



SOUTH UNIVERSITY SP 10-17

SOUTH UNIVERSITY, SP 10-17

Consideration of the request of Hefco Properties for Preliminary Site Plan and Parking Finding approval. The subject property is located in Section 14, south of Twelve Mile Road, west of Meadowbrook Road. The subject property is approximately 4.68 acres and the applicant is proposing to occupy approximately 31,596 square feet of Gross Leasable Area (GLA) at the currently vacant Meadowbrook Medical Building (38,523 square feet GLA total). Colleges and universities are a principal permitted use in the OST District. The applicant is proposing to add a porch to the northwestern corner of the building and a clock tower (occupying eight parking spaces) in the existing parking lot.

Required Action

Approve or Preliminary Site Plan

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval Recommended	04/22/10	- Adequate parking for initial occupation of 31,596 square feet. Additional parking needed for full occupation of 38,523 square feet. - Minor items to address at the time of Stamping Set submittal
Fire	Approval Recommended	04/21/10	

Approval – Preliminary Site Plan

In the matter of South University, SP10-17, motion to **approve** the Preliminary Site Plan, subject to the following:

- a. Planning Commission finding that the use is most similar to a private club or lodge hall and adequate parking exists on the site for the initial occupation of 31,596 square feet of Gross Leasable Area;
- b. Additional parking is required before full occupation of 38,523 square feet of Gross Leasable Area;
- c. Applicant shall submit copy of lease agreement prior to Stamping Set approval;
- d. The conditions and items listed in the staff and consultant review letters being addressed on the Stamping Set; and
- e. *(additional conditions here, if any)...*

for the following reasons... *(because it is otherwise in compliance with Article 23A, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

Denial - Preliminary Site Plan

In the matter of South University, SP 10-17, motion to **deny** the Preliminary Site Plan, for the following reasons... *(because it is not in compliance with the following sections of the Zoning Ordinance...)*

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

April 22, 2010

Planning Review

South University

SP10-17

Petitioner

HEFCO Properties

Review Type

Preliminary/Final Site Plan

Property Characteristics

- Site Location: 41555 Twelve Mile Road (south of Twelve Mile Road, west of Meadowbrook Road)
- Site Size: 4.68 acres
- Zoning: OST (Planned Office Service Technology)
- Adjoining Zoning: South, East and West: OST; North (across Twelve Mile Road): RA
- Proposed: Clock Tower and Smoking Porch Addition
- Plan Date: 04-05-10

Project Summary

South University is proposing to occupy approximately 31,596 square feet of Gross Leasable Area (GLA) at the currently vacant Meadowbrook Medical Building (38,523 sq. ft. GLA total). South University is a private university offering undergraduate and graduate degree programs at several campuses in the southeast United States and on-line. This is the first Michigan location. South University would like to begin classes on October 1, 2010 and has been meeting with the Building Division to work on Building Permit details. Colleges and universities are a principal permitted use in the OST District. The applicant is proposing to add a porch to the northwestern corner of the building and a clock tower (occupying eight parking spaces) in the existing parking lot.

Recommendation

Approval of the Preliminary/Final Site Plan is **recommended**. The Zoning Ordinance does not have a parking standard for colleges and universities. The proposed use seems to be most similar to a private club or lodge hall in terms of parking requirements. Based on that parking standard, the use is short nine spaces for initial occupation of the building of approximately 31,596 sq. ft. GLA by South University. However, South University does not anticipate all classrooms and offices be fully utilized at the same time. Additional information is requested prior to the matter proceeding to the Planning Commission to insure the use would have adequate parking for the initial occupation, but additional parking would be required and would need to be reviewed by the Planning Division before South University is permitted to occupy the remaining approximately 6,927 sq. ft. of GLA.

Ordinance Standards

The submitted Final Site Plan was reviewed per the standards of Article 23A (Planned Office Service Technology District) and relevant sections of Article 24 (Schedule of Regulations) and Article 25 (General Provisions). The attached table provides a summary of the ordinance standards.

1. Parking: A Zoning Ordinance does not provide a parking standard for a college or university use. Section 2505.10 allows the Planning Commission to base off-street parking requirements on a use that the Planning Commission considers similar in type to the use in question. The Planning Division notes that the following listed uses in the Section 2505.14 could be considered similar to the college or university:
 - Senior High School: One space for each one teacher, administrator and other day employee, and one space for each four students over the driving age, or the requirements of the auditorium, whichever is greater.
 - Private club or lodge hall: One for each three persons allowed within the maximum occupancy load as established by local, county or state fire, building or health codes.

The City does have two existing college/university uses that could be used for comparison purposes of available parking on site. Walsh College, occupying an approximately 35,000 sq. ft. building currently has 405 parking spaces on site equaling a parking ratio of one space for each 85 sq. ft. The Art Institute of Michigan occupies an approximately 52,000 sq. ft. building in Haggerty Corridor Corporate Park and has 254 parking spaces on site equaling a parking ratio of one space for each 205 sq. ft. (Some administrative offices for the Art Institute are located off site in a nearby office suite.) The proposed South University would have a parking ratio of one space for each 150 sq. ft. for the initial occupation.

The applicant has indicated that South University does not intend to occupy the entire building at this time, but instead intends to occupy approximately 31,596 sq. ft. GLA with the remaining 6,927 sq. ft. GLA of unimproved space to remain vacant until South University is ready to expand into that space. (The applicant has indicated a timeframe of two to three years from initial occupation.) Based on the Michigan Building Code, the applicant has provided (and the Building Division has confirmed) occupancy counts at 667 people for the initial occupation and 902 people at full occupation. The applicant has indicated that they expect that approximately 609 students and 58 administrators will be in the building at any one time for the initial occupation and approximately 812 students and 90 administrators are expected for the full occupation. These counts represent a "worst-case" scenario. The university does not expect that every classroom in the building will be utilized at the same time. Based on these occupancy counts, parking requirements for each of the above identified similar uses are detailed below.

Similar Use	Parking Requirement (Initial Occupation)	Parking Requirement (Full Occupation)	Meets Parking Requirements? (213 spaces existing)
Senior High School	609 students / 4 = 152 + 58 administrators = 210 spaces required	812 students / 4 = 203 + 90 administrators = 293 spaces required	Yes for initial occupation only

Private club or lodge hall	667 / 3 = 222 spaces required	902 / 3 = 300 spaces required	No
----------------------------	-------------------------------	-------------------------------	----

South University has indicated they are confident enough parking exists currently on-site to accommodate the initial occupation. The applicant is asked to provide additional detail explaining the expected use of the building, providing expected occupancy and number of vehicles expected at various times of the day and evening (if applicable) prior to the matter proceeding to the Planning Commission. Per the lease contract with the land owner, additional parking will be built prior to South University's full occupation of the building. **The applicant should provide a copy of the lease agreement prior to Stamping Set completion so that staff can review the conditions of the agreement as indicated by the applicant.**

Response Letter

The applicant is asked to provide a response letter to the Planning Division, responding to all issues raised in each review letter prior to consideration by the Planning Commission. Please contact the Planning Division with any questions about this review or any of the other reviews for the project, or if you do not receive a complete package of review letters. (Letters needed: Planning, Engineering, and Fire)

Stamping Set Approval

Once the applicant receives the appropriate approvals from the Planning Commission and makes the appropriate corrections to the plan, Stamping Sets should be submitted. A letter responding to the comments in all review letters should be attached. Six copies of the plan should be submitted to the Community Development Department for Stamping Set approval. Any changes to the plan required by the Planning Commission should be incorporated into the Stamping Sets. The Stamping Sets must have original signatures and original seals.



Planning Review by Kristen Kapelanski, AICP
248.347.0586 or kkapelanski@cityofnovi.org

PLANNING REVIEW SUMMARY CHART

Review Date: 04-22-10
Project Name: SP10-17 South University
Review Type: Preliminary/Final Site Plan
Plan Date: 04-05-10

Item	Required	Proposed	Meets Requirements?	Comments
Master Plan	Office	No change proposed	Yes	
Zoning	OST	No change proposed	Yes	
Use (Section 2301A and 2301A.1)	Office and research uses as listed in Section 2301A	University	Yes	See additional comments on parking requirements.
	Accessory structures, subject to the setbacks, screening and façade design required for accessory buildings	Clock tower and covered porch	Yes	
Accessory Structures/ Buildings (Section 2503)	Shall be located in the rear yard or interior side yard if a double-fronted lot	Clock tower proposed in the interior side yard	Yes	
	Shall not be closer than 50' to any interior side lot or rear lot line	100' + setback from all lot lines	Yes	
	Shall not occupy more than 25% of any required rear yard	Clock tower occupies less than 10% of required setback	Yes	
	Not located closer than 10 feet to any main building	Clock tower setback 50'+ from main building	Yes	
	Permitted height 46 feet with 1' additional setback for each foot over 14'	44 ½ feet with adequate additional setback	Yes	
	Shall be designed and constructed of materials to match the existing building	Smoking porch and clock tower designed according to standards of the façade ordinance and to match existing building	Yes	

Item	Required	Proposed	Meets Requirements?	Comments
Required Parking (Section 2505.10)	<p>For those uses not specifically mentioned, the requirements for off-street parking facilities shall be in accord with a use which the Planning Commission considers is similar in type.</p> <p>Total Gross Leasable Area – 38,523 square feet</p> <p>Gross Leasable Area to be Occupied by South University – 31,596 square feet</p>	213 spaces		<p><u>See Planning Review Letter for additional information.</u></p> <p><u>Proposed clock tower occupies eight existing parking spaces. Applicant could reduce the size of the clock tower slightly to fit within six existing parking spaces.</u></p> <p><u>Applicant should provide striping in the area adjacent to the clock tower that is not large enough for a parking space.</u></p>

Prepared by Kristen Kapelanski (248) 347-0586 or kkapelanski@cityofnovi.org

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

April 20, 2010

Engineering Review

South University
SP10-17

Petitioner

Hefco Properties

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: Meadowbrook and Twelve Mile Roads
- Site Size: 4.67 acres
- Plan Date: 4-5-2010

Project Summary

- Construction of a new smoking porch enclosure and a clock tower in the parking lot. The clock tower will take up a minimum of four (4) existing spaces.

Recommendation

Approval of the Preliminary Site Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

Additional Comments (to be addressed prior to the Final Site Plan submittal):

General

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
2. The City standard paving detail sheet is not required for the Final Site Plan submittal. It will be required with the Stamping Set submittal.

Paving & Grading

3. The curbed island surrounding the proposed clock tower shall meet all City of Novi Design Standards pertaining to parking lot islands (radii, length, etc.). Label all radii and lengths of the island on the plan.
4. The current plan shows the island encroaching into the adjacent parking spaces. All parking spaces shall be a minimum of 9-feet wide. Please revise the plan to show this.

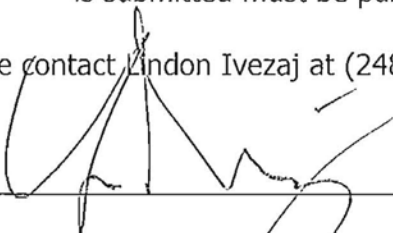
The following must be submitted at the time of Final Site Plan submittal:

5. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
6. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

The following must be addressed prior to construction:

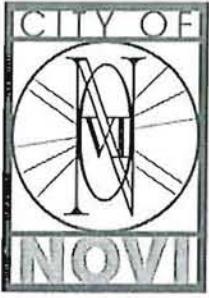
7. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.
8. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.

Please contact Lindon Ivezaj at (248) 735-5694 with any questions.



cc: Ben Croy, Engineering
Brian Coburn, Engineering
Kristen Kapelanski, Community Development Department
Tina Glenn, Water & Sewer Dept.

FIRE REVIEW



April 21, 2010

CITY COUNCIL

Mayor
David B. Landry

Mayor Pro Tem
Bob Gatt

Terry K. Margolis

Andrew Mutch

Kathy Crawford

Dave Staudt

Justin Fischer

City Manager
Clay J. Pearson

Director of Public Safety
David Molloy

Director of Fire and EMS
Jeffrey Johnson

TO: Barbara McBeth, Deputy Director of Community Development, City of Novi

RE: South University (Meadowbrook Office Building)
41555 Twelve Mile Rd.

SP#: 10-17, Preliminary Site Plan

Project Description:

Addition of a covered porch on the first floor and a clock tower.

Comments:

None at this time.

Recommendation:

The above plan has is **Recommended for Approval.**

Sincerely,

Michael W. Evans
Fire Marshal

cc: file

Novi Fire Department
42975 Grand River Ave.
Novi, Michigan 48375
248.349-2162
248.349-1724 fax

cityofnovi.org

**LETTER FROM APPLICANT
DESCRIBING USE**

May 3rd, 2010

To: Kristen Kapelanski
Planner, City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Re: South University Parking at the
Meadowbrook Office Building
41555 Twelve Mile Road
Novi, MI 48377

Kristen,

With regard to our expected parking requirements:

Many of our students and employees will be able to take advantage of public transportation, car pooling and rider drop-offs. Also, there will be less than 100% full occupancy of our offices, classrooms and labs at any given time due to class scheduling diversity and absentees. Thus; the most people that we will have in the building at any point in time that will require parking, when we occupy the initial ~33,000 sq ft, will be 210. This initial parking requirement will be satisfied by the existing 217 parking spaces currently available at the building.

The office and classroom layout for the remaining ~7,000 sq ft is unable to be determined at this time. Therefore, we can only project our future requirements proportionally with respect to the initial space. Thus; the most people that anticipate having in the building at any point in time that will require parking, when we occupy the full ~40,000 sq ft, will be in the range of +/- 300. This additional parking requirement will be satisfied by an expansion of the parking lot onto adjacent land which is being acquired by HEFCO Properties.

If you would like any clarifications or additional information regarding these items, please feel free to contact me at (412) 918 -5558 or at trohar@edmc.edu.

Thank you,

Timothy J. Rohar
Project Director, EDMC
Corporate Real Estate

Cc: Lori Claus, EDMC, Corporate Real Estate
H. Pearce Scott, AIA, LEED ap
Howard Friedlaender, HEFCO Properties

APPLICANT RESPONSE LETTER

HANSEN

Established 1945

May 5, 2010

Kristen Kapelanski, Planner
City of Novi
45175 West Ten Mile Road
Novi, Michigan 48375

Re: South University
Meadowbrook Office Building
41555 Twelve Mile Road
Novi, Michigan 48377

Dear Ms. Kapelanski,

The purpose of this letter is to respond to the questions raised during the review of the site plans for this project.

1. Included is the thirteen (13) sets of plans, one (1) 8 1/2 x 11 copy of the site plan and one (1) 8 1/2 x 11 site plan of the clock tower indicating the removal of four (4) parking spaces to accommodate for the tower. There is a total of 221 existing parking spaces. Removing the four for the tower will net a final count of 217 spaces.
2. Class size/occupants: A previous letter was sent to you by EDMC. The estimates are as follows:
 - Initial Occupancy:

25	Administrators and Faculty
<u>50</u>	Students
75	Total
 - Full Occupancy:

58	Administrators and Faculty
<u>609</u>	Students
667	Total

This count will not be reached until the end of the second year and possibly into the third year. Many students and some faculty will use public transportation, car pools and rider drop-offs. Typically during the day and evening classes, student and faculty are staggered, so at no time are




the classrooms and faculty offices at full capacity. Refer to the attached information from South University's similar campus size in Virginia Beach, which indicates the typical class schedules.

- 8:30 – 10:10 Approximately 25% of the student body attends this session. (Total population: 19 including student, faculty and administration)
- 10:30 – 12:10 Approximately 25% of the student body attends this session. This class session only meets twice a week. (Total population: 19 including student, faculty and administration)
- 1:00 – 2:40 Approximately 25% of the student body attends this session. It meets twice a week. (Total population: 19 including student, faculty and administration)
- 6 p.m. – 9:40 p.m. Approximately 50% of the student body attends this session. (Total population: 40 including student, faculty and administration)

The engineering questions raised in your April 22nd letter will be addressed in Final Site Plan submittal by the Developer's civil engineer.

I trust the above adequately answers your questions regarding this project.

Yours Very Truly,



J. Paul Hansen, FAIA, NCARB

Enclosure

cc: Dana Garcia, EDMC
Lori Claus, EDMC
Timothy Rohar, EDMC
Howard Friedlaender, HEFCO Properties
H. Pearce Scott, AIA, LEED A.P.

SouthUniveristy Virginia Beach Schedule

April 2010

	Monday	Tuesday	Wednesday	Thursday
8:30 – 10:10	UVC 1000 #203 CRJ 1101 #206	ITS 1000 #205 PSY 1001 #206	UVC 1000 CRJ 1101	ITS 1000 PSY 1001
10:30 – 12:10	ENG 1001 #206 BUS 1038 #130	SPC 1026 #206 MAT 1001 #130	ENG 1001 BUS 1038	SPC 1026 MAT 1001
1: 00 – 2:40	ENG 0099 #130	MAT 0099 #130	ENG 0099	MAT 0099
6 PM – 9:40 PM	ENG 1001 #200 ITS 1000 #205 ACC 1001 #206	MAT 1001 #204 LGS 1001 #206 CNS 6002 (6 PM – 9:40) #130 ECO 2072 #128	UVC 1000 #206 CRJ 4007 #204	SPC 1026 #200 PSY 1001 #204 CNS 6027 (6 PM – 9:40) #206

REDUCED SITE PLAN

H

MANSEN

South University
1000 PRINCETON AVENUE
NORFOLK, VIRGINIA 23510

NOVEMBER 12, 2020

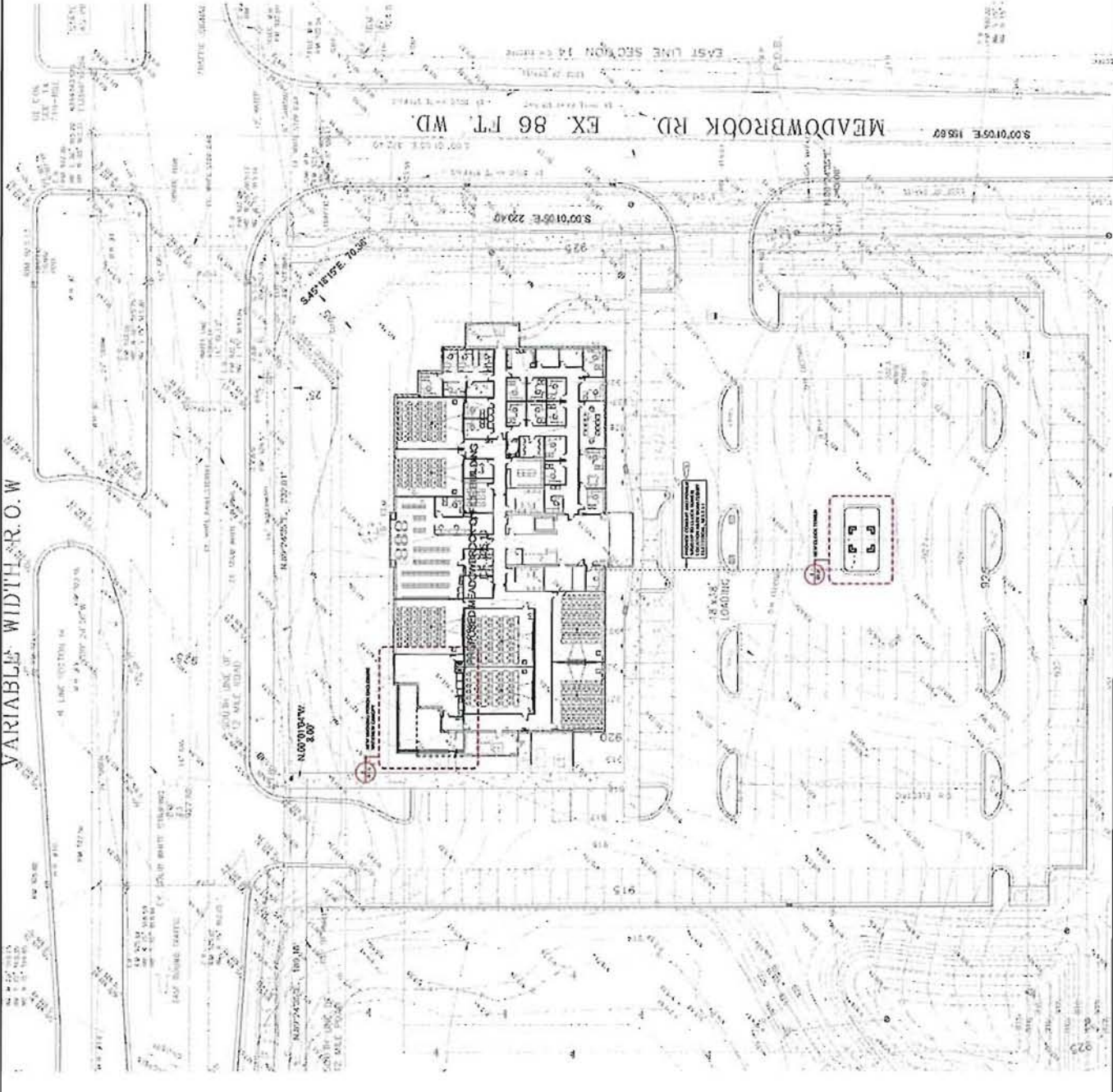
SITE PLAN

A1.0

- 1.000 SITE PLAN
- 1.010 SITE PLAN
- 1.020 SITE PLAN
- 1.030 SITE PLAN
- 1.040 SITE PLAN
- 1.050 SITE PLAN
- 1.060 SITE PLAN
- 1.070 SITE PLAN
- 1.080 SITE PLAN
- 1.090 SITE PLAN
- 1.100 SITE PLAN
- 1.110 SITE PLAN
- 1.120 SITE PLAN
- 1.130 SITE PLAN
- 1.140 SITE PLAN
- 1.150 SITE PLAN
- 1.160 SITE PLAN
- 1.170 SITE PLAN
- 1.180 SITE PLAN
- 1.190 SITE PLAN
- 1.200 SITE PLAN
- 1.210 SITE PLAN
- 1.220 SITE PLAN
- 1.230 SITE PLAN
- 1.240 SITE PLAN
- 1.250 SITE PLAN
- 1.260 SITE PLAN
- 1.270 SITE PLAN
- 1.280 SITE PLAN
- 1.290 SITE PLAN
- 1.300 SITE PLAN
- 1.310 SITE PLAN
- 1.320 SITE PLAN
- 1.330 SITE PLAN
- 1.340 SITE PLAN
- 1.350 SITE PLAN
- 1.360 SITE PLAN
- 1.370 SITE PLAN
- 1.380 SITE PLAN
- 1.390 SITE PLAN
- 1.400 SITE PLAN
- 1.410 SITE PLAN
- 1.420 SITE PLAN
- 1.430 SITE PLAN
- 1.440 SITE PLAN
- 1.450 SITE PLAN
- 1.460 SITE PLAN
- 1.470 SITE PLAN
- 1.480 SITE PLAN
- 1.490 SITE PLAN
- 1.500 SITE PLAN
- 1.510 SITE PLAN
- 1.520 SITE PLAN
- 1.530 SITE PLAN
- 1.540 SITE PLAN
- 1.550 SITE PLAN
- 1.560 SITE PLAN
- 1.570 SITE PLAN
- 1.580 SITE PLAN
- 1.590 SITE PLAN
- 1.600 SITE PLAN
- 1.610 SITE PLAN
- 1.620 SITE PLAN
- 1.630 SITE PLAN
- 1.640 SITE PLAN
- 1.650 SITE PLAN
- 1.660 SITE PLAN
- 1.670 SITE PLAN
- 1.680 SITE PLAN
- 1.690 SITE PLAN
- 1.700 SITE PLAN
- 1.710 SITE PLAN
- 1.720 SITE PLAN
- 1.730 SITE PLAN
- 1.740 SITE PLAN
- 1.750 SITE PLAN
- 1.760 SITE PLAN
- 1.770 SITE PLAN
- 1.780 SITE PLAN
- 1.790 SITE PLAN
- 1.800 SITE PLAN
- 1.810 SITE PLAN
- 1.820 SITE PLAN
- 1.830 SITE PLAN
- 1.840 SITE PLAN
- 1.850 SITE PLAN
- 1.860 SITE PLAN
- 1.870 SITE PLAN
- 1.880 SITE PLAN
- 1.890 SITE PLAN
- 1.900 SITE PLAN
- 1.910 SITE PLAN
- 1.920 SITE PLAN
- 1.930 SITE PLAN
- 1.940 SITE PLAN
- 1.950 SITE PLAN
- 1.960 SITE PLAN
- 1.970 SITE PLAN
- 1.980 SITE PLAN
- 1.990 SITE PLAN
- 2.000 SITE PLAN

NETWORK LOAD
1.000
1.010
1.020
1.030
1.040
1.050
1.060
1.070
1.080
1.090
1.100
1.110
1.120
1.130
1.140
1.150
1.160
1.170
1.180
1.190
1.200
1.210
1.220
1.230
1.240
1.250
1.260
1.270
1.280
1.290
1.300
1.310
1.320
1.330
1.340
1.350
1.360
1.370
1.380
1.390
1.400
1.410
1.420
1.430
1.440
1.450
1.460
1.470
1.480
1.490
1.500
1.510
1.520
1.530
1.540
1.550
1.560
1.570
1.580
1.590
1.600
1.610
1.620
1.630
1.640
1.650
1.660
1.670
1.680
1.690
1.700
1.710
1.720
1.730
1.740
1.750
1.760
1.770
1.780
1.790
1.800
1.810
1.820
1.830
1.840
1.850
1.860
1.870
1.880
1.890
1.900
1.910
1.920
1.930
1.940
1.950
1.960
1.970
1.980
1.990
2.000

LOADING REQUIRED
1.000
1.010
1.020
1.030
1.040
1.050
1.060
1.070
1.080
1.090
1.100
1.110
1.120
1.130
1.140
1.150
1.160
1.170
1.180
1.190
1.200
1.210
1.220
1.230
1.240
1.250
1.260
1.270
1.280
1.290
1.300
1.310
1.320
1.330
1.340
1.350
1.360
1.370
1.380
1.390
1.400
1.410
1.420
1.430
1.440
1.450
1.460
1.470
1.480
1.490
1.500
1.510
1.520
1.530
1.540
1.550
1.560
1.570
1.580
1.590
1.600
1.610
1.620
1.630
1.640
1.650
1.660
1.670
1.680
1.690
1.700
1.710
1.720
1.730
1.740
1.750
1.760
1.770
1.780
1.790
1.800
1.810
1.820
1.830
1.840
1.850
1.860
1.870
1.880
1.890
1.900
1.910
1.920
1.930
1.940
1.950
1.960
1.970
1.980
1.990
2.000



VARIABLE WIDTH O.W.

MEADOWBROOK RD. EX. 86 FT. W.D.

14' WIDE LOADING

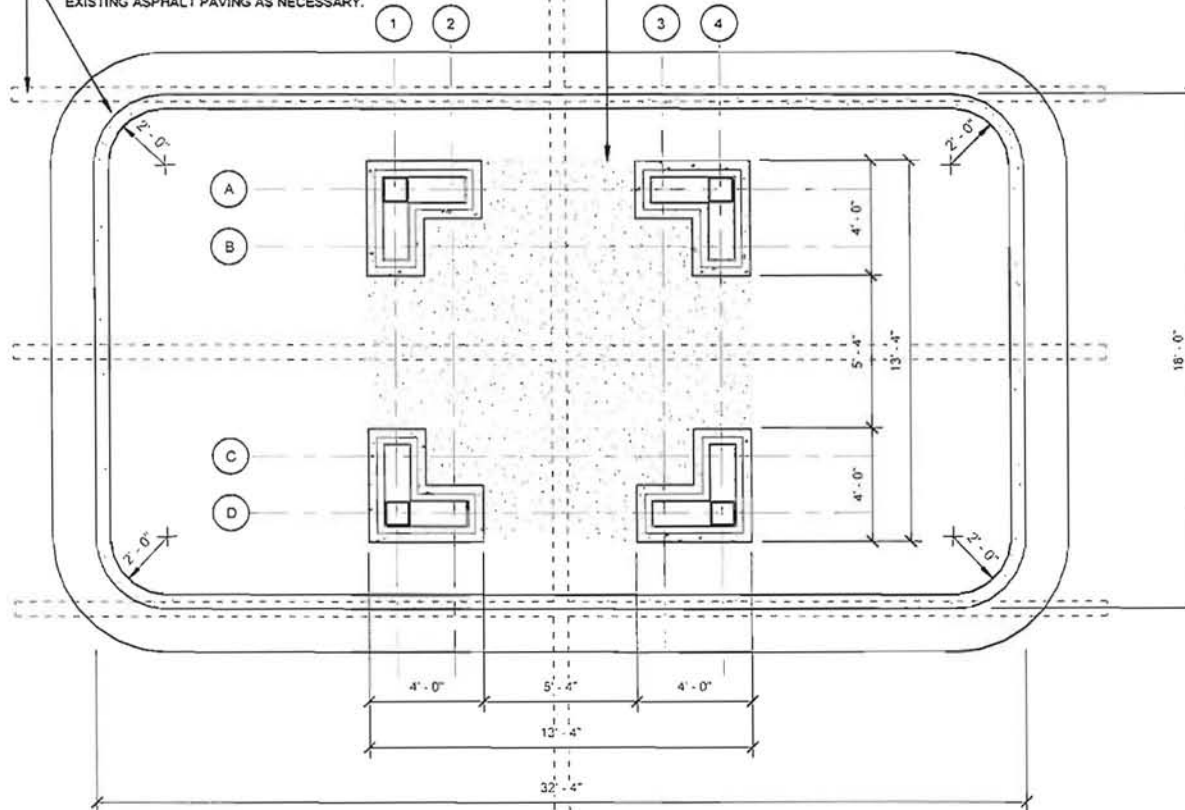
12' WIDE LOADING

NOV 12 2020

EXISTING PARKING STRIPING; NEW CURBED ISLAND FOR CLOCK TOWER TO OCCUPY (4) EXISTING PARKING SPACES PER THE DIMENSIONED EXTENTS ILLUSTRATED BY THIS SKETCH. (REDUCING THE TOTAL PROVIDED PARKING TO A COUNT OF 221).

NEW 6" TALL / DEEP CONCRETE CURBS w/ 2" COMBINED GUTTER (5" CONCRETE DEPTH OVER 8" COMPRESSED FILL). PATCH EXISTING ASPHALT PAVING AS NECESSARY.

13' - 4" x 13' - 4" TOWER BASE w/ 4" CONCRETE SLAB INSET IN GRASS LANDSCAPING IN REMAINDER OF CURBED ISLAND.



CLOCK TOWER CURBED PARKING LOT ISLAND PLAN
1/4" = 1' - 0"



HANSEN

Established 1945

Architecture . Historic Preservation . Interior Design
24 Drayton Street, Ninth Floor, Savannah GA, 31401
(912) 234-8056, www.hansensavannah.com

MAPS

**Location/Air Photo
Zoning**

SP10-17 South University

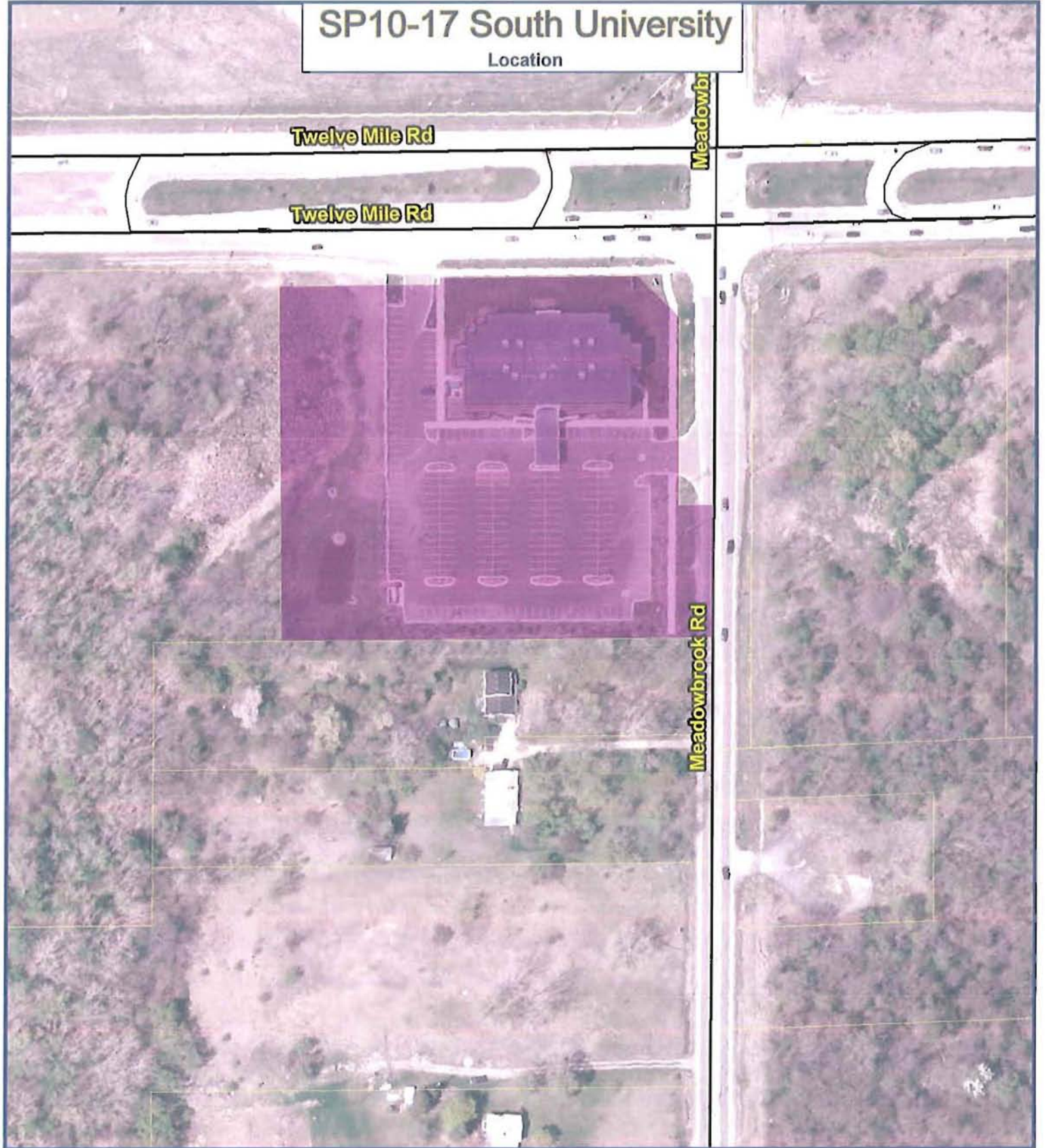
Location

Twelve Mile Rd

Twelve Mile Rd


Meadowbr

Meadowbrook Rd



Map Author: Kristen Kapelanski
Date: 05/04/10
Project: SP10-17 South University
Version #: 1.0

Map Legend

 Subject Property

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.



City of Novi
Department Division
Department Name
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

0 30 60 120 180 240
Feet



1 inch = 153 feet

SP10-17 South University

Zoning

RA

Twelve Mile Rd

RA

Meadowbr

Twelve Mile Rd

Meadowbrook Rd

OST

OST

Map Author: Kristen Kapelanski
Date: 05/04/10
Project: SP10-17 South University
Version #: 1.0

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City Clerk Manager to confirm source and accuracy information related to this map.

Map Legend

-  **Subject Property**
- Zoning**
-  **R-A: Residential Acreage**
-  **OST: Office Service Technology**



City of Novi
Department Division
Department Name
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

0 30 60 120 180 240
Feet



1 inch = 153 feet