



**ITC TRANSMISSION COMPANY
LANDSCAPE IRRIGATION
FROM POND
ZCM 08-20 (Associated with SP06-53B)**

ITC TRANSMISSION COMPANY, ZCM 08-20

Public Hearing on the request of ITC Transmission Company, for Wetland Permit approval. The subject property is located in Section 13, south of Twelve Mile, between Haggerty Road and the M-5 Connector, in the OST Planned Office Service Technology District. The subject property is approximately 83.63 acres and the applicant is requesting approval to utilize water from an existing on-site pond for irrigation of landscaping on site.

Required Action

Approve or Deny Wetland Permit.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	5/29/08	Items to be addressed at the time of Stamping Set submittal
Wetlands	Approval recommended	5/23/08	Approval recommended for the wetland permit, subject to conditions

JUNE 11, 2008 PLANNING COMMISSION MEETING

Motion sheet

Approval- Wetland Permit

In the matter of the request of ITC Transmission Company, ZCM 08-20, motion to grant **approval** for the Wetland Permit, subject to the following:

- a. Wetland Use Permit being granted by the MDEQ
- b. Applicant to suspend irrigation withdrawal from the on-site pond if the pond water level drops to a level that is greater than 6 inches below the bottom invert of the pond outlet pipe,
- c. Subject to the conditions of the attached review letters,
- d. *For the following reasons (such as, the plan is substantially in conformance with the Wetland and Watercourse Protection Ordinance)...*

Denial- Wetland Permit

In the matter of the request of ITC Transmission Company, ZCM 08-20, motion to **deny** the Wetland Permit, for the following reasons:

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

May 29, 2008

Planning Review

ITC Transmission Headquarters

ZCM 08-20

Planning Commission Meeting anticipated: June 11, 2008

Petitioner

ITC Transmission Headquarters

Review Type

Amendment to previous approval of the wetland permit

Property Characteristics

- Site Location: Southeast corner of Twelve Mile and northbound M-5 exit ramp
- Site Zoning: OST, Planned Office Service Technology
- Adjoining Zoning: North: OST. East: OST and MH, Mobile Home District. West: OST zoning on the west side of M-5 expressway. South: I-I, R-2 and MH on the south side of M-5/I-696.
- Site Use(s): Two Office/Research buildings proposed, and two parking decks proposed. ITC's Quaker substation to remain, along with overhead electric transmission lines and associated DTE building.
- Site Size: 83.63 acres
- Building Size: Building 1: 179,444 square feet. Building 2: 155,806 square feet.
- Plan Date: 5/31/07

Project Summary

The Planning Commission approved the Preliminary Site Plan for the ITC Headquarters on December 13, 2006, along with a wetland permit. The first building and parking garage have been constructed and the building is now occupied.

The applicant subsequently requested approval to utilize water from an existing on-site pond for irrigation of landscaping on site. Plans have been submitted and reviewed by the city's environmental consultant with a favorable recommendation to the Planning Commission for approval under ordinance standards for a wetland permit. A revised MDEQ permit will also be needed. Please see the attached report from ECT.

Irrigation Plans

The submitted plans show the landscape irrigation system throughout the site, which has been reviewed and approved previously by the city's landscape architect. The change at this time is to use water from the pond instead of connecting to city water. Plan IR-1.6 shows the location of the pump station and pipe near the front (west) building entrance that will allow water to be pumped from the pond and used in the landscape irrigation system. No changes are proposed to the site layout at this time.

Non-Phosphorus Fertilizer

Accompanying the application is a letter from Joe Bennett, Director of Facilities of ITC that states that, "As a condition of the City approving ITC's use of the lake at our headquarter site for the lawn irrigation, we agree that we will only use non-phosphorus fertilizer at our site so as to protect the lake ecosystem."

Water Level in Pond

The letter from the applicant's representative indicates that calculations have been prepared to insure that there will be no appreciable decline in the pond volume. The wetland consultant generally agrees with that statement, and has indicated that a recommended condition of the wetland permit shall be that the withdrawal from the on-site pond be suspended if the pond water drops to a level that is greater than 6 inches below the bottom invert of the pond outlet pipe. If this occurs, the applicant would need to notify the city if the intention is to connect to the city water system for landscape irrigation.

Include revisions on Revised Stamping Set

There were no additional comments from Engineering, Landscaping, or Woodlands for any of the changes noted. It is recommended that, if the Planning Commission approves the wetland permit, the modifications be shown on a revised irrigation plan for approval of an amended stamping set for the irrigation plans only.

Recommendation

Approval of the City of Novi wetland permit is **recommended**, subject to the items in the accompanying review letter by the City's wetland consultant.



Planning Review by Barbara McBeth, AICP (248) 347-0587

WETLANDS REVIEW



Environmental Consulting & Technology, Inc.

May 23, 2008

Ms. Barbara McBeth
Deputy Director of Community Development
City of Novi
45175 West Ten Mile Road
Novi, MI 48375

Re: ITC Irrigation Plan (ZCM# 08-20)
Wetland Review of the Irrigation Plan

Dear Ms. McBeth:

Environmental Consulting & Technology (ECT) has reviewed the proposed Irrigation Plan for the ITC Transmission Headquarters originally prepared by Professional Engineering Associates and Gillett Associates, Inc. dated December 6, 2006. The Irrigation Plan information provided was produced by Spartan Distributors and is dated May 31, 2007 (Plan). In addition to the Plan, ECT also reviewed the supporting *Irrigation Impact Report* prepared by Michigan Automatic Sprinkler, Inc. dated April 24, 2008. The Plan and supporting documentation were reviewed for conformance with the City of Novi Wetland and Watercourse Protection Ordinance and the natural features setback provisions in the Zoning Ordinance.

The *Irrigation Impact Report* states that the proposed irrigation system will have no impact to the existing wetlands on and adjacent to the ITC Headquarters Building. In addition, based on the water budget that has been provided for the on-site pond, there should be no appreciable decline in pond volume as a result of the proposed irrigation.

Comments Pertaining to the Plan

1. ECT believes that the water budget provided by the Applicant is reasonable and agrees that there should be no noticeable decline in pond volume as a result of the proposed seasonal irrigation. It should be noted that the on-site pond is fed by a tributary entering the pond in the northeast corner. In addition, the pond has an outlet located in the southwest corner of the pond (near the I-96 ramp to northbound M-5).
2. The Plan will require a City of Novi Wetland Use Permit for the proposed irrigation activity based on the following Section of the City of Novi Wetlands and Watercourse Protection Ordinance (Article V, Wetlands and Watercourse Protection, Section 12-171(a)(10)):

It should be unlawful for any person to conduct any activities within a watercourse or wetland location without first having obtained a use permit upon proper application. Activities requiring a use permit include but are not limited to the following:

2200 Commonwealth
Boulevard, Ste 300
Ann Arbor, MI
48105

(734)
769-3004

FAX (734)
769-3164

Pumping of surface waters for irrigation or sprinkling of private or public uses, other than for individually owned single-family residences, from lakes, ponds, rivers, streams or waterways, except when the water body is wholly contained within the user's property.

Permits

As stated above, the proposed Plan will require a City of Novi Wetland Use Permit as well as a wetland permit from the MDEQ for the proposed irrigation project.

As a safeguard to ensure that the proposed irrigation will not cause an appreciable decline in the pond volume, ECT recommends that a condition be included in the City of Novi Wetland Permit that suspends irrigation withdrawal from the on-site pond if the pond water level drops to a level that is greater than 6 inches below the bottom invert of the pond outlet pipe.

Recommendation

ECT recommends conditional approval of the Irrigation Plan, contingent upon satisfactory compliance with the above Comments Pertaining to the Plan.

If you have any questions, please contact us.

Respectfully Submitted,

ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.



Peter F. Hill, P.E.
Associate Engineer

cc: Angefa Pawlowski

**LETTER FROM APPLICANT
NON-PHOSPHORUS FERTILIZER**



May 7, 2008

Barb McBeth
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

RE: Use of Non-Phosphorus Fertilizer

Ms. McBeth:

As a condition of the City approving ITC's use of the lake at our headquarter site for the lawn irrigation, we agree that we will only use non-phosphorus fertilizer at our site so as to protect the lake ecosystem.

Sincerely,

A handwritten signature in black ink that reads "Joe Bennett". The signature is written in a cursive, flowing style.

Joe Bennett
Director of Facilities

**MICHIGAN AUTOMATIC SPRINKLER
IRRIGATION IMPACT REPORT**



Thursday, April 24, 2008

Gillett Associates, Inc.
Mr. Timothy B. Melvin, AIA LEED AP
Senior Project Architect
39300 West Twelve Mile Road
Suite 180
Farmington, Michigan 48331

Dear Mr. Melvin

Please review our report for irrigation water usage for ITC, Novi, Michigan. Upon review of our plans and schedule I believe the irrigation system will have no impact to the existing wetlands on and adjacent to the ITC Headquarters Building.

IRRIGATION IMPACT REPORT

Q1: Description and exact location of the equipment to and within the lake that verifies no wetland impacts.

The pump is located approximately thirty (30) feet from waters edge, as of April 17, 2008

The intake suction line is placed on finish grade and extended toward the pond. Once the suction line reaches the pond it is the lowered below the water and extended further out into the pond, approximately thirty (30) feet.

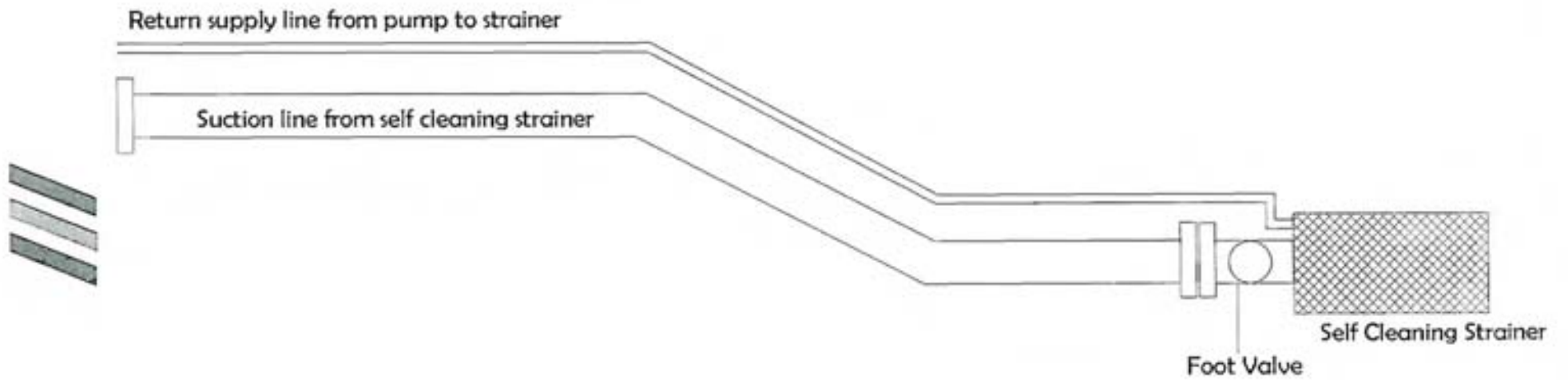
The suction line has a "basket" type filter at the end of the suction line and float to keep the intake filter from settling to the bottom of the pond.

See attached drawing of pump location and site map.

Q2: Detail of intake structure.

See attached drawing of pump and suction line.

Auto Control Concept Drawing
Suction Line with Self Cleaning Strainer and Footvalve
April 2008
616-532-6100





Q3: Schedule of operation.

Zone Number	Gallons per Minute	Minutes (MIN)	Gallons per Cycle
1-1	36	20	720
1-2a	10	15	150
1-2b	8	15	120
1-2c	5	15	75
1-3	47	15	705
1-4	45	10	450
1-5a	30	20	600
1-5b	13	20	260
1-6	31	10	310
1-7	22	15	330
1-8	39	10	390
1-9	49	15	735
1-10	50	15	750
1-11	28	10	280
1-12	37	10	370
1-13	41	15	615
1-14	45	10	450
1-15	46	20	920
1-16a	15	15	225
1-16b	22	15	330
1-17	31	20	620
1-18	26	10	260
1-19a	23	15	345
1-19b	27	15	405
1-20	47	15	705
1-21	48	10	480
1-22	21	20	420
1-23	50	10	500
1-24	50	10	500
1-25	33	20	660
1-26	50	10	500



1-27	35	20	700
1-28	37	10	370
1-29a	18	20	360
1-29b	19	20	380
1-30	8	10	80
1-31b	24	20	480
1-32	47	20	940
1-33	49	20	980
1-34	33	15	495
1-35	48	20	960
1-36	42	20	840
1-37a	24	10	240
1-37b	14	10	140
1-38	52	20	1040
1-39	33	20	660
1-41	48	20	960
1-42	49	20	980
1-43	49	20	980
1-44	47	20	940
1-45	50	20	1000
1-46	49	20	980
1-47	32	20	640
1-48	50	20	1000
1-49	49	20	980
1-50	50	20	1000
1-51	40	20	800
1-53	49	20	980
1-54	28	15	420
1-55	39	20	780
1-56	49	20	980
1-57	44	20	880
1-58	39	20	780
1-59	39	20	780
1-60	39	20	780
Total Gallons per Cycle (gpc):			39485 gpc



The detention pond that will serve the irrigation needs of the ITC site is approximately 11 acres.

The ITC irrigation needs are 699,453 gallons per month at a peak time (assume the month of July).

- ✓ The irrigation requirements for the site are based on a 1" week coverage for lawn areas and ½" week coverage for mulched shrub beds.

Three key factors will contribute to recharge the pond volume: captured rain, the use of water efficient irrigation equipment, landscape selection and practices.

As shown on attach Table 2. Precipitation for Novi, Michigan: the normal rainfall for the month of July is 2.99 inches or 0.249 ft.

The drainage area for the ITC Site is 794,535 sft or 18.24 acres
One acre equals 43,560 sft

The runoff coefficient for the site is 0.535
 $\text{Runoff} = 0.249 \text{ ft} \times 794,535 \text{ sft} \times 0.535 = 105,844 \text{ cft}$

$105,844 \text{ cft} \times 7.48 \text{ gal} = 791,713 \text{ gal/month}$

The captured runoff is 791,713 gal/month
The projected use is 699,453 gal/month
92,260 gallons of water will be collected during the month of July

We are confident that the seasonal irrigation needs of the ITC Site will not result in an appreciable decline in the pond volume.



Month	Rainfall (Rf)	Evapotranspiration (ET)	Difference (Rf - ET)
January	1.67	0.00	1.67
February	1.62	0.00	1.62
March	1.84	0.46	1.38
April	2.39	1.90	0.49
May	3.01	3.38	-0.37
June	3.11	5.25	-2.14
July	2.78	6.27	-3.49
August	2.74	5.51	-2.77
September	2.85	3.43	-0.58
October	2.52	1.78	0.74
November	2.25	0.57	1.68
December	1.81	0.00	1.81
Annual	28.59	28.55	0.04

Source: Rainfall – Evapotranspiration Data by Toro Company

Roofs	0.95
Concrete or asphalt roads and pavement	0.95
Gravel areas and walks	
Loose	0.30
Compact	0.70
Vacant lots, unpaved streets	
Light plant growth	0.60
No plant growth	0.75
Lawns, parks, golf courses	0.35
Wooded areas	0.20

Source: Simplified Site Engineering for Architects and Builders Parker & MacGuire

Q4: Maximum pumping rate (gallons per day).

39,485 gallons per cycle
 4 cycles per week (based on July ET)
 7 days per week
 22,563 gallons per day
 699,453 gallons per month (July)



Q5: Estimate of maximum drawdown of the lake, considering inflow and outflow, evaporation rates, etc.

39,485 gallon per cycle
26 weeks of operation
3 cycles per week
3,079,830 gallons per year

Subtract the total useable rainfall for the months of April thru October on 13 acres at 18.1 inches per year (April 15 thru October 15)
1 acre-inch = 27,154 gallons
13 acres = 353,002 total gallons (rainfall)
18.1 inches per year = 6,389,336 gallons per year

Table 4.0
Novi, Michigan – Average Temperature and Rainfall

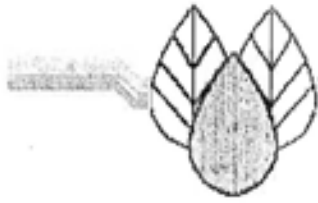
	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
AVG High	30°	34°	45°	58°	70°	80°	84°	81°	74°	61°	48°	34°
AVG Low	16°	18°	27°	37°	48°	57°	62°	60°	54°	41°	32°	21°
Mean	24°	26°	36°	48°	58°	68°	74°	71°	64°	52°	41°	28°
AVG Precip.	1.5"	1.5"	2.5"	3.0"	3.0"	3.1"	2.9"	3.3"	3.3"	2.0"	2.7"	2.6"

April 15 thru October 15
Total Outflow = 3,079,830 gallons per year
Total Inflow = 6,389,336 gallons per year

Should you have any questions or if I can be of any further assistance, feel free to contact me 248-894-4473.

Best Regards,

Adam V. Wendt, CIC
Project Manager
Michigan Automatic Sprinkler, Inc.
awendt@miautosprinkler.com



Center for Irrigation Technology

California State University, Fresno
5370 N. Chestnut Ave. M/S OF 18
Fresno, CA 93740-8021
(559) 278-2066 FAX (559) 278-6033
<http://www.cati.csufresno.edu/cit>

April 25, 2008

Mr. Adam V. Wendt
Candidate ID #002459
847 Juneau Road
Ypsilanti, MI 48198

Dear Mr. Wendt:

We are pleased to inform you that you have passed the **Certified Irrigation Contractor Examination** taken in Sandusky, Ohio on March 22, 2008. Congratulations, you have fulfilled all the requirements to become a Certified Irrigation Contractor. The Irrigation Association will be forwarding your credentials to you.

The Irrigation Association also has certifications for irrigation auditors and irrigation designers. The auditor certification is offered in either landscape or golf. The designer certification is divided into two general areas: landscape/turf or agriculture. Specialty areas offered in landscape/turf are commercial, golf course and residential. Specialty areas offered in agriculture are drip/micro-irrigation, sprinkler and surface. Beginning in late 2007 a water conservation manager in landscape will also be available.

As a WaterSense partner, the Irrigation Association is pleased to inform you, a Certified Irrigation Contractor in good standing, of your eligibility to become an EPA WaterSense partner!

WaterSense is an Environmental Protection Agency initiative to promote water efficient products and services. WaterSense will increase public recognition of the benefits of hiring professionals who have earned WaterSense approved certifications. For more information and to apply to become a WaterSense partner visit <http://epa.gov/watersense/partners/eligibility.htm>

More information about these programs is available at the IA web site <http://www.irrigation.org> or contact Sherrie Schulte at (703) 536-7080. Please feel free to contact me at (559) 278-2066 if I can be of any further assistance regarding your examination.

Sincerely,

Kate Norum
CIT Test Administration

**PLANNING COMMISSION MINUTES
DECEMBER 13, 2006**



PLANNING COMMISSION

REGULAR MEETING
 WEDNESDAY, DECEMBER 13, 2006 7:30 PM
 COUNCIL CHAMBERS - NOVI CIVIC CENTER
 45175 W. TEN MILE, NOVI, MI 48375
 (248) 347-0475

CALL TO ORDER

The meeting was called to order at or about 7:30 PM.

ROLL CALL

Present: Members John Avdoulos, Brian Burke, Victor Cassis, Andrew Gutman, David Lipski, Michael Lynch, Michael Meyer, Mark Pehrson, Wayne Wrobel
Also Present: Barbara McBeth, Director of Planning; Mark Spencer, Planner; Kristen Kapelanski, Planner; Ben Croy, Engineer; David Beschke, Landscape Consultant; John Freeland, Wetland Consultant; Sara Merrill, Traffic Consultant; Tom Schultz, City Attorney

PLEDGE OF ALLEGIANCE

Member Wrobel led the meeting in the recitation of the Pledge of Allegiance.

APPROVAL OF AGENDA

Moved by Member Pehrson, seconded by Member Wrobel:

VOICE VOTE ON AGENDA APPROVAL MOTION MADE BY MEMBER PEHRSON AND SECONDED BY MEMBER WROBEL:

Motion to approve the Agenda of December 13, 2007. Motion carried 9-0.

AUDIENCE PARTICIPATION

No one from the audience wished to speak.

CORRESPONDENCE

There was no Correspondence to share.

COMMITTEE REPORTS

There were no Committee Reports.

PLANNING DIRECTOR REPORT

Director of Planning Barbara McBeth said that at the December 4, 2006 City Council meeting the first readings of the Michigan Zoning Enabling Act Ordinance Amendment and the Temporary Use Permit Ordinance Amendment were both approved. The second readings were approved regarding the Outdoor Seating Ordinance Amendment and the Single Family Residential Street Tree Ordinance Amendment.

CONSENT AGENDA - REMOVALS AND APPROVAL

There was no Consent Agenda.

PUBLIC HEARINGS

1. ITC TRANSMISSION COMPANY, SP06-53

The Public Hearing was opened on the request of Joe Bennett of ITC Transmission Company for Preliminary Site Plan, Wetland Permit, Woodland Permit, and Stormwater Management Plan approval. The subject property is located in Section 13, south of Twelve Mile, between Haggerty Road and the M-5 Connector, in the OST, Planned Office Service Technology District. The subject property is approximately 83.63 acres and the Applicant is proposing to construct two six-story office buildings and two multiple level parking structures.

2. ITC TRANSMISSION COMPANY HELISTOP, SP06-61

The Public Hearing was opened on the request of Joe Bennett of ITC Transmission Company, for Planning Commission's recommendation to City Council for the proposed helistop location. The subject property is located in Section 13, south of Twelve Mile between Haggerty Road and the M-5 Connector, in the OST, Planned Office Service Technology District. The Applicant is proposing a location for the helistop in conjunction with the ITC Transmission Company Headquarters.

Director of Planning Barbara McBeth presented both the ITC Plan and the Helistop plans together. She described the OST-zoned property for the Planning Commission. The site is irregularly shaped. The Quaker Sub-Station is also located on this site. There are also overhead electrical transmission lines that run north and south throughout the site. There is a DTE building on the site. The north twenty acres are vacant. There is a thirteen-acre pond on the north side. There is a ten-acre pond on the west side. The property to the north is developed with the Haggerty Corridor Corporate Park, zoned OST and master planned for Office. To the east are Country Cousins Mobile Home Park (zoned MH), the Novi Research Park and a landscape company (both zoned OST). To the west is the M-5 connector, and the property in that area is zoned OST. To the south is a freeway connector ramp. The zonings are consistent with the Master Plan, though the suggested use for the subject property was for utility uses. There are regulated woodlands on the site. There are wetlands on the site.

The Applicant is proposing to construct offices for the ITC. The office buildings are near the center of the site. Building One is 187,913 square feet. Part of the building is six stories; part of it is two stories. Building Two is 154,000 square feet. Parking Structure One is three levels and 33 feet high and Parking Structure Two is four levels and 45 feet high. The office buildings are just under 115 feet tall.

The existing Quaker Sub-Station will remain on the site. It will be slightly reconfigured. It will be screened by a new 16-foot wall. The existing DTE structure will also remain. The main access to the site will be from Twelve Mile. The main entrance will be east of the M-5 ramp. The existing Haggerty drive will remain, but that is for emergencies and is not intended for common use.

Earlier this year, a Preliminary Site Plan was approved by the Planning Commission for the Great Lakes Corporate Campus, for four buildings on the north portion of this site. The design included a bank, a hotel and offices totaling 139,000 square feet. ITC has now acquired this property, and they will be using it for the driveway configuration as shown on the plans. The wetland impacts will be about the same for either of these plans.

Ms. McBeth discussed the issues raised in the reviews. ZBA Variances are required regarding Section 2514, the road design standards. The Ordinance requires that buildings be accessed from a major drive that meets certain requirements. The Planning Department has determined that the best location for this major drive would be the access from Twelve Mile, continuing down through the property past the first parking structure. There are parking spaces located off the major drive, and the Ordinance does not anticipate such a design. The Ordinance also states that there must be a minimum of a 100-foot radius, but there are sharp corners around the wetlands. The Planning and Engineering staffs support these variances, because the Applicant has met the intent of the Ordinance throughout the rest of the site. The preservation of the natural features makes the designing rather difficult.

A ZBA Variance is required for the location of the dumpster. It has been proposed to be located between Building One and Parking Structure One. This location is technically considered a side yard. The Planning Department supports this location. It is adequately screened.

A ZBA Variance is required for the east yard setback. The property line is irregular. The building setback has been met in all other areas but the one, where only 77 feet of setback has been provided. They require 188 feet of setback. This area is adjacent to an undeveloped portion of an office condominium project. The Planning Department supports this variance request because the site is undeveloped woodland and wetland and there is a detention basin as well. There is a great distance between the building and the residential area - about 500 feet. The building at this area is the two-story section - the control center of the Office Building One.

A ZBA Variance is required to allow the guard booth. Technically the placement of this booth is proposed for the front yard. City Council will need to consider a Waiver of the Fire Prevention Code to allow the access control gates in three locations.

A Planning Commission Waiver is required to allow the building to be 115 feet. The building design elements mitigate the mass, there is a variation to the lighting, and there are building setbacks. The Planning Commission can consider these items to determine whether the additional building height should be permitted. Ms. McBeth

showed the building elevations.

A Planning Commission Waiver is required for the driveway encroaching into the required twenty foot side yard setback. The Planning Commission can modify these requirements in cases where additional setback is provided elsewhere.

Ms. McBeth said that the square footage of the one building is accurately listed as 187,913, and that number changed based on the decision to finish the second floor of the control tower area. Fifty additional parking spaces will be added to the site.

The Woodland and Wetland Reviews both indicate that permits are required. For the north twenty acres, the impact is similar to that proposed by the Great Lake Corporate Campus plan. There will be small amounts of impact to the various ponds on the site.

The Landscape Review recommends approval subject to the granting of some Planning Commission Waivers. The required berms along M-5 would disturb the pond; the Applicant is also asking for a Waiver of the Twelve Mile berm. The Applicant is seeking a waiver of the M-5, Twelve Mile and Haggerty street tree requirements. That request could be considered by the Planning Commission, subject to the Applicant providing written verification from the agency with jurisdiction of those roads, that these trees would not be allowed.

Technically, a berm along the eastern wooded wetland would be required, but the Landscape Architect stated that he would support a waiver of that berm in order to maintain the natural area.

The Traffic Review did not recommend approval of the plan.

The Engineering Review and the Fire Department Review both recommend approval of the plan, with minor items to be addressed at the time of Final Site Plan submittal.

The Façade Review recommends approval, with comments that the gold windows improve the look of the building, and the use of cast stone is consistent with the look and quality of limestone.

Ms. McBeth said that the helistop is proposed on the ground near Building Two. There will be no fuel service, maintenance or overhaul of helicopters permitted in this area. It is just for pickup and dropoff purposes. The helistop will remain on the ground until the second building is constructed, and then the Applicant would need to come back for consideration of moving the helistop elsewhere.

There is a fence proposed for the helistop area. The area is proposed to be concrete, thereby minimizing dust being blown around. The Applicant intends to meet the building, fire and health codes associated with the helistop. They will meet the federal guidelines. There will be a provision for offstreet parking.

The Planning Commission is asked to approve the plan and make a recommendation to City Council regarding the helistop.

Joe Bennett of ITC addressed the Planning Commission. Currently ITC is located off of Orchard Hill Place near Haggerty and Eight Mile. They are a rapidly growing utility company. They have outgrown their current facility, in part due to their acquisition of the Michigan Electric Transmission Company on the west side of the state. ITC owns and maintains a vast majority of the high voltage transmission system in Michigan's lower peninsula. This system is used to transport large quantities of electricity over long distances – from generation to distribution. They do not own the generation or the distribution – that is traditionally Consumers Energy or Detroit Energy. They are ITC's largest customers. ITC owns the transmission lines and sub-stations.

With their recent growth, some of the ITC employees have been relocated out of Novi. In less than four years, ITC has gone from 38 employees to about 300 employees and contractors. ITC anticipates some additional growth in the years to come. The second building will be built at a later date. For efficiency and cohesiveness, ITC would like their employees in one location. There will be space for 450 employees in the first building. There are

currently 200 employees in Novi. Another 100-plus employees will be moved to Novi. Engineers will be brought in to maintain and design the lines. An operation group will monitor and control the transmission assets, on a 24/7 basis. Corporate support staff will be onsite. This includes finance, legal, regulatory and IT employees.

Mr. Bennett said that their intent is to keep Twelve Mile as the main entrance. They have no intentions of allowing employees to use the Haggerty entrance. This Haggerty entrance will be used for access to the sub-station and for emergencies. ITC has plenty of land and they have no intentions of acquiring the mobile home park. The outdoor lighting will comply with the Ordinance. They plan to use cutoff lights that point downward.

The helistop is meant for the CEO and his guests to tour the facilities and lines. It will not be a major part of the business. The helicopter company is located out of Ann Arbor and the maintenance of the helicopters will be done at their site.

Mr. Bennett said that it has been a pleasure working with the City on this project.

Jim Butler from PEA represented the Applicant's landscape architect and civil engineering consultant. He added that there is a significant amount of natural features and a sub-station that the project had to be designed around. They will encroach the wetlands by about six-tenths of an acre. They met first with the Michigan Department of Environmental Quality to get an initial read from them regarding this plan. They are now in process of procuring the permit. He felt that all of the Staff and Consultant comments could be addressed.

Chair Cassis opened the floor for public comment:

- Dean Klein, Country Cousins: Complained about the expressway helicopters. He thought more helicopters should not be added to the mix. He said the wetlands were going to be destroyed.
- James Burnett, Country Cousins: Noted the nice ecosystem on this subject property and he didn't want it upset. He encouraged the City to consider finish building in already developed areas before building on virgin land.
- Karen Schrock, Country Cousins: Opposed to the monstrosity of this plan. She was not happy about the noise. She did not want walking paths along the property line as it would invade her privacy.
- William Ray, Country Cousins: Lives near the woods and he said that the lights are always on near the woods. He did not think two six story buildings were necessary near his home.
- Steve Pellegata, 27409 Haggerty: Concerned about the change and how it will kill off the natural features. He showed pictures of trees that are dying from diverted water. He asked the Applicant to look out for his neighbors.
- Stan Mickolai, Country Cousins: He wondered what the size of the catch basin would be to accommodate this amount of impervious surface. Civil Engineer Ben Croy responded to this audience member, stating that there are numerous sedimentation basins planned that will temporarily hold the water, releasing it at controlled rates. The wetland system will store the water, releasing it down the channel to the south.
- Christine Gilchrist, Country Cousins: Concerned about the noise levels. Additional traffic will make the noise worse.
- Scott Wood, Country Cousins: Stated that noise and lights have increased over the years. Lately he has heard low frequency rumbles coming for the sub-station.

Chair Cassis asked Member Pehrson to read the Public Hearing correspondence into the record:

- S. Sasaki, 37840 Interchange Drive: Stated that his company is no longer in the area; they moved to Farmington Hills.
- Matthew Russell, 39594 Ronayton: Objected for traffic and noise reasons. It will be unsafe for children.
- Joan Simonson, 26827 O'Jaustin: Objected because of the loss of wildlife. Traffic will be bad. The six-story buildings are unacceptable.
- Susani Kozlowski, 26857 Gornada: Objected because of other vacant office buildings in area. It will disrupt the wetlands and wildlife.
- Yutaka Matsubara, 27260 Haggerty Road: Approved of plan.
- Susan Abramovich, 27147 Larose: Objected for traffic reasons.

- Cele Tipton, 39578 Ardell: Objected because her family plays in the woods.
- Marlene Nuppanau, 26821 Gornada: Objected because of the destruction to the wetland and woodlands. There is enough office space in Novi already.
- Misako Allen, 26833 O'Jaustin: Objected because he didn't have enough time to research the project.
- Philip Case, 26924 Gornada: Approved as long as it didn't disrupt Country Cousins.
- Darlene Alexander, 26907 Gornada: Objected because of destruction of wetlands and woodlands.
- Edward Stankiewicz, 26834 O'Jaustin: Objected and has not been able to research the project.
- Mark Gross, 39567 Neston: Objected for congestion reasons. He didn't want the wetland disturbed.
- Steven Pellegata, 27409 Haggerty: Concerned about water management.

Chair Cassis asked Member Pehrson to read the Helistop Public Hearing correspondence into the record:

- Chrystal Russell, 39594 Ronayton: Objected because she didn't want her peace disturbed.
- Joan Simonson, 26827 O'Jaustin: Objected for noise reasons and the displacement of wildlife.
- Christine Gambino, 26915 Gornada: Objected because she didn't want helicopters flying over her home.
- Brian Droz, 03524 Gornada: Objected because too many buildings are already in the area and the wetlands should be left alone.
- Yutaka Matsubara, 27260 Haggerty: Approved of plan [though misstated as an objection at the meeting].
- Susan Abramovich, 27147 Larose: Objected because she didn't want helicopters disrupting her peace.
- Cele Tipton, 39578 Ardell: Objected because her family plays on this land.
- Susan Gamble, 27022 Branton: Objected because of flooding issues, displacement of the wildlife, and there's too much building going on.
- Misako Allen, 26833 O'Jaustin: Objected because of the noise.
- Lorraine Nelson, 268924 Gornada: Approved of the plan.
- Darlene Alexander, 26907 Gornada: Objected to the helistop.
- Edward Stankiewicz, 26834 O'Jaustin: Objected because of the noise.
- Louise Hayes, 26802 Rosaron: Objected to plan because she thought it meant that Country Cousins would be torn down [contacted on December 12, 2006 by a member of staff and told otherwise].
- Christine Gambino, 26915 Gornada: Objected to the helicopters.

Chair Cassis closed the Public Hearing. City Attorney Tom Schultz asked the Chair to ensure that the people understood that this was the time to speak up regarding both the ITC plan and the ITC Helipad plan. Chair Cassis again asked for comments.

- Murray Sweetwine, Country Cousins: Asked what the construction timeframe is, and Chair Cassis told Mr. Sweetwine that this would be discussed.

Again, Chair Cassis closed the Public Hearing.

Member Wrobel asked how far Building One and Building Two are from Country Cousins. Ms. McBeth responded that Building One's corner is a bit further than 500 feet. Building Two is a greater distance. Member Wrobel asked how often the helistop would be used. At what time of day? On the weekends? Would it be used at night? Would it be used on holidays? Would the flight pattern take the helicopter over Country Cousins?

Mr. Bennett responded that the helistop would not be used daily. The flight path cannot come over Country Cousins due to the sub-station's location. The pattern would come in from the west or northwest. He did not foresee nighttime flights. The helistop has to be lit, per the FAA, but it isn't expected to be used at night. He estimated that the helicopter would be used once per month, but it is hard to judge as it is currently not something they have available – but he reiterated the use would be minimal.

Member Wrobel asked what could be done with the stormwater management to ensure that the water drainage problem is not compounded. Dr. John Freeland of ECT could not comment on the Cooker's plan, but he too, was concerned about the water budget of the existing wetlands. They have asked for the current water balance and the anticipated water balance post-development. He understood that most of the stormwater discharge would go

to the wetland west of the proposed development. There are two large wetlands on the site – Dr. Freeland used the map to describe the stormwater flow.

Dr. Freeland said there are about thirty acres of wetland and ponds on this site. He has met with ITC to discuss the more sensitive areas. They identified an area near the mobile home park where there is a forested wetland. It consists of wetlands and upland areas. ITC has been asked to avoid the area entirely. There is a high quality wetland and woodland to the south that is adjacent to the mobile home park. Dr. Freeland has asked the Applicant to place that area into a conservation easement. There is a jogging trail proposed on the south side of the existing sub-station – but the Applicant has been asked to avoid the trees to the east and south of the sub-station.

Most of the impacts are on the north end – the west side of the property. Most of the construction will be north and east of the sub-station. There are some minor impacts along the large wetland, but the Applicant has done a good job of minimizing these impacts. The impacts are more to smaller, isolated wetlands. The larger wetlands are being preserved. The impacts would require mitigation under the Ordinance. The wetlands are all state-regulated too, Dr. Freeland thought, and he noted that the Applicant has initiated the application process with the MDEQ. The City cannot issue a permit until the State issues their permit. The mitigation area is on the south end of the property. Generally, these mitigation areas are also put into a conservation easement. The southern and eastern part of the property should be largely protected.

Member Wrobel asked how much the water level could be expected to rise. Dr. Freeland responded that he did not have the numbers. Civil Engineer Ben Croy responded that the Applicant has indicated there would be a three-inch increase over the entire wetland system – and that is a temporary raise in water surface. Dr. Freeland noted that there would be an outlet so the level should not rise that much. Dr. Freeland did not think it would rise that much.

Chair Cassis asked how Mr. Pellagata's property came to be under so much water. Dr. Freeland responded that he imagined it had something to do with a change in the grade which caused a new drainage pattern. It is possible that this is a result from the highway construction. Dr. Freeland had no experience with that road project. Typically these problems occur when more water than anticipated drains. This could be due to the way the land drains or because of a change in the permeability of the soil. Sometimes natural conditions are the cause – increased annual precipitation could be the problem.

Member Wrobel asked when the second building would be built. Mr. Bennett responded that the first building is designed for 450 employees and they currently have about 300 employees. They are growing rapidly. The second building will be built once their employee base exceeds 450. The first building would begin as soon as the permits are granted.

Member Avdoulos asked for the route of the construction traffic. Mr. Bennett said that most likely, Haggerty Road would be used. Mr. Bennett thought that the construction would take ten months for the parking garage, the office structure and the control room. They would like to be in the building by April 2008. In the worst case scenario, they would be looking at twelve months. Member Avdoulos said that ten months would be difficult to achieve. Member Avdoulos said taking the construction traffic from Haggerty would make the most sense. Twelve Mile would bring too much construction traffic too close to the ramp. That would be dangerous. The Haggerty entrance could be used for Phase Two as well, and then the area could return to a natural condition. He hoped that was the Applicant's intent. Mr. Bennett said that it was.

Member Lynch said that there was a familial relationship between the Pellagatas and him. He hoped that would not be a problem – City Attorney Tom Schultz said that it was acceptable for Member Lynch to continue hearing the request.

Member Lynch confirmed that the site has long since been zoned OST. Ms. McBeth said that the rezoning occurred in the late 1990s.

Member Lynch thought that ITC had done a good job in avoiding the wetlands. He wished to confirm how the conservation easement near the mobile home park would read. He thought the language included that the

Applicant could not cut, mow or disturb the area. Mr. Butler said the easement would be designed as such -- the dimensions will vary. Member Lynch confirmed that the natural features adjacent to the mobile home park would be protected.

Member Lynch asked about the maintenance program for the detention basins. Mr. Croy said that the basins would be privately maintained. The Applicant and the City will enter into an agreement wherein the City can maintain the basin if the Applicant fails to do so, and the Applicant would be charged for this service.

Member Lynch said that the homeowners in the area do not want more water draining on their land. He hoped this project could be a benefit to the stormwater management system. Mr. Butler thought that might be the case.

Member Lynch noted that the Providence hospital site would be over six stories and would also have a Helistop. He thought that the traffic pattern would be foolishly designed to enter the site from the southeast because of the high tension wires. Therefore he did not think the mobile home park should be worried about fly-overs.

Member Lynch also noted that the City has a Noise Ordinance. Ms. McBeth responded that motor vehicles are excluded from the Ordinance. She felt that the FAA would regulate the helicopter noise.

Member Lynch felt that the 25-foot buffer would provide some sound mitigation. It would help maintain the natural setting. He felt that ITC should be applauded for their design. He hoped the water would be better managed with this design.

Member Lynch thought that the main entrance from Twelve Mile made sense. Haggerty is too busy. The overall plan meets the zoning and is an appropriate use of the property. The neighbors have been isolated through the natural buffer. Member Lynch supported the project.

Member Avdoulos determined that the mobile home park has been around since the 1960s. The sub-station was erected in the mid-1990s. Ms. McBeth said that a lot of this area's land was zoned residential prior to the OST zoning of the 1990s, and she guessed that that was the previous zoning on this property.

Member Avdoulos asked about the adjacency factor between a mobile home park and an OST property -- were the requirements different from a Single Family Residential zoning? Ms. McBeth said that they would be treated the same. Setbacks and landscaping requirements would be the same.

Member Avdoulos said that the natural features would be in place because a berm would disturb and disrupt them. A conservation easement would be placed in the area south and area of the sub-station.

Member Avdoulos said that he has heard Mr. Pellagata discuss his water problems once before, when the Great Lakes plan came forward. Member Avdoulos was more comfortable with added this project to the area because the building will be south of that area. The Great Lakes plan squeezed components close to the wetland. This project stays west of the sub-station and hugs the area, providing minimal disturbance. The residents will be protected with the natural features. The building is no closer than the Tower buildings. He said that there were also five- or six-story buildings near Haggerty and Eight Mile.

Member Avdoulos thought the construction timeframe had been adequately addressed.

Member Avdoulos said that lighting is required to be cut off. The parking lot and the garages will have lighting that does not face the residential areas. All cities require this standard. This prevents light pollution in general.

Member Avdoulos thought that the helicopter issue had been addressed. The helicopter's use would not be daily. He hoped there wouldn't be nighttime fly-ins.

Member Avdoulos said that the environmental concerns were being addressed between the Applicant and the City's consultant. Member Avdoulos asked if the woodland issues had been addressed by the Applicant. Dr. Freeland responded that there will be woodland impacts, and the Applicant will have to put the replacement trees

on site. Dr. Freeland had some questions about protecting the existing woodlands, and the Applicant has been asked to fence some additional areas. By and large, the issues are minor. The Applicant has been amenable to addressing all of the items.

Landscape Architect David Beschke said that he reviews the replacement trees along with the Woodland Consultant. The replacement trees are shown throughout the site. Dr. Freeland said between 600-700 trees will be removed. Under the Ordinance, they must replace trees greater than eight inches. Their replacements number about 500. That is an Ordinance standard.

Member Avdoulos discussed the traffic noise. He thought the bigger problem would be the construction traffic. Traffic coming in off of Twelve Mile will not create a noise issue. Traffic Consultant Sara Merrill stated that the Applicant does not believe their traffic will significantly impact the area; her company agrees. They are proposing decel lanes along Twelve Mile, which is appropriate. She was concerned about the traffic impact study. They have asked the Applicant to correct the figures used therein, because other incoming businesses in the area will use this information to validate their plan and therefore it should be more accurate. The numbers regarding the northbound offramp from M-5 may be the problem in the study. The Applicant's traffic model is incorrect in their study.

Ms. McBeth told Member Avdoulos said that a Noise Analysis was not required because the plan is not a Special Land Use.

Member Avdoulos said that this building has an occupant – residents don't need to be concerned that this will be another vacant building. Member Avdoulos thought phasing the plan to keep the size proportionate to the company was a good idea. This is a high profile area. This M-5 ramp is a gateway into the City. The building has been sited nicely. It frames the wetland and does not encroach it. The Applicant has been environmentally sensitive. The Applicant is trying to follow the intent of the Ordinance – these newly approved tall buildings are not meant to be giant foreboding structures. The Applicant is also providing expensive parking garages, therefore the plan is environmentally sensitive. The garages are low and the buildings step up. There is a two-story level closest to the mobile home park. Member Avdoulos thought that was designed nicely.

Member Avdoulos said that the security statements were accurate. He understood that the Applicant must iron out the issues with his security agency. The Applicant must meet the needs of the Fire Department. This building and the sub-station require security. This will also add a level of security for the mobile home park.

Member Avdoulos said that the façade had a nice clean look. It is conducive for a headquarters. In the spirit of the Zoning Ordinance, they have designed the building nicely. He asked about the reflective glass. There would not be reflective glass on the back side. There is a strip on the front and on the two sides. The glazing will be most affected by the morning sun. This has to do with the siting of the building as well.

Member Avdoulos commented it is nice when neighbors let the City know when a site requires additional monitoring. The City employees cannot catch everything out on the sites. He did believe that ITC was doing a nice job.

Member Burke tallied up the residents' concerns and found that noise was a big problem for them. Member Burke felt that the helicopter issue was addressed, and that perhaps the neighbors were happier now, to know that this use will not be a regular occurrence.

Mr. Bennett explained that most employees would be on the 9-5 shift, though the operation is a 24/7 job for about a dozen people.

Member Burke did not think that incoming cars would be able to speed in light of the position of the road and the wetland. He didn't think that traffic noise would be heard by the mobile home park.

Member Burke commended the Applicant for not encroaching the wetlands to any great degree. He asked what effect the water level has on the neighboring properties to the east and north. Mr. Croy responded that the two

wetland complexes have different anticipated elevations. The north system would elevate about one-half inch and the other wetland would be more like three inches. The systems flow to the southwest before it crosses the expressway. It shouldn't add more water to the properties to the east or north. The north will be impacted very little.

Mr. Bennett told Member Burke that the final helistop would be located atop Building Two.

Member Burke asked about the westbound Twelve Mile traffic that has to make a Michigan Left to enter this site. He wasn't certain where the Michigan Left could be made. Ms. Merrill responded that most vehicles will be going to and from the expressway. There will not be a significant impact. She showed the location of the access drive. She used the map to describe the traffic pattern.

Member Burke thought it was wonderful that this project could move forward on this tricky site. He felt that the plan was very sensitive. He thought the Applicant did a nice job on the project. He supported the project.

Member Meyer asked if the Planning Department would approve of the traffic design, in light of what has been said at this meeting. Ms. McBeth felt that the Traffic Engineer's comments reflected their approval as long as minor items would be addressed at the time of Final Site Plan submittal. The traffic study also has to be updated. Member Meyer felt that the Applicant tried to respond to the traffic items.

Member Meyer asked ITC to keep in mind the comments made by the mobile home park residents. He asked them to be sensitive during the construction phase. He thought the distance from the building to the mobile home park was grand. He thought the Applicant made an effort to design the entry such that traffic would be slowed down. He was pleased with the parking structure. He hoped the Applicant continues to show the neighbors a level of sensitivity.

Member Pehrson spoke with Ms. McBeth about construction traffic. Ms. McBeth said that the posted time for this traffic is 7:00 AM to 7:00 PM. The road is currently paved, so the dust and debris will not be as bad. Ms. McBeth said that the City met with ITC and they are aware of the maintenance items that they will need to keep on top of during construction.

Member Pehrson asked if the Helistop could be limited to any timeframe. Mr. Schultz responded that the Planning Commission is providing a recommendation to City Council; City Council will make the final determination. The Ordinance does not address attaching conditions. This is a permitted use in certain districts, as long as the City Council makes certain findings. If the Planning Commission has thoughts on recommending a restriction, it should be added to the comments or the motion.

Member Pehrson asked about the low frequency hum coming from the sub-station. Mr. Bennett said he was not sure about the hum or the noise study. There is a 16-foot wall that will more than likely be built around the entire sub-station. This will help with the noise. Member Pehrson hoped that ITC would listen to their neighbors, as he felt that ITC has demonstrated that they are good stewards of the land. Mr. Bennett said that they would.

Member Pehrson did not have any concerns about the down-lighting. He asked whether the upper-deck parking had lights. Mr. Bennett said that there would be lighting up there. Tim Melvin, project architect, said that the parking deck uses low pole lights with cutoffs. The light won't spill into the neighboring areas. The Applicant could probably control the lighting, but not to the detriment of security.

Member Pehrson asked the Applicant to consider their neighbors.

Moved by Member Pehrson, seconded by Member Wrobel:

In the matter of the request of Joe Bennett of ITC Transmission Company, SP06-53, motion to grant approval of the Preliminary Site Plan subject to: 1) A Zoning Board of Appeals Variance for the road design standards of Section 2514, as detailed in the review letter, as recommended, since the Applicant has met the intent of Section 2514 throughout the remainder of the site and the preservation

of wetland and woodland areas on the site make the application of the major drive provisions difficult to achieve; 2) A Zoning Board of Appeals Variance for the location of the dumpster enclosure in the side yard adjacent to Building One, given that it is screened and in the best location for screening; 3) A Zoning Board of Appeals Variance for the east yard building setback (188 feet required, 77 feet proposed), given the practical difficulty of the property that exists; 4) A Zoning Board of Appeals Variance to allow accessory structures (guard booths) in the front yard, as a requirement for safety considerations for the structure; 5) A City Council Waiver of Fire Prevention Code to allow access control gates with additional detail provided by the Applicant on the final design; 6) Planning Commission approval to allow taller buildings in certain areas of the City zoned OST, as indicated in the Ordinance, based on the setback of the building and the mitigation of the exterior building lighting; 7) Planning Commission approval for driveway encroaching within the required twenty-foot setback along the east property line, since additional setback area is provided elsewhere on the site; 8) A Planning Commission Waiver of the berm and plantings adjacent to M-5; 9) A Planning Commission Waiver of berm on Twelve Mile; 10) A Planning Commission Waiver for street tree requirements on M-5, 12 Mile and Haggerty Road, subject to Applicant providing written verification from agencies of jurisdiction that trees will not be allowed; 11) A Planning Commission Finding that the screening requirements of the loading zones for the OST District are met by the design of the building; 12) Compliance with all conditions and requirements listed in the Staff and Consultant letters; 13) A Planning Commission Waiver for the berm running along the access road toward Haggerty, such as that the plan does not disturb the natural features; 14) Modification of the traffic study by the Applicant as indicated by the City Consultant; and 15) A Planning Commission recommendation to City Council for limitation of the Helistop hours and potential flight paths be limited; for the reason that the plan meets the Zoning Ordinance and Master Plan for Land Use.

DISCUSSION

Mr. Schultz suggested that the Helistop limitation be stated in the Helistop motion. The maker and the seconder of the motion agreed.

Chair Cassis allowed an audience member to ask whether there would be a dust abatement plan associated with construction. Chair Cassis said that the road was paved, which will already help. Chair Cassis also stated that Nov's servicemaster would be on top of this item; this is the toughest community in the area, in terms of monitoring construction sites.

Another audience member was afraid that people would all turn south on Haggerty once they see the traffic on the expressway. Chair Cassis said that the Haggerty drive would be closed. The man stated that the people would drive Twelve Mile to Haggerty. Chair Cassis responded that it was not possible to second-guess this traffic. The resident was sure that Haggerty's traffic would be affected. The resident also said that the creek was very narrow. Chair Cassis said he held the Engineer responsible for ensuring that this plan provides for adequate runoff. The man was also afraid of the helicopter traffic, because the Police fly over the mobile home park all the time. Chair Cassis said that the Police Department's concern was not located in the same place as this Applicant's concern.

James Branigan, another audience member, was afraid of how the footings for the building may affect the stormwater management. The ecosystem runs underground. The footings could cause excess runoff or dry up the wetlands. Chair Cassis said that this will all be monitored, starting at the construction phase. The man was also worried about the road. Chair Cassis appreciated the man's comments. Chair Cassis told the audience that the open forum was closed. Again he said that the City is very stringent in upholding the Ordinance.

Chair Cassis said the current ITC building is very secure. Mr. Bennett said that people are checked into the building, mostly because of the governing body that manages them for the Federal Energy Regulatory Commission and NORC requirements. This is a highly sensitive business. There is a lot of damage that could be done. This business has to be protected.

Chair Cassis asked about the noise and temperature levels for the operation. Mr. Bennett said that the environment inside is very strict and won't generate too much noise.

Chair Cassis asked about the status of ITC. Mr. Bennett said that it is a publicly traded company. It is an independent stand alone transmission company. They do not own generation or distribution. Their purpose is to improve the infrastructure of the transmission grid to prevent things like the 2003 blackout. They will be able to reduce the price of electricity if more generators come into the game and compete. The company has to answer to its shareholders. They must answer to the governing bodies.

Chair Cassis said this company has a great reputation. ITC wants to stay in Novi and bring more employees. They want to pay taxes to Novi. This company wants to invest in Novi. This company is an asset. The project has been thoroughly examined by the Planning Department and the Building Department. Every Ordinance on the books has been looked after and abided by. This site is actually going to improve the wetland and woodland situation. A conservation easement will be placed between this site and the neighbors as a permanent buffer. They are going to take care of the wetlands by managing them. The surrounding sites have nothing to fear. Chair Cassis welcomed them to the City and wished them prosperity.

ROLL CALL VOTE ON ITC TRANSMISSION COMPANY, SP06-53, PRELIMINARY SITE PLAN MOTION MADE BY MEMBER PEHRSON AND SECONDED BY MEMBER WROBEL:

In the matter of the request of Joe Bennett of ITC Transmission Company, SP06-53, motion to grant approval of the Preliminary Site Plan subject to: 1) A Zoning Board of Appeals Variance for the road design standards of Section 2514, as detailed in the review letter, as recommended, since the Applicant has met the intent of Section 2514 throughout the remainder of the site and the preservation of wetland and woodland areas on the site make the application of the major drive provisions difficult to achieve; 2) A Zoning Board of Appeals Variance for the location of the dumpster enclosure in the side yard adjacent to Building One, given that it is screened and in the best location for screening; 3) A Zoning Board of Appeals Variance for the east yard building setback (188 feet required, 77 feet proposed), given the practical difficulty of the property that exists; 4) A Zoning Board of Appeals Variance to allow accessory structures (guard booths) in the front yard, as a requirement for safety considerations for the structure; 5) A City Council Waiver of Fire Prevention Code to allow access control gates with additional detail provided by the Applicant on the final design; 6) Planning Commission approval to allow taller buildings in certain areas of the City zoned OST, as indicated in the Ordinance, based on the stepback of the building and the mitigation of the exterior building lighting; 7) Planning Commission approval for driveway encroaching within the required twenty-foot setback along the east property line, since additional setback area is provided elsewhere on the site; 8) A Planning Commission Waiver of the berm and plantings adjacent to M-5; 9) A Planning Commission Waiver of berm on Twelve Mile; 10) A Planning Commission Waiver for street tree requirements on M-5, 12 Mile and Haggerty Road, subject to Applicant providing written verification from agencies of jurisdiction that trees will not be allowed; 11) A Planning Commission Finding that the screening requirements of the loading zones for the OST District are met by the design of the building; 12) Compliance with all conditions and requirements listed in the Staff and Consultant letters; 13) A Planning Commission Waiver for the berm running along the access road toward Haggerty, such as that the plan does not disturb the natural features; and 14) Modification of the traffic study by the Applicant as indicated by the City Consultant; for the reason that the plan meets the Zoning Ordinance and Master Plan for Land Use. *Motion carried 9-0.*

Moved by Member Pehrson, seconded by Member Gutman:

ROLL CALL VOTE ON ITC TRANSMISSION COMPANY, SP06-53, WOODLAND PERMIT MOTION MADE BY MEMBER PEHRSON AND SECONDED BY MEMBER GUTMAN:

In the matter of the request of Joe Bennett of ITC Transmission Company, SP06-53, motion to grant approval of the Woodland Permit subject to: 1) The remaining woodlands on site being placed in a conservation easement, as recommended by the City's Environmental Consultant and in keeping with previous approval of a woodland permit for this site; 2) Additional woodland information being provided at the time of Final Site Plan submittal, prior to the Woodland Permit being issued; for the reason that the plan is otherwise in compliance with the Ordinance. *Motion carried 9-0.*

Moved by Member Pehrson, seconded by Member Wrobel:

ROLL CALL VOTE ON ITC TRANSMISSION COMPANY, SP06-53, WETLAND PERMIT MOTION MADE BY MEMBER PEHRSON AND SECONDED BY MEMBER WROBEL:

In the matter of the request of Joe Bennett of ITC Transmission Company, SP06-53, motion to grant approval of the non-minor use Wetland Permit, and authorization to encroach in the natural features setback for proposed permanent impacts subject to: 1) A Wetland Use Permit being granted by the MDEQ; 2) Additional wetland information being provided prior to the Wetland Permit being issued; for the reason that the plan is otherwise in compliance with the Ordinance. *Motion carried 9-0.*

Moved by Member Pehrson, seconded by Member Gutman:

ROLL CALL VOTE ON ITC TRANSMISSION COMPANY, SP06-53, STORMWATER MANAGEMENT PLAN MOTION MADE BY MEMBER PEHRSON AND SECONDED BY MEMBER GUTMAN:

In the matter of the request of Joe Bennett of ITC Transmission Company, SP06-53, motion to grant approval of the Stormwater Management Plan subject to additional wetland information being provided at the time of Final Site Plan submittal, for the reason that the plan is otherwise in compliance with the Ordinance. *Motion carried 9-0.*

Moved by Member Pehrson, seconded by Member Gutman:

ROLL CALL VOTE ON ITC TRANSMISSION COMPANY, SP06-61, HELISTOP RECOMMENDATION MOTION MADE BY MEMBER PEHRSON AND SECONDED BY MEMBER GUTMAN:

In the matter of the request of Joe Bennett of ITC Transmission Company, SP06-61, motion to recommend approval to City Council of the Preliminary Site Plan for the helistop location subject to: 1) The comments in the attached review letters being addressed at the time of Final Site Plan submittal; and 2) A Planning Commission recommendation to City Council for limitation of the Helistop hours and potential flight paths be limited; for the reason that the plan is otherwise in compliance with the Zoning Ordinance. *Motion carried 9-0.*

The Planning Commission took a ten minute break.

**WETLAND REVIEW LETTER
PRELIMINARY SITE PLAN REVIEW**



Environmental Consulting & Technology, Inc.

November 17, 2006

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 West Ten Mile Road
Novi, MI 48375

Re: ITC Transmission Headquarters SP# 06-53
Wetland Review of the Preliminary Site Plan

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the proposed ITC Transmission Headquarters Preliminary Site Plan (Plan) prepared by Professional Engineering Associates dated October 2, 2006. We have also visited the site located west off of Haggerty Road and south of Twelve Mile Road, including the ITC property and an adjacent 20-acre property to the north for the purpose of wetland boundary verification. The Plan was reviewed for conformance with the City of Novi Wetland and Watercourse Protection Ordinance and the setback provisions in the Zoning Ordinance.

Proposed Wetland Impacts

The Plan proposes both permanent and temporary impacts to both wetlands and 25-foot wetland setbacks (wetland buffer). The Plans shows seven (7) wetland impact areas (all or portions of Wetlands A, B, C, D, E, F and G) on the site that appear to be both MDEQ and City-regulated. The City Wetland Ordinance requires mitigation for impacts greater than 0.25-acre. The proposed wetland impacts appear to be approximately 0.6-acre. Characteristics of each of the wetlands are described in the table below.

Wetland	General Wetland Characteristics and Functions
A	Approximately 13-acre pond with herbaceous and shrub wetland fringe, some scattered trees. The wetland has high stormwater storage and wildlife value. Numerous waterfowl including ducks, geese, egrets, and blue herons have been observed at the site. This wetland borders M-5.
B	Found south of M-5, this wetland is over 10-acres and has a mixed wetland community type including buttonbush swamp, cattail marsh and minor forested wetland fringe. The wetland has high functions and values for wildlife and stormwater storage.
C	Mature forested wetland with minor stormwater and wildlife value. This wetland has been previously degraded with discarded concrete and refuse.
D	Isolated scrub-shrub wetland with very minor stormwater and wildlife value.
E	Isolated scrub-shrub wetland with very minor stormwater and wildlife value.
F	Immature forested-shrub wetland with minor stormwater and wildlife value.
G	Deciduous immature forested wetland with significant stormwater and wildlife value.

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In addition to the proposed permanent impacts to wetlands, the Plan also proposes a total of six (6) storm water outfalls to wetlands. Three (3) of these outfalls will be preceded by a proposed storm water pre-treatment structure. The remaining three (3) outfalls will discharge to wetlands, each from a proposed sedimentation basin. It should be noted that two (2) of these outfalls drain to Wetland A and four (4) drain to Wetland B.

Proposed permanent wetland impacts are as follows:

Wetland Impact Area	Impacted Wetland I.D.	Regulatory Status	Proposed Impact Area (sq. ft.)	Proposed Cut/Fill (cu ft)
A	B	MDEQ & City Regulated	8,810	1,960 Fill
B	B	MDEQ & City Regulated	954	247 Fill
C	C	MDEQ & City Regulated	5,247	583 Fill
D	D	MDEQ & City Regulated	529	40 Cut
E	E	MDEQ & City Regulated	5,388	200 Cut
F	F	MDEQ & City Regulated	2,902	215 Fill
G	G	MDEQ & City Regulated	462	42 Fill
Total			24,292 (0.6-Acre)	2,807 Net Fill

Proposed permanent wetland buffer impacts are as follows:

Permanent Buffer Impact Area	Impacted Wetland I.D.	Regulating Source	Proposed Impact Area (sq. ft.)	Proposed Cut/Fill Volume (cubic yards)
A	B	Novi City Zoning Ordinance	8,385	930 Fill
B	B		1,489	386 Fill
B	B		1,348	350 Fill
C	C		14,056	1,562 Fill
D	D		5,462	405 Cut
E	E		12,621	467 Cut
F	F/G		9,719	720 Fill
Total				53,080 (1.22 Acres)

Proposed temporary wetland buffer impacts are as follows:

Temporary Buffer Impact Area	Impacted Wetland I.D.	Regulating Source	Proposed Impact Area (sq. ft.)
1	B	Novi City Zoning Ordinance	518
2	B		1,490
3	B		786
4	B		1,260
5	A		1,283
6	A		3,490
7	G		1,341
8	G		209
9	A		970
9 (2)	A		2,110
Total			13,457 (0.31-Acre)

Concerns and Conditions

We recommend approval of the Preliminary Site Plan with the following conditions:

1. The 25-foot wetland setback adjacent to wetlands and watercourses needs to be shown on the Plan. The wetland buffer is not currently shown adjacent to all of the on-site wetlands. The buffer should be indicated around all wetlands, regardless of whether or not disturbance of the wetland is proposed.
2. All proposed wetland and wetland buffer impacts (both permanent and temporary) need to be quantified and summarized/totaled on the Plan (both area and volume).
3. The applicant is urged to avoid and minimize impacts to wetland and wetland buffer to the greatest extent practicable.
4. The proposed project includes wetland impacts that exceed 0.25-acre (approximately 0.6-acre of proposed impacts) and therefore requires compensatory wetland mitigation. Under the City Wetland Ordinance, mitigation area or replacement ratio for impacts to wetland must be at least 1:1 and may be up to 2:1 for forested wetland mitigation. An area of proposed wetland mitigation has been indicated on the south end of the project, adjacent to existing wetland areas. Additional wetland mitigation information (mitigation plan) needs to be added to the Plan.
5. A wetland mitigation plan shall be provided that includes the following items:
 - a. Location of the proposed mitigation area and grading plan with design elevations. Please provide the acreage of the proposed mitigation area on the Plan.
 - b. Wetland hydrology design (where will the water come from and how will it be controlled?).
 - c. Planting plan including herbaceous and woody species.
 - d. Cost estimate for wetland mitigation materials and construction.
6. The temporary disturbance to the wetland setback (approximately 0.26-acre) needs to be stabilized and re-vegetated using native plants. A Restoration Plan for temporary impacts to the wetland setback shall be provided, including proposed native plants, seed mix and woody species to be used. The Restoration Plan shall also include a cost estimate for restoration materials and construction.
7. Please provide a detail of the proposed storm water pre-treatment structures on the Plan. It appears as if these systems are proposed in three (3) different areas on the site. The proposed structure shall meet a minimum eighty percent (80%) Total Suspended Solids (TSS) removal and eighty percent (80%) oil/grease removal criteria. System sizing and removal efficiency information should be included on the Plan.
8. Please provide our office a copy of any correspondence with the MDEQ such as the MDEQ permit, permit application, wetland assessment, or other pertinent information pertaining to the on-site wetlands.

ITC Transmission Headquarters – Preliminary Site Plan Wetland Review
November 17, 2006
Page 4

Permits

The proposed project will require a Wetland Use Permit from the MDEQ, a Non-Minor Wetland Use Permit from the City of Novi, as well as a Natural Features Setback Authorization for proposed permanent impacts to the 25-foot wetland buffer.

Recommendation

ECT recommends conditional approval of the Preliminary Site Plan at this time contingent on the above *Concerns and Conditions* being addressed and resolved in the Final Site Plan.

If you have any questions please feel free to contact our office

Sincerely,

ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.



Peter Hill
Associate Engineer

cc: Angela Pawlowski

**PLANNING COMMISSION MINUTES
FEBRUARY 14, 2007**

Excerpt from

**PLANNING COMMISSION
REGULAR MEETING
WEDNESDAY, FEBRUARY 14, 2007 7:00 PM
COUNCIL CHAMBERS - NOVI CIVIC CENTER
45175 W. TEN MILE, NOVI, MI 48375
(248) 347-0475**

CALL TO ORDER

The meeting was called to order at or about 7:00 PM.

ROLL CALL

Present: Members John Avdoulos, Brian Burke, Victor Cassis, Andrew Gutman, Michael Lynch, Michael Meyer, Mark Pehrson,

Absent: Members David Lipski (excused), Wayne Wrobel (excused)

Also Present: Barbara McBeth, Director of Planning; Tim Schmitt, Planner; Mark Spencer, Planner; Kristen Kapelanski, Planner; Ben Croy, Engineer; David Beschke, Landscape Architect; Tom Schultz, City Attorney; John Freeland, Wetland Consultant

2. ITC TRANSMISSION COMPANY HEADQUARTERS, SP06-53A

The Public Hearing was opened on the request of Joe Bennett of International Transmission Company for an amendment to the previous approval of the Wetland Permit. The subject property is located in Section 13, south of Twelve Mile, between Haggerty Road and the M-5 Connector, in the OST, Planned Office Service Technology District.

Deputy Director of Community Development Barbara McBeth located the site for the Planning Commission. She displayed a wetland map on the overhead projector, and reminded the Planning Commission that they previously approved the Wetland Permit for this site in December 2006. She located the area of the originally proposed wetland mitigation area, which was primarily on the south side of the property. Subsequently, the MDEQ found that the proposed area was a nice habitat, and they preferred that ITC leave that area intact and choose an alternative location. The City prefers that the mitigation take place somewhere on this site. ITC has now proposed to mitigate along the Haggerty Road driveway, on the opposite side of where the trailer park is located. The drive will be moved slightly to the south.

Ms. McBeth was fairly confident that the MDEQ will approve this mitigation site. If the site is found to be unworkable, the Planning Commission may wish include language in their motion this evening that the final mitigation area must be acceptable to the City's Wetland Consultant. There are onsite locations that the Applicant has identified, as well as some less-preferred offsite locations elsewhere in the City.

Ms. McBeth continued that the driveway area is the location identified by ITC for construction trailer and equipment staging. The Applicant has been working with the Building Department on this item. Typically, the mitigation is one of the first items done on a site. However, if the staging is going to happen in this area, the mitigation will have to come later.

There is another impacted wetland area in a location pinpointed on the map by Ms. McBeth. It represents another 400 square feet. The Planning Commission should consider adding this area to this revised Wetland Permit request. The Planning Commission should include language in their motion that asks the Applicant show any approved changes on their Final Site Plan submittal.

Joe Bennett of ITC addressed the Planning Commission. He said he has been working with the MDEQ and the Community Development Department and the Wetland Consultant on this mitigation concept. He offered to answer any questions.

Chair Cassis opened the floor for public comment. No one wished to speak, so Member Pehrson read the Public Hearing correspondence into the record:

Katie Johnson, 39673 Reston Blvd.: Objected for traffic and light-pollution reasons.

Zach Thompson, 26970 Haggerty, Farmington Hills: Supported the project.

Chair Cassis closed the Public Hearing.

Member Lynch remembered that ITC's plan included adding landscaping near the *homes trailer park* to reduce their concern over this plan. He thought it was acceptable to place the mitigation near the area of the drive.

Member Pehrson asked whether Ms. McBeth's suggestion to be generous with the wetland mitigation placement language was typical. Ms. McBeth responded that the intent was to allow the Applicant to place the mitigation in the best spot that will be approved by the MDEQ. The generous language is meant to allow the Applicant to place the mitigation in the same watershed if, for some reason, the current proposed location along the drive ends up not being the most beneficial mitigation location.

Dr. John Freeland, the City's Wetland Consultant, responded that the preliminary plan of this request has been reviewed. As long as there aren't utility conflicts, this location would meet the requirements of the Wetland Ordinance. He would like to have confirmation from the MDEQ. Their previous objection was an area was being disturbed that provided a habitat. The option now being proposed will create less earthwork disturbance, and basically replaces a turf grass area with a wetland. It is disturbing a lesser-habitat area. From that standpoint, it is a good option.

Moved by Member Pehrson, seconded by Member Burke:

In the matter of the request of Joe Bennett of ITC Transmission Company, SP06-53A, motion to grant approval for the amendments to the previous approval of the non-minor use Wetland Permit, and authorization to encroach in the natural features setback for proposed permanent impacts subject to: 1) A Wetland Use Permit being granted by the MDEQ; 2) Additional wetland information being provided prior to the Wetland Permit being issued; 3) Acceptance of the wetland mitigation area as generally shown on the PEA sketch dated February 7, 2007, or an alternate location as determined acceptable by the City's Wetland Consultant; and 4) The conditions of the attached review letters; for the reason that the plan is otherwise in compliance with the Ordinance.

DISCUSSION

Chair Cassis said this is a great development. The Applicant has been accommodating. He wished the Applicant well.

ROLL CALL VOTE ON ITC, SP06-53A, WETLAND PERMIT MOTION MADE BY MEMBER PEHRSON AND SECONDED BY MEMBER BURKE:

In the matter of the request of Joe Bennett of ITC Transmission Company, SP06-53A, motion to grant approval for the amendments to the previous approval of the non-minor use Wetland Permit, and authorization to encroach in the natural features setback for proposed permanent impacts subject to: 1) A Wetland Use Permit being granted by the MDEQ; 2) Additional wetland information being provided prior to the Wetland Permit being issued; 3) Acceptance of the wetland mitigation area as generally shown on the PEA sketch dated February 7, 2007, or an alternate location as determined acceptable by the City's Wetland Consultant; and 4) The conditions of the attached review letters; for the reason that the plan is otherwise in compliance with the Ordinance. *Motion carried 7-0.*



June 4, 2008

Ms. Barbara McBeth
City of Novi Planning Department
45175 West Ten Mile Road
Novi, MI 48375

RE: ITC Transmission Headquarters Facility
Novi, MI
ZCM 08-20
Our Project No. 06-106

Subject: Planning Department Review Comments
Irrigation System Resubmittal

Dear Ms. McBeth:

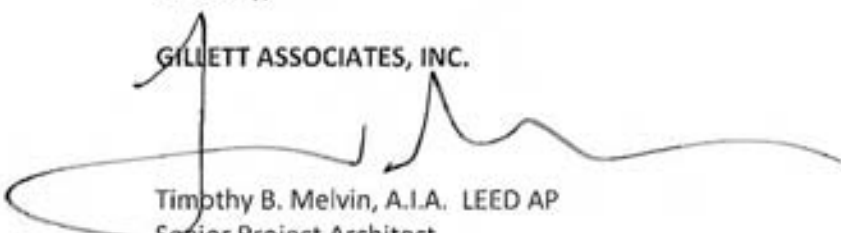
Attached are the irrigation plans and calculations that were originally submitted for your department's review. No revisions have been made at this time. We do acknowledge the condition from ECT regarding the limitation that the withdrawal from the on-site pond will be suspended if the pond water drops to a level that is greater than 6 inches below the bottom invert of the pond outlet pipe.

We have also included the colored site plan for the Planning Commission meeting.

Please feel free to contact me if any additional information is needed.

Sincerely,

GILLETT ASSOCIATES, INC.



Timothy B. Melvin, A.I.A. LEED AP
Senior Project Architect

TBM/mlm

Enclosures

cc: Joe Bennett, Director of Facilities, ITC Holdings Corp.

MAPS

**Location/Air Photo
Zoning**

Future Land Use

Wetlands and Regulated Woodlands

ITC Holdings Corporation Landscape Irrigation from Pond; ZCM08-20

Location Map



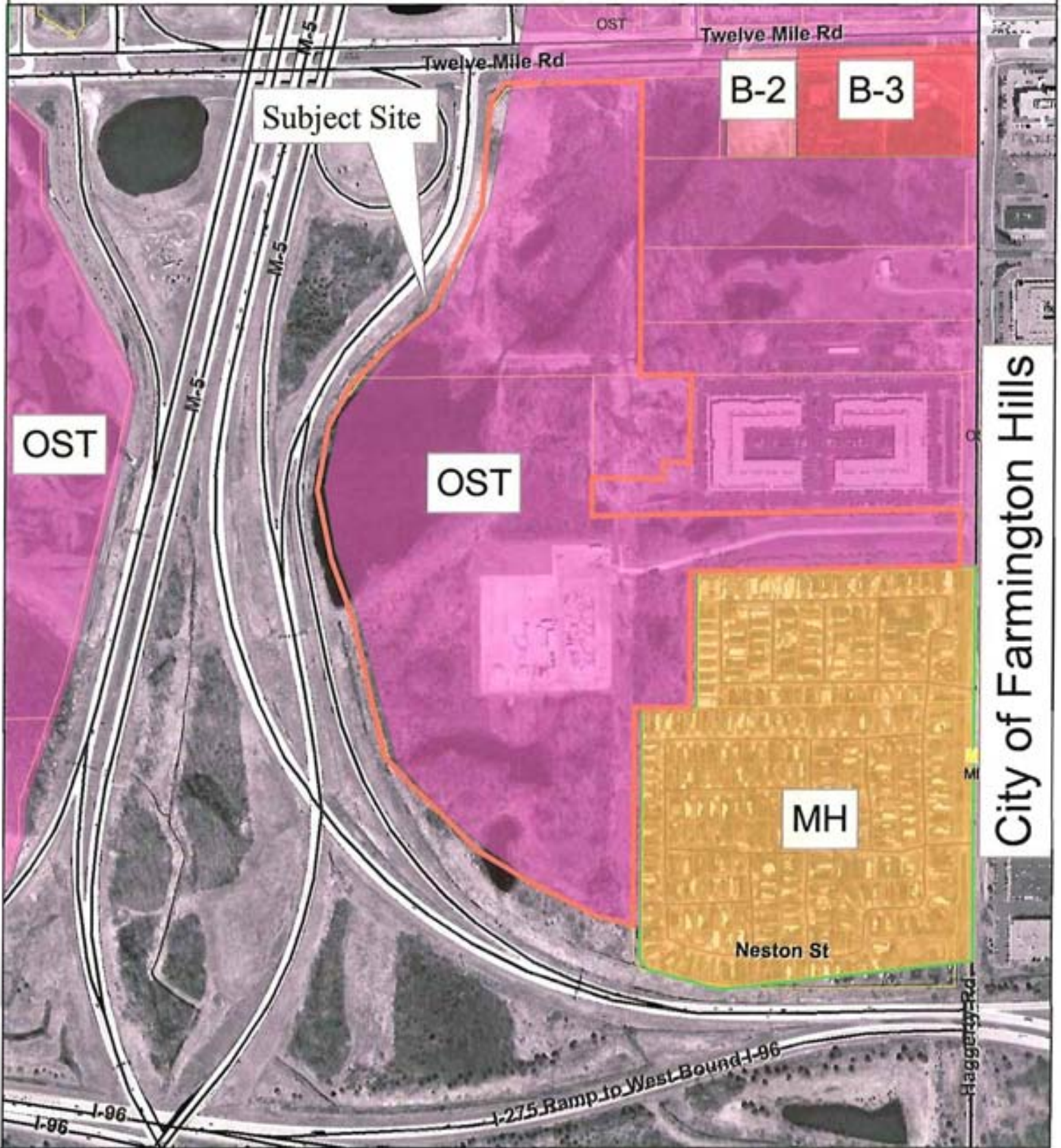
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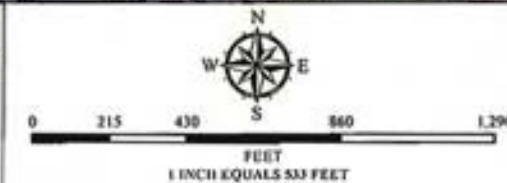
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ITC Holdings Corporation Landscape Irrigation from Pond; ZCM08-20

Zoning Map

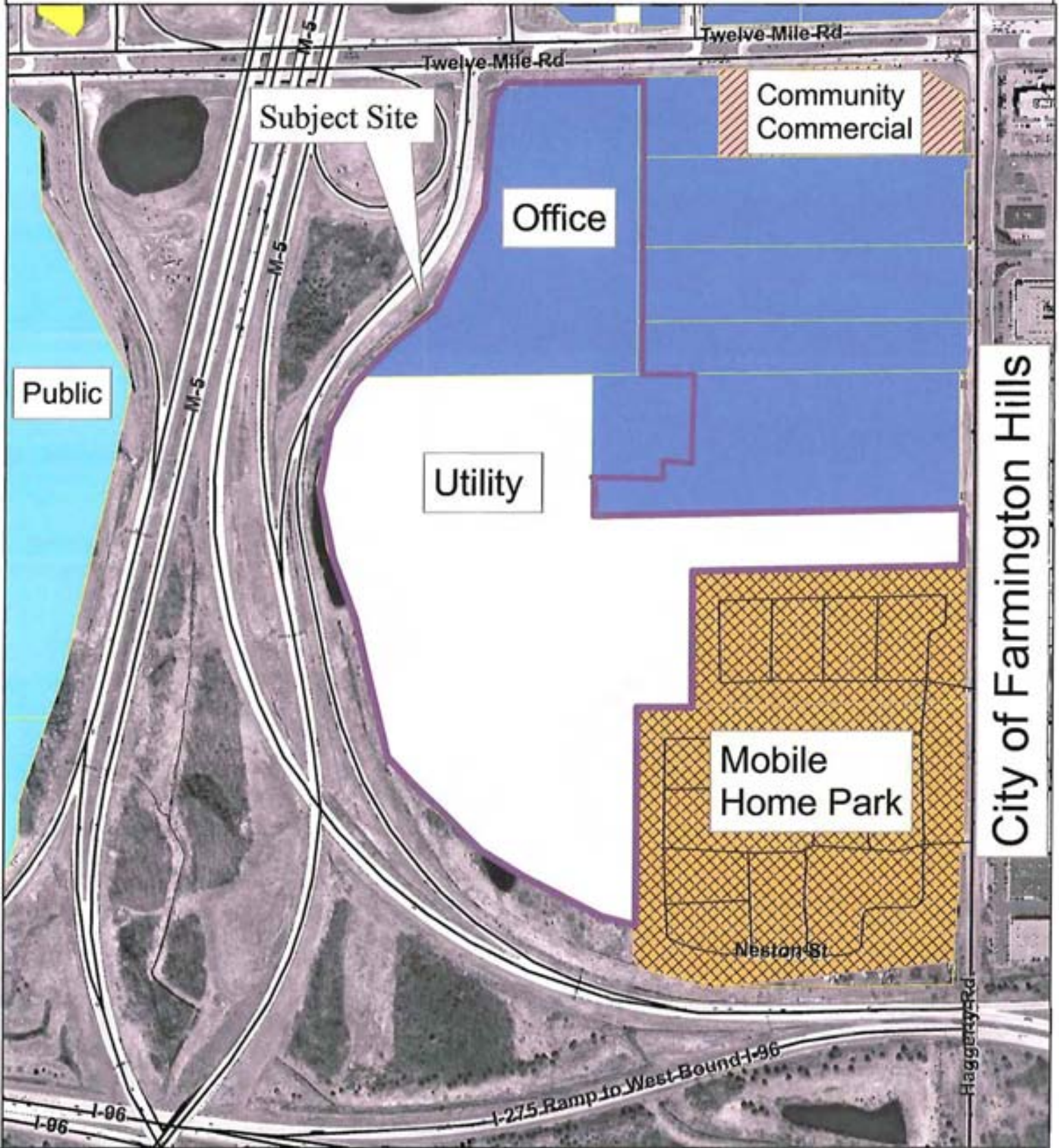


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ITC Holdings Corporation Landscape Irrigation from Pond; ZCM08-20
 Future Land Use Map



City of Farmington Hills



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ITC Holdings Corporation Landscape Irrigation from Pond; ZCM08-20

Wetlands and Regulated Woodlands Map



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**Plans available for viewing at the
Community Development Department.**