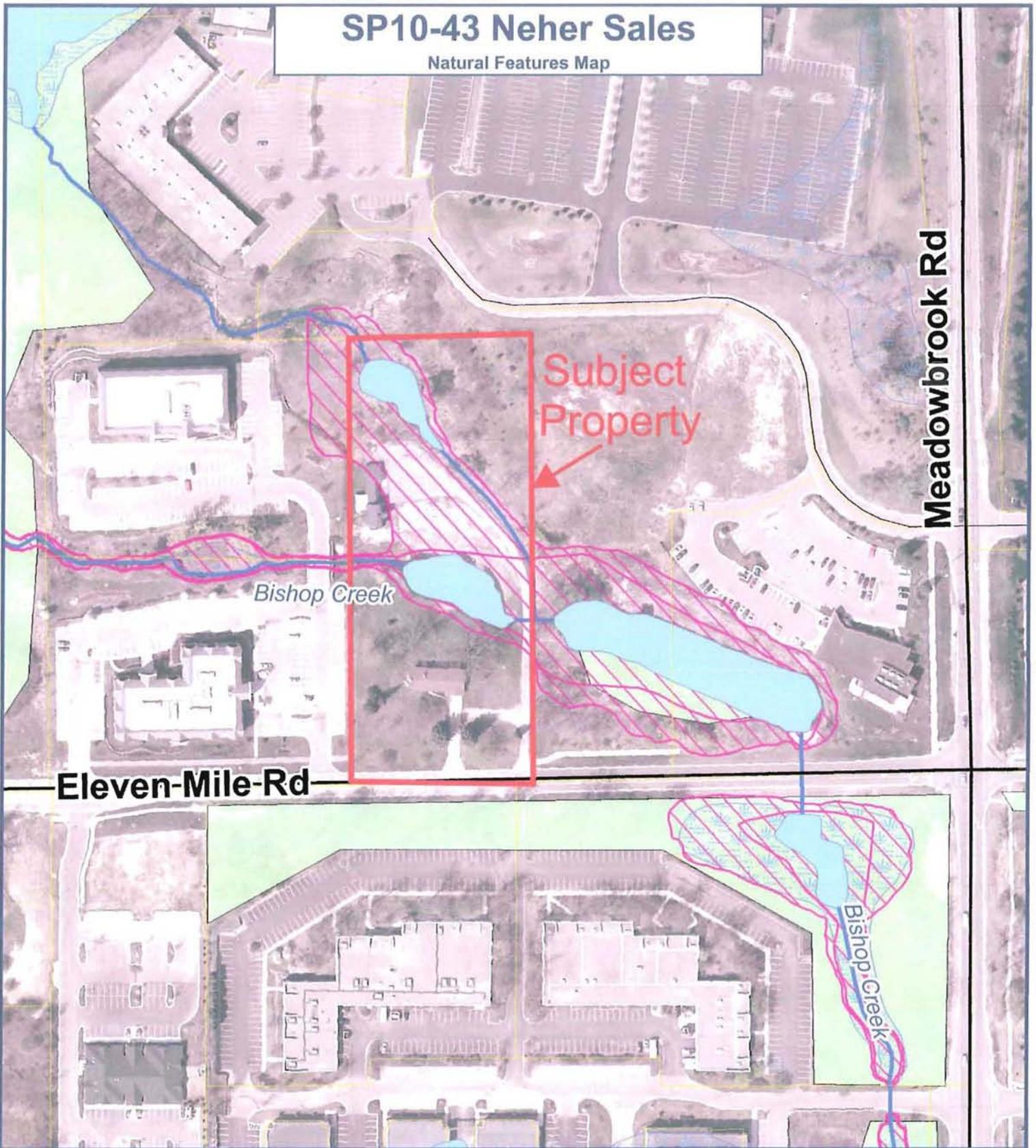
0 60 120 240 360 480
Feet

1 inch = 306 feet



SP10-43 Neher Sales

Natural Features Map



Map Author: Mark Spencer
 Date: 10/19/10
 Project: SP10-43 Neher Natural Features
 Version #: 1.0

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Map Legend

- | | |
|---|---|
|  Lake or Pond |  Tax Parcels |
|  Waterways | Habitat Priority Areas |
|  Wetlands |  High |
| Flood Zones |  Medium |
|  1.0% Chance Flood Zone A |  Low |
|  1.0% Chance Flood Zone AE |  Woodlands |



City of Novi
 Planning Division
 Community Development Dept.
 45175 W Ten Mile Rd
 Novi, MI 48375
 cityofnovi.org



1 inch = 189 feet

REDUCED SITE PLAN

Façade Rendering

APPLICANT RESPONSE LETTER(S)


MANIACI ASSOCIATES, INC.

P. O. BOX 745, ORTONVILLE, MICHIGAN 48462-4123
 (248) 627-4123 FAX (248) 627-2776
maniaciasoc@comcast.net

FAX TRANSMITTAL

Attn:	Mr. Mark Spencer	Subject:	Response to Review Letters
Company	City of Novi	Project Name:	Neher Office Building
Telephone No:	248-735-5607	Fax No:	248-735-5633
Date:	Nov. 4, 2010	No. of Pages	2

Additional Comments:

In response to your email dated Nov. 3, 2010, here is our prior responses to your review letter. There were no responses necessary for the current review pertaining to our work.

Sincerely,

Peter Maniaci, Architect

Maniaci Associates, Inc.

248-627-4123

Arpee/Donnan, Inc.

LAND SURVEYING, ENGINEERING

November 5, 2010

City of Novi.
Plan Review Center
45175 W. Ten Mile Rd,
Novi, MI 48375

Attn.: Mr. Mark Spencer, AICP, Planner

**Re: NEHER SALES
SP 10-43
PRELIMINARY SITE PLAN**

Page 1 of 5

Dear Mr. Spencer:

THIS LETTER IS IN RESPONSE TO THE REVIEW COMMENTS RECEIVED FROM THE CITY OF NOVI PLAN REVIEW CENTER. THE PLANS WILL BE REVISED TO ADDRESS ALL ITEMS CONTAINED IN THE REVIEW LETTERS AS DETAILED BELOW.

PLANNING REVIEW - OCTOBER 8, 2010

1. **SCHEDULE OF REGULATIONS**
THE PLAN WILL BE REVISED TO REMOVE THE PARKING SPACE OVERHANG FROM THE FRONT YARD SETBACK.
2. **PARKING SPACES**
THE GROSS LEASABLE FLOOR AREA CALCULATIONS WILL BE CORRECTED AND AN AFFIDAVIT WILL BE PROVIDED FOR THE MECHANICAL EQUIPMENT ROOM. ANY ADDITIONAL PARKING SPACES REQUIRED WILL BE LOCATED WITHIN THE ACCESSORY STORAGE BUILDING AND WILL BE SO NOTED ON THE PLAN. A NOTE WILL BE ADDED TO THE PLAN STATING THAT THE ACCESSORY BUILDING WILL BE USED ONLY FOR STORAGE OF PRIVATE VEHICLES AND SITE MAINTENANCE EQUIPMENT.
3. **END ISLANDS**
THE END ISLAND ADJACENT TO THE TRASH ENCLOSURE WILL BE INCREASED TO 8 FEET. THE PARKING BAYS ON THE EAST SIDE OF THE BUILDING CAN ONLY BE SHIFTED SOUTH BY 1.5 FEET TO KEEP THE PARKING OUT OF THE FRONT YARD SETBACK. THE ISLAND WILL BE 3 FEET SHORTER THAN THE PARKING STALL WITH A 15 FOOT OUTSIDE RADIUS OF 15 FEET AND WILL BE 5.5 FEET IN WIDTH.
6. **OUTDOOR LIGHTING**
LIGHTING FIXTURE DETAILS AND FIXTURE MOUNTING DETAILS WILL BE INCLUDED ON THE FINAL SITE PLAN.
7. **DUMPSTER ENCLOSURE**
THE TRASH ENCLOSURE WILL BE ROTATED AS REQUESTED.
8. **OTHER ISSUES**
ALL ITEMS LISTED ON THE SUMMARY CHART WILL BE ADDRESSED. THE STREET NAMING COMMITTEE WILL BE CONTACTED.

A PRE-CONSTRUCTION MEETING WILL BE ATTENDED AS REQUIRED.
ALL CITY, COUNTY AND STATE PERMITS REQUIRED WILL BE OBTAINED PRIOR TO START OF CONSTRUCTION.

ECT REVIEW - NOVEMBER 3, 2010

1. THE STORM WATER OUTFALL WILL BE REMOVED FROM THE WETLAND IF FEASIBLE AND APPROVED BY THE CITY ENGINEERING DEPARTMENT.
2. THE LOCATION AND AMOUNT OF THE TEMPORARY AND PERMANENT AREAS OF DISTURBANCE WILL BE IDENTIFIED.
3. ALL CORRESPONDENCE WITH THE DNRE WILL BE FORWARDED TO THE CITY.
4. A DNRE PERMIT IS REQUIRED AND WILL BE OBTAINED.
5. COST ESTIMATES WILL BE PROVIDED.

BIRCHLER ARROYO REVIEW – OCTOBER 22, 2010

4. A PLANNING COMMISSION DRIVEWAY SPACING WAIVER IS REQUESTED.
- 7 a. THE WIDTH OF THE ENTERING DRIVE WILL BE INCREASED BY 1 FOOT TO 20 FEET BACK OF CURB TO BACK OF CURB. THE RADIUS WILL BE REDUCED TO 10 FEET.
- 7b. THE EXITING DRIVE WILL BE DIMENSIONED AS 19 FEET BACK OF CURB TO BACK OF CURB. THE RADIUS WILL BE REDUCED TO 10 FEET.
9. THE PARKING BAYS ON THE EAST SIDE OF THE BUILDING CAN ONLY BE SHIFTED SOUTH BY 1.5 FEET TO KEEP THE PARKING OUT OF THE FRONT YARD SETBACK. THE ISLAND WILL BE 3 FEET SHORTER THAN THE PARKING STALL WITH A 15 FOOT OUTSIDE RADIUS OF 15 FEET AND WILL BE 5.5 FEET IN WIDTH
10. THE SITE PLAN WILL BE REVISED TO SHOW 4 INCH WIDE YELLOW CROSSHATCHING AT 4 FEET ON CENTER AND WITH A NO PARKING – LOADING ZONE (R7-6) SIGN.
11. THE TRASH ENCLOSURE WILL BE ROTATED AS REQUESTED.
12. THE HANDICAPPED PARKING SIGNS WILL BE LOCATED AS REQUESTED.
13. THE BARRIER FREE PARKING SIGN DESIGNATIONS, TYPES, MOUNTING HEIGHTS AND LOCATIONS WILL BE REVISED AS REQUIRED.
14. THE NO PARKING – FIRE LANE SIGN WILL BE REVISED AS REQUIRED.
15. THE STOP SIGNS AND ONE WAY SIGNS WILL BE REVISED.
16. THE ONE WAY SIGNS WILL BE MOUNTED AS REQUIRED.
17. THE MEASUREMENTS WILL BE REVISED TO BACK OF CURB TO BACK OF CURB.
18. A CROSS ACCESS EASEMENT WILL BE PROVIDED AS REQUIRED.

ENGINEERING REVIEW – NOVEMBER 3, 2010

GENERAL

1. STANDARD DETAIL SHEETS WILL BE PROVIDED WITH STAMPING SET SUBMITTAL.
2. THE EXISTING CULVERT ALONG THE EASTERLY DRIVE POSSIBLY WILL NOT MEET THE STANDARDS FOR AN H-20 LOADING. IF FUTURE IMPROVEMENTS ARE MADE TO THE NORTHERN PORTION OF THE PROPERTY THE CULVERT WILL BE REPLACED IF REQUIRED. THIS WILL BE NOTED ON THE PLAN.
3. A SAME SIDE DRIVEWAY SPACING WAIVER IS REQUESTED.
4. SIGHT DISTANCES WILL BE PROVIDED FOR BOTH THE ENTRANCE AND EXIT APPROACHES. THE LANDSCAPE ARCHITECT WILL RELOCATE THE PROPOSED STREET TREES SO THEY DON'T INTERFERE WITH SIGHT DISTANCE
5. A TRAFFIC CONTROL SIGN TABLE WILL BE PROVIDED. ALL TRAFFIC CONTROL SIGNS WILL COMPLY WITH THE CURRENT MMUTCD STANDARDS.
6. A TRAFFIC CONTROL PLAN WILL BE PROVIDED. ALL SIGNS WILL COMPLY WITH THE CURRENT MMUTCD STANDARDS.
7. LIGHT POLE LOCATIONS AND FOUNDATION DETAILS WILL BE PROVIDED. NO LIGHT POLES WILL BE PLACED WITHIN AN EXISTING UTILITY EASEMENT.
8. THE EXISTING DRAINAGE EASEMENT WILL BE SHOWN MORE CLEARLY.

9. THE NON-DOMESTIC USER SURVEY WILL BE PROVIDED.
10. SAND BACKFILL FOR UTILITIES WITHIN THE INFLUENCE OF THE PAVEMENT WILL BE NOTED AND ILLUSTRATED.
11. A CONSTRUCTION MATERIALS TABLE WILL BE PROVIDED ON THE UTILITY PLAN.
12. A NOTE STATING THAT A DEWATERING PLAN IS REQUIRED IF DEWATERING IS ANTICIPATED.

WATER MAIN

13. THE 2 INCH DOMESTIC WATER LEAD WILL BE CONNECTED TO THE EXISTING 12 INCH MAIN AND A VALVE AND BOX WILL BE PROVIDED IN AN EASEMENT.
14. WATER MAIN PROFILES WILL BE PROVIDED FOR 8" WATER MAINS.
15. REVISED UTILITY PLANS AND PERMITS WILL BE PROVIDED TO THE CITY.

SANITARY SEWER

16. THE PROPOSED SANITARY SEWER IS A SANITARY LEAD TO SERVICE ONE BUILDING. A BASIS OF DESIGN WILL BE PROVIDED IF REQUIRED FOR A SANITARY SEWER LEAD.
17. IT WILL BE NOTED THAT 6 INCH SANITARY SEWER LEAD MATERIAL WILL BE SDR23.5 AND MAINS SHALL BE SDR26.
18. DUE TO THE DEPTH OF THE EXISTING SANITARY SEWER AND THE EXISTING PAVEMENT ELEVATIONS IT IS NOT POSSIBLE TO PROVIDE 5 FEET OF COVER OVER THE PROPOSED GRAVITY SEWER LEAD. WE WILL WORK WITH THE CITY ENGINEER TO ACHIEVE AN ACCEPTABLE SOLUTION.
19. UTILITY PLANS AND PERMIT APPLICATIONS WILL BE PROVIDED.

STORM SEWER

20. IT IS PROPOSED THAT ALL STORM WATER RUNOFF WILL BE CONTAINED ON SITE EXCEPT FOR APPROXIMATELY 43 FEET OF THE WESTERLY EXIT DRIVE. TO KEEP ALL STORM WATER ON SITE WOULD REQUIRE A CATCH BASIN ON THE WESTERLY DRIVE AND A STORM SEWER INTO THE BIORETENTION POND. THE SITE AS PRESENTLY ALLOWS ALL STORM WATER EXCEPT FOR A SMALL PORTION OF THE DRIVE TO SURFACE DRAIN INTO THE BIORETENTION POND.
21. THE CURB DROPS WILL BE RELOCATE FUTHER FROM THE THE OUTLET STRUCTURES WHERE POSSIBLE. AN ADDITIONAL CURB DROP WILL BE PROVIDED FOR THE NORTHERN BASIN.
22. A RIP RAP DETAIL WILL BE PROVIDED INCLUDING DIAMETER OF THE STONE.
23. ROOF DRAINS WILL BE TIED INTO THE PROPOSED STORM SEWER BETWEEN THE PONDS.

STORM WATER MANAGEMENT PLAN

24. THE STORM WATER MANAGEMENT PLAN WILL DESIGNED IN ACCORDANCE WITH THE STORM WATER ORDINANCE AND CHAPTER 5 OF THE NEW ENGINEERING DESIGN MANUAL.
25. A NARRATIVE WILL BE INCLUDED ON THE SWP STATING THE INTENTION OF THE PLAN AND SIZING OF THE STORM SEWER PIPE.
26. THE RUNOFF COEFFICIENTS WILL BE CORRECTED AND THE CALCULATIONS REVISED ACCORDINGLY.
27. DRAINAGE AREAS WILL BE IDENTIFIED ON THE PLAN AND CALCULATIONS WILL BE UPDATED.
28. A SOIL BORING WILL BE MADE IN THE CENTER OF EACH BIORETENTION AREA TO IDENTIFY SOIL CONDITIONS AND WATER TABLE. EXISTING SOIL BORING ON SITE INDICATE THAT THE WATER TABLE DEPTH IS GREATER THAN 3 FEET BELOW THE BIORETENTION.
29. AN ACCESS EASEMENT WILL BE PROVIDED TO THE NORTHERN MOST OUTLET

STRUCTURE.

30. AN ADEQUATE MAINTENANCE ACCESS ROUTE SHALL BE IDENTIFIED ON THE PLAN AND KEPT FREE OF TREES AND SHRUBS.
31. A 5 FOOT WIDE STONE BRIDGE WILL BE PROVIDED FOR ACCESS TO THE STAND PIPES AND DETAILED ON THE PLANS.
32. EMERGENCY OVERFLOW SPILLWAYS WILL BE PROVIDED 6 INCHES ABOVE THE STANDPIPE ELEVATION.
33. DETAILS THAT MEET THE CITY OF NOVI DESIGN STANDARDS WILL BE PROVIDED FOR OUTLET CONTROL STRUCTURES.
34. OVERFLOW CONTROL STRUCTURE DETAILS WILL BE PROVIDED.
35. A 2 FOOT ACCESS MANHOLE WILL BE PROVIDED AT EACH END OF THE STORMTECH CHAMBERS.
36. A 4 FOOT SUMP WILL BE PROVIDED IN THE OUTLET STRUCTURE.
37. BASIN SLOPES WILL BE REVISED FROM 1:3 TO 1:4.
38. THE PLANTING SOIL MEDIA SHALL BE IDENTIFIED AS REQUIRED AND SHOWN ON THE LANDSCAPE PLAN.
39. THE BIORETENTION PLANTING TYPES WILL BE SHOWN ON THE LANDSCAPE PLAN AND WILL MEET THE CITY OF NOVI STANDARDS.

PAVING AND GRADING

40. ANGLES OF PARKING STALLS WILL BE LABELED AND ADDITIONAL DIMENSIONS WILL BE PROVIDED.
41. THE LOCATIONS OF 4" CURBS AND 6" CURBS WILL BE LABELED AND DETAILS PROVIDED.
42. TOP OF CURB/WALK AND GUTTER GRADES WILL BE SHOWN.
43. BOTH DRIVE APPROACHES WILL BE DETAIL "M" AND DETAILS WILL BE PROVIDED.
44. THE DRIVE APPROACH GRADES ARE 5% ON THE EASTERLY SIDE OF THE APPROACHES AND 0.5% ON THE WESTERLY SIDE. WE WILL REVISE THESE GRADES TO HAVE AN AVERAGE OF 2.5% AND DETAIL THE ELEVATIONS.
45. THE DRIVE RADIUS WILL BE CHANGED TO MEET REQUIREMENTS.
46. THE MAXIMUM SIDEWALK SLOPE REQUIRED IS 8.3%. SPOT ELEVATIONS WILL BE PROVIDED.
47. THE APPROACH IS PLANNED TO BE CONSTRUCTED OF CONCRETE. SPOT ELEVATIONS WILL BE PROVIDED TO ASSURE A PLANNED CROSS SLOPE ON THE SIDEWALK DOES NOT EXCEED 2%.
48. IN SOME AREAS THE BACK OF WALK IS 4 FEET FROM THE BUILDING AND THE MAXIMUM SIDEWALK CROSS SLOPE IS 2%. THEREFORE A 5% SLOPE FROM THE BUILDING TO TEN FEET AWAY FROM THE BUILDING IS NOT POSSIBLE.
49. THE EXISTING ELEVEN MILE ROAD PAVING IS CONCRETE AND THE PROPOSED PAVING IS CONCRETE.
50. A PARKING LOT PAVING DETAIL IS SHOWN ON SHEET 2.

FLOOD PLAN

51. A CITY OF NOVI AND MDNRE FLOOD PLAN PERMIT ARE REQUIRED. APPLICATIONS WILL BE SUBMITTED WHEN PLAN IS COMPLETED.

OFF-SITE EASEMENTS

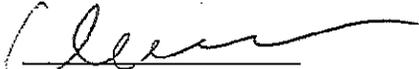
52. THE OFF-SITE SANITARY EASEMENT WILL BE RECORDED AND COPIES WILL BE PROVIDED.

ALL OTHER INFORMATION, PERMITS AND FEES AS REQUESTED IN ITEMS 53 THROUGH 71 WILL BE PROVIDED WHEN REQUIRED.

FIRE DEPARTMENT – OCTOBER 28, 2010

THE CONTROL VALVES FOR THE HYDRANT AND FIRE PROTECTION WATER MAIN WILL BE SEPARATE. THE DOMESTIC WATER SERVICE WILL BE CONNECTED DIRECTLY TO THE EXISTING 12" WATER MAIN AND HAVE A SEPARATE VALVE.

SINCERELY


WILLIAM R. DONNAN

JOHN J. NAGY
7540 South Channel Drive
P.O. Box 28044
Harsens Island, MI 48028
1-810-512-4004

**Registered Landscape Architect &
Licensed Professional Community Planner**

**Landscape Architecture
Land and Site Planning
Certified Tree Surveys
Municipal Consulting**

November 5, 2010

Mr. William R. Donnan
ARPEE/DONNAN, INC.
32233 Schoolcraft Road
Livonia, MI 48150

Re: Changes Proposed to the Landscape Plans for Neher Sales Office in Novi, MI

Dear Mr. Donnan:

Listed below are the changes to the Landscape Plans that will be made to conform to the recent review dated November 2, 2010 by the City of Novi.

1. Additional shrubs and perennials were provided on the previous revision. If additional plantings are required, they will be included on the plans for the next submittal.
2. The planting soil media will be revised to consist of a mixture of fifty percent (50%) top soil and fifty percent (50%) sand or twenty percent (20%) topsoil, sixty percent (60%) sand and twenty percent (20%) compost.
3. Eight (8) replacement trees have been provided for the landmark trees proposed for removal. Three to four (3-4) varieties will be specified to meet the ordinance requirements. Also, several trees will be relocated to the north side of the existing pond.
4. Planting specifications have been provided for the bioretention ponds. The planting types are listed on the plan under emergent plantings in the plant list and in a separate list labeled Seed Mix Composition for the wetland seed mix.

If you have any questions regarding the changes proposed for the next plan submittal, please do not hesitate to call me at the telephone listed above.

Sincerely yours,



John J. Nagy, R.L.A.

cc. Mr. Bill Donnan, Arpee/Donnan, Inc.